

Edison Elementary School

SUMMARY OF SCHOOL CAMPUS

- **Address:** 2700 Buena Vista Avenue, Alameda, CA 94501
- **Principal - Phone No. :** Aurora Sweet – (510) 748 4002
- **Year Built:** Original – 1940/1942
- **Total Site Area:** 3.30 acres
- **Building Area:** 25,550 sf
- **4 Portables:** 3,840 sf
- **2 Modulares:** 2,950 sf

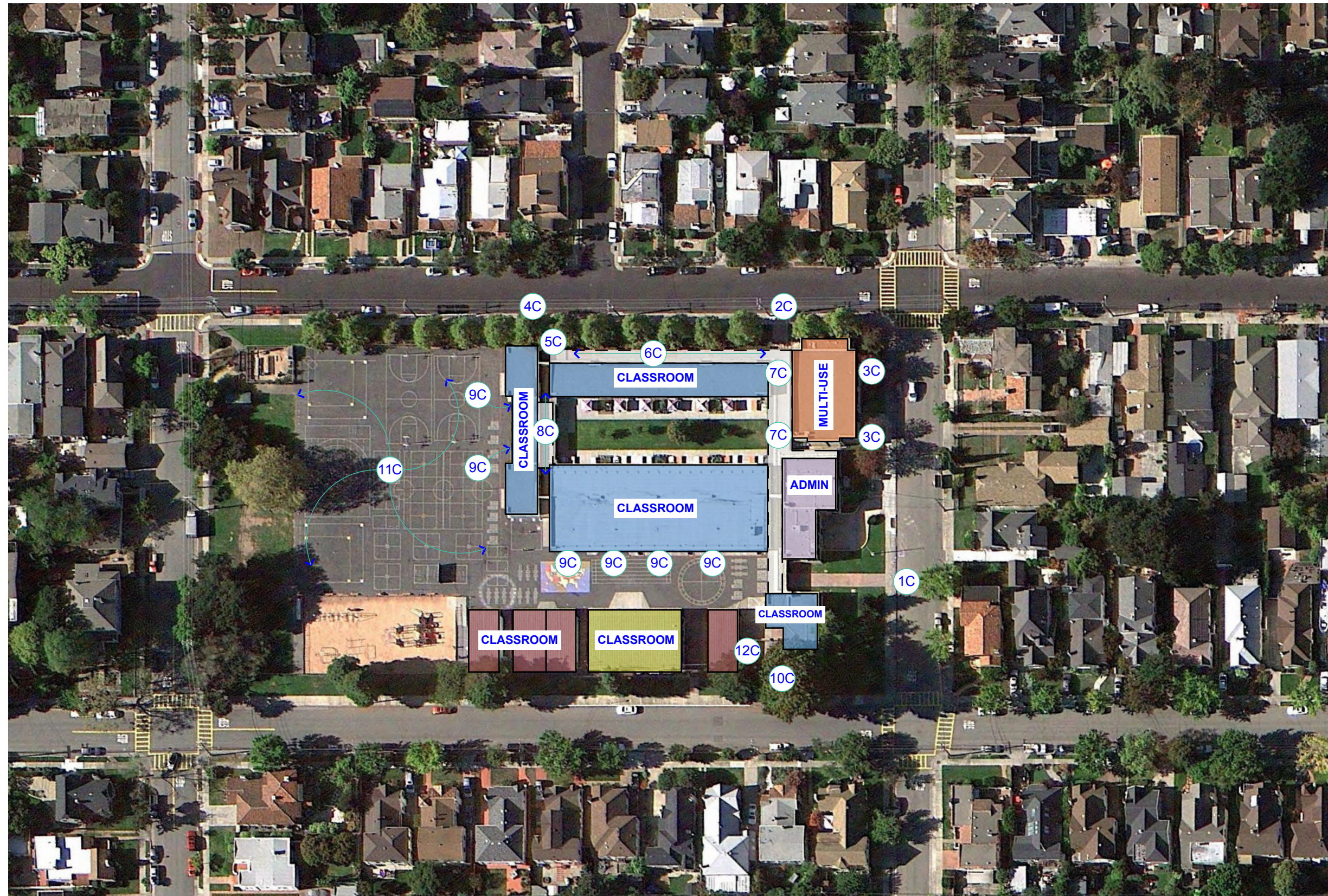
FACILITY DESCRIPTION

Edison Elementary (originally called Versailles School) began in 1940 as a WPA funded project, and finally completed in 1942. The design of the Administration and Classroom wing is nearly identical to the original Longfellow School buildings, which was completed at the same time, and consists of 4-ft. recessed concrete pad foundation/retaining walls, with wood framed, cement plaster walls and wood framed, membrane covered roof. In 1953, a classroom wing with toilets was added at the end of the original classroom wings. In 1955, another classroom wing with interior corridor was added parallel to an original wing for a total of 14 classrooms. The Multi-Purpose/Cafeteria building was added in 1991 to complete this facility. Additionally, 4 Portable and 2 Modular Classrooms have been added since 2004.

This campus currently serves 450 (K-5) students with 18 classrooms, a Child Care center, and a large asphalt playground. A 2001 Modernization resulted in seismic upgrade, restroom, and utility upgrade and repainting. Measure “C” funds (2007) provided further accessible barrier removal, interior painting, fire alarm and more utility upgrades.

KEY ASSESSMENT ITEMS

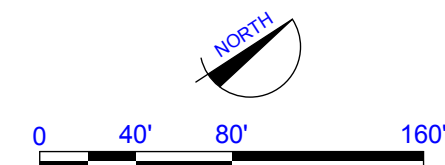
- Extensive cement plaster cracking and probable uneven building settlement
- Large fire area requires added fire sprinkler coverage
- Exterior windows, doors and finishes at end of service life
- Administration area non-accessible restroom
- Extensive playground asphalt cracking.



- CLASSROOM BUILDING
- ADMINISTRATION
- MULTI-PURPOSE / CAFETERIA BUILDING
