



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 **TOWN PLANNER'S OFFICE** FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING AGENDA MONDAY, MAY 9, 2022, 7:00 P.M.

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING(S):

1. IW202110 - Juliano Family One LLC, owner/ Brian Juliano, applicant, request for modification to Wetlands Permit IW202110 to construct a detention basin and outside storage area at 100 Windermere Ave., APN 018-021-0000. (*Opening of hearing to be tabled to June 13, 2022*)
2. IW202204 - Apostolic Christian Church of Ellington, Inc., owner/applicant, request for a permit to conduct regulated activity to construct a 16,000 SF fellowship hall and associated site improvements at 34 Middle Butcher Road, APN 028-023-0000.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. IW202206 - Town of Ellington, owner/ Ad Hoc Ellington Trails Committee, applicant, request for acceptance to maintain trails and install four bridges as permitted nonregulated uses on Ellington Highlands Subdivision open space parcel on Stein Road, APN 037-005-0082.
2. Kimberly Schneider, owner/ David Schneider, applicant, request for a permit to conduct regulated activity to construct an in-ground pool, patio, pool shed, retaining wall and associated site work at 90A Ellington Ave, APN 029-049-0001. (*Request to delegate authority to the wetlands agent*)
3. IW202205 - Ellington McIntire, LLC, owner/applicant, request for a permit to conduct regulated activity to construct a single family home and site improvements associated with a 2-lot subdivision at 153 Webster Road, APN 185-001-0000. (*receipt only*)

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the April 11, 2022 Regular Meeting Minutes.
2. Election of Officers.
3. Correspondence/Discussion:

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for June 13, 2022

Instructions to attend remotely via Zoom Meeting listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Inland Wetlands Agency.

Join Zoom Meeting via link:

<https://us06web.zoom.us/j/81171019534>

Meeting ID: 811 7101 9534

Passcode: 886090

Join Zoom Meeting by phone:

+1 646 558 8656 US (New York)

Meeting ID: 811 7101 9534

Passcode: 886090

COMMISSIONERS: TO ASSIST IN ESTABLISHING QUORUMS REQUIRED TO CONDUCT MEETINGS, PLEASE CONTACT THE PLANNING DEPARTMENT IF YOU ARE UNABLE TO ATTEND A SCHEDULED MEETING.

**Town of Ellington
Inland Wetlands and Watercourses Agency
Application**

Application # _____
Date Submitted _____

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Thomas Gerber
Mailing Address: 34 Middle Butcher Road
Ellington, CT 06029
Email: thomas.e.gerber@gmail.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS,
MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #: Thomas Gerber (860) 878-8767

Secondary Contact Phone #: Peter Welti (860) 836-4416

Owner's Signature:  Date: 3/24/2022

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____
Mailing Address: _____

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS,
MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

Street Address: 34 Middle Butcher Road, #4164

Assessor's Parcel Number (APN): 028 - 023 - 0000

Proposed upland review area affected in square feet: 16,650 s.f.

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): 200 s.f./26 l.f.

Total area of wetlands/watercourses on parcel in square feet or acres: +/-3,500 s.f.

Public Water: ☒ Yes ☐ No Public Sewer: ☒ Yes ☐ No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? ☐ Yes ☒ No

If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

The regulated activity is a proposed independent fellowship hall building to be built behind the existing church building on the site of the demolished Longview Village building. The hall will serve the current church community and will utilize the existing parking lot. The drainage system of the demolished building and parking lot is intact with three outfalls extending north towards Turkey Brook. No additional outfalls will be built. The amount of impervious surfaces on the site is proposed to be less than the condition prior to demolition.

March 22, 2022

Town of Ellington
55 Main Street
Ellington, CT 06029

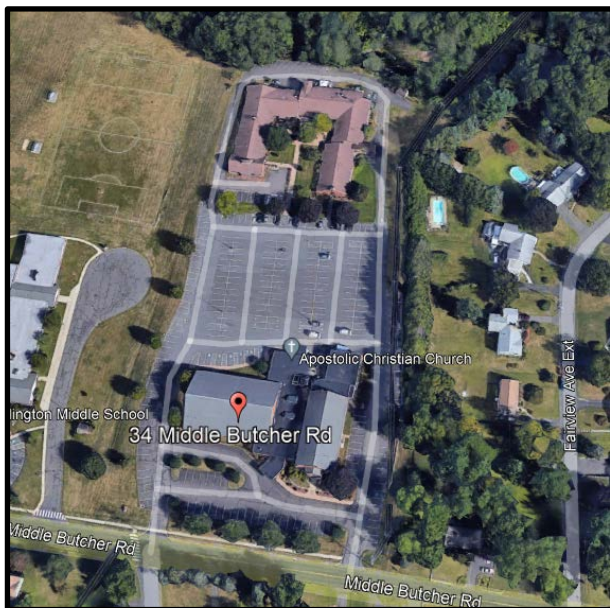
RE: **Development Narrative**
Fellowship Hall – Apostolic Christian Church
34 Middle Butcher Road

Dear Commission Members:

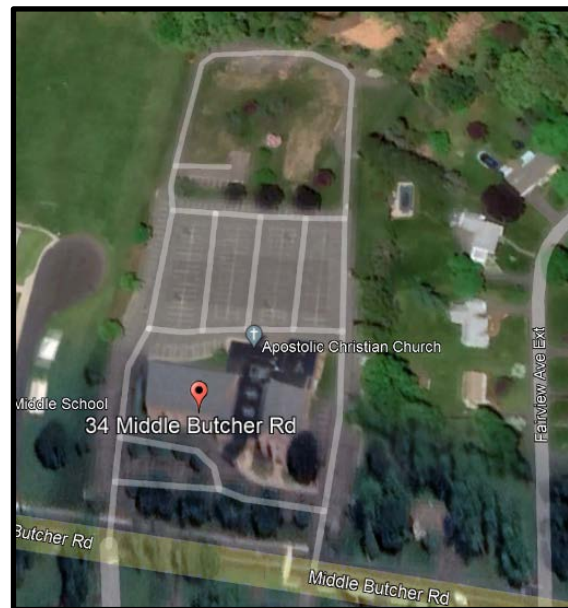
Attached please find the application and associated plan set for the above proposed site plan. Following is a development narrative that provides detail additional to the application and plans.

The site is located at 34 Middle Butcher Road, bordered by the road on the south, Ellington Middle School on the west, private residences to the east and Turkey Brook to the north. The church building is located near the road, with parking lots in front and behind the building. At the rear of the site, there was formally a housing complex that the church utilized for some of their members, which was serviced by utilities directly from the road, that wrapped around the west side of the church building. The housing and associated paved areas have been demolished and that area is now grass. Google Earth photos from 2018 and 2021 are shown below for context.

2018 Aerial



2021 Aerial



The site is zoned R-Residential and consists of approximately 16 acres, two (2) of which will be disturbed to construct a new 16,000 square foot fellowship hall, with associated patio/gathering areas, drives, parking, utilities, and other amenities.

A new fellowship hall is being placed in the location of the previous housing building. It will primarily be used by church members for the following:

- Expand on the church's ability to host member's wedding (and other) ceremonies.
- Expand on the church's ability to expand their community programs (clothing distribution, meals on wheels, etc.)
- Expand the church's abilities for their members to congregate and have fellowship after church.

Wetlands

Wetlands were flagged by MBI, Inc. and his wetlands delineation report is attached to this narrative. The site was designed to achieve the programmatic requirements in a way that minimized impacts to the functions and values of the wetlands. The project proposes a disturbance of approximately 16,600 sf of upland review area. The majority of the upland review area that is to be disturbed consists of previously developed portions of the site, in the location of the historic residential structure. The proposed disturbance stops at the top of the embankment to Turkey Brook.

The only direct disturbance of wetlands consists of the repair of the three (3) existing outlet discharge pipes, which are all located within the limit of wetlands. They are all damaged and/or causing erosion to the brook so the work within the wetlands is being proposed specifically to enhance and protect Turkey Brook. We anticipate approximately 200 sf of direct wetlands disturbance.

The work within the wetlands will mainly consist of the following:

- Removal of existing damaged pipe.
- Placement of new culvert ends to the existing pipe.
- Placement of rip rap outlet protection to dissipate the energy from the outlet discharge, thereby reducing erosion into Turkey Brook.

We anticipate that the work will be done by hand, where feasible, and with a backhoe or a small crane to place the culvert ends (and possibly the rip rap), so that machinery does not need to access the existing undisturbed slope.

Lot Layout and Use

Specific features of the site design include the following:

- Drop-off area in the front of the facility for the bride/groom, as well as elderly and handicap people.
- Drop-off area on the east side for food drop. Typically, the lunch fellowship after church is a potluck and members drop off the food. The drop area is situated at a loading dock for efficient drop/pick-up.
- Dumpster location near the drop turn-around.
- Site walking trails that connect to an existing trail system to the river area to the north.
- Outdoor patio/gathering/grilling areas on the east and west side of the facility.
- Landforms, landscaping, and amenities to beautify the site.

- A terraced system of small retaining walls on the southwest side that can be used for outdoor gathering, teen devotionals, etc.
- Rear access to the basement to facilitate the ability for drop-off/pick-up of bulky items that can be distributed to the community.

The project is in conformance with all applicable bulk and dimensional requirements of the zoning regulations.

Alternatives

The program being proposed is the minimum required to meet the needs of the congregation. Alternatives that have been contemplated with this development include the following:

- No Build – this was not an option as it does not meet the needs of the congregation.
- No repair to the outlet pipes – this was done at the request of the Town Engineer.

Utilities

Public water, sanitary, natural gas and primary power are available in Middle Butcher Road and will be served as follows:

- Water – there is an existing 4" ductile iron pipe lateral connection from the ROW that wraps around the west side of the building. The pipe has been preserved and is capped. New domestic service will connect to this existing lateral.
- Fire Protection – a new 4" dedicated fire protection lateral will be run from the existing water main to the building.
- Sanitary Sewer – there is an existing sewer lateral connection from the ROW that wraps around the west side of the building. The pipe and an SMH has been preserved. New services will connect to this existing SMH, and grease removal (from the kitchen) will be provided either with an exterior grease trap.
- A new natural gas lateral is being brought to the building from the existing main in Middle Butcher Road.
- Power/Communications – we anticipate these will be pulled off existing utility poles that are in a CL&P easement on the eastern portion of the property.

Stormwater

This portion of the property is situated within one (1) subwatershed, that discharges north to Turkey Brook via three (3) existing discharge pipes. The existing imperviousness is being reduced; therefore, peak flows are being maintained. Four (3) new dry wells are being implemented as part of the stormwater management system, that will capture and infiltrate all stormwater discharge generated from the new construction. The larger rain events will overflow out of the dry wells through the existing discharge locations.

The three (3) discharge outlets were observed, and each noted to be damaged and/or causing erosion. A specific solution has been designed for each of the outlets that includes items such as new culvert ends, reconstruction of pipe, and outlet rip rap protection.

Site stormwater runoff is proposed to be managed as follows:

- Short-Term Protection of Resources: During construction erosion and sediment control devices will be utilized to prevent sediment-laden water from entering the wetlands area. Erosion control has been

designed per the 2002 CT DEEP Guidelines for Soil Erosion and Sediment Control and include construction entrances, silt fence, hay bales, temporary sediment traps, and concrete washout provisions. Perimeter erosion controls will not be removed until the site is stabilized.

- Long-Term Water Quality: The largest contributor to water quality impairment is the discharge of pollutants associated with vehicular exhaust, such as sediment, pathogens, hydrocarbons, metals, and synthetic organic chemicals. All new bituminous pavement areas, subject to vehicular flow, will be designed such that stormwater runoff routes through dry wells, which will promote pollutant removal through infiltration.

A Stormwater Management Report has been prepared with describes the stormwater and erosion control design in greater detail. That has been provided to the Town Staff.

Traffic

The new program will decrease traffic from the previous use on this portion of the site as housing, for the following reasons:

- The new building will be utilized by members who are already accessing the site, and not by the public.
- The use of the new building will not be simultaneous with the regular church hours.
- The historic residential use created greater trip generation as it was an additional use to the church.

We look forward to working with the Commission to ensure a successful project that meets required town regulations.

Sincerely,

A handwritten signature in black ink, appearing to read "Will Walter".

Will Walter, PE, LEED AP
Alfred Benesch & Company

Attachments

Wetlands Delineation Report



Martin Brogie, Inc.
ENVIRONMENTAL SERVICES

- Environmental Site Investigations
 - Building Contaminant Surveys
 - Wetlands Consulting
- Remediation Contract Management

January 4, 2022

Will Walter, PE, LEED AP
Senior Project Manager
Alfred Benesch & Company
120 Hebron Avenue, 2nd Floor
Glastonbury, CT 06033

RE: Wetlands Delineation Report
Ellington Apostolic Church Community Building
34 Middle Butcher Rd
Ellington, CT

Dear Mr. Walter:

Martin Brogie, Inc. (MBI) is pleased to submit the following information regarding a wetland delineation performed for the above referenced property on December 8, 2021. The work was completed to evaluate the presence of wetlands within the regulated area relative to a proposed Community Building to be located in the northern portion of the site.

Site Description

The subject property consists of a 14.92-acre property occupied by a church and associated paved parking and driveway areas. Turkey Brook, a perennial watercourse, flows from east to west across the northern portion of the property. A school is located to the west of the site and residential properties border the site to the east and north, and across the street to the south.

28 Arbor Lane
Madison, CT 06443

martinbrogieinc@gmail.com
860-208-0360

A site location map is provided as Figure 1. An aerial view of the property is provided as Figure 2. Photographs of the wetland areas are provided as Attachment A.

Wetland Delineation

On December 8, 2020 MBI's Soil Scientist Martin Brogie, LEP reported to the site to assess the presence of wetlands and watercourses/intermittent watercourses in accordance with the definitions provided in Connecticut General Statutes Section 22a-38 definitions (15) and (16) including: soil types designated as poorly drained, very poorly drained, alluvial, and floodplain by the National Cooperative Soils Survey; and, rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs and all other bodies of water, natural or artificial, vernal or intermittent. In addition, intermittent watercourses defined as having a permanent channel and bank and the occurrence of two or more of the following characteristics: evidence of scour or deposits of recent alluvium or detritus; the presence of standing or flowing water for a duration longer than a storm incident; and/or the presence of hydrophytic vegetation will be delineated.

MBI accessed the site off of a site driveway from Middle Butcher Road and surveyed the landscape around the church in the southern portion of the site for potential wetland areas. The site extended northward from the church across a paved parking area to an area of disturbed ground where a previous building stood and was removed in 2020. This area is the site of the new Community Building. Just north of this area the property slopes down to the north steeply to the banks of Turkey Brook, flowing east to west. MBI commenced the delineation at the downstream end of the onsite reach, near the northwestern portion of the site. The border was defined by the stream bank along a line determined to be the top of the eroded channel. A stormwater discharge pipe, emanating from paved areas on the site was observed along the stream bank in this area. This line continued eastward to a wooden bridge that crosses the brook and connects a walking path to the church and the north side of the brook. The area of the bridge and path was found to contains sand and gravel fill material.

Just east of the bridge the bank delineation broke off as flood plain soils including buried A horizons and sandy loam textures were identified. The delineation followed the flood plain soils further east ending at wetland flag #17.

Woody vegetation observed along Turkey Brook included Red Maple (*Acer rubra*), Black Oak (*Quercus velutina*), and Slippery Elm (*Ulmus rubra*). The shrub layer included Spice Bush (*Lindera benzoin*), Honeysuckle (*Lonicera japonica*), Multiflora Rose (*Rosa multiflora*), and Asiatic Bittersweet (*Celastrus orbiculatus* Thunb.). Herbaceous species observed include Sensitive Fern (*Onoclea sensibilis*), Christmas Fern (*Polystichum acrostichoides*) and English Ivy (*Hedera helix*).

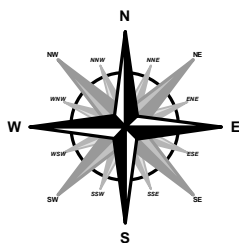
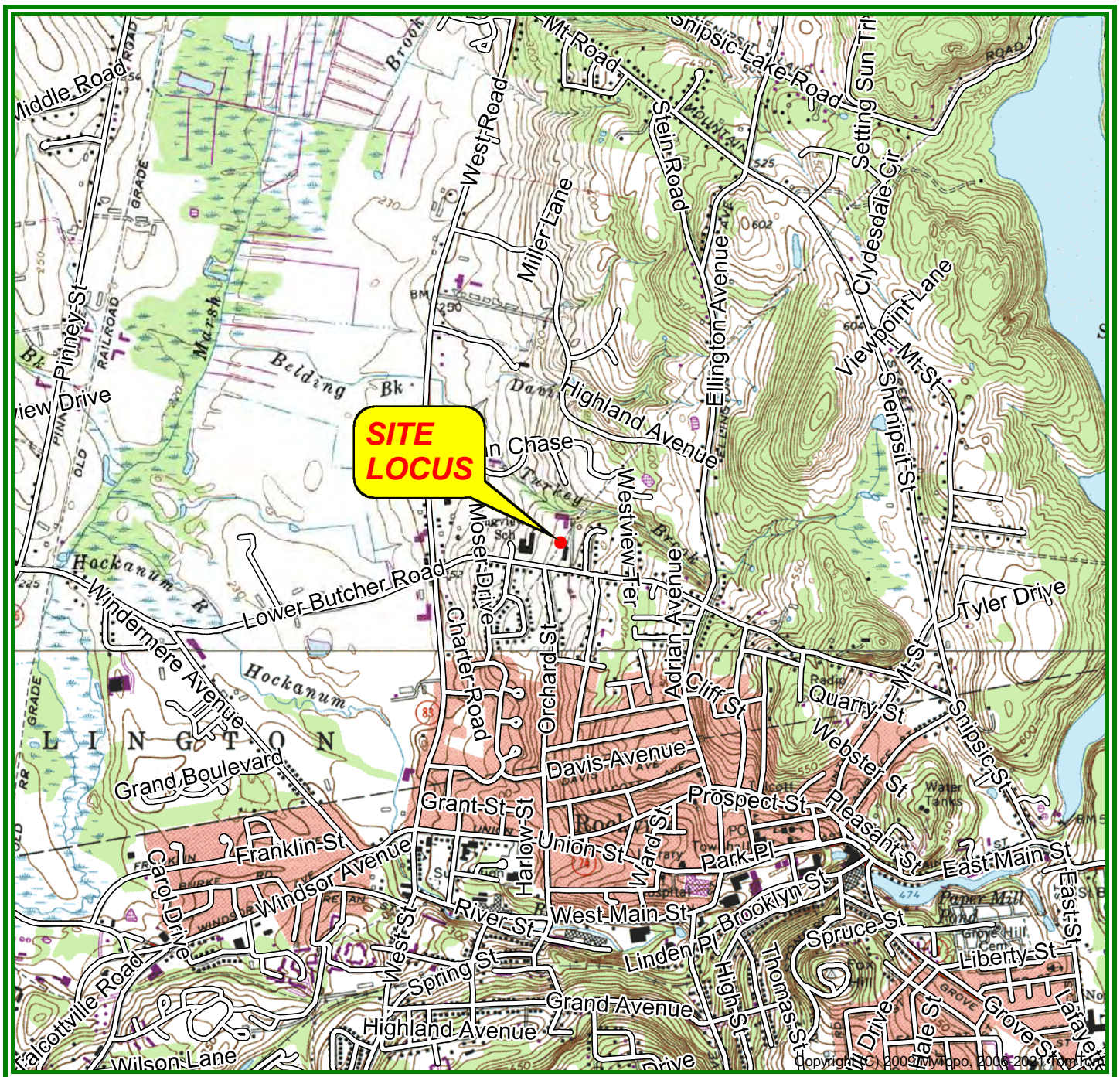
Please contact the undersigned at 860-208-0360 if you have any questions or require further information. Thank you for the opportunity to be of service.

Sincerely,

A handwritten signature in black ink, appearing to read "Martin Brogie", with a large, stylized flourish at the end.

Martin Brogie, LEP
Soil Scientist

w/attachments



ELLINGTON Topographic 1967 41072-H4-TF-024 National Geodetic Vertical Datum 1929

SCALE 1:24000

0 1000 2000 3000 4000 5000

FEET

0 1

MILE

Site Coordinates:

041° 52' 44.31" N, 072° 27' 29.02" W

Project:

34 Middle Butcher Road

Site Location:

34 Middle Butcher Road
Ellington, Connecticut



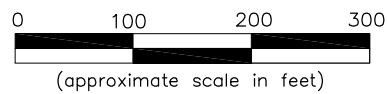
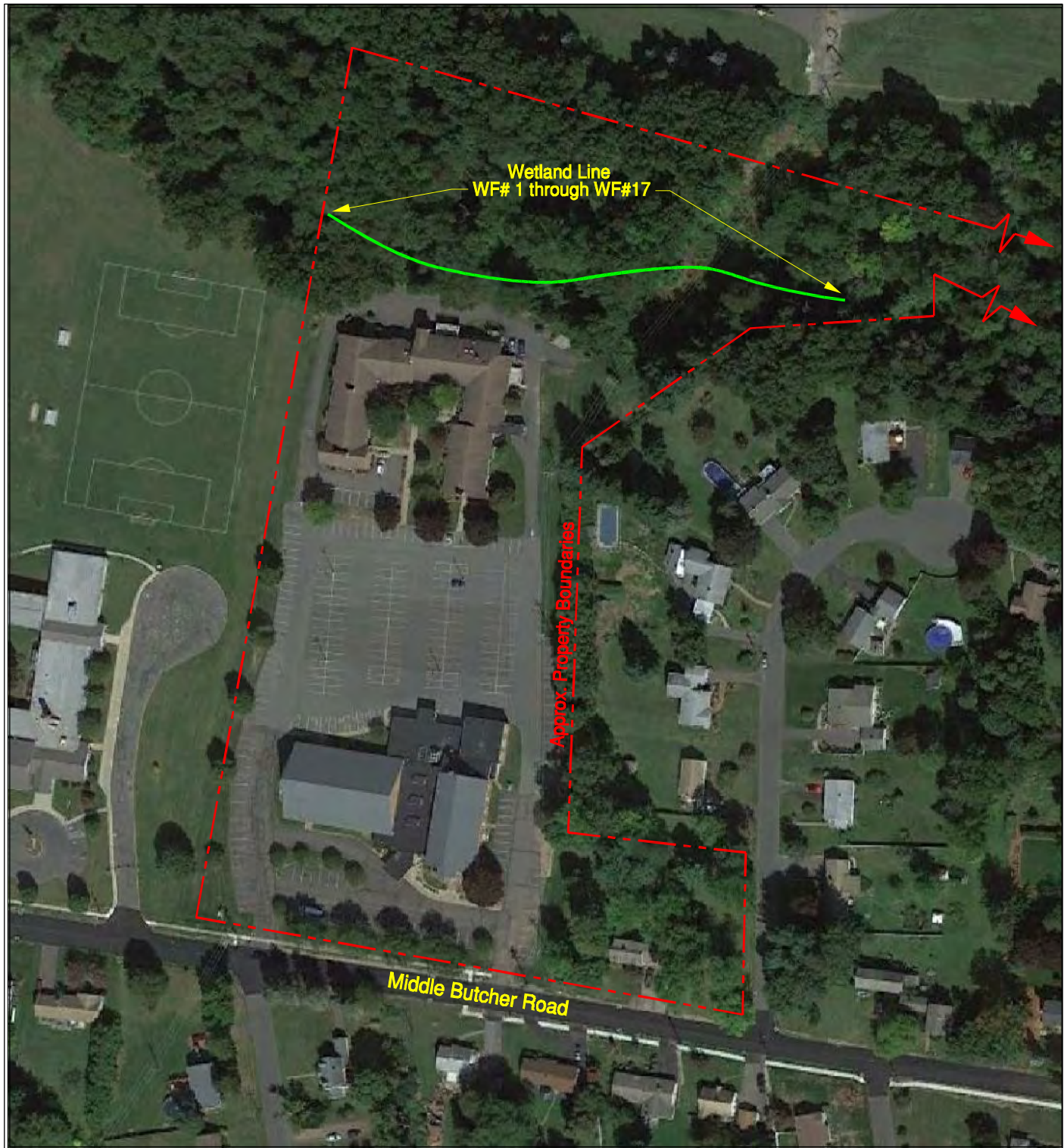
Martin Brogie, Inc.
ENVIRONMENTAL SERVICES

28 Arbor Lane, Madison, Connecticut 06443

ph: (860) 208-0360

email: martinbrogieinc@gmail.com

Figure 1
Site Locus Map



28 Arbor Lane
Madison, Connecticut 06443
ph: (860) 208-0360
email: martinbrogieinc@gmail.com

Figure 2 - Aerial Site Plan

34 Middle Butcher Road
Ellington, Tolland County, Connecticut

Project: 34 Middle Butcher Rd

Drawn by: KMH

Date: 12/30/21

Scale: AS SHOWN



West end of Turkey Brook looking west from southern bank.



West end of Turkey Brook looking east along southern bank.



Wooden bridge looking northwest from upstream side of bridge.



Area east of bridge looking east on to the delineated floodplain soil area.

Stormwater Management Report

Fellowship Hall - Apostolic Christian Church

34 Middle Butcher Road

Ellington, CT

PREPARED FOR

Town of Ellington

55 Main Street

Ellington, CT 06029

April 2022



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SECTION 1 - INTRODUCTION

The property is situated on approximately 15.84 acres of land at 34 Middle Butcher Road in Ellington, Connecticut. The project proposes a new gathering hall for Ellington Apostolic Christian Church in the area north of the existing church building that will be comprised of a community building, parking, sidewalks, landscaping, and other site improvements. There are wetlands found north of the proposed building location where the parcel contains a large strip on wooded area that abuts residences on Ellington Avenue. Although there is no building currently in the proposed location of construction, historically a building existed in this location (as seen in the aerial imagery below). Therefore, the existing conditions stormwater analysis will be performed as if this building is still in place.



SECTION 2 – HYDROLOGY

No hydrologic modelling was necessary for this site due to a reduction in impervious cover from existing conditions to proposed conditions and taking into consideration that the watersheds and time of concentrations were maintained.

Existing Conditions

The site slopes from south to north, a highpoint exists near the two (2) entrances/exits on Middle Butcher Road. A stormwater collection system collects all of the water south of the existing church and directs it back toward the municipal system in Middle Butcher Road, with some undisturbed flow landing on the slope west of the site and sheet flowing down to the neighboring property (Ellington Middle School). Stormwater north of the church is either collected into a drainage system and directed north, into the wetlands, or directly sheet flows into the wetlands. A small portion of this sheet flows onto the middle school property. The total existing imperviousness under existing conditions is 4.32 acres (27.3%).

NRCS soils mapping indicates a large part of the site is Urban Land, considered to be generally low permeability and classified as Hydrologic Soil Group “D.” This area is made up of the building area and parking lot areas. The wooded area and some of the parking on the north of the site are classified as Hydrologic Soil Group ‘C’.

Geotechnical borings were performed at 10 locations throughout the project area indicate that the natural soils consist of glacial moraine deposits, which are well graded sand, silt and gravel, with silt percentages ranging from 25% to 60%, which confirm the Hydrologic Soil Group “C” designation listed by NRCS. The borings also indicated the water table is evident between 8’ to 17’ below grade.

Drainage from the site is split into two (2) separate sub-watersheds:

- Sub-watershed E1: This area consists of the parking areas, sidewalks, building and some of the hill on the east side of the property. Flow from this watershed is collected in a one (1) of three (3) stormwater drainage systems and piped into the wetlands, generally flowing from south to north. Some flow over pervious surfaces directly flow into the wooded wetlands.

The three (3) outlets were observed, and each noted to be damaged and/or causing erosion.

- Sub-watershed E2: This area consists of the hill neighboring the middle school on the west edge of the property. Flow from this watershed will not be collected in any drainage system on site and will mostly exfiltrate in the open field space on the school property.

Proposed Conditions

Under proposed conditions, the imperviousness is reduced from 4.32 acres (27.3%) to 4.21 acres (26.6%). The discharge points remain the same and a majority of the existing drainage structures and piping are to remain. The site is to still slope from south to north and all paved areas will be collected in one (1) of three (3) drainage systems that will re-use the outlet locations as seen under existing conditions. The south part of the parcel is to remain undisturbed and the drainage system associated with it (south of Apostolic Christian Church) will continue to drain to Middle Butcher Road. New structures will be added/replaced to align with the new site layout over existing pipes.

- P1 – This watershed drains to the wetlands found north of the proposed building site and includes all of the impervious surfaces on site.

A specific solution has been designed for the three (3) existing outlets and these can be viewed in the sheet details.

- P2 – This watershed remains unchanged and sheet flows to the adjacent middle school.

As previously mentioned, no hydrologic analysis was performed. The watersheds, discharge points and time of concentration are unchanged and the imperviousness has decreased; therefore, the peak flows to the discharge points will not increase.

SECTION 3 – STORMWATER QUALITY

The project has been designed to address both short-term and long-term stormwater quality. Short term (during construction) treatment has been provided in the form of erosion control measures and long-term (post construction) treatment has been provided through the use of Low Impact Development principals. Erosion control has been designed per the 2002 Connecticut Erosion Control Guidelines.

Short Term Erosion Control

The proposed erosion and sedimentation controls consider the specific characteristics of the site and the anticipated construction activities, and have been designed in accordance with the 2002 CT DEEP Guidelines for Soil Erosion and Sediment Control, as required by Standard 3 of the LID Manual.

Construction Entrances

Construction entrances will be utilized to remove sediment from construction vehicle tires and prevent it from being tracked onto adjoining paved roadway areas.

Erosion Control Barriers

Prior to any construction activity, hay bales, silt fence, or combination hay bale/silt fence barriers will be placed at the downgradient limits of construction, adjacent Beaver Pond. These barriers will be periodically inspected and replaced as necessary. Collected silt will be removed when one-half the barrier height is reached.

Temporary Filter Inserts

Temporary Filter Inserts will be placed in each existing catch basin and yard drains prior to the start of construction, and in each new catch basin or yard drain during construction. These devices will be removed upon final site stabilization. Filter inserts will be inspected once every seven (7) calendar days and within 24 hours after every rainfall generating a discharge. Replacement of the inserts will be as often as necessary to maintain function of the drainage structure and prevent excessive ponding due to clogged fabric. Ripped or otherwise damaged inserts will be replaced immediately.

Stockpile Management

The topsoil stockpiles which will be idle for at least 30 days will be stabilized with temporary seed and mulch no later than 7 days from the last use. Small stockpiles may be covered with impervious tarps or erosion control matting in lieu of seeding and mulching.

A geotextile silt fence or hay bale barrier will be installed around the stockpile area approximately 10 feet from the proposed toe of the slope.

Long Term Stormwater Quality

The design intent of the 2004 Connecticut Stormwater Quality Manual is to provide a “stormwater treatment train,” where stormwater quality is achieved through a series of treatment measures. Harmful pollutants, such as sediment, pathogens, organic material, hydrocarbons, metals, synthetic organic chemicals and deicing compounds, are carried by the low-flow storms. Many of these pollutants are associated with vehicular exhaust, engine leaks and deicing, therefore key areas of on-site treatment include parking lots and access drives. Additionally, rooftops are a concern as a result of atmospheric ambient accumulation. Since pollutants typically attach themselves to solid particles, treatment practices are designed to remove suspended solids.

The treatment train for this site, which represents pretreatment, includes:

- Parking lot sweeping
- Catch basins with sumps
- Storage and infiltration of stormwater via dry wells.

Under existing conditions no treatment of stormwater is occurring. Through discussions with the Town Engineer, it was determined that infiltration should be provided where available. The renovated portions of the site have been provided with four (4) dry wells, such that stormwater that discharges from all impervious areas of the site (within the limit of work) will be captured and routed through the dry wells. The dry wells are five (5) feet in diameter, five (5) feet deep, and surrounded by crushed stone on the bottom and sides. The bottom of the dry well is above the water table and each of the dry wells will be equipped with an outlet pipe.

Maintenance and Operation

Maintenance and operation will be provided as follows.

