



Franklin Elementary School

1433 San Antonio Avenue

School Data

Date School Opened:	1950
2013 - 2014 School Year Enrollment:	318
Standard Classrooms:	9
Modular Classrooms:	4
Portable Classrooms:	1
Classrooms Used for Other Programs:	3
Building Area:	18,150 sq. ft.
Site Area:	1.22 acres

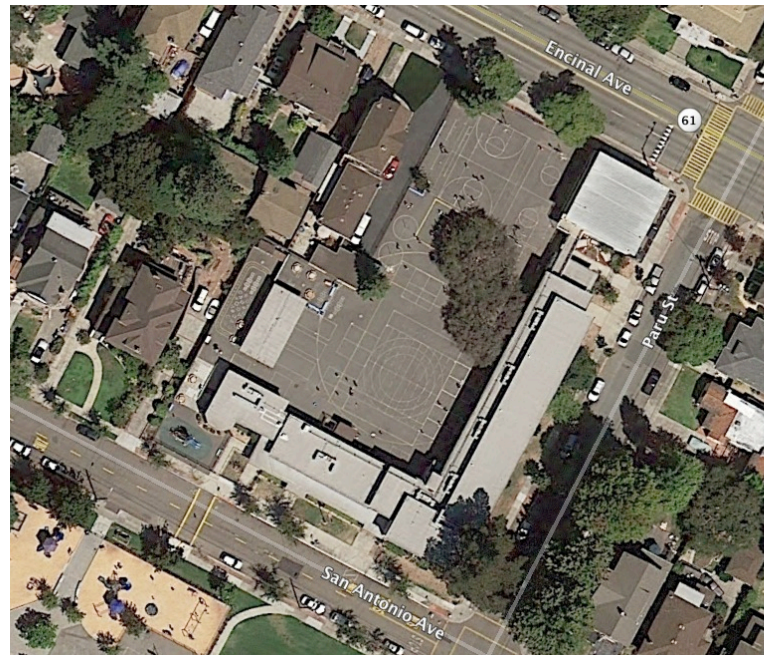
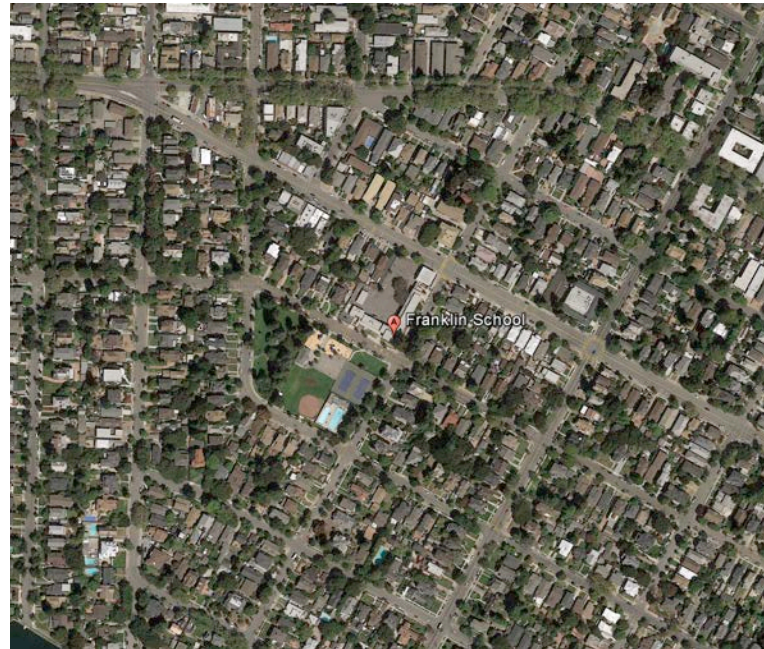
Franklin Elementary School - Background Information

Franklin Elementary School was constructed in 1950 as two-story wood frame building on concrete pad foundations with parapet walls and flat membrane roofing. The administration wing is actually recessed below grade so that mechanical/service spaces are a half-level down and office and staff spaces are a half-level up.

In 1955, a brick and glass corridor enclosure was added to the main entry, which clearly defines it. In 2000, all buildings received a seismic retrofit, along with modernization work resulting in accessibility upgrades of an elevator, exterior ramps, toilet room barrier removal, painting, and fire alarm upgrades. That same year, two-story modular classrooms were also added.

In 2008, Measure C funds were used to provide improvements to accessible paths of travel, interior barrier removal, and playground resurfacing.

