

Reconciliation of Life Safety, Building Envelope, & Paving Studies

	2018 Summer Projects ROM	Additional Projects ROM	Comments
Life Safety Study	\$ 185,000	\$ 12,274,980	Report as presented to BOE
Roof Study	\$ 290,000	\$ 6,612,757	Preventive maintenance paid out of operational funds
Exterior Wall Study	\$ 110,000	\$ 174,105	Majority of work included in life safety study
Paving Assessment	\$ -	\$ 59,820	Majority of work included in life safety study
Central Total	\$ 585,000	\$ 19,121,662	

Life Safety Study	\$ 535,000	\$ 10,473,114	Report as presented to BOE
Roof Study	\$ 380,000	\$ 5,100,080	Preventive maintenance paid out of operational funds
Exterior Wall Study	\$ -	\$ 334,674	Majority of work included in life safety study
Paving Assessment	\$ -	\$ 536,488	Majority of work included in life safety study
South Total	\$ 915,000	\$ 16,444,356	

Life Safety Study	\$ 720,000	\$ 22,748,094	Report as presented to BOE
Roof Study	\$ 670,000	\$ 11,712,837	Preventive maintenance paid out of operational funds
Exterior Wall Study	\$ 110,000	\$ 508,779	Majority of work included in life safety study
Paving Assessment	\$ -	\$ 596,308	Majority of work included in life safety study
District Total	\$ 1,500,000	\$ 35,566,018	

PAVING ASSET MANAGEMENT PROGRAM
Hinsdale Township High School District 86



ARCON Project #: 17071

ID	BUILDING NAME	ID	BUILDING NAME
HC	HINSDALE CENTRAL HIGH SCHOOL 5500 S. GRANT STREET HINSDALE, ILLINOIS 60521	TC	DISTRICT 86 TRANSITION CENTER 7302 CLARENDON HILLS ROAD DARIEN, ILLINOIS 60561
HS	HINSDALE SOUTH HIGH SCHOOL 7401 CLARENDON HILLS ROAD DARIEN, ILLINOIS 60561		



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(1) PAVING CONDITION SUMMARY

Building ID	P1 Priority 1	P2 Priority 2	P3 Priority 3	P4 Priority 4	Totals
HC	9,550	44,570	116,920	130,400	301,440
HS	121,050	105,271	0	124,120	350,441
TC	0	0	0	15,520	15,520
sq.ft.	130,600	149,841	116,920	270,040	667,401
%	20%	22%	18%	40%	100%

NOTES:

(3) PRIORITY DESCRIPTION

- PRIORITY 1 (P1): REPLACE 1-2 YEARS
- PRIORITY 2 (P2): REPLACE 3-5 YEARS
- PRIORITY 3 (P3): REPLACE 6-9 YEARS
- PRIORITY 4 (P4): REPLACE 10+ YEARS
- SEALCOAT EVERY 2-3 YEARS

(2) EXPENDITURES SUMMARY

Building ID	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+
HC	\$0	\$244,305	\$0	\$496,400	\$207,588	\$0	\$30,351	\$1,099,330	\$0	\$1,423,350
HS	\$0	\$854,287	\$185,603	\$62,260	\$1,076,089	\$48,285	\$0	\$264,210	\$14,817	\$1,377,959
TC	\$0	\$10,072	\$0	\$0	\$11,329	\$0	\$0	\$12,744	\$0	\$172,300
TOTALS	\$0	\$1,108,663	\$185,603	\$558,660	\$1,295,007	\$48,285	\$30,351	\$1,376,285	\$14,817	\$2,973,609

(4) COSTS INCLUDE A 4% INFLATION FROM YEAR TO YEAR BASED UPON CURRENT BUDGET ESTIMATES

HINSDALE CENTRAL HIGH SCHOOL PROGRAM SUMMARY

ID #	PAVING AREA	DESCRIPTION/ ADJACENCY	SQ.FT.	PRIORITY	PRIORITY 1 (P1)		PRIORITY 2 (P2)			PRIORITY 3 (P3)			PRIORITY 4 (P4)	RECOMMENDATION / WORK ITEM		
					2018	2019	2020	2021	2022	2023	2024	2025	2026		2027	
HC1	PA1	Northeast Drive	7,900	P1		\$71,429			\$5,767			\$6,487		Replacement in 1-2 years; Seal coating is recommended every 2-3 years after		
HC2	PA2	East Parking Lot - Baseball Field	84,000	P3		\$54,513			\$61,319			\$687,022		Replacement in 6-10 years; Seal coating is recommended every 2-3 years before and after		
HC3	PA3	Aprons - E Parking Lot	3,000	P2				\$61,418						Replacement of concrete apron in 3-5 years		
HC4	PA4	South Entry Apron	1,650	P1		\$12,375			\$1,204			\$1,355		Replacement in 1-2 years; Seal coating is recommended every 2-3 years		
HC5	PA5	South Parking Lot - Baseball Field	32,920	P3		\$21,364			\$24,031			\$297,390		Replacement in 6-10 years; Seal coating is recommended every 2-3 years before and after		
HC6	PA6	South Parking Lot - Pool	46,960	P4		\$30,475			\$34,280			\$38,561	\$462,872	Replacement in 10+ years; Seal coating is recommended every 2-3 years before and after		
HC7	PA7	South Access Drive	7,300	P4		\$4,737			\$5,329			\$5,994	\$81,043	Replacement in 10+ years; Seal coating is recommended every 2-3 years before and after		
HC8	PA8	North Receiving Lot	8,500	P4		\$5,516			\$26,279.70			\$6,980	\$94,366	Replacement in 10+ years; Seal coating is recommended every 2-3 years before and after		
HC9	PA9	Apron - S Parking Lot Pool	130	P2				\$2,661						Replacement of concrete apron in 3-5 years		
HC10	PA10	NOT USED														
HC11	PA11	East Entry Parking Lot	18,560	P4		\$12,045			\$13,549			\$15,240	\$206,050	Replacement in 10+ years; Seal coating is recommended every 2-3 years before and after		
HC12	PA12	Apron - N/S East Entry Parking Lot	400	P2				\$8,189						Replacement of concrete apron in 3-5 years		
HC13	PA13	Apron - E/W North Parking Lot	1,500	P2				\$30,709						Replacement of concrete apron in 3-5 years		
HC14	PA14	North Parking Lot	23,920	P4		\$15,523			\$17,461			\$19,642	\$265,556	Replacement in 10+ years; Seal coating is recommended every 2-3 years before and after		
HC15	PA15	NOT USED														
HC16	PA16	Stadium Drive	18,840	P2				\$165,301		\$14,875			\$16,733	Replacement in 3-5 years, Seal coating is recommended every 2-3 years after		
HC17	PA17	West Asphalt Drives	8,100	P2				\$71,069		\$6,395			\$7,194	Replacement in 3-5 years, Seal coating is recommended every 2-3 years after		
HC18	PA18	Athletic Loop	25,160	P4		\$16,328			\$18,367			\$20,660	\$279,322	Replacement in 10+ years; Seal coating is recommended every 2-3 years before and after		
HC19	PA19	Apron - S Athletic Loop	1,100	P2				\$22,520						Replacement of concrete apron in 3-5 years		
HC20	PA20	West Admin Parking Lot	6,000	P2				\$70,192		\$4,737			\$5,329	Replacement in 3-5 years, Seal coating is recommended every 2-3 years after		
HC21	PA21	Northeast Parking Lot	5,500	P2				\$64,342		\$4,343			\$4,885	Replacement in 3-5 years, Seal coating is recommended every 2-3 years after		
					301,440	sq.ft.	\$0	\$244,305	\$0	\$496,400	\$207,588	\$0	\$30,351	\$1,099,330	\$0	\$1,423,350

HINSDALE SOUTH HIGH SCHOOL PROGRAM SUMMARY

ID #	PAVING AREA	DESCRIPTION/ ADJACENCY	SQ.FT.	PRIORITY	PRIORITY 1 (P1)		PRIORITY 2 (P2)			PRIORITY 3 (P3)			PRIORITY 4 (P4)	RECOMMENDATION / WORK ITEM
					2018	2019	2020	2021	2022	2023	2024	2025	2026	
HS1	PA1	North Parking Lot	112,400	P4		\$72,943			\$82,051			\$92,296	\$1,247,846	Replacement in 10+ years; Seal coating is recommended every 2-3 years before and after
HS2	PA2	Aprons E/W- North Parking Lot	1,450	P2					\$30,873					Replacement of concrete aprons in 3-5 years
HS3	PA3	NOT USED												
HS4	PA4	West Service Drive	40,000	P2		\$25,958			\$364,996			\$32,846		Replacement in 3-5 years; Seal coating is recommended every 2-3 years before and after
HS5	PA5	Front Entry Drop-Off	17,350	P1			\$185,603			\$13,172		\$14,817		Replacement in 1-2 years; Seal coating is recommended every 2-3 years after
HS6	PA6	West Front Entry Parking Lot	11,720	P4		\$7,606			\$8,556			\$9,624	\$130,113	Replacement in 10+ years; Seal coating is recommended every 2-3 years before and after
HS7	PA7	Apron S - Front Entry Parking Lot	1,560	P2						\$19,612				Replacement of concrete aprons in 3-5 years
HS8	PA8	Apron N - Front Entry Parking Lot	1,225	P2						\$15,500				Replacement of concrete aprons in 3-5 years
HS9	PA9	East Stadium Parking Lot	103,700	P1		\$712,774			\$75,700			\$85,152		Replacement in 1-2 years; Seal coating is recommended every 2-3 years after
HS10	PA10	Apron N - East Stadium Parking Lot	7,096	P2				\$62,260						Replacement of concrete aprons in 3-5 years
HS11	PA11	North Stadium Lot	19,520	P2		\$12,668			\$178,118			\$16,029		Replacement in 3-5 years; Seal coating is recommended every 2-3 years before and after
HS12	PA12	West Drive	22,300	P2		\$14,472			\$211,698			\$18,311		Replacement in 3-5 years; Seal coating is recommended every 2-3 years before and after
HS13	PA13	Stadium Loop	12,120	P2		\$7,865			\$124,099			\$9,952		Replacement in 3-5 years; Seal coating is recommended every 2-3 years before and after
\$0														
			350,441 sq.ft.		\$0	\$854,287	\$185,603	\$62,260	\$1,076,089	\$48,285	\$0	\$264,210	\$14,817	\$1,377,959

DISTRICT 86 TRANSITION CENTER PROGRAM SUMMARY

ID #	PAVING AREA	DESCRIPTION/ ADJACENCY	SQ.FT.	PRIORITY	PRIORITY 1 (P1)		PRIORITY 2 (P2)			PRIORITY 3 (P3)			PRIORITY 4 (P4)	RECOMMENDATION / WORK ITEM
					2018	2019	2020	2021	2022	2023	2024	2025	2026	
HS1	PA1	North Parking Lot	15,520	P4		\$10,072			\$11,329			\$12,744	\$172,300	Replacement in 10+ years; Seal coating is recommended every 2-3 years before and after
			15,520 sq.ft.		\$0	\$10,072	\$0	\$0	\$11,329	\$0	\$0	\$12,744	\$0	\$172,300

ROOF ASSET MANAGEMENT PROGRAM
Hinsdale Township High School District 86



ARCON Project #: 17070

ID	BUILDING NAME	ID	BUILDING NAME
HC	HINSDALE CENTRAL HIGH SCHOOL 5500 S. GRANT STREET HINSDALE, ILLINOIS 60521	AD	ADMINISTRATION BUILDING 5500 S. GRANT STREET HINSDALE, ILLINOIS 60521
HS	HINSDALE SOUTH HIGH SCHOOL 7401 CLARENDON HILLS ROAD DARIEN, ILLINOIS 60561	TR	THE TRANSITION CENTER 7302 CLARENDON HILLS ROAD DARIEN, ILLINOIS 60561

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(1) ROOF CONDITION SUMMARY

Building ID	P1 Priority 1	P2 Priority 2	P3 Priority 3	P4 Priority 4	P5 Priority 5	Totals
HC	8,447	112,755	90,844	25,018	25,490	262,554 sq.ft.
HS	12,596	164,156	4,614	32,183	11,275	224,824 sq.ft.
AD	0	0	0	4,612	0	4,612 sq.ft.
TR	0	0	0	0	11,744	11,744 sq.ft.
sq.ft.	21,043	276,911	95,458	61,813	48,509	503,734 sq.ft.
%	4%	55%	19%	12%	10%	100%

(2) EXPENDITURES SUMMARY

Building ID	2018	2019	2020	2021	2022	2023-2027	Totals
HC	\$295,500	\$1,331,129	\$5,949	\$1,418,030	\$1,353,685	\$2,561,712	\$6,966,005
HS	\$385,500	\$3,379,054	\$5,949	\$887,355	\$793,164	\$92,306	\$5,543,328
AD	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TR	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTALS	\$681,000	\$4,710,182	\$11,898	\$2,305,385	\$2,146,849	\$2,654,019	\$12,509,333

REPLACEMENT

YEARS	(3) PRIORITY DESCRIPTION
2018	PRIORITY 1 (P1): EMERGENCY OR CURRENTLY EXPERIENCING ISSUES, REPLACEMENT WITHIN ONE (1) YEAR
2019 - 2022	PRIORITY 2 (P2): POOR OR SEVERELY AGED CONDITION AND / OR BASED ON AGE OF ROOF, PLAN FOR REPLACEMENT IN 2-5 YEARS
2023 - 2027	PRIORITY 3 (P3): FAIR CONDITION, EXPERIENCING TYPICAL AGING AND / OR BASED ON AGE OF ROOF, PLAN FOR REPLACEMENT IN 6-10 YEARS
2028 - 2037	PRIORITY 4 (P4): GOOD CONDITION, EXPERIENCING EARLY STAGES OF AGING AND / OR BASED ON AGE OF ROOF, PLAN FOR REPLACEMENT IN 10 + YEARS
2038 - 2042	PRIORITY 5 (P5): NEW, ROOF HAS BEEN REPLACED WITHIN THE PAST 5 YEARS, PREVENTIVE MAINTENANCE

(4) SUMMARY OF ROOF MEMBRANE TYPES IN INVENTORY

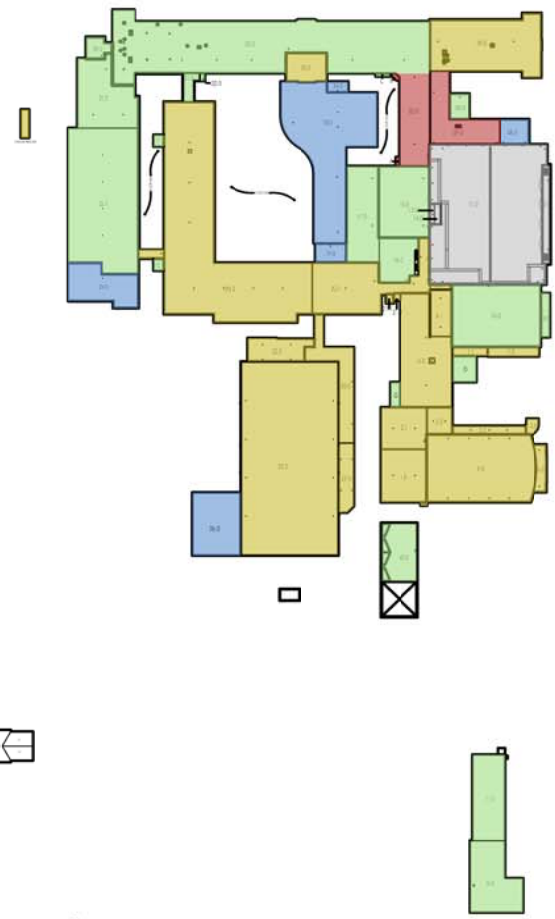
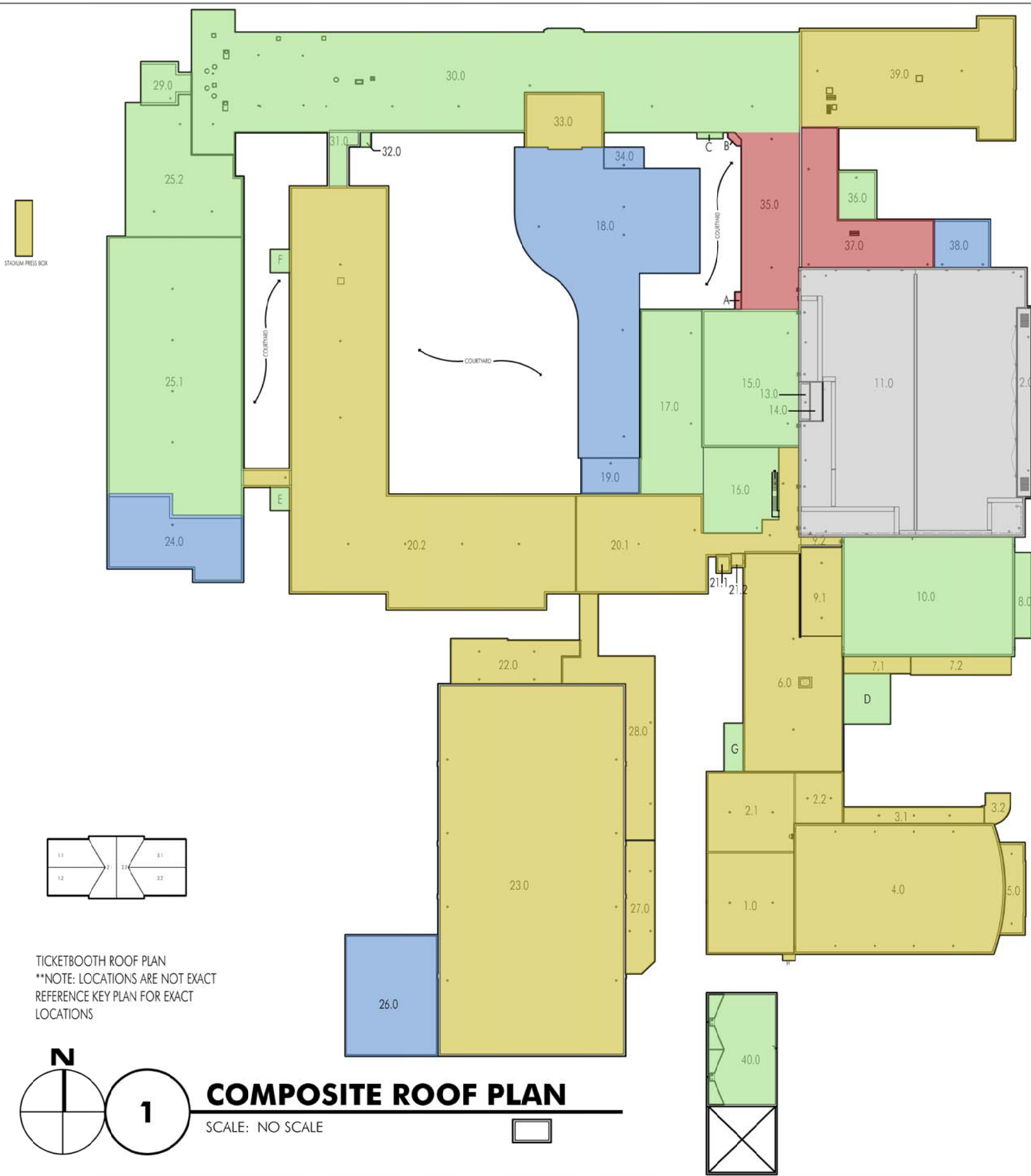
%	ID	ROOF TYPE
85.70%	ABUR-G	ASPHALT BUILT-UP ROOF MEMBRANE W/ GRAVEL SURFACING
2.30%	AS-L	ASPHALT SHINGLES, LAMINATED
0.36%	EPDM-A	EPDM ADHERED ROOF MEMBRANE
2.23%	MB GR	MODIFIED BITUMEN ROOF MEMBRANE W/ GRANULE SURFACING
0.37%	MB-GR-A	MODIFIED BITUMEN ROOF MEMBRANE W/ GRANULES AND ALUMINUM SURFACING
0.04%	MB-S	MODIFIED BITUMEN ROOF MEMBRANE W/ NO SURFACING
5.06%	PVC-A	PVC ADHERED ROOF MEMBRANE
0.02%	SS-COPPER	STANDING SEAM - COPPER
3.92%	TPO-A	TPO ADHERED ROOF MEMBRANE
100.00%	9	