During Construction

- **Dust Control:** Moisten disturbed soil areas with water periodically, or use a non-asphaltic soil tacifier to minimize dust.
- **Temporary Soil Protection:** Inspect seeded areas weekly and within 24 hours after a storm generating a discharge.
- **Catch Basin Filter Inserts:** Inspect the fabric at least once a week and within 24 hours after the end of a storm generating a discharge. Check the fabric for structural soundness (i.e. tears), proper anchoring/alignment within the grate and ability to drain runoff (i.e. percent of clogging by sediment). Remove the sediment every week, or sooner if ponding is excessive. Each time the sediment is removed, replace the section of fabric removed with a new section. Do not remove the sediment and reuse the same section of fabric.
- **Hay Bale/ Silt Fence Barrier:** Inspect the barrier at least once a week and within 24 hours after the end of a storm generating a discharge. For dewatering operations, inspect frequently before, during and after pumping operations. Remove the sediment deposits when the depth reaches one half the barrier heights. Repair or replace a barrier within 24 hours of observed failure. Maintain the barrier until the contributing disturbed area is stabilized.
- **Construction Entrance/Exit Pad:** Maintain the pad in a condition that will prevent tracking and washing of sediment onto paved surfaces. Place additional clean gravel on top of gravel that has become silted, or remove the silted gravel and replace the gravel to the depth removed with clean gravel, as conditions warrant. Remove immediately all sediment spilled, dropped, washed or tracked onto paved surfaces. Roads adjacent to the construction site shall be cleaned at the end of each day by hand sweeping or sweeper truck.
- **Existing Catch Basins and Sumps:** Inspect the filter baskets as specified above. After final removal of the filter baskets at the end of construction, clean the sump of all silt and debris.
- **New Catch Basins and Sumps:** As new catch basins are constructed, a filter basket shall be installed in the unit and a sediment barrier installed around the grate. Inspect the trap and barrier weekly and within 24 hours after a storm generating a discharge. After stabilization of the drainage area entering the catch basin, remove the trap and barrier and clean the basin sump of all silt and debris.
- **Temporary Stockpiles:** Inspect temporary stockpiles at the end of each workday to ensure that tarps are in place and secured. Temporary stockpiles that are expected to be inactive for more than 30 days should be temporarily seeded (see above).

After Construction

- Dry Wells: Inspect on a yearly basis for accumulated sediment and debris at the bottom. If the crushed stone at the bottom is not visible, the debris shall be vacuumed out.
- Parking Lot and Site Cleanup: Inspect on a regular basis not to exceed weekly for litter and debris.
- Parking Lot and Driveway Sweeping: At least twice a year, with the first occurring as soon as possible after snowmelt and the second not less than 90 days following the first.
- Catch Basins and Sumps: Maintenance includes removal of trash from the grate and the sump, as well as sediment from the sump. They shall be inspected semi-annually and cleaned when the sump is one half full of sediment. One of the inspections shall be after the snow and ice removal season is over, and prior to the spring rainfall events. If the sumps is filled more than half-filled with sediment at the semi-annual inspections, they shall be inspected quarterly.
- Landscaped Areas: Inspect semi-annually for erosion or dying vegetation. Repair and stabilize any bare or eroded areas and replace vegetation as soon as possible.

APOSTOLIC CHRISTIAN CHURCH

34 MIDDLE BUTCHER ROAD
ELLINGTON, CONNECTICUT

INLAND WETLANDS AND WATERCOURSES COMMISSION AND PLANNING AND ZONING COMMISSION DRAWING SUBMISSION

APRIL 8, 2022

OWNER / APPLICANT

Apostolic Christian Church
34 Middle Butcher Road
Ellington, CT

CONSULTANTS

Civil Engineer & Landscape Architect



Architect & Electrical Engineer



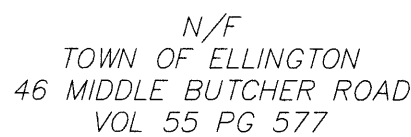
SILVER | PETRUCELLI + ASSOCIATES
Architects | Engineers | Interior Designers
3190 Whitney Avenue | Hamden, CT 06518
One Post Hill Place | New London CT 06320
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucelli.com

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RECEIVED
PLANNING & ZONING DEPARTMENT

PAPER SPACE LAYOUT NAME:
TWISTVIEW:
VIEWNAME:
LAYER MANAGER NAME:
PLOT TABLE: STB



LEGEND		SYMBOL LEGEND		ABBREVIATIONS	
UTILITY SERVICES (UNDERGROUND OR OVERHEAD)					
E	ELECTRIC SERVICE	■	CATCH BASIN	A/C	AIR CONDITIONER
G	GAS PIPES	●	ROUND DRAIN	AT&T	AMERICAN TELEPHONE & TELEGRAPH COMPANY
SAN	SANITARY SEWER PIPES	■	SQUARE DRAIN	BIT	BITUMINOUS
-----	STORM WATER PIPES (LESS THAN 12")	■	STORM DRAIN MANHOLE	BLK.	BLACK
-----	STORM WATER PIPES (12" OR LARGER)	○	ELECTRIC MANHOLE	CB	CATCH BASIN
-----	STORM PIPES (SUPPLY & COND.)	○	SANITARY MANHOLE	COM	COMMUNICATION
-----	TELEPHONE SERVICE	○	STEAM MANHOLE	CONF	CONFER
-----	WATER PIPES	○	TELEPHONE MANHOLE	CONC.	CONCRETE
COM	COMMUNICATION/FIBER OPTIC SERVICE	○	WATER MANHOLE	CNG	CONNECTICUT NATURAL GAS
FP	FIRE PROTECTION PIPES	○	MANHOLE (OF UNKNOWN TYPE)	CL	CENTERLINE
UG	UNKNOWN UTILITY SERVICE	○	MANHOLE (SQ. / REC.)	CLF	CHAIN LINK FENCE
OH	OVERHEAD WIRES	○	WATER VALVE	CLAP	CLAP
		○	GAS VALVE	CP	CONTROL POINT
		○	HYDRANT	DEC.	DECIDUOUS
		○	COMBO STANDPIPE	DMH	DRAINAGE MANHOLE
		○	QUIK WIRE	E	EAST OR ELECTRIC
		○	SIGN (SINGLE POST)	ELEV	ELECTRIC
		○	SIGN (DOUBLE POST)	ELEV	ELEVATION
		○	SIGN (AS DRILLED)	EMH	ELECTRIC MANHOLE
		○	SIGN (AS STAKED)	F.L.	FLOW LINE
		○	SPOT ELEVATION	FND	FOUND
		○	WETLANDS FLAG	GRAN	GRANITE
		○	PROPERTY MONUMENT	GRN	GRANITE STONE CURB
		○	UTILITY MONUMENT (SET AS 2' OFFSET)	HELCO	HARTFORD ELECTRIC COMPANY
		○	IRON PIPE OR REBAR FOUND	HYD.	HYDRANT
		○	IRRIGATION CONTROL BOX	H.H.	HAND HOLE
		○	EMERGENCY PHONE	L.P.	LIGHT POLE
		○	TRAFFIC CONTROLLER CABINET	M	MANHOLE
		○	UTILITY POLE	M	METER
		○	UTILITY POLE W/ LIGHT	M.W.	MONITOR WELL
		○	STREET LIGHT	N	NORTH
		○	LIGHT POST	NAD	NORTH-AMERICAN DATUM
		○	BOLLARD / NOCK	NAND	NATIONAL AMERICAN VERTICAL DATUM
		○	BOULDER / ROCK	N.E.	NORTHEAST
		○	CONIFER SHRUB	N.F.	NOW OR FORMERLY
		○	DECIDUOUS SHRUB	NW	NORTHWEST
		○	DECIDUOUS TREE (SAPLING)	PVC	POLYVINYL CHLORIDE
		○	DECIDUOUS TREE	P.V.V.	POST INDICATOR VALVE
		○	CONIFER TREE	RET.	RETAINING
		○		REC	REINFORCED CONCRETE PIPE
		○		R.L.	RAIN LEADER
		○		S	SOUTH OR SUPPLY
		○		SE	SOUTHEAST
		○		SW	SOUTHWEST
		○		SAN.	SANITARY
		○		SAN.	SANITARY MANHOLE
		○		SNET	SOUTHERN NEW ENGLAND TELEPHONE
		○		SQ.	SQUARE
		○		STM	STEAM
		○		TMH	TELEPHONE MANHOLE
		○		TEL	TELEPHONE
		○		T.P.	TOP OF FRAME
		○		UNK.	UNKNOWN
		○		W	WATER OR WEST
		○		W.G.	WATER GATE
PROPERTY/BOUNDARY LINES					
-----	PROPERTY/BOUNDARY LINES (CLASS A-2)				
-----	PROPERTY/BOUNDARY LINES (CLASS D)				
-----	EASEMENT LINES				
FEATURE LINES					
-----	CURBED ROADWAY				
-----	EDGE OF PAVED ROAD/DRIVE				
-----	BUILDING ROOFLINE (AERIAL PHOTOS)				
-----	RETAINING WALL				
-----	STOCKADE FENCE				
-----	CHAIN LINK/WIRE FENCE				
-----	TREE/VEGETATION LINE				
-----	STONE WALL				
-----	SURFACE WATER (WATERCOURSE)				
-----	WETLANDS LIMIT				
-----	EDGE OF LANDSCAPING				
-----	INTERMEDIATE CONTOUR				
-----	INDEX CONTOUR				

1. TOPOGRAPHIC SKETCH OF PROPERTY OF APOSTOLIC CHRISTIAN CHURCH ELLINGTON, CONNECTICUT SCALE 1"=40' JULY 9, 1979 ALFRED E. SCHINDLER LAND SURVEYOR
2. EASEMENT AREAS TO BE GRANTED TO AND RELEASED BY THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS PROPERTY OF APOSTOLIC CHRISTIAN CHURCH OF ELLINGTON, CONNECTICUT, INC. LOCATED IN ELLINGTON, CONNECTICUT SCALE 1"=40' DATE 7/30/92 REVISED 8/31/92 & 9/19/92 ALFRED E. SCHINDLER LAND SURVEYOR.
3. EASEMENT AREAS TO BE GRANTED TO AND RELEASED BY THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS PROPERTY OF APOSTOLIC CHRISTIAN CHURCH OF ELLINGTON, CONNECTICUT, INC. LOCATED IN ELLINGTON, CONNECTICUT SCALE 1"=40' DATE 1/21/93 ALFRED E. SCHINDLER LAND SURVEYOR.
4. TOPOGRAPHIC SURVEY PORTION OF PROPERTY THE APOSTOLIC CHRISTIAN CHURCH OF ELLINGTON, CONNECTICUT, INC. LOCATED IN ELLINGTON, CONNECTICUT SCALE 1"=40' DATE 6/27/94 ALFRED E. SCHINDLER LAND SURVEYOR
5. MORTGAGE SURVEY PORTION OF PROPERTY OF THE APOSTOLIC CHRISTIAN CHURCH OF ELLINGTON, CONNECTICUT, INC. LOCATED IN ELLINGTON, CONNECTICUT SCALE 1"=40' DATE 4/18/95 ALFRED E. SCHINDLER LAND SURVEYOR

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES; SECTIONS 20-3008-1 THRU 20-3008-20 AND THE "MANUAL OF STANDARD PRACTICES AND CONVENTIONS & CERTIFICATION FOR SURVEYS AND MAPS, AS AMENDED OCTOBER 26, 2018.

1.1. THE TYPE OF SURVEY IS A PROPERTY/BOUNDARY, TOPOGRAPHIC AND GENERAL LOCATION SURVEY.

1.2. THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY.

1.3. THE ACCURACIES ARE AS FOLLOWS:

HORIZONTAL CONTROL	CLASS "A-2"
VERTICAL CONTROL	CLASS "V-2"
BOUNDARY	CLASS "A-2"
TOPOGRAPHY	CLASS "T-2"

2. THE COORDINATES AND ELEVATIONS DEPICTED ON THE PLAN REPRESENT THE NAD '83 AND THE NAD 83 DATUMS. COORDINATES WERE ESTABLISHED ON THE SITE BASED UPON GPS OBSERVATIONS TAKEN ON DEC 23, 2021, USING TRIMBLE GNSS RTK RIO RECEIVERS AND SOLUTIONS PROVIDED THROUGH THE KEYNET NETWORK.

3. UNDERGROUND UTILITIES (IF DEPICTED) HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE. ALFRED BENESCH & COMPANY DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCES OF WHICH ARE UNKNOWN TO ALFRED BENESCH & COMPANY. THE SITE LOCATION AND BOUNDARIES OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL "CALL BEFORE YOU DIG" 1-800-922-4455.

4. THE SUBJECT PROPERTY'S CURRENT DEED CAN BE FOUND IN VOLUME 501 PAGE 244 OF THE TOWN OF ELLINGLAND LAND RECORDS.

5. THE PROPERTY IS LOCATED IN THE "R-RESIDENTIAL" ZONE PER TOWN.

6. THE PROPERTY LIES WITHIN THE "OTHER AREAS ZONE 'X' - AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN," PER THE FEMA FLOOD INSURANCE RATE MAP: TOWN OF ELLINGLAND, CONNECTICUT TOLLAND COUNTY, PANEL 15 OF 15 MAP NUMBER: 0901500015C EFFECTIVE DATE: FEBRUARY 5, 1991.

DAVID A. CARICCHIO, P.L.S. No. 70036
ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
(not valid without original signature and embossed seal)

PHIC SURVEY

CHURCH

CUT, INC.

AD

CONNECTICUT

ELLINGTON CONNECTICUT
MIDDLE BUTCHER ROAD
APOSTOLIC CHRISTIAN CHURCH
OF ELLINGTON, CONNECTICUT, INC.
PREPARED FOR
LIMITED BOUNDARY & TOPOGRAPHIC SURVEY

SV.01

GENERAL LEGEND

	MATCH LINE
	CONTRACT LIMIT LINE
	PROPERTY LINE
	SAWCUT LINE
	CURB (SEE MATERIALS PLAN FOR TYPE)
	CATCH BASIN
	YARD DRAIN
	MANHOLE
	BOLLARD
	LIGHT STANDARDS (SEE SITE ELECTRICAL PLANS)
	DECORATIVE LIGHT STANDARD (SEE SITE ELECTRICAL PLANS)
	UTILITY POLE
	HYDRANT
	SIGN (SEE MATERIALS PLAN FOR TYPE)

EROSION & SEDIMENTATION
CONTROL LEGEND

	SILT FENCE
	HAYBALES
	SILT SACKS
	RIP RAP
	CONSTRUCTION ENTRANCE
	TEMPORARY DIVERSION
	TEMPORARY SEDIMENTATION TRAP
	EROSION CONTROL BLANKET
	TEMPORARY SEDIMENTATION BASIN

DEMOLITION & SITE PREPARATION
LEGEND

	CURB TO BE REMOVED
	BIT. PAVEMENT TO BE REMOVED
	CONC. PAVEMENT TO BE REMOVED
	CONSTRUCTION FENCE
	SITE ELEMENT TO BE REMOVED
	SITE ELEMENT TO BE RELOCATED
	FENCE/WALL TO BE REMOVED
	LEDGE/ROCK TO BE REMOVED
	VEGETATION TO BE REMOVED/GRUBBED
	TREE TO BE REMOVED
	TREE PROTECTION
	TREE TO BE TRANSPLANTED
	NEW LOCATION FOR EXISTING TREE
	UTILITY PIPE TO BE REMOVED
	STRUCTURE TO BE REMOVED
	STRUCTURE TO BE RAISED OR LOWERED

MATERIALS LEGEND

	EXPANSION JOINT		2A C7.0
	EXPANSION JOINT AT FROST WALL		2A C7.0
	JOINT AT FROST PAD AT PERMEABLE PAVERS		3C C7.0
	CONTRACTION JOINT		
	PAINTED HANDICAP SYMBOL		
	HANDICAP RAMP TYPE A		4B C7.0
	HANDICAP RAMP TYPE B		4C C7.0
	STAIR OR RAMP PROFILE		
	TRAFFIC SIGN (SEE TRAFFIC SIGNAGE SCHEDULE)		
	CONCRETE CURB		3B C7.0
	FLUSH INTEGRAL CONCRETE CURB		2A C7.1
	INTEGRAL CONCRETE CURB		3A C7.0
	BITUMINOUS CONCRETE CURB (CAPE COD STYLE)		2D C7.0
	FROST PAD		2A C7.0
	FROST PAD (RECESSED AT PAVERS)		3C C7.0
	BITUMINOUS CONCRETE (LIGHT DUTY)		1A C7.0
	BITUMINOUS CONCRETE (HEAVY DUTY)		1B C7.0
	BITUMINOUS CONCRETE SIDEWALK		4D C7.0
	CONCRETE PAVEMENT (LIGHT DUTY)		1C C7.0
	CONCRETE PAVEMENT (HEAVY DUTY)		1D C7.0
	PERMEABLE CONCRETE PAVERS		2C C7.0
	CONCRETE PAVERS TO MATCH ADJACENT WALLS		1C C7.1
	STONE MULCH (RIVER WASHED)		2B C7.0

LAYOUT LEGEND

	PARKING SPACE QUANTITY
--	------------------------

GRADING LEGEND

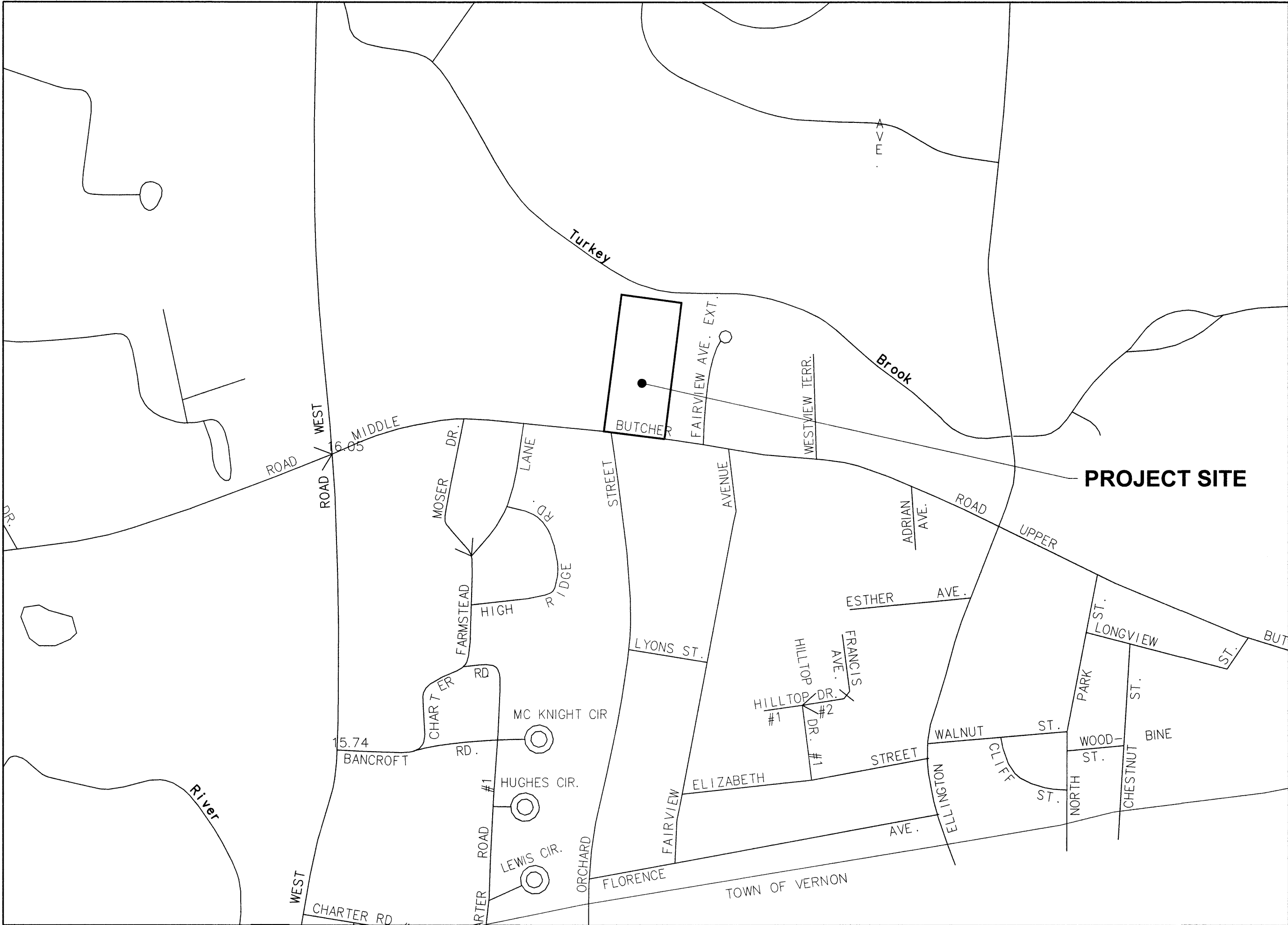
	DIRECTION OF SURFACE DRAINAGE FLOW
	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED SPOT ELEVATION
	MATCH EXISTING SPOT ELEVATION
	FLUSH CONDITION
	ACCESSIBLE ROUTE
	SOIL BORING LOCATION

DRAINAGE AND UTILITIES LEGEND

	STORM DRAINAGE PIPE
	ROOF LEADER
	WATER LINE / FIRE LINE
	WATER METER
	SANITARY SEWER
	VENT LINE
	ELECTRIC / COMM. DUCT BANK
	GAS LINE
	GAS METER
	CLEANOUT
	SANITARY MANHOLE

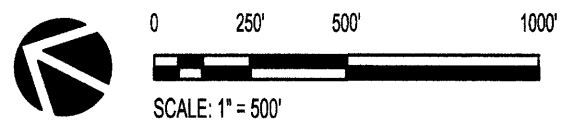
PLANTING LEGEND

	SHADE TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	SHRUB PLANTINGS
	GROUND COVER
	QUANTITY
	PLANT TYPE KEY
	PROPOSED TREE LINE
	NEW LOCATION FOR EXISTING PLANT
	INDIVIDUAL TREES TO REMAIN



KEY PLAN

1" = 200'



ZONING DATA TABLE

CHARACTERISTICS	REQUIREMENT	EXISTING	PROPOSED
TOTAL PARCEL ACREAGE	40,000 SQ. FT. - 0.92 AC. MIN.	689,990 SQ. FT. / 15.84 AC.	NO CHANGE
ZONE:	---	R - RESIDENTIAL	NO CHANGE
USE:	ALLOWED BY SPECIAL PERMIT	PLACE OF WORSHIP	NO CHANGE
ZONING SETBACKS:			
FRONT YARD:	35'-0"	99'-0"	NO CHANGE
SIDE YARD:	10'-0"	69' EAST (CHURCH), 97' WEST (CHURCH)	87' EAST(FELLOWSHIP HALL), 57' WEST (FELLOWSHIP HALL)
REAR YARD:	25' PRINCIPLE BUILDING, 10' ACCESSORY BUILDING	716' (CHURCH)	318' (FELLOWSHIP HALL)
WETLAND REGULATED AREAS:			
WETLAND OR WATER COURSE:	100' REGULATED AREA	1,045' (CHURCH), 47' (PAVEMENT)	103' (FELLOWSHIP HALL), 42' (PAVEMENT)
WETLAND OR WATERCOURSE WITHIN DESIGNATED WATERSHED BY WATER COMPANY:	250' REGULATED AREA	N/A	N/A
MAXIMUM LOT COVERAGE:	25%	188,123 SF / 689,990 SF = 27.27%	183,536 SF / 689,990 SF = 26.59%
MINIMUM LOT WIDTH:	100'-0"	450.08'	NO CHANGE
MAXIMUM BUILDING HEIGHT:	38'-0"	50'-0" (EXISTING CHURCH)	29'-9" (FELLOWSHIP HALL) FROM AVERAGE GRADE PLANE NO CHANGE (EXISTING CHURCH)
PARKING REQUIREMENTS:	PLACE OF WORSHIP USE: 1 SPACE FOR EACH 5 SEATS 705/5=141 REQUIRED SPACES	277 SPACES	275 SPACES
HANDICAP SPACES REQUIRED	7 SPACES	7 SPACES	9 SPACES

DATE: APRIL 8, 2022
SCALE: NOT TO SCALE
DRAWN BY: TRS
PROJECT NUMBER: 21.000

Project Title:

Ellington Apostolic Christian Church
Fellowship Center
34 Middle Butcher Road
Ellington, CT 06029



benesch
120 Hebron Avenue, 2nd Floor
Glastonbury, Connecticut 06033
P 860-633-8341
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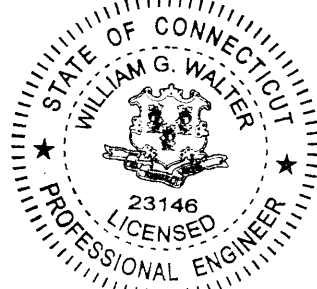
Revision:

Description:

Date:

Revised By:

-	IWWC/PZC Sub.	4/8/2022	-



Drawing Title:

GENERAL INFORMATION

Date:

APRIL 8, 2022

Scale:

NOT TO SCALE

Drawn By:

TRS

Project Number:

21.000

Drawing Number:

GI0.1

DEMOLITION & SITE
PREPARATION NOTES

- OWNERS REPRESENTATIVE SHALL BE CONSULTED BEFORE ANY WORK SHALL COMMENCE.
- PRIOR TO ANY DEMOLITION ACTIVITY THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES.
- CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE AND THE GENERAL CONTRACTOR REGARDING STAGING AREAS, CONSTRUCTION FENCING LIMITS & GATES, AND CONSTRUCTION TRAFFIC & PARKING.
- ALL MATERIAL TO BE REMOVED SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AWAY FROM THE SITE OR DELIVERED AS DIRECTED BY THE OWNER.
- LOCATION OF ALL UTILITIES ARE SHOWN DIAGRAMMATICALLY & MAY BE INCOMPLETE. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DONE BY THIS WORK SHALL BE REPAIRED BY THE CONTRACTOR.
- PROTECTION OF ALL EXISTING TREES TO REMAIN SHALL BE A PRIORITY. INSTALL TREE PROTECTION AS INDICATED. DO NOT STOCKPILE PARK OR PERFORM ANY MECHANICAL OPERATIONS WITHIN THE DRILIPE OF EXISTING TREES AS NOTED IN THE DETAILS. NO STORAGE OF MATERIALS OR SOIL SHALL BE ALLOWED IN THESE AREAS. ALL FILL AND EXCAVATION REQUIRED WITHIN THE DRILIPE OF ALL EXISTING TREES TO REMAIN SHALL BE COMPLETED BY HAND UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND VEGETATION DAMAGE TO VEGETATION SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS BY THE CONTRACTOR.
- BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1.800.922.4455. THE RESPECTIVE UTILITY COMPANIES AND LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR AS A RESULT OF FAILURE TO CONTACT PROPER AUTHORITIES SHALL BE BORN BY THE CONTRACTOR.
- PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FROM ANY UTILITY COMPANY OR OTHER GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO HIS CONTRACT OPERATIONS.
- CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
- CONTRACTOR SHALL MAINTAIN PROPER SIGNS, BARRICADES, AND FENCES TO PROPERLY PROTECT THE WORK EQUIPMENT, PERSONS AND PROPERTY FROM DAMAGE.
- ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS APPLICABLE, AND LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.
- ALL TOPSOIL WITHIN DISTURBED AREAS SHALL BE REMOVED AND BECOME PROPERTY OF THE CONTRACTOR. IF TOPSOIL MEETS SPECIFICATIONS IT MAY BE ABLE TO BE REUSED ON SITE.
- CONTRACTOR SHALL STRIP AND STORE TOPSOIL AND SOD IN ALL AREAS TO BE DISTURBED OR REGRADED. LOCATION OF TOPSOIL STOCKPILE TO BE DESIGNATED BY CITY/TOWN ENGINEER. TOPSOIL STOCKPILE SHALL COMPLY WITH SIZE AND OTHER REQUIREMENTS IN THE SPECIFICATIONS.
- LIMITS OF EXISTING PAVEMENTS AND CURBS TO REMAIN SHALL BE NEATLY SAWCUT TO PROVIDE FOR A NEAT, CLEAN JOINT/OF FINISHED EDGE.
- REMOVAL OF TREES AND SHRUBS INCLUDES CLEARING AND GRUBBING OF STUMPS.
- ITEMS NOTED TO BE REMOVED AND SAVED FOR OWNER SHALL BE STORED ON SITE AND PROTECTED BY CONTRACTOR FOR RECOVERY BY OWNER. ITEMS NOTED TO BE RELOCATED SHALL BE REMOVED, STORED AND PROTECTED FROM DAMAGE UNTIL RE-INSTALLATION. STORED ITEMS DAMAGED BY CONTRACTOR SHALL BE REPLACED TO MATCH BY CONTRACTOR.

EROSION & SEDIMENT
CONTROL NOTES

- THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
- MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
- ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT'S 2002 "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
- ANY STOCKPILED MATERIAL SHALL BE SUBJECT TO EROSION CONTROL MEASURES THAT INCLUDE A MINIMUM OF SILT FENCE OR HAY BALE BARRIER, COVER STOCKPILES IF SIGNIFICANT RAINFALL IS PREDICTED.
- PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
- ALL TEMPORARY SLOPES IN EXCESS OF 3 (HORIZONTAL) TO 1 (VERTICAL) SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR APPROVED EQUIVALENT.
- NO RUNOFF SHALL BE ALLOWED TO ENTER ANY STORMWATER SYSTEM OR EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
- FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
- SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER.

SUGGESTED CONSTRUCTION
SCHEDULE

- CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITY.
- INSTALL CONSTRUCTION ENTRANCE(S) AND PLACE CATCH BASIN FILTER INSERTS IN EXISTING CATCH BASINS.
- INSTALL PERIMETER E&S CONTROLS AND REQUEST PRE-CONSTRUCTION INSPECTION FROM THE ENGINEER.
- STRIP TOPSOIL AND PLACE EROSION CONTROLS AS NECESSARY.
- PERFORM DEMOLITION BULK EARTHWORK OPERATIONS.
- BEGIN CONSTRUCTION OF FOUNDATION.
- CONSTRUCT UTILITIES.
- BOX OUT PARKING LOT WITH IMPORTED BASE MATERIALS.
- CONSTRUCT BOTTOM COURSE OF BITUMINOUS PAVEMENT.
- CONSTRUCT LANDSCAPING AND OTHER SITE AMENITIES.
- CONSTRUCT CURBING AND TOP COURSE OF BITUMINOUS PAVEMENT.
- AT THE CONCLUSION OF CONSTRUCTION, COMPLETE THE INSTALLATION OF POST-CONSTRUCTION SITE STABILIZATION MEASURES AS SHOWN ON THE DRAWINGS.

TEMPORARY E&S MEASURES
MAINTENANCE SCHEDULE

E&S MEASURE	MAINTENANCE MEASURES	SCHEDULE
FILTER INSERTS IN DRAINAGE SYSTEM	CLEAN CATCH BASIN GRATE, REMOVE SEDIMENT/DEBRIS FROM FILTER INSERTS	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
HAY BALES/ SILT FENCE BARRIER	REPAIR/REPLACE WHEN FAILURE OBSERVED, REMOVE SILT WHEN ACCUMULATION REACHES APPROX. HALF HEIGHT OF BARRIER	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
TARP TEMPORARY STOCKPILES	ENSURE TARP IS SECURED OVER STOCKPILE AT THE END OF EACH DAY	DAILY
CONSTRUCTION ENTRANCE	SWEEP PAVED ROADWAY ADJACENT TO SITE ENTRANCE AS NECESSARY, REFRESH STONE AS NECESSARY, REMOVE SILTED GRAVEL	WEEKLY
MOISTEN EXPOSED SOILS	PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS AND KEEP TRAVELWAYS DAMP	DAILY

MATERIALS NOTES

- MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 818, THE TOWN OF ELLINGTON REGULATIONS AND THE PROJECT MANUAL.
- ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABOUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
- MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
- EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS.
- PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 20 FEET.

LAYOUT NOTES

- NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED.
- FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- A DIGITAL CAD FILE CAN BE PROVIDED TO THE CONTRACTOR FOR THE LAYOUT OF SITE IMPROVEMENTS IN THE FIELD.

