

Paden Elementary School

SUMMARY OF SCHOOL CAMPUS

- **Address:** 444 Central Ave, Alameda, CA 94501
- **Principal - Phone No. :** Katherine Barr - (510) 748 4014
- **Year Built:** 1954, 1964, & 1991
- **Total Site Area:** 4.30 acres
- **Building Area:** 41,714 sf
- **Portables:** (2) built in 1997

FACILITY DESCRIPTION

William Paden School was originally constructed in 1954 on concrete pad foundations with 1 and 2-story wood framed, cement plaster walls, and built-up membrane roofing. This facility included 15 classrooms and the Administration offices. In 1964, a 4- room wing was added with north facing monitor roof windows for classroom day lighting. The Multi-Purpose/ Cafeteria/ Gym, and Library/Media Center were added in 1997. In 2000, the original 1954 buildings were seismically retrofitted, and the entire campus received accessible barrier removal, restroom upgrades, re-painting, and electrical, data, clock, security and fire alarm upgrades. In 2007, Measure "C" funds provided Boiler/mechanical improvements, and other fire, life and safety system upgrades. Two portable buildings have been installed on the asphalt playground since 2002.

Paden E.S. currently serves 346 (K-5) students in 22 classrooms, including the portables. The south facing asphalt playground extends to water's edge providing adequate play area, and stunning views toward the Bay

KEY ASSESSMENT ITEMS

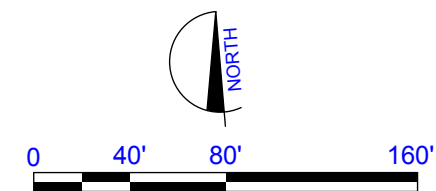
- Parking & playground asphalt deterioration
- Roofing membrane has exceeded service life
- Building fire area requires addition of fire sprinklers
- Exterior windows, doors, and finishes has exceeded service life
- Interior floor, wall and ceiling finishes have exceeded service life



- CLASSROOM BUILDING
- ADMINISTRATION
- MULTI-PURPOSE / CAFETERIA BUILDING
- MODULAR BUILDING
- PORTABLE BUILDING
- COVERED WALKWAYS
- #C SEE ASSESSMENT SPREADSHEET FOR CIVIL KEYNOTES, TYP.

PADEN ES
4/30/2012

Alameda USD Facilities Assessment



**Paden Elementary School
Facility Assessment Spreadsheet**

| CATEGORY | DESCRIPTION | PHOTO & SITE PLAN | ESTIMATED TAKE OFF | COST / UNIT | TOTAL COST | |
|------------------------------------|--|-------------------|--------------------|-------------|------------------|----------|
| 1) Civil | | | | | \$760,616 | |
| A) Existing Site Conditions | | | | | | |
| i) ACCESS | | | | | | |
| 1 Existing Deficiency | Slope in ADA stalls varies from 2.3% to 4%; signage out of date. | 1C | | | | |
| Recommended Remedy | Edge grind perimeter of stalls and out into drive aisle. Install variable depth asphalt overlay to reduce slope in ADA stalls and unloading zones to 2% max. Update signage, and restripe stalls. | | 720 | SF | \$5.00 | \$3,600 |
| 2 Existing Deficiency | ADA parking lot entrance sign not located at parking lot entrance. | 2C | | | | |
| Recommended Remedy | Relocate sign to parking lot entrance. | | 2 | EA | \$550.00 | \$1,100 |
| 3 Existing Deficiency | Landing outside of main doors is 3% cross slope. | 3C | | | | |
| Recommended Remedy | Reduce slope to 2% max for 5 ft by either installing a concrete leveling course, or removing and replacing the concrete flatwork outside the main doors to work with the threshold and the stairs. | | 300 | SF | \$17.00 | \$5,100 |
| 4 Existing Deficiency | Cross slope on Asphalt path adjoining north side of bike enclosure exceeds 2%. | 4C | | | | |
| Recommended Remedy | Remove existing asphalt, and repave for 2% max cross slope. | | 300 | SF | \$8.00 | \$2,400 |
| 5 Existing Deficiency | Drop-Off Zone: Pavement badly deteriorated. | 5C | | | | |
| Recommended Remedy | Grind existing asphalt for possible reuse elsewhere as CI 2 AB. Repave with 3" min. new asphalt. Restripe per existing. | | 7,400 | SF | \$7.00 | \$51,800 |
| 6 Existing Deficiency | ADA student drop off zone lacking signage. | 6C | | | | |
| Recommended Remedy | Add compliant signage for drop off. | | 1 | EA | \$550.00 | \$550 |
| 7 Existing Deficiency | Pavement in the parking stalls is deteriorated; pavement in the drive aisle is deteriorating. | 7C | | | | |
| Recommended Remedy | Grind existing asphalt for possible reuse elsewhere as CI 2 AB. Re-grade for drainage & repave with 3" min. new asphalt. Restripe per existing. | | 3,900 | SF | \$3.15 | \$12,285 |