The campus currently serves 318 (K-5) students with thirteen classrooms, a multi-purpose room, media center/library, and administration/staff lounge area. Music and daycare classes are held in a fourteenth classroom. Enrollment is not expected to grow between now and the 2023-2024 school year, based on the 2014 demographic analysis.



Franklin Elementary School - Existing Conditions Summary (from 2012 assessment)

Facilities Assessment Needs

- Roof membrane is at end of its service life.
- Exterior windows, doors, and finishes are at end of their service life.
- Additional accessibility barrier removal, and parking drop-off zone is required.
- Multi-purpose room accessibility needs to be improved.
- Interior floor and wall finishes are at end of service life.
- Heating systems have reached end of their service life.
- Lighting fixtures are inefficient and at end of their service life.
- Site lacks security alarm system.

Educational Program Needs

- Adequately sized and located administration space with reception area fronting on the primary entrance with ample visibility.
- Adequately sized multi-purpose room with appropriate amenities (warming kitchen, stage, music classroom, etc.)

Unique Opportunities

- The campus is across the street from a large community park.
- Committee discussed collaborating with the City of Alameda to close the street in front of the school during pick up and drop off times in order to address safety concerns. (Currently, no on-site parking or pick-up/drop off aisles exist.)

Alameda Unified School District Facilities Master Plan








Franklin Elementary School - Master Plan Summary

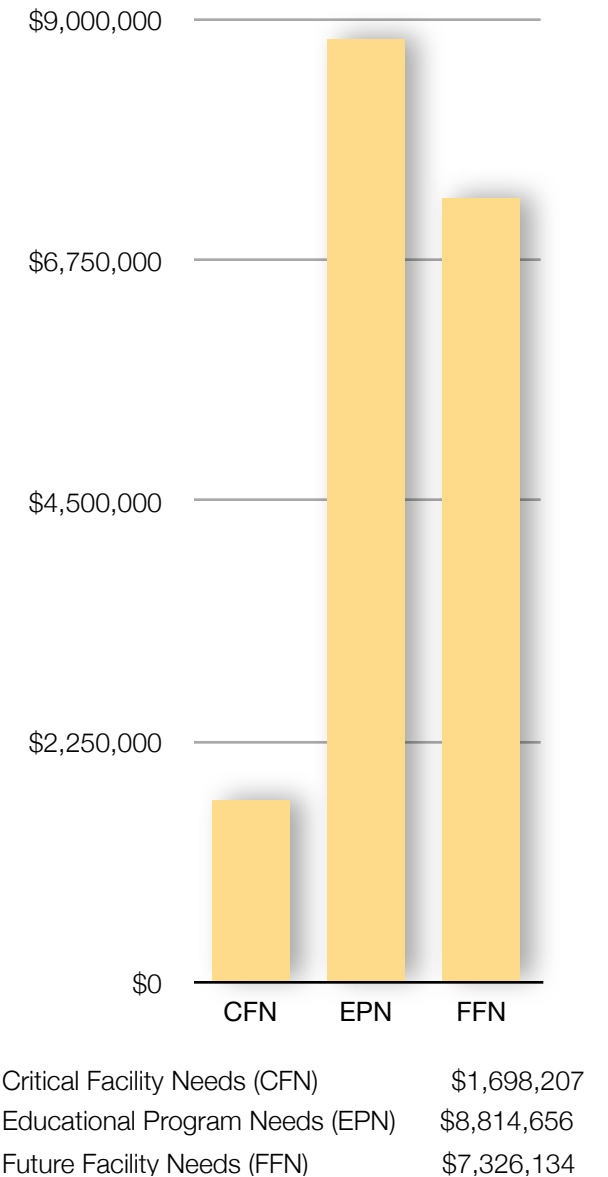
Master Plan Features

- Replace the 1024 sq. ft. multi-purpose room with a new adequately sized multi-purpose room that includes a warming kitchen, stage, music classroom, toilet rooms and storage.
- Replace the single existing oversized kindergarten classroom with a new kindergarten wing, that houses 4 classrooms.
- Provide an adequately sized administration space, with a reception area at the primary entrance into campus providing plenty of visibility.
- Provide shade structure for outdoor eating, learning and play.
- Replace modular and portable classrooms nearing end of their service life.
- Modernize media center and expand breakout spaces.

