

# Alameda High School

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## SUMMARY OF SCHOOL CAMPUS

- **Address:** 2201 Encinal Ave, Alameda, CA 94501
- **Principal - Phone No. :** Kelly Lara - (510) 337- 7026
- **Year Built:** Original Campus 1924, through new Gymnasium 1993
- **Total Site Area:** 12.90 acres
- **Thompson Field:** 2.50 acres (Located off site)
- **Building Area:** 116,784 sf (Ground Floor area)

## FACILITY DESCRIPTION

Alameda High School consists of multiple buildings constructed from 1924 through 1975. The original campus (1924) is a registered Historic Landmark that consists of (5) distinct Classic Revival buildings all facing Central Avenue. The only original buildings that can be used by the school are the Auditorium, which includes 6 classrooms on the 2<sup>nd</sup> and 3<sup>rd</sup> floors, the Patton Gym, and the West Wing buildings, which have all been seismically upgraded to meet Field Act certification. For additional information of those portions of the original campus not in current use by the school, refer to “Historic Alameda High School Seismic Report”, issued separately from this assessment report.

The West Wing at Central and Walnut Street, was built later in 1957 to mimic the Classic Revival theme, but lacks the cast stone detailing of the originals. It was seismically retrofitted and added accessibility ramps, elevator, and restroom and fire alarm improvements in 1994. West Wing has (3) floors (45,600 sf), with 13 classrooms, an exercise Gym, a small Theater (2,715 sf), Cafeteria with Kitchen area (4,100 sf), and ground floor vocational programs.

In 1975, a major campus addition was completed to replace the original buildings that were not Field Act compliant. This addition consisted of the 1-story Technical Arts building (13,800 sf), a 2-story Academic building (62,800 sf), and a Boiler/Utility (1,100 sf) servicing these buildings. These facilities were constructed as concrete pad foundations with concrete masonry unit (CMU) exterior walls, steel and metal deck framing with parapet wall and membrane roofing. The Academic building serves as the current focal point of the high school, with 48 classrooms, Administrative offices, and Library/Media Center.

The newest addition to the Campus is the Gymnasium (constructed in 1993,) adjacent to the Emma Hood Aquatic Center (1955). The new Gym building (23, 600 sf) is built on a concrete pad foundation, with steel post and truss framing, and cast-in place concrete exterior walls. The Gym includes public Restrooms, a Boys & Girls Locker Rooms, and mechanical/electrical service area. It is unknown if this building has received any upgrade since its construction. All told, the A.H.S. campus currently serves 1,830 students in a total of 75 classrooms, and various ancillary spaces as noted in the building descriptions above. This flagship campus also serves the Island community as a focal point of the renovated historical Downtown District, as well as a public resource with its 600 seat Auditorium, Adult Education Center, and District Offices. The District has directed a separate seismic analysis and report for both wings of the Central Building currently not DSA certified. This Assessment Report does not address the buildings within that separate Report.

#### KEY ASSESSMENT ITEMS

- Auditorium (1924)
  - a) Exterior cement plaster cracking
  - b) Fire Escape steel stair deterioration
  - c) Replace heating, lighting, and fire sprinkler & Alarm systems
  - d) Accessible audience seating at Balcony
  - e) Stage and Dressing Room accessibility
  - f) Boiler system with radiators is obsolete
- Patton Gym (1924)
  - a) Roof leaks at north wall of main gym
  - b) Original windows and doors beyond restoration
  - c) Replace heating, lighting, and fire sprinkler & Alarm systems
  - d) Interior finishes deteriorated
- West Wing (1957)
  - a) Classroom, Exercise gym accessibility
  - b) Window sash and trim service life and deterioration (south side)
  - c) Kitchen non-accessible and Alameda Co. Health Code violations

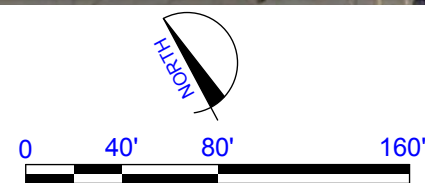
- d) Domestic hot water system is obsolete.
- e) 3<sup>rd</sup> Floor skylights have reached service life, and deferred maintenance.
- f) Non-accessible Corridor drinking fountains.
- Technical Arts (1975)
  - a) Membrane roof blistering (2002 replacement)
  - b) Excessive concrete floor moisture content
- Academic Building (1975)
  - a) HVAC discharges at Classroom # 42 Atrium windows.
  - b) Excessive Ground floor concrete moisture content.
  - c) Rain intrusion at ledge flashing between 1<sup>st</sup> and 2<sup>nd</sup> floor.
- New Gymnasium (1993)
  - a) Exterior concrete wall shear cracks
  - b) Roof leaks on south and west sides
  - c) Bleacher wood seating splintering
- Hood Aquatic Building
  - a) Building exterior has deteriorated
  - b) Pool deck, fencing, lighting, and bleachers have deteriorated