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| 8 | Existing Deficiency | Pavement in this portion of paved playcourts is deteriorated. | 8C | | | | |
| | Recommended Remedy | Edge grind, fill cracks, install pavement fabric and 1.5" min overlay. | | 3,900 | SF | \$3.15 | \$12,285 |
| 9 | Existing Deficiency | Play Ground: Pavement in paved playcourts is deteriorating. | 9C | | | | |
| | Recommended Remedy | Fill cracks, seal coat, and restripe. | | 78,900 | SF | \$0.64 | \$50,496 |
| ii) FIRE/LIFE SAFETY/HAZ MAT | | | | | | | |
| 1 | Existing Deficiency | Poor hydrant coverage for entire campus, particularly the south side of the buildings. | 10C | | | | |
| | Recommended Remedy | Construct a private fire service and hydrant at the south central portion of the campus. | | 1 | EA | \$18,000 | \$18,000 |
| 2 | Existing Deficiency | The interconnected nature of the buildings will likely result in a large fire area, and correspondingly high required fire flows, which the surrounding hydrants may not be able to meet. | | | | | |
| | Recommended Remedy | Consider adding fire sprinklers to existing buildings to reduce required fire flow. | | 63,000 | SF | \$9.00 | \$567,000 |
| iii) UTILITIES | | | | | | | |
| 1 | Existing Deficiency | Parking lot has no site drainage | | | | | |
| | Recommended Remedy | Add S.D. inlet and coordinate with replaced asphalt in item #7 | | 1 | LS | \$10,000.00 | \$10,000 |
| | Existing Deficiency | Domestic water main has no back-flow prevention | | | | | |
| | Recommended Remedy | Install a back flow valve (BFP) | | 1 | LS | \$6,000.00 | \$6,000 |
| 2 | Existing Deficiency | Irrigation is manual | | | | | |
| | Recommended Remedy | Replace with remote programmable irrigation system | | 1 | LS | \$20,000.00 | \$20,000 |
| 2) Architectural | | | | | | | \$1,587,860 |
| A) Exterior | | | | | | | |
| i) ACCESS | | | | | | | |
| 1 | Existing Deficiency | Upper Playground: numerous trip hazards | #1, #2, #3, #6, #7, #8 | | | | |
| | Recommended Remedy | Grind, regrade, and repave asphalt. | | 24,000 | SF | \$5.89 | \$141,360 |