- MODULAR BUILDING
- PORTABLE BUILDING
- COVERED WALKWAYS
- #C SEE ASSESSMENT SPREADSHEET FOR CIVIL KEYNOTES, TYP.

EDISON ES
4/30/2012

Alameda USD Facilities Assessment



Edison Elementary School
Facility Assessment Spreadsheet

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF Quantity Unit		COST / UNIT	TOTAL COST
1) Civil							\$727,400
A) Existing Site Conditions							
i) ACCESS							
1	Existing Deficiency - Buena Vista Ave.	ADA stall doesn't have required unloading zone flush with pavement; cross slope in stall area substantially exceeds 2%, and signage out of date.	1	75	SF	\$30	\$2,250
	Recommended Remedy	Remove curb, gutter, and 5 feet of sidewalk along the length of the stall, and the existing pedestrian ramp located to the west of the stall. Install 5 ft of paving for a new unloading zone, and new curb and gutter, and a pedestrian ramp at the west end per Caltrans detail. Update all signage, and restripe. No practical fix for the excessive cross slope in the public street.					
	2	Existing Deficiency - Pearl St.	ADA unloading zone doesn't have an adjacent unloading zone flush with the pavement with no ramp; cross slope in public street significantly exceeds 2%; and signage is out of date.	2	75	SF	\$30
Recommended Remedy		Remove the curb, gutter, and 5 ft of sidewalk along the length of the stall, and beyond for a pedestrian ramp per Caltrans standard. Install 5 ft of paving for a new unloading zone, and new curb and gutter, and a pedestrian ramp at the south end per Caltrans detail. Update all signage and restripe. No practical fix for the excessive cross slope in the public street.					
3	Existing Deficiency	13.3% slope on walk from back of public sidewalk to threshold at exit doors.	3	1,400	SF	\$30	\$42,000
	Recommended Remedy	Remove existing walks; construct level landings at exit doors, and pedestrian ramps at 1:12 max to a shared landing, then down to the public sidewalk at 1:12 max.					