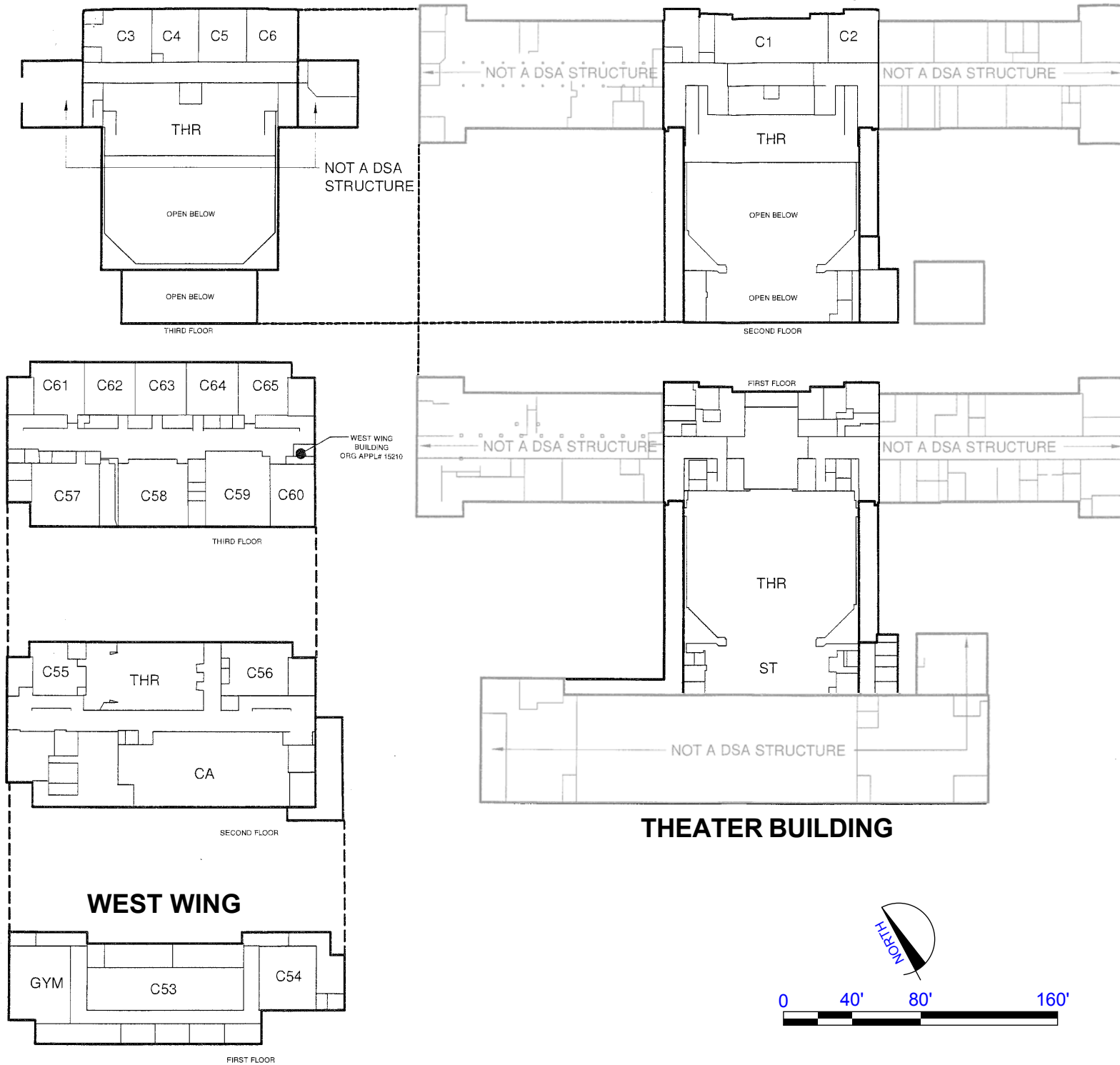
ALAMEDA HS  
04/30/2012

# Alameda USD Facilities Assessment

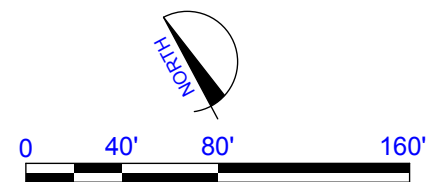
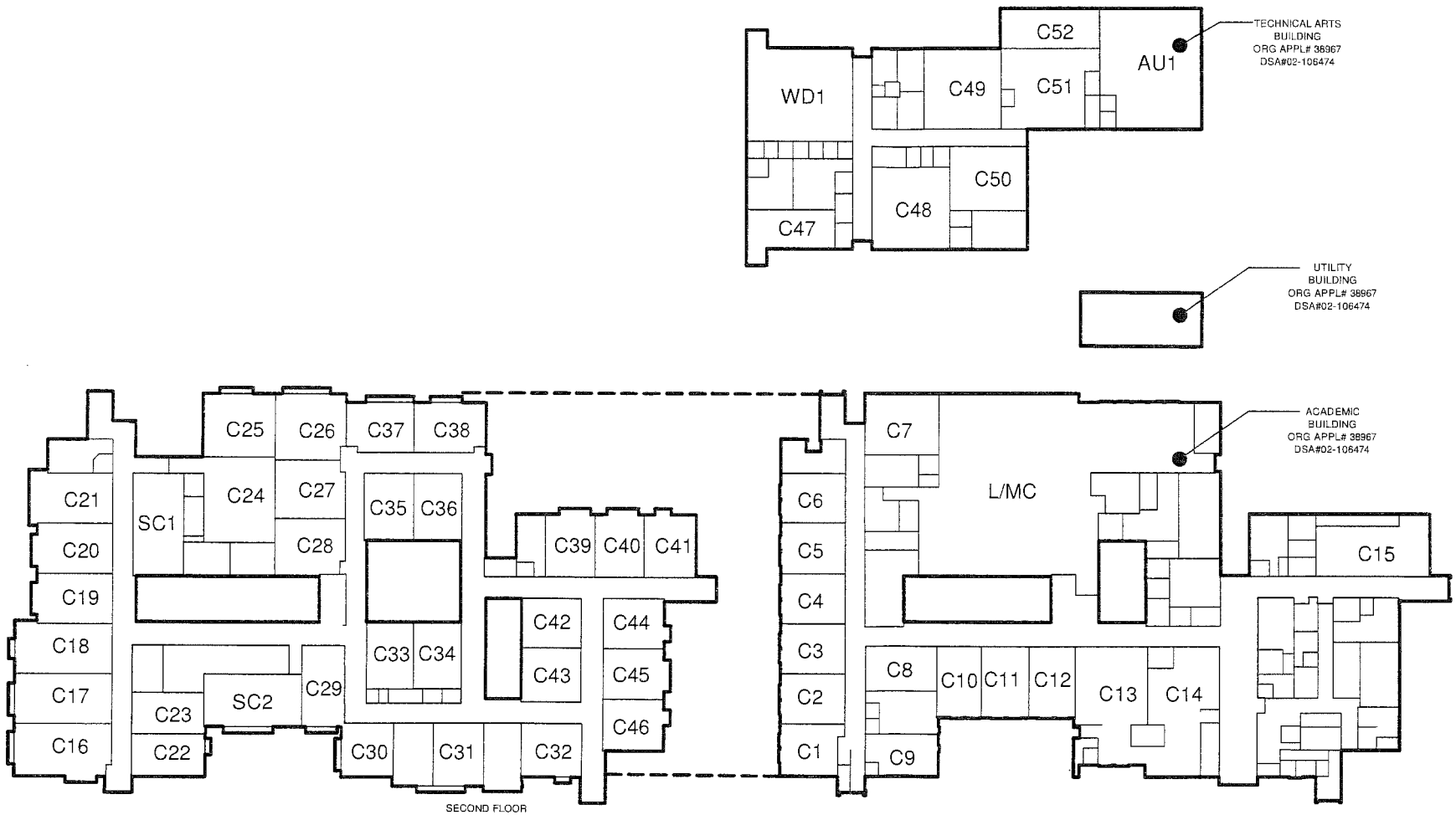




# ALAMEDA HS FLOOR PLAN



# ALAMEDA HS FLOOR PLAN



**Alameda High School**  
**Facility Assessment Spreadsheet**

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
Quantity		Unit					
1) Civil			\$1,748,656				
A) Existing Site Conditions							
i) ACCESS							
1	Existing Deficiency	Signage is not to current standards.	1C				
	Recommended Remedy	Update signage with the additon of \$250 fine signs. Restripe in conjunction with parking lot seal coat work.		2	EA	\$600	\$1,200
2	Existing Deficiency	The ADA sign designating the path of travel has been twisted, indicating the wrong direction	2C				
	Recommended Remedy	Reset pole to restore proper orientation.		2	EA	\$600	\$1,200
3	Existing Deficiency	The cross slope on the sidewalk across the bottom of the ramp area is 3%.	3C				
	Recommended Remedy	Remove and replace existing walk (approximately 30 ft) between joints, and replace with flatwork at 2% cross slope. Pending field survey verification, this may require removal and replacement of the walk leading to the nearby ADA stalls, at either 5% max or 8.33% max with railings		240	SF	\$17	\$4,080
4	Existing Deficiency	Metal threshold transitions at these locations are not ADA compliant, in that they do not provide a 5 ft level landing.	4C				
	Recommended Remedy	Remove threshold transitions and approximately 10ftx10ft section of concrete flatwork, and reconstruct with level landing at threshold and 5% max transition back to ex. flatwork on three sides		300	SF	\$20	\$6,000
5	Existing Deficiency	No level landing at exterior door at media center.	5C				
	Recommended Remedy	Remove and replace flatwork as required to create level landing at door and 5% max transition back to existing flatwork on three sides.	Allow	200	SF	\$17	\$3,400
6	Existing Deficiency	There are joints offset more than 1/4" vertically in the flatwork in this area.	6C				
	Recommended Remedy	Grind offset joints to eliminate offset.	Allow	105	SF	\$4	\$420

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Quantity	Unit						
7	Existing Deficiency	Landing at main doors has 4.5% slope.	7C				
	Recommended Remedy	Flattening the slope at the door to create a level landing, and breaking to a 5% max slope will likely result in not matching the elevation at the top riser, with no level landing at the top of the stairs. In order to achieve full compliance, completely rebuild the upper landing and stairs.		360	SF	\$40	\$14,400
8	Existing Deficiency	There are numerous joints in the concrete flatwork offset by more than 1/4" in this area.	8C				
	Recommended Remedy	Grind offset joints to eliminate the offsets.		200	SF	\$4	\$800
9	Existing Deficiency	Concrete flatwork in this area has cross slopes significantly exceeding ADA requirements.	9C				
	Recommended Remedy	Remove all flatwork in this area. Reconstruct upper and lower walks with 2% max cross slope, and shorter connecting walkways at no more than 8.33%. Any flatwork in excess of 5% requires railings.		1,200	SF	\$30	\$36,000
10	Existing Deficiency	The slope of the upper ramp is 9.1%.	10C				
	Recommended Remedy	Since the slope of the lower ramp is less than 8.33%, it appears that a viable solution would be to remove and replace the flatwork, leaving railings in place, to reduce the slope of the upper ramp to not more than 8.33%, and to increase the slope of the lower ramp to not more than 8.33%.		960	SF	\$30	\$28,800
11	Existing Deficiency	Existing paving is deteriorating	11C				
	Recommended Remedy	Fill cracks, seal coat, and restripe.		49,794	SF	\$0.33	\$16,183
12	Existing Deficiency	Existing pavement is deteriorated.	12C				
	Recommended Remedy	Edge grind, fill cracks, pavement fabric, and 1.5" min. overlay.		19,556	SF	\$2.55	\$49,868
ii) FIRE/LIFE SAFETY/HAZ MAT							
2	Existing Deficiency	The interconnected nature of the buildings will likely result in a large fire area, and correspondingly high required fire flows, which the surrounding hydrants may not be able to meet.					
	Recommended Remedy	Consider adding fire sprinklers to existing buildings to reduce required fire flow.		180,892	SF	\$9	\$1,582,805