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| 2 | Existing Deficiency | Student Drop-off: deteriorated pavement | #4, #5 | | | | |
| | Recommended Remedy | Grind, regrade, and repave asphalt. See Civil #5 | | | | | \$0 |
| ii) DEFERRED MAINTENANCE | | | | | | | |
| 1 | Existing Deficiency | Wood flag pole; non code compliant | #9 | | | | |
| | Recommended Remedy | Replace with Aluminum pole | | 1 | EA | \$2,500.00 | \$2,500 |
| 2 | Existing Deficiency | Entry Canopy: water damage at plaster framing. | #11 | | | | |
| | Recommended Remedy | Remove roofing membrane, dry rot & repair/replace plaster, framing & membrane | | 2,000 | SF | \$10.00 | \$20,000 |
| 3 | Existing Deficiency | Entire Roof: Rake flashing leaks, shingles at end of service life | #12 | | | | |
| | Recommended Remedy | Replace with S.S.Metal roof where shingled, and new BUR where flat Include allowance for dry rot reframing at Media Center | | 30,100 | SF | \$18.00 | \$541,800 |
| 4 | Existing Deficiency | (2) Portables: wood foundation has dry rot, and missing vent screens | #10, #13 | | | | |
| | Recommended Remedy | Preferred: Replace with concrete footing and add Site Drainage inlets, and new RWLs | | 28 | CY | \$650.00 | \$18,200 |
| 5 | Existing Deficiency | (2) Portables: Metal paint peeling, wood siding/trim nails rusting out. | #14, #15, #16 | | | | |
| | Recommended Remedy | Reclad in cement board panel/trim & repaint | | 1,600 | SF | \$7.00 | \$11,200 |
| 6 | Existing Deficiency | Exterior windows w/ Plexiglas beyond Service life | | | | | |
| | Recommended Remedy | Replace all windows with Alum. frame & dual pane glass | | 2,700 | SF | \$44.00 | \$118,800 |
| 7 | Existing Deficiency | Exterior doors beyond service life | | | | | |
| | Recommended Remedy | Replace all ext. doors with metal frame and FRP door | | 32 | EA | \$4,400.00 | \$140,800 |
| 8 | Existing Deficiency | Exterior painted finish is deteriorated | | | | | |
| | Recommended Remedy | Reseal and repaint all exterior walls, trims fascia, etc. | | 63,000 | SF | \$2.00 | \$126,000 |
| 9 | Existing Deficiency | No Trash Enclosure at this Site | | | | | |
| | Recommended Remedy | Install a 2-Bin Trash Enclosure per Health Dept. standards | | 1 | LS | \$15,000 | \$15,000 |

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| B) Interior | | | | | |
| i) GENERAL & MAINTENANCE | | | | | |
| 1 | Existing Deficiency | 2-Story Wing: water damaged 1st. Fl. ceiling tiles and exposed conduit | #17, #18 | | |
| | Recommended Remedy | Install new acoustic tile drop ceiling with new troffer fixtures. See Electrical Lighting item also | | 1,600 SF | \$7.00 \$11,200 |
| 2 | Existing Deficiency | 2-Story Wing: Stairwell window bullet holes | #19 | | |
| | Recommended Remedy | See Item #6 above | | 200 SF | \$0.00 \$0 |
| 3 | Existing Deficiency | Deteriorated painted wall and trim finish | | | |
| | Recommended Remedy | Repaint all interior walls, trims, doors, and other painted items | | 63,000 SF | \$2.00 \$126,000 |
| 4 | Existing Deficiency | Classroom/ Corridor flooring at end of service life | | | |
| | Recommended Remedy | Replace all flooring with resilient flooring, and walk-off Entry carpet mat. | | 63,000 SF | \$5.00 \$315,000 |
| 3) Mechanical / Plumbing | | | | | \$212,040 |
| A) Exterior | | | | | |
| i) SITE SYSTEMS | | | | | |
| 1 | Existing Deficiency | campus energy management system, i.e. ddc, does not exist | | | |
| | Recommended Remedy | add campus wide ddc control and create district standard for energy control systems | | 63,000 SF | \$2.00 \$126,000 |
| 2 | Existing Restrooms | good condition throughout, waterless urinals, sensor faucets, some exterior df's non ada. RR's are odorous due to poor ventilation | | | |
| | Recommended Remedy | Replace waterless urinals with ultra low flow (0.125 gpf) urinals, throughout. Replace exhaust fans throughout. | | 800 SF | \$5.00 \$4,000 |
| | | | | 6 LS | \$2,000.00 \$12,000 |