UTILITY NOTES

- CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
- THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED. VERIFY ALL TIE-IN POINTS, ROUTING, CONFLICTS, CROSSINGS, AND BUILDING CONNECTION POINTS TO FACILITATE THE COMPLETION OF THE WORK.
- PERFORM EXPLORATORY EXCAVATIONS AS REQUIRED TO VERIFY THE AS-BUILT LOCATION OF EXISTING SUBSURFACE UTILITIES WHERE CROSSINGS OR OTHER POTENTIAL CONFLICTS ARE PRESENT.
- FOR TELECOMMUNICATIONS AND ELECTRIC, WARNING TAPE SHALL BE INSTALLED 12-INCHES BELOW GRADE.
- SEAL ALL CONDUIT ENDS WITH BLANK DUCT PLUGS. SECURE PULL ROPE TO DUCT PLUG.
- ALL WORK ASSOCIATED WITH FIRE PROTECTION AND DOMESTIC WATER SHALL CONFORM TO THE LOCAL PROVIDER STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH ELECTRICAL SERVICE SHALL CONFORM TO THE EVERSOURCE STANDARDS AND SPECIFICATIONS. IF THERE ARE ANY CONFLICTS BETWEEN THE REQUIREMENTS INDICATED HEREON AND EVERSOURCE STANDARDS, EVERSOURCE STANDARDS SHALL PREVAIL.
- ALL WORK ASSOCIATED WITH TELECOMMUNICATIONS SHALL CONFORM TO THE STANDARDS OF THE LOCAL TELECOMMUNICATIONS PROVIDER.
- INSTALL CONDUIT, PULL ROPE, CAPS, WARNING TAPE, AND TRACER WIRE PER APPLICABLE SPECIFICATIONS, STANDARDS, AND CODES.
- ALTHOUGH NOT SHOWN ON THE DRAWINGS, PROVIDE FOR THE INSTALLATION OF ALL JOINTS, COUPLINGS, RESTRAINTS, BENDS, ANGLES, AND OTHER APPURTENANCES TO ACHIEVE A COMPLETE, FUNCTIONAL WATER SUPPLY SYSTEM.

ACCESSIBILITY NOTES

- SLOPES ALONG THE ACCESSIBLE ROUTE SHALL BE LESS THAN 1:20 (5%) AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN ¼ INCH.
- SLOPES ALONG THE HANDICAP ACCESSIBLE RAMP SHALL NOT EXCEED 1:12 (8.3%) AND THE CROSS SLOPE SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVEL SHALL NOT BE GREATER THAN ¼ INCH.
- LANDINGS SHALL NOT HAVE A SLOPE GREATER THAN 1:50 (2%) IN ANY DIRECTION.
- SLOPES WITHIN THE HCP PARKING SPACE SHALL NOT EXCEED 1:50 (2%) IN ANY DIRECTION.
- CHECK EXISTING GRADES AT PROPOSED CROSSWALK AREA. REMOVE AND REPLACE EXISTING PAVEMENT AT PROPOSED CROSSWALK AREA AS NECESSARY IF EXISTING GRADES DO NOT COMPLY WITH REQUIRED SLOPES FOR THE ACCESSIBLE ROUTE.

TOPSOIL, SEEDING &
PLANTING NOTES

- BLEND PROPOSED GRADES INTO EXISTING GRADES SMOOTHLY AND NEATLY. ALL SAWCUTS SHALL BE STRAIGHT AND CLEAN.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES INCLUDING AREAS OUTSIDE OF THE CONTRACT LIMIT LINE, BUT WHICH ARE NOT COVERED BY OTHER SITE IMPROVEMENTS.
- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH UNLESS INDICATED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF AMENDED PLANTING SOIL TO A MINIMUM DEPTH OF 18 INCHES. SEE PLANTING PLANS FOR BED EXTENTS AND DETAILS FOR AREAS OF ADDITIONAL REQUIRED DEPTH.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTORS EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.

GRADING & DRAINAGE NOTES

- CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
- THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.
- COMPLY WITH CONNECTICUT BUILDING CODE FOR ALL SITE CONSTRUCTION, INCLUDING HANDICAPPED ACCESSIBILITY.
- THE CROSS-SLOPE OF ALL SIDEWALKS AND WALKWAYS SHALL BE LESS THAN 1V:40H (2.08%). UNLESS OTHERWISE INDICATED, THE MAXIMUM RUNNING SLOPE OF ALL SIDEWALKS AND WALKWAYS SHALL BE LESS THAN 1V:20H (5%). VERIFY GRADES AND SLOPES PRIOR TO CONCRETE PLACEMENT. REPORT DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ENGAGE A CONNECTICUT-LICENSED LAND SURVEYOR TO PERFORM LAND-SURVEYING SERVICES REQUIRED, INCLUDING, BUT NOT LIMITED TO, VERIFICATION AND LAYOUT OF BASELINES, PROPOSED IMPROVEMENTS, DIMENSIONS AND ELEVATIONS. REPORT DISCREPANCIES TO THE ENGINEER.
- PROPOSED GRADES INDICATE DESIGN INTENT. VERIFY ELEVATIONS AND MAKE ADJUSTMENTS TO MEET FIELD CONDITIONS. DO NOT PROCEED WITH ANY ADJUSTMENT OR FIELD MODIFICATION UNTIL APPROVED BY THE ENGINEER.
- GRADE TRANSITION BETWEEN TOPOGRAPHIC LINES AND SPOT GRADES SHALL BE UNIFORM UNLESS OTHERWISE INDICATED.
- MAXIMUM LANDSCAPE SLOPES SHALL BE 3(H):1(V) UNLESS OTHERWISE INDICATED.
- ALL DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS OTHERWISE INDICATED. SEE SPECIFICATIONS.
- THE TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) OF ALL UTILITY STRUCTURES THAT ARE TO REMAIN SHALL BE ADJUSTED TO MATCH FINAL GRADE IN A FLUSH CONDITION. ALL NEW UTILITY STRUCTURES SHALL BE INSTALLED WITH TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) TO FINAL GRADE IN A FLUSH CONDITION.
- AT THE CONCLUSION OF THE WORK, CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT MATERIAL FROM ALL PORTIONS OF THE STORM DRAINAGE SYSTEM.

ABBREVIATIONS

B&B	BALLED & BURLAPPED
BC	BOTTOM OF CURB
BD	BOTTOM OF DOCK
BFE	BASEMENT FLOOR ELEVATION
BIT.	BITUMINOUS
BR	BOTTOM OF RAMP
BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
CB	CATCH BASIN
CAL	CALIPER AT 4' HT.
CL	CENTER LINE
CLF	CHAIN LINK FENCE
CLL	CONTRACT LIMIT LINE
CONC.	CONCRETE
CONT.	CONTAINER
DI	DRAIN INLET
DIA.	DIAMETER
EJ	EXPANSION JOINT
EL	ELEVATION
EQ.	EQUAL
FFE	FINISH FLOOR ELEVATION
FLUSH	FLUSH CONDITION
GAL.	GALLON CONTAINER
HP	HIGH POINT
HT.	HEIGHT
LP	LOW POINT
MAX.	MAXIMUM
MEG	MATCH EXISTING GRADE
MIN.	MINIMUM
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
PT	PINT CONTAINER
QTY	QUANTITY
R	RADIUS
SPD	SPREAD
TC	TOP OF CURB
TD	TOP OF DOCK
TF	TOP OF FRAME
TR	TOP OF RAMP
TRC	TRANSITION CURB
TS	TOP OF STAIR
TW	TOP OF WALL
TYP.	TYPICAL CONDITION
YD	YARD DRAIN

GENERAL NOTES

- LOCATIONS & ELEVATIONS OF UNDERGROUND UTILITIES AND STRUCTURES ARE TAKEN FROM RECORD PLANS AND LIMITED FIELD VERIFICATION AND ARE APPROXIMATE ONLY. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OF UTILITIES AND STRUCTURES PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL DETERMINE FOR HIMSELF, PRIOR TO BIDDING, THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES THAT MAY AFFECT HIS CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ADEQUATELY SUPPORT ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGE. CONTACT "CALL BEFORE YOU DIG", 1-800-922-4455, AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR IS TO COORDINATE ACTIVITIES WITH INDIVIDUAL UTILITY COMPANY REPRESENTATIVES.
- CONTRACTOR SHALL ESTABLISH AND/OR MAINTAIN AT LEAST ONE (1) BENCHMARK ON SITE FOR VERTICAL AND HORIZONTAL REFERENCE.
- ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS SHALL BE FIELD. ALL EXISTING CURBING ON SITE IS TO BE FULLY REMOVED AND DISPOSED OF PROPERLY UNLESS INDICATED OTHERWISE. VERIFY PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE CONSTRUCTION MANAGER.
- EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES AT NO ADDED COST TO THE OWNER (TYP.).
- ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS APPLICABLE AND LEGALLY DISPOSED OF OFF-SITE.
- ALL EXISTING UTILITIES REQUIRING REMOVAL SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
- ALL POINTS OF CONSTRUCTION INGRESS & EGRESS WILL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS. ANY SEDIMENT TRACKED ONTO PAVED PUBLIC WAYS SHALL BE SWEEP AT THE END OF EACH WORK DAY.
- BORING LOCATIONS SHOWN ARE APPROXIMATE. REFERENCE GEOTECHNICAL REPORT FOR FURTHER DETAILS.
- THE CONSTRUCTION LIMITS ARE AS DEFINED IN THE SPECIFICATIONS AND AS SHOWN IN THE DRAWINGS. DRAWINGS INDICATE MINIMUM LIMITS OF DEMOLITION/PAVEMENT REMOVAL REQUIRED FOR CONSTRUCTION OF NEW IMPROVEMENTS. WORK SHALL NOT EXCEED CONTRACT LIMIT LINES UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WORK ON EACH SITE WORK SHEET WITH ALL OTHER DRAWINGS PERTAINING TO SITE. WORK IN THE CONTRACT DOCUMENT SET. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIM OR HERSELF FAMILIAR WITH THE FULL SET OF DOCUMENTS FOR ALL SITE RELATED ITEMS.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES AND OPERATIONS.
- CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
- CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALLIATIVE, OTHER THAN CALCIUM CHLORIDE.
- CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.

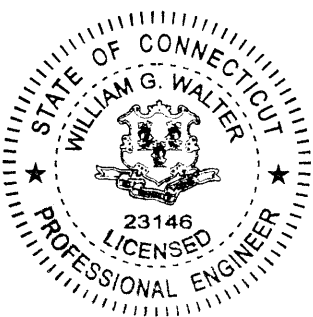
- PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.

Project Title:
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Fellowship Center
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Drawing Title:
GENERAL INFORMATION

Date:
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4 OF 23

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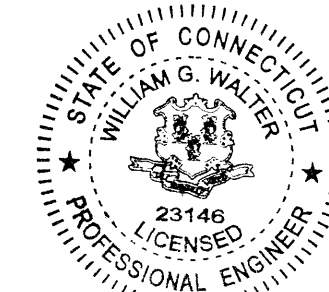
SEE SHEETS G10.1 AND G10.2
FOR LEGENDS & NOTES
RELATED TO THIS SHEET

Project Title:
Ellington Apostolic Christian Church
Fellowship Center
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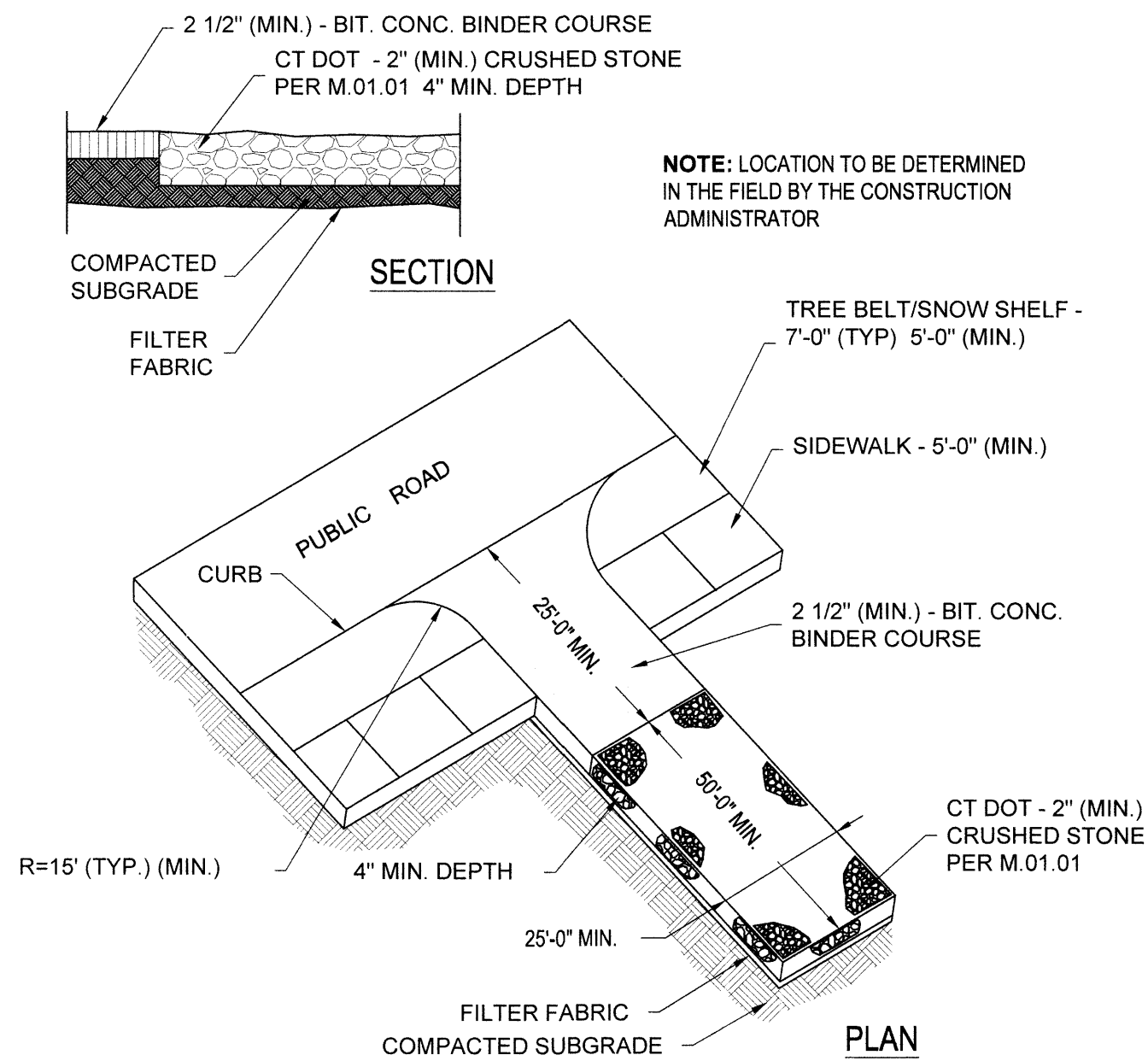
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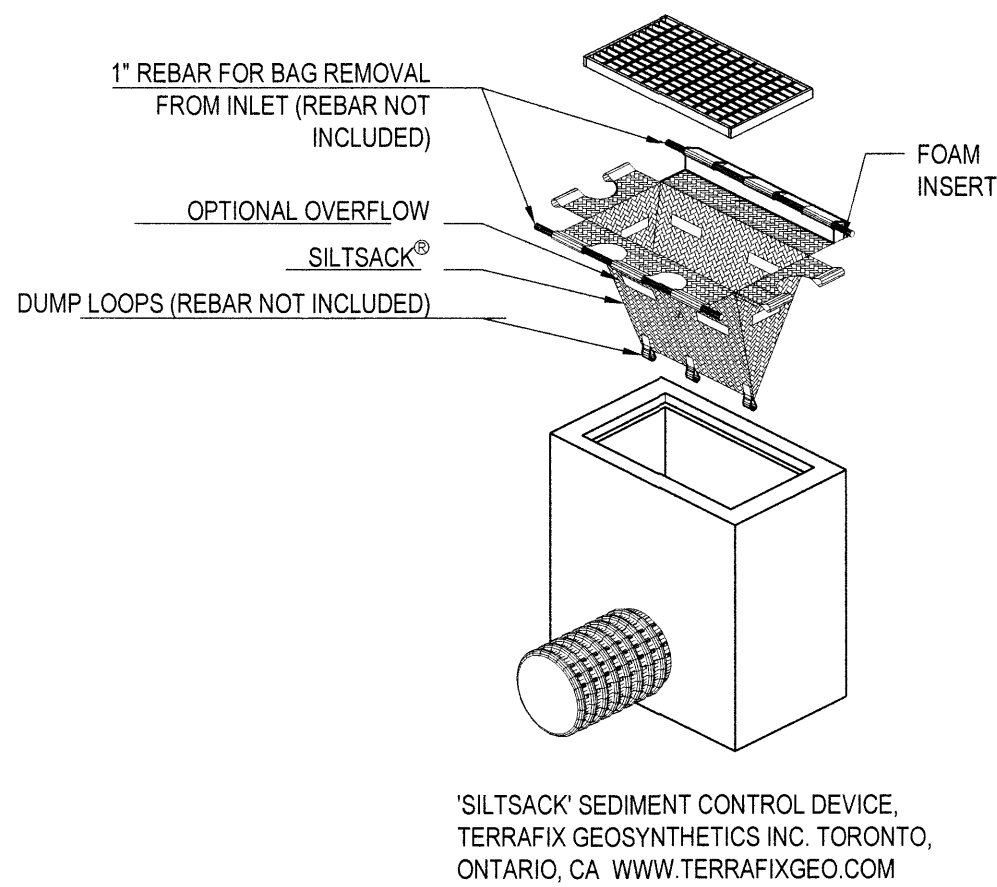


Drawing Title:
**DEMOLITION &
PREPARATION & EROSION AND
SEDIMENT CONTROL PLAN**

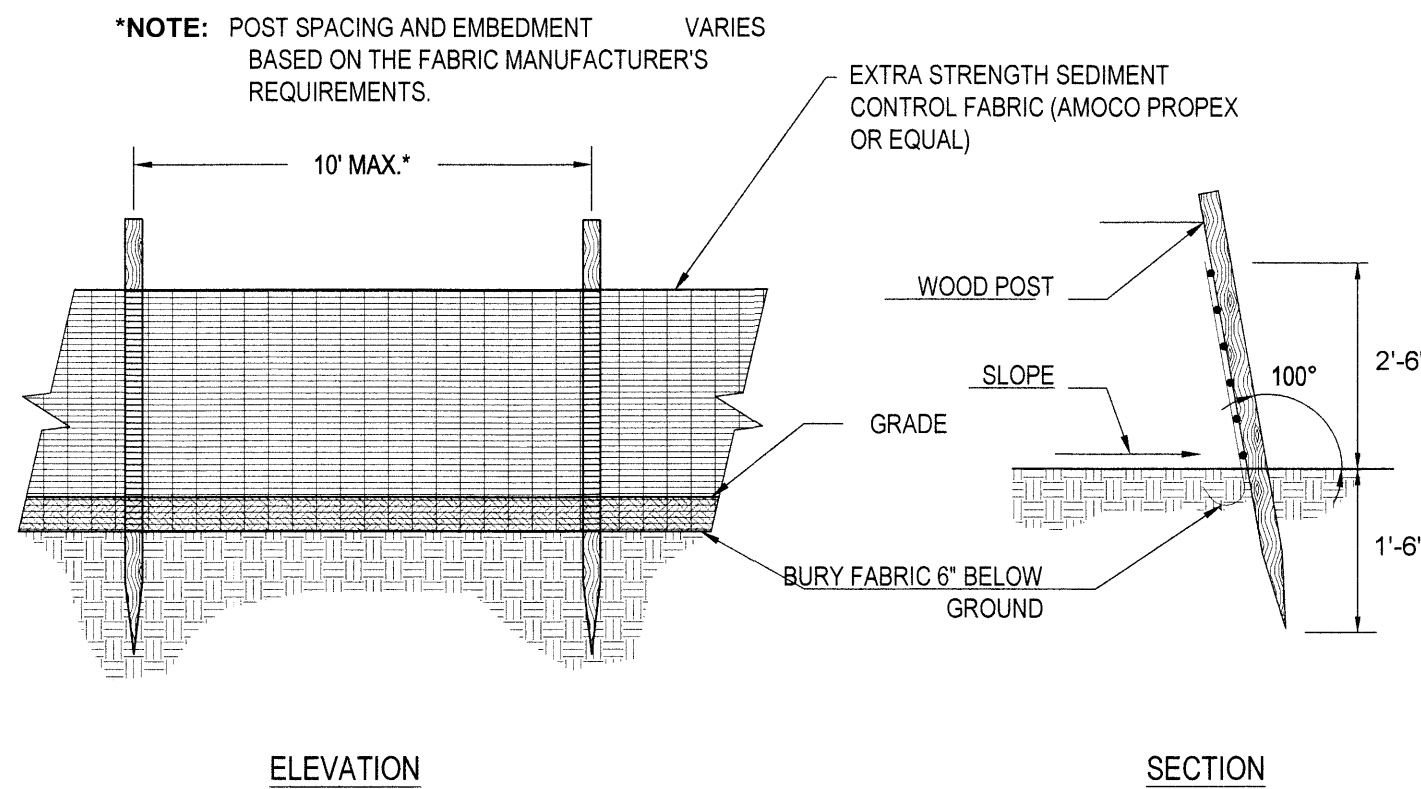
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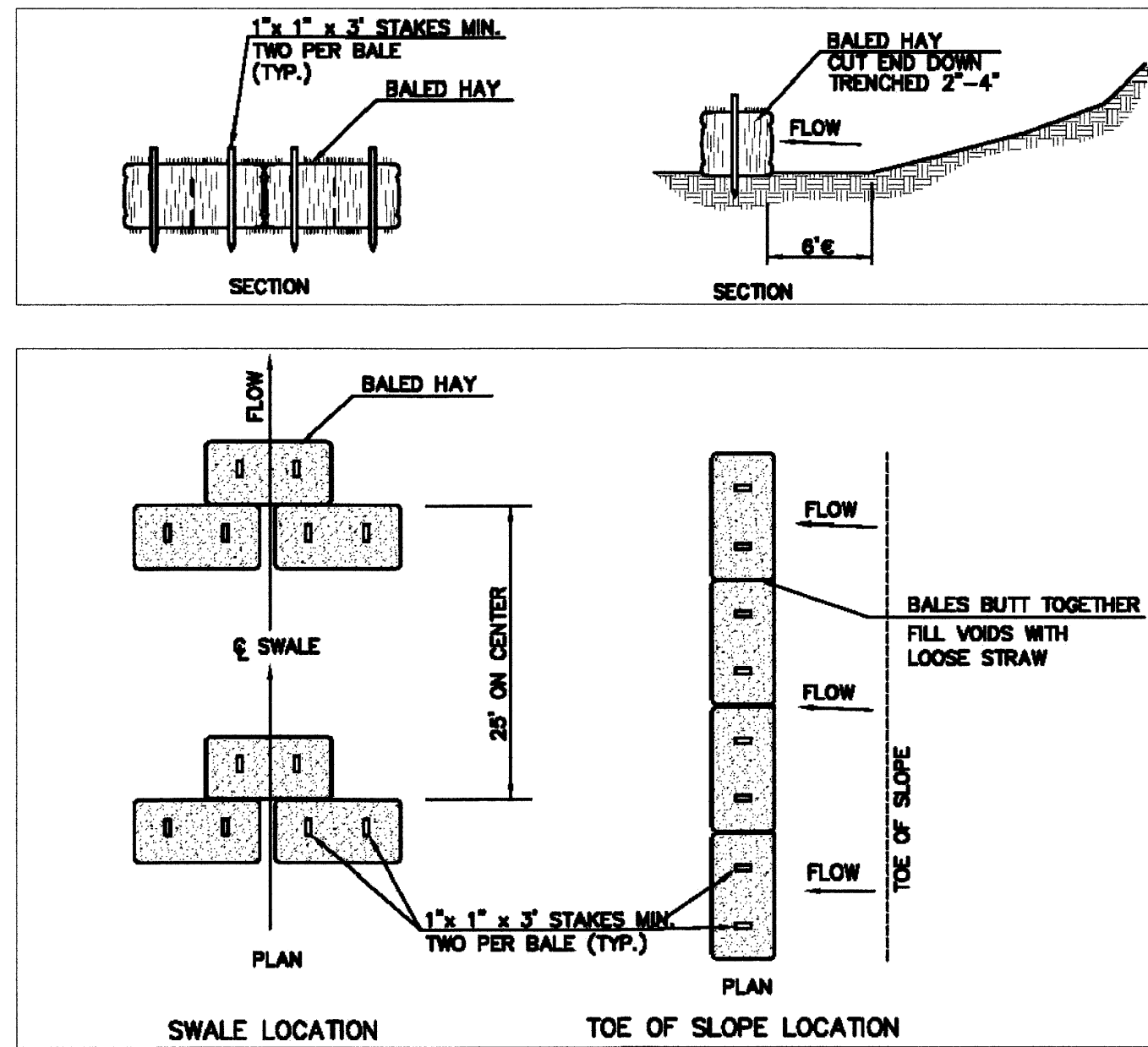
CONSTRUCTION ENTRANCE
SCALE: NONE
EC-101-CT



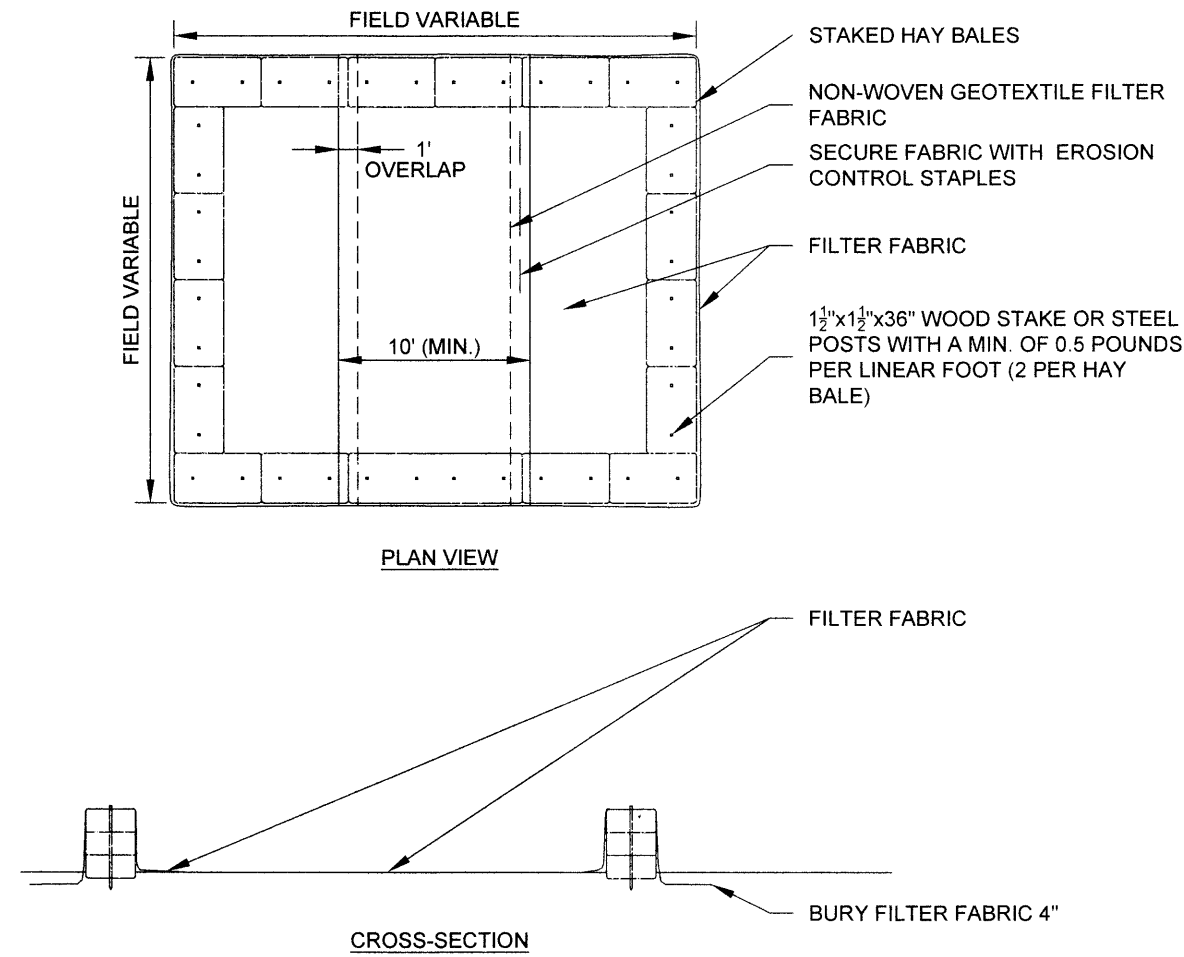
SILT SACK DETAIL (SS)
SCALE: NONE



SILT FENCE BARRIER
SCALE: NONE
EC-107

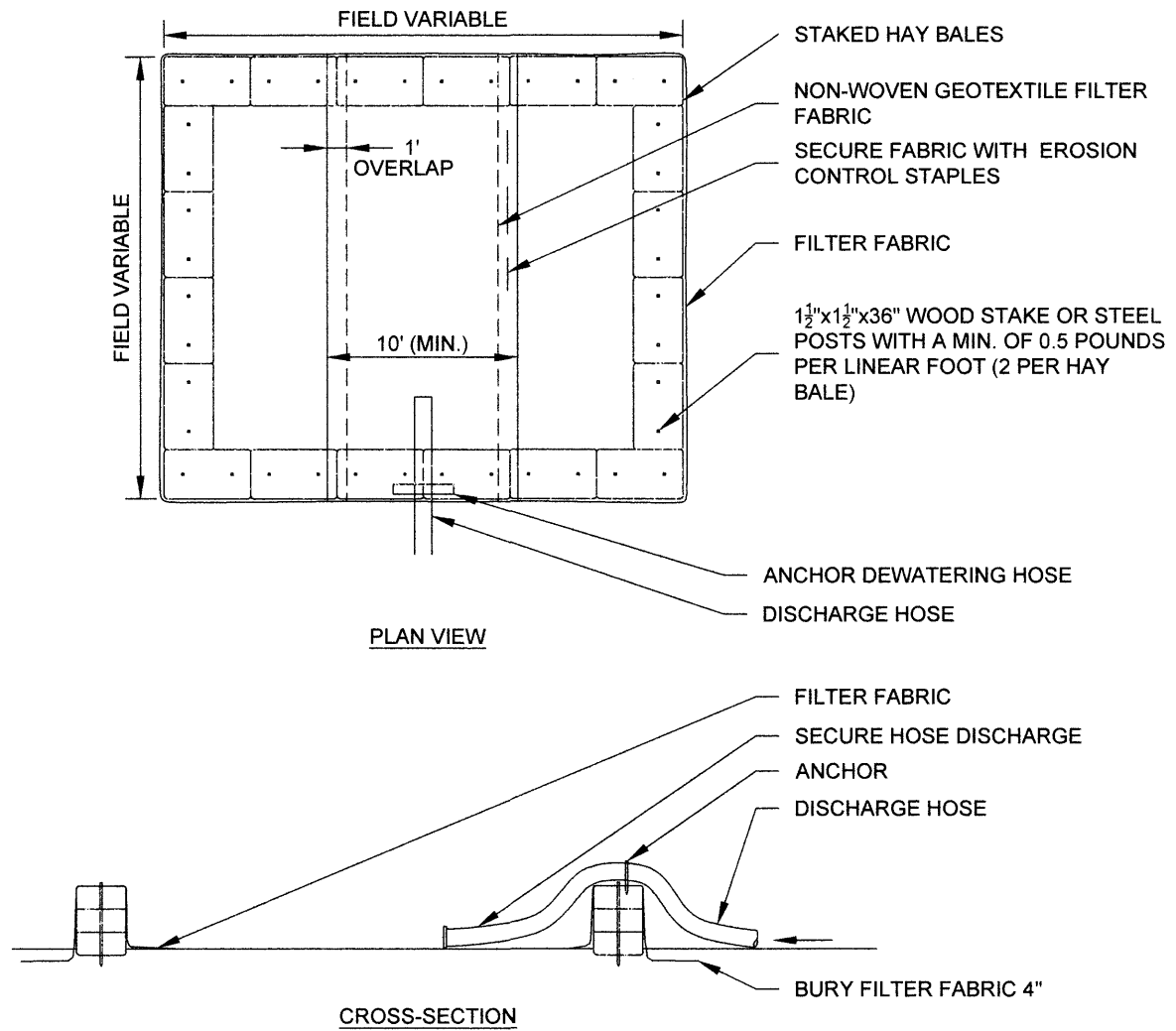


TYPICAL SEDIMENTATION CONTROL BALE EROSION CHECKS
SCALE: NONE



- NOTES:
1. CONSTRUCT WASHOUT AREA LARGE ENOUGH TO ENSURE MATERIALS WILL BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
 2. WASHOUT AREA SHALL BE LARGE ENOUGH TO RETAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT OPERATION.
 3. WEEKLY INSPECTIONS OF WASHOUT AREAS SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE WASHOUT AREA.