(5) COSTS INCLUDE A 4% INFLATION FROM YEAR TO YEAR BASED UPON CURRENT BUDGET ESTIMATES

hinsdale central high school

HINSDALE CENTRAL HIGH SCHOOL PROGRAM SUMMARY

ID #	ROOF AREA	ROOF AREA TAG	OCCUPANCY BELOW	ROOF YEAR	SQ.FT.	PRIORITY (NOTE 3)	ROOF TYPE (NOTE 4)	ITEM TYPE	(P1) 2018	(P2) (NOTE 5)				(P3) 2023-2027	RECOMMENDATION / WORK ITEM
										2019	2020	2021	2022		
HC1	A	1.0	Music/Storage	1996	3,780	P2	ABUR-G	Roof				\$119,573			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC2	B	2.1	Music	1996	2,948	P2	ABUR-G	Roof				\$93,254			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC3	C	2.2	Buildings/Grounds	1996	1,090	P2	ABUR-G	Roof				\$34,480			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC4	D	3.1	Corridor	1996	941	P2	ABUR-G	Roof				\$29,767			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC5	D	3.2	Canopy	1996	280	P2	ABUR-G	Roof				\$8,857			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC6	E	4.0	Auditorium	1996	11,797	P2	ABUR-G	Roof				\$373,174			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC7	EE	5.0	Foyer	1996	830	P2	ABUR-G	Roof				\$26,255			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC8	F	6.0	Classroom/Office	1996	7,860	P2	ABUR-G	Roof				\$248,635			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC9	G	7.1	Corridor	1996	468	P2	ABUR-G	Roof				\$14,804			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC10	I	7.2	Canopy	1996	782	P2	ABUR-G	Roof				\$24,737			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC11	FF	8.0	Pool Storage	1997	612	P3	ABUR-G	Roof					\$20,134		2018-2021 preventive maintenance, monitor condition, replacement 2022
HC12	J	9.1	Locker Rooms	1996	1,537	P2	ABUR-G	Roof				\$48,620			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC13	J	9.2	Locker Rooms	1996	139	P2	ABUR-G	Roof				\$4,397			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC14	K	10.0	Pool	1997	8,337	P3	ABUR-G	Roof					\$274,273		2018-2021 preventive maintenance, monitor condition, replacement 2022
HC15	L	11.0	Gymnasium	2015	24,051	P5	PVC-A	Roof							2018-2027 preventive maintenance, monitor condition
HC16	L	12.0	Mech. Penthouse	2015	1,103	P5	PVC-A	Roof							2018-2027 preventive maintenance, monitor condition
HC17	L	13.0	Mech. Penthouse	2015	128	P5	PVC-A	Roof							2018-2027 preventive maintenance, monitor condition
HC18	L	14.0	Mech. Penthouse	2015	208	P5	PVC-A	Roof							2018-2027 preventive maintenance, monitor condition
HC19	M	15.0	Wrestling Room	1998	5,721	P3	ABUR-G	Roof						\$195,740	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC20	N	16.0	Kitchen	2001	2,585	P3	ABUR-G	Roof						\$99,487	2018-2025 preventive maintenance, monitor condition, replacement 2026
HC21	O	17.0	Cafeteria	2001	4,904	P3	ABUR-G	Roof						\$188,737	2018-2025 preventive maintenance, monitor condition, replacement 2026
HC22	BB	18.0	Library	2003	13,840	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HC23	P	19.0	Vestibule	2003	863	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HC24	Q	20.1	Classrooms	1997	6,746	P2	ABUR-G	Roof					\$221,932		2018-2021 preventive maintenance, monitor condition, replacement 2022
HC25	R	20.2	Classrooms	1997	25,134	P2	ABUR-G	Roof					\$826,866		2018-2021 preventive maintenance, monitor condition, replacement 2022
HC25	Q	21.1	Elevator	1997	65	P2	ABUR-G	Roof					\$2,138		2018-2021 preventive maintenance, monitor condition, replacement 2022
HC25	Q	21.2	Elevator	1997	58	P2	ABUR-G	Roof					\$1,908		2018-2021 preventive maintenance, monitor condition, replacement 2022
HC28	I I	22.0	Classrooms	1991	2,223	P2	ABUR-G	Roof		\$65,015					2018 preventive maintenance, monitor condition, replacement 2019
HC29	JJ	23.0	Field House	1993	29,808	P2	ABUR-G	Roof		\$871,779					2018 preventive maintenance, monitor condition, replacement 2019
HC30	S	24.0	Classrooms	2003	4,068	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HC31	T	25.1	Classrooms	1998	15,810	P3	ABUR-G	Roof						\$540,927	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC32	U	25.2	Classrooms	1998	5,557	P3	ABUR-G	Roof						\$190,128	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC33	KK	26.0	Fitness Center	2008	4,757	P4	TPO-A	Roof							2018-2027 preventive maintenance, monitor condition
HC34	GG	27.0	Storage	1993	1,546	P2	ABUR-G	Roof		\$45,215					2018 preventive maintenance, monitor condition, replacement 2019
HC35	HH	28.0	Storage/Lck. Rm.	1996	3,415	P2	ABUR-G	Roof				\$108,027			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC36	V	29.0	Stair/Office	1998	775	P3	EPDM-A	Roof						\$26,516	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC37	W	30.0	Classrooms	1998	25,111	P3	ABUR-G	Roof						\$859,153	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC38	W	31.0	Elev./Corridor	1998	462	P3	ABUR-G	Roof						\$15,807	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC39	W	32.0	Canopy	1998	65	P3	ABUR-G	Roof						\$2,224	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC40	AA	33.0	Classrooms	1994	1,845	P2	MB-GR-A	Roof		\$53,960					2018 preventive maintenance, monitor condition, replacement 2019
HC41	CC	34.0	Stairs	2003	315	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HC42	X	35.0	Classrooms	1988	4,378	P1	ABUR-G	Roof	\$140,000						replacement 2018
HC43	DD	36.0	Classroom	1998	624	P3	ABUR-G	Roof						\$21,350	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC44	X	37.0	Classrooms/Office	1988	3,978	P1	ABUR-G	Roof	\$140,000						replacement 2018
HC45	Y	38.0	Canopy	2008	1,175	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HC46	Z	39.0	Classrooms	1988	9,435	P2	ABUR-G	Roof		\$275,940					2018 preventive maintenance, monitor condition, replacement 2019
HC47	Mechanical	40.0	Mechanical	2001	8,737	P3	TPO-A	Roof				\$276,377			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC48	Canopy	A	Canopy	2001	44	P1	SS-COPPER	Roof	\$5,000						replacement 2018
HC49	Canopy	B	Canopy	2001	47	P1	SS-COPPER	Roof	\$5,000						replacement 2018
HC50	Canopy	C	Canopy	2001	68	P3	AS-L	Roof						\$1,812	2018-2025 preventive maintenance, monitor condition, replacement 2026
HC51	Canopy/H	D	Canopy	2001	986	P3	ABUR-G	Roof						\$37,948	2018-2025 preventive maintenance, monitor condition, replacement 2026
HC52	Canopy	E	Canopy	2001	190	P3	ABUR-G	Roof						\$7,312	2018-2025 preventive maintenance, monitor condition, replacement 2026
HC53	Canopy	F	Canopy	2001	190	P3	MB-S	Roof						\$7,312	2018-2025 preventive maintenance, monitor condition, replacement 2026
HC52	Canopy	G	Canopy	2001	370	P3	ABUR-G	Roof						\$14,240	2018-2025 preventive maintenance, monitor condition, replacement 2026
HC53	Canopy	H	Canopy	2001	28	P2	MB-S	Roof				\$886			2018-2020 preventive maintenance, monitor condition, replacement 2021
HC54	Maintenance	41.0	Maintenance		4,430	P3	ABUR-G	Roof						\$151,569	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC55	Maintenance	42.0	Maintenance		4,910	P3	ABUR-G	Roof						\$167,992	2018-2022 preventive maintenance, monitor condition, replacement 2023
HC56	Stadium Press Box		Stadium Press Box		400	P3	EPDM-A	Roof		\$13,500					2018 preventive maintenance, monitor condition, replacement 2019
	All	All							\$5,500	\$5,720	\$5,949	\$6,187	\$6,434	\$33,458	general preventive maintenance
TOTALS					252,814 sq.ft.				\$295,500	\$1,331,129	\$5,949	\$1,418,030	\$1,353,685	\$2,561,712	



MAINTENANCE ROOF PLAN
**NOTE: LOCATIONS ARE NOT EXACT
REFERENCE KEY PLAN FOR EXACT
LOCATIONS

ROOF PRIORITY LEGEND

- PRIORITY 1 (P1) - 1 YEAR
- PRIORITY 2 (P2) - 2-5 YEARS
- PRIORITY 3 (P3) - 6-10 YEARS
- PRIORITY 4 (P4) - 10+ YEARS
- PRIORITY 5 (P5) - NEW

NOTE:
REFER TO SPREADSHEET DOCUMENT FOR
DETAILED DESCRIPTION OF THE ABOVE

BUILDING AND ENVELOPE CONSULTING

at
HINSDALE CENTRAL HIGH SCHOOL
5500 S. Grant St.
Hinsdale, Illinois
HINSDALE SOUTH HIGH SCHOOL
7401 Clarendon Hills Rd.
Darien, Illinois

for the
BOARD of EDUCATION
Hinsdale Township
High School District 86
5500 S. Grant St.
Hinsdale, Illinois 60521



REVISIONS		
No.	Date	By

Project Number:
17070
Issue Date:
November 12, 2017
Drawn by:
MAH
Sheet Title
**ROOF PLAN
CENTRAL H.S.**
Sheet Number



architects
construction managers
roof & masonry consultants
landscape architects

2050 south linley road, suite 40
lombard, illinois 60148
p: 630.455.1900
www.arconassoc.com

**BUILDING AND
ENVELOPE
CONSULTING**

at
**HINSDALE CENTRAL
HIGH SCHOOL**
5500 S. Grant St.
Hinsdale, Illinois

**HINSDALE SOUTH
HIGH SCHOOL**
7401 Clarendon Hills Rd.
Darien, Illinois

for the
BOARD of EDUCATION
Hinsdale Township
High School District 86
5500 S. Grant St.
Hinsdale, Illinois 60521



REVISIONS		
No.	Date	By

Project Number:
17070

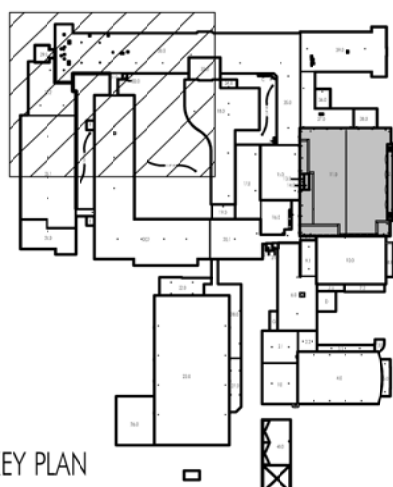
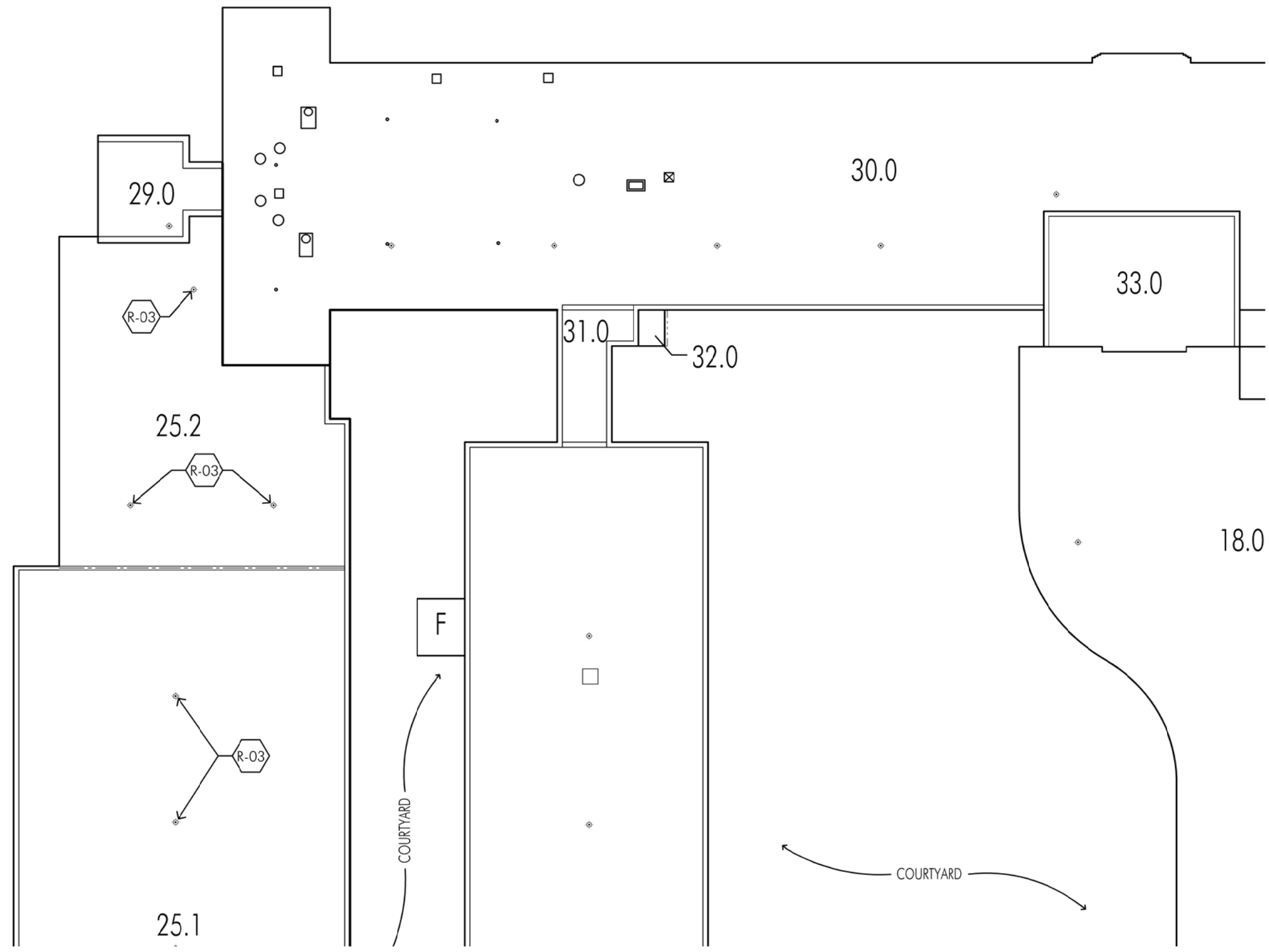
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November 12, 2017

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Sheet Title
**ROOF PLAN HCHS
ROOFING**

Sheet Number

A4.1R



PARTIAL ROOF PLAN

1"=30'-0"

HINSDALE CENTRAL KEY PLAN

**BUILDING AND
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at
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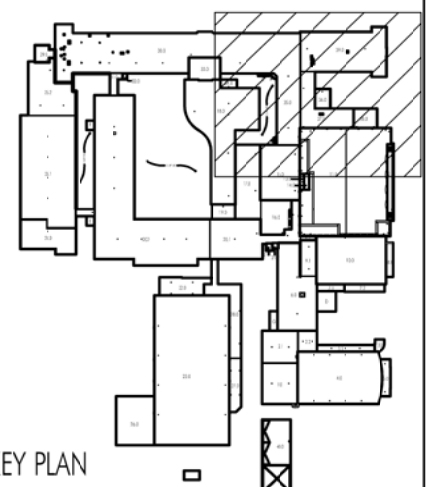
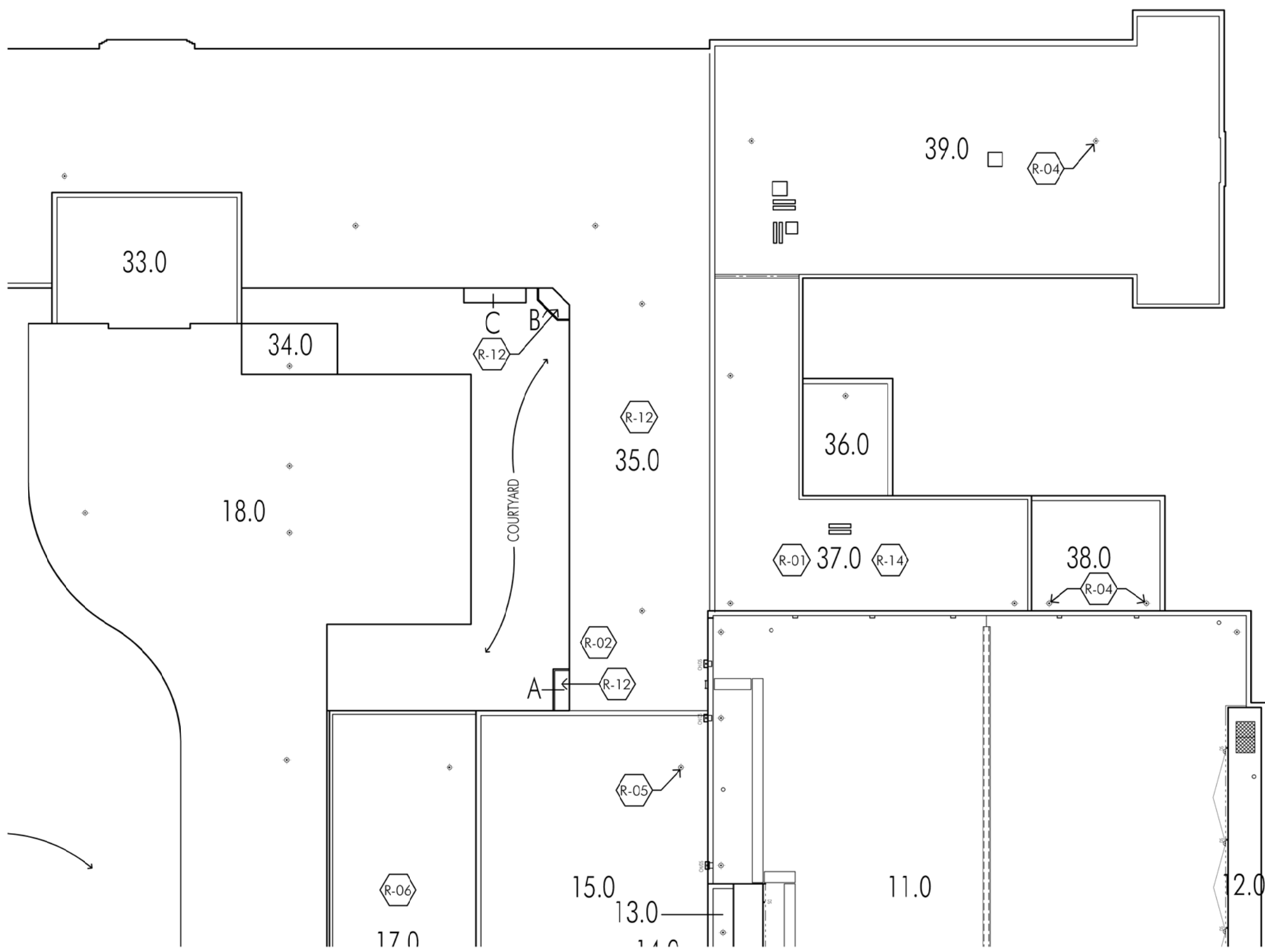
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Project Number:
17070
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**ROOF PLAN HCHS
 ROOFING**
 Sheet Number

A4.2R



PARTIAL ROOF PLAN
 1"=30'-0"

HINSDALE CENTRAL KEY PLAN



architects
construction managers
roof & masonry consultants
landscape architects

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No.	Date	By

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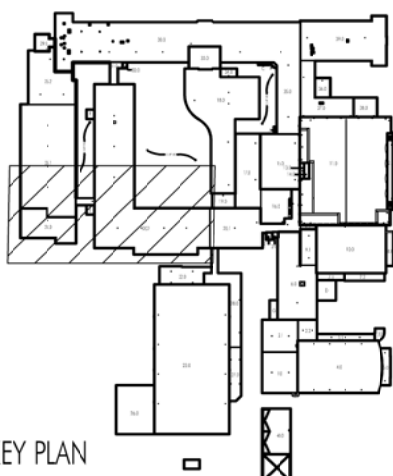
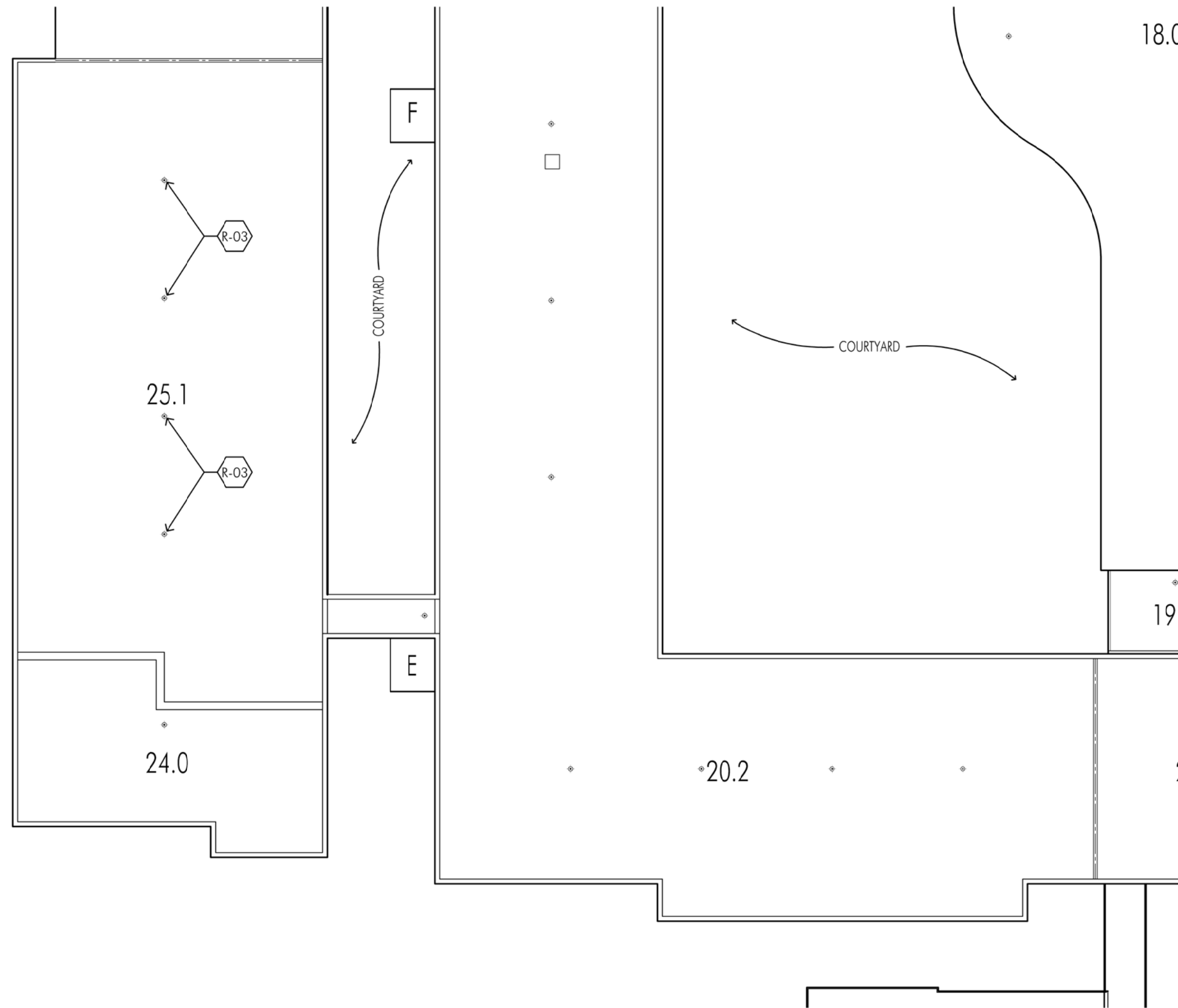
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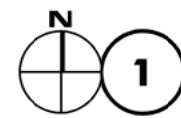
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Sheet Number

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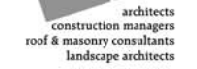


HINSDALE CENTRAL KEY PLAN



PARTIAL ROOF PLAN

1"=30'-0"



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lombard, illinois 60148
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at
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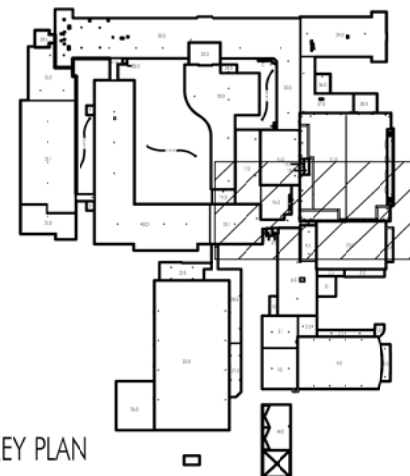