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				Quantity	Unit		
iii) <b>UTILITIES</b>							
1	Existing Deficiency	Existing inlet in bike pen frequently clogs and ponds.	13C				
	Recommended Remedy	Clean small diameter pipes that discharge through curb. Cut 6" notch out of concrete curb next to inlet to provide overland relief.		1	LS	\$1,000	\$1,000
2	Existing Deficiency	This area drained by one small dia.inlet which is easily clogged, flooding lower level.	14C				
	Recommended Remedy	Remove existing inlet and replace with a 24" square inlet with 1/2"max opening grate.		1	LS	\$2,500	\$2,500
<b>2) Architectural</b>							<b>\$8,161,431</b>
<b>A) EXTERIOR</b>							
i) <b>ACCESS</b>							
1	Existing Deficiency	<b>West Wing Bridge:</b> plaza area trip hazards	#1, #2 Pavement	300	SF	\$18	\$5,400
	Recommended Remedy	* See ZFA Report for structural bracing; At Plaza, remove pavement, regrade, and replace with concrete pavement.	Steel Bracing	6	Tons	\$3,500	\$21,000
2	Existing Deficiency	<b>Tech Arts Accessable Ramp:</b> non compliant where landing exceeds 6" to adjacent pavement	#3				
	Recommended Remedy	Add 6" high concrete curb from hand rail to bottom of landing.		40	LF	\$30	\$1,200
3	Existing Deficiency	<b>Tech Arts Exercise Gym:</b> Exterior classroom door non accessible	#4				
	Recommended Remedy	Replace steel door frame and install threshold.		1	EA	\$3,500	\$3,500
4	Existing Deficiency	<b>West Wing 1st Floor:</b> Small Gym is non accessible; East Corridor entry is non compliant to plaza level	#5, #9				
	Recommended Remedy	Demo floor and install ramp into Gym; Redesign existing stairs to include accessible ramp/rail.	Allow	240	SF	\$155	\$37,200
5	Existing Deficiency	<b>Theater Bldg:</b> non accessible at Street Entry					
	Recommended Remedy	Apply historical status for no ramp retrofit, but must provide directional signage at street to Accessible Entry at Eask Parking lot.		1	LS	\$500	\$500
6	Existing Deficiency	<b>Patton Gym:</b> pavement subsidence at entry area to small gym create large pools	#80				
	Recommended Remedy	Add site drain inlet and regrade, repave area at seatwall/ entry area		300	SF	\$68	\$20,400

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Quantity	Unit						
7	Existing Deficiency	<b>Pool Bldg:</b> locker room to pool deck non compliant and numerous slope and crack issues	#81, #82, #83				
	Recommended Remedy	Remove and replace concrete deck		1,800	SF	\$23	\$41,400
8	Campus Wide Deficiency	<b>Student Lockers:</b> most are in need of repairs at hinges and latches					
	Recommended Remedy	Replace w/ district Standard Pemco lockers		2,000	EA	\$650	\$1,300,000
ii)	<b>DEFERRED MAINTENANCE</b>						
1	Campus Wide Deficiency	<b>Roof:</b> BUR roofing at end of service life, except Tech Arts & Academic Bldgs					
	Recommended Remedy	Replace all roofing, scuppers, drains, caps and flashings except at Tech Arts & Academic		73,000	SF	\$9	\$657,000
2	Campus Wide Deficiency	<b>All Bldg. Exteriors:</b> painted finish is deteriorated					
	Recommended Remedy	Reseal and repaint all exterior walls, trims fascia, etc.		44,000	SF	\$5	\$220,000
3	Campus Wide Deficiency	<b>Exterior Windows:</b> have reached end of service life					
	Recommended Remedy	Replace all remaining windows not listed in items #1,2, & 4 (Science, Gym/Lockers, Auto Shop, Wings 600 & 700)	ALLOW	3,500	SF	\$42	\$147,000
4	Campus Wide Deficiency	<b>Exterior doors:</b> have reached end of service life					
	Recommended Remedy	Replace all ext. doors with metal frame and FRP door	ALLOW	28	Leaves	\$4,400	\$123,200
5	Campus Wide Deficiency	No <b>Trash Enclosure</b> at this Site					
	Recommended Remedy	Install (2) 3-Bin Trash Enclosure per Health Dept. standards	ALLOW	2	LS	\$20,000	\$40,000
6	Existing Deficiency	<b>Academic Bldg:</b> Z-flash at 2nd Fl. Ribband leaks at roof scupper downspouts	#86, #87				
	Recommended Remedy	Investigate reglet detail and replace flashing overall	ALLOW	140	LF	\$15	\$2,100
7	Existing Deficiency	<b>Tech Arts &amp; Academic Bldgs:</b> roofing membrane developing blisters.	#6, #7, #8				
	Recommended Remedy	Investigate w/ Garland for cause and remedy	ALLOW	33,000	SF	\$9	\$297,000
8	Existing Deficiency	<b>Academic Bldg:</b> Street Entry plaza and flag pole base damage	#10, #11				
	Recommended Remedy	Repair / replace pole base cap; investigate soil stability for pavement heave.	Allow	1	LS	\$1,500	\$1,500
9	Existing Deficiency	<b>West Wing Bridge:</b> Corrosion and paint deterioration on all railings; missing 2nd Fl. Handrail	#12,16, 17 & 18				
	Recommended Remedy	Replace all stair railing		100	LF	\$150	\$15,000

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Quantity	Unit						
10	Existing Deficiency	<b>West Wing Bridge:</b> Egress Stair not structurally compliant; rebar corrosion and concrete spalling;	#13, #14, #19				
	Recommended Remedy	Replace Stair with new compliant design; use specialty epoxy concrete repair		14	CY	\$850	\$11,900
11	Existing Deficiency	<b>West Wing Bridge:</b> terrazzo and concrete steps deteriorating	#15, #16				
	Recommended Remedy	Repair or replace treads		144	SF	\$14	\$2,016
12	Existing Deficiency	<b>West Wing:</b> Loading Dock function & stair damage					
	Recommended Remedy	Reconfigure dock with tailgate lift; repair concrete stair and install new guard/ handrails	Allow	1	LS	\$20,000	\$20,000
13	Existing Deficiency	<b>West Wing East elevation;</b> rails non compliant; <b>North/South elevations:</b> All rails have excessive corrosion with deterioration.	#21,22,26, &27				
	Recommended Remedy	<b>East elev:</b> Replace with 12" extension rails beyond 1st riser; <b>North/South:</b> prep, treat corrosion, and repaint all railings.		124	LF	\$75	\$9,300
14	Existing Deficiency	<b>West Wing North elevation:</b> 2nd Fl. Entry clearstory glass damaged; mismatched glazing replacement	#28, 29				
	Recommended Remedy	Replace with tempered glazing to match adjacent field		40	SF	\$24	\$960
15	Existing Deficiency	<b>Theater Historic Front:</b> cast stone, terrazzo and other surface damage	#23,24,25,30, 31,32,&33				
	Recommended Remedy	Restore cast stone, bronze work, windows, doors and hardware	Allow	9,048	SF	\$145	\$1,311,960
16	Existing Deficiency	<b>Theater Bldg 2nd Fl Exit Stairs;</b> excessive corrosion and non compliant guardrails	#34, 35, 36, &37				
	Recommended Remedy	Replace stairs, guardrail, & handrail in entirety		2	Stairs	\$65,000	\$130,000
17	Existing Deficiency	<b>Theater 1st Floor West Egress:</b> there is no accessible entry/egress on East elevation. *(Per ZFA Seismic Report, this exit to be blocked)	#38				
	Recommended Remedy	Reconstruct stair to accessible ramp		400	SF	\$90	\$36,000
18	Existing Deficiency	<b>Patton Gym:</b> All (E) windows wood and steel frame windows have reached end of service life	#84, #85, #88				
	Recommended Remedy	Replace all windows with FRP sash and IGU tempered glazing		800	SF	\$40	\$32,000
19	Existing Deficiency	<b>Patton Gym:</b> Roll-up door jamb and header damaged and deteriorating.	#80, #90				
	Recommended Remedy	Repair wall framing/ install new metal jamb & header, and new roll-up door		1	LS	\$18,000	\$18,000

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Quantity	Unit						
20	Existing Deficiency -	Excessive moisture infiltration at brick wall plaster veneer.	#91, #92				
	Recommended Remedy	Strip all paint finish to base plaster and treat with Zypex sealer, repaint		13,800	SF	\$11	\$151,800
21	Existing Deficiency	<b>Gymnasium East &amp; North Elev:</b> shear cracking in cast in place walls	#39,40, 41,42,43				
	Recommended Remedy	Investigate for subsidence; repair using specialty concrete epoxy contractor.		6,600	SF	\$8	\$52,800
22	Existing Deficiency	<b>Gymnasium Entry:</b> faded paint and corrosion at piping, frame, roof deck, fixtures and equipment	#44, #46				
	Recommended Remedy	Prep, and repaint metal work		1,600	SF	\$5	\$8,000
23	Existing Deficiency	New <b>Gym Roof:</b> roof leaks at metal roof joints, 20-ft from south and west walls	#93				
	Recommended Remedy	Re seal lap joints at standing seam metal roof		13,400	SF	\$4	\$53,600
23	Existing Deficiency	<b>Pool Bldg:</b> entire exterior needs replacement	#94,95,96,97				
	Recommended Remedy	Replace: all doors w/ galv feames & FRP; all windows w/ alum. dual glazed; BUR roofing w/ cool roof coating; all fascia, trim, paneling with cement board materials; paint complete		1	LS	\$175,000	\$175,000
24	Existing Deficiency	<b>Pool Bldg:</b> entire pool fence. Lighting and bleachers are rusted and beyond service life	#98, #101, #102				
	Recommended Remedy	Replace all chainlink use galv. with polycoat on all posts, mesh and accessories		320	LF	\$75	\$24,000

**B) INTERIOR**

<b>i) GENERAL &amp; MAINTENANCE</b>							
1	Existing Deficiency	<b>Academic &amp; Tech Arts Bldgs:</b> 1st floor vinyl tile is delaminating from excessive moisture release	#45				
	Recommended Remedy	Strip tile, bead blast, seal concrete and apply new VCT		2,200	SF	\$10	\$22,000
2	Existing Deficiency	<b>Tech Arts Bldg:</b> Corridor drink fountain is non compliant	#47				
	Recommended Remedy	Add pipe barriers		1	Pair	\$225	\$225
3	Existing Deficiency	<b>West Wing:</b> 1st floor ceiling damage; concrete pedestal trip hazzard	#52, #53				
	Recommended Remedy	Confirm leak is repaired and repair area, or replace with entire new corridor ceiling; Install new District standard lockers on pedestal or demo and replace concrete floor.		11,210	SF	\$6.37	\$71,408



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Quantity	Unit						
4	Existing Deficiency	<b>Cafeteria Kitchen:</b> flooring, base and wall covering is not Health Dept. compliant ; abandoned gas lines and non functioning equipment waste space	#48, #49, #54				
	Recommended Remedy	Reconfigure a compliant kitchen, with new finishes		4,200	SF	\$44	\$185,000
5	Existing Deficiency	<b>Kitchen Staff Toilet:</b> non accessible	#50, #55				
	Recommended Remedy	Reconfigure with Kitchen remodel		100	SF	\$44	\$4,400
6	Existing Deficiency	<b>West Wing 2nd Fl:</b> some lockers and curb tiles damaged/ missing	#51				
	Recommended Remedy	Replace curb tile. Repair lockers until replacement with new District standard lockers	Includes Demo	66	Lockers	\$375	\$24,750
7	Existing Deficiency	<b>West Wing 3rd Fl:</b> some skylight glazing damage	#58				
	Recommended Remedy	Investigate skylight for service life before glass replacement		224	SF	\$42	\$9,408
8	Existing Deficiency	<b>Theater Bldg 1st Fl Lobby:</b> some plaster damage and paint scalling in Lobby	#56, #60				
	Recommended Remedy	Investigate cause and repair plaster; repaint		800	SF	\$5	\$4,000
9	Existing Deficiency	<b>Theater Bldg: 2nd Fl Corridor:</b> no accessible drink fountain; exposed wall pipe; broken lockers; and ceiling tile delamination;	#57, #59, #61, #62				
	Recommended Remedy	Replace D. fountain with accessible fountain; replace lockers with new district standard, and repair wall and ceiling tiles.		9,500	SF	\$11	\$104,500
10	Existing Deficiency	<b>Theater Bldg: 3rd Fl Corridor;</b> no accessible drink fountain; dim lighting.	#69, #70				
	Recommended Remedy	Replace D. fountain with accessible fountain; add solatube skylighting (Includes all infrastructure needed)	Allow	1	LS	\$8,500	\$8,500
11	Existing Deficiency	<b>Theater Balcony:</b> no accessible seating from 2nd or 3rd level; stage lighting poles not seismic braced	#63, #71				
	Recommended Remedy	Reconfigure platform for more depth to allow wheelchair seating; Structurally design lighting	Allow	1	LS	\$45,000	\$45,000
12	Existing Deficiency	<b>Theater Balcony 2nd Fl:</b> no handrail and needs minimum floor lighting during performance	#72				
	Recommended Remedy	Confirm ramp is less than 8.33%, add handrails and strip lighting		360	SF	\$24	\$8,640
13	Existing Deficiency	<b>Patton Gym:</b> 84-yr old interior finishes are beyond service life	#99, #105				
	Recommended Remedy	Remove all radiators, piping, misc. items from brick walls; install furring and GWB; repaint		13,800	SF	\$10	\$138,000

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Quantity	Unit						
14	Existing Deficiency	<b>Patton Gym:</b> Ceiling insulation is delaminating	#104				
	Recommended Remedy	Remove, replace with insulated, acoustic ceiling		11,600	SF	\$7	\$81,200
15	Existing Deficiency	<b>Patton Gym:</b> Hardwood floor is moisture damaged at end of service life	#100, #103				
	Recommended Remedy	Remove all flooring and replace with new maple cushion floor system		9,000	SF	\$21.50	\$193,500
16	Existing Deficiency	<b>Patton Gym:</b> Wood bleachers are splintered and broken	#106, #107				
	Recommended Remedy	Replace all bleachers with polyvinyl seating		1	LS	\$60,000	\$60,000
17	Existing Deficiency	<b>Patton Gym:</b> all interior doors are wood and at end of service life	#108, #109, #110, #111				
	Recommended Remedy	Replace all interior doors with galv. metal frames, and FRP doors throughout	ALLOW	15	EA	\$4,400	\$66,000
18	Existing Deficiency	<b>Patton Gym:</b> Sports Medicine in old locker room	#12, #13, #14				
	Recommended Remedy	Repurpose space into classroom; remove showers, total interior renovation		2,000	SF	\$125	\$250,000
19	Existing Deficiency	<b>Patton Gym:</b> Weight Room in old girls locker room	#115, #116, #117				
	Recommended Remedy	Repurpose space into Exercise Gym; remove all piping, radiators; replace ceiling with insulated, acoustic ceiling, replace walls with hi-impact GWB; install cushioned athletic flooring; repaint complete; install new light fixture		1,500	SF	\$150	\$225,000
20	Existing Deficiency	<b>Patton Gym:</b> Exercise Gym toilets are beyond service life	#118, #119, #120				
	Recommended Remedy	Reove (E) complete, replace w/ tile walls, epoxy flooring, new fixtures, partitions, accessories and lighting		200	SF	\$200	\$40,000
21	Existing Deficiency	<b>Gymnasium Entry:</b> faded and deteriorated wall paint	#64, #73				
	Recommended Remedy	prep and repaint		1,200	SF	\$4	\$4,800
22	Existing Deficiency	<b>Gym - Boys Toilets:</b> Urinal 7 toilet leakage/ wall deterioration; floor deterioration	#65, #66				
	Recommended Remedy	Replace fixtures, cleanout locations and rebuild plumbing wall, Install tile wainscot and epoxy floor covering		1,200	SF	\$30.40	\$36,480

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Quantity	Unit						
23	Existing Deficiency	<b>Gym - Boys Locker Rm:</b> many broken lockers; dingy, faded walls, deteriorated concrete floor.	#67				
	Recommended Remedy	Replace lockers, add tile wainscot, solatube daylighting, and epoxy flooring.		3,066	SF	\$55.28	\$169,488
24	Existing Deficiency	<b>Gym - Girls Locker Rm:</b> dingy wall, and stained concrete flooring.	#74,75, &76				
	Recommended Remedy	Add solatube daylighting, epoxy flooring, and paint walls		1,200	SF	\$33	\$39,600
25	Existing Deficiency	<b>Gym - West Exit Corridor:</b> Deteriorated wall board, doors and exposed electrical box.	#77, #78, #79				
	Recommended Remedy	Remove electrical box, repair walls, prep and repaint , and install 8-ft corner guards.		1,488	SF	\$8	\$11,904
26	Existing Deficiency	<b>Pool Bldg:</b> concrete floor is degraded; piping/roof framing exposed; wall finishes not durable	#121, 122, 123,124,125				
	Recommended Remedy	Total renovate with tile walls, epoxy flooring, insulated drop ceiling, with integrated utilities and lighting; new lockers, and plumbing fixtures		1	LS	\$90,000	\$90,000
27	Campus Wide Deficiency	<b>All slab on grade (SOG) concrete floors:</b> excessive moisture impedes flooring bond					
	Recommended Remedy	Prior to new flooring, strip/etch concrete, and apply vapor barrier	Verify Qty	86,000	SF	\$6	\$516,000
28	Campus Wide Deficiency	<b>Classrooms/ Corridors/Misc. flooring:</b> at end of service life					
	Recommended Remedy	Replace all flooring with resilient flooring, and walk-off Entry carpet mat.	Allow	75,000	SF	\$5	\$375,000
29	Campus Wide Deficiency	<b>All Corridors/ Hallways/ and Gym Walls:</b> damaged and patched gyp. wall board (GWB)					
	Recommended Remedy	Replace with 'Hi-Impact' GWB and 8-ft corner guards	Allow	45,000	SF	\$5	\$225,000
30	Campus Wide Deficiency	<b>Interior Walls:</b> paint/ wall covering at end of service life					
	Recommended Remedy	Repaint all interiors campus wide		180,892	SF	\$1	\$180,892