TEMPORARY CONCRETE WASHOUT AREA
SCALE: NONE



- GENERAL NOTES
1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.
 2. THE BASIN TO BE SIZED ACCORDING TO: CUBIC FEET OF STORAGE = PUMP DISCHARGE RATE(gpm) x 16.
 3. SIZE SHOWN ON PLANS SHALL BE ADJUSTED AS REQUIRED FOR THE ACTUAL PUMPING RATE.

DEWATERING HAY BALE BASIN (TYPE 1)
SCALE: NONE
EC-114-CT

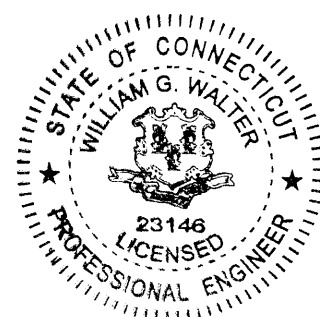
SEE SHEETS G10.1 AND G10.2
FOR LEGENDS & NOTES
RELATED TO THIS SHEET

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Drawing Title:
**DEMOLITION &
PREPARATION & EROSION AND
SEDIMENT CONTROL DETAILS**

Date:
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1" = 30"
Drawn By:
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Project Number:
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C1.1
6 OF 23

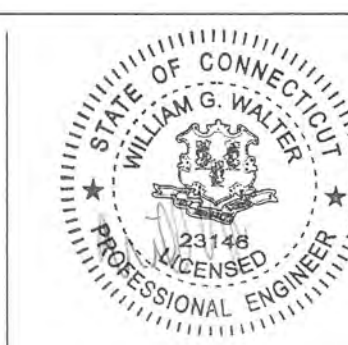


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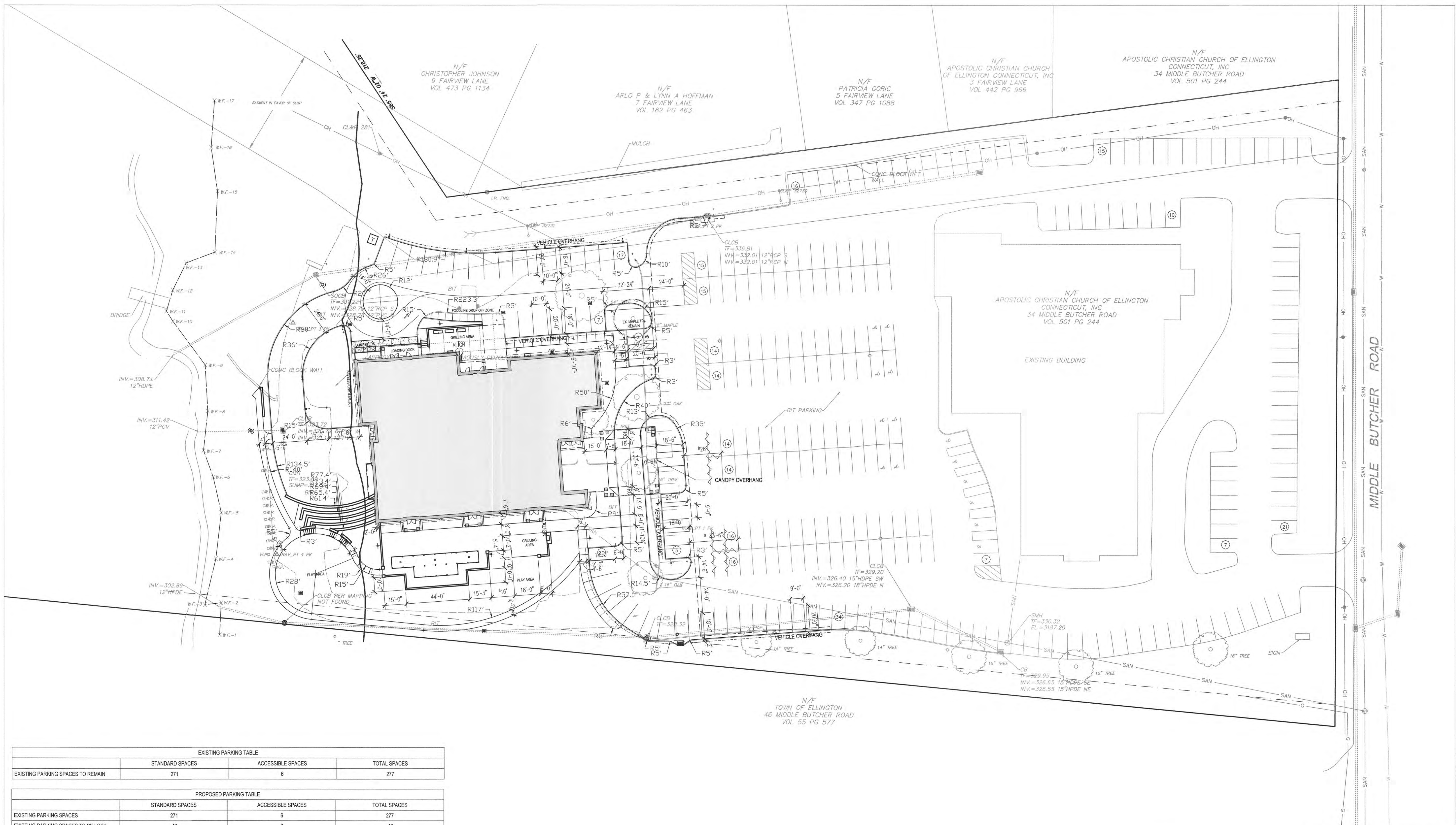


Drawing Title:
MATERIALS PLAN

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 TOWN OF ELLINGTON
 PLANNING DEPARTMENT

Date:
 APRIL 8, 2022
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EXISTING PARKING TABLE			
	STANDARD SPACES	ACCESSIBLE SPACES	TOTAL SPACES
EXISTING PARKING SPACES TO REMAIN	271	6	277

PROPOSED PARKING TABLE			
	STANDARD SPACES	ACCESSIBLE SPACES	TOTAL SPACES
EXISTING PARKING SPACES	271	6	277
EXISTING PARKING SPACES TO BE LOST	49	0	49
PROPOSED PARKING SPACES	49	2	51
TOTAL PROPOSED PARKING	271	8	279

REQUIRED ACCESSIBLE PARKING SPACES - 7 SPACES			
PROVIDED ACCESSIBLE PARKING SPACES - 6 EXISTING + 2 PROPOSED = 8 TOTAL SPACES			

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Drawing Title:
LAYOUT AND PARKING PLAN

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TOWN OF ELLINGTON
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Date:
APRIL 8, 2022

Scale:
1" = 30'

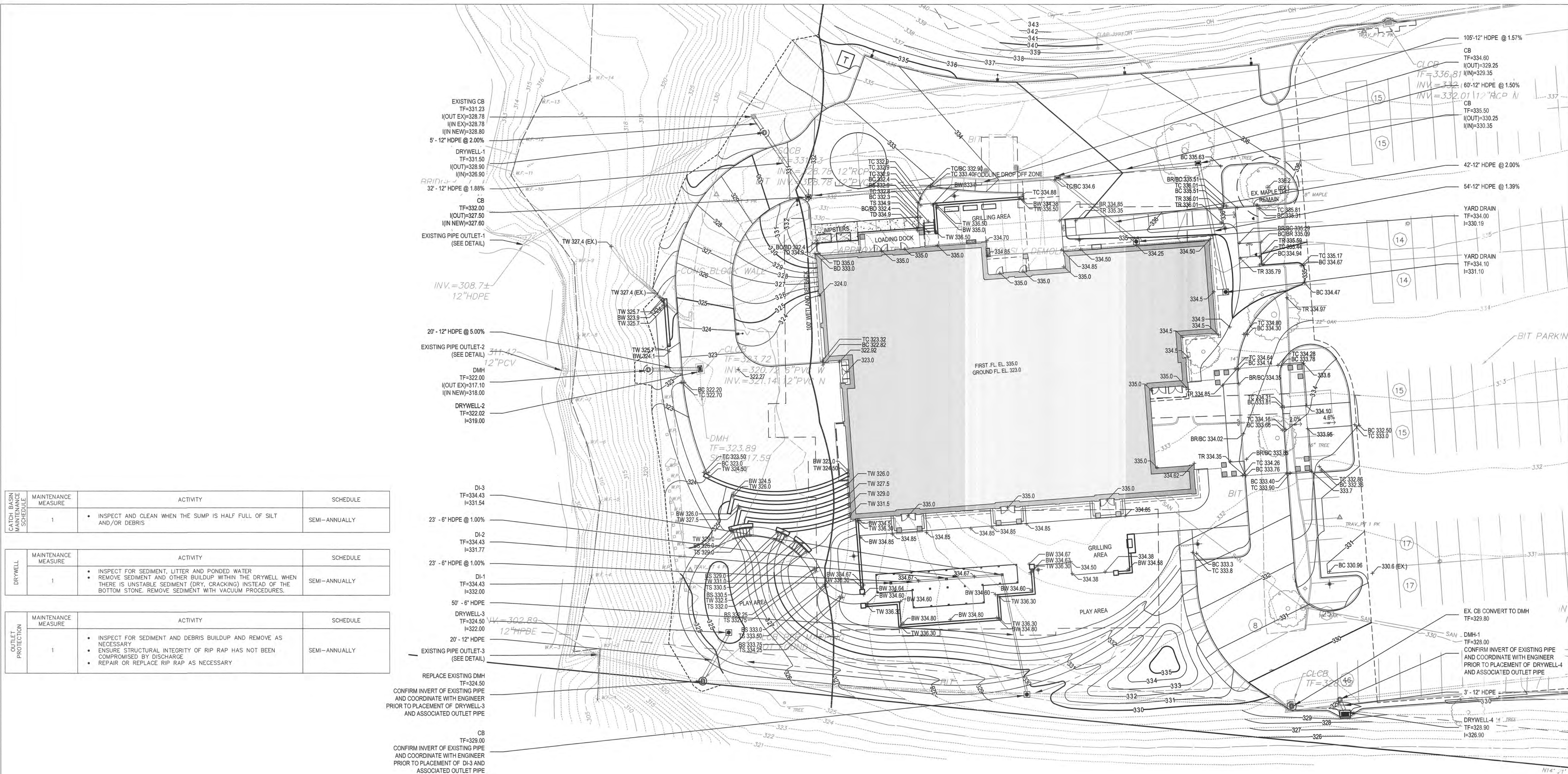
Drawn By:
TRS

Project Number:
21.000

Drawing Number:
C3.0

8 OF 23

SEE SHEETS G10.1 AND G10.2
FOR LEGENDS & NOTES
RELATED TO THIS SHEET



CATCH BASIN MAINTENANCE SCHEDULE	MAINTENANCE MEASURE		ACTIVITY	SCHEDULE
	1			
			INSPECT AND CLEAN WHEN THE SUMP IS HALF FULL OF SILT AND/OR DEBRIS	SEMI-ANNUALLY

DRYWELL MAINTENANCE SCHEDULE	MAINTENANCE MEASURE		ACTIVITY	SCHEDULE
	1			
			INSPECT FOR SEDIMENT, LITTER AND PONDED WATER REMOVE SEDIMENT AND OTHER BUILDUP WITHIN THE DRYWELL WHEN THERE IS UNSTABLE SEDIMENT (DRY, CRACKING) INSTEAD OF THE BOTTOM STONE. REMOVE SEDIMENT WITH VACUUM PROCEDURES.	SEMI-ANNUALLY

OUTLET PROTECTION SCHEDULE	MAINTENANCE MEASURE		ACTIVITY	SCHEDULE
	1			
			INSPECT FOR SEDIMENT AND DEBRIS BUILDUP AND REMOVE AS NECESSARY ENSURE STRUCTURAL INTEGRITY OF RIP RAP HAS NOT BEEN COMPROMISED BY DISCHARGE REPAIR OR REPLACE RIP RAP AS NECESSARY	SEMI-ANNUALLY

REPLACE EXISTING DMH
TF=324.50
CONFIRM INVERT OF EXISTING PIPE
AND COORDINATE WITH ENGINEER
PRIOR TO PLACEMENT OF DRYWELL-3
AND ASSOCIATED OUTLET PIPE

CB
TF=329.00
CONFIRM INVERT OF EXISTING PIPE
AND COORDINATE WITH ENGINEER
PRIOR TO PLACEMENT OF DI-3 AND
ASSOCIATED OUTLET PIPE

Project Title:
Ellington Apostolic Christian Church
Fellowship Center
34 Middle Butcher Road
Ellington, CT 06029



benesch
120 Hebron Avenue, 2nd Floor
Glastonbury, Connecticut 06033
P 860-633-8341
F 860-633-1068
www.Benesch.com

Revision:	Description:	Date:	Revised By:
-	IWWC/PZC Sub.	4/8/2022	-

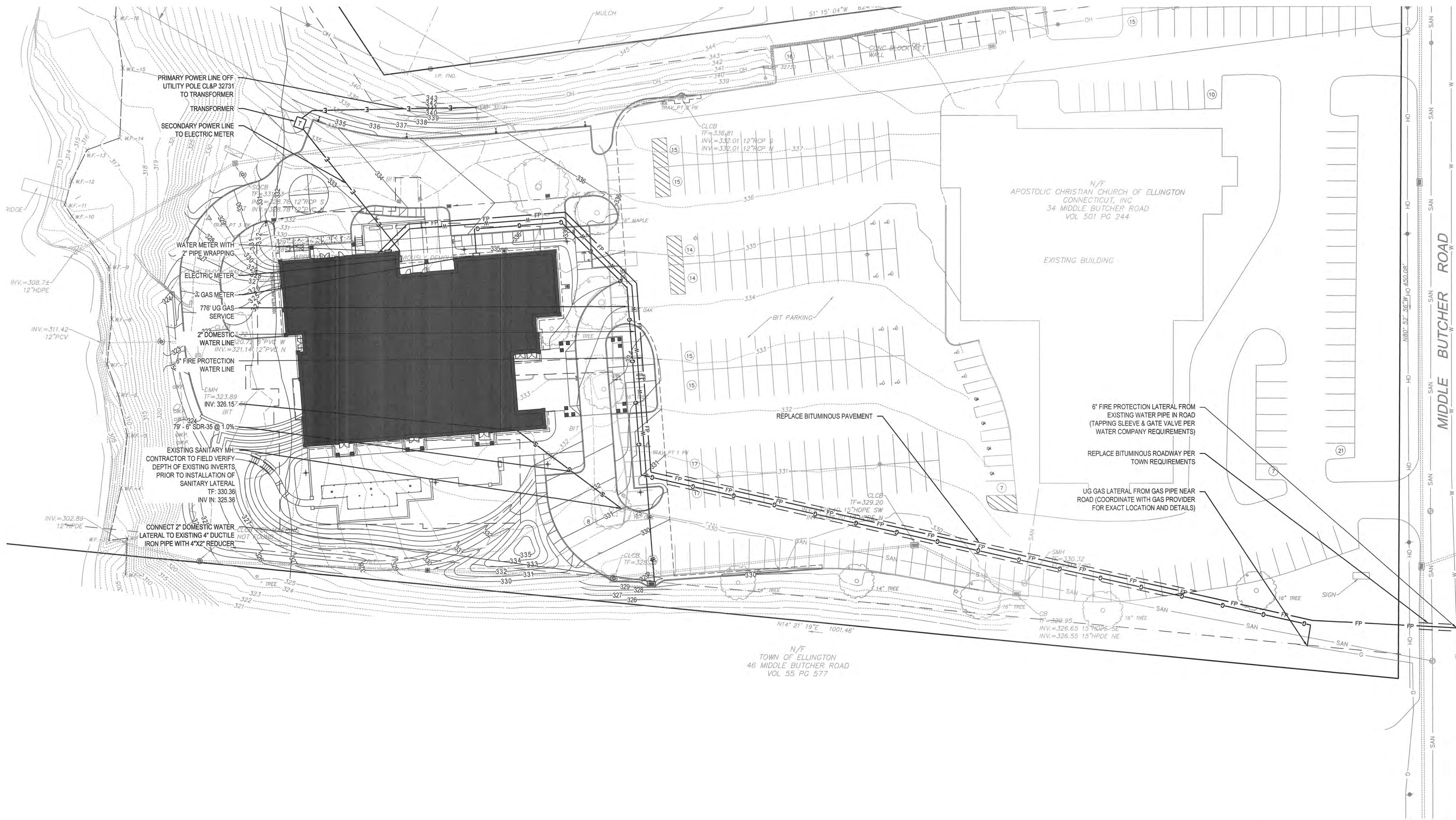


Drawing Title:
**GRADING &
DRAINAGE PLAN**

RECEIVED
APR 08 2022
TOWN OF ELLINGTON
PLANNING DEPARTMENT

Date:
APRIL 8, 2022
Scale:
1" = 20"
Drawn By:
JJD
Project Number:
21.000
Drawing Number:
C4.0
9 OF 23

SEE SHEETS G10.1 AND G10.2
FOR LEGENDS & NOTES
RELATED TO THIS SHEET



SEE SHEETS G10.1 AND G10.2
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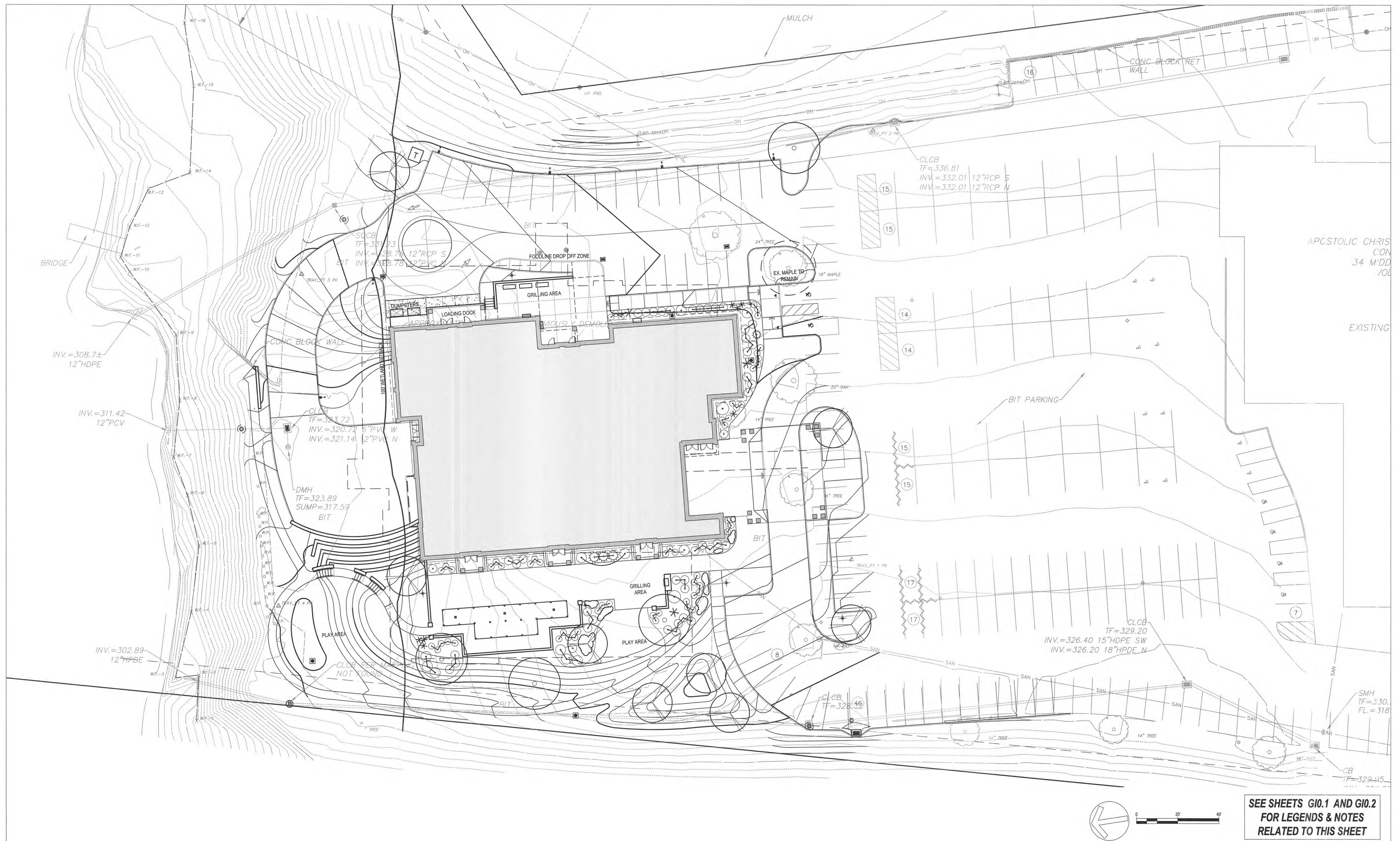


Drawing Title:
UTILITY PLAN

RECEIVED
APR 06 2022
TOWN OF ELLINGTON
PLANNING DEPARTMENT

Date:
APRIL 8, 2022
Scale:
1" = 30'
Drawn By:
JJD
Project Number:
21.000

Drawing Number:
C5.0
10 OF 23



SEE SHEETS G10.1 AND G10.2
FOR LEGENDS & NOTES
RELATED TO THIS SHEET

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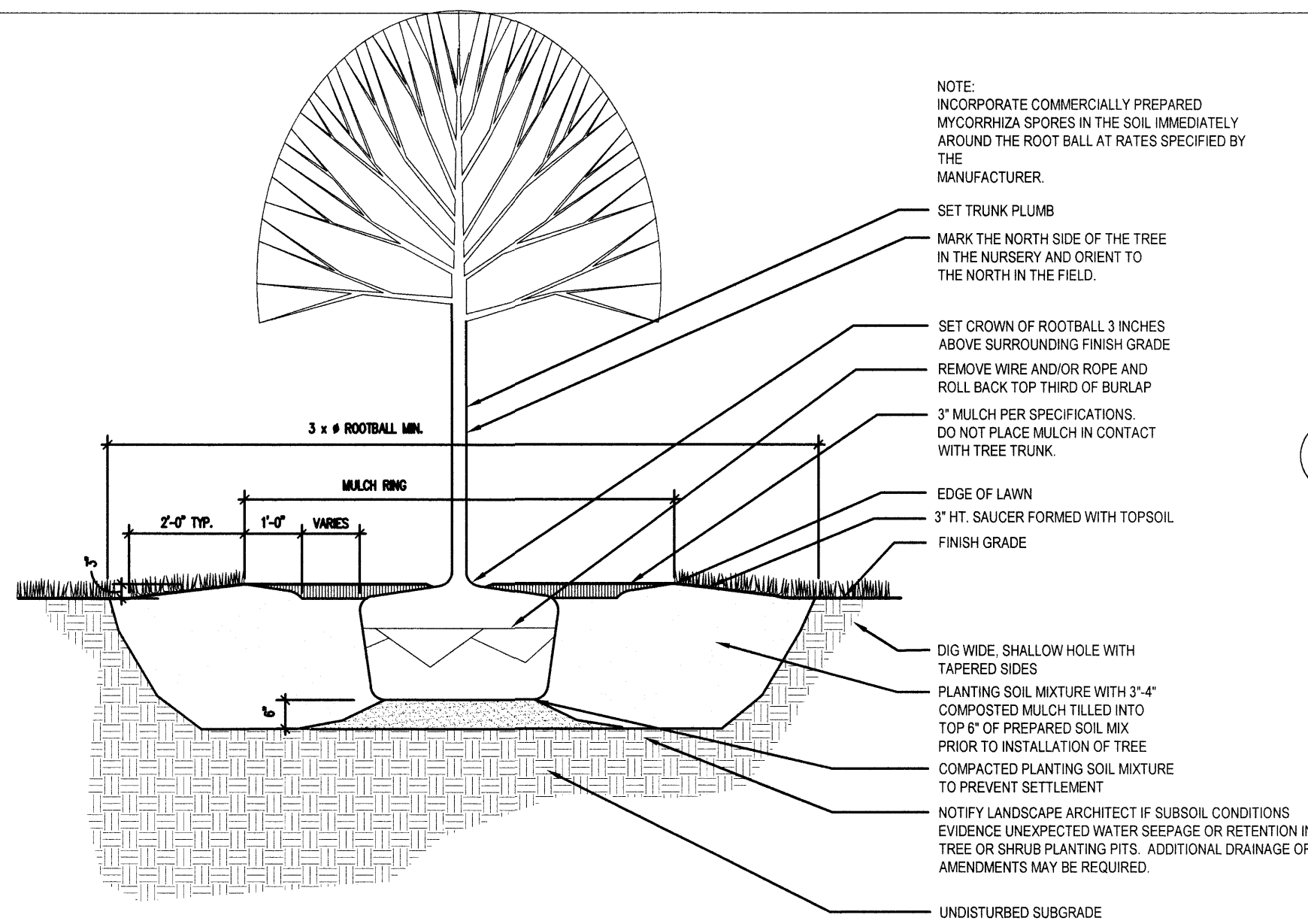


Drawing Title:
PLANTING PLAN

RECEIVED
APR 06 2022
TOWN OF ELLINGTON
PLANNING DEPARTMENT

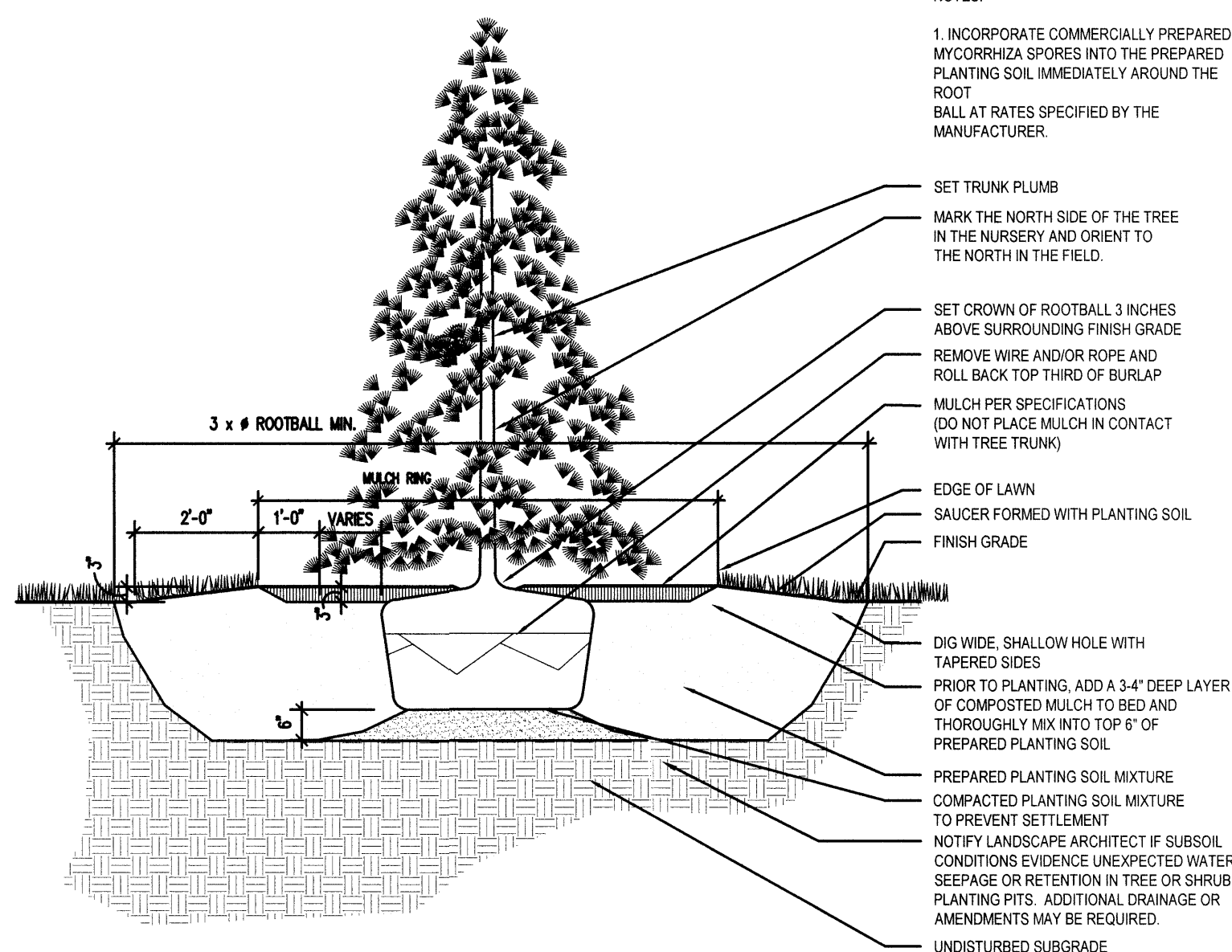
Date:
APRIL 8, 2022
Scale:
1" = 20'
Drawn By:
TRS
Project Number:
21.000

Drawing Number:
C6.0
11 OF 23



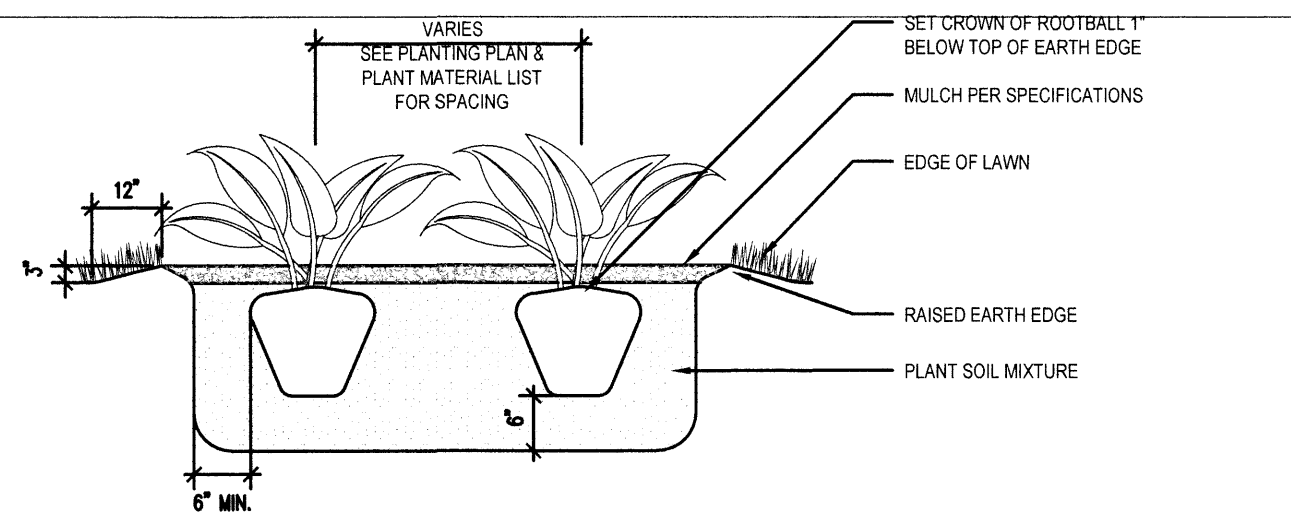
1B DECIDUOUS TREE PLANTING

1/2" = 1'-0"



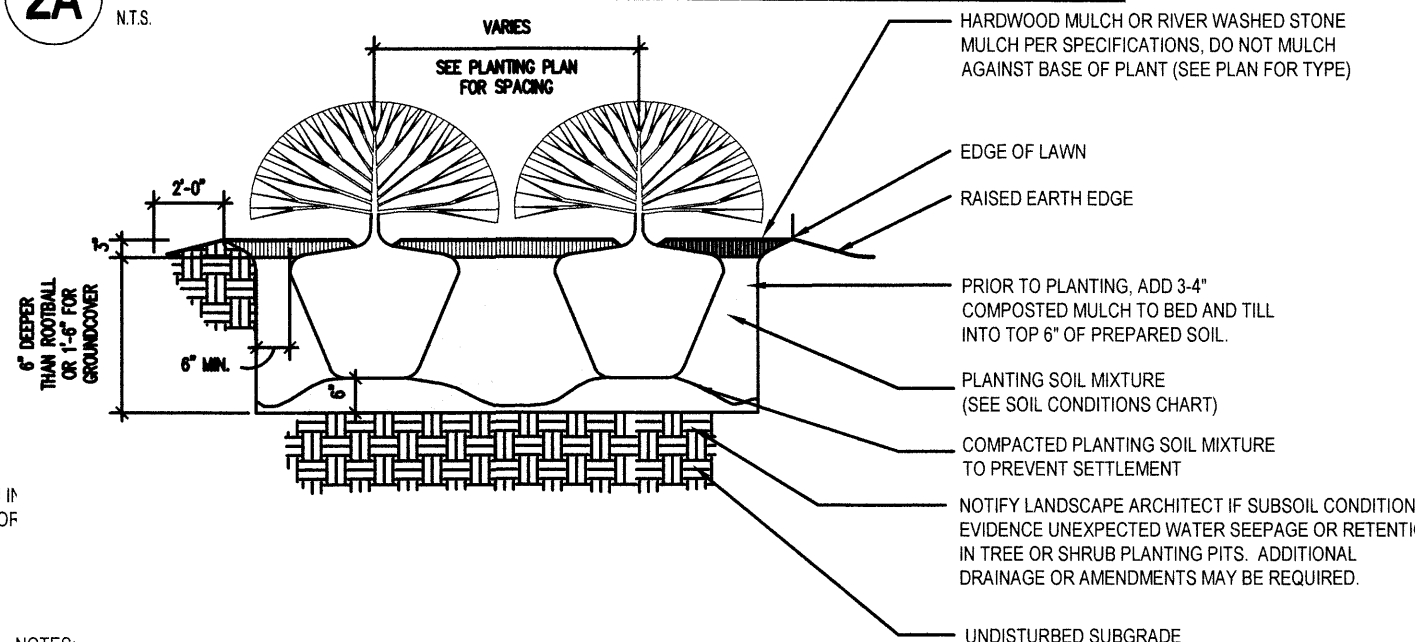
1D EVERGREEN TREE PLANTING

NOT TO SCALE



2A PERENNIAL PLANTING (CONTINUOUS PLANTING BED)

N.T.S.



