

PROJECT

REROOFING PROJECT AT VARIOUS SCHOOLS - IFB NO. 22-35

LEWIS LEMON ELEMENTARY SCHOOL
1993 MULBERRY STREET
ROCKFORD, ILLINOIS 61101

ELLIS ELEMENTARY SCHOOL
222 SOUTH CENTRAL AVENUE
ROCKFORD, ILLINOIS 61102

RPS PROJ. 2237 (FOR OWNER REFERENCE)

RPS PROJ. 2234 (FOR OWNER REFERENCE)

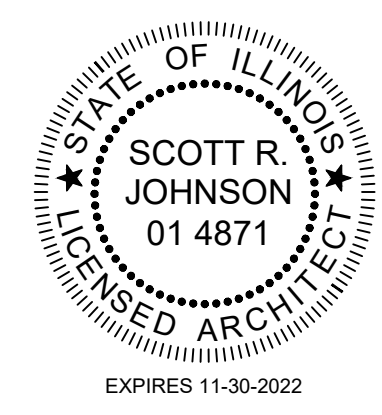
OWNER

ROCKFORD PUBLIC SCHOOL DISTRICT #205

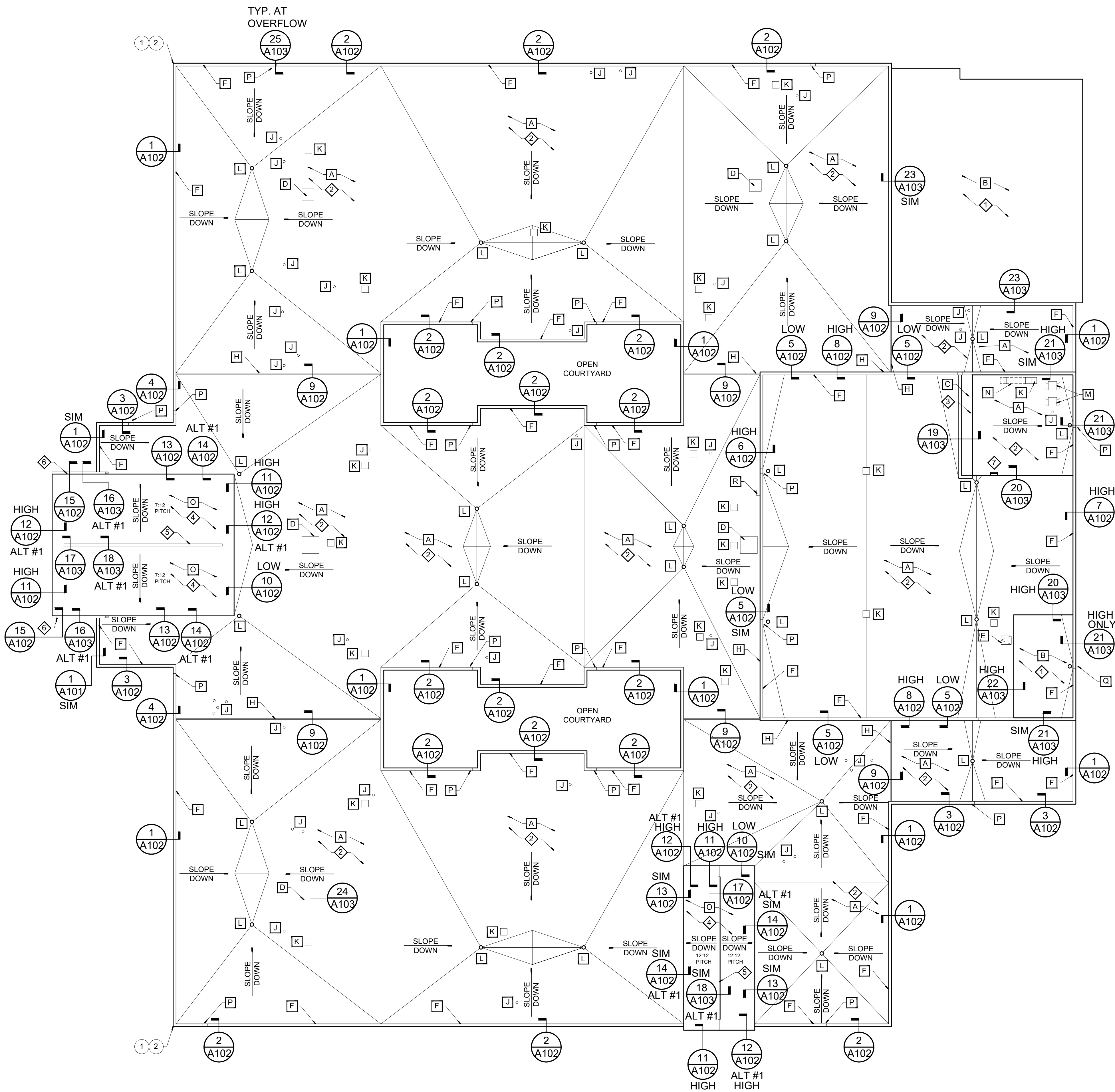
501 7TH STREET
ROCKFORD, ILLINOIS 61104

REROOFING PROJECT AT VARIOUS SCHOOLS FOR
ROCKFORD PUBLIC SCHOOL DISTRICT 205
ROCKFORD, ILLINOIS

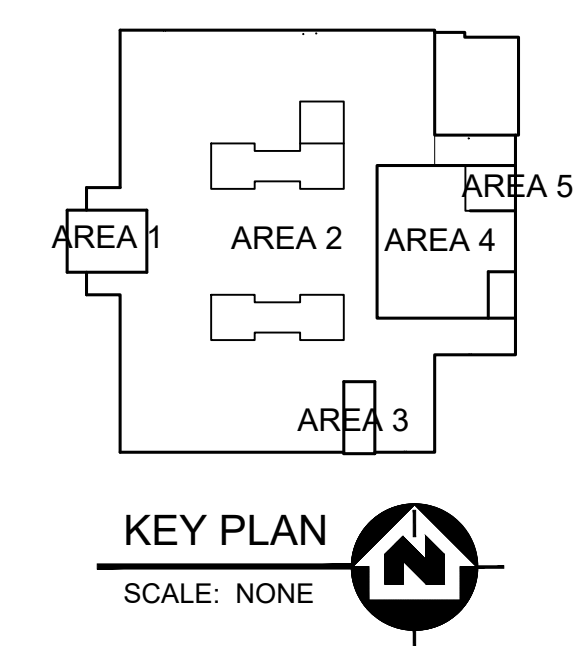
RICHARD L. JOHNSON
ASSOCIATES | ARCHITECTS

ARCHITECT OF RECORD	UNIT PRICE ALLOWANCES	BID INDEX										
<p>RICHARD L. JOHNSON ASSOCIATES 4703 Charles Street Rockford IL 61108 PHONE: 815/398-1231 FAX 815/398-1280 www.rljarch.com IL Design Firm No. 187-000524</p>  <p><i>Signature</i> 3-8-2022 DATE</p>	<p>ITEMS:</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING 10,000 BD FT OF DETERIORATED, WET OR UNSUITABLE INSULATION AND REPLACING WITH NEW ROOF INSULATION UNDER BASE BID #1</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING 10,000 BD FT OF DETERIORATED, WET OR UNSUITABLE INSULATION AND REPLACING WITH NEW ROOF INSULATION UNDER BASE BID #2</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING 20,000 BD FT OF DETERIORATED, WET OR UNSUITABLE INSULATION AND REPLACING WITH NEW ROOF INSULATION UNDER COMBINED BASE BID</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING 1,000 BD FT OF EXISTING DETERIORATED WOOD BLOCKING AND REPLACING WITH NEW TREATED WOOD BLOCKING UNDER BASE BID #1</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING 1,000 BD FT OF EXISTING DETERIORATED WOOD BLOCKING AND REPLACING WITH NEW TREATED WOOD BLOCKING UNDER BASE BID #2</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING 2,000 BD FT OF EXISTING DETERIORATED WOOD BLOCKING AND REPLACING WITH NEW TREATED WOOD BLOCKING UNDER COMBINED BASE BID</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING (1) 4'x4' SKYLIGHT AND REPLACING WITH A NEW 4'x4' SKYLIGHT UNDER BASE BID #1</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING (1) 5'x5' SKYLIGHT AND REPLACING WITH A NEW 5'x5' SKYLIGHT UNDER BASE BID #2</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING (1) 4'x4' SKYLIGHT AND (1) 5'x5' SKYLIGHT AND REPLACING WITH A NEW 4'x4' SKYLIGHT AND NEW 5'x5' SKYLIGHT UNDER COMBINED BASE BID</p> <p>CONTRACTOR TO INCLUDE THE COST OF TUCKPOINTING 300 LF OF MORTAR JOINTS UNDER BASE BID #2</p> <p>CONTRACTOR TO INCLUDE THE COST OF TUCKPOINTING 300 LF OF MORTAR JOINTS UNDER COMBINED BASE BID</p>	<table border="0"> <tr> <td>BASE BID #1</td> <td>LEWIS LEMON ELEMENTARY SCHOOL</td> </tr> <tr> <td>BASE BID #2</td> <td>ELLIS ELEMENTARY SCHOOL</td> </tr> <tr> <td>COMBINED BASE BID</td> <td>COMBINED BID FOR BOTH SCHOOLS</td> </tr> <tr> <td>ALTERNATE BID #1</td> <td>METAL ROOFING SYSTEM IN LIEU OF SHINGLE ROOF SYSTEM AT LEWIS LEMON ELEMENTARY SCHOOL</td> </tr> </table>	BASE BID #1	LEWIS LEMON ELEMENTARY SCHOOL	BASE BID #2	ELLIS ELEMENTARY SCHOOL	COMBINED BASE BID	COMBINED BID FOR BOTH SCHOOLS	ALTERNATE BID #1	METAL ROOFING SYSTEM IN LIEU OF SHINGLE ROOF SYSTEM AT LEWIS LEMON ELEMENTARY SCHOOL		
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SHEET INDEX												
<p>TITLE SHEET</p> <p>T101 TITLE SHEET</p> <p>ARCHITECTURAL</p> <table border="0"> <tr><td>A101</td><td>LEWIS LEMON ELEMENTARY SCHOOL - ROOF PLAN</td></tr> <tr><td>A102</td><td>LEWIS LEMON ELEMENTARY SCHOOL - DETAILS</td></tr> <tr><td>A103</td><td>LEWIS LEMON ELEMENTARY SCHOOL - DETAILS</td></tr> <tr><td>A104</td><td>ELLIS ELEMENTARY SCHOOL - ROOF PLAN</td></tr> <tr><td>A105</td><td>ELLIS ELEMENTARY SCHOOL - DETAILS</td></tr> </table>			A101	LEWIS LEMON ELEMENTARY SCHOOL - ROOF PLAN	A102	LEWIS LEMON ELEMENTARY SCHOOL - DETAILS	A103	LEWIS LEMON ELEMENTARY SCHOOL - DETAILS	A104	ELLIS ELEMENTARY SCHOOL - ROOF PLAN	A105	ELLIS ELEMENTARY SCHOOL - DETAILS
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A102	LEWIS LEMON ELEMENTARY SCHOOL - DETAILS											
A103	LEWIS LEMON ELEMENTARY SCHOOL - DETAILS											
A104	ELLIS ELEMENTARY SCHOOL - ROOF PLAN											
A105	ELLIS ELEMENTARY SCHOOL - DETAILS											