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				Quantity	Unit		
4	Existing Deficiency	Existing public sidewalk cross slope is 2.7%, and slope on pedestrian ramp is 9.4%.	4				
	Recommended Remedy	Remove sufficient length of sidewalk and existing ramp, to allow for installation of a new compliant pedestrian ramp with 4 ft level landing at top. Transition back to existing walk in both directions at 5% max.		240	SF	\$30	\$7,200
5	Existing Deficiency	Existing ramp along south end of C1 has a slope of 9.4%.	5				
	Recommended Remedy	Overlay/reconstruct ramp to flatten slope to 8.33% max. See also item 6.		400	SF	\$22	\$8,800
6	Existing Deficiency	The existing covered walk along the west side of C1-C4 has an average cross slope of 3%, and landings at classroom doors averaging 8%.	6				
	Recommended Remedy	Either remove the existing walk and replace it with a walk with a 2% max slope to the west, starting flush with the finished floors, or possibly use a concrete leveling substance to reduce the cross slope over the existing pavement.	Allow	2,000	SF	\$30	\$60,000
7	Existing Deficiency	There is a concrete "V" ditch between the covered walkway and the double doors to the MP room, making these exits non-accessible.	7				
	Recommended Remedy	Saw cut and remove the concrete "V" ditch at both doors, and replace with concrete landing at 2% max from threshold to covered walk. Incorporate 2 ea. 2" or 3" drains along the "V" ditch flowline under the new concrete to maintain drainage in this area.		1,300	SF	\$30	\$39,000
8	Existing Deficiency	No level landings at doors in this area.	8				
	Recommended Remedy	Reduce cross slope with leveling course.		900	SF	\$22	\$19,800
9	Existing Deficiency	No level landings at exits from these classroom doors to the paved playcourts.	9				
	Recommended Remedy	Remove existing short, sloped concrete landings and adjoining pavement. Construct level landings at thresholds, and walks down at 5% max along building to pavement grade. Patch pavement as required.		600	SF	\$24	\$14,400

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				Quantity	Unit		
10	Existing Deficiency	There is a 4"-5" drop at the rear exit from the library to the adjoining flatwork.	10				
	Recommended Remedy	Construct a level landing at the door, with a transition walk down to grade at 5% max along the building wall. Remove/replace existing flatwork as necessary to install new work.		300	SF	\$22	\$6,600
11	Existing Deficiency	Existing pavement is deteriorating.	11				
	Recommended Remedy	Crack seal, edge grind, pavement fabric, and 1.5" minimum overlay of these areas.		34,200	SF	\$6.00	\$205,200
ii) FIRE/LIFE SAFETY/HAZ MAT							
1	Existing Deficiency	The interconnected nature of the buildings will likely result in a large fire area, and correspondingly high required fire flows, which the surrounding hydrants may not be able to meet.					
	Recommended Remedy	Add fire sprinklers to existing buildings to reduce required fire flow.		25,550	SF	\$12	\$306,600
iii) UTILITIES							
1	Existing Deficiency	The drop inlet in the bike enclosure frequently backs up during storms.	12				
	Recommended Remedy	Replace (E) line with new 4-inch SD		1	LS	\$4,800	\$4,800
2	Existing Deficiency	Admin Basement: SD ejector pump is old and deteriorated	NA				
	Recommended Remedy	Replace SD ejector pump		1	LS	\$8,500	\$8,500
2) Architectural							\$1,577,520
A) Exterior							
i) ACCESS							
1	Existing Deficiency	Multi-Use Bldg: non-accessible drinking fountain; exceeds 2% cross slope	#1, #2				
	Recommended Remedy	replace fountain; regrade/pave access		1	LS	\$10,000	\$10,000
2	Existing Deficiency	Multi-Use Bldg: Egress ramp exceeds 5%	#3				
	Recommended Remedy	Add accessible hand rail		24	LF	\$35	\$840