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No.	Date	By

Issue Date:
November 12, 2017

Sheet Title
**ROOF PLAN HCHS
ROOFING**

A4.4R



HINSDALE CENTRAL KEY PLAN


$$1'' = 30' - 0''$$

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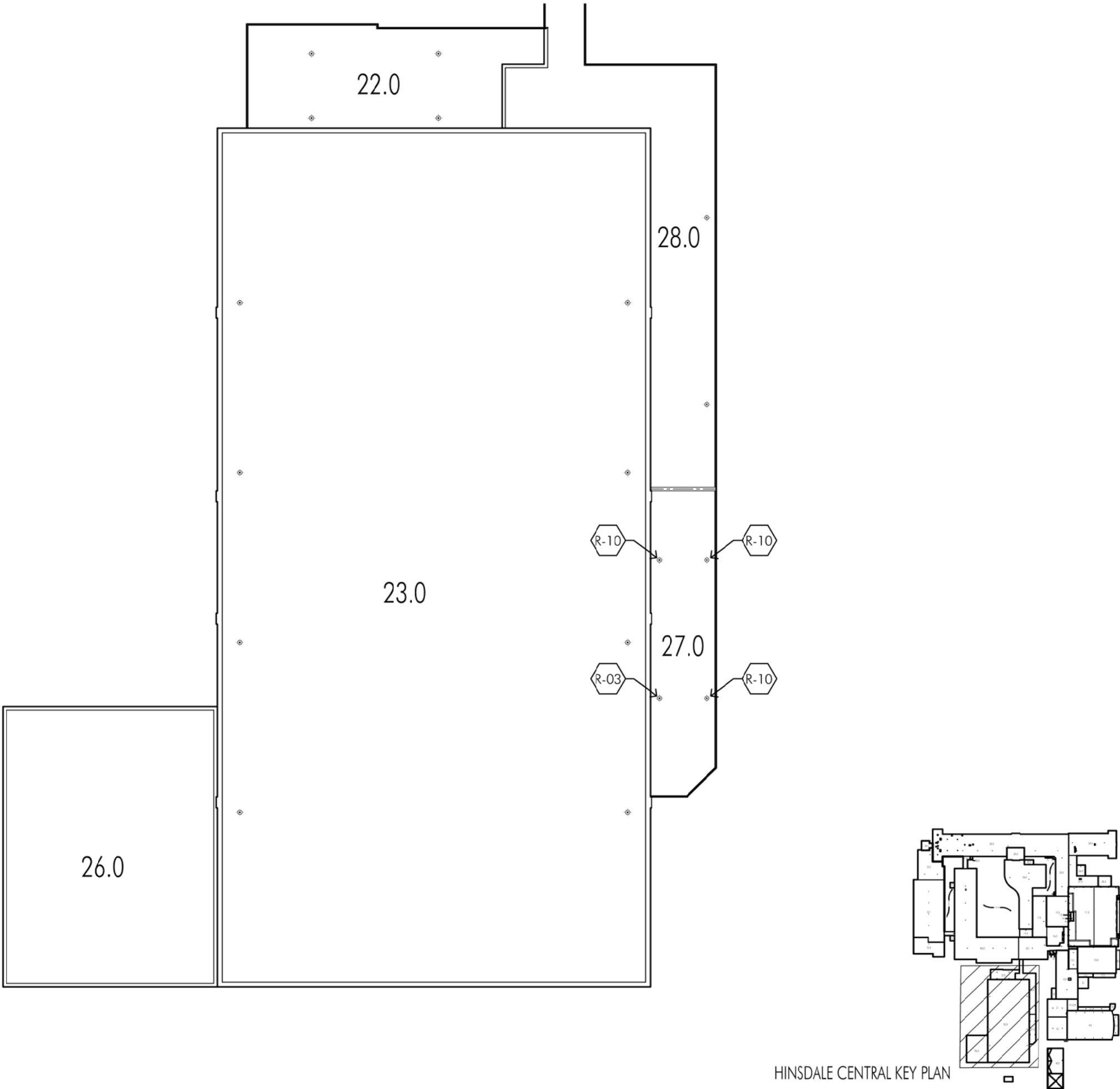
Issue Date:
November 12, 2017

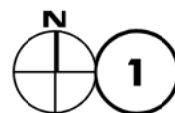
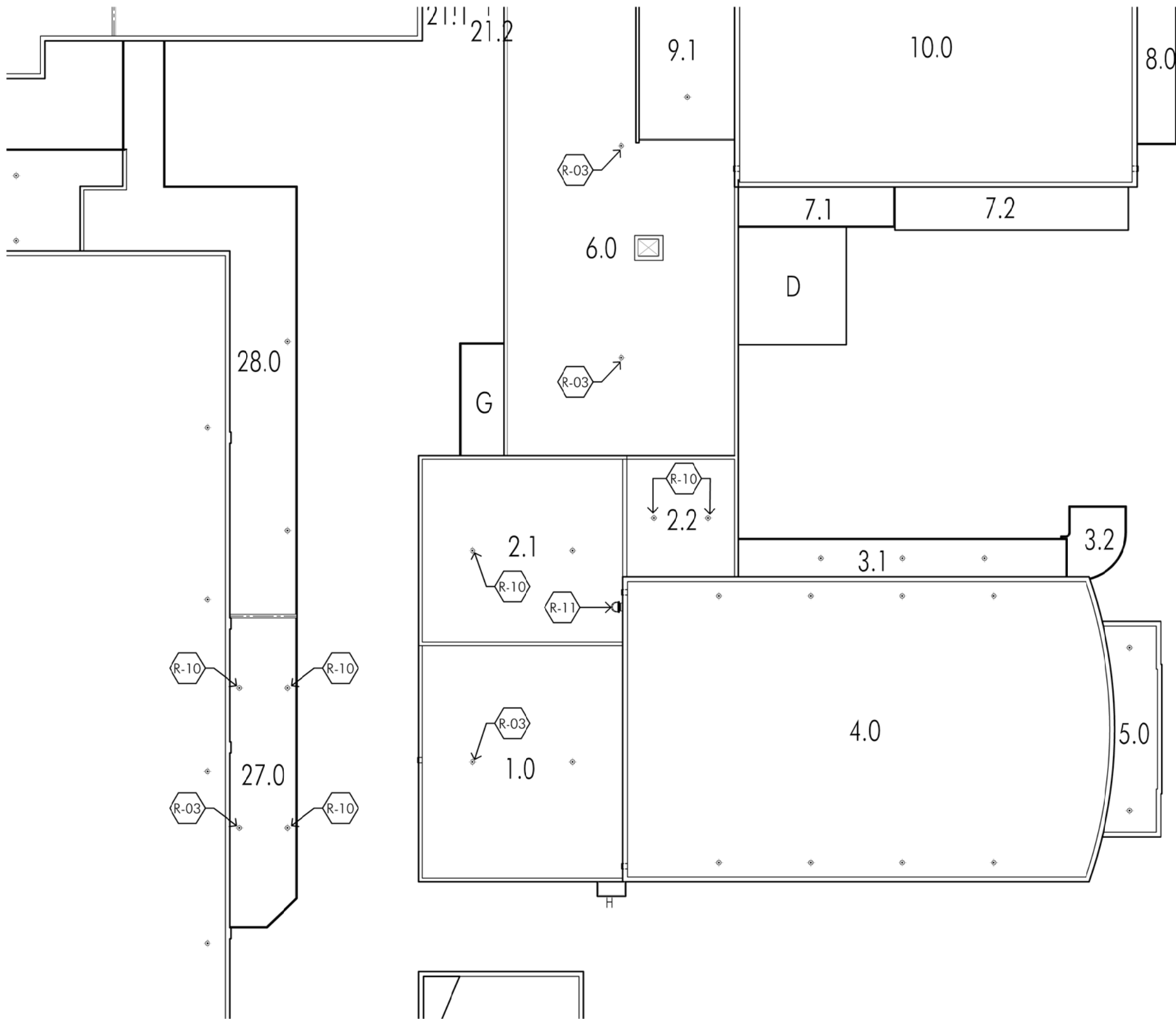
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ROOF PLAN HCHS ROOFING

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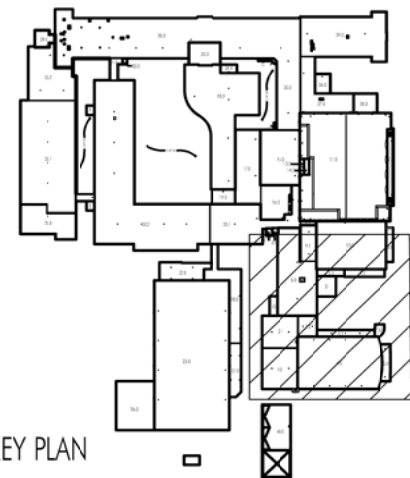
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PARTIAL ROOF PLAN

1"=30'-0"



HINSDALE CENTRAL KEY PLAN

BUILDING AND ENVELOPE CONSULTING

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ROOF PLAN HCHS ROOFING

Sheet Number

A4.6R

hinsdale south high school

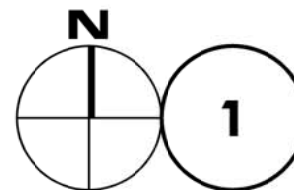
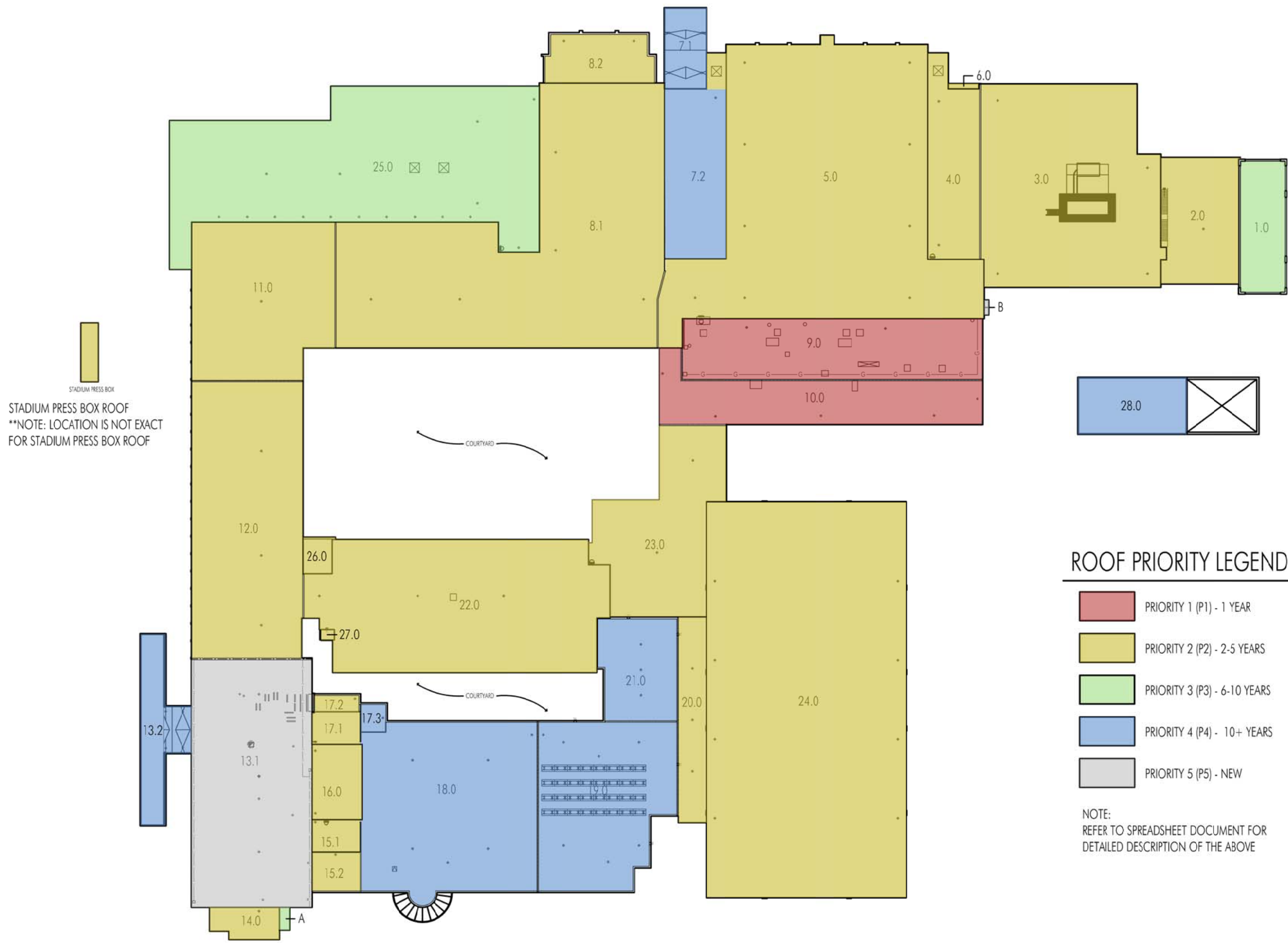
HINSDALE SOUTH HIGH SCHOOL PROGRAM SUMMARY

ID #	ROOF AREA	ROOF AREA TAG	OCCUPANCY BELOW	ROOF YEAR	SQ.FT.	PRIORITY (NOTE 3)	ROOF TYPE (NOTE 4)	ITEM TYPE	(P1) 2018	(P2) (NOTE 5)				(P3) 2023-2027	RECOMMENDATION / WORK ITEM
										2019	2020	2021	2022		
HS1	A	1.0	Buildings/Grounds	1998	1,720	P3	ABUR-G	Roof						\$58,848	2018-2022 preventive maintenance, monitor condition, replacement 2023
HS2	B	2.0	Buildings/Grounds	1988	3,765	P2	ABUR-G	Roof		\$110,113					2018 preventive maintenance, monitor condition, replacement 2019
HS3	C	3.0	Pool	1988	12,909	P2	ABUR-G	Roof		\$377,543					2018 preventive maintenance, monitor condition, replacement 2019
HS4	D	4.0	Balcony	1988	3,968	P2	ABUR-G	Roof		\$116,050					2018 preventive maintenance, monitor condition, replacement 2019
HS5	E	5.0	Gymnasium	1996	27,856	P2	ABUR-G	Roof				\$881,168			2018-2020 preventive maintenance, monitor condition, replacement 2021
HS6	Canopy #1	6.0	Canopy	1988	57	P2	ABUR-G	Roof		\$1,667					2018 preventive maintenance, monitor condition, replacement 2019
HS7	Canopy #2	7.1	Canopy	2012	1,300	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HS31	E	7.2	Gym Lobby	2012	4,000	P4	TPO-A	Roof							2018-2027 preventive maintenance, monitor condition
HS8	F	8.1	Auditorium	1994	21,433	P2	ABUR-G	Roof		\$626,839					2018 preventive maintenance, monitor condition, replacement 2019
HS9	G	8.2	Stage	1994	1,850	P2	ABUR-G	Roof		\$54,106					2018 preventive maintenance, monitor condition, replacement 2019
HS10	T	9.0	Ind. Tech, Spec.Ed.	1993	7,096	P1	ABUR-G	Roof	\$210,000						replacement 2018
HS11	U	10.0	Auto Shop / Storage	1993	5,500	P1	ABUR-G	Roof	\$170,000						replacement 2018
HS12	J	11.0	Classrooms	1997	8,056	P2	ABUR-G	Roof					\$265,029		2018-2021 preventive maintenance, monitor condition, replacement 2022
HS13	J	12.0	Classrooms	1997	11,422	P2	ABUR-G	Roof					\$375,764		2018-2021 preventive maintenance, monitor condition, replacement 2022
HS14	J	13.1	Classrooms/Library	2016	11,250	P5	MB GR	Roof							2018-2027 preventive maintenance, monitor condition
HS15	J	13.2	Main Entry	2012	2,275	P4	TPO-A	Roof							2018-2027 preventive maintenance, monitor condition
HS16	J	14.0	Stair	1997	783	P2	ABUR-G	Roof					\$25,759		2018-2021 preventive maintenance, monitor condition, replacement 2022
HS17	M	15.1	Library/Comp. Lab	1997	700	P2	ABUR-G	Roof					\$23,029		2018-2021 preventive maintenance, monitor condition, replacement 2022
HS18	M	15.2	Library/Comp. Lab	1997	570	P2	ABUR-G	Roof					\$18,752		2018-2021 preventive maintenance, monitor condition, replacement 2022
HS19	K	16.0	Library/Comp. Lab	1997	1,449	P2	ABUR-G	Roof					\$47,670		2018-2021 preventive maintenance, monitor condition, replacement 2022
HS20	L	17.1	Storage	1997	578	P2	ABUR-G	Roof					\$19,015		2018-2021 preventive maintenance, monitor condition, replacement 2022
HS21	L	17.2	Storage	1997	272	P2	ABUR-G	Roof					\$8,948		2018-2021 preventive maintenance, monitor condition, replacement 2022
HS22	N	17.3	Prep Room	2003	265	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HS23	N	18.0	Science Labs	2003	11,130	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HS24	O	19.0	Science Labs/CR	2006	8,030	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HS25	R	20.0	Storage	1999	2,410	P3	ABUR-G	Roof		\$70,484					2018 preventive maintenance, monitor condition, replacement 2019
HS26	P	21.0	Classrooms	2006	3,009	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HS27	I	22.0	Classrooms	1992	13,972	P2	ABUR-G	Roof		\$408,632					2018 preventive maintenance, monitor condition, replacement 2019
HS28	Q	23.0	Lcker Rm/ Offices	1993	6,582	P2	ABUR-G	Roof		\$192,500					2018 preventive maintenance, monitor condition, replacement 2019
HS29	S	24.0	Field House	1993	29,808	P2	ABUR-G	Roof		\$871,779					2018 preventive maintenance, monitor condition, replacement 2019
HS30	H	25.0	Kitchen/Cafeteria	1990	17,690	P2	ABUR-G	Roof		\$517,370					2018 preventive maintenance, monitor condition, replacement 2019
HS32		26.0	Classroom	1992	383	P2	ABUR-G	Roof		\$11,201					2018 preventive maintenance, monitor condition, replacement 2019
HS33		27.0	Elevator	1992	53	P2	ABUR-G	Roof		\$1,550					2018 preventive maintenance, monitor condition, replacement 2019
HS34	Canopy	A	Canopy	1997	84	P3	ABUR-G	Roof					\$2,763		2018-2021 preventive maintenance, monitor condition, replacement 2022
HS35	Canopy	B	Canopy	2016	25	P5	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HS36		28.0	Maintenance	2007	2,174	P4	ABUR-G	Roof							2018-2027 preventive maintenance, monitor condition
HS37	Stadium Press Box		Stadium Press Box		400	P3	EPDM-A	Roof		\$13,500					2018 preventive maintenance, monitor condition, replacement 2019
		All							\$5,500	\$5,720	\$5,949	\$6,187	\$6,434	\$33,458	general preventive maintenance
		TOTALS			224,424	sq.ft.			\$385,500	\$3,379,054	\$5,949	\$887,355	\$793,164	\$92,306	

BUILDING AND ENVELOPE CONSULTING

at
HINSDALE CENTRAL HIGH SCHOOL
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HINSDALE SOUTH HIGH SCHOOL
 7401 Clarendon Hills Rd.
 Darien, Illinois

for the
BOARD of EDUCATION
 Hinsdale Township
 High School District 86
 5500 S. Grant St.
 Hinsdale, Illinois 60521



COMPOSITE ROOF PLAN

SCALE: 1/64" = 1'-0"

HINSDALE SOUTH HIGH SCHOOL

REVISIONS		
No.	Date	By

Project Number:
17070
 Issue Date:
November 12, 2017
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 Sheet Title
ROOF PLAN SOUTH H.S.
 Sheet Number

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BUILDING AND ENVELOPE CONSULTING

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Hinsdale, Illinois

HINSDALE SOUTH HIGH SCHOOL

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Darien, Illinois

for the

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Hinsdale Township

High School District 86

5500 S. Grant St.

Hinsdale, Illinois 60521



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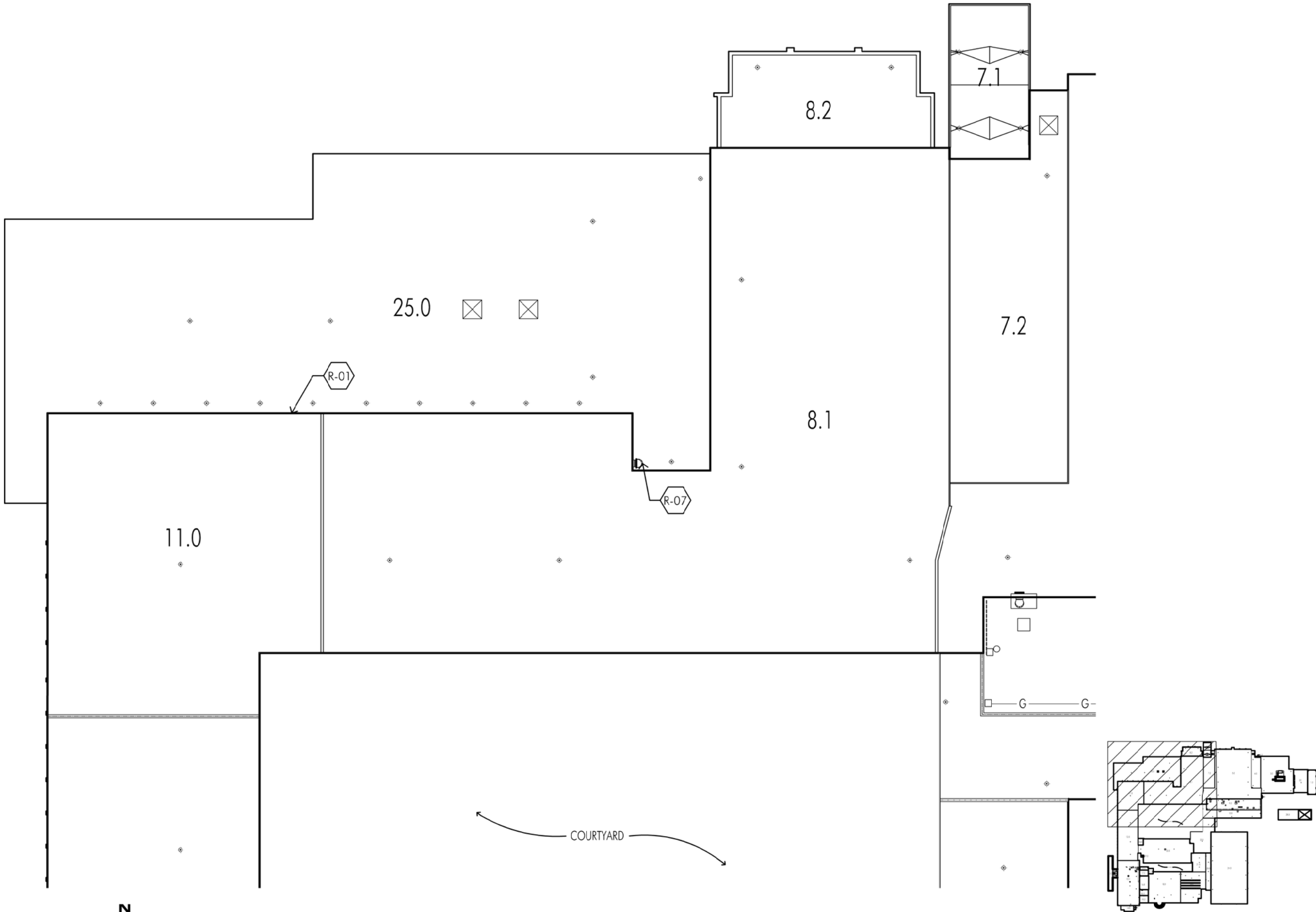
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ROOF PLAN HSHS ROOFING