Proposed Improvements

	DISTRICT COMMON TRENDS	COMMON PROPOSED RESPONSE
	Safety and Security	New administration and classroom buildings, expanded multi-purpose room
	Accessibility	Place administration at ground level, improve restroom accessibility, and include a restroom in each kindergarten classroom.
	Technology	Improve wireless coverage and performance, updated audio visual and presentation capabilities.
	Science, Technology, Engineering, Art, Mathematics	No discussion
	Facilities Infrastructure	Provide a campus energy-management system, replace existing heating system equipment, and improve site drainage, provide more meeting and breakout space.

Improvements by Category



Franklin Elementary School - Committee Facilities Improvement Categories

Attendees at the school site meetings provided their recommendation on the priority of improvements within the three categories for use in future decision making. These recommendations will be considered along with other factors when scheduling projects as funding becomes available.

Critical Facility Needs (CFN)

- Building A Classrooms concrete shear walls appear to have inadequate reinforcement.
- Building B Classroom has no seismic gap from adjacent two-story classroom building.
- Improve site security lighting.
- Improve perimeter fencing.
- Improve power and data infrastructure.
- Building accessibility barriers remain.
- Mechanical heating and cooling systems are nearing end of service life.
- Interior finishes are in need of replacement.
- Roofing is at the end of its service life.

Educational Program Needs (EPN)

- New multi-purpose room building
- Relocated administration with reception fronting on main entrance
- Renovation of the existing classrooms
- Robust infrastructure for technology
- New breakout (small group meeting) spaces

Future Facility Needs (FFN)

- Three additional classrooms
- Replacement of two-story four classroom modular building with a new two-story four classroom addition to existing classroom wing
- New play structure



FRANKLIN ELEMENTARY SCHOOL SITE PLAN

Franklin Elementary School - Facilities Needs Spreadsheet

CATEGORY	SOURCE	DESCRIPTION (Deficiency/Remedy)	ESTIMATED TAKE OFF		COST/ UNIT	30% Soft Cost Allowance	TOTAL COST
			Qty.	Unit			
SITE ISSUES							
CFN	FA	ADA student drop off does not meet current standards for configuration and cross slope. Convert one of the two ADA parallel parking spaces on San Antonio to a Caltrans compliant drop off zone. Add compliant signage. Repair of the excessive cross slope will be difficult as it will tend to interrupt street drainage flows.	700	SF	37.8	\$7,938	\$34,398
CFN	FA	7.5% straight grade from back of public sidewalk to door. No level landing. Remove existing private walk. Install level landing at door and angled ramp at 1:12 maximum slope to public sidewalk.	360	SF	23.8	\$2,566	\$11,120
CFN	FA	There is a poorly draining sump inlet at this location to which all paved play court and likely most roof drainage is tributary. Inlet is reported to frequently back up during heavy storms, sending water into the adjoining basement area. If inlet is truly a sump inlet with no outlet piping, consider adding storm drain pumping station in inlet, with force main outlet to adjoining public street. Per district this is 4 inch storm drain to curb in street but always clogs. Replace with 6 inch line to street.	100	LF	113.4	\$3,402	\$14,742
CFN	FA	Domestic water service missing back flow device. Install BFP on existing 3 inch water line.	1	LS	6480.0	\$1,944	\$8,424
CFN	FA	Ponded water from play court area often floods basement. Add trench drain at top of stairs, with 4 inch storm drain connection to adjoining sump inlet. Add line to new 6 inch storm drain to street.	30	LF	145.8	\$1,312	\$5,686

Franklin Elementary School - Facilities Needs Spreadsheet

CATEGORY	SOURCE	DESCRIPTION (Deficiency/Remedy)	ESTIMATED TAKE OFF		COST/ UNIT	30% Soft Cost Allowance	TOTAL COST
			Qty.	Unit			
CFN	FA	Playground drinking fountain is non-accessible. Replace with accessible fountain.	1	PAIR	4536.0	\$1,361	\$5,897
CFN	FA	Play yard equipment is outdated and a liability. Replace with certified playground equipment.	1	LS	55000.0	\$16,500	\$71,500
CFN	FA	Second floor corridor: chain link enclosure is rusted and loose Replace chain link with metal fence tubing enclosure.	175	LF	48.6	\$2,552	\$11,057
CFN	FA	No trash enclosure at this site. Install a two-bin trash enclosure per Health Department standards.	1	LS	16200.0	\$4,860	\$21,060
CFN	FA	Inadequate exterior lighting provided and the walkways are dark as noted by staff. Add exterior walkway fixtures, and replace existing with LEDs. Add up-lights at play yard oak tree.	20	EA	918.0	\$5,508	\$23,868
CFN	FA	No exterior emergency lighting provided for emergency egress. Add exterior battery pack fixtures for minimum code coverage.	10	EA	405.0	\$1,215	\$5,265
CFN	FA	No security system appears to be provided. Add district standard security system.	21,800	SF	1.6	\$10,595	\$45,911
FFN	FMP	Play structures are nearing end of their service life. Replace with new play structures.	1	LS	75000.0	\$22,500	\$97,500