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
3	Existing Deficiency	Chainlink Fence: very old and rusted out					
	Recommended Remedy	Replace with new 6-ft hi chainlink fence on south and east propert lines		800	LF	\$35	\$28,000
4	Existing Deficiency	Bike Cage: Undersized, in poor location and rusted					
	Recommended Remedy	Replace with larger chainlink Bike Cage		1	LS	\$18,000	\$18,000
5	Existing Deficiency	Playground Equipment: All equipment is old and non-compliant, with wood chip base					
	Recommended Remedy	Replace with new Play Structure; add asphalt base with rubberized surface		1	LS	\$55,000	\$55,000
ii)	DEFERRED MAINTENANCE						
1	Existing Deficiency	1942 Bldgs: Plaster cracking, moisture penetration, possible framing dry rot	#4, #5, #6				
	Recommended Remedy	Replace wall/ plate framing (assume 20%); redesign exterior and apply metal cladding and new stucco	Allow	27,000	SF	\$10	\$270,000
2	Existing Deficiency	Admin. Bldg: Egress ramp exceeds 30-ft, with no wall handrail or adequate lighting	#7				
	Recommended Remedy	Reconstruct ramp to conform; add handrail at wall and overhead lighting		1,900	SF	\$22	\$41,800
3	Existing Deficiency	Classroom wings: degraded exterior wood doors	#8				
	Recommended Remedy	Replace all exterior doors with galv. steel frames with FRP doors and new hardware		27	Doors	\$3,200	\$86,400
4	Existing Deficiency	No Trash Enclosure at this Site					
	Recommended Remedy	Install a 2-Bin Trash Enclosure per Health Dept. standards		1	LS	\$15,000	\$15,000
5	Existing Deficiency	Exterior windows w/ Plexiglas beyond Service life					
	Recommended Remedy	Replace all windows with Alum. frame & dual pane glass		6,200	SF	\$44	\$272,800
6	Existing Deficiency	Roof: BUR roofing at end of service life					
	Recommended Remedy	Replace all roofing, scuppers, caps and flashings		29,000	SF	\$9	\$261,000
7	Existing Deficiency	Exterior painted finish is deteriorated					
	Recommended Remedy	Reseal and repaint all exterior walls, trims fascia, etc.		29,000	SF	\$2	\$58,000

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				Quantity	Unit		
8	Existing Deficiency	Wood flag pole; non code compliant		NA			
	Recommended Remedy	Replace with Aluminum pole		1	EA	\$2,500	\$2,500
9	Existing Deficiency	Roof Fascia: paint peeling, wood deteriorating	#11				
	Recommended Remedy	Preferred: replace with cement board fascia / repaint		2,400	LF	\$13	\$31,200
10	Existing Deficiency	Portable C19: steel rusting; torn vent screen; no ramp handrail at wall; wood foundation degraded	#9, #12, #13, #14, #15				
	Recommended Remedy	Replace with concrete foundation and ramp; replace with cement board panel/trim; replace vents; handrails; add site drainage and new RWLs		1,560	SF	\$10	\$15,600
11	Existing Deficiency	Portable C17-18: steel rusting; missing vent screen; wood foundation degraded	#10, #16, #21				
	Recommended Remedy	Replace with concrete foundation and ramp; replace with cement board panel/trim; replace vents; handrails; add site drainage and new RWLs		3,200	SF	\$8	\$25,600
12	Existing Deficiency	Modular C20-22: ponded water at accessible ramp w/ temporary classroom ramps; paint degraded.	#22, #23, #24, #25				
	Recommended Remedy	Replace with concrete ramps; adjust asphalt for sheet flow; replace with cement bd. panel/trim; add site drainage and new RWLs		4,700	SF	\$18	\$84,600
13	Existing Deficiency	Portable C23: excessive steel rust; no site drainage; wood foundation degraded; wood siding damaged.	#17, #18, #26				
	Recommended Remedy	Replace with concrete foundation and ramp; replace with cement board panel/trim; replace vents; handrails; add site drainage and new RWLs		1,560	SF	\$18	\$28,080
14	Existing Deficiency	Asphalt Play Yard: excessive cracking	#19, #27				
	Recommended Remedy	SEE CIVIL ITEM # 11					\$0