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| B) Interior | | | | | |
| ii) EXISTING SYSTEMS | | | | | |
| 1 Existing Systems; Admin. Bldg. | wall uv's have been abandoned and systems have been converted to rooftop packaged systems with ducted distribution. Roof top units are old, worn and inefficient. | | | | |
| Recommended Remedy | replace rooftop units, clean duct systems throughout | | 1,416 | SF | \$7,080 |
| 2 Existing Deficiency; Media Center | unit ventilators, good condition, but use hot water, so they must be removed. | | | | |
| Recommended Remedy | replace with ductless split sytem heat pump system. | | 2,300 | SF | \$9,200 |
| 3 Existing Deficiency-Multi Use Bld | boiler/pumps original equipment, standard efficiency, uv's are worn and showing signs of heavy wear. Toilet rooms are non ada. | | | | |
| Recommended Remedy | replace boiler, pumps, and related equipment with high efficiency gas fired make up air units, (reznor or eq). Remove boilers, pumps, piping and all related equipement. | | 4,480 | SF | \$53,760 |
| | replace non-compliant toilet room fixtures with urinals (0.125 gpf), water closets (1.28gpf), and lavatories (0,5gpm) to bring into current code compliance and reduce water consumption. | | 400 | SF | \$48,000 |
| 4) Electrical | | | | | \$300,075 |
| A) General | | | | | |
| i) EXISTING SYSTEMS | | | | | |
| Description: | School Modernization in 2007 included upgrades to electrical service , tele communication, clock, security, and fire alarm systems. No cable TV service. Emergency lighting inverter to provide backup power to selected lighting circuits, according to staff. | | | | |
| B) Mandatory | | | | | |
| i) EXTERIOR LIGHTING | | | | | |
| 1 Existing Deficiency | Exterior building lighting provided by wallpacks and floodlights, surface square dropped lens at covered walkways. | | | | |
| Recommended Remedy | Add (3) LED wall fixtures for Parking Area; Add (3) at Street Drop-off & (3) at east Alley | | 6 | EA | \$24,000 |

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| 2 | Existing Deficiency | No exterior emergency lighting provided for emergency egress. | | | | | |
| | Recommended Remedy | Add exterior battery pack fixtures for minimum code coverage | | 15 | EA | \$375.00 | \$5,625 |
| C) Deferred Maintenance | | | | | | | |
| i) FIRE ALARM /DETECTION | | | | | | | |
| | Description: | Notifier control and expander panels, strobes, detectors are recent system upgrades | | | | | |
| 1 | Existing Deficiency | Notifier panel is not preferred manufacturer | | | | | |
| | Recommended Remedy | Replace fire alarm panel with district preferred manufacturer (Firelite) | | 1 | EA | \$8,500.00 | \$8,500 |
| ii) TELEPHONE/DATA SYSTEM | | | | | | | |
| | Description: | Rack mounted Rauland telephone system upgrade | | | | | |
| 1 | Existing Deficiency | Rauland panel is not preferred manufacturer | | | | | |
| | Recommended Remedy | Replace Rauland system with District standard VOIP. | | 63,000 | SF | \$1.40 | \$88,200 |
| 2 | Existing Deficiency | In some areas, ie, media center, classrooms, offices, plastic floor thresholds or rugs used to cover data cables to tables and work stations. | | | | | |
| | Recommended Remedy | Add data outlets to eliminate use of thresholds | | 25 | EA | \$350.00 | \$8,750 |
| 3 | Existing Deficiency | Surface raceway in several locations has broken pieces. | | | | | |
| | Recommended Remedy | Replace broken raceway | | 150 | LF | \$15.00 | \$2,250 |
| 4 | Existing Deficiency | Add data distribution equipment, including fiber optic panels, patch panels, switches and wireless data transmitters, to accommodate new data outlets note above | | | | | |
| | Recommended Remedy | Add data distribution equipment to activate all data outlets | | 3 | EA | \$1,500.00 | \$4,500 |
| iii) BELL/CLOCK/SPEAKER SYSTEM | | | | | | | |
| | Description: | Rack mounted Rauland bell/clock/speaker system is recent upgrade | | | | | |
| 1 | Existing Deficiency | Rauland panel is not preferred manufacturer Master clock does not work, used for PA only | | | | | |
| | Recommended Remedy | Replace Rauland system with District standard VOIP. | | 63,000 | SF | \$0.45 | \$28,350 |