**Alameda High School**  
**Facility Assessment Spreadsheet**

CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF Quantity Unit	COST / UNIT	TOTAL COST
<b>3) Mechanical / Plumbing</b>					<b>\$3,113,036</b>
<b>A) Exterior</b>					
<b>i) SITE SYSTEMS</b>					
<b>1 Existing Restrooms</b>	campus has some Trane Tracer DDC controls, on the wings that have been modernized within the past 8-10years. Older portions of the campus have no DDC				
<b>Recommended Remedy</b>	add campus wide ddc control and create district standard for energy control systems (SF of Conditioned Space)		180,892 SF	\$2	\$361,784
<b>2 Existing Deficiency</b>	overall condition of hvac and plumbing is very poor condition throughout, with exception of the new boilers and the academic building, which are in good condition.				
<b>Recommended Remedy</b>	replace hvac/plumbing systems complete, see below		180,892 SF	\$8	\$1,447,136
<b>3 Existing Deficiency</b>	storm drainage sump and pump lift station system is failing at west wing				
<b>Recommended Remedy</b>	replace sump pit and pump		1 LS	\$8,500	\$8,500
<b>B) Interior</b>					
<b>ii) EXISTING SYSTEMS</b>					
<b>1 Existing Boilers, pumps, piping; DISTRICT OFFICE BUILDING</b>	hydronic systems are old and inefficient with poor zone control. District has requested complete removal of all boiler systems, within in the District office building.				
<b>Recommended Remedy</b>	Remove all convectors, wall radiators, controls, piping completely. Replace with ductless split heat pumps system with heat recovery, i.e. Daikin VRV for independent zone control throughout first and second floors. Third floor, use rooftop package AC units.		180,892 SF	\$2	\$361,784
<b>2 Existing Systems- District offices building</b>	Plumbing systems are non ada, high volume fixtures that are vintage.				
<b>Recommended Remedy</b>	Replace all plumbing fixtures, complete, including, urinals (0.125 gpf), water closets (1.28gpf), and lavatories (0.5gpm) to bring into current code compliance and reduce water consumption.		34,600 SF	\$5	\$173,000
<b>3 Existing Deficiency -</b>	steam radiators within space are vintage, no ventilation				
<b>Recommended Remedy</b>	replace with high efficiency gas fired unit heaters. Add CO2 sensors and exhaust fans for ventilation.		10,132 SF	\$5.00	\$50,660



**Alameda High School**  
**Facility Assessment Spreadsheet**

CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
			Quantity	Unit		
<b>4</b> Existing Deficiency - Patton Gym locker rooms	Heating and ventilation is accomplished with unit ventilators and steam heating coils. Showers have been abandoned and are no longer in use. Toilets and urinals are high volume fixtures and do not meet current code					
Recommended Remedy	Replace uv's with new higher efficiency units, gas heating. Add CO2 sensors and exhaust fans for ventilation. Replace toilets, urinals and lav's as required to meet current code. Showers should either be replaced and upgraded to current standards, or demolished completely to repurpose space		8,800	SF	\$5	\$44,000
<b>5</b> Existing Deficiency Indust. Arts bldg.	HVAC and plumbing systems in this building are in good condition and working well. Trane rooftop units with gas heating and ducted air delivery. Units are about 8years old and still have useful life					
Recommended Remedy	clean ductwork		19,800	SF	\$1.50	\$29,700
<b>6</b> Existing Deficiency-Cafeteria	hot water unit ventilators, with minimal to no ventilation					
Recommended Remedy	add CO2 control with exhaust		4,200	SF	\$1.50	\$6,300
<b>7</b> Existing Deficiency - West Wing	domestic hot water heating system and storage tanks are vintage and are failing					
Recommended Remedy	replace hot water boiler and storage tanks		1	LS	\$125,000	\$125,000
<b>8</b> Existing Deficiency - West Wing 3rd floor	rooftop a/c units, (Carrier) and exhaust fans are nearing the end of their useful life					
Recommended Remedy	replace and clean ductwork		19,400	SF	\$2	\$38,800
<b>9</b> Existing Deficiency -	Air handlers in space appear to be in fair to good condition					
Recommended Remedy	clean ductwork		20,300	SF	\$1.50	\$30,450
<b>10</b> Existing Deficiency - New Gym-locker rooms	unit ventilators appear to be in fair to good condition, showing signs of rust due to location within space, but use hot water for heating.					
Recommended Remedy	replace hot water units with roof mounted gas fired make up air units, (i.e. reznor or equal) Increase ventilation to space and add CO2 control		20,300	SF	\$1.50	\$30,450

**Alameda High School**  
**Facility Assessment Spreadsheet**

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
11	Existing Deficiency - New Gym-boilers	heating and domestic boilers, pumps and related equipment are at the end of useful life		20,300	SF	\$5	\$101,500
	Recommended Remedy	replace central heating and domestic water heating plants in their entirety with new high efficiency gas fired packaged ac units.					
12	Existing Deficiency-Academic	overall mechanical / plumbing systems are in good condition. AH's are newer robust units by Haakon. Plumbing systems are current and meet ada and low flow requirements. Some drinking ftns in hall ways are not hi-low tvøe		101,324	SF	\$3	\$303,972
	Recommended Remedy	clean duct systems, rebalance and re-commission vav controls and ah set points to optimize energy savings. Replace non compliant DF's, (25%).					
Electrical							\$2,553,142
General							
i)	EXISTING SYSTEMS						
	Existing Systems	School Modernizations in past have included upgrades to electrical service , tele communication, bell/clock/speaker, and fire alarm systems. Central Wing appears to have its own service, main switchboard is orginal equipment and at the end of service life. West Wing, Academic and Techanical Arts buildings appear to share the same electrical service , located in West Wing basement. Main switchboard is original equipment and at end of service life. Gymnasium has a separate electrical service Swim Center has a separate electrical service T-Mobile cell phone site on roof of Academic building. No cable TV service.					
Mandatory							
i)	EXTERIOR LIGHTING						
	Existing Systems	Exterior building lighting provided by wallpacks and roof mounted floodlights, surface square dropped lens at covered walkways, eave mounted HID cans at historic buildings Pole mounted dual head shoebox luminaires at Oak St parking lot, pole mounted single head shoebox luminaires at Walnut St parking lot.					
1	Existing Deficiency	Inadequate exterior lighting provided, walkways dark for back to school nights, as noted by staff		60	EA	\$850	\$51,000
	Recommended Remedy	Add exterior walkway fixtures					
2	Existing Deficiency	Inadequate lighting provided at exterior stairs		20	EA	\$500	\$10,000
	Recommended Remedy	Add exterior steplights at stairways					
3	Existing Deficiency	No exterior emergency lighting provided for emergency egress.		50	EA	\$375	\$18,750
	Recommended Remedy	Add exterior battery pack fixtures for minimum code coverage					

**Alameda High School**  
**Facility Assessment Spreadsheet**

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
		Quantity	Unit				
ii) <b>INTERIOR LIGHTING</b>							
1	<b>Existing Systems</b>	Central & West Wings: Existing suspended fluorescent fixtures in some classroom and office areas do not have seismic supports					
	<b>Existing Deficiency</b>	Suspended fixtures do not have seismic supports & cables to prevent sideways shifting					
	<b>Recommended Remedy</b>	Add horizontal bracing and diagonal restraint wires per code		54,000	SF	\$2	\$108,000
<b>Deferred Maintenance</b>							
i) <b>FIRE ALARM /DETECTION</b>							
1	<b>Existing Systems</b>	Existing control and expander panels, strobes, detectors are recent system upgrades. Several separate control panels observed, Cerberus Pyrotronics in Central Wing, Notifier in Academic bldg, and Rauland in gym (Gym not hooked into rest of Campus) .					
	<b>Existing Deficiency</b>	In Central & West Wings, fire alarm cable is not in conduit					
	<b>Recommended Remedy</b>	Provide raceway for cable		750	LF	\$4	\$3,000
	<b>Existing Deficiency</b>	Broken devices were observed					
	<b>Recommended Remedy</b>	Replace broken devices		10	EA	\$300	\$3,000
	<b>Existing Deficiency</b>	Fire alarm strobes inadquate in several areas, particularly in classrooms, audtiorium and conference in historic building.					
	<b>Recommended Remedy</b>	Add fire alarm strobes		50	EA	\$300	\$15,000
	<b>Existing Deficiency</b>	Fire alarm panels are not preferred manufacturer Problems with false alarms and trouble signals.					
	<b>Recommended Remedy</b>	Replace fire alarm panel with district preferred manufacturer (Firelite). Provide (3) new extender panels, one each for Central Wing, Academic Building, and gym. Consolidate all buildings on campus into single fire alarm system, with new main panel in Administration		1	EA	\$5,400	\$5,400
	<b>Existing Deficiency</b>	Consolidate all buildings on campus into single fire alarm system, with new main panel in Administration					
	<b>Recommended Remedy</b>	Provide new fire alarm devices, conduit and cables as required to consolidate existing system		180,892	LF	\$2	\$361,784
	<b>Existing Deficiency</b>	Gym is not connected to rest of campus					
	<b>Recommended Remedy</b>	Provide conduit and fire alarm cable to connect gym to campus		750	LF	\$45	\$33,750