Sheet Number

A4.1R



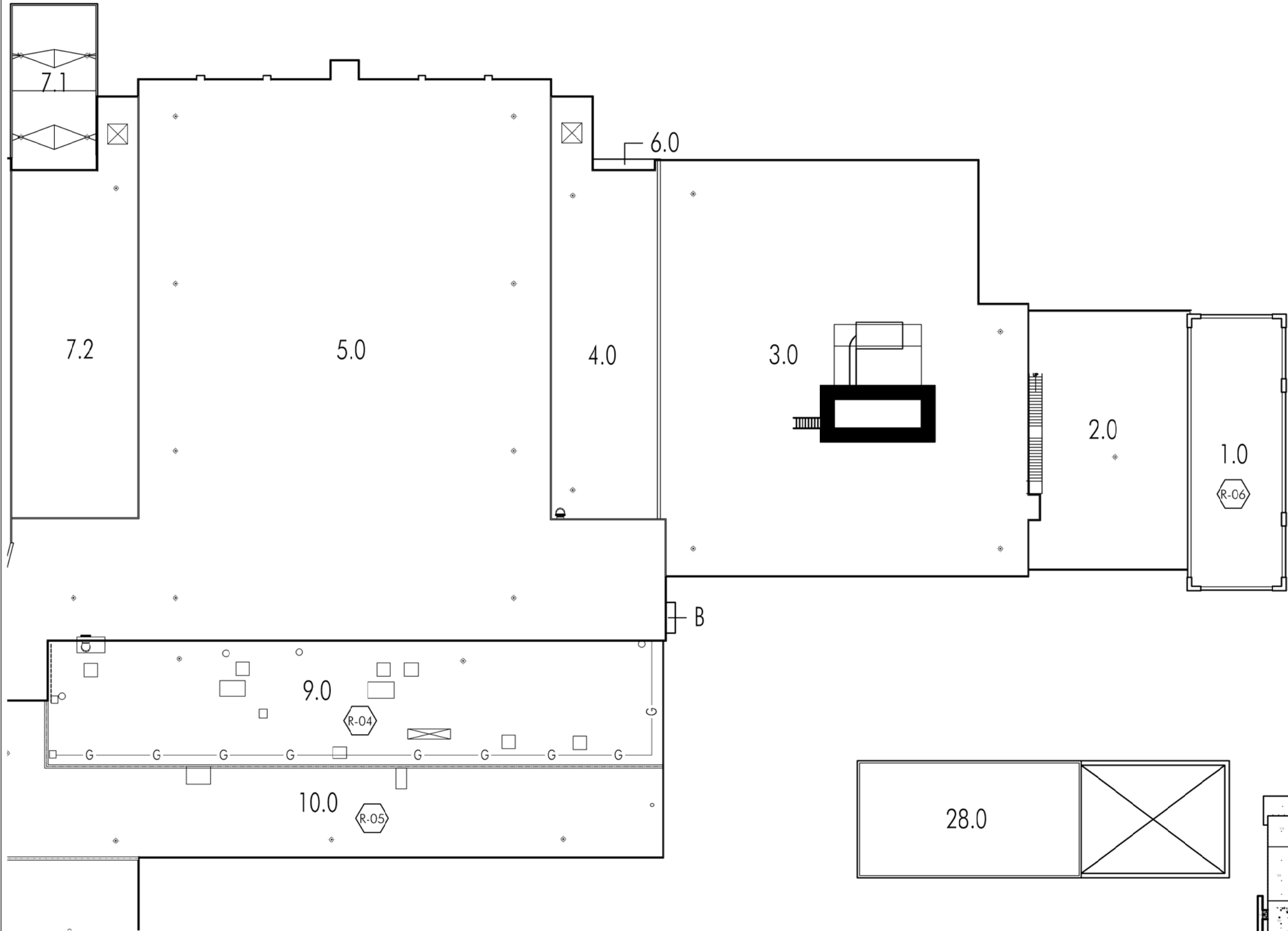
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PARTIAL ROOF PLAN

NO SCALE

HINSDALE SOUTH KEY PLAN



PARTIAL ROOF PLAN
NO SCALE

HINSDALE SOUTH KEY PLAN



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No.	Date	By

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17070
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**ROOF PLAN HSHS
ROOFING**
Sheet Number

**BUILDING AND
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 CONSULTING**

at
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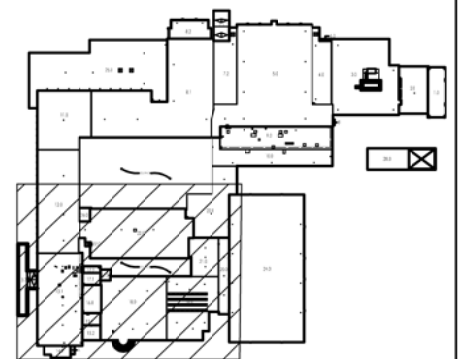
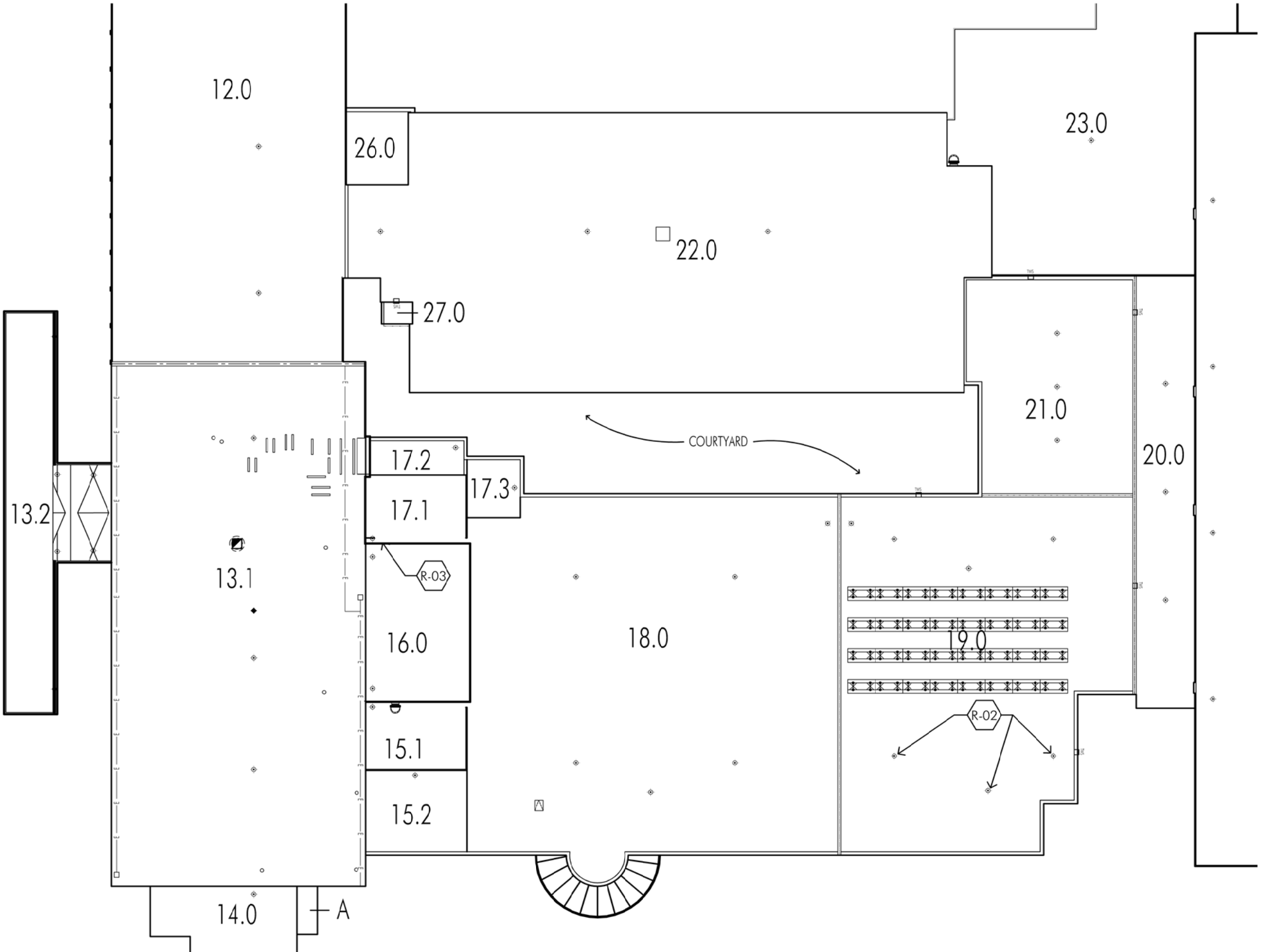
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 High School District 86
 5500 S. Grant St.
 Hinsdale, Illinois 60521



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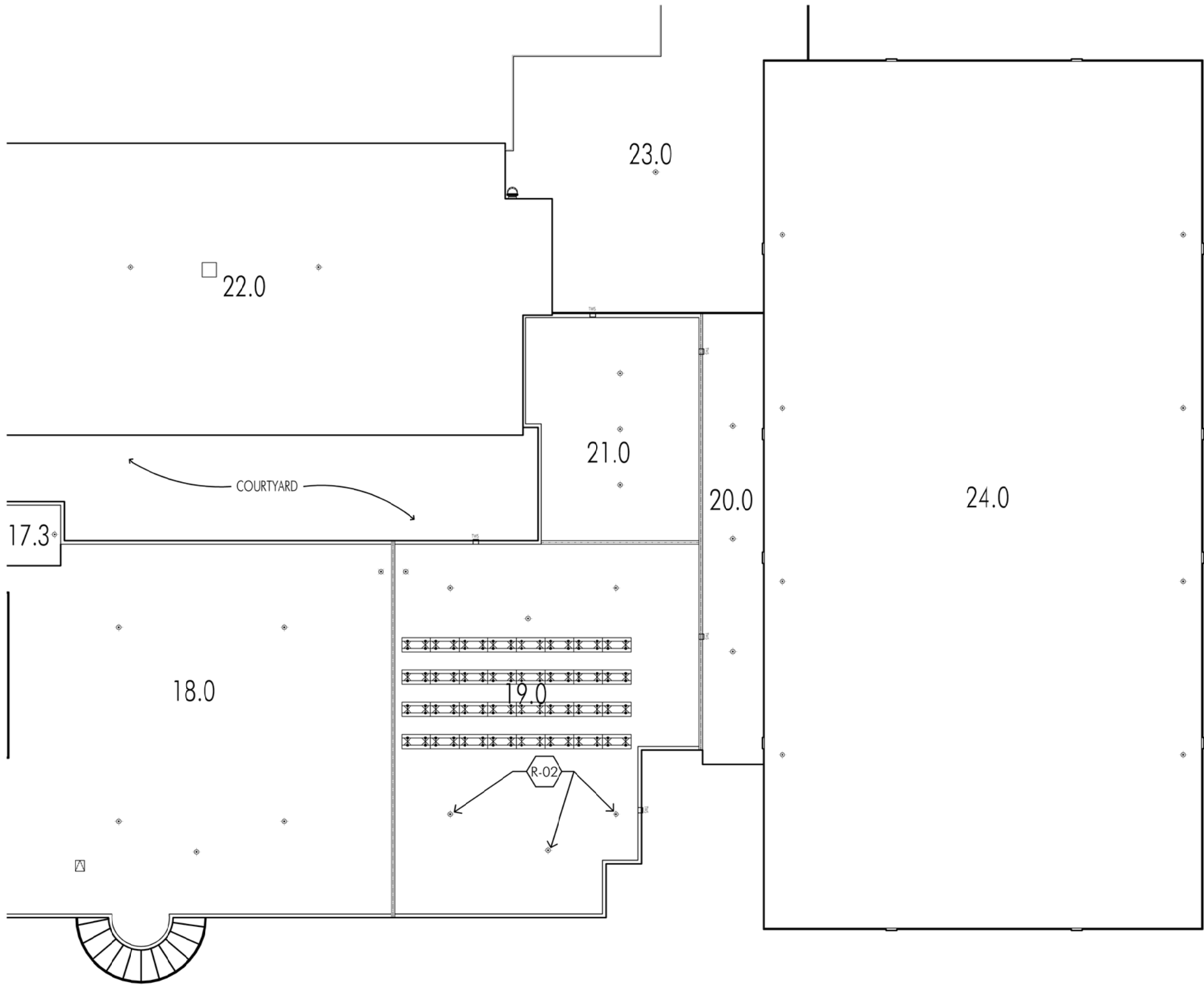
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November 12, 2017
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**ROOF PLAN HSHS
 ROOFING**
 Sheet Number

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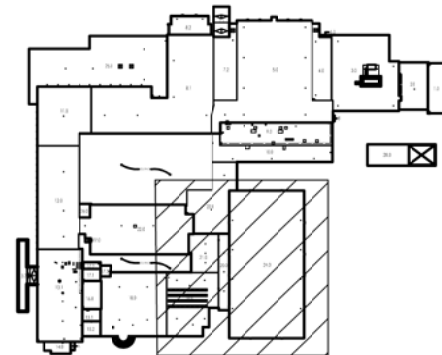


PARTIAL ROOF PLAN
 NO SCALE

HINSDALE SOUTH KEY PLAN



PARTIAL ROOF PLAN
NO SCALE



HINSDALE SOUTH KEY PLAN



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No.	Date	By

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Issue Date:
November 12, 2017
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Sheet Title
**ROOF PLAN HSHS
ROOFING**
Sheet Number

ADMINISTRATION BUILDING PROGRAM SUMMARY

ID #	ROOF AREA	ROOF AREA TAG	OCCUPANCY BELOW	ROOF YEAR	SQ.FT.	PRIORITY (NOTE 3)	ROOF TYPE (NOTE 4)	ITEM TYPE	(P1)	(P2)				(P3)	RECOMMENDATION / WORK ITEM
									2018	2019	2020	2021	2022	2023-2027	
									(NOTE 5)						
AD1	1.0	1.0	Offices	2004	4,612	P4	ABUR-G	Roof							2017-2026 preventive maintenance, monitor condition
TOTALS					4,612	sq.ft.			\$0	\$0	\$0	\$0	\$0	\$0	

TRANISTION CENTER PROGRAM SUMMARY

ID #	ROOF AREA	ROOF AREA TAG	OCCUPANCY BELOW	ROOF YEAR	SQ.FT.	PRIORITY (NOTE 3)	ROOF TYPE (NOTE 4)	ITEM TYPE	(P1) 2018	(P2)				(P3) 2023-2027	RECOMMENDATION / WORK ITEM
										2019	2020	2021	2022		
TR1		1.1	Offices/Classrooms	2016	1,554	P5	AS-L	Roof						2017-2026 preventive maintenance, monitor condition	
TR2		1.2	Offices/Classrooms	2016	2,910	P5	AS-L	Roof						2017-2026 preventive maintenance, monitor condition	
TR3		1.3	Offices/Classrooms	2016	2,910	P5	AS-L	Roof						2017-2026 preventive maintenance, monitor condition	
TR4		2.1	Offices/Classrooms	2016	1,560	P5	AS-L	Roof						2017-2026 preventive maintenance, monitor condition	
TR5		2.2	Offices/Classrooms	2016	1,560	P5	AS-L	Roof						2017-2026 preventive maintenance, monitor condition	
TR6		3.1	Mech/Classrooms	2016	510	P5	AS-L	Roof						2017-2026 preventive maintenance, monitor condition	
TR7		3.2	Offices/Classrooms	2016	510	P5	AS-L	Roof						2017-2026 preventive maintenance, monitor condition	
TR8		4.0	Corridor	2016	230	P5	EPDM-A	Roof						2017-2026 preventive maintenance, monitor condition	
TOTALS					11,744	sq.ft.			\$0	\$0	\$0	\$0	\$0	\$0	



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No.	Date	By

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ROOF PLAN

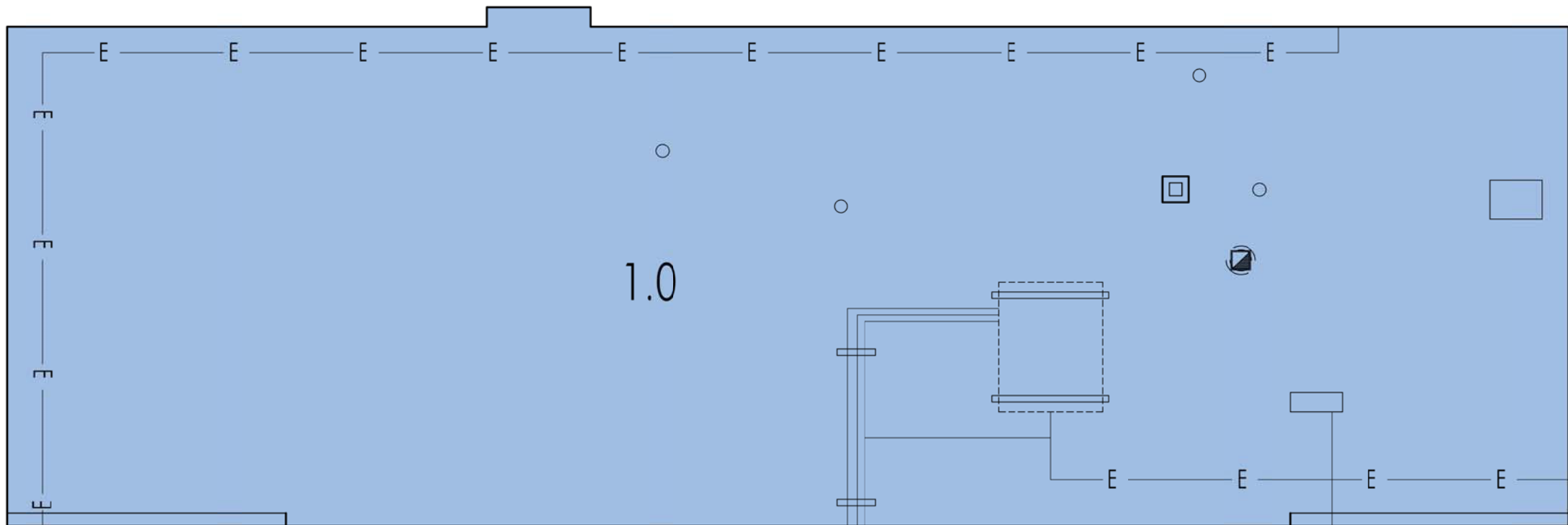
Sheet Number

ROOF PRIORITY LEGEND

- PRIORITY 1 (P1) - 1 YEAR
- PRIORITY 2 (P2) - 2-5 YEARS
- PRIORITY 3 (P3) - 6-10 YEARS
- PRIORITY 4 (P4) - 10+ YEARS
- PRIORITY 5 (P5) - NEW

NOTE:

REFER TO SPREADSHEET DOCUMENT FOR DETAILED DESCRIPTION OF THE ABOVE

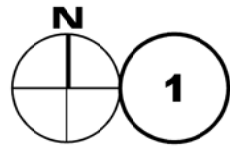


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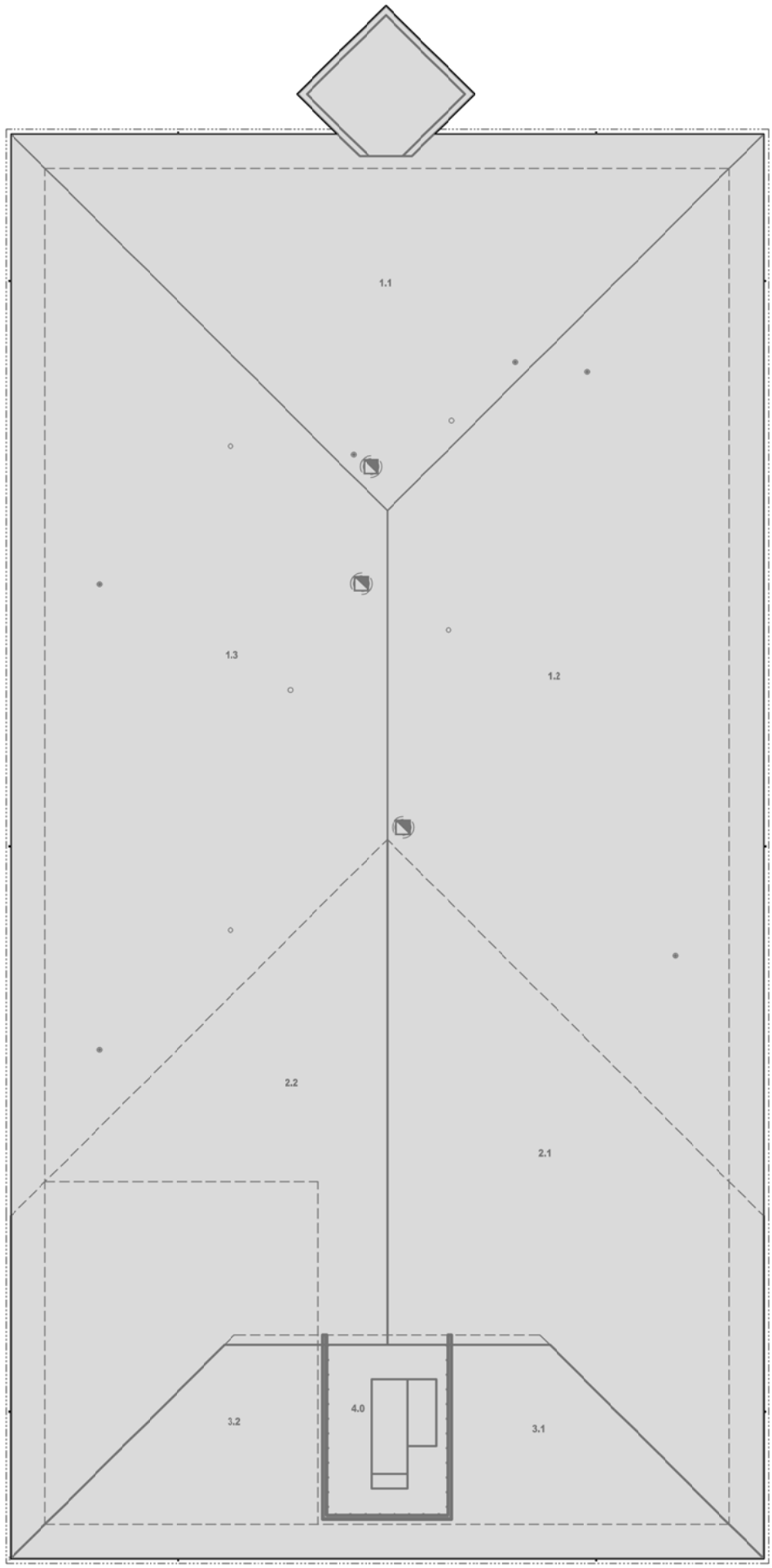
ROOF PLAN

SCALE: 3/32"=1'-0"



COMPOSITE ROOF PLAN

SCALE: 1/16"=1'-0"



ROOF PRIORITY LEGEND

-  PRIORITY 1 (P1) - 1 YEAR
-  PRIORITY 2 (P2) - 2-5 YEARS
-  PRIORITY 3 (P3) - 6-10 YEARS
-  PRIORITY 4 (P4) - 10+ YEARS
-  PRIORITY 5 (P5) - NEW

NOTE:
REFER TO SPREADSHEET DOCUMENT FOR
DETAILED DESCRIPTION OF THE ABOVE



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No.	Date	By

Project Number:
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November 12, 2017
Drawn by:
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Sheet Title
TRANSITION CENTER ROOFING
Sheet Number

A4.1TC

TRANSITION CENTER

EXTERIOR WALL ASSET MANAGEMENT PROGRAM

Hinsdale Township High School District 86

ARCON Project #: 17070

ID	BUILDING NAME	ID	BUILDING NAME
HC	HINSDALE CENTRAL HIGH SCHOOL 5500 S. GRANT STREET HINSDALE, ILLINOIS 60521	AD	ADMINISTRATION BUILDING 5500 S. GRANT STREET HINSDALE, ILLINOIS 60521
HS	HINSDALE SOUTH HIGH SCHOOL 7401 CLARENDON HILLS ROAD DARIEN, ILLINOIS 60561	TC	THE TRANSITION CENTER 7302 CLARENDON HILLS ROAD DARIEN, ILLINOIS 60561