Franklin Elementary School - Facilities Needs Spreadsheet

CATEGORY	SOURCE	DESCRIPTION (Deficiency/Remedy)	ESTIMATED TAKE OFF		COST/ UNIT	30% Soft Cost Allowance	TOTAL COST
			Qty.	Unit			
FFN	FMP	The existing kindergarten classroom K1 and the administration wing need to be demolished in order to make way for new facilities as indicated in the facility master plan site plan. Demolish the existing kindergarten classroom K1 and the administration wing as indicated on the facility master plan site plan.	11300	SF	4.0	\$13,560	\$58,760
Subtotal							\$415,187
BUILDING SCOPE TYPICAL CAMPUS WIDE							
CFN	FA	Exterior doors: wood doors degraded and at the end of their service life. Replace with galvanized steel frames with FRP doors and new hardware.	24	EA	5076.0	\$36,547	\$158,371
CFN	FA	Wood fascia and trim: paint is chipping/peeling Stucco: paint is faded and color mis-matched. Refinish all wood and stucco walls.	10,000	SF	6.3	\$18,900	\$81,900
CFN	FA	Roof: built-up roofing at end of its service life. Replace all roofing, scuppers, caps, and flashings.	15,500	SF	17.3	\$80,213	\$347,588
CFN	FA	Aluminum windows: south and west facing units have reached end of their service life. Replace all exterior windows with aluminum frame, dual pane glass.	2,800	SF	69.0	\$57,960	\$251,160
CFN	FA	Interior painting and wall covering are at the end of their service life. Repaint all interiors.	15,000	SF	3.2	\$14,580	\$63,180

Franklin Elementary School - Facilities Needs Spreadsheet

CATEGORY	SOURCE	DESCRIPTION (Deficiency/Remedy)	ESTIMATED TAKE OFF		COST/ UNIT	30% Soft Cost Allowance	TOTAL COST
			Qty.	Unit			
FFN	FA	Rooftop, gas heating units are nearing end of useful life and are inefficient. Replace with high efficiency gas packaged air conditioning units.	8	LS	12000.0	\$28,800	\$124,800
CFN	FA	Light fixtures appear to be older with T8 or T12 lamps and magnetic ballasts. Replace with energy efficient T5 lamps and electronic ballasts.	21,800	SF	2.2	\$14,126	\$61,214
CFN	FA	Some occupancy sensors observed. Local room switches are typical classroom and office lighting controls. Replace toggle switches with ultrasonic/infrared room occupancy sensors.	21,800	SF	0.4	\$2,472	\$10,713
CFN	FA	Inadequate number of emergency egress fixtures were observed, according to staff, inverter provides emergency backup power for egress lighting. Add dual head battery packs at egress paths.	10	EA	607.5	\$1,823	\$7,898
CFN	FA	Building A classrooms concrete shear walls appear to have inadequate reinforcement. Provide additional shear wall bracing.	1	LS	189.0	\$57	\$246
CFN	FA	Building B classroom has no seismic gap from adjacent two-story classroom building. Provide moment frame and seismic joint.	1	LS	151200.0	\$45,360	\$196,560
Subtotal							\$1,303,629

Franklin Elementary School - Facilities Needs Spreadsheet

CATEGORY	SOURCE	DESCRIPTION (Deficiency/Remedy)	ESTIMATED TAKE OFF		COST/ UNIT	30% Soft Cost Allowance	TOTAL COST
			Qty.	Unit			
CLASSROOMS							
CFN	FA	Classroom and corridor flooring are at the end of its service life. Replace all flooring with resilient flooring and walk-off entry mat.	10,984	SF	6.3	\$20,819	\$90,216
EPN	FMP	Existing classrooms are aged, with finishes and infrastructure nearing end of their service life (typical of eight classrooms). Modernize existing classrooms: new interior finishes, new power and data infrastructure, new audio visual, etc.	10984	SF	212.7	\$700,889	\$3,037,186
FFN	FMP	It has been expressed by the committee that the campus could attract additional students if there were enough classrooms to house them. The additional student body would improve the viability of the campus. Provide three additional classroom spaces. (These are included in the new building spaces indicated on the site plan. Thirteen classrooms exist now, sixteen are shown on the site plan).	0	SF	370.0	\$0	\$0
FFN	FMP	The existing two-story modular building is in need of maintenance, repair, and modernization. The bridge structure connecting the two show signs of degradation. Install a new, site-built two-story building and permanent walkway connection to existing classroom wing. Included are restrooms.	11292	SF	350.0	\$1,185,660	\$5,137,860
FFN	FMP	The campus requires three properly sized kindergarten classrooms with toilet rooms. (The single existing kindergarten classroom is being demolished). Build three new kindergarten classrooms with toilet rooms in each.	3760	SF	370.0	\$417,360	\$1,808,560
Subtotal							\$10,073,822