**Alameda High School**  
**Facility Assessment Spreadsheet**

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
		Quantity	Unit				
ii) TELEPHONE/DATA SYSTEM							
	Existing Systems	Rack mounted telephone & data systems are recent upgrades, seven (7) racks for District tele/data system					
	1 Existing Deficiency	Existng telephone service is faulty and is not preferred manufacturer.					
	Recommended Remedy	Replace (E) system with District standard VOIP.		1	LS	\$250,000	\$250,000
	2 Existing Deficiency	In some classrooms, plastic floor thresholds used to cover data cables to tables and work stations.					
	Recommended Remedy	Add data outlets to eliminate use of thresholds		200	LF	\$15	\$3,000
		Add vertical data poles		40	EA	\$150	\$6,000
	3 Existing Deficiency	In typical classrooms, inadequate number of data outlets					
	Recommended Remedy	Provide additonal data outlets		250	EA	\$350	\$87,500
	4 Existing Deficiency	Surface raceway in several locations has broken pieces, loose data cable.					
	Recommended Remedy	Replace broken raceway		500	LF	\$15	\$7,500
5 Existing Deficiency	Add data distribution equipment, including fiber optic panels, patch panels, switches and wireless data transmitters, to accommodate new data outlets note above						
Recommended Remedy	Add data distribution equipment to activate all data outlets		25	Units	\$950	\$23,750	
iii) BELL/CLOCK/SPEAKER SYSTEM							
	Existing Systems	Existing bell/clock/speaker system is outdated, parts & service difficult to find. At Central wing, 2nd flr only is connected to High School bell/clock/speaker system.					
	1 Existing Deficiency	In Central Wing auditorium, existing sound system is outdated and parts and service are difficult to find.					
	Recommended Remedy	Replace (E) system with District standard VOIP.		1	LS	\$125,000	\$125,000
	2 Existing Deficiency	Existing system appears to be consolidation of several buildings and bell/clock/speaker functions are not working properly. Existing system is not preferred manufacturer.					
	Recommended Remedy	Replace existing system with one preferred by District, as noted above in Tele/Data systems.		180,892	SF	\$2	\$361,784



**Alameda High School**  
**Facility Assessment Spreadsheet**

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
		Quantity	Unit				
iv)	SECURITY SYSTEM						
	Existing Systems	Security system is provided by door contacts and motion sensors. Site has several separate systems, Central Wing, Gym, Academic Building & Swim Center.					
	1 Existing Deficiency	Some parts of campus are not protected					
	Recommended Remedy	Add door contacts and motion sensors		180,892	SF	\$0.75	\$135,669
	2 Existing Deficiency	Consolidate all buildings on campus into single security system, with new panel in Administration					
	Recommended Remedy	Provide new security panel, devices and cables to replace existing system		180,892	SF	\$0.60	\$108,535
v)	INTERIOR LIGHTING						
	Existing Systems	Central & West Wings: surface 4x4 lensed fluorescents in typical offices, pendant 1x4 wraparound fluorescents in typical classrooms, surface 1x4 baffled fixtures in hallways, surface 1x4 wraparound fluorescents in stairways and cafeteria. In auditorium, pendant chandeliers and wall sconces, with projection lights at stage, bowl incandescent and recessed square lensed downlights in balcony soffit In basement, surface incandescent and fluorescent strip fixtures and high bay HID fixtures in gym. In Central Wing non DSA areas pendant 1x4 wraparound fluorescent fixtures. Academic and Technical Arts buildings: recessed 2x4 lensed fluorescent fixtures in typical classrooms and hallways; wall mounted cove lights, recessed 2x2 fluorescents, beam mounted fluorescent fixtures in office areas; wall mounted 6"square x 4' fluorescent fixtures in restrooms; surface 2x2 HID fixtures in Multi Purpose room. In gym: high bay HID fixtures in gymnasium, 1x4 wraparound fluorescents in lockers, 2x4 fluorescents in office.					
	1 Existing Deficiency	Fixtures appear to be older, with T8 or T12 lamps and magnetic ballasts.					
	Recommended Remedy	Replace new fluorescent fixtures with energy efficient T5 lamps and electronic ballasts		180,892	SF	\$1.55	\$280,383
	2 Existing Deficiency	Minimal lighting control in Central & West wings, circuit breakers at panels used for daily switching, original push button switches still in use.					
	Recommended Remedy	Provide or replace with new switches or occupancy sensors		35	EA	\$300	\$10,500
	3 Existing Deficiency	In Central Wing auditorium, existing dimmer panel is outdated and parts and service are difficult to find.					
	Recommended Remedy	Replace with new dimmer panel		1	LS	\$14,500	\$14,500
	4 Existing Deficiency	Fixtures observed with broken or missing lenses.					
Recommended Remedy	Replace lenses		35	EA	\$50	\$1,750	

**Alameda High School**  
**Facility Assessment Spreadsheet**

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
5	Existing Deficiency	Some occupancy sensors observed, local room switches are typical classroom and office lighting controls					
	Recommended Remedy	Replace toggle switches with ultrasonic/infrared room occupancy sensors		180,892	SF	\$0.35	\$63,312
vi) EXIT SIGNS							
	Existing Systems	Exit signs and dual head battery packs observed. Low level exits observed in gym.					
1	Existing Deficiency	Fixtures observed with broken or missing lenses. Several exit signs are outdated and not furnished with battery backup, paper exit signs observed.					
	Recommended Remedy	Replace and add exit signs		60	EA	\$275	\$16,500
2	Existing Deficiency	Inadequate number of emergency egress fixtures were observed.					
	Recommended Remedy	Add dual head battery packs at egress paths		60	EA	\$425	\$25,500
vii) POWER							
1	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic floor thresholds used to cover power cables to tables and work stations.					
	Recommended Remedy	Add power outlets to eliminate use of thresholds Add vertical power poles		75 30	EA EA	\$350 \$150	\$26,250 \$4,500
2	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic surface raceway is broken and hanging loose from walls, with data and power cables exposed.					
	Recommended Remedy	Replace broken raceways		500	LF	\$15	\$7,500
3	Existing Deficiency	In typical Central & West wing classrooms, inadequate number of receptacles, two per room were observed.					
	Recommended Remedy	Provide additonal receptacles		60	EA	\$350	\$21,000
4	Existing Deficiency	In gym, inadequate quantity of receptacles, branch circuits faulty.					
	Recommended Remedy	Provide additonal receptacles		150	EA	\$350	\$52,500
5	Existing Deficiency	Scoreboard is not working in Patton Gym					
	Recommended Remedy	Repair or replace scoreboard		1	EA	\$12,000	\$12,000

**Alameda High School**  
**Facility Assessment Spreadsheet**

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
6	Existing Deficiency	In some areas, devices are missing coverplates with data or power cables exposed					
	Recommended Remedy	Replace coverplates		35	EA	\$15	\$525
7	Existing Deficiency	In Central Wing basement boiler room, existing electrical equipment is outdated and rusted due to periodic flooding.					
	Recommended Remedy	Replace distribution board, panels and motor control center.		1	LS	\$150,000	\$150,000
8	Existing Deficiency	<b>Academic Wing:</b> all in or under slac metal conduit has rusted out causing shorts and wiring replacement hard					
	Recommended Remedy	Replace ground floor UG service with PVC conduit and boxes.		1	LS	\$125,000	\$125,000
9	Existing Deficiency	At Academic & Tech Arts buildings, cast in place floor outlets fill with water					
	Recommended Remedy	Replace with new cast iron floorbox and coverplate in compliance with UL scrub water requirements	ALLOW	10	EA	\$2,000	\$20,000
10	Existing Deficiency	Inadequate power distribution for receptacles for data system as noted above					
	Recommended Remedy	For added receptacles noted above, install new panelboards (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeder from switchboard		6	EA	\$500	\$3,000
<b>5) Structural</b>							<b>\$64,000</b>
1	Existing Deficiency	Academic BLDG appears to have inadequate out-of-plane wall anchorage - not critical					
	Recommended Remedy	* Additional analysis required. Allowance is for analysis only		1	LS		\$4,000
2	Existing Deficiency	West Wing 1st floor south facing wall appears to be lacking shear wall					
	Recommended Remedy	Add 12" concrete shear wall	Allow	160	LF	\$350	\$56,000
3	Existing Deficiency	Gym lacking low roof to wall anchorage at west wall N/S direction btw grids 13,14					
	Recommended Remedy	* Additional analysis required. Allowance is for analysis only		1	LS		\$4,000
Sub-Total							\$15,640,265
* NEEDS FURTHER INQUIRY FOR ACCURATE ESTIMATE							
SOFT COSTS @ 25%							\$3,910,066
TOTAL COSTS (not including escalation)							<b>\$19,550,331</b>