DRAFT V.1

(2) EXPENDITURES SUMMARY

Building										
ID	Base Cost	2018	2019	2020	2021	2022	2023-2027	Totals		
HC	\$896,155	\$99,840	\$0	\$0	\$0	\$0	\$0	\$99,840		
HS	\$1,170,719	\$0	\$0	\$0	\$0	\$0	\$0	\$99,840		
TOTALS	\$2,066,874	\$99,840	\$0	\$0	\$0	\$0	\$0	\$199,680		

hinsdale central high school

HINSDALE CENTRAL HIGH SCHOOL PROGRAM SUMMARY

ID #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Roof Priority (Note 3)	Base Cost	(P1)	(P2)				(P3)	Recommendation / Work Item
								2018	2019	2020	2021	2022	2023-2027	
	A	Roof Area 1.0	Music/Storage						(Note 5)					
				South Elevation										
W-06	A	RA1.0	Music/Storage	Paint lintels	66 SF		\$660							
W-10	A	RA1.0	Music/Storage	Replace sealant at louver	10 LF		\$200							
W-11	A	RA1.0	Music/Storage	Replace cracked brick and point	25 SF		\$2,125							
				West Elevation										
W-06	A	RA1.0	Music/Storage	Paint lintels	45 SF		\$450							
W-26	A	RA1.0	Music/Storage	Install new guardrail and handrail	10 LF		\$1,000							
W-27	A	RA1.0	Music/Storage	Replace Guardrail	24 LF		\$1,200							
	B	Roof Area 2.1	Music											
				West Elevation										
W-05	B	RA2.1	Music	Grind and point deteriorated masonry	15 SF		\$225							
W-06	B	RA2.1	Music	Paint lintels	15 SF		\$150							
W-11	B	RA2.1	Music	Replace cracked brick and point	40 SF		\$3,400							
W-28	B	RA2.1	Music	Replace brick	50 units		\$1,750							
	C	Roof Area 2.2	Buildings/Grounds											
				East Elevation										
W-04	C	RA2.2	Buildings/Grounds	Replace wall sealant	15 LF		\$375							
W-05	C	RA2.2	Buildings/Grounds	Grind and point deteriorated masonry	680 SF		\$10,200							
	D	Roof Area 3.1	Corridor											
				North Elevation										
W-03	D	RA3.1	Corridor	Replace window sealant	30 LF		\$600							
W-05	D	RA3.1	Corridor	Grind and point deteriorated masonry	1,800 SF		\$27,000							
	D	Roof Area 3.2	Canopy											
				North Elevation										
W-21	D	RA3.2	Canopy	Paint bottom of canopy	300 SF		\$10,500							
	E	Roof Area 4.0	Auditorium											
				North Elevation										
W-50	E	RA4.0	Auditorium	Grind and point deteriorated masonry	3,250 SF		\$48,750							
W-60	E	RA4.0	Auditorium	Provide new sealant at coping stone joints	33 LF		\$813							
W-61	E	RA4.0	Auditorium	Provide new masonry control joints	50 LF		\$2,500							
				East Elevation										
W-05	E	RA4.0	Auditorium	Grind and point deteriorated masonry	50 SF		\$750							
W-11	E	RA4.0	Auditorium	Replace cracked brick and point	55 SF		\$4,675							
W-60	E	RA4.0	Auditorium	Provide new sealant at coping stone joints	22 LF		\$543							
				South Elevation										
W-04	E	RA4.0	Auditorium	Replace wall sealant	40 LF		\$1,000							
W-05	E	RA4.0	Auditorium	Grind and point deteriorated masonry	125 SF		\$1,875							
W-06	E	RA4.0	Auditorium	Paint lintels	190 SF		\$1,900							
W-14	E	RA4.0	Auditorium	Paint guardrail and handrail	70 LF		\$1,400							
W-24	E	RA4.0	Auditorium	Replace concrete stair	12 Risers		\$6,000							
W-25	E	RA4.0	Auditorium	Replace guardrail	30 LF		\$1,500							
W-26	E	RA4.0	Auditorium	Install new guardrail and handrail	10 LF		\$1,000							
W-60	E	RA4.0	Auditorium	Provide new sealant at coping stone joints	33 LF		\$813							
				West Elevation										
W-50	E	RA4.0	Auditorium	Grind and point deteriorated masonry	2,125 SF		\$31,875							
W-60	E	RA4.0	Auditorium	Provide new sealant at coping stone joints	22 LF		\$538							
	EE	Roof Area 5.0	Foyer											
				North Elevation										
W-05	EE	RA5.0	Foyer	Grind and point deteriorated masonry	50 SF		\$750							
				East Elevation										
W-03	EE	RA5.0	Foyer	Replace window sealant	50 LF		\$1,000							
W-05	EE	RA5.0	Foyer	Grind and point deteriorated masonry	20 SF		\$300							
W-11	EE	RA5.0	Foyer	Replace cracked brick and point	45 SF		\$3,825							
W-18	EE	RA5.0	Foyer	Remove vines from soffit	50 SF		\$750							
W-22	EE	RA5.0	Foyer	Add drip caps above door	22 LF		\$330							
W-23	EE	RA5.0	Foyer	Replace exterior door	6 ea.		\$18,000							
				South Elevation										
W-05	EE	RA5.0	Foyer	Grind and point deteriorated masonry	20 SF		\$300							
	F	Roof Area 6.0	Classrooms/Offices											
				East Elevation										
W-05	F	RA6.0	Classrooms/Offices	Grind and point deteriorated masonry	40 SF		\$600							
W-06	F	RA6.0	Classrooms/Offices	Paint lintels	55 SF		\$550							
W-11	F	RA6.0	Classrooms/Offices	Replace cracked brick and point	25 SF		\$2,125							
W-15	F	RA6.0	Classrooms/Offices	Replace sealant at door	35 LF		\$700							
				West Elevation										
W-05	F	RA6.0	Classrooms/Offices	Grind and point deteriorated masonry	103 SF		\$1,545							
W-06	F	RA6.0	Classrooms/Offices	Paint lintels	88 SF		\$880							
W-11	F	RA6.0	Classrooms/Offices	Replace cracked brick and point	25 SF		\$2,125							
W-15	F	RA6.0	Classrooms/Offices	Replace sealant at door	30 LF		\$600							
W-25	F	RA6.0	Classrooms/Offices	Replace guardrail	30 LF		\$1,500							
W-27	F	RA6.0	Classrooms/Offices	Replace Guardrail	96 LF		\$4,800							

I #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Roof Priority (NOTE 3)	Base Cost	(P1) 2018	(P2)				(P3) 2023-2027	Recommendation / Work Item
									2019	2020	2021	2022		
W-29	F	RA6.0	Classrooms/Offices	Replace exterior concrete slab	280 SF		\$2,240							
	G	Roof Area 7.1	Corridor											
				East Elevation										
W-40	G	RA7.1	Corridor	Replace damaged limestone panel	25 SF		\$1,500							
	I	Roof Area 7.2	Canopy											
	FF	Roof Area 8.0	Pool Storage											
				East Elevation										
W-05	FF	RA8.0	Pool Storage	Grind and point deteriorated masonry	125 SF		\$1,875							
				South Elevation										
W-05	FF	RA8.0	Pool Storage	Grind and point deteriorated masonry	5 SF		\$75							
	J	Roof Area 9.1	Locker Rooms											
	J	Roof Area 9.2	Locker Rooms											
	K	Roof Area 10.0	Pool											
				East Elevation										
W-04	K	RA10.0	Pool	Replace wall sealant	60 LF		\$1,500							
W-05	K	RA10.0	Pool	Grind and point deteriorated masonry	15 SF		\$225							
W-16	K	RA10.0	Pool	Remove mortar and install movement joint	35 LF		\$1,750							
W-50	K	RA10.0	Pool	Grind and point deteriorated masonry	100 SF		\$1,500							
W-61	K	RA10.0	Pool	Provide new masonry control joints	25 LF		\$1,250							
				South Elevation										
W-05	K	RA10.0	Pool	Grind and point deteriorated masonry	150 SF		\$2,250							
W-50	K	RA10.0	Pool	Grind and point deteriorated masonry	1,700 SF		\$25,500							
W-52	K	RA10.0	Pool	Remove and replace sealant at existing masonry control joint	18 LF		\$900							
W-60	K	RA10.0	Pool	Provide new sealant at coping stone joints	200 LF		\$5,000							
W-61	K	RA10.0	Pool	Provide new masonry control joints	18 LF		\$900							
				West Elevation										
W-50	K	RA10.0	Pool	Grind and point deteriorated masonry	1,900 SF		\$28,500							
W-61	K	RA10.0	Pool	Provide new masonry control joints	18 LF		\$900							
	L	Roof Area 11.0	Gymnasium											
				North Elevation										
W-61	L	RA11.0	Gymnasium	Provide new masonry control joints	175 LF		\$4,800	\$4,992						
W-62	L	RA11.0	Gymnasium	Grind and point deteriorated masonry	2,660 SF		\$48,000	\$49,920						
				South Elevation										
W-61	L	RA11.0	Gymnasium	Provide new masonry control joints	100 LF		\$4,800	\$4,992						
W-62	L	RA11.0	Gymnasium	Grind and point deteriorated masonry	1,825 SF		\$38,400	\$39,936						
				West Elevation										
W-61	L	RA11.0	Gymnasium	Provide new masonry control joints	18 LF		\$900							
	L	Roof Area 12.0	Mech. Penthouse											
				West Elevation										
W-11	L	RA12.0	Mech. Penthouse	Replace cracked brick and point	60 SF		\$5,100							
W-43	L	RA12.0	Mech. Penthouse	Tuckpoint bed between windows	25 LF		\$1,250							
	L	Roof Area 13.0	Mech. Penthouse											
	L	Roof Area 14.0	Mech. Penthouse											
	M	Roof Area 15.0	Wrestling Room											
				South Elevation										
W-50	M	RA15.0	Wrestling Room	Grind and point deteriorated masonry	1,000 SF		\$15,000							
				West Elevation										
W-50	M	RA15.0	Wrestling Room	Grind and point deteriorated masonry	1,400 SF		\$21,000							
W-52	M	RA15.0	Wrestling Room	Remove and replace sealant at existing masonry control joint	16 LF		\$800							
W-54	M	RA15.0	Wrestling Room	Replace with new window insert panels	8 SF		\$1,000							
W-55	M	RA15.0	Wrestling Room	Provide new sealant at limestone sill joints	20 LF		\$500							
W-56	M	RA15.0	Wrestling Room	Remove and replace steel lintel	54 LF		\$12,420							
W-57	M	RA15.0	Wrestling Room	Provide new window sealant	114 LF		\$2,280							
W-59	M	RA15.0	Wrestling Room	Investigate / replace steel lintel	90 LF		\$20,250							
	N	Roof Area 16.0	Kitchen											
				East Elevation										
W-50	N	RA16.0	Kitchen	Grind and point deteriorated masonry	650 SF		\$9,750							
				South Elevation										
W-50	N	RA16.0	Kitchen	Grind and point deteriorated masonry	550 SF		\$8,250							
				West Elevation										
W-50	N	RA16.0	Kitchen	Grind and point deteriorated masonry	290 SF		\$4,350							
	O	Roof Area 17.0	Cafeteria											
	BB	Roof Area 18.0	Library											
				West Elevation										
W-22	BB	RA18.0	Library	Missing drip caps above door	7 LF		\$105							
	P	Roof Area 19.0	Vestibule											
				West Elevation										
W-22	P	RA19.0	Vestibule	Missing drip caps above door	7 LF		\$105							
	Q	Roof Area 20.1	Classrooms											
				East Elevation										
W-05	Q	RA20.1	Classrooms	Grind and point deteriorated masonry	20 SF		\$300							
				South Elevation										
W-04	Q	RA20.1	Classrooms	Replace wall sealant	8 LF		\$200							
W-06	Q	RA20.1	Classrooms	Paint lintels	110 SF		\$1,100							

ID #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Roof Priority (NOTE 3)	Base Cost	(P1) 2018	(P2) (NOTE 5)				(P3) 2023-2027	Recommendation / Work Item
									2019	2020	2021	2022		
W-10	Q	RA20.1	Classrooms	Replace sealant at louver	30 LF		\$600							
W-11	Q	RA20.1	Classrooms	Replace cracked brick and point	35 SF		\$2,975							
W-13	Q	RA20.1	Classrooms	Repair damaged concrete foundation	15 LF		\$1,125							
W-14	Q	RA20.1	Classrooms	Paint guardrail and handrail	70 LF		\$1,400							
W-16	Q	RA20.1	Classrooms	Remove mortar and install movement joint	27 LF		\$1,350							
W-25	Q	RA20.1	Classrooms	Replace guardrail	30 LF		\$1,500							
W-30	Q	RA20.1	Classrooms	Replce Lintel	50 LF		\$11,250							
W-31	Q	RA20.1	Classrooms	Replace window screen	10 SF		\$250							
	R	Roof Area 20.2	Classrooms											
				North Elevation										
W-04	R	RA20.2	Classrooms	Replace wall sealant	10 LF		\$250							
W-11	R	RA20.2	Classrooms	Replace cracked brick and point	30 SF		\$2,550							
				East Elevation										
W-03	R	RA20.2	Classrooms	Replace window sealant	1,190 LF		\$23,800							
W-11	R	RA20.2	Classrooms	Replace cracked brick and point	120 SF		\$10,200							
W-19	R	RA20.2	Classrooms	Grind and point, cut brick, install masonry movement joint	35 LF		\$1,750							
W-32	R	RA20.2	Classrooms	Replace louver	16 SF		\$800							
W-45	R	RA20.2	Classrooms	Replace sealant at sill	28 LF		\$700							
				South Elevation										
W-03	R	RA20.2	Classrooms	Replace window sealant	1,215 LF		\$24,300							
W-04	R	RA20.2	Classrooms	Replace wall sealant	8 LF		\$200							
W-06	R	RA20.2	Classrooms	Paint lintels	245 SF		\$2,450							
W-10	R	RA20.2	Classrooms	Replace sealant at louver	60 LF		\$1,200							
W-13	R	RA20.2	Classrooms	Repair damaged concrete foundation	20 LF		\$1,500							
W-14	R	RA20.2	Classrooms	Paint guardrail and handrail	140 LF		\$2,800							
W-25	R	RA20.2	Classrooms	Replace guardrail	30 LF		\$1,500							
W-29	R	RA20.2	Classrooms	Repair exterior concrete slab	150 SF		\$1,200							
				West Elevation										
W-03	R	RA20.2	Classrooms	Replace window sealant	450 LF		\$9,000							
W-04	R	RA20.2	Classrooms	Replace wall sealant	27 LF		\$675							
W-10	R	RA20.2	Classrooms	Replace sealant at louver	30 LF		\$600							
W-32	R	RA20.2	Classrooms	Replace louver	2 ea.		\$100							
	Q	Roof Area 21.1	Elevator											
	Q	Roof Area 21.2	Elevator											
				South Elevation										
W-05	Q	RA21.2	Elevator	Grind and point deteriorated masonry	50 SF		\$750							
	I I	Roof Area 22.0	Classrooms											
				West Elevation										
W-03	II	RA22.0	Classrooms	Replace window sealant	14 LF		\$280							
W-06	II	RA22.0	Classrooms	Paint lintels	25 SF		\$250							
W-09	II	RA22.0	Classrooms	Replace cracked brick and install new sealant joint	1 LF		\$85							
	JJ	Roof Area 23.0	Field House											
				North Elevation										
W-03	JJ	RA23.0	Field House	Replace window sealant	120 LF		\$2,400							
				East Elevation										
W-04	JJ	RA23.0	Field House	Replace wall sealant	40 LF		\$1,000							
W-06	JJ	RA23.0	Field House	Paint lintels	25 SF		\$250							
W-10	JJ	RA23.0	Field House	Replace sealant at louver	20 SF		\$400							
W-11	JJ	RA23.0	Field House	Replace cracked brick and point	20 SF		\$1,700							
W-15	JJ	RA23.0	Field House	Replace sealant at door	30 LF		\$600							
W-22	JJ	RA23.0	Field House	Missing drip caps above door	8 LF		\$120							
W-43	JJ	RA23.0	Field House	Tuckpoint bed between windows	100 LF		\$5,000							
				South Elevation										
W-04	JJ	RA23.0	Field House	Replace wall sealant	125 LF		\$3,125							
W-10	JJ	RA23.0	Field House	Replace sealant at louver	20 LF		\$400							
W-44	JJ	RA23.0	Field House	Remove brick, flash, and raise weeps and flash 8"	140 LF		\$31,500							
				West Elevation										
W-03	JJ	RA23.0	Field House	Replace window sealant	60 LF		\$1,200							
W-04	JJ	RA23.0	Field House	Replace wall sealant	23 LF		\$575							
W-09	JJ	RA23.0	Field House	Replace cracked brick and install new sealant joint	10 LF		\$850							
W-10	JJ	RA23.0	Field House	Replace sealant at louver	60 LF		\$1,200							
W-11	JJ	RA23.0	Field House	Replace cracked brick and point	30 SF		\$2,550							
W-16	JJ	RA23.0	Field House	Remove mortar and install movement joint	10 LF		\$500							
W-22	JJ	RA23.0	Field House	Missing drip caps above door	21 LF		\$315							
	S	Roof Area 24.0	Classrooms											
				South Elevation										
W-02	S	RA24.0	Classrooms	Repair damaged concrete canopy	75 SF		\$3,750							
W-65	S	RA24.0	Classrooms	Remove and replace sealant at existing masonry control joint	20 LF		\$1,000							
	T	Roof Area 25.1	Classrooms											
				North Elevation										
W-16	T	RA25.1	Classrooms	Remove mortar and install movement joint	54 LF		\$2,700							
				East Elevation										
W-03	T	RA25.1	Classrooms	Replace window sealant	80 LF		\$1,600							
W-04	T	RA25.1	Classrooms	Replace wall sealant	135 LF		\$3,375							

ID #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Roof Priority (NOTE 3)	Base Cost	(P1) 2018	(P2) (NOTE 5)				(P3) 2023-2027	Recommendation / Work Item
									2019	2020	2021	2022		
W-06	T	RA25.1	Classrooms	Paint lintels	260 SF		\$2,600							
W-11	T	RA25.1	Classrooms	Replace cracked brick and point	25 SF		\$2,125							
West Elevation														
W-04	T	RA25.1	Classrooms	Replace wall sealant	60 LF		\$1,500							
	U	Roof Area 25.2	Classrooms											
North Elevation														
W-04	U	RA25.2	Classrooms	Replace wall sealant	30 LF		\$750							
East Elevation														
W-16	U	RA25.2	Classrooms	Remove mortar and install movement joint	30 LF		\$1,500							
W-33	U	RA25.2	Classrooms	Patch hole in brick, point	55 SF		\$5,500							
West Elevation														
W-03	U	RA25.2	Classrooms	Replace window sealant	300 LF		\$6,000							
W-04	U	RA25.2	Classrooms	Replace wall sealant	42 LF		\$1,050							
W-16	U	RA25.2	Classrooms	Remove mortar and install movement joint	30 LF		\$1,500							
	KK	Roof Area 26.0	Fitness Center											
South Elevation														
W-22	KK	RA26.0	Fitness Center	Missing drip caps above door	8 LF		\$120							
W-33	KK	RA26.0	Fitness Center	Patch hole in brick, point	25 SF		\$2,500							
W-43	KK	RA26.0	Fitness Center	Tuckpoint bed between windows	25 SF		\$1,250							
	GG	Roof Area 27.0	Storage											
East Elevation														
W-04	GG	RA27.0	Storage	Replace wall sealant	30 LF		\$750							
W-06	GG	RA27.0	Storage	Paint lintels	25 SF		\$250							
	HH	Roof Area 28.0	Storage/Locker Room											
North Elevation														
W-11	HH	RA28.0	Storage/Locker Room	Replace cracked brick and point	35 SF		\$2,975							
East Elevation														
W-04	HH	RA28.0	Storage/Locker Room	Replace wall sealant	15 LF		\$375							
W-12	HH	RA28.0	Storage/Locker Room	Replace cracked brick and point	10 LF		\$1,000							
W-19	HH	RA28.0	Storage/Locker Room	Grind and point, cut brick, install masonry movement joint	20 SF		\$1,000							
	HH	Roof Area 29.0	Storage/Locker Room											
West Elevation														
W-05	HH	RA29.0	Storage/Locker Room	Grind and point deteriorated masonry	100 LF		\$1,500							
	W	Roof Area 30.0	Classrooms											
North Elevation														
W-03	W	RA30.0	Classrooms	Replace window sealant	230 LF		\$4,600							
W-05	W	RA30.0	Classrooms	Grind and point deteriorated masonry	45 SF		\$675							
W-06	W	RA30.0	Classrooms	Paint lintels	14 SF		\$140							
W-10	W	RA30.0	Classrooms	Replace sealant at louver	25 LF		\$500							
W-11	W	RA30.0	Classrooms	Replace cracked brick and point	40 SF		\$3,400							
W-15	W	RA30.0	Classrooms	Replace sealant at door	25 LF		\$500							
W-16	W	RA30.0	Classrooms	Remove mortar and install movement joint	60 LF		\$3,000							
W-22	W	RA30.0	Classrooms	Missing drip caps above door	18 LF		\$270							
W-33	W	RA30.0	Classrooms	Patch hole in brick, point	25 SF		\$2,500							
W-34	W	RA30.0	Classrooms	Replace sealant at head	500 LF		\$10,000							
W-36	W	RA30.0	Classrooms	Paint granite panels	1,000 SF		\$15,000							
South Elevation														
W-11	W	RA30.0	Classrooms	Replace cracked brick and point	25 SF		\$2,125							
W-34	W	RA30.0	Classrooms	Replace sealant at head	85 LF		\$1,700							
W-40	W	RA30.0	Classrooms	Replace damaged limestone panel	20 SF		\$1,200							
W-43	W	RA30.0	Classrooms	Tuckpoint bed between windows	15 LF		\$750							
W-45	W	RA30.0	Classrooms	Replace sealant at sill	17 LF		\$425							
W-64	W	RA30.0	Classrooms	Remove and replace sealant at existing masonry control joint	76 LF		\$1,520							
West Elevation														
W-05	W	RA30.0	Classrooms	Grind and point deteriorated masonry	50 SF		\$750							
W-16	W	RA30.0	Classrooms	Remove mortar and install movement joint	25 SF		\$1,250							
W-33	W	RA30.0	Classrooms	Patch hole in brick, point	120 SF		\$12,000							
	W	Roof Area 31.0	Classrooms											
East Elevation														
W-06	W	RA31.0	Classrooms	Paint lintels	24 SF		\$240							
W-15	W	RA31.0	Classrooms	Replace sealant at door	35 LF		\$700							
W-41	W	RA31.0	Classrooms	Paint frame	120 SF		\$1,800							
W-43	W	RA31.0	Classrooms	Tuckpoint bed between windows	20 LF		\$1,000							
West Elevation														
W-06	W	RA31.0	Classrooms	Paint lintels	24 SF		\$240							
	W	Roof Area 32.0	Canopy											
East Elevation														
W-10	W	RA32.0	Canopy	Replace sealant at louver	10 LF		\$200							
South Elevation														
W-06	W	RA32.0	Canopy	Paint lintels	20 SF		\$200							
W-12	W	RA32.0	Canopy	Remove mortar at door frame and replace with sealant	4 LF		\$80							
	AA	Roof Area 33.0	Classrooms											
East Elevation														
W-05	AA	RA33.0	Classrooms	Grind and point deteriorated masonry	5 SF		\$75							

I #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Roof Priority (NOTE 3)	Base Cost	(P1)	(P2)				(P3)	Recommendation / Work Item
								2018	2019	2020	2021	2022	2023-2027	
(NOTE 5)														
W-15	AA	RA33.0	Classrooms	Replace sealant at door	25 LF		\$500							
W-22	AA	RA33.0	Classrooms	Add drip caps above door	4 LF		\$60							
	CC	Roof Area 34.0 Stair												
	X	Roof Area 35.0 Classrooms												
		West Elevation												
W-03	X	RA35.0	Classrooms	Replace window sealant	20 LF		\$400							
W-15	X	RA35.0	Classrooms	Replace sealant at door	30 LF		\$600							
W-11	X	RA35.0	Classrooms	Replace cracked brick and point	75 SF		\$6,375							
	DD	Roof Area 36.0 Classrooms												
		East Elevation												
W-06	DD	RA36.0	Classrooms	Paint lintels	32 SF		\$320							
W-43	DD	RA36.0	Classrooms	Tuckpoint bed between windows	20 LF		\$1,000							
	X	Roof Area 37.0 Classrooms/Offices												
		North Elevation												
W-04	X	RA37.0	Classrooms/Offices	Replace wall sealant	100 LF		\$2,500							
W-11	X	RA37.0	Classrooms/Offices	Replace cracked brick and point	25 SF		\$2,125							
		East Elevation												
W-03	X	RA37.0	Classrooms/Offices	Replace window sealant	40 LF		\$800							
W-04	X	RA37.0	Classrooms/Offices	Replace wall sealant	40 LF		\$1,000							
W-06	X	RA37.0	Classrooms/Offices	Paint lintels	32 SF		\$320							
W-43	X	RA37.0	Classrooms/Offices	Tuckpoint bed between windows	20 LF		\$1,000							
W-50	X	RA37.0	Classrooms/Offices	Grind and point deteriorated masonry	360 SF		\$5,400							
W-51	X	RA37.0	Classrooms/Offices	Grind and point at limestone band	70 LF		\$2,450							
W-52	X	RA37.0	Classrooms/Offices	Remove and replace sealant at existing masonry control joint	6 LF		\$300							
W-53	X	RA37.0	Classrooms/Offices	Redo existing masonry joint and cover with metal expansion joint	6 LF		\$1,020							
W-63	X	RA37.0	Classrooms/Offices	Remove sealant and replace with expansion joint cover	20 LF		\$7,500							
	Y	Roof Area 38.0 Canopy												
		East Elevation												
W-06	Y	RA38.0	Canopy	Paint lintels	26 SF		\$260							
W-16	Y	RA38.0	Canopy	Remove mortar and install movement joint	15 LF		\$750							
	Z	Roof Area 39.0 Classrooms												
		North Elevation												
W-03	Z	RA39.0	Classrooms	Replace window sealant	55 LF		\$1,100							
W-04	Z	RA39.0	Classrooms	Replace wall sealant	2 LF		\$50							
W-05	Z	RA39.0	Classrooms	Grind and point deteriorated masonry	500 SF		\$7,500							
W-11	Z	RA39.0	Classrooms	Replace cracked brick and point	25 SF		\$2,125							
W-32	Z	RA39.0	Classrooms	Replace louver	100 SF		\$5,000							
		East Elevation												
W-03	Z	RA39.0	Classrooms	Replace window sealant	300 LF		\$6,000							
W-05	Z	RA39.0	Classrooms	Grind and point deteriorated masonry	230 SF		\$3,450							
W-16	Z	RA39.0	Classrooms	Remove mortar and install movement joint	27 LF		\$1,350							
W-34	Z	RA39.0	Classrooms	Replace sealant at head	81 LF		\$1,620							
W-38	Z	RA39.0	Classrooms	Replace limestone panel - structural issue	81 LF		\$8,100							
W-40	Z	RA39.0	Classrooms	Replace damaged limestone panel	170 SF		\$10,200							
		South Elevation												
W-03	Z	RA39.0	Classrooms	Replace window sealant	500 LF		\$10,000							
W-04	Z	RA39.0	Classrooms	Replace wall sealant	27 LF		\$675							
W-40	Z	RA39.0	Classrooms	Replace damaged limestone panel	35 SF		\$2,100							
		West Elevation												
W-05	Z	RA39.0	Classrooms	Grind and point deteriorated masonry	220 SF		\$3,300							
W-09	Z	RA39.0	Classrooms	Replace cracked brick and install new sealant joint	10 SF		\$850							
	Z	Roof Area 40.0 Mechanical												
		Roof Area A Canopy												
		Roof Area B Canopy												
		Roof Area C Canopy												
		Roof Area D Canopy												
W-21		RA D	Canopy	Paint bottom of canopy	1,000 SF		\$35,000							
		Roof Area E Canopy												
W-02		RA E	Canopy	Repair damaged concrete canopy	75 SF		\$3,750							
		Roof Area F Canopy												
		Roof Area G Canopy												
		Roof Area H Canopy												
W-21		RA H	Canopy	Paint bottom of canopy	50 SF		\$1,750							
TOTALS							\$896,155	\$99,840	\$0	\$0	\$0	\$0	\$0	

**BUILDING AND
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CONSULTING**

at
**HINSDALE CENTRAL
HIGH SCHOOL**
5500 S. Grant St.
Hinsdale, Illinois
**HINSDALE SOUTH
HIGH SCHOOL**
7401 Clarendon Hills Rd.
Darien, Illinois

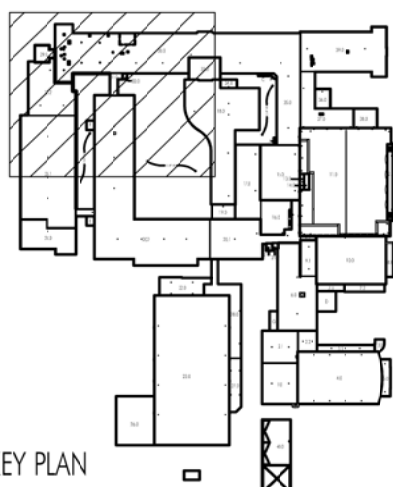
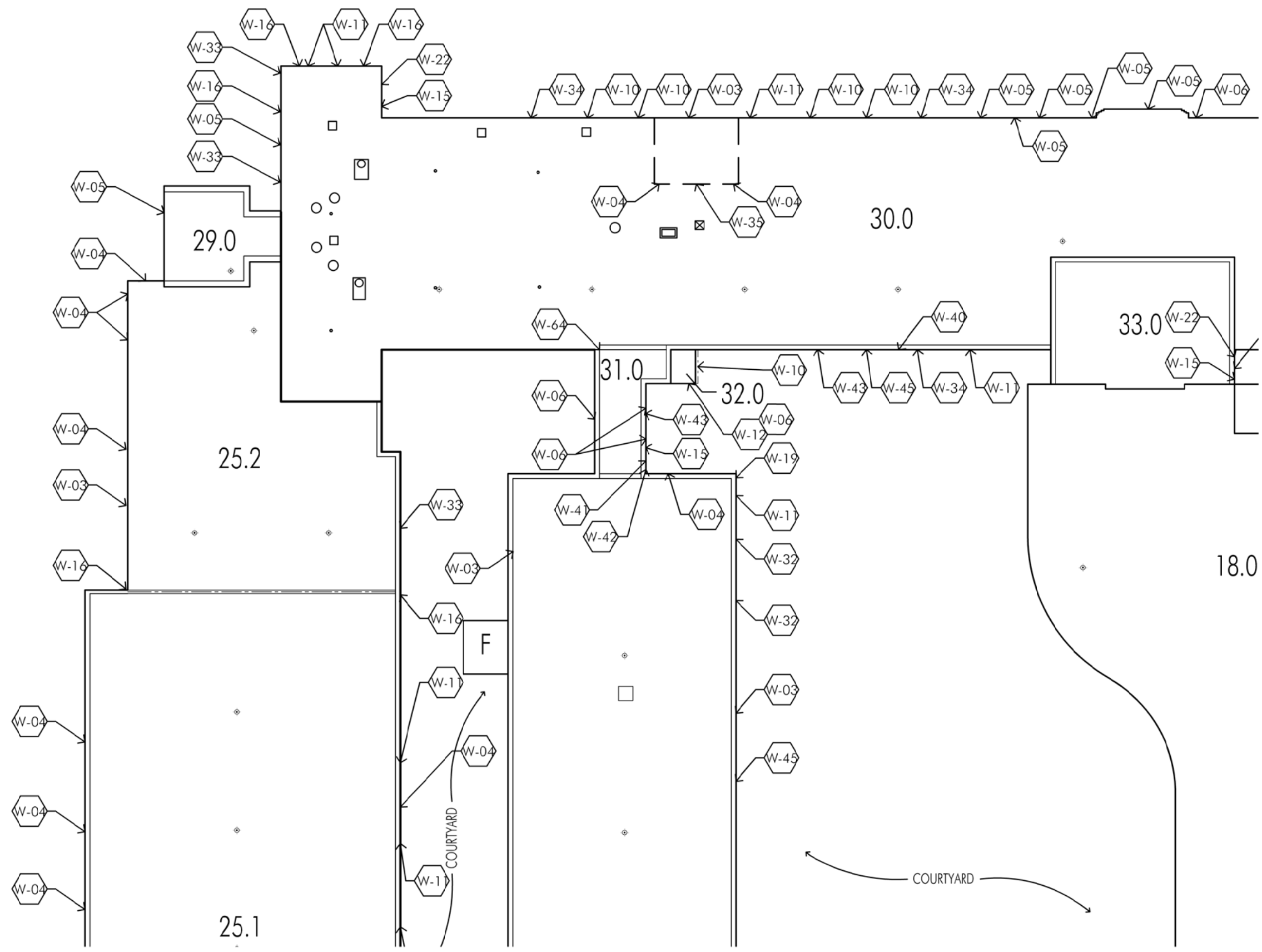
for the
BOARD of EDUCATION
Hinsdale Township
High School District 86
5500 S. Grant St.
Hinsdale, Illinois 60521



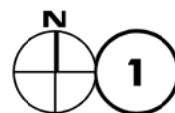
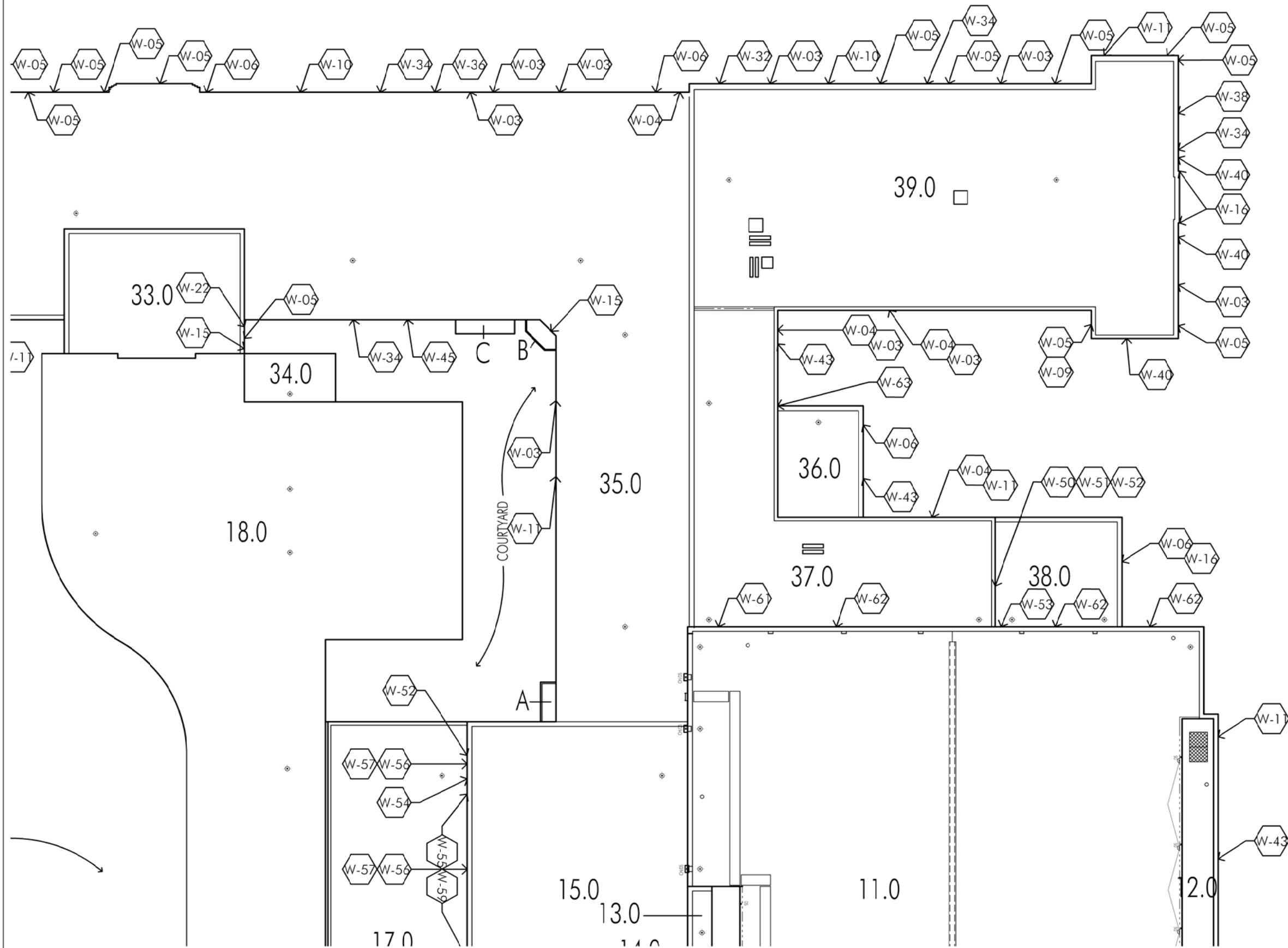
REVISIONS		
No.	Date	By

Project Number:
17070
Issue Date:
November 12, 2017
Drawn by:
MAH
Sheet Title
**ROOF PLAN HCHS
MASONRY**
Sheet Number

A4.1M



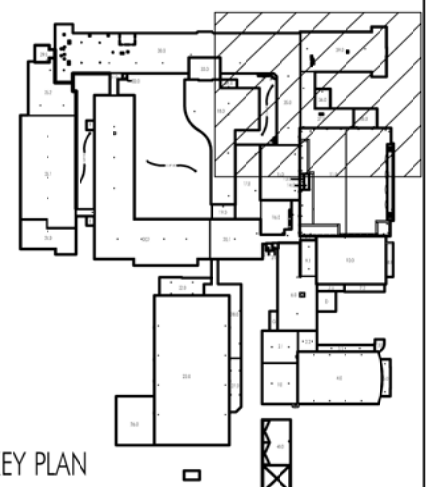
HINSDALE CENTRAL KEY PLAN



PARTIAL ROOF PLAN

1"=30'-0"

HINSDALE CENTRAL KEY PLAN



BUILDING AND ENVELOPE CONSULTING

at
HINSDALE CENTRAL HIGH SCHOOL
5500 S. Grant St.
Hinsdale, Illinois
HINSDALE SOUTH HIGH SCHOOL
7401 Clarendon Hills Rd.
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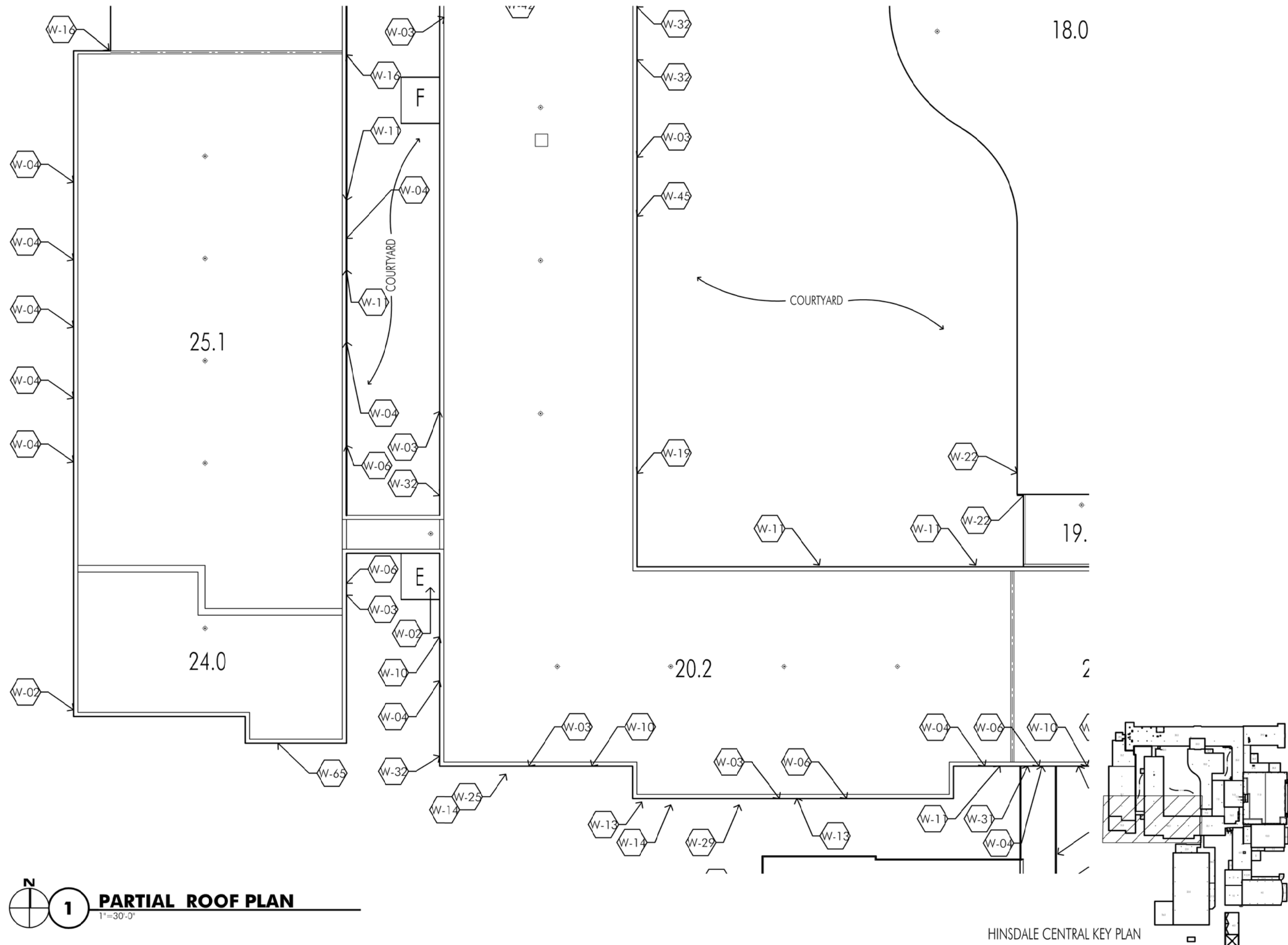
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A4.2M



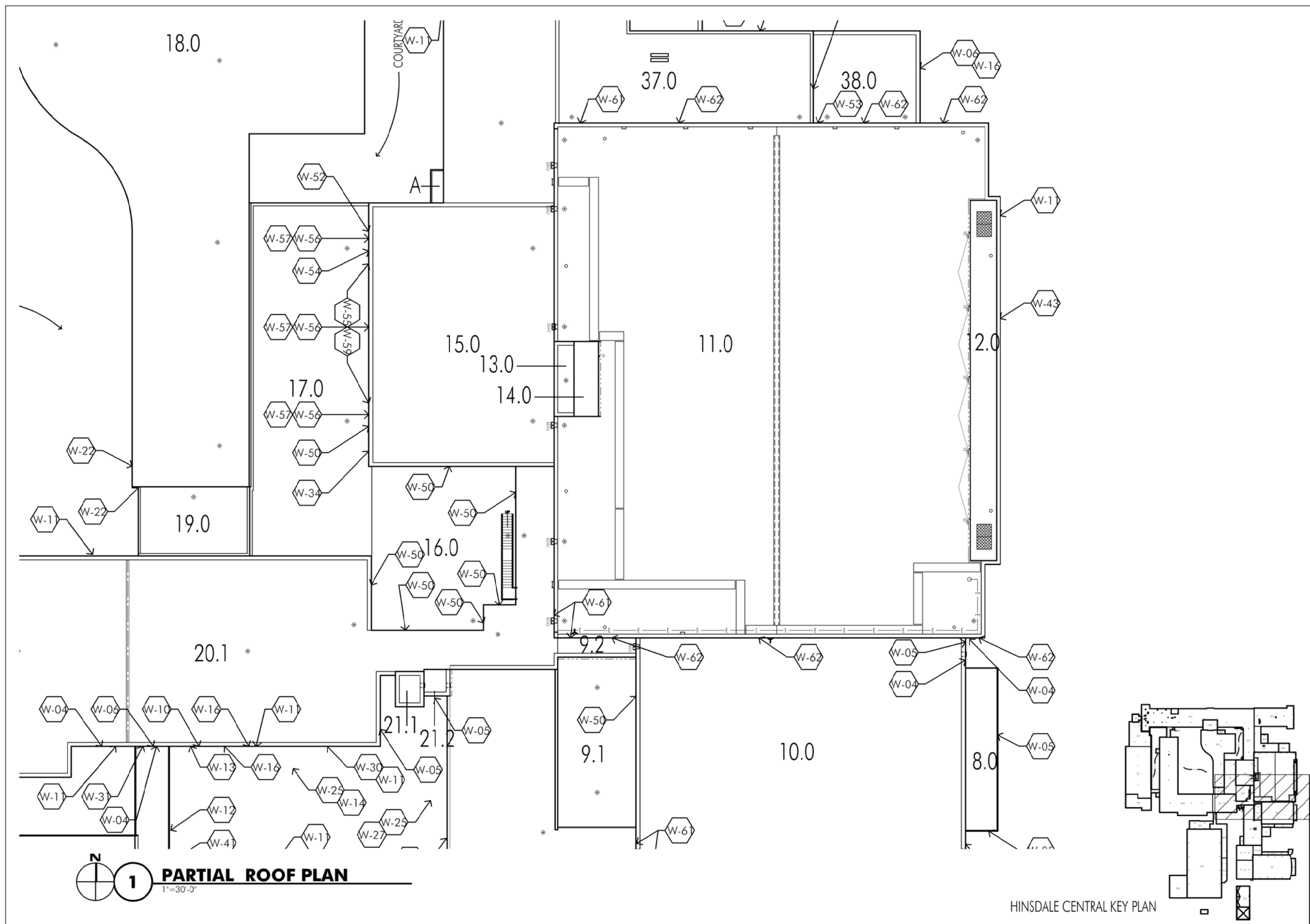
PARTIAL ROOF PLAN
 1
 1"=30'-0"

HINSDALE CENTRAL KEY PLAN



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**BUILDING AND
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at
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HIGH SCHOOL**
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**HINSDALE SOUTH
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7401 Clarendon Hills Rd.
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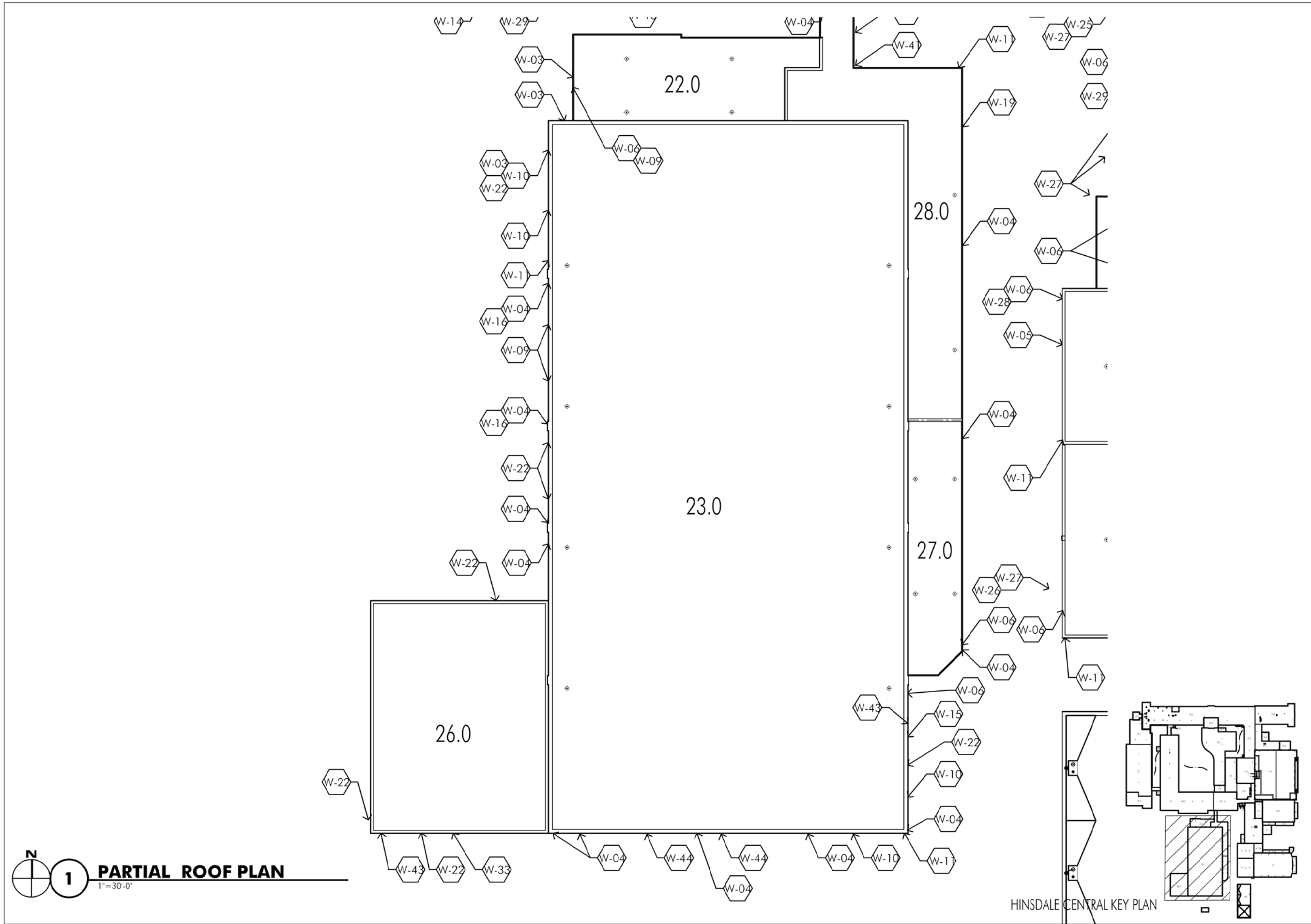
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Sheet Number

A4.4M



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Sheet Number

A4.5M

**BUILDING AND
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at
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HIGH SCHOOL**
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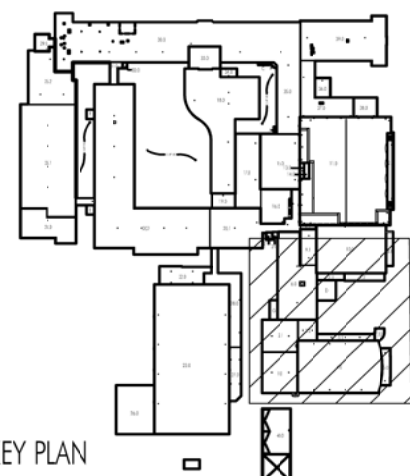
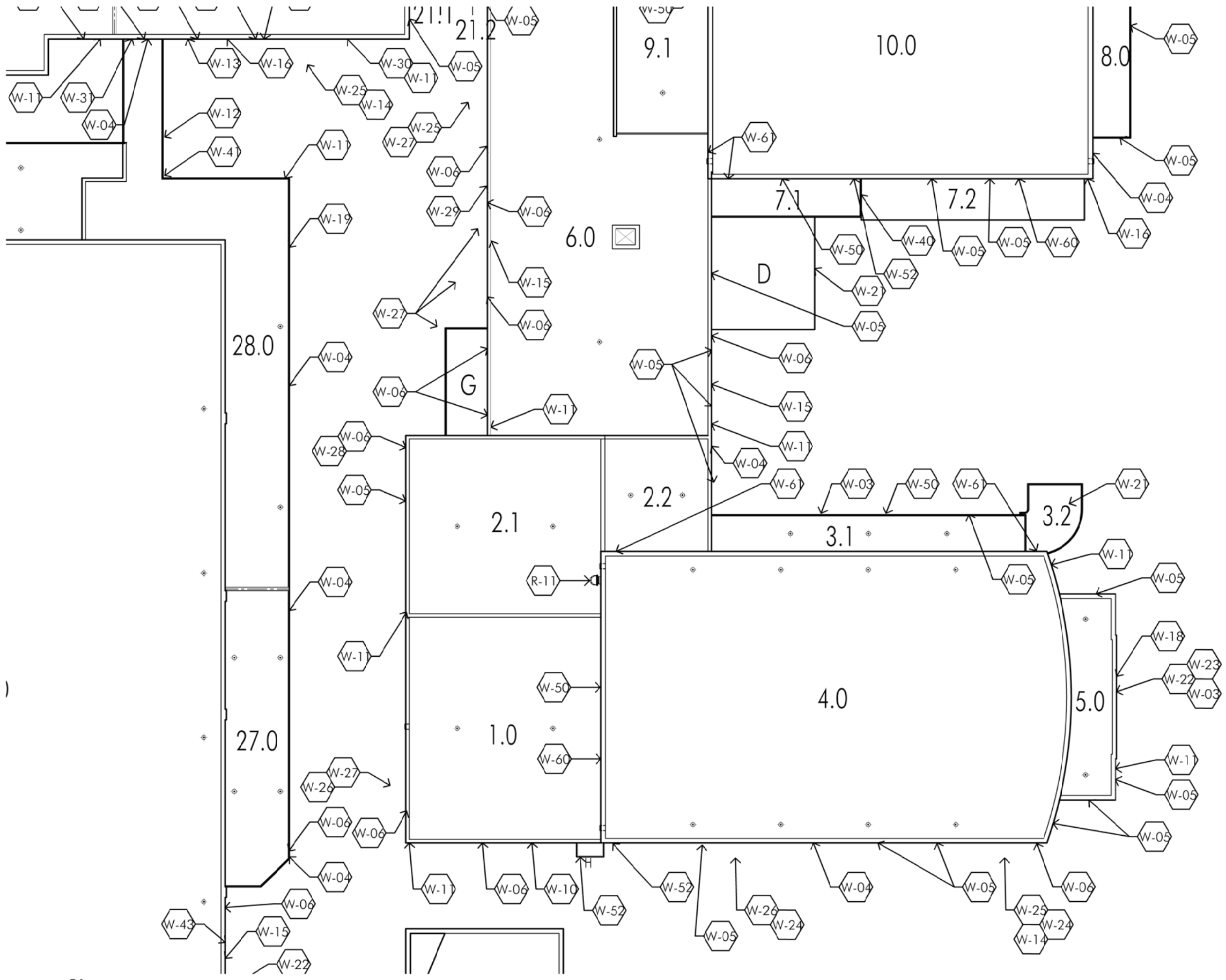
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Hinsdale Township
High School District 86
5500 S. Grant St.
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HINSDALE CENTRAL KEY PLAN

PARTIAL ROOF PLAN
1"=30'-0"

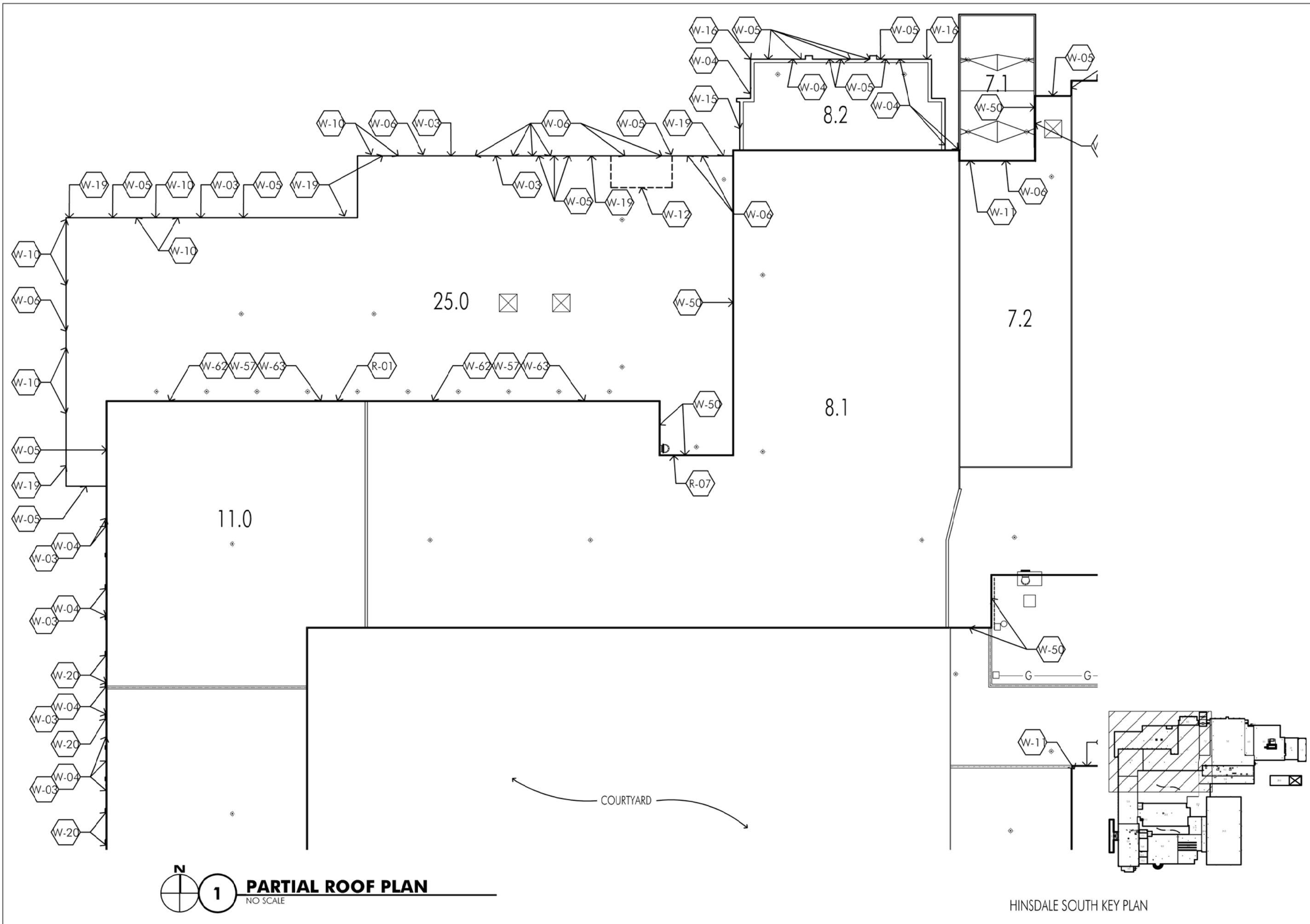
hinsdale south high school

ID #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Roof Priority (NOTE 3)	Base Cost	(P1)	(P2)				(P3)	Recommendation / Work Item
								2018	2019	2020	2021	2022	2023-2027	
(NOTE 5)														
Hinsdale South High School Program Summary														
ID #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Priority (NOTE 3)	Base Cost	(P1) 2018	2019	2020	(P2) 2021	2022	(P3) 2023-2027	Recommendation / Work Item
(NOTE 5)														
	A	Roof Area 1.0	Buildings/Grounds	North Elevation										
W-06	A	RA 1.0	Buildings/Grounds	Paint lintels	180 SF		\$1,800							
W-16	A	RA 1.0	Buildings/Grounds	Remove mortar and install movement joint	25 LF		\$1,250							
				East Elevation										
W-05	A	RA 1.0	Buildings/Grounds	Grind and point deteriorated masonry	75 SF		\$1,125							
W-06	A	RA 1.0	Buildings/Grounds	Paint lintels	180 SF		\$1,800							
W-11	A	RA 1.0	Buildings/Grounds	Replace cracked brick and point	10 ea.		\$850							
W-16	A	RA 1.0	Buildings/Grounds	Remove mortar and install movement joint	105 LF		\$5,250							
				South Elevation										
W-11	A	RA 1.0	Buildings/Grounds	Replace cracked brick and point	10 ea.		\$850							
W-12	A	RA 1.0	Buildings/Grounds	Remove mortar at door frame and replace with sealant	25 LF		\$1,250							
W-15	A	RA 1.0	Buildings/Grounds	Replace sealant at door	20 LF		\$400							
W-16	A	RA 1.0	Buildings/Grounds	Remove mortar and install movement joint	105 LF		\$5,250							
	B	Roof Area 2.0	Buildings/Grounds	North Elevation										
W-05	B	RA 2.0	Buildings/Grounds	Grind and point deteriorated masonry	200 SF		\$3,000							
W-15	B	RA 2.0	Buildings/Grounds	Replace sealant at door	20 LF		\$400							
				South Elevation										
W-05	B	RA 2.0	Buildings/Grounds	Grind and point deteriorated masonry	150 SF		\$2,250							
W-06	B	RA 2.0	Buildings/Grounds	Paint lintels	140 SF		\$1,400							
W-10	B	RA 2.0	Buildings/Grounds	Replace sealant at louver	50 LF		\$1,000							
	C	Roof Area 3.0	Pool	North Elevation										
W-01	C	RA 3.0	Pool	Remove vegetation growing on exterior façade	4,560 SF		\$2,736							
W-05	C	RA 3.0	Pool	Grind and point deteriorated masonry	300 SF		\$4,500							
W-06	C	RA 3.0	Pool	Paint lintels	182 SF		\$1,820							
				East Elevation										
W-05	C	RA 3.0	Pool	Grind and point deteriorated masonry	400 SF		\$6,000							
W-06	C	RA 3.0	Pool	Paint lintels	142 SF		\$1,420							
W-50	C	RA 3.0	Pool	Grind and point deteriorated masonry	1,455 SF		\$21,825							
W-64	C	RA 3.0	Pool	Provide new metal cap at chimney	1 ea.		\$1,200							
				South Elevation										
W-06	C	RA 3.0	Pool	Paint lintels	160 SF		\$1,600							
W-09	C	RA 3.0	Pool	Replace cracked brick and install new sealant joint	100 ea.		\$8,500							
W-13	C	RA 3.0	Pool	Repair damaged concrete foundation	15 LF		\$2,250							
W-14	C	RA 3.0	Pool	Paint guardrail and handrail	300 LF		\$1,500							
W-15	C	RA 3.0	Pool	Replace sealant at door	30 LF		\$600							
	D	Roof Area 4.0	Balcony	North Elevation										
W-01	D	RA 4.0	Balcony	Remove vegetation growing on exterior façade	1,457 SF		\$874							
W-18	D	RA 4.0	Balcony	Remove vines from soffit	230 SF		\$3,450							
				East Elevation										
W-01	D	RA 4.0	Balcony	Remove vegetation growing on exterior façade	1,034 SF		\$620							
W-18	D	RA 4.0	Balcony	Remove vines from soffit	270 SF		\$4,050							
	E	Roof Area 5.0	Gymnasium	North Elevation										
W-01	E	RA 5.0	Gymnasium	Remove vegetation growing on exterior façade	260 SF		\$156							
W-05	E	RA 5.0	Gymnasium	Grind and point deteriorated masonry	5,160 SF		\$77,400							
W-18	E	RA 5.0	Gymnasium	Remove vines from soffit	SF		\$0							
				East Elevation										
W-13	E	RA 5.0	Gymnasium	Repair damaged concrete foundation	20 SF		\$3,000							
W-50	E	RA 5.0	Gymnasium	Grind and point deteriorated masonry	396 SF		\$5,940							
				South Elevation										
W-09	E	RA 5.0	Gymnasium	Replace cracked brick and install new sealant joint	100 SF		\$8,500							
W-50	E	RA 5.0	Gymnasium	Grind and point deteriorated masonry	4,356 SF		\$65,340							
W-71	E	RA 5.0	Gymnasium	Provide new masonry control joint	25 LF		\$1,250							
W-72	E	RA 5.0	Gymnasium	Provide new sealant at louvers	130 LF		\$3,250							
	Canopy #1	Roof Area 6.0	Canopy	North Elevation										
W-01	Canopy #1	RA 6.0	Canopy	Remove vegetation growing on exterior façade	100 SF		\$60							
	Canopy #2	Roof Area 7.1	Canopy	West Elevation										
W-04	Canopy #2	RA 7.1	Canopy	Replace wall sealant	170 LF		\$4,250							
	E	Roof Area 7.2	Gym Lobby	North Elevation										
W-05	E	RA 7.2	Gym Lobby	Grind and point deteriorated masonry	360 SF		\$5,400							

ID #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Roof Priority (NOTE 3)	Base Cost	(P1) 2018	(P2) (NOTE 5)				(P3) 2023-2027	Recommendation / Work Item
									2019	2020	2021	2022		
W-06	E	RA 7.2	Gym Lobby	Paint lintels	152 SF		\$1,520							
W-11	E	RA 7.2	Gym Lobby	Replace cracked brick and point	20 SF		\$1,700							
				West Elevation										
W-05	E	RA 7.2	Gym Lobby	Grind and point deteriorated masonry	50 SF		\$750							
W-50	E	RA 7.2	Gym Lobby	Grind and point deteriorated masonry	440 SF		\$6,600							
	F	Roof Area 8.1	Auditorium											
				North Elevation										
W-04	F	RA 8.1	Auditorium	Replace wall sealant	140 LF		\$3,500							
W-50	F	RA 8.1	Auditorium	Grind and point deteriorated masonry	520 SF		\$7,800							
W-57	F	RA 8.1	Auditorium	Replace window sealant	325 LF		\$8,125							
W-62	F	RA 8.1	Auditorium	Provide new flashing at window lintels	306 LF		\$30,600							
W-63	F	RA 8.1	Auditorium	Provide new flashing at unit vent louvers	432 LF		\$43,200							
				East Elevation										
W-50	F	RA 8.1	Auditorium	Grind and point deteriorated masonry	2,080 SF		\$31,200							
				West Elevation										
W-50	F	RA 8.1	Auditorium	Grind and point deteriorated masonry	340 SF		\$5,100							
	J	Roof Area 8.2	Stage											
				North Elevation										
W-04	J	RA 8.2	Stage	Replace wall sealant	200 LF		\$5,000							
W-05	J	RA 8.2	Stage	Grind and point deteriorated masonry	750 SF		\$11,250							
W-16	J	RA 8.2	Stage	Remove mortar and install movement joint	105 LF		\$5,250							
				East Elevation										
W-04	J	RA 8.2	Stage	Replace wall sealant	170 LF		\$4,250							
				West Elevation										
W-04	J	RA 8.2	Stage	Replace wall sealant	170 LF		\$4,250							
W-15	J	RA 8.2	Stage	Replace sealant at door	25 LF		\$500							
W-16	J	RA 8.2	Stage	Remove mortar and install movement joint	105 LF		\$5,250							
	T	Roof Area 9.0	Ind. Tech, Spec Ed											
				East Elevation										
W-04	T	RA 9.0	Ind. Tech, Spec Ed	Replace wall sealant	160 LF		\$4,000							
W-05	T	RA 9.0	Ind. Tech, Spec Ed	Grind and point deteriorated masonry	800 SF		\$12,000							
	U	Roof Area 10.0	Auto Shop / Storage											
				East Elevation										
W-10	U	RA 10.0	Auto Shop / Storage	Replace sealant at louver	3 LF		\$60							
				South Elevation										
W-04	U	RA 10.0	Auto Shop / Storage	Replace wall sealant	145 LF		\$3,625							
W-06	U	RA 10.0	Auto Shop / Storage	Paint lintels	210 SF		\$2,100							
W-08	U	RA 10.0	Auto Shop / Storage	Install flashing and weeps at lintels	90 LF		\$9,000							
W-11	U	RA 10.0	Auto Shop / Storage	Replace cracked brick and point	20 SF		\$1,700							
W-12	U	RA 10.0	Auto Shop / Storage	Remove mortar at door frame and replace with sealant	25 LF		\$1,250							
	J	Roof Area 11.0	Classrooms											
				North Elevation										
W-57	J	RA 11.0	Classrooms	Replace window sealant	425 LF		\$10,625							
W-62	J	RA 11.0	Classrooms	Provide new flashing at window lintels	306 LF		\$30,600							
W-63	J	RA 11.0	Classrooms	Provide new flashing at unit vent louvers	50 LF		\$5,000							
				West Elevation										
W-03	J	RA 11.0	Classrooms	Replace window sealant	250 LF		\$5,000							
W-04	J	RA 11.0	Classrooms	Replace wall sealant	260 LF		\$6,240							
W-20	J	RA 11.0	Classrooms	Patch and repair concrete at columns and paint	960 SF		\$28,800							
W-50	J	RA 11.0	Classrooms	Grind and point deteriorated masonry	600 SF		\$9,000							
	J	Roof Area 12.0	Classrooms											
W-03	J	RA 12.0	Classrooms	Replace window sealant	450 LF		\$9,000							
W-04	J	RA 12.0	Classrooms	Replace wall sealant	460 LF		\$11,500							
W-11	J	RA 12.0	Classrooms	Replace cracked brick and point	100 SF		\$8,500							
W-20	J	RA 12.0	Classrooms	Patch and repair concrete at columns and paint	960 SF		\$28,800							
	J	Roof Area 13.1	Classrooms/Library											
				East Elevation										
W-03	J	RA 13.1	Classrooms/Library	Replace window sealant	160 LF		\$3,200							
W-04	J	RA 13.1	Classrooms/Library	Replace wall sealant	200 LF		\$5,000							
W-06	J	RA 13.1	Classrooms/Library	Paint lintels	166 SF		\$1,660							
W-11	J	RA 13.1	Classrooms/Library	Replace cracked brick and point	20 SF		\$1,700							
W-20	J	RA 13.1	Classrooms/Library	Patch and repair concrete at columns and paint	960 SF		\$28,800							
W-30	J	RA 13.1	Classrooms/Library	Replace lintel	12 ea.		\$2,700							
W-49	J	RA 13.1	Classrooms/Library	Tuckpoint limestone panels	45 LF		\$675							
W-57	J	RA 13.1	Classrooms/Library	Replace window sealant	400 LF		\$10,000							
W-62	J	RA 13.1	Classrooms/Library	Provide new flashing at window lintels	132 LF		\$13,200							
				West Elevation										
W-03	J	RA 13.1	Classrooms/Library	Replace window sealant	450 LF		\$9,000							
W-04	J	RA 13.1	Classrooms/Library	Replace wall sealant	460 LF		\$11,500							
W-10	J	RA 13.1	Classrooms/Library	Replace sealant at louver	100 SF		\$2,000							
W-11	J	RA 13.1	Classrooms/Library	Replace cracked brick and point	100 SF		\$8,500							
W-20	J	RA 13.1	Classrooms/Library	Patch and repair concrete at columns and paint	960 SF		\$28,800							
				South Elevation										
W-03	J	RA 13.1	Classrooms/Library	Replace window sealant	160 LF		\$3,200							

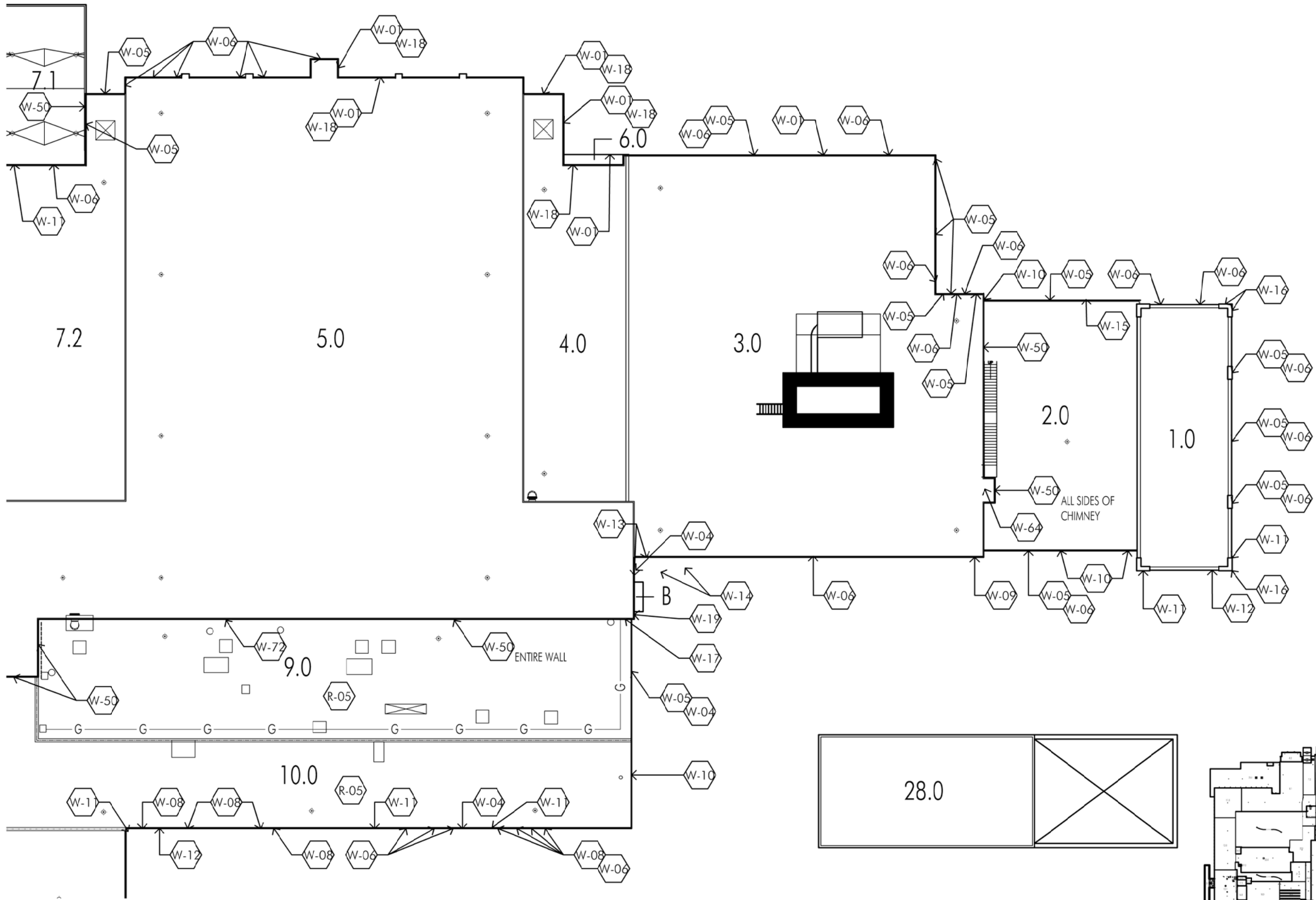
I #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Roof Priority (NOTE 3)	Base Cost	(P1)	(P2)				(P3)	Recommendation / Work Item
								2018	2019	2020	2021	2022	2023-2027	
	J	Roof Area 13.2 Main Entry							(NOTE 5)					
	J	Roof Area 14.0 Stair												
				West Elevation										
W-01	J	RA 14.0	Stair	Remove vegetation growing on exterior façade	480 SF		\$288							
				South Elevation										
W-01	J	RA 14.0	Stair	Remove vegetation growing on exterior façade	1,376 SF		\$826							
	M	Roof Area 15.1 Library/Comp. Lab												
				East Elevation										
W-57	M	RA15.1	Library/Comp. Lab	Replace window sealant	100 LF		\$2,500							
W-62	M	RA15.1	Library/Comp. Lab	Provide new flashing at window lintels	35 LF		\$3,500							
				South Elevation										
W-57	M	RA15.1	Library/Comp. Lab	Replace window sealant	100 LF		\$2,500							
W-62	M	RA15.1	Library/Comp. Lab	Provide new flashing at window lintels	35 LF		\$3,500							
	M	Roof Area 15.2 Library/Comp. Lab												
				South Elevation										
W-03	M	RA15.2	Library/Comp. Lab	Replace window sealant	280 LF		\$5,600							
	K	Roof Area 16.0 Library/Comp. Lab												
				North Elevation										
W-57	K	RA15.2	Library/Comp. Lab	Replace window sealant	85 LF		\$2,125							
W-62	K	RA15.2	Library/Comp. Lab	Provide new flashing at window lintels	30 LF		\$3,000							
				East Elevation										
W-57	K	RA15.2	Library/Comp. Lab	Replace window sealant	85 LF		\$2,125							
W-62	K	RA15.2	Library/Comp. Lab	Provide new flashing at window lintels	30 LF		\$3,000							
				South Elevation										
W-57	K	RA15.2	Library/Comp. Lab	Replace window sealant	85 LF		\$2,125							
W-62	K	RA15.2	Library/Comp. Lab	Provide new flashing at window lintels	30 LF		\$3,000							
	L	Roof Area 17.1 Storage												
				North Elevation										
W-57	L	RA17.1	Storage	Replace window sealant	100 LF		\$2,500							
W-62	L	RA17.1	Storage	Provide new flashing at window lintels	35 LF		\$3,500							
				East Elevation										
W-57	L	RA17.1	Storage	Replace window sealant	100 LF		\$2,500							
W-62	L	RA17.1	Storage	Provide new flashing at window lintels	35 LF		\$3,500							
	L	Roof Area 17.2 Storage												
	N	Roof Area 17.3 Prep Room												
				East Elevation										
W-01	N	RA17.3	Prep Room	Remove vegetation growing on exterior façade	SF		\$0							
W-05	N	RA17.3	Prep Room	Grind and point deteriorated masonry	25 SF		\$375							
W-06	N	RA17.3	Prep Room	Paint lintels	136 SF		\$1,360							
W-22	N	RA17.3	Prep Room	Add drip caps above door	4 ea.		\$60							
	N	Roof Area 18.0 Science Labs												
				North Elevation										
W-03	N	RA18.0	Science Labs	Replace window sealant	275 LF		\$5,500							
W-06	N	RA18.0	Science Labs	Paint lintels	180 SF		\$1,800							
W-22	N	RA18.0	Science Labs	Add drip caps above door	4 ea.		\$60							
W-49	N	RA18.0	Science Labs	Tuckpoint limestone panels	55 LF		\$825							
				South Elevation										
W-03	N	RA18.0	Science Labs	Replace window sealant	880 LF		\$17,600							
W-05	N	RA18.0	Science Labs	Grind and point deteriorated masonry	12 LF		\$180							
W-06	N	RA18.0	Science Labs	Paint lintels	232 SF		\$2,320							
	O	Roof Area 19.0 Science Labs/CR												
				South Elevation										
W-01	O	RA19.0	Science Labs/CR	Remove vegetation growing on exterior façade	240 SF		\$144							
	R	Roof Area 20.0 Storage												
	P	Roof Area 21.0 Classrooms												
				West Elevation - Courtyard										
W-04	P	RA21.0	Classrooms	Replace wall sealant	160 LF		\$4,000							
W-06	P	RA21.0	Classrooms	Paint lintels	150 SF		\$1,500							
W-07	P	RA21.0	Classrooms	Remove miscellaneous metal clip	7 ea.		\$1,750							
W-10	P	RA21.0	Classrooms	Replace sealant at louver	51 LF		\$1,020							
W-11	P	RA21.0	Classrooms	Replace cracked brick and point	45 SF		\$3,825							
W-20	P	RA21.0	Classrooms	Patch and repair concrete at columns and paint	960 SF		\$28,800							
W-30	P	RA21.0	Classrooms	Replace lintel	24 ea.		\$5,400							
W-32	P	RA21.0	Classrooms	Replace louver	18 SF		\$4,500							
W-33	P	RA21.0	Classrooms	Patch hole in brick, point	8 SF		\$800							
W-46	P	RA21.0	Classrooms	Replace sill	31 LF		\$3,100							
	I	Roof Area 22.0 Classrooms												
				North Elevation										
W-70	I	RA22.0	Classrooms	Grind and point and add sealant at limestone band	25 LF		\$625							
				East Elevation										
W-70	I	RA22.0	Classrooms	Grind and point and add sealant at limestone band	40 LF		\$1,000							
W-71	I	RA22.0	Classrooms	Provide new masonry control joint	25 LF		\$1,250							
				South Elevation - Courtyard										
W-03	I	RA22.0	Classrooms	Replace window sealant	470 LF		\$9,400							

ID #	Roof Area	Roof Area Tag	Occupancy Below	Item Description	Quantity	Roof Priority (NOTE 3)	Base Cost	(P1) 2018	(P2) (NOTE 5)				(P3) 2023-2027	Recommendation / Work Item
									2019	2020	2021	2022		
W-04	I	RA22.0	Classrooms	Replace wall sealant	360 LF		\$9,000							
W-10	I	RA22.0	Classrooms	Replace sealant at louver	10 LF		\$200							
W-20	I	RA22.0	Classrooms	Patch and repair concrete at columns and paint	960 SF		\$28,800							
W-30	I	RA22.0	Classrooms	Replace lintel	28 LF		\$6,300							
W-46	I	RA22.0	Classrooms	Replace sill	246 LF		\$24,600							
W-47	I	RA22.0	Classrooms	Clean Louver	1 ea.		\$500							
W-57	I	RA22.0	Classrooms	Replace window sealant	420 LF		\$10,500							
W-62	I	RA22.0	Classrooms	Provide new flashing at window lintels	200 LF		\$20,000							
W-63	I	RA22.0	Classrooms	Provide new flashing at unit vent louvers	50 LF		\$5,000							
W-67	I	RA22.0	Classrooms	Install new metal caps over stone columns	2 ea.		\$2,000							
W-70	I	RA22.0	Classrooms	Grind and point and add sealant at limestone band	25 LF		\$625							
W-71	I	RA22.0	Classrooms	Provide new masonry control joint	25 LF		\$1,250							
W-72	I	RA22.0	Classrooms	Provide new sealant at louvers	110 LF		\$2,750							
	Q	Roof Area 23.0	Locker Room/Offices											
			East Elevation											
W-65	Q	RA23.0	Locker Room/Offices	Cap and seal at drain pipe	1 ea.		\$250							
	S	Roof Area 24.0	Field House											
			North Elevation											
W-04	S	RA24.0	Field House	Replace wall sealant	175 LF		\$4,375							
W-05	S	RA24.0	Field House	Grind and point deteriorated masonry	2,272 SF		\$34,080							
W-06	S	RA24.0	Field House	Paint lintels	180 SF		\$1,800							
W-08	S	RA24.0	Field House	Install flashing and weeps at lintels	50 LF		\$5,000							
W-10	S	RA24.0	Field House	Replace sealant at louver	18 LF		\$360							
W-71	S	RA24.0	Field House	Provide new masonry control joint	32 LF		\$1,600							
			East Elevation											
W-04	S	RA24.0	Field House	Replace wall sealant	175 LF		\$4,375							
W-06	S	RA24.0	Field House	Paint lintels	150 SF		\$1,500							
W-08	S	RA24.0	Field House	Install flashing and weeps at lintels	20 LF		\$2,000							
W-09	S	RA24.0	Field House	Replace cracked brick and install new sealant joint	10 ea.		\$850							
W-10	S	RA24.0	Field House	Replace sealant at louver	16 LF		\$320							
W-68	S	RA24.0	Field House	Provide new termination at bottom of mtl. wall panel	50 LF		\$2,500							
			South Elevation											
W-04	S	RA24.0	Field House	Replace wall sealant	175 LF		\$4,375							
W-05	S	RA24.0	Field House	Grind and point deteriorated masonry	96 SF		\$1,440							
W-06	S	RA24.0	Field House	Paint lintels	150 SF		\$1,500							
W-08	S	RA24.0	Field House	Install flashing and weeps at lintels	20 LF		\$2,000							
			West Elevation											
W-68	S	RA24.0	Field House	Provide new termination at bottom of mtl. wall panel	50 LF		\$2,500							
W-69	S	RA24.0	Field House	Grind and provide new sealant joint	42 LF		\$2,100							
W-71	S	RA24.0	Field House	Provide new masonry control joint	25 LF		\$1,250							
	H	Roof Area 25.0	Kitchen/Cafeteria											
			North Elevation											
W-03	H	RA25.0	Kitchen/Cafeteria	Replace window sealant	262 LF		\$5,240							
W-05	H	RA25.0	Kitchen/Cafeteria	Grind and point deteriorated masonry	1,150 SF		\$17,250							
W-06	H	RA25.0	Kitchen/Cafeteria	Paint lintels	260 SF		\$2,600							
W-10	H	RA25.0	Kitchen/Cafeteria	Replace sealant at louver	216 LF		\$4,320							
W-12	H	RA25.0	Kitchen/Cafeteria	Remove mortar at door frame and replace with sealant	50 LF		\$2,500							
W-19	H	RA25.0	Kitchen/Cafeteria	Grind and point, cut brick, install masonry movement joint	240 SF		\$20,400							
			West Elevation											
W-05	H	RA25.0	Kitchen/Cafeteria	Grind and point deteriorated masonry	SF		\$0							
W-06	H	RA25.0	Kitchen/Cafeteria	Paint lintels	180 SF		\$900							
W-10	H	RA25.0	Kitchen/Cafeteria	Replace sealant at louver	96 LF		\$480							
W-19	H	RA25.0	Kitchen/Cafeteria	Grind and point, cut brick, install masonry movement joint	60 SF		\$5,100							
		Roof Area 26.0	Classrooms											
		Roof Area 27.0	Elevator											
	Canopy	Roof Area A	Canopy											
W-02	Canopy	RA A	Canopy	Repair damaged concrete canopy	100 SF		\$25,000							
	Canopy	Roof Area B	Canopy											
		Roof Area 28.0	Maintenance											
TOTALS							\$1,170,719	\$0	\$0	\$0	\$0	\$0	\$0	



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Project Number:
17070
Issue Date:
November 12, 2017
Drawn by:
MAH
Sheet Title
ROOF PLAN HSHS MASONRY
Sheet Number



PARTIAL ROOF PLAN
NO SCALE

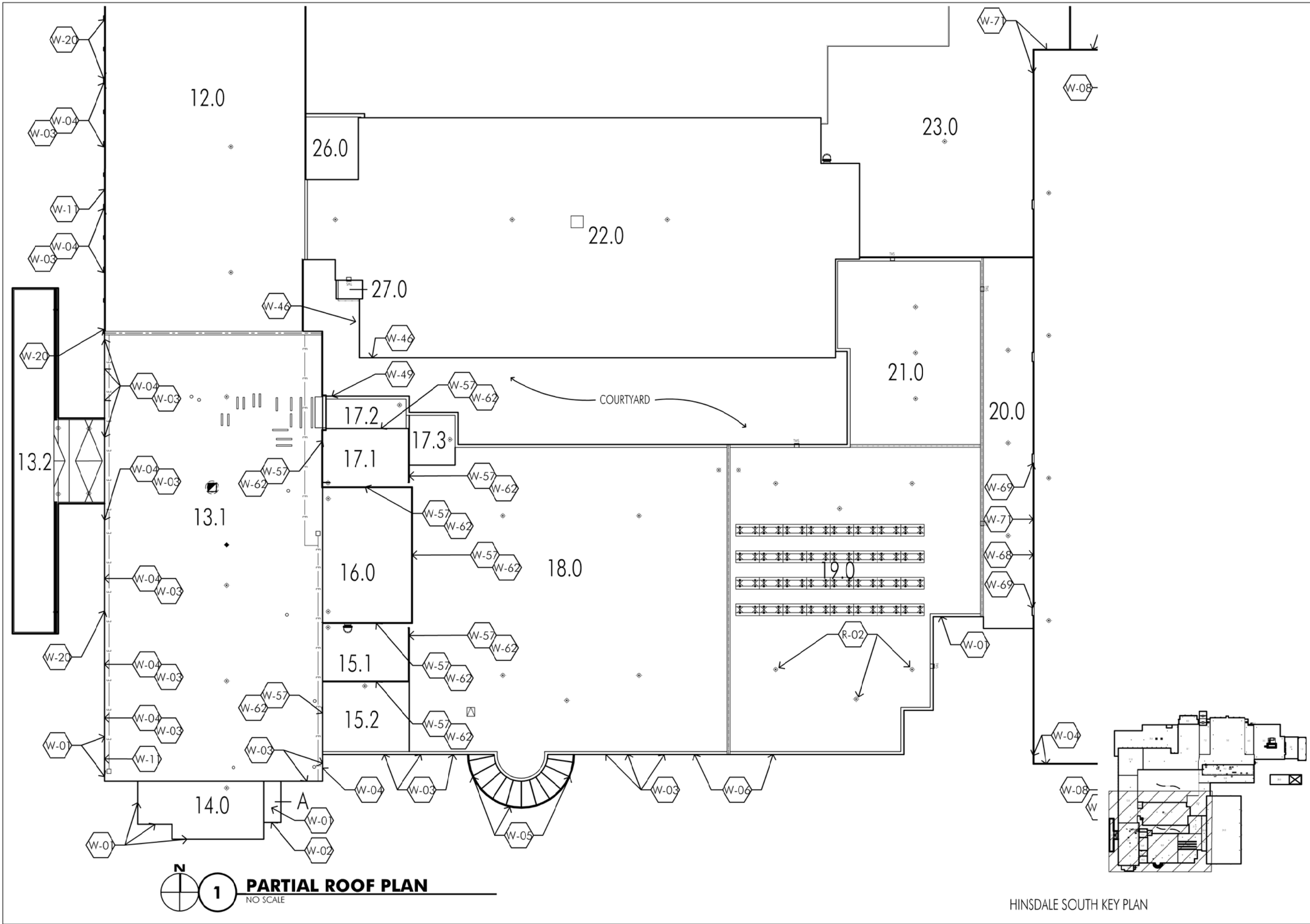
HINSDALE SOUTH KEY PLAN



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PARTIAL ROOF PLAN
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HINSDALE SOUTH KEY PLAN

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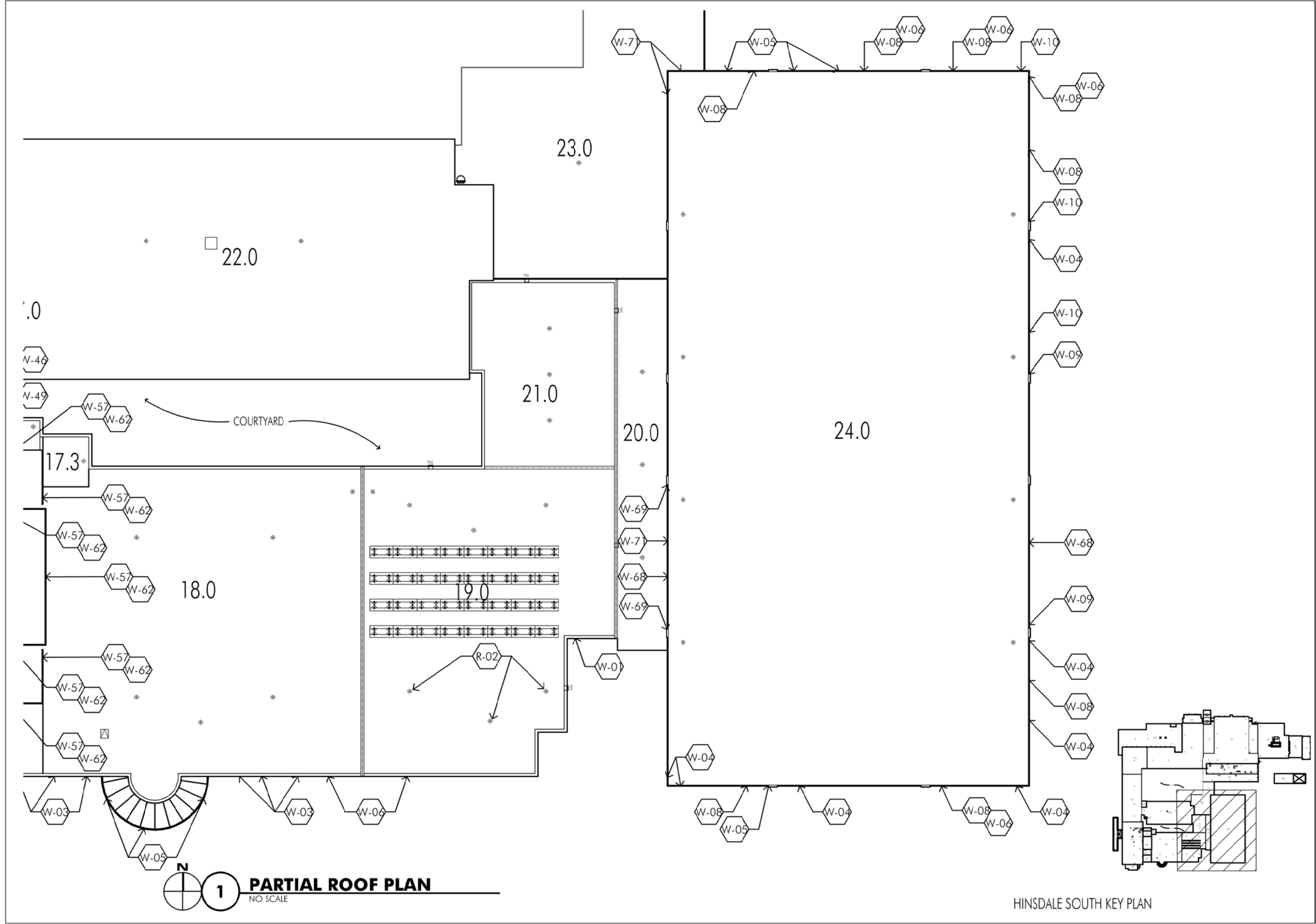
for the
BOARD of EDUCATION
Hinsdale Township
High School District 86
5500 S. Grant St.
Hinsdale, Illinois 60521



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1 PARTIAL ROOF PLAN
NO SCALE

HINSDALE SOUTH KEY PLAN



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