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		Quantity	Unit				
) Interior							
i) GENERAL & MAINTENANCE							
1	Existing Deficiency	Multi-Use: roof leaks, damaged ceiling tiles	#28, #29				
	Recommended Remedy	Replace ceiling tiles		3,800	SF	\$5.00	\$19,000
	Existing Deficiency	Classroom/ corridor flooring at end of service life					
	Recommended Remedy	Replace all flooring with resilient flooring, and walk-off Entry carpet mat.		26,800	SF	\$5.00	\$134,000
	Existing Deficiency	Interior painting wall covering at end of service life					
	Recommended Remedy	Repaint all interiors		29,000	SF	\$2.00	\$58,000
2	Existing Deficiency	Corridor lighting: required daytime lighting	#30, #31				
	Recommended Remedy	Add LED ceiling fixtures	Allow	800	SF	\$75	\$60,000
3	Existing Deficiency	Multi-Use Toilet: sink is not accessible compliant	#32				
	Recommended Remedy	Relocate flash hot water heater.		1	EA	\$2,100	\$2,100
Mechanical / Plumbing							\$793,488
) Exterior							
i) SITE SYSTEMS							
1	Energy Management	campus energy management system does not exist, except in the2-story (NEA) classroom building.					
	Recommended Remedy	add campus wide ddc control and create district standard for energy control systems		25,550	SF	\$2.25	\$57,488
2	Existing Systems	campus mechanical systems are nearing end of useful life. Piping systems are failing. Plumbing systems have been modernized throughout and meet ADA requirements.					
	Recommended Remedy	District has requested that all boilers, pumps, piping, and realated heating equipment be replaced with rooftop packaged ac units, or split systems to add cooling and independent zone control throughout. See below.	See Below	0			\$0
3	Existing Deficiency	Sewage Ejector: Pump and Check Valve at end of service life					
	Recommended Remedy	Replace pump and Check Valve		1	LS	\$8,500	\$8,500

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B) <u>Interior</u>							
ii) EXISTING SYSTEMS							
1	Existing Systems	Parker boiler, 1992, nearing the end of useful life and inefficient. UV's show signs of heavy wear and have poor zone control and are inefficient. Toilet rooms are vintage, non-ada.					
	HV Remedy	replace, boiler, pumps and piping completely with high efficiency ductless split systems or rooftop ac, as outlined below.		1	LS	\$120,000	\$120,000
	Plumbing Renovation	Modernize restrooms with all new fixtures and exhaust fans. Replace all plumbing fixtures, complete, including, urinals (0.125 gpf), water closets (1.28gpf), and lavatories (0,5gpm) to bring into current code compliance and reduce water consumption.	Allow	1,200	SF	\$125	\$150,000
	2 Existing Deficiency- Admin	boiler is Parker, 1992 vintage, pumps are showing signs of failure and leaking. Systems are failing and at the end of desing life. Areas of piping have been replaced due to system leaks. Restrooms are ADA with waterless urinals and sensor faucets.					
	Recommended Remedy	replace boiler, pumps, piping and all related equipment completely, with ductless split heat pump with heat recovery, (i.e. Daikin VRV).		1	LS	\$150,000.00	\$150,000
	3 Existing Deficiency-Admin, upper	rooftop units with exposed ducting within spaces. Restrooms are ADA with sensor flush.					
	Recommended Remedy	replace units with high efficiency roof top packaged ac, clean ductwork and rebalance systems.	Included Above	2,300	SF		\$0
	4 Existing Deficiency-Media Center	rooftop a/c units with exposed ducting within space, unit is old an inefficient and lacks zone control.					
	Recommended Remedy	replace with high efficiency rooftop ac units, one per classroom.		19,150	SF	\$10	\$191,500

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				Quantity	Unit		
5	Existing Deficiency Computer lab	rooftop units with exposed ducting within spaces. Units are old and inefficient.					
	Recommended Remedy	replace units with high efficiency rooftop ac units and clean ductwork and rebalance systems.		1,200	SF	\$10	\$12,000
6	Existing Deficiency Classrooms	uv's with hot water, fair-good condition, but lack zone contorl and are inefficient.					
	Recommended Remedy	replace all hydronic heating with ductless split heat pumps, one per classroom.		26,000	SF	\$4	\$104,000
4) Electrical							\$229,878
A) General							
i) EXISTING SYSTEMS							
	Existing Systems	School Modernization in 2007 included upgrades to electrical service , tele communication, clock, security, and fire alarm systems. No cable TV Service.					
B) Mandatory							
i) EXTERIOR LIGHTING							
1	Existing Deficiency	Inadequate exterior lighting provided, walkways dark for back to school nights, as noted by staff.					
	Recommended Remedy	Add exterior walkway fixtures and wall lights on Bldgs to lite Play Yard area		40	EA	\$700	\$28,000
2	Existing Deficiency	Exterior building lighting provided by wallpaks and surface square downlights at covered walkways. No exterior lighting provided for emergency egress.					
	Recommended Remedy	Add exterior battery pack fixtures for minimum code coverage.		15	EA	\$400	\$6,000
C) Deferred Maintenance							
i) FIRE ALARM /DETECTION							
	Existing Systems	Notifier control and expander panels, strobes, detectors are recent system upgrades.					
1	Existing Deficiency	Notifier panel is not preferred manufacturer					
	Recommended Remedy	Replace fire alarm panel with district preferred manufacturer (Firelite)		1	EA	\$20,000	\$20,000

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				Quantity	Unit		
ii) TELEPHONE/DATA SYSTEM							
	Existing Systems	Rack mounted Rauland telephone system is recent upgrade.					
1	Existing Deficiency	Panel problems require frequent reprogramming.					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		1	EA	\$52,000	\$52,000
2	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic floor thresholds or rugs used to cover data cables to tables and work stations.					
	Recommended Remedy	Add data outlets to eliminate use of thresholds		25	EA	\$475	\$11,875
3	Existing Deficiency	All FA, Data, Phone, and Security is run overhead to Portables					
	Recommended Remedy	Install (N) U.G. conduit and pull boxes; replace all with VOIP		4	EA	\$1,800	\$7,200
4	Existing Deficiency	Surface raceway in media center has broken pieces and missing plates.					
	Recommended Remedy	Add plates and replace broken items		5	EA	\$75	\$375
5	Existing Deficiency	Add data distribution equipment, including fiber optic panels, patch panels, switches and wireless data transmitters, to accommodate new data outlets note above					
	Recommended Remedy	Add data distribution equipment to activate all data outlets		5	units	\$1,500	\$7,500
iii) BELL/CLOCK/SPEAKER SYSTEM							
	Existing Systems	Rack mounted Rauland bell/clock/speaker system is recent upgrade					
1	Existing Deficiency	Panel problems require frequent reprogramming. Station and all call do not function properly.					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		1	LS	\$20,000	\$20,000