NOTES:

- FOR CONTAINER GROWN SHRUBS, GENTLY PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF CONTAINER.
- FOR BAB SHRUBS, FOLD BURLAP FROM TOP OF ROOT BALL DOWN TO GROUND.
- INCORPORATE COMMERCIALY PREPARED MYCORRHIZA SPORES IN THE SOIL IMMEDIATELY AROUND THE ROOT BALL AT RATES SPECIFIED BY THE MANUFACTURER.
- CONFIRM THAT WATER DRAINS OUT OF THE SOIL DURING THE DESIGN PHASE. DESIGN ALTERNATIVE DRAINAGE SYSTEMS, AS REQUIRED.

2B SHRUB PLANTING BED

N.T.S.

QTY	SCIENTIFIC NAME	COMMON NAME	CATEGORY	SIZE	NOTES
22	<i>Dwarf Conifer, species T.B.D.</i>	Dwarf Conifer, species T.B.D.	Conifer	18-24"	variety depends on availability in the nursery
11	<i>Juniperus squamata 'Blue Star'</i>	Blue Star Juniper	Conifer	3 gal.	
3	<i>Thuja occidentalis</i>	Emerald Green Arborvitae	Conifer	4-5'	
6	<i>Calamagrostis acutiflora</i>	Karl Foerster Reed Grass	Ornamental Grass	2 gal.	
4	<i>Pennisetum alopecuroides 'Hameln'</i>	Dwarf Fountain Grass	Ornamental Grass	1 gal.	
2	<i>Acer palmatum</i>	Japanese Maple	Ornamental Tree	+15' multi-stem	transplanted
1	<i>Carpinus betulus 'Fastigiata'</i>	Pyramidal European Hornbeam	Ornamental Tree	2-2½" cal.	
1	<i>Cornus florida</i>	Flowering Dogwood	Ornamental Tree	+6' cal.	transplanted
1	<i>Cornus kousa</i>	Kousa Dogwood	Ornamental Tree	7-8'	
1	<i>Magnolia x 'JURmag2'</i>	Felix Magnolia (or similar variety)	Ornamental Tree	7-8'	
3	<i>Prunus serrulata 'Kwanzan'</i>	Kwanzan Cherry	Ornamental Tree	2-2½" cal.	
1	<i>Pyrus calleryana 'Cleveland Select'</i>	Columnar Ornamental Pear	Ornamental Tree	+6' cal.	transplanted
4	<i>Hemerocallis x 'VER0021' PPAF</i>	Pink Wing Daylily (or similar)	Perennial	1 gal.	
4	<i>Heuchera x 'Lime Marmalade'</i>	Coral Bells	Perennial	1 gal.	
6	<i>Rudebeckia goldstrum</i>	Black-Eyed Susan	Perennial	1 gal.	
2	<i>Sedum spectabile 'Autumn Joy'</i>	Autumn Joy Sedum	Perennial	1 gal.	
10	<i>Rosa x 'Radtkepink'</i>	Double Pink Knockout Rose	Rose	3 gal.	
1	<i>Acer rubrum 'October Glory'</i>	October Glory Maple	Shade Tree	2-2½" cal.	
3	<i>Hydrangea paniculata 'Bulk'</i>	Quick Fire Hydrangea	Shrub	5 gal.	
5	<i>Hydrangea serrata</i>	Tuff Stuff Mountain Hydrangea	Shrub	3 gal.	
18	<i>Ilex japonica 'Soft Touch'</i>	Soft Touch Dwarf Japanese Holly	Shrub	5 gal.	
11	<i>Pieris japonica 'Cavatine'</i>	Dwarf Andromeda	Shrub	5 gal.	
17	<i>Pieris japonica 'Katsura'</i>	Andromeda	Shrub	7 gal.	
5	<i>Rhododendron PJM</i>	PJM Rhododendron	Shrub	24-30"	
22	<i>Rhododendron yakushimanum 'Percy Wiseman'</i>	Percy Wiseman Rhododendron	Shrub	24-30"	
5	<i>Weigela florida 'Bokraspiwi'</i>	Spilled Wine Weigela	Shrub	5 gal.	
6	<i>Weigela florida 'Verweig'</i>	My Monet Variegated Weigela	Shrub	5 gal.	

SEE SHEETS G10.1 AND G10.2
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-	IWWC/PZC Sub.	4/8/2022	-



Drawing Title:

PLANTING DETAILS &
PLANTING SCHEDULE

Date:

APRIL 8, 2022

Scale:

AS INDICATED

Drawn By:

TRS

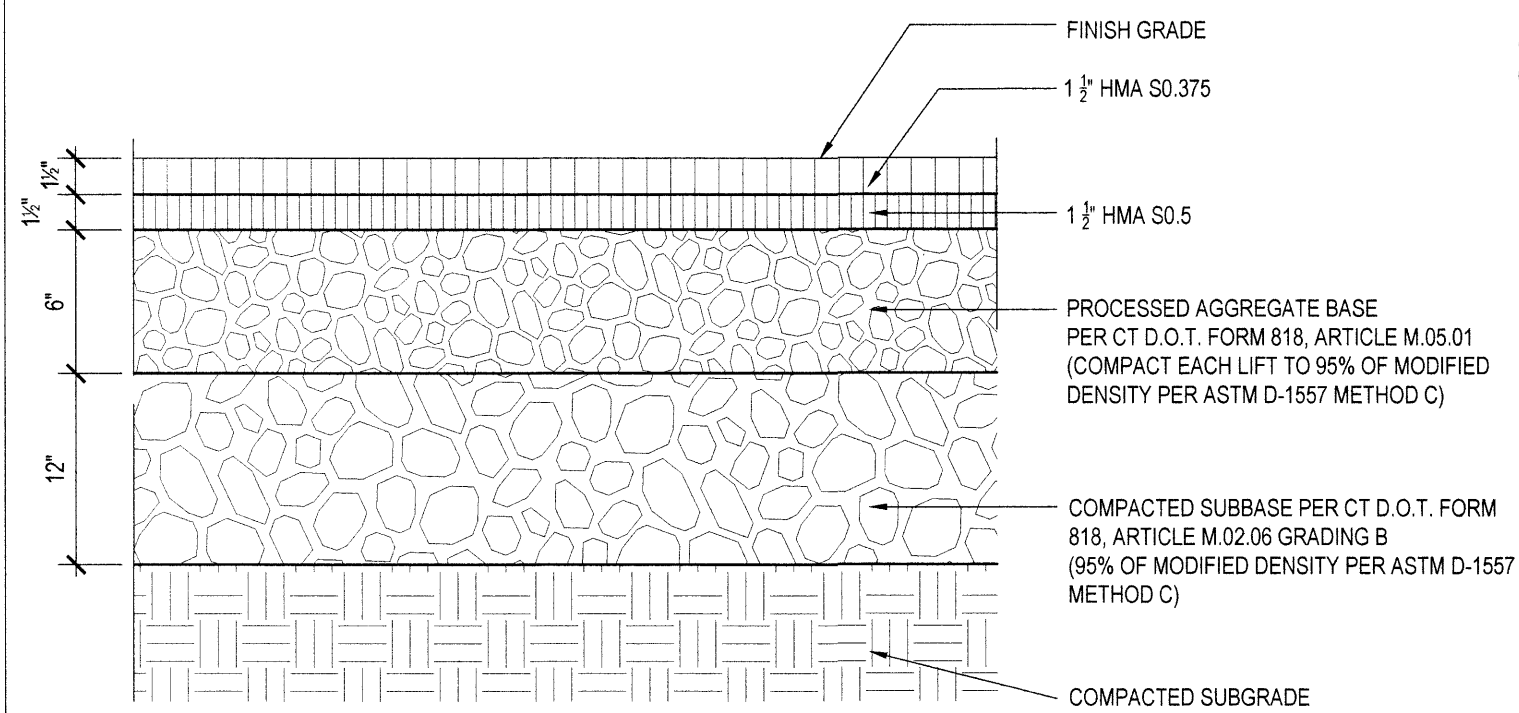
Project Number:

21.000

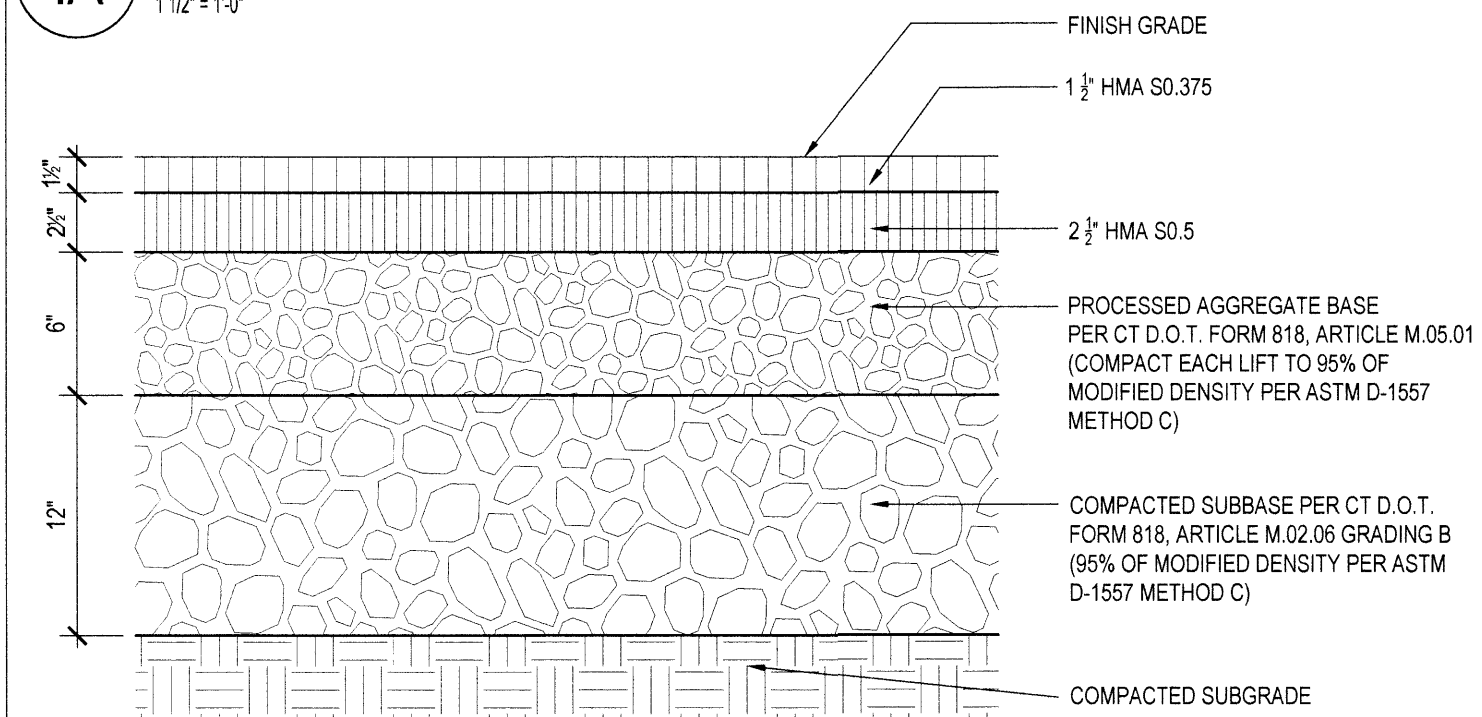
Drawing Number:

C6.1

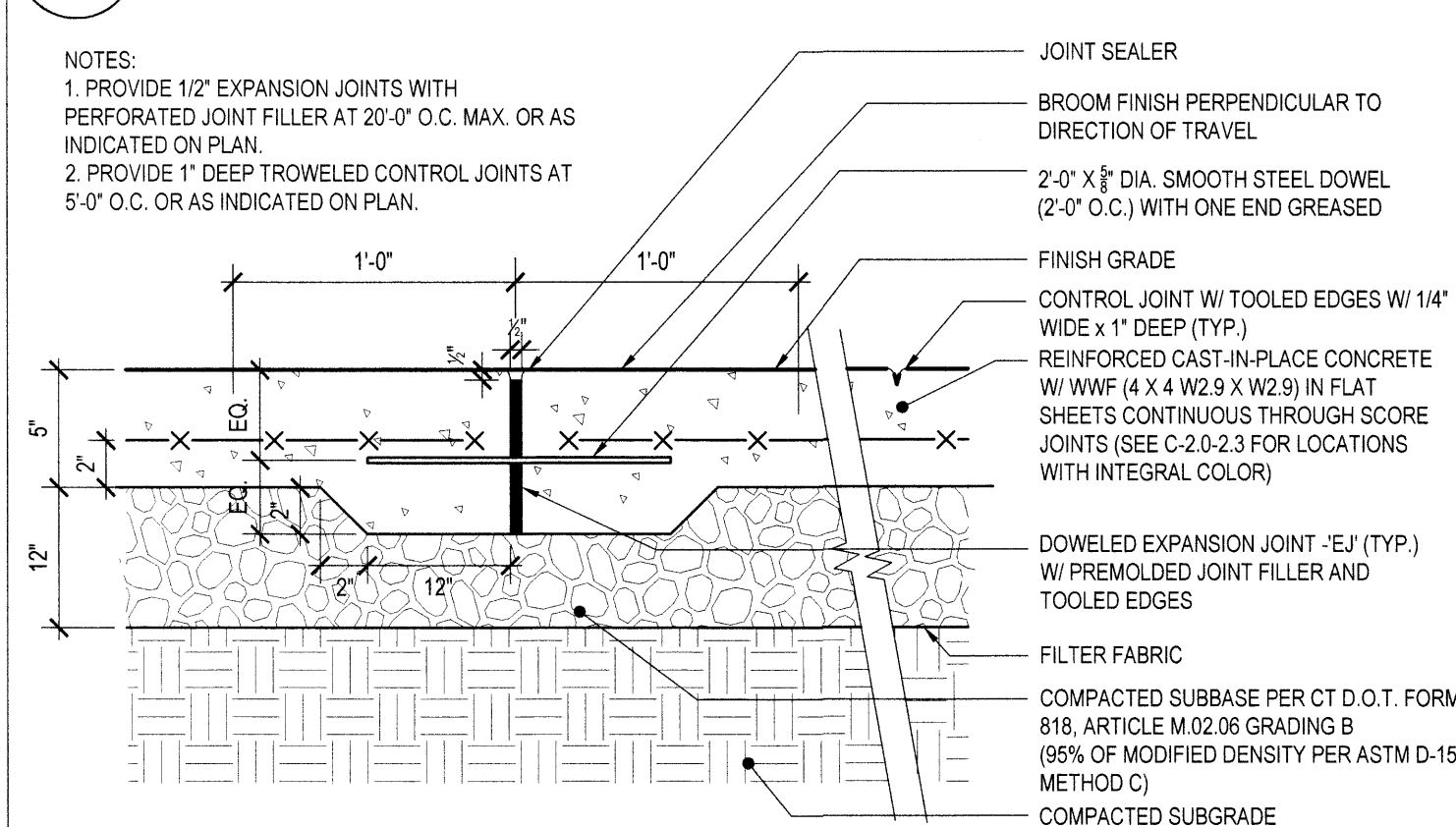
12 OF 23



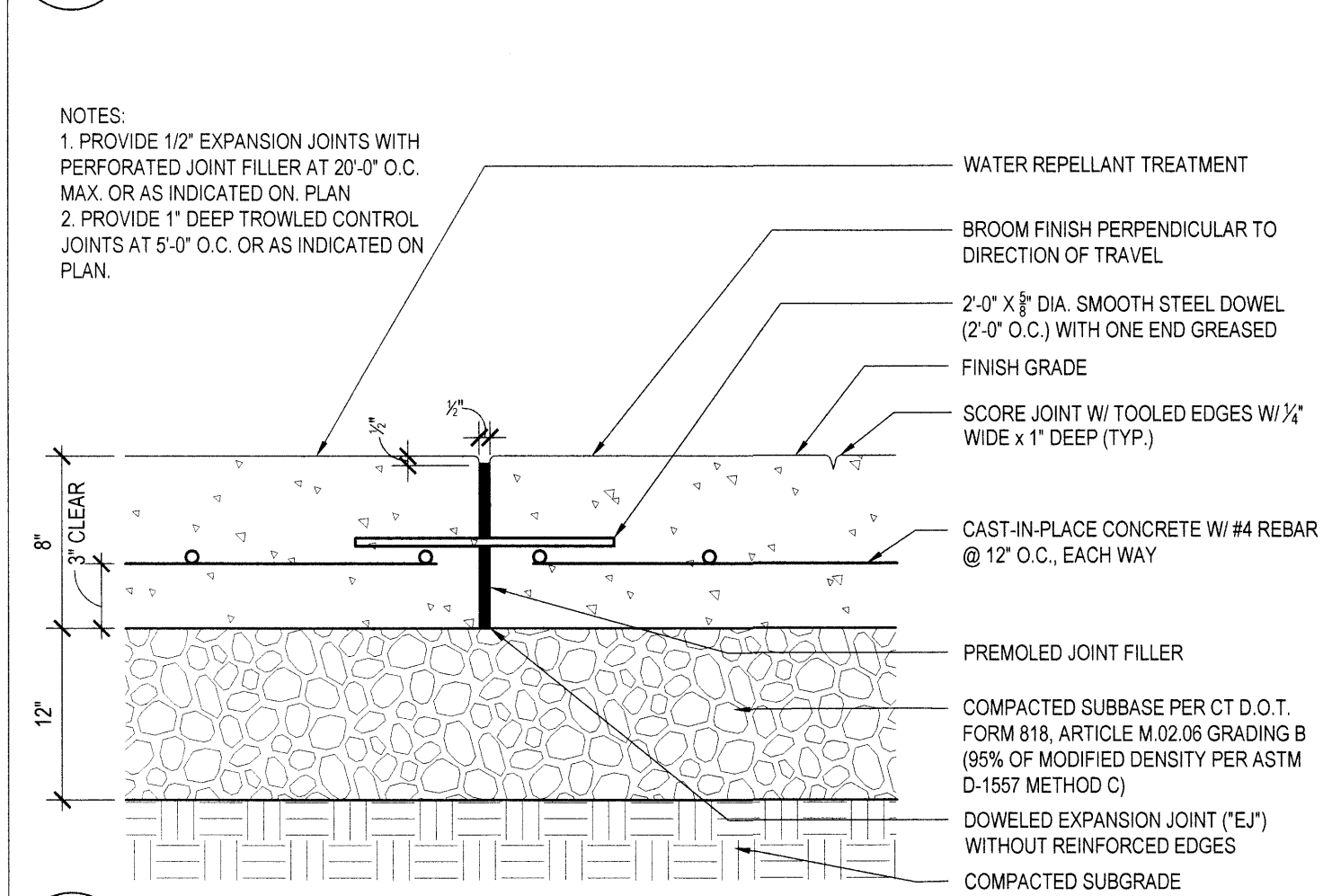
1A LIGHT DUTY BITUMINOUS CONCRETE PAVEMENT
1 1/2" = 1'-0"



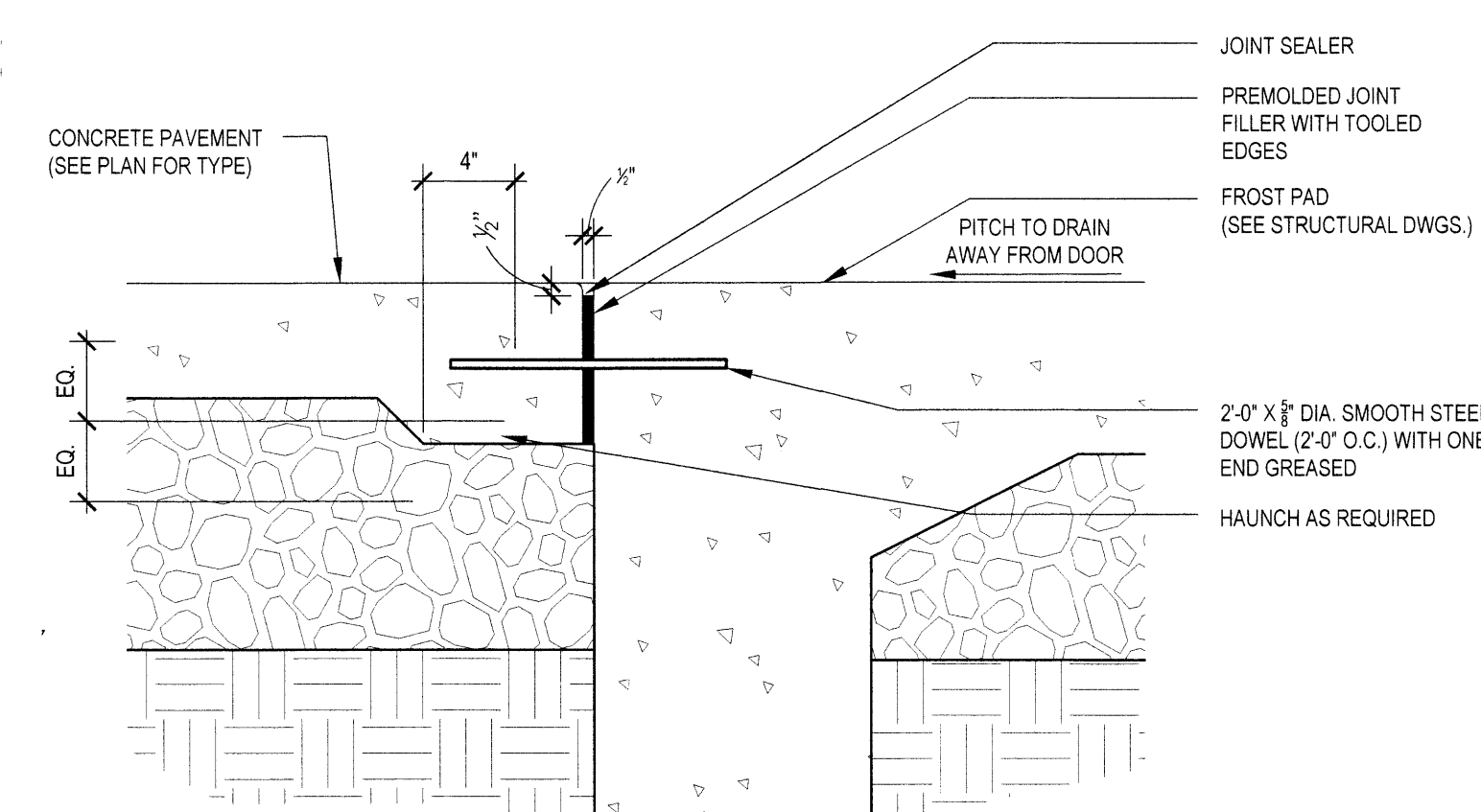
1B HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT
1 1/2" = 1'-0"



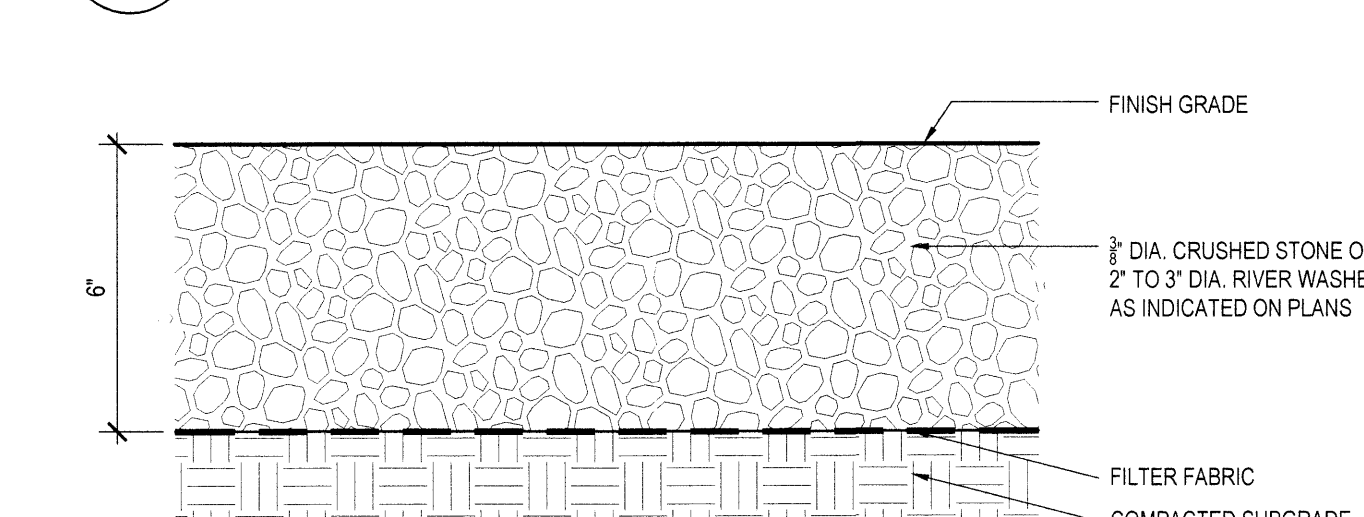
1C LIGHT DUTY CONCRETE PAVEMENT
1 1/2" = 1'-0"



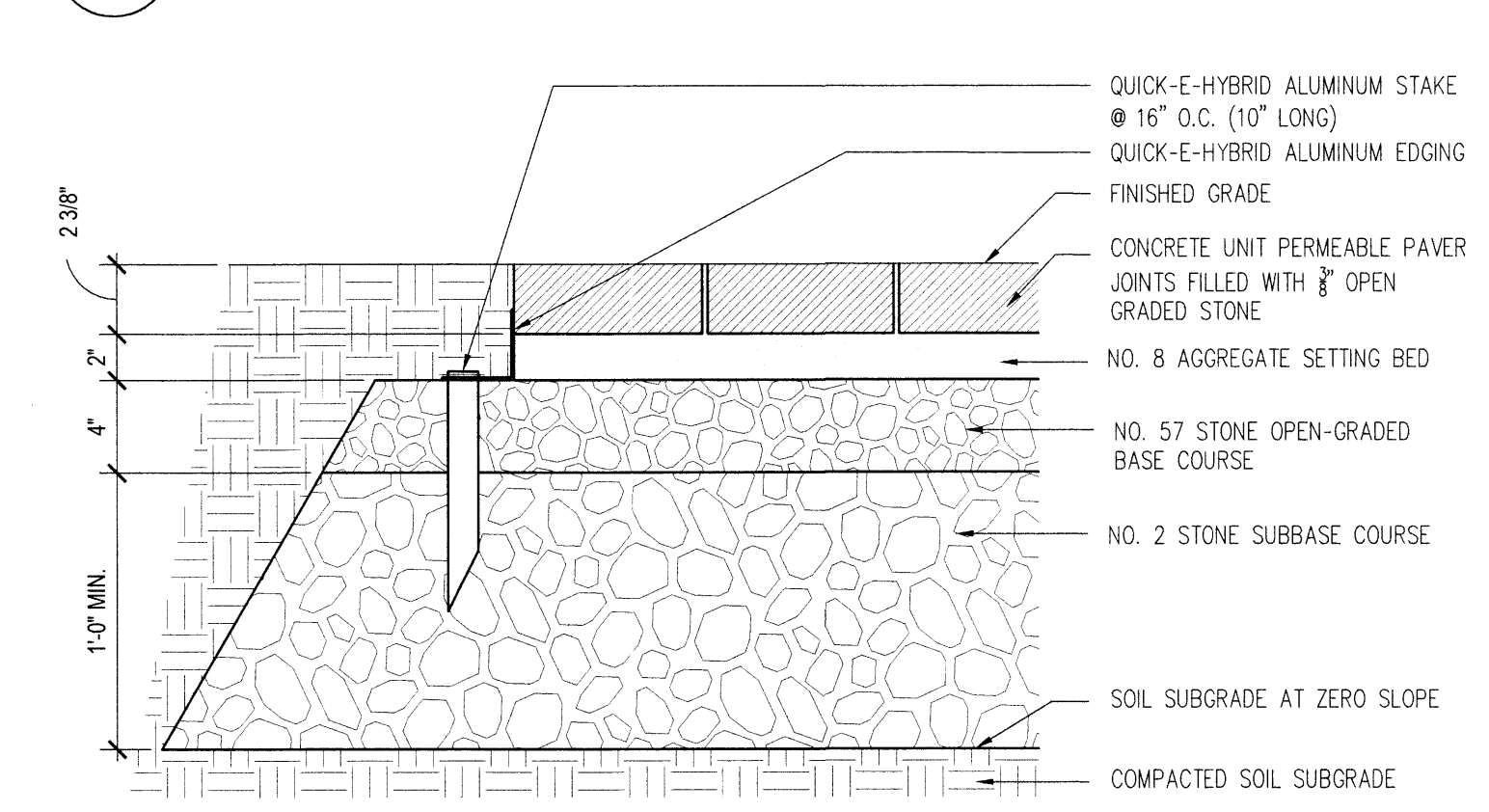
1D HEAVY DUTY CONCRETE PAVEMENT
1 1/2" = 1'-0"