SHEET IDENTIFICATION		TITLE SHEET	
PROJECT INFORMATION	Date	Rev. Date	RLJA Proj
	March 8, 2022		2021-092
SHEET NUMBER		T101 OF 1	



1 ROOF PLAN
 SCALE: 1"=16'-0"



GENERAL MASONRY REPAIR SCOPE OF WORK

- REMOVE THE SEALANT AND BACKER ROD FROM ALL THE VERTICAL CONTROL JOINTS IN THE BRICK INCLUDING ABOVE ROOF LINES AND IN COURTYARDS. CLEAN TO VIRGIN SURFACE AND INSTALL BACKER ROD AND SEALANT. CONTRACTOR TO FIELD VERIFY THE LOCATIONS OF ALL CONTROL JOINTS DURING THE BIDDING PHASE. THIS WORK DOES NOT APPLY TO THE LATEST CAFETERIA ADDITION ON THE NORTH EAST CORNER OF THE SCHOOL.
- GRIND OUT MORTAR AND/OR SEALANT AT JOINT BETWEEN THE EIFS AND THE FACE BRICK. CLEAN TO VIRGIN SURFACE AND INSTALL BACKER ROD AND SEALANT. CONTRACTOR TO FIELD VERIFY THE LOCATIONS DURING THE BIDDING PHASE.

MASONRY REPAIR KEYNOTES

- NORTHWEST AND SOUTHWEST CORNERS: TUCKPOINT DEFECTIVE MORTAR JOINTS IN THE BRICK MASONRY IN LOCATIONS SHOWN ON THE PLAN. DEFECTIVE MORTAR JOINTS SHALL BE CUT OUT AS NECESSARY, CLEANED AND TUCKPOINTED WITH NEW MORTAR. MATCH EXISTING COLOR AND TEXTURE. REMOVE AND REPLACE CRACKED, MISSING OR GLAZED BRICK OR GLAZED BRICK WITH NEW BRICK. GLAZED BRICK AND MORTAR TO MATCH EXISTING BRICK TO BE W72 STYLO 4" X 8" X 8" BY GLEN-GARY. GLAZED BRICK TO BE 350 GLAZED MODULAR CORED UNITS STYLO 4" X 8" X 8" IN COLOR "G82-288" T.
- REPAIR SPALLED CONCRETE FOUNDATION USING BASF GELPATCH REPAIR MORTAR.

LEWIS LEMON ELEMENTARY SCHOOL EXISTING ROOFING CONDITIONS