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			Qty.	Unit			
RESTROOMS							
CFN	FA	Restroom sinks are missing drain boots. Add accessible boot covers.	8	EA	81.0	\$194	\$842
FFN	FA	Two student restrooms at the north end of the classroom wing are undersized due to ADA clearance requirements. They are also poorly situated below stairs and nearing end of service life. Demolish the restrooms at the north end of the classroom building. (These toilet rooms are replaced as part of the new classroom building.)	240	SF	30.0	\$2,160	\$9,360
Subtotal					\$10,202		
MULTI-PURPOSE BUILDING							
EPN	FMP	The multi-purpose room is extremely small and antiquated. It is just over 1000 sq. ft., well below the AUSD education specification for this space. It also lacks a raised performance platform of any sort, as well as, much of the support spaces required (chair and general storage, restrooms, etc.) Build a new adequately sized multi-purpose room to house the necessary spaces.	5886	SF	450.0	\$794,609	\$3,443,304
Subtotal					\$3,443,304		

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			Qty.	Unit			
ADMINISTRATION							
FFN	FA	Simplex panel is not preferred. Manufacturer problems with false alarms and faulty detectors reported. Replace fire alarm panel with district preferred manufacturer (Firelite).	1	EA	17280.0	\$5,184	\$22,464
FFN	FA	Replace Rauland system with district standard VOIP.	21,800	SF	2.2	\$14,126	\$61,214
EPN	FMP	Administration wing is undersized and presents a number of accessibility barriers as it is a split level space requiring stairs and lift to get down to the first level or up to the second level. It is not positioned well as it lacks connection or visual access to the main entry points. Reconfigure the main corridor space and the existing multi-purpose room into a new administration space with proper adjacencies and visual connection to the main entry point.	2534.1	SF	250.0	\$190,054	\$823,566
Subtotal						\$907,245	
LIBRARY/MEDIA CENTER							
EPN	FMP	Break-out and small meeting space is lacking on campus. Reconfigure west wing of the library media center to provide additional break out spaces with acoustic separation and glazed window or walls for supervision.	1410	SF	450.0	\$190,350	\$824,850
EPN	FMP	Library is undersized and antiquated. Finishes are nearing end of their service life. Expand and modernize library area.	2110	SF	250.0	\$158,250	\$685,750
Subtotal						\$1,510,600	

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CATEGORY	SOURCE	DESCRIPTION (Deficiency/Remedy)	ESTIMATED TAKE OFF		COST/ UNIT	30% Soft Cost Allowance	TOTAL COST
			Qty.	Unit			
OTHER FACILITIES							
CFN	FA	Campus energy management system does not exist. Add campus wide DDC control and create district standard for energy control systems.	21,800	SF	2.4	\$15,892	\$68,866
FFN	FA	Existing hot water heater at the end of its service life. Replace with 80 gallon gas hot water heater in basement.	1	LS	4320.0	\$1,296	\$5,616
CFN	FA	Main panel, sub-panels and feeders are unreliable. Replace with new main panel, conduit, feeders, and sub-panels. Replace existing 400 amp, 120/208 volt main switchboard with new 800 amp, 120/208 volt utility service and main switchboard. Replace existing panel boards with new panel boards (42 pole, 100 amp, 120/208 volt, three-phase, with transient voltage surge suppression) and new feeders from switchboard.	1	LS	67176.0	\$20,153	\$87,329
CFN	FA	Inadequate power distribution for receptacles for data system as noted above. For added receptacles - six data outlets to each classroom (6x13 classrooms), install new panel board (42pole, 100amp, 120/208volt, 3phase, with transient voltage surge suppression) and new feeder from switchboard.	1	LS	10152.0	\$3,046	\$13,198
Subtotal						\$175,009	
TOTAL COSTS						\$17,838,997	