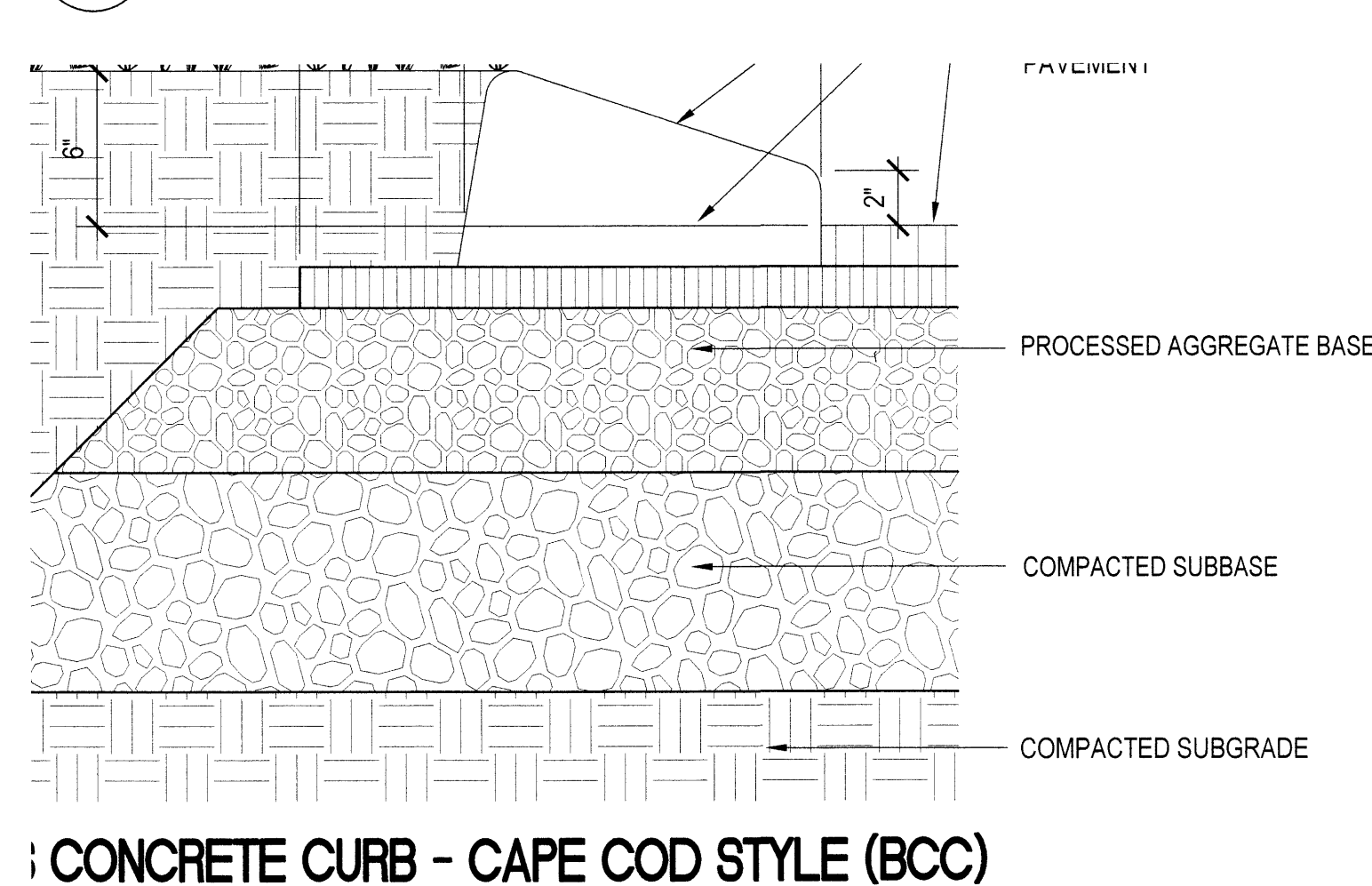
2A DOWELED EXPANSION JOINT AT FROST PAD (EJ-1)
1 1/2" = 1'-0"



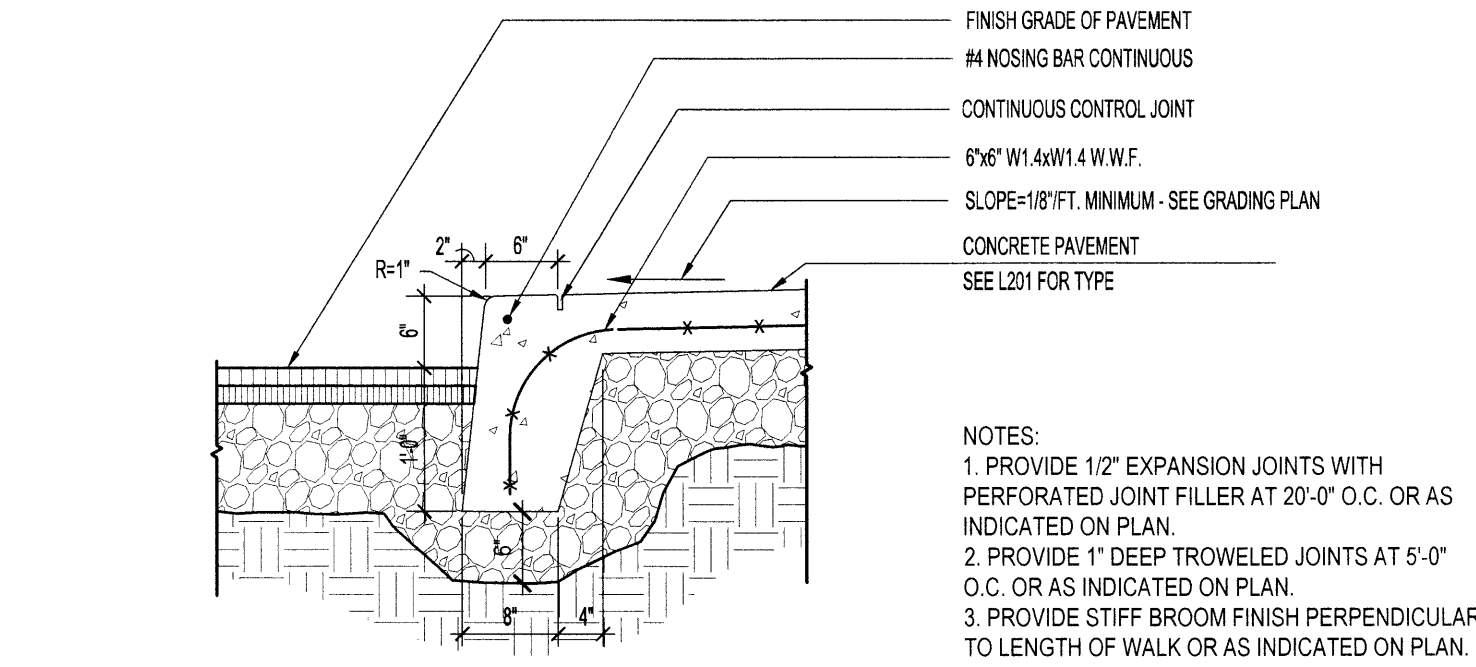
2B STONE MULCH SURFACING
1 1/2" = 1'-0"



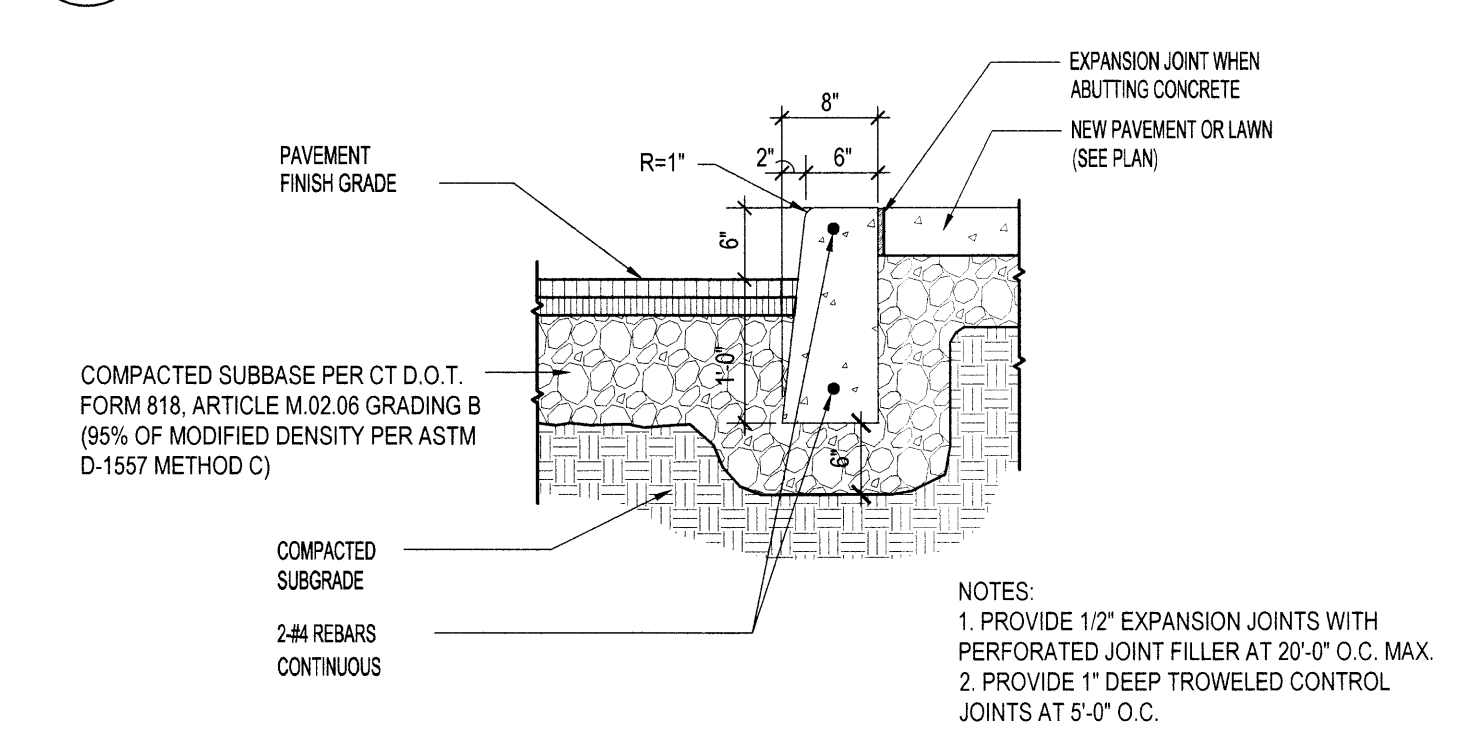
2C PERMEABLE CONCRETE UNIT PAVERS
1 1/2" = 1'-0"



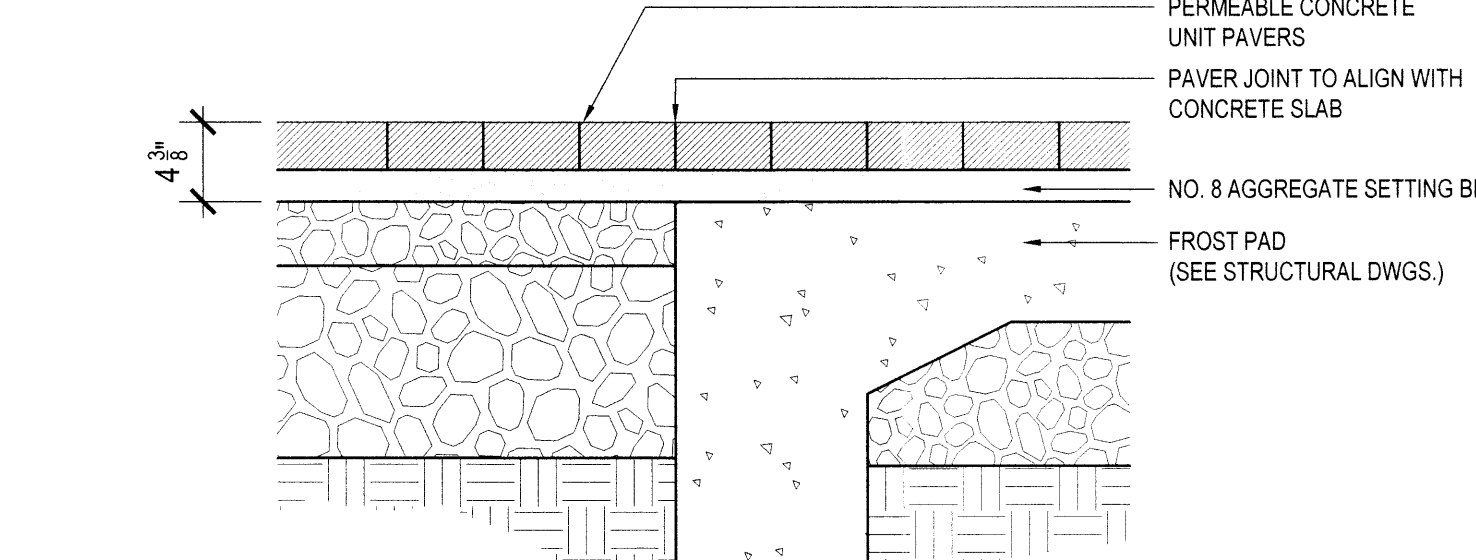
2D CONCRETE CURB - CAPE COD STYLE (BCC)



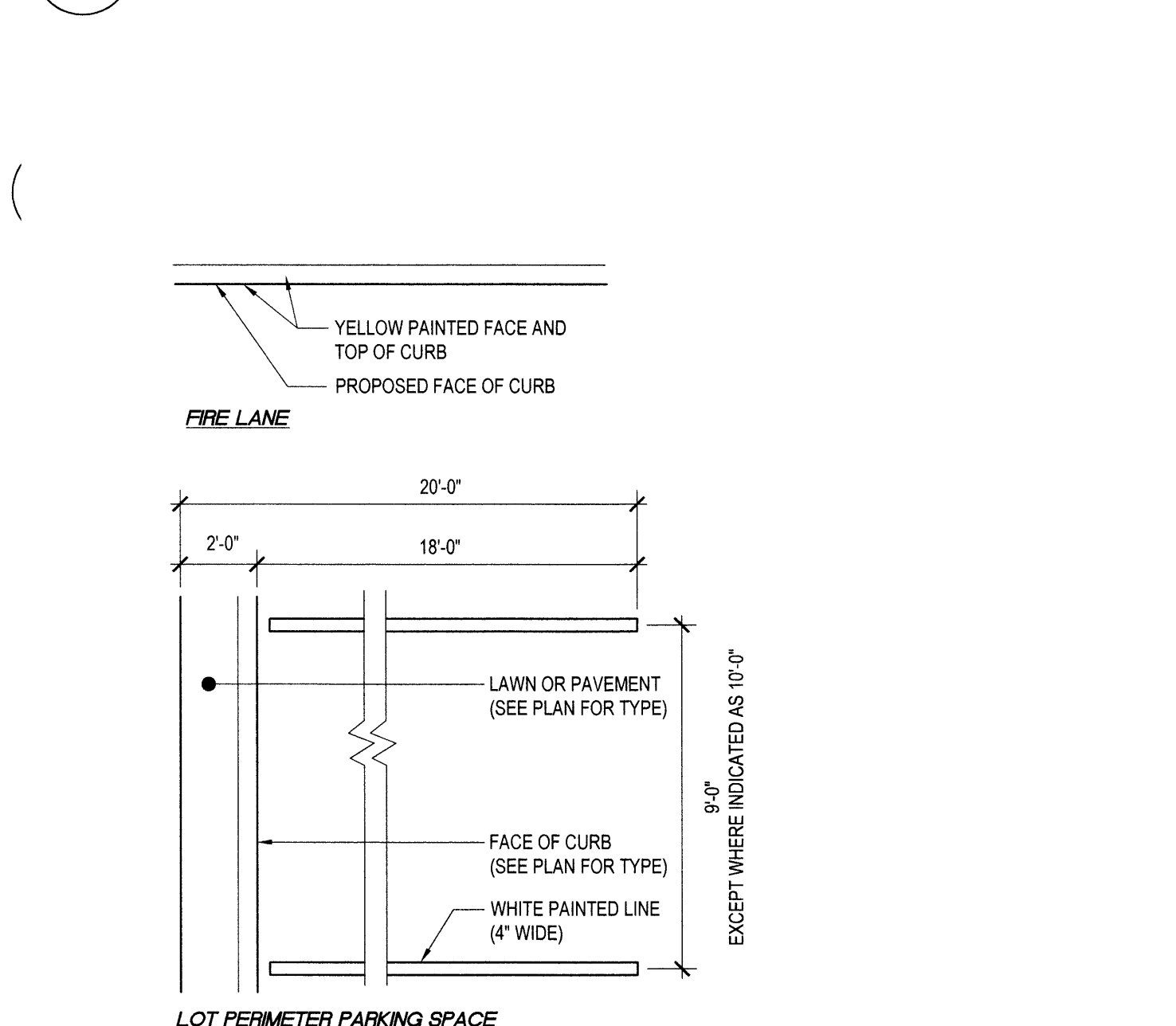
3A CAST-IN-PLACE CONCRETE INTEGRAL CURB (ICC)
3/4" = 1'-0"



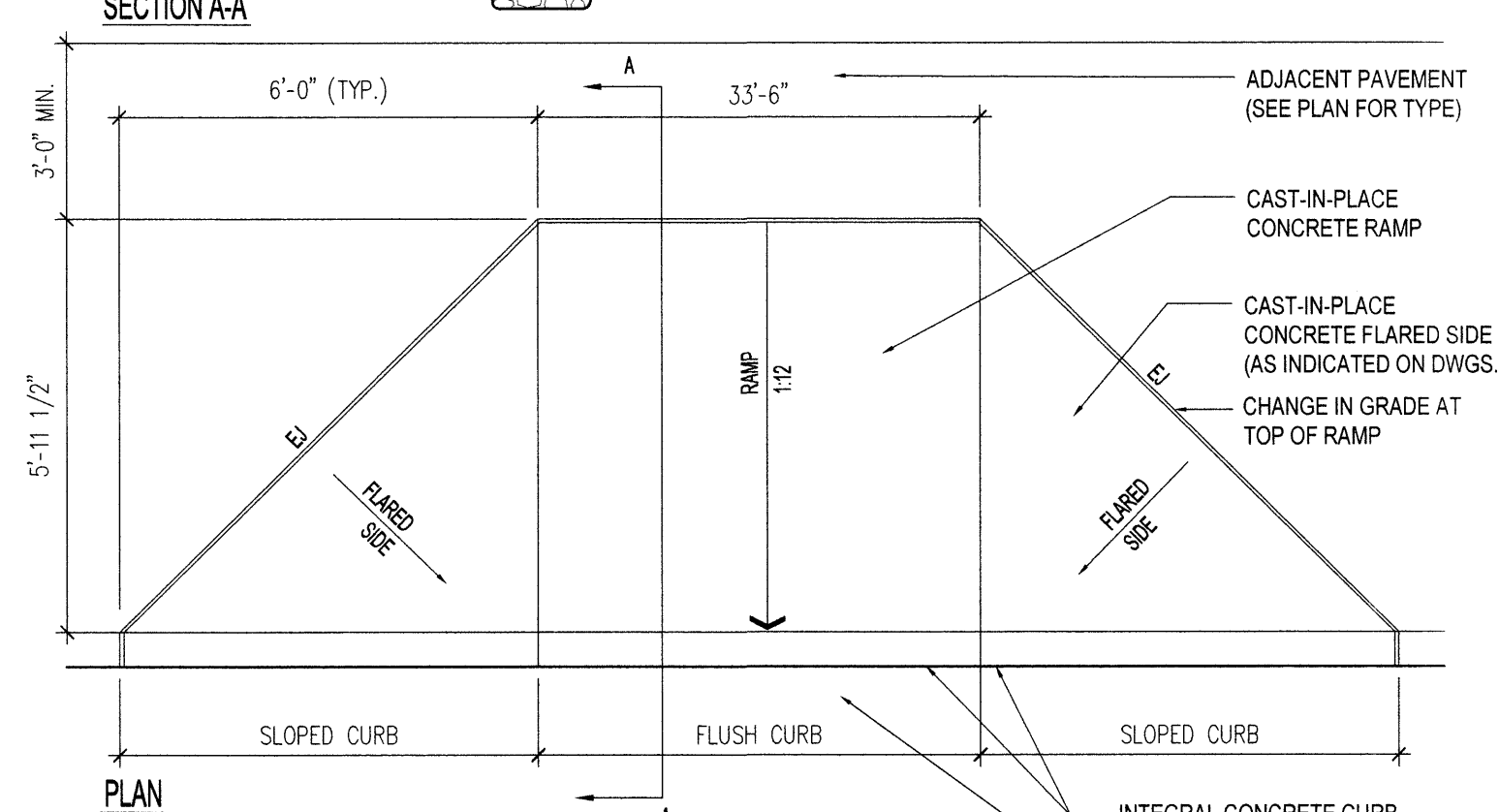
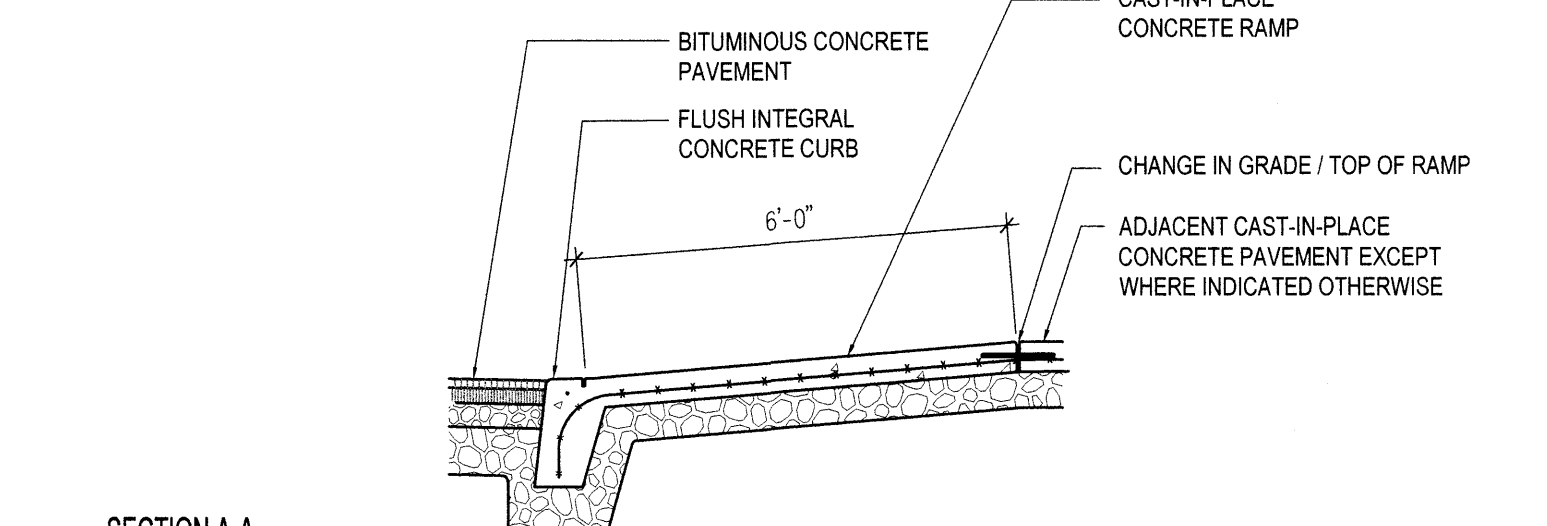
3B CAST-IN-PLACE CONCRETE CURB (CC)
3/4" = 1'-0"



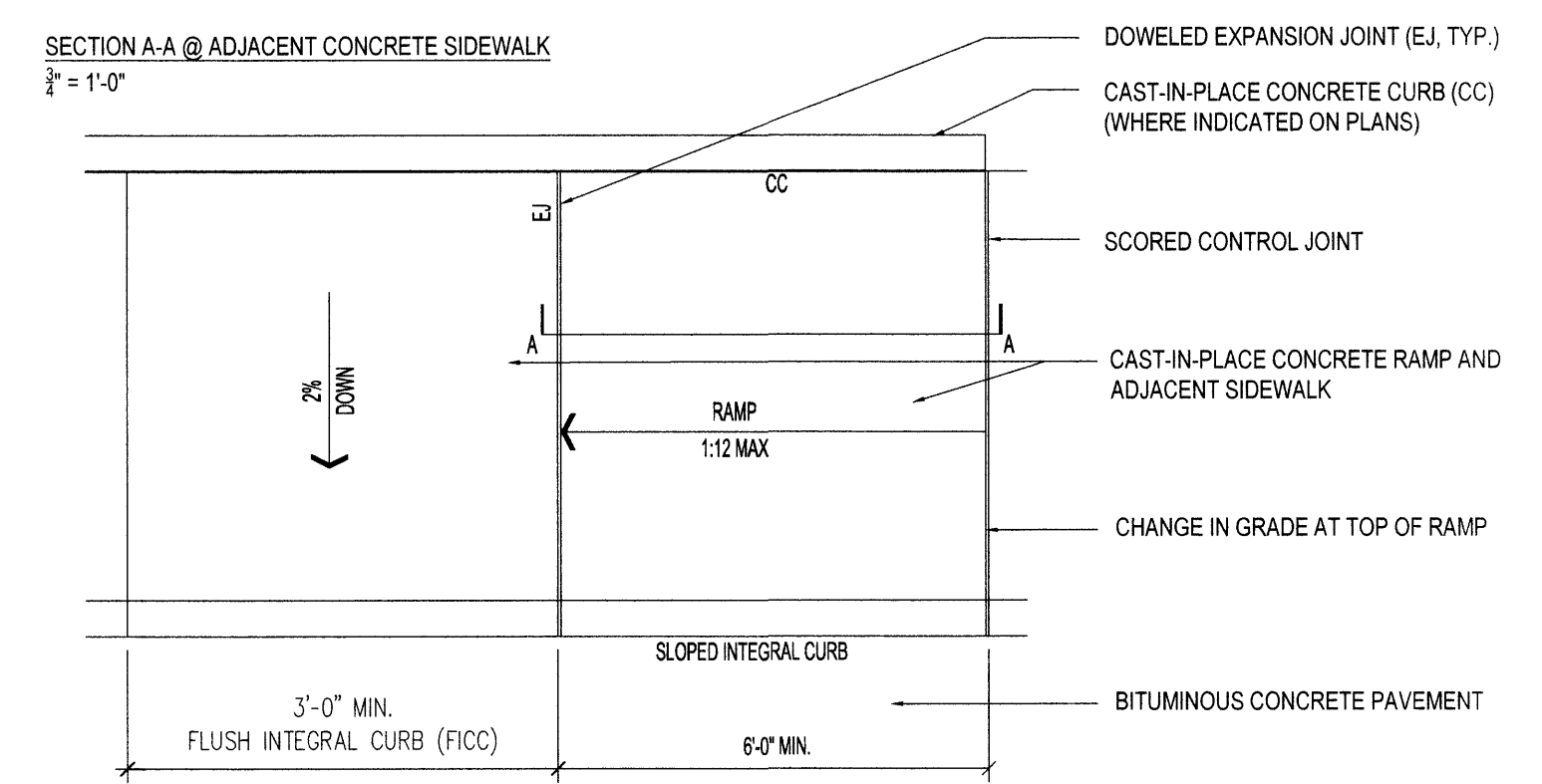
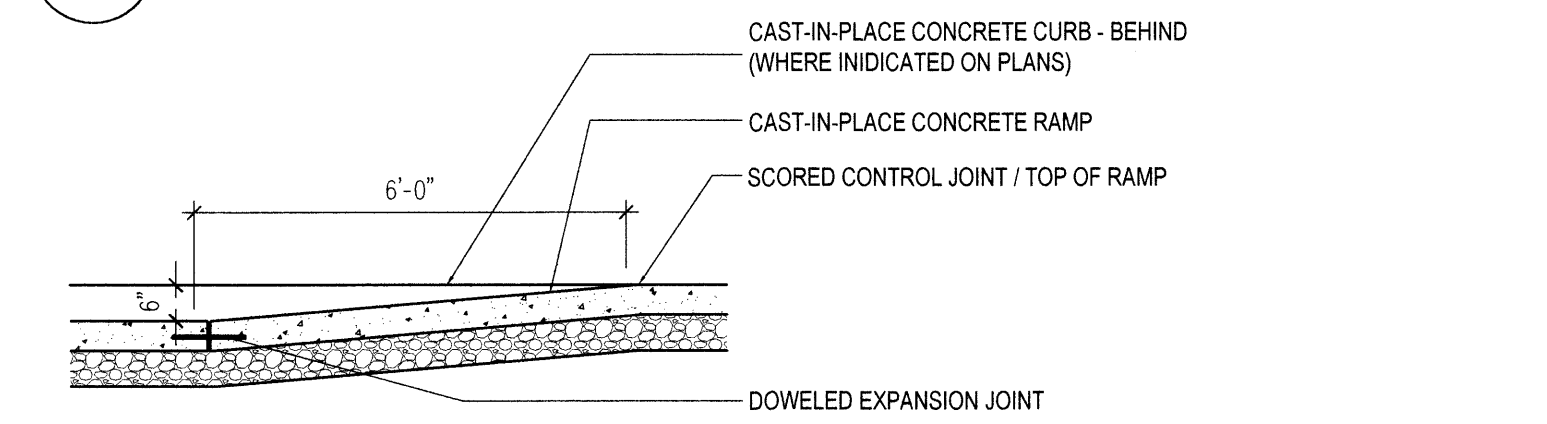
3C JOINT AT PERMEABLE CONCRETE UNIT PAVERS AT FROST PAD (EJ-2)
1" = 1'-0"



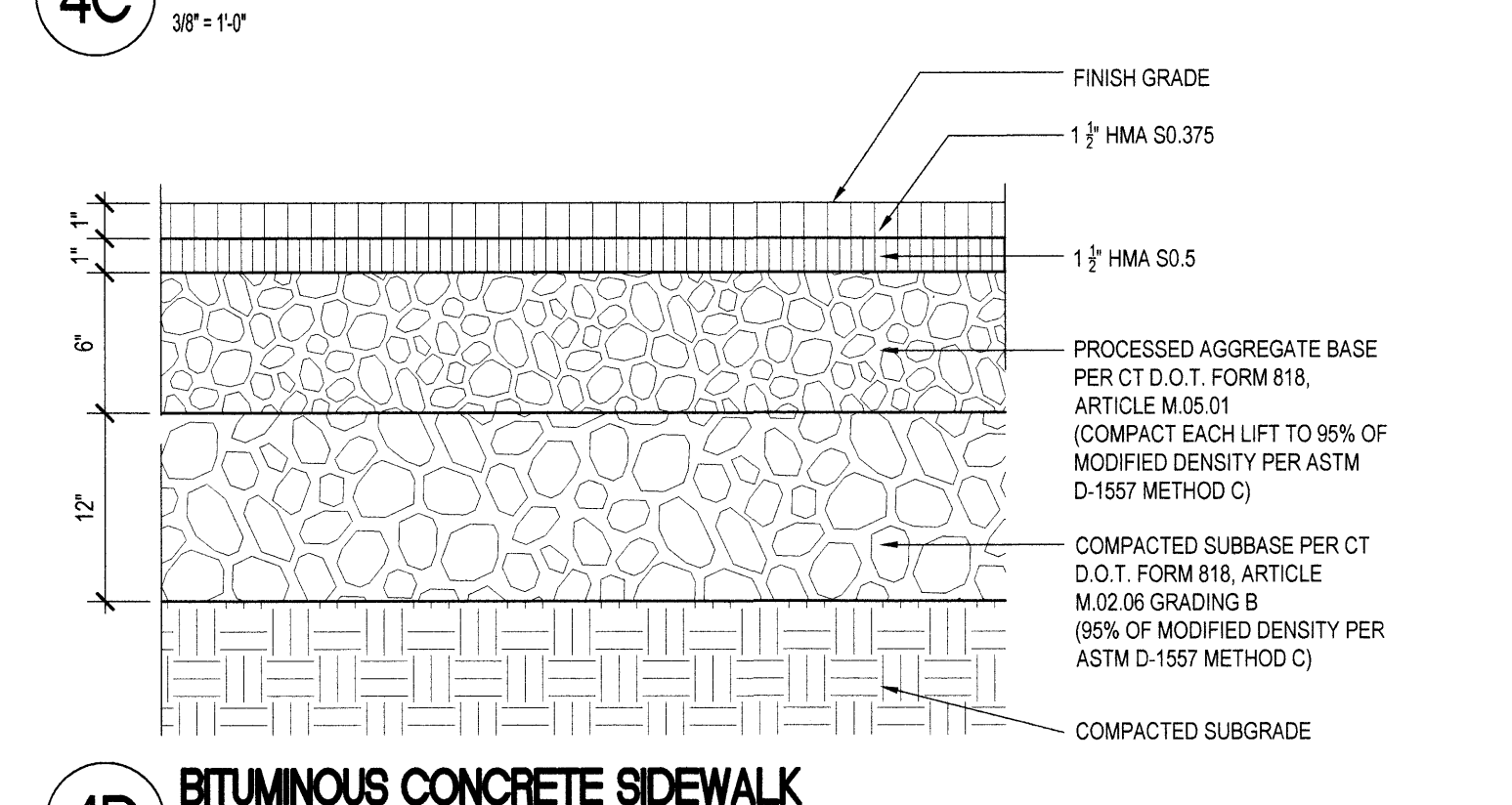
3D PAINTED PAVEMENT MARKINGS
1/4" = 1'-0"



4B HANDICAP CURB RAMP - TYPE A
NTS



4C HANDICAP CURB RAMP - TYPE B
3/8" = 1'-0"

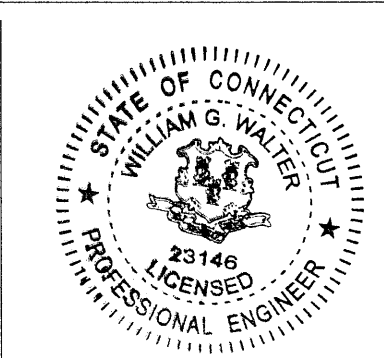


4D BITUMINOUS CONCRETE SIDEWALK
1 1/2" = 1'-0"