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iv)	INTERIOR LIGHTING						
	Existing Systems	Existing surface mounted fluorescent wraparound					
1	Existing Deficiency	lens fixtures appear to have T8 lamps and magnetic ballasts, 1x4 in classrooms and offices, recessed 2x4 in MultiPurpose.					
	Recommended Remedy	Replace with energy efficient T5 lamp and electronic ballast Fixtures		25,550	SF	\$1.55	\$39,603
2	Existing Deficiency	Fixtures observed with broken or missing lenses.					
	Recommended Remedy	Replace broken lenses (Included above)					\$0
3	Existing Deficiency	Some occupancy sensors observed, local room switches are typical classroom and office lighting controls					
	Recommended Remedy	Replace toggle switches with ultrasonic/infrared room occupancy sensors		54,500	SF	\$0.35	\$19,075
v)	POWER						
1	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic floor thresholds used to cover power cables to tables and work stations.					
	Recommended Remedy	Add power outlets to eliminate use of thresholds		20	EA	\$475	\$9,500
		Use Wall Mounted Raceway & Computer Tables		5	EA	\$1,500	\$7,500
2	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic surface raceway is broken and hanging loose from walls, with data and power cables exposed.					
	Recommended Remedy	Replace broken raceways		50	LF	\$20	\$1,000
3	Existing Deficiency	In some areas, devices are missing coverplates with data or power cables exposed.					
	Recommended Remedy	Replace coverplates		10	EA	\$25	\$250

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4	Existing Deficiency	Inadequate power distribution for receptacles for data system as noted above					
	Recommended Remedy	For added receptacles noted above, install new panelboard (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeder from switchboard		1	EA	\$4,800	\$4,800
5)	Structural						\$178,000
1	Existing Deficiency	Classroom Building E attached to Classroom Buildings D, F during additions	NA				
	Recommended Remedy	* Add seismic joints		1	LS		\$100,000
2	Existing Deficiency	No hold downs at any wood shear walls for Buildings D,F,B, and A	NA				
	Recommended Remedy	* Add hold downs at Shear walls		1	LS	\$70,000	\$70,000
3	Existing Deficiency	Large collector forces at Multi-Purpose Building - not critical	NA				
	Recommended Remedy	* Additional analysis required (fee only).		1	LS		\$8,000
						Sub-Total	\$3,506,285
			* NEEDS FURTHER INQUIRY FOR ACCURATE ESTIMATE				
						SOFT COSTS @ 25%	\$876,571
						TOTAL COSTS (not including escalation)	\$4,382,856

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EDISON ES

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EDISON ES

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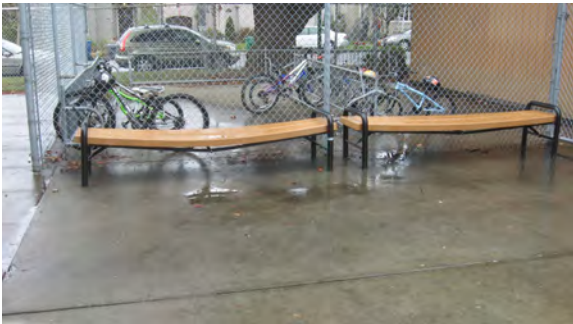
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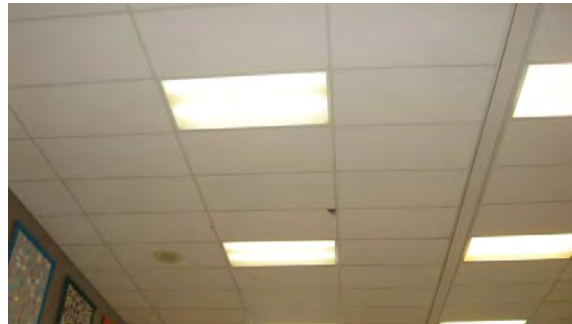
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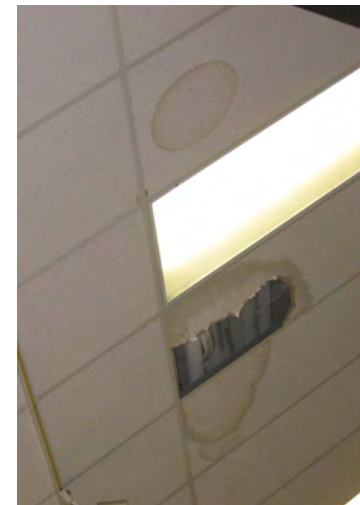
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