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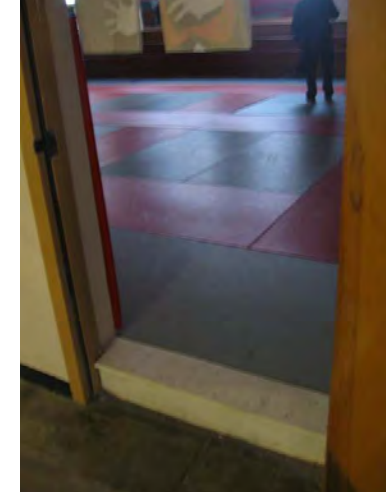
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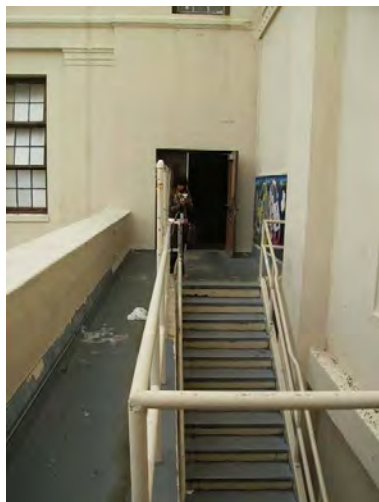
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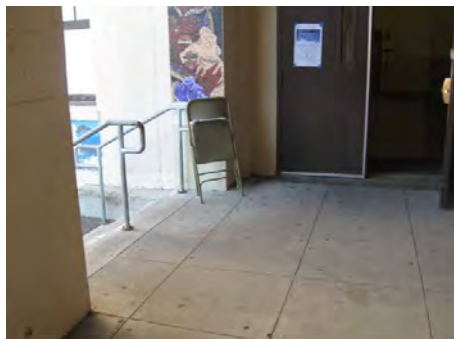
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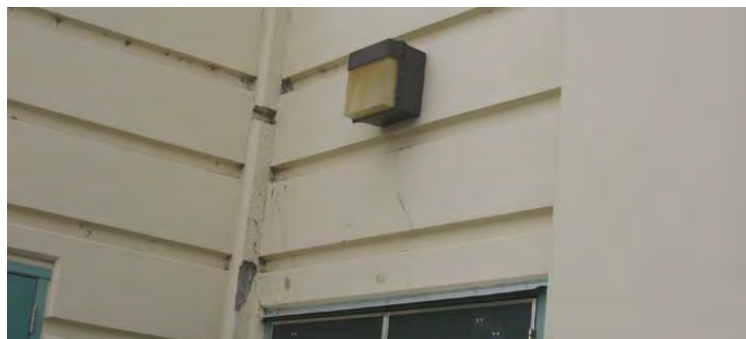
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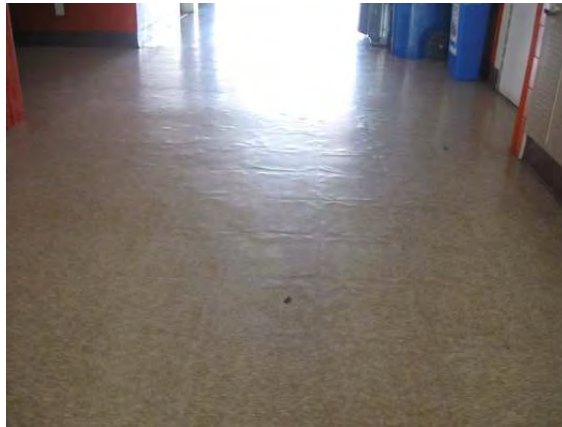
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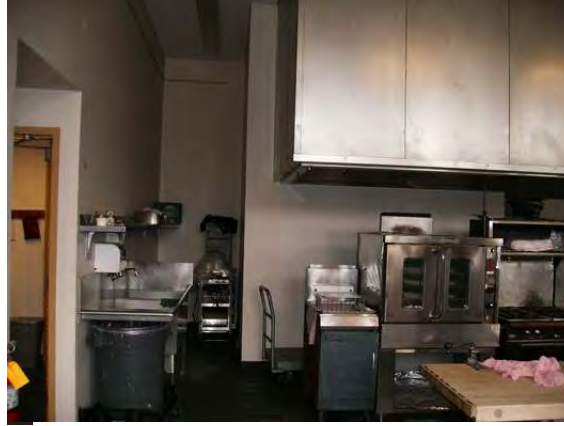
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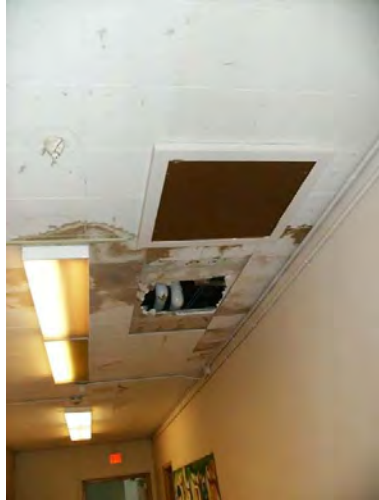
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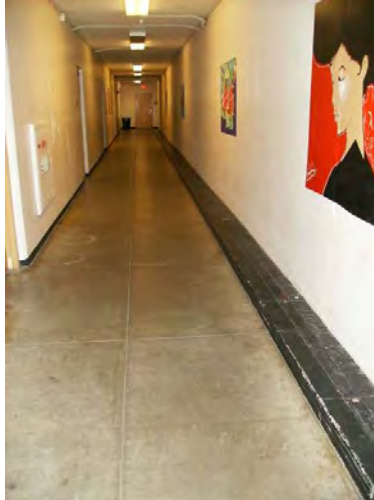
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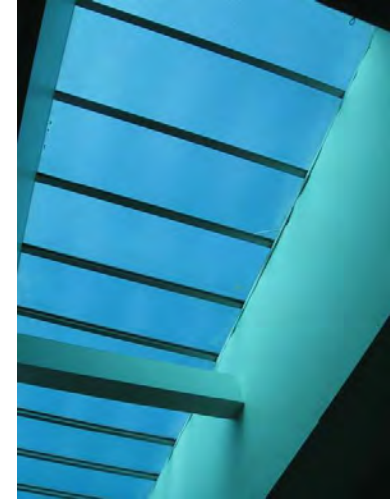
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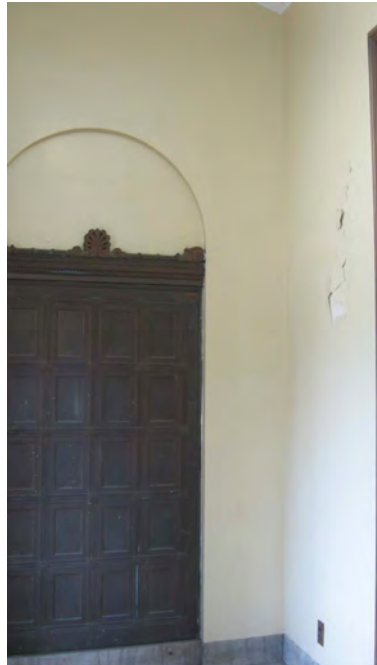


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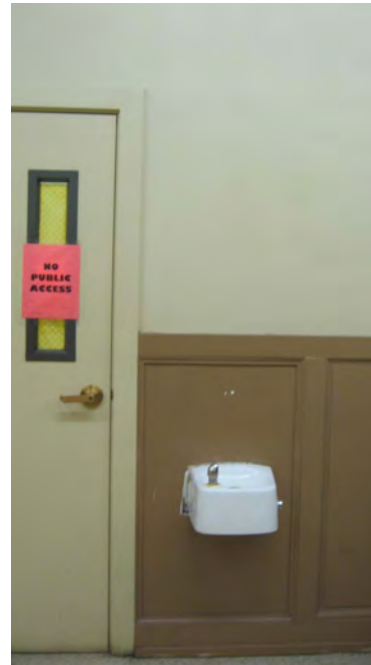
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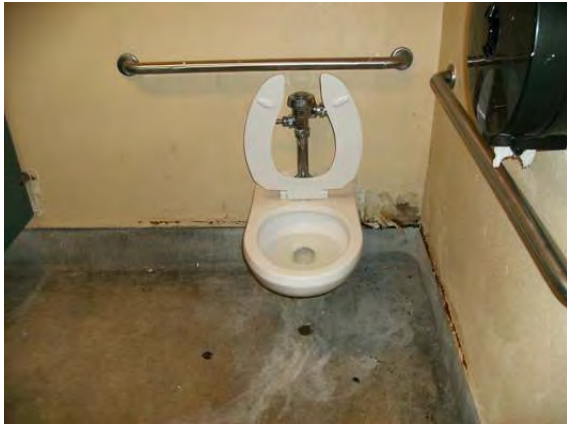
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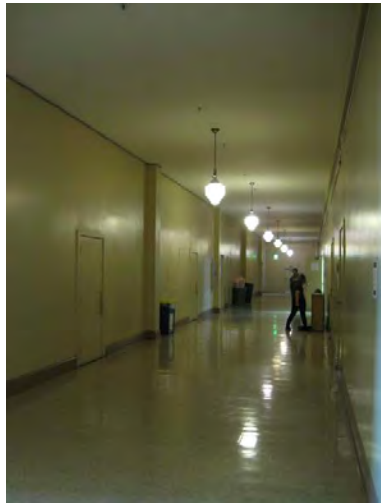
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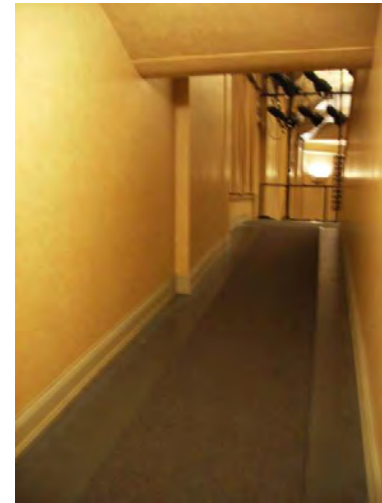
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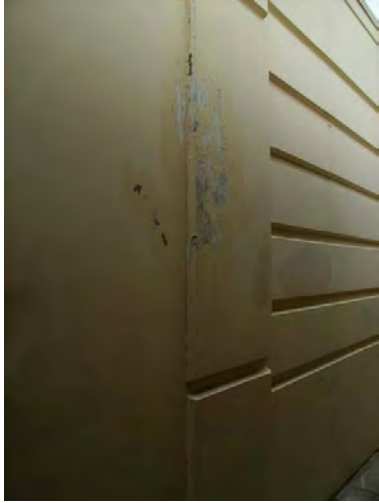


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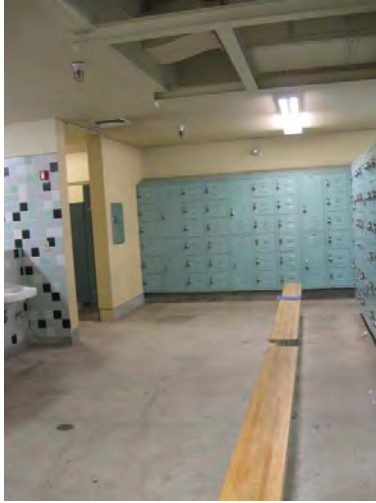


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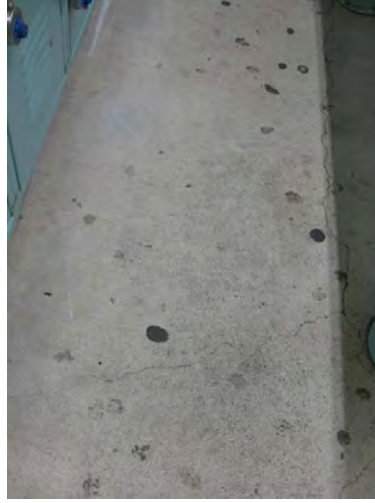
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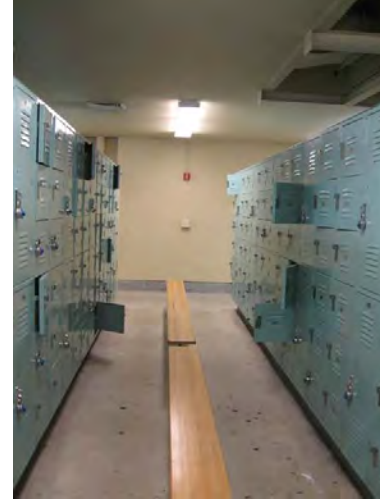
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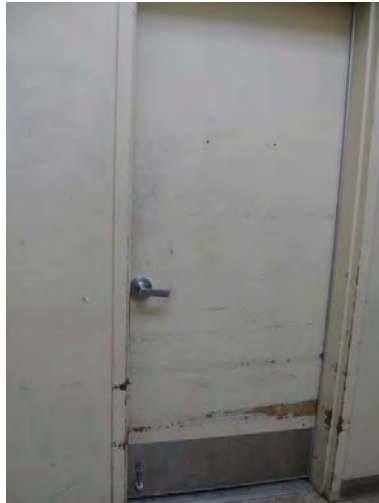
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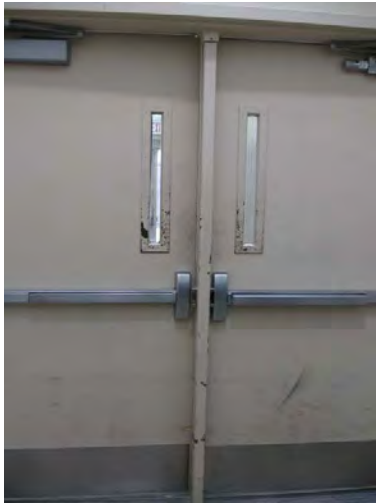
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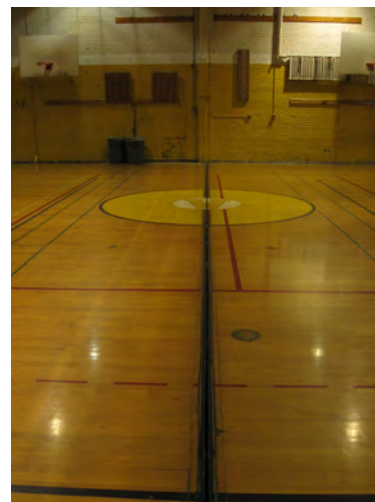
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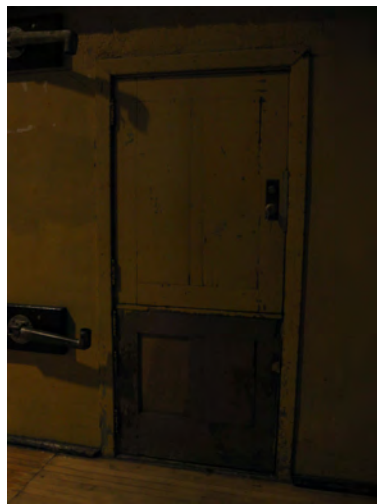


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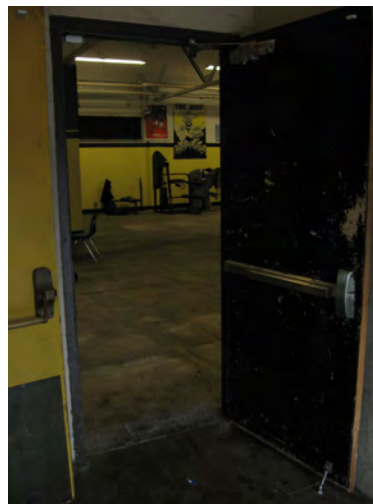
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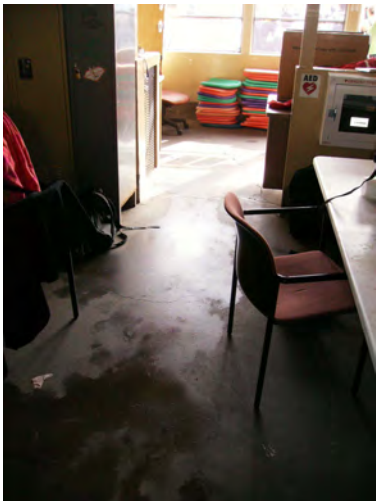
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