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-	IWWC/PZC Sub.	4/8/2022	-



Drawing Title:
MATERIALS DETAILS

Date:
APRIL 8, 2022

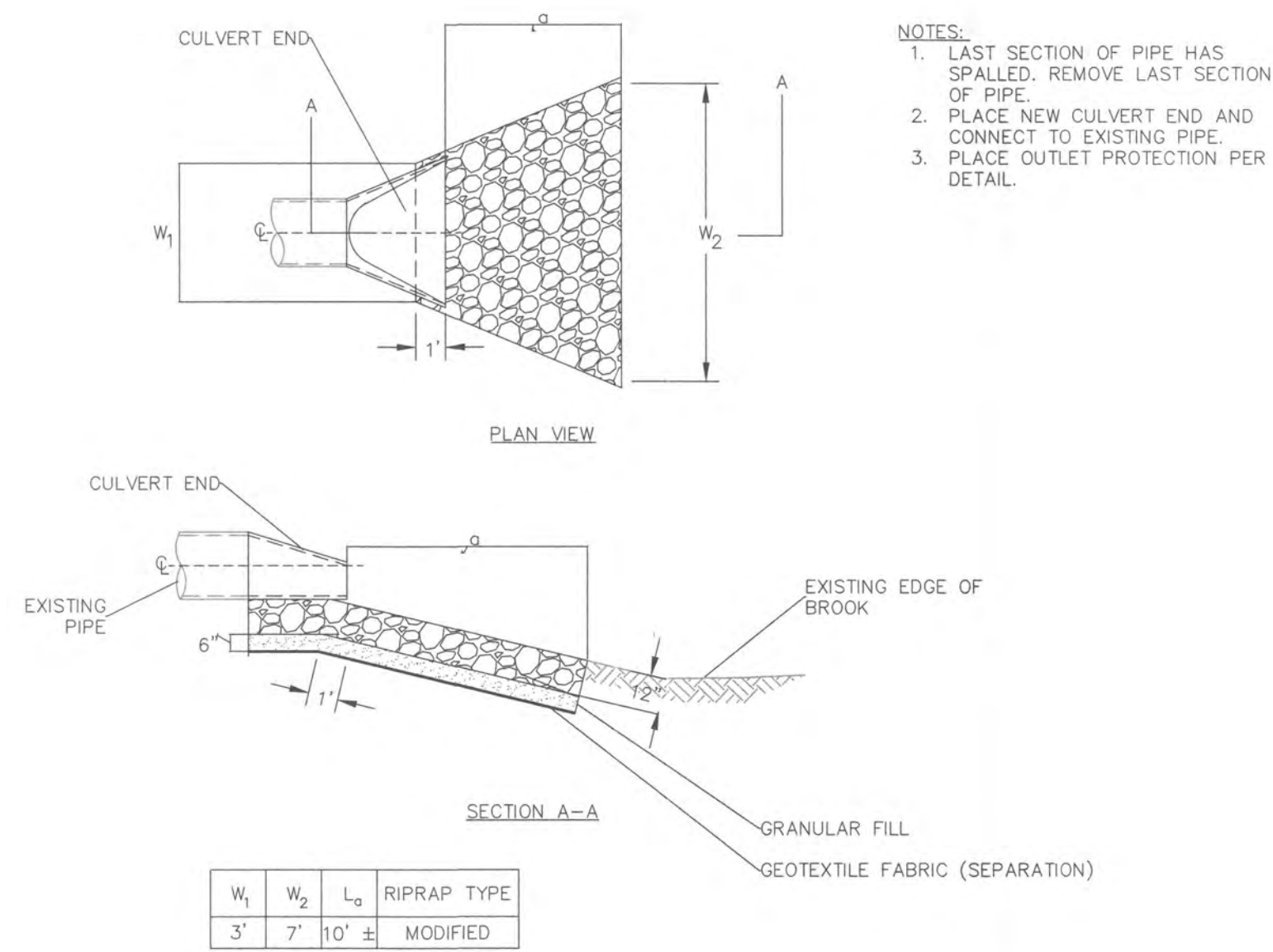
Scale:
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Drawn By:
TRS

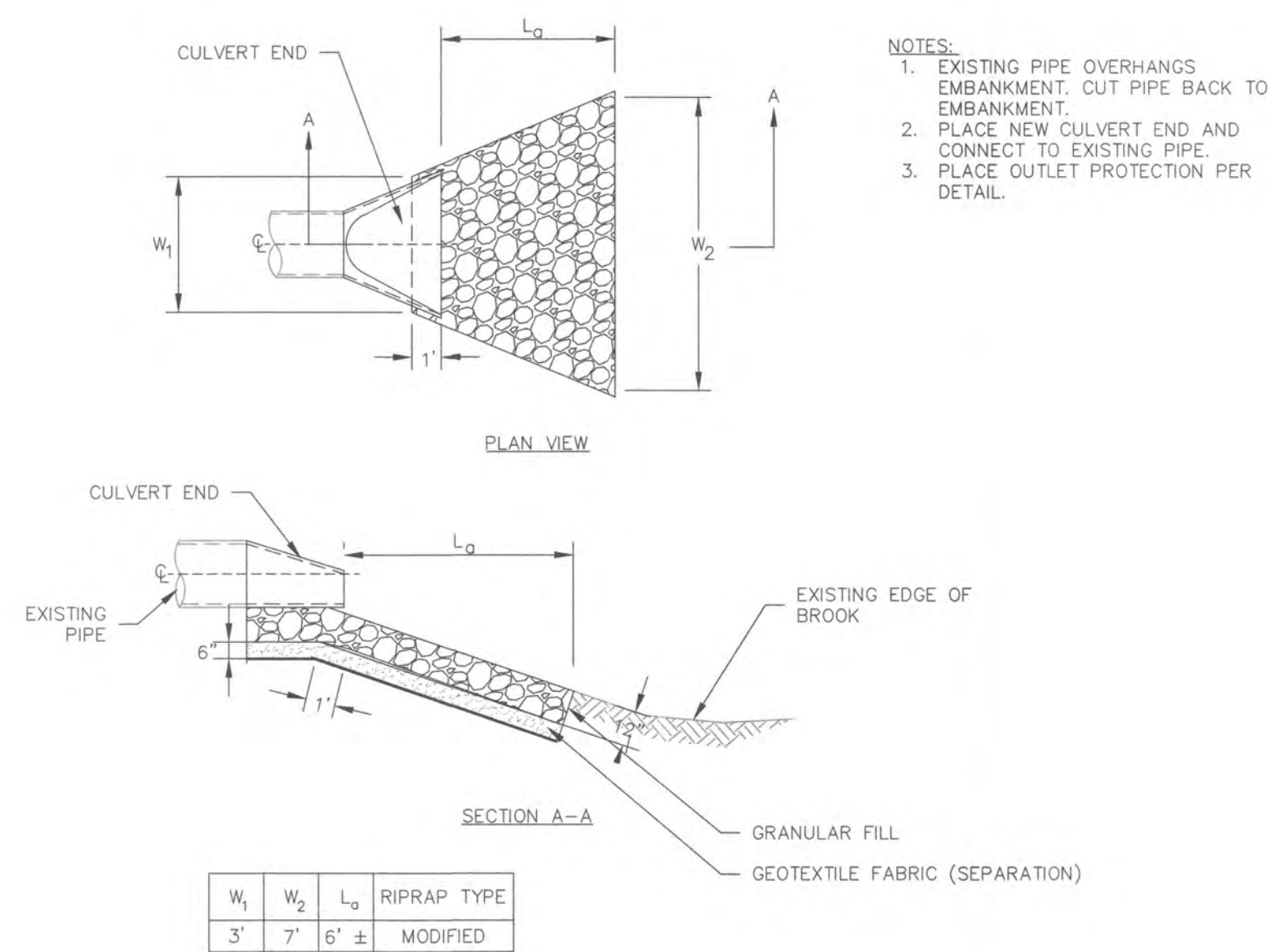
Project Number:
21.000

Drawing Number:
C7.0

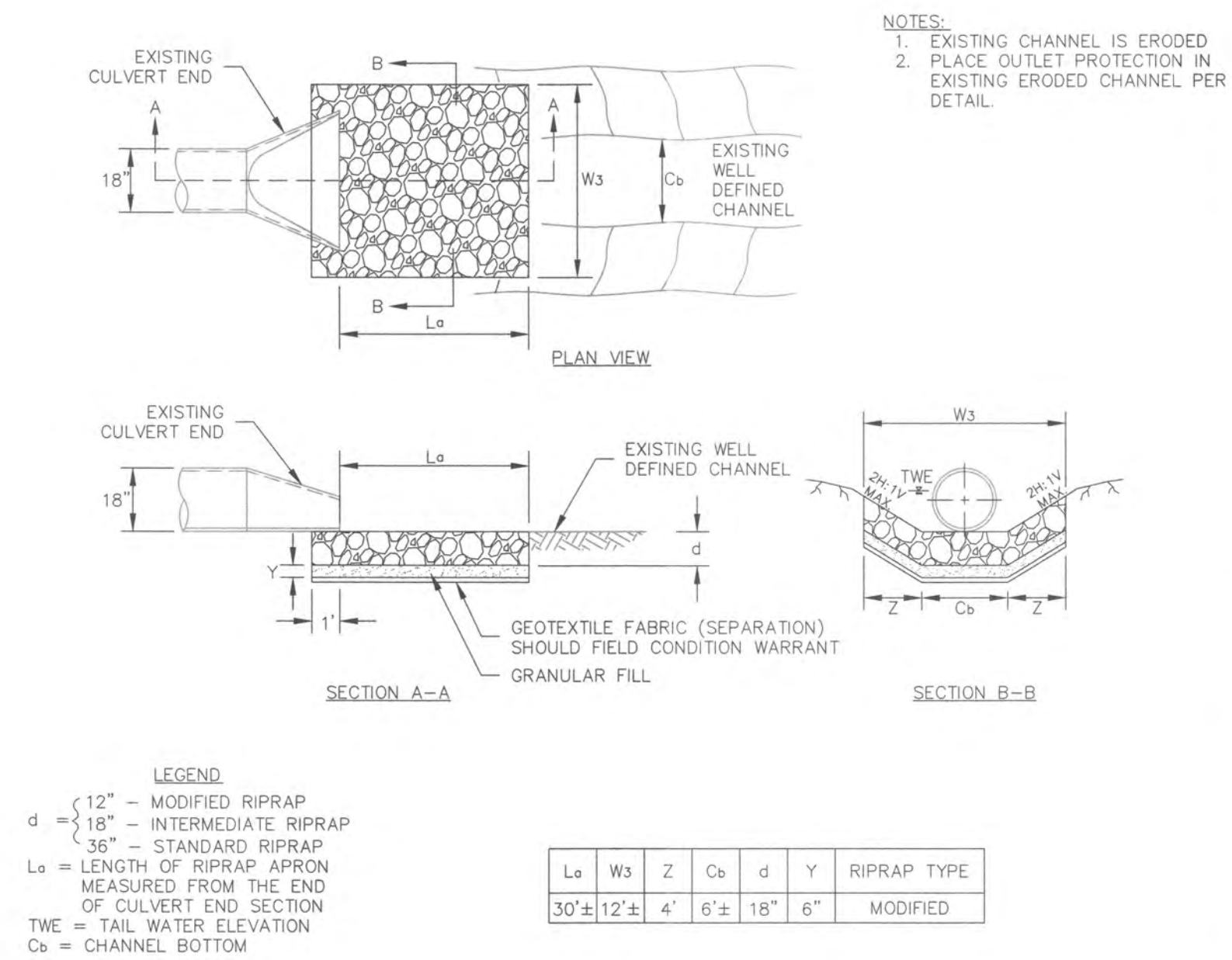
13 OF 23



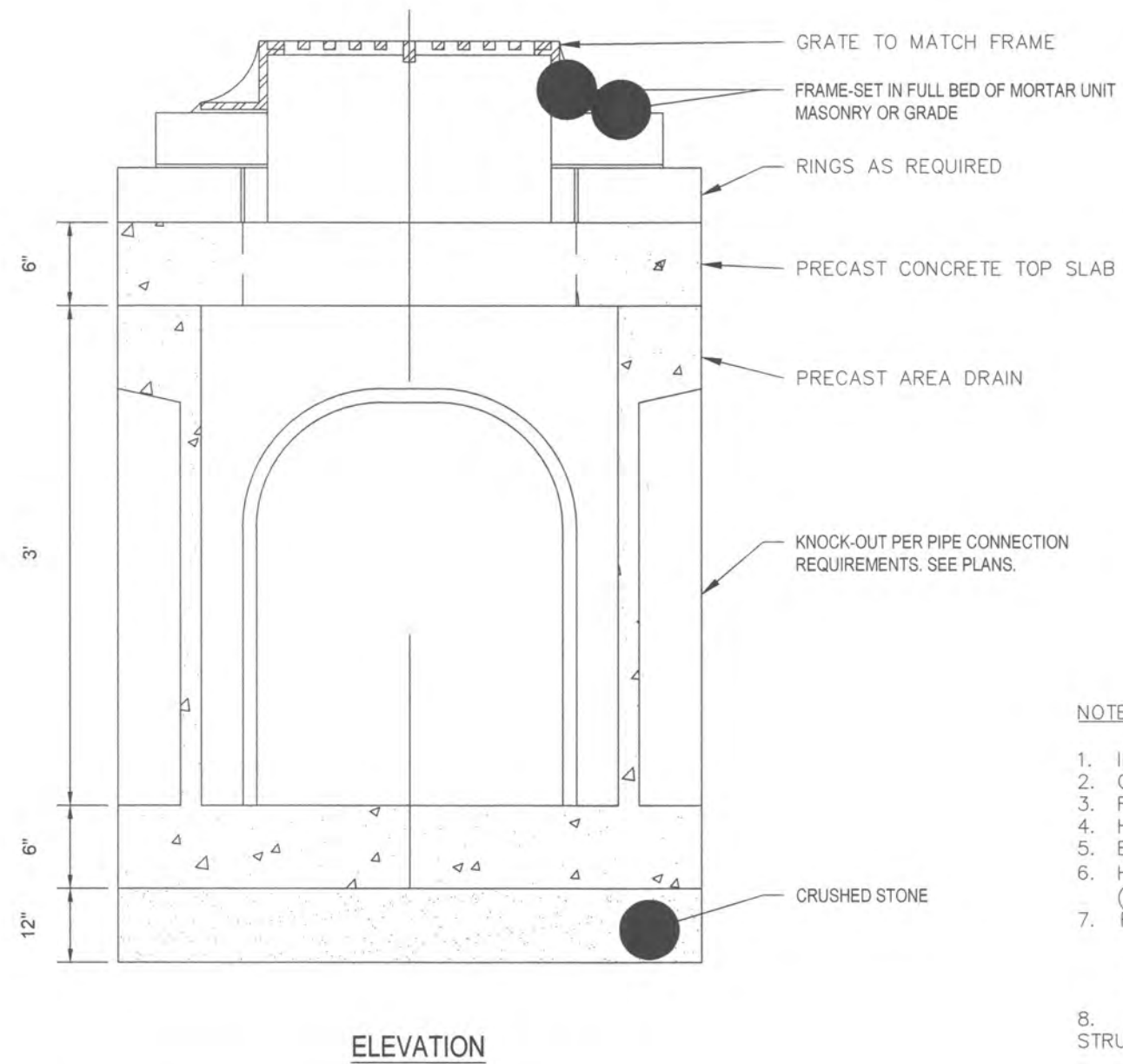
OUTFALL-1 RIP RAP OUTLET PROTECTION
SCALE: NONE



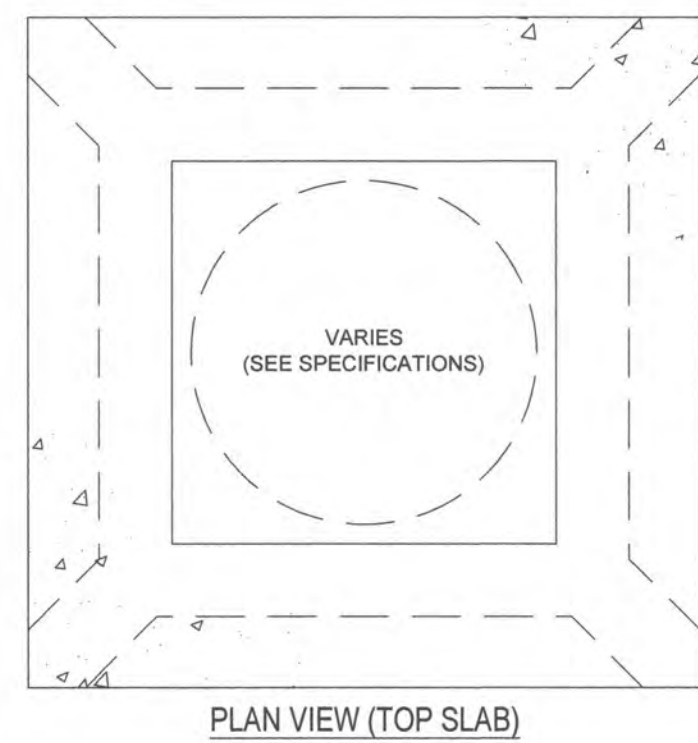
OUTFALL-2 RIP RAP OUTLET PROTECTION
SCALE: NONE



OUTFALL-3 RIP RAP OUTLET PROTECTION
SCALE: NONE



CONCRETE YARD DRAIN
SCALE: NONE



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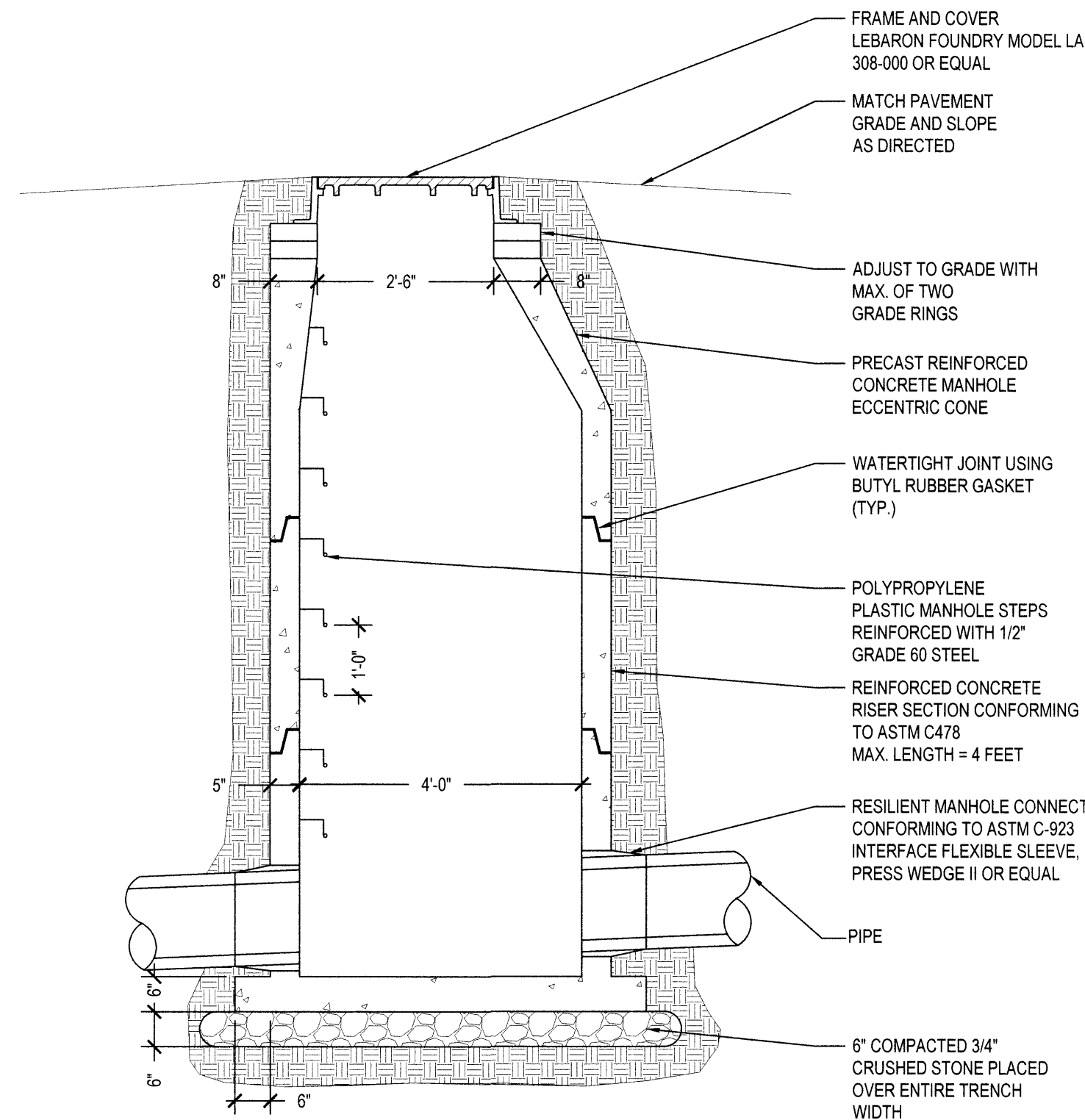


Drawing Title:
**DRAINAGE &
UTILITY DETAILS**

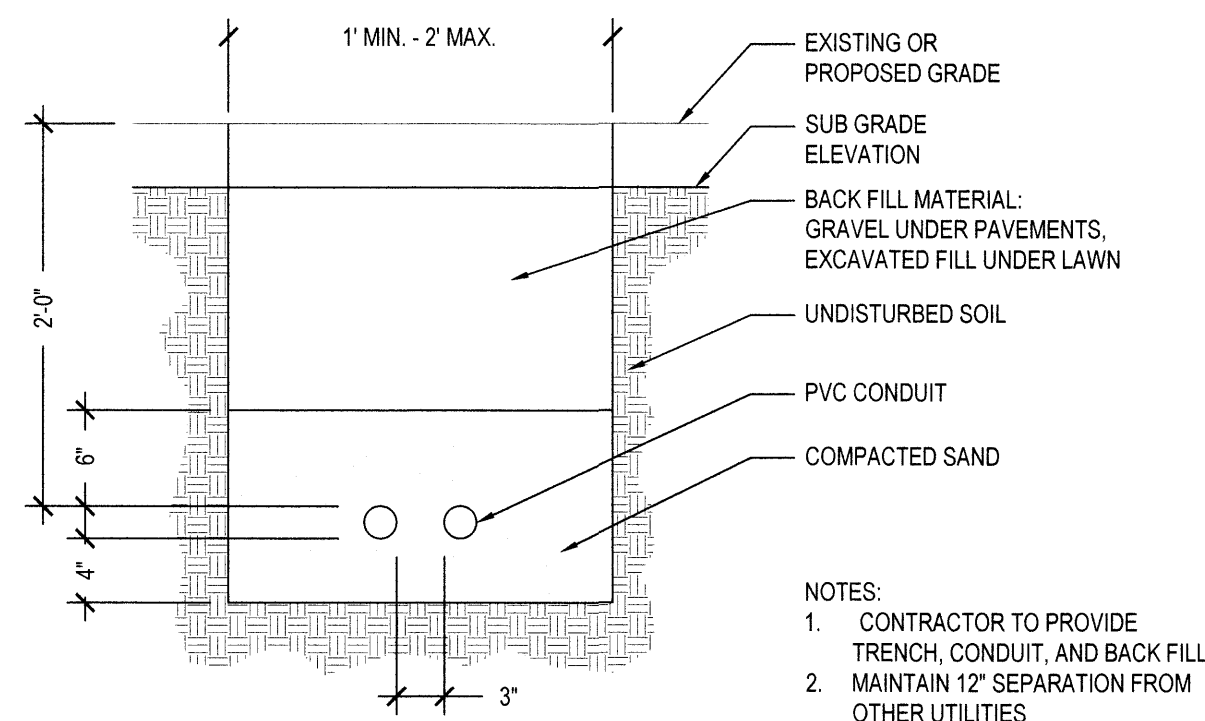
RECEIVED
APR 06 2022
TOWN OF ELLINGTON
PLANNING DEPARTMENT

Date:
APRIL 8, 2022
Scale:
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Drawn By:
JJD
Project Number:
21.000