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| iv) INTERIOR LIGHTING | | | | | | |
| | Description: Surface wraparound 2x4 fluorescent fixtures in typ. Classrooms; recessed lensed 2x4 in offices, Multi Purpose, and Kindergarten classrooms; floodlights at stage, suspended cans and 2x4 fixtures in media center, surface wraparound 1x4 fluorescent fixtures in hallways | | | | | |
| 1 Existing Deficiency | Fixtures appear to be older, with T8 or T12 lamps and magnetic ballasts. | | | | | |
| Recommended Remedy | Replace with energy efficient T5 lamps and electronic ballasts. REPLACE Min. 50% of all fixtures on this campus | | 63,000 | SF | \$1.40 | \$88,200 |
| 2 Existing Deficiency | Fixtures observed with broken or missing lenses. | | | | | |
| Recommended Remedy | REPLACE Min. 50% of all fixtures on this campus | | 15 | EA | \$50.00 | \$750 |
| 3 Existing Deficiency | Some occupancy sensors observed, local room switches are typical classroom and office lighting controls | | | | | |
| Recommended Remedy | Replace toggle switches with ultrasonic/infrared room occupancy sensors | | 63,000 | SF | \$0.35 | \$22,050 |
| v) EXIT SIGNS | | | | | | |
| | Exit signs and dual head battery packs observed Low level exit signs in several areas | | | | | |
| 1 Existing Deficiency | Fixtures observed with broken or missing lenses. | | | | | |
| Recommended Remedy | Replace exit signs | | 6 | EA | \$375.00 | \$2,250 |
| 2 Existing Deficiency | Inadequate number of emergency egress fixtures were observed, according to staff inverter provides emergency backup power for egress lighting. | | | | | |
| Recommended Remedy | Add dual head battery packs at egress paths | | 15 | EA | \$375.00 | \$5,625 |
| vi) POWER | | | | | | |
| 1 Existing Deficiency | In some areas, ie, media center, classrooms, offices, plastic floor thresholds used to cover power cables to tables and work stations. | | | | | |
| Recommended Remedy | Add power outlets to eliminate use of thresholds | | 25 | EA | \$375.00 | \$9,375 |

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| 2 | Existing Deficiency | In some areas, ie, media center, classrooms, offices, plastic surface raceway is broken and hanging loose from walls, with data and power cables exposed. | | | | | |
| | Recommended Remedy | Replace broken raceways | | 100 | LF | \$15.00 | \$1,500 |
| 3 | Existing Deficiency | In some areas, devices are missing coverplates with data or power cables exposed | | | | | |
| | Recommended Remedy | Replace coverplates | | 10 | EA | \$15.00 | \$150 |
| 4 | Existing Deficiency | Inadequate power distribution for receptacles for data system as noted above | | | | | |
| | Recommended Remedy | For added receptacles noted above, install new panelboard (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeder from switchboard | | 1 | LS | \$4,700.00 | \$4,700 |
| 5) Structural | | | | | | | \$99,000 |
| 1 | Existing Deficiency | Discontinuous roof diaphragm steps at 1-story Building A | | | | | |
| | Recommended Remedy | Add Steel bracing | ALLOW | 1 | Total | \$75,000.00 | \$75,000 |
| 2 | Existing Deficiency | Appears to be lacking for lat support on west side at 2 story building south side at single story | | | | | |
| | Recommended Remedy | Add Shearwall | | 30 | LF | \$800.00 | \$24,000 |
| | | | | | | Sub-Total | \$2,959,591 |
| | | | | | | SOFT COSTS @ 25% | \$739,898 |
| | | | | | | TOTAL COSTS (not including escalation) | \$3,699,489 |

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