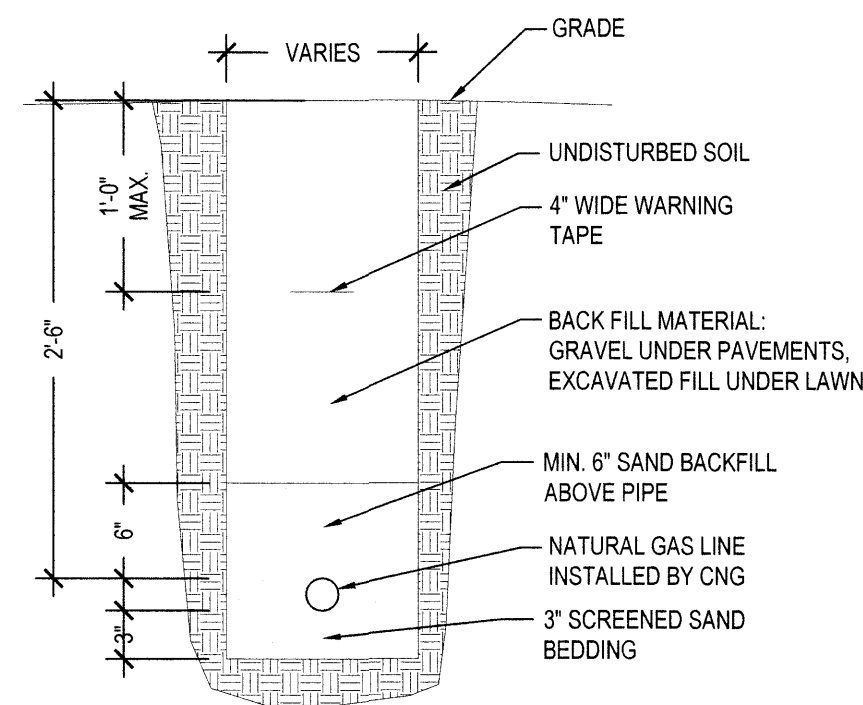
Drawing Number:
C8.0
15 OF 23



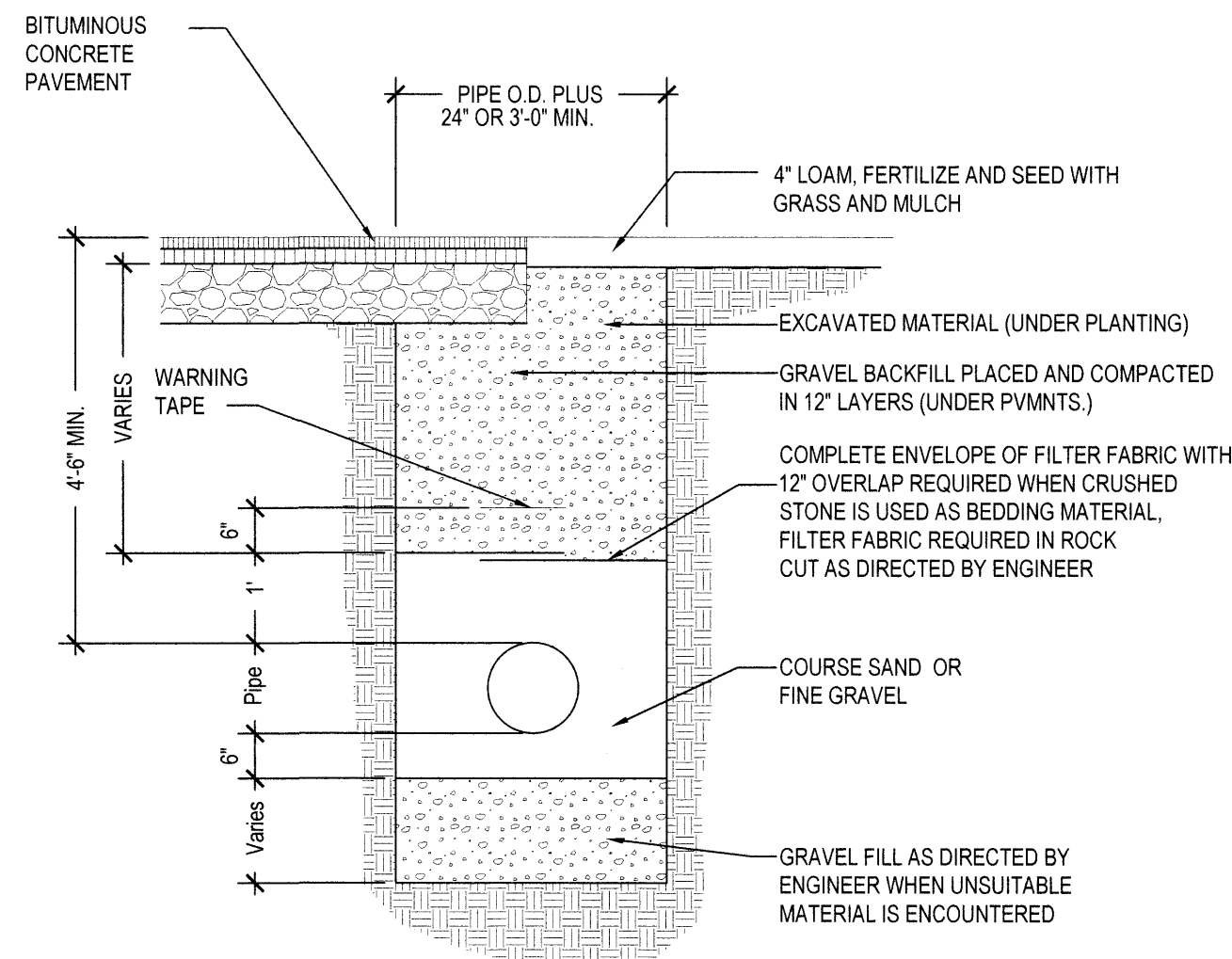
DRAIN MANHOLE
SCALE: NONE



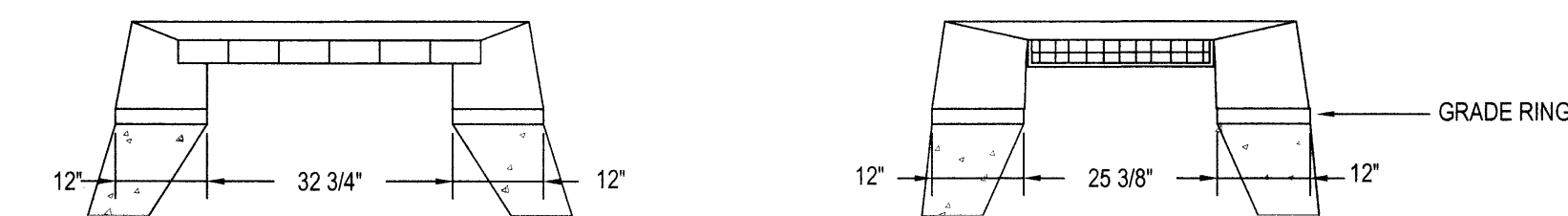
ELECTRICAL CONDUIT TRENCH
SCALE: NONE



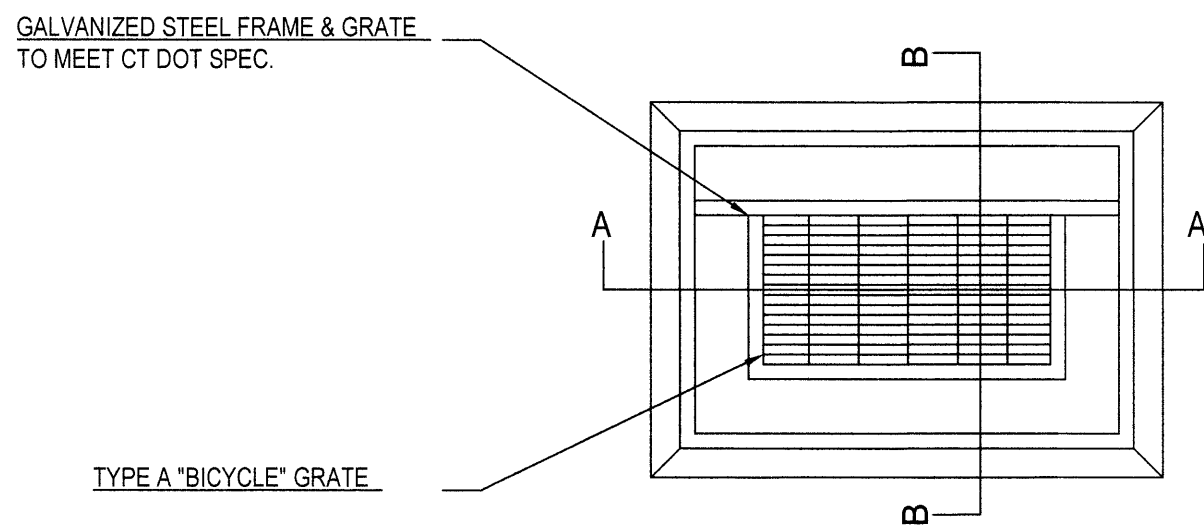
NATURAL GAS TRENCH
SCALE: NONE



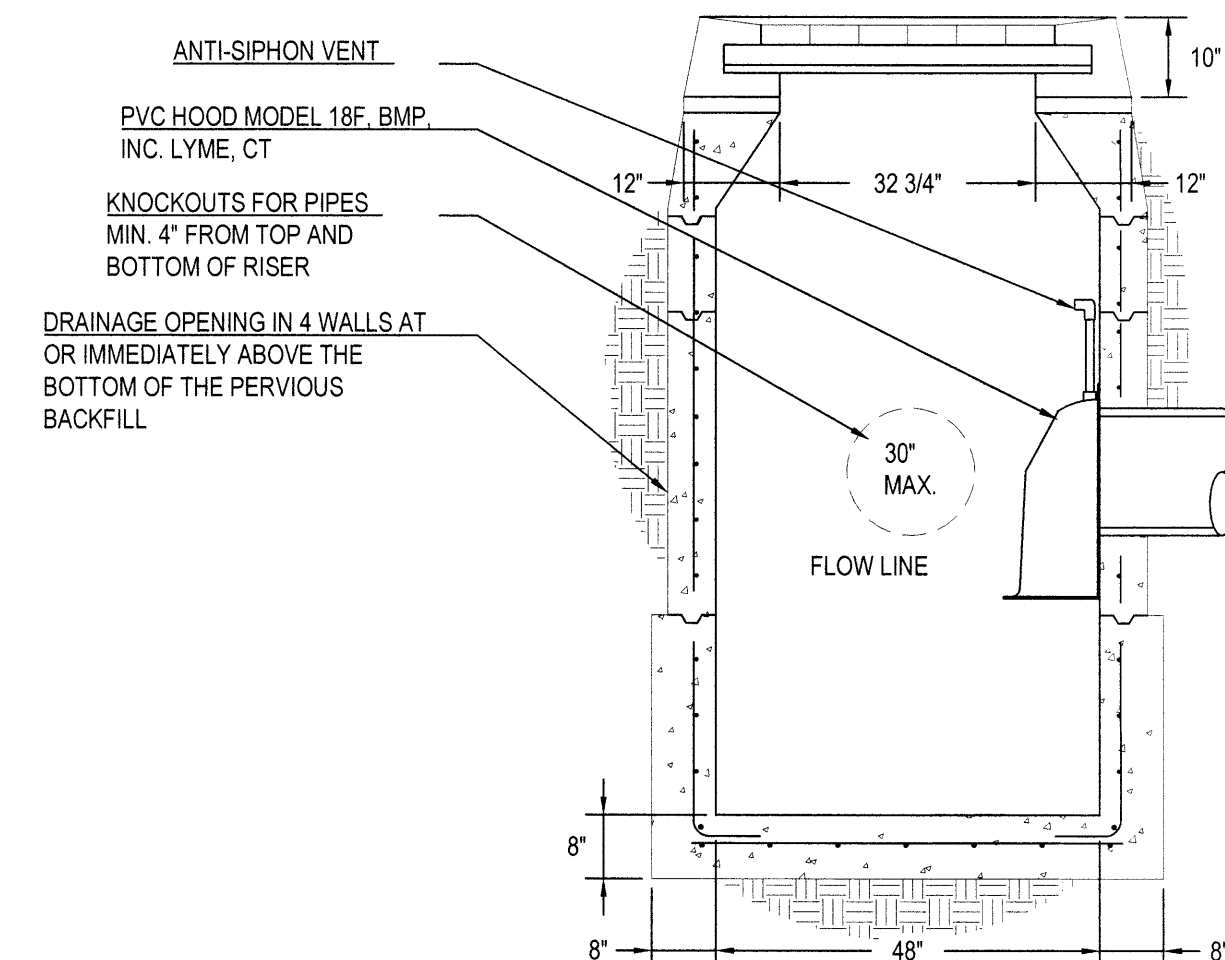
WATER TRENCH
SCALE: NONE



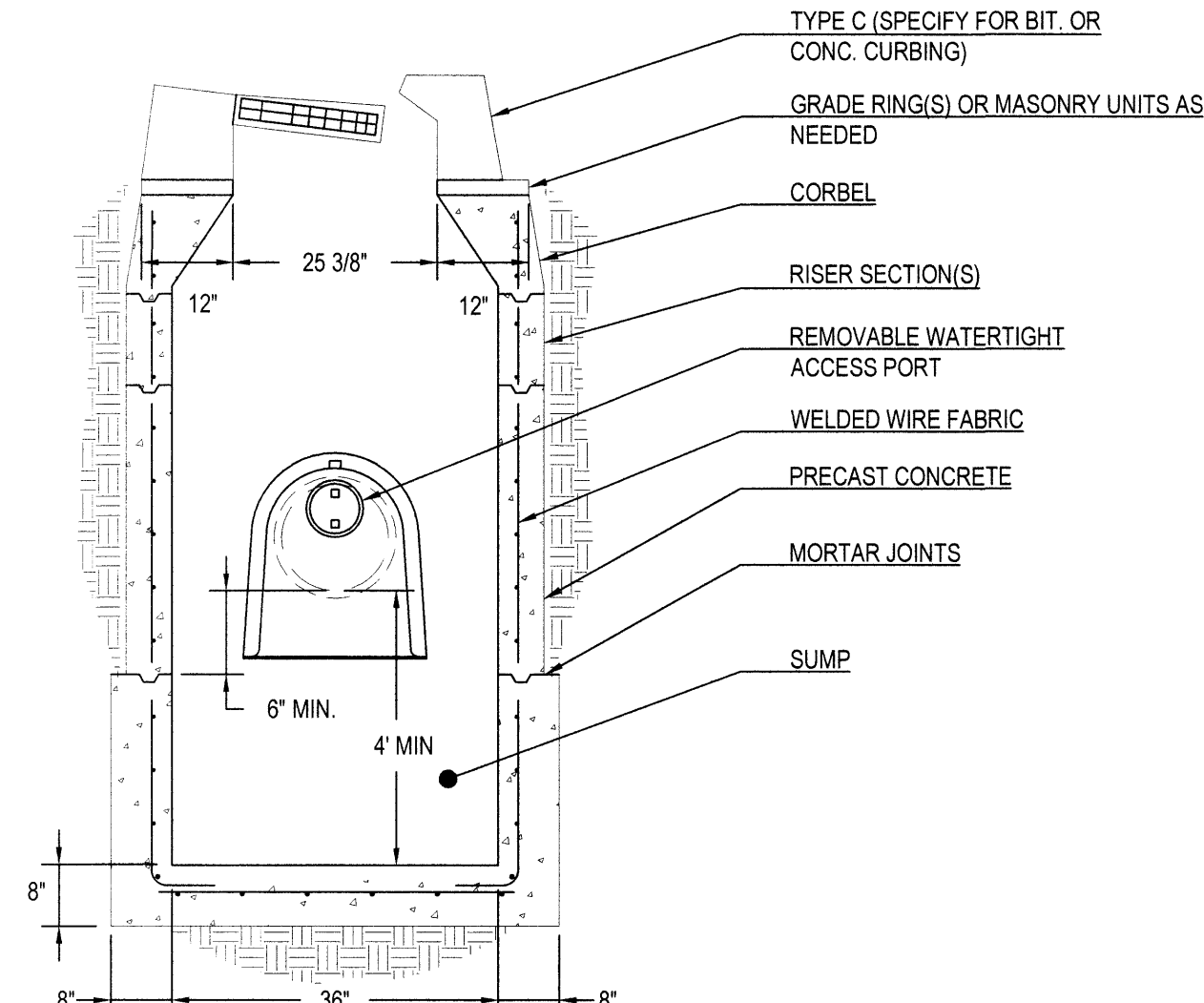
TOP - TYPE 'CL'



TYPE A 'BICYCLE' GRATE

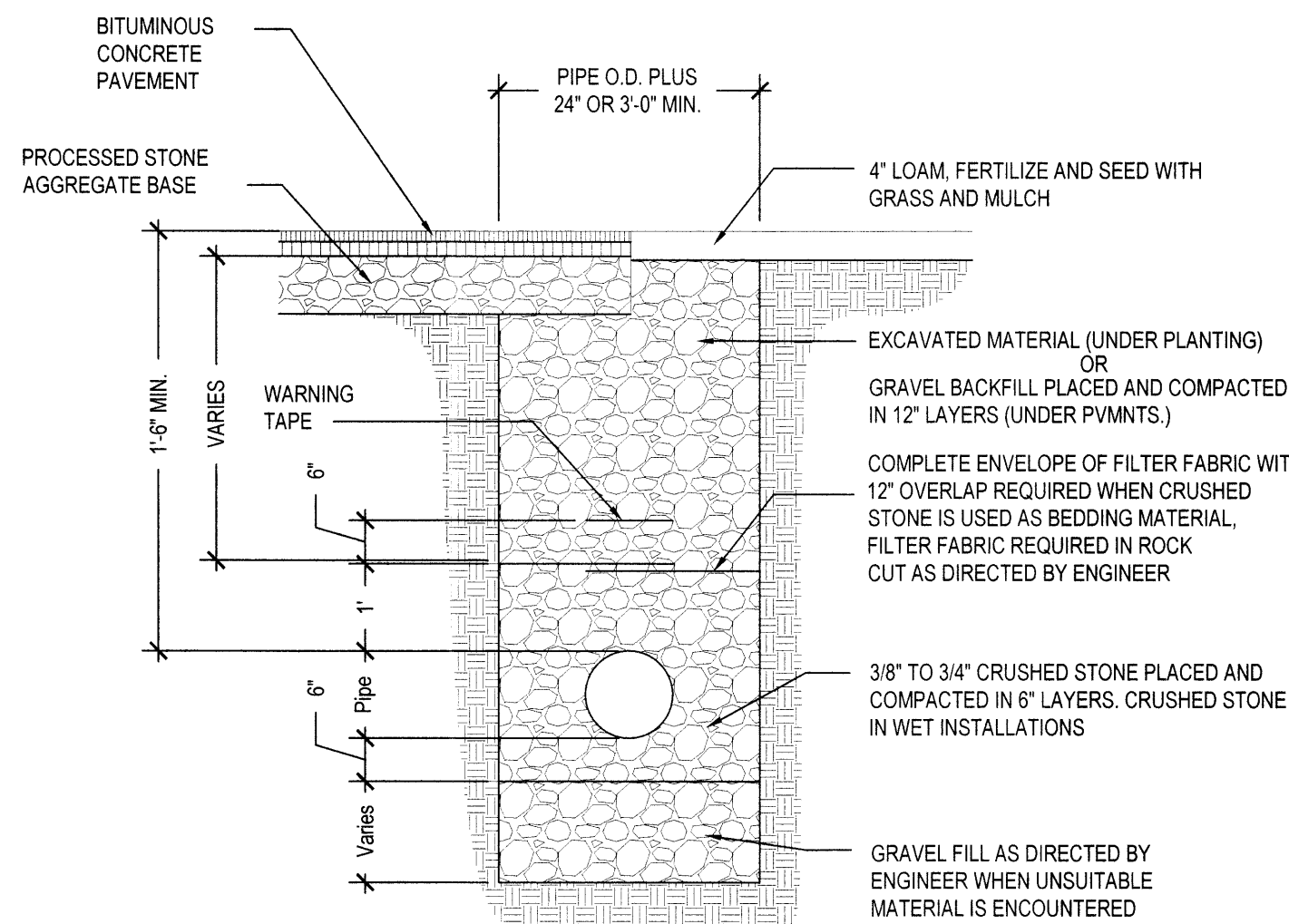


VIEW A-A

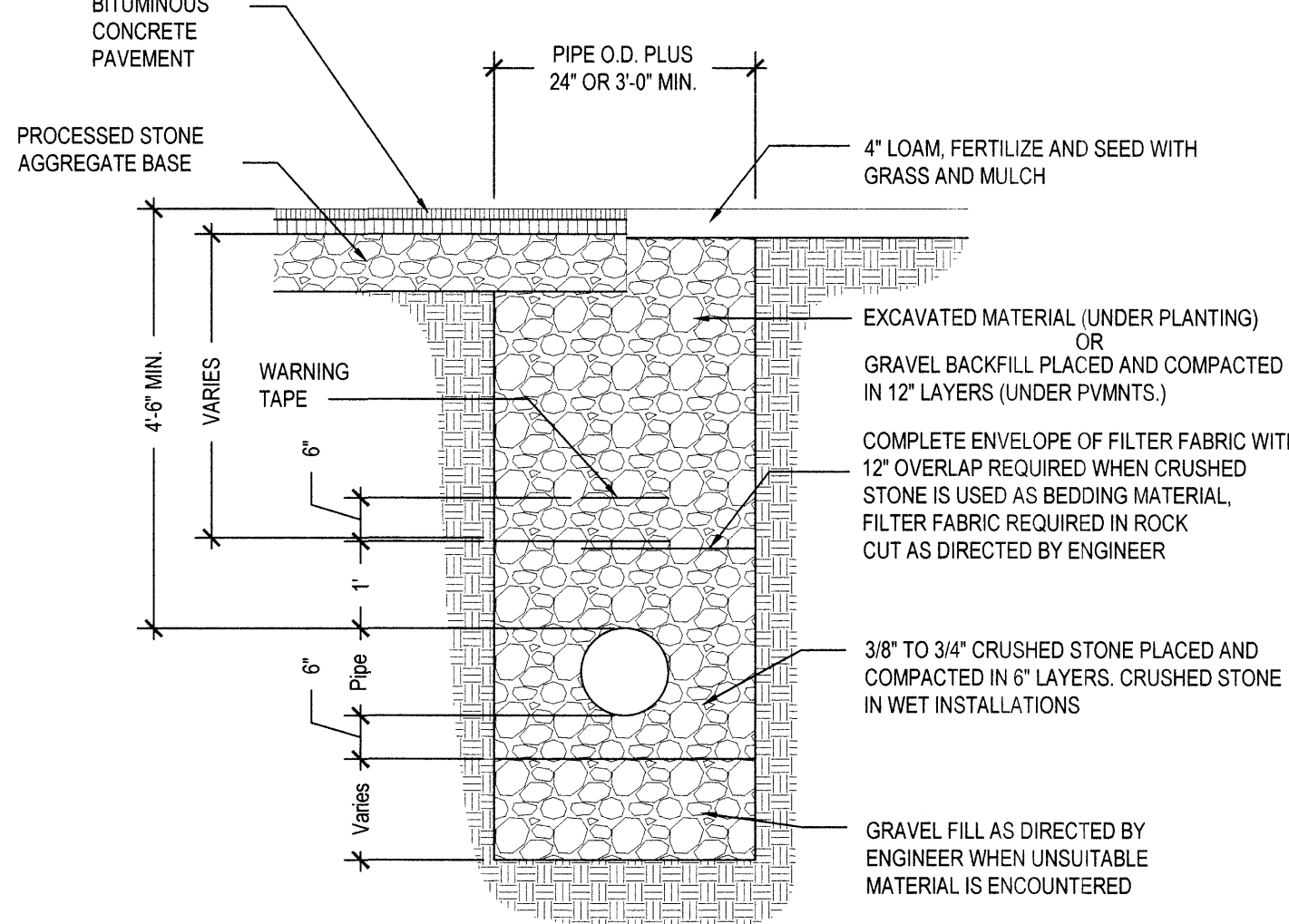


VIEW B-B

PRECAST CATCH BASIN
SCALE: NONE



STORM TRENCH
SCALE: NONE



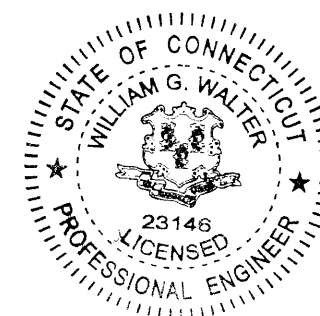
SANITARY TRENCH
SCALE: NONE

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-	IWWC/PZC Sub.	4/8/2022	-



Drawing Title:
**DRAINAGE &
UTILITY DETAILS**

Date:
APRIL 8, 2022
Scale:
NOT TO SCALE
Drawn By:
JJD
Project Number:
21.000
Drawing Number:
C8.1
16 OF 23

**Town of Ellington
Inland Wetlands and Watercourses Agency
Application**

Application # IW202206
Date Submitted 4/28/2022

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Town of Ellington

Mailing
Address: 55 Main Street

Ellington, CT 06029

Email:

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS,
MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #:

Secondary Contact Phone #:

Owner's
Signature:  Date: 4/28/2022

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: Ad Hoc Ellington Trail Committee

Mailing
Address: 55 Main Street

Ellington, CT
06029

Email:

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS,
MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #:

Secondary Contact Phone #:

Applicant's
Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

Street Address: Stein Road & Bronisz Drive

Assessor's Parcel Number (APN): 037-005-0082

Proposed upland review area affected in square feet: 3200 linear feet of trail and one bridge 20 LF

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): 60 LF with Bridges
200 linear feet of trail

Total area of wetlands/watercourses on parcel in square feet or acres: 6000 s.f. in the area of the trails

Public Water: N/A **Public Sewer:** N/A *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? ☐ Yes ☒ No

If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:

The Trails Committee will be building four bridges and maintaining trails on the open space area at the end of Bronisz Dr and along a portion of Stein Road. Bridge 1 and 2 are in the wetlands crossing a brook, bridge 3 is more of a boardwalk helping a cross a very low wetland area, Bridge 4 is more of a boardwalk also crossing a low area in the upland review area. The trail meander through upland review area and wetland area.

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. ☐ Yes ☒ No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. ☐ Yes ☒ No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. ☐ Yes ☒ No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. ☐ Yes ☒ No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. (See Agency requirements Section 8.4)

Type of Project: (check one)

☐ Commercial/Industrial ☐ Residential ☐ Mixed Use ☐ Timber ☐ Agricultural
☐ Other, explain: _____

Type of Application: (check one)

- ☒ Notification for Non-Regulated Use (Section 4.2)
- ☐ Notification of Permitted Use as of Right (Section 4.1)
- ☐ Administrative Permit (Section 6.4)
- ☐ Agency Permit (**TWELVE COPIES REQUIRED**)
- ☐ Permit Modification
- ☐ Permit Extension
- ☐ Regulation Amendment
- ☐ Map Amendment
- ☐ Appeal of Administrative Permit

Application Submittals:

- ☐ Completed Application Form (Section 7.4a)
- ☐ Application Fee (Section 7.4b)
- ☐ Abutters List (Section 7.4c)
- ☐ Certification as to Adjacent Towns (See above)
- ☐ Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
- ☐ Notification Narrative and Supporting Documentation (If applicable, Appendix D)
- ☐ Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
- ☐ Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
- ☐ Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)

John Colonese

Subject: FW: Map for Trails and Bridges on Stein Rd Property
Attachments: stien rd - ellington highlands11x17.pdf

From: Rachel Dearborn

Sent: Thursday, April 28, 2022 1:18 PM

To: John Colonese <jcolonese@ellington-ct.gov>; Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Cc: Linda Anderson <andylin49@earthlink.net>; Valerie Ansel <kayakval@att.net>

Subject: Map for Trails and Bridges on Stein Rd Property

This map shows a total of four bridges.

Bridge 1 is currently installed over a collapsed culvert. We will be adding some timber to the existing wood bridge to make it trail worthy.

Bridge 4 is currently installed by is in disrepair due to a tree falling on it. We will be repairing this bridge.

Bridge 2 is a new bridge that will be installed across a stream at the narrowest and safest location.

Bridge 3 is a new bridge that will be installed more as a boardwalk to cross a mucky area and access a loop trail.

We are breaking this into two phases. Bridge #1, 2 and 3 are part of phase I to open the main trail. Bridge 4 is part of phase II to open a secondary loop trail.

We are looking for approval for these trails and bridge crossing at the May 9th meeting.

Rachel will be attending on behalf of the trails committee.

We will also be seeking approval for these trails from the Board of Selectmen meeting the same night. Val will be attending the Selectmen's meeting on behalf of the trails committee.

Thank you

Ellington Trails Committee

U. New Business #2

**Town of Ellington
Inland Wetlands and Watercourses Agency
Application**

Application # _____
Date Submitted _____

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Kimberly Schneider
Mailing Address: 90A Ellington Ave
Ellington Ct. 06029
Email: daveselwaterfarms.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS
MAY NOTICES BE EMAILED TO YOU? ☒ Yes ☐ No

Primary Contact Phone #: 860-836-1541

Secondary Contact Phone #: _____

Owner's Signature: Kimberly Date: 5/3/22

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: David Schneider
Mailing Address: _____
(SAME)
Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS
MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

Street Address: 90A Ellington Ave

Assessor's Parcel Number (APN): 029 - 049 - 0001

Proposed upland review area affected in square feet: 4000 SF +-

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): 0

Total area of wetlands/watercourses on parcel in square feet or acres: NA

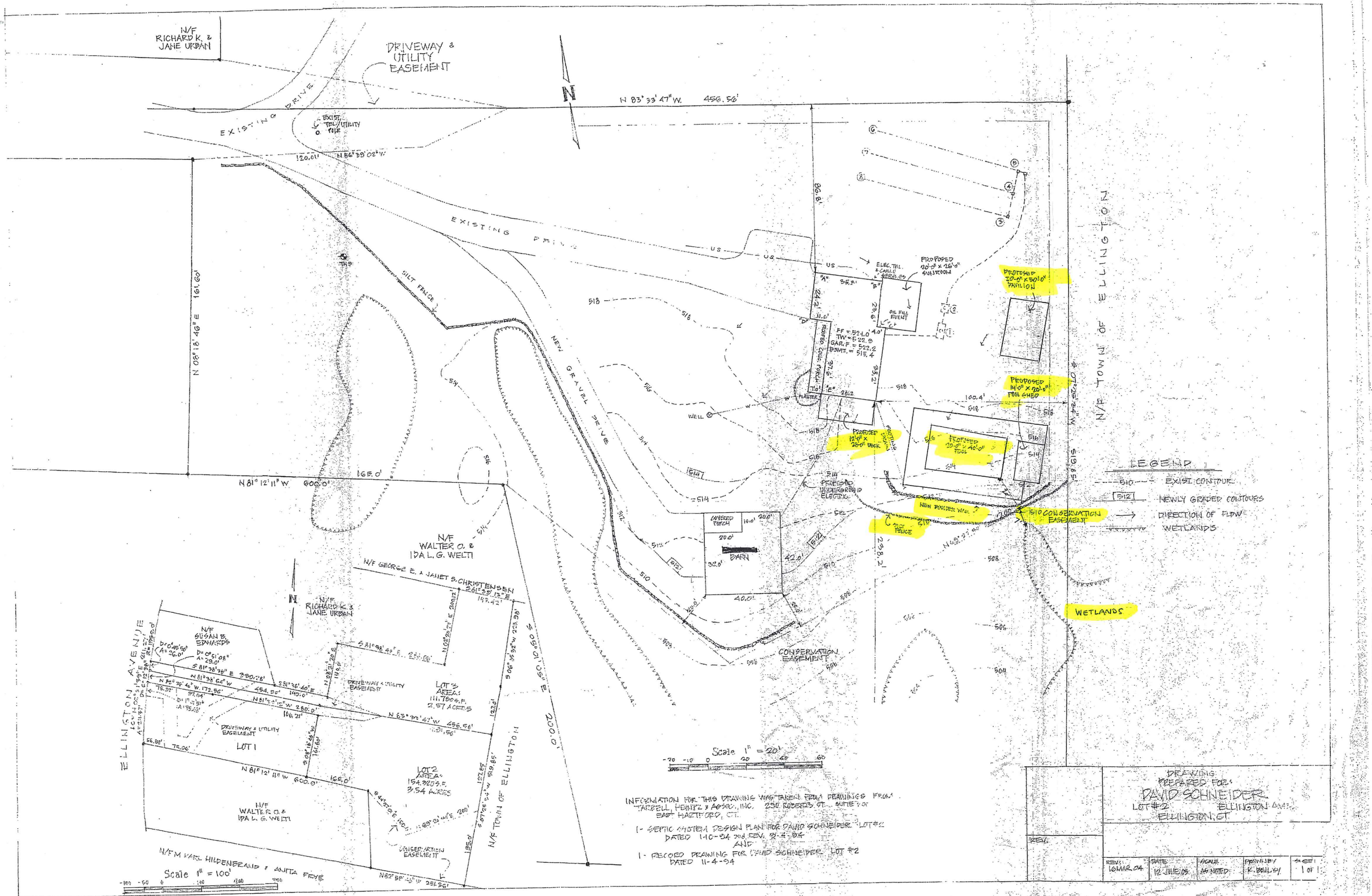
Public Water: ☐ Yes ☒ No Public Sewer: ☐ Yes ☒ No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? ☐ Yes ☒ No

If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

Back Yard Project including: Inground pool, patio, poolshed, Deck + Pavilion
Silt Fence barrier to be provided during construction
Boulder type Retain Wall will be used





STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120

TOWN PLANNER'S OFFICE

FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING MINUTES MONDAY, APRIL 11, 2022, 7:00 P.M.

**IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: ZOOM MEETING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)**

PRESENT: Chairman Ken Braga, Regular members Art Aube (remote, arrived 7:16 pm), Jean Burns, Hocine Baouche and Katherine Heminway

ABSENT: Vice Chairman Ron Brown and regular member Steve Hoffman

STAFF

PRESENT: John Colonese, Assistant Town Planner/Wetland Enforcement Officer and Barbra Galovich, Land Use Assistant/Recording Clerk

I. CALL TO ORDER: Chairman Ken Braga called the Ellington Inland Wetlands Agency meeting to order at 7:05 pm.

II. PUBLIC COMMENTS (on non-agenda items): None

III. PUBLIC HEARING(S):

1. IW202203 - Town of Ellington, owner/applicant, request for a permit to conduct regulated activity for the replacement of the Strawberry Road bridge/culvert over Abbey Brook, located 200ft from the intersection of Blueberry Circle.

Time: 7:05 pm

Seated: Braga, Aube, Burns, Baouche and Heminway

Chairman Braga stated the notice requirements have been met and noted this bridge received wetlands permit approval IW201407 on December 16, 2013 to remove and replace the culverts and associated site work. The work was never completed and new plans and an application have been provided. He said they did significant background work, and they provided a lot of materials for the Agency to review.

**MOVED (BURNS) SECONDED (BAOUCHE) AND PASSED UNANIMOUSLY TO
MAKE A DETERMINATION OF A SIGNIFICANT ACTIVITY FOR IW202203.**

Nelson Shepard (remote) of Close, Jensen & Miller P.C., 1137 Silas Deane Highway, Wethersfield, CT was present to represent the application, replacement of Strawberry Road Bridge No. 06141 over Abbey Brook.

Mr. Shepard said the existing structure is in poor condition. Its poor condition is primarily due to the condition of the end treatment, though the culvert barrels are showing a loss of structural integrity. In addition, the contributing drainage area to the bridge is 1.1 square miles. Based on hydraulic modeling, the existing structure is hydraulically inadequate and will overtop the crossing during the 100-year storm design event. For these reasons, the existing bridge is proposed for replacement.

Mr. Shepard noted the proposed project consists of replacing the existing structure with a single span precast concrete three-sided rigid frame with concrete wing walls and end walls. He reviewed the features of the replacement bridge.

Mr. Shepard stated to facilitate demolition of the existing structure and construction of the replacement, construction will be performed in two stages of water handling. The first stage will include directing flows into the eastern pipe by installation of water handling devices to block the two western pipes. During this stage, the western portion of the existing structure will be removed, including the middle and western culvert barrels, and a portion of the headwall. The proposed channel will be prepared and the substructure will be installed on the west side of the brook. Stage two construction will see flow diversion reconfigured to block flows from the eastern culvert barrel and direct it through the newly prepared channel section. The remaining pipe and existing structure will be removed and the eastern portion of the channel will be constructed.

Mr. Shepard reviewed the temporary and permanent wetland impacts associated with the project. The replacement of the existing culverts with an open bottom structure restores approximately 850 square feet of watercourse to natural conditions.

Mr. Shepard stated the impacts to the stream will be minimized through adherence to best management practices and the 2004 Connecticut Stormwater Quality Manual. During construction, proper water handling measures will be implemented to allow work to occur in the areas confined within those water handling devices. Sedimentation and erosion control systems will be installed as necessary to limit disturbances to protect the wetlands and watercourses. He noted that coordination has taken place with CT DEEP Fisheries. The bridge replacement will provide improved fish passage under the bridge. He added that a riparian wildlife shelf will be installed for ecological enhancement.

Mr. Shepard stated that they are also seeking the U.S. Army Corps of Engineers Self-Verification Connecticut General Permit for Water Quality and the CT DEEP Flood Management Certification for Municipal Projects.

There were no comments from the public.

MOVED (HEMINWAY) SECONDED (BURNS) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR IW202203.

MOVED (HEMINWAY) SECONDED (AUBE) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITION(S) IW202203 - Town of Ellington, owner/applicant, request for a permit to conduct regulated activity for the replacement of the Strawberry Road bridge/culvert over Abbey Brook, located 200ft from the intersection of Blueberry Circle.

Condition(s):

1. Erosion control measures shall be installed then inspected by the Wetlands Agent, and remain fully operational until the site is stabilized.
2. IW202110 - Juliano Family One LLC, owner/ Brian Juliano, applicant, request for modification to Wetlands Permit IW202110 to construct a detention basin and outside storage area at 100 Windermere Ave., APN 018-021-0000.

Mr. Colonese noted the application is not sufficient for review by the Wetlands Agency as it is currently missing items pursuant to Section 7.4g of the Wetlands Regulations as well as a report from the Soil Scientist.

MOVED (BURNS) SECONDED (BAOUCHE) AND PASSED UNANIMOUSLY TO TABLE THE OPENING OF THE PUBLIC HEARING TO MAY 9, 2022 FOR IW202110 - Juliano Family One LLC, owner/ Brian Juliano, applicant, request for modification to Wetlands Permit IW202110 to construct a detention basin and outside storage area at 100 Windermere Ave., APN 018-021-0000.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Apostolic Christian Church – 34 Middle Butcher Road

MOVED (HEMINWAY) SECONDED (BAOUCHE) AND PASSED UNANIMOUSLY TO ADD TO THE AGENDA, RECEIVE, AND SCHEDULE A PUBLIC HEARING FOR THE NEXT REGULAR MEETING ON MAY 9, 2022 FOR - Apostolic Christian Church of Ellington, Inc., owner/applicant, request for a permit to conduct regulated activity for the construction of a fellowship hall and associated site improvements at 34 Middle Butcher Road, APN 028-023-0000.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the March 14, 2022 Regular Meeting Minutes.

MOVED (AUBE) SECONDED (BAOUCHE) AND PASSED UNANIMOUSLY TO APPROVE THE MARCH 14, 2022 REGULAR MEETING MINUTES AS WRITTEN.

2. Election of Officers.

BY CONSENSUS, THE AGENCY TABLED ELECTION OF OFFICERS TO THE MAY 9, 2022 REGULAR MEETING.

3. Correspondence/Discussion:

Mr. Colonese stated the owner of 128 Mountain Street is looking to construct a shed on the property on a gravel pad or piers for storage of their boat and equipment. He noted the shed will be about 100 feet from Shenipsit Lake where the upland review area is 250 feet. The Agency agreed to allow a permit to be reviewed administratively.

Mr. Colonese said the owner of 161 Mountain Street recently installed riprap rock along a watercourse on the property. The owner would now like to remove the riprap and instead create a grass swale along the watercourse. The Agency agreed that a permit should be requested from the Agency for the activity due to the proximity to the watercourse.

VI. ADJOURNMENT:

MOVED (HEMINWAY) SECONDED (AUBE) AND PASSED UNANIMOUSLY TO ADJOURN THE APRIL 11, 2022 REGULAR MEETING OF THE INLAND WETLANDS AGENCY AT 7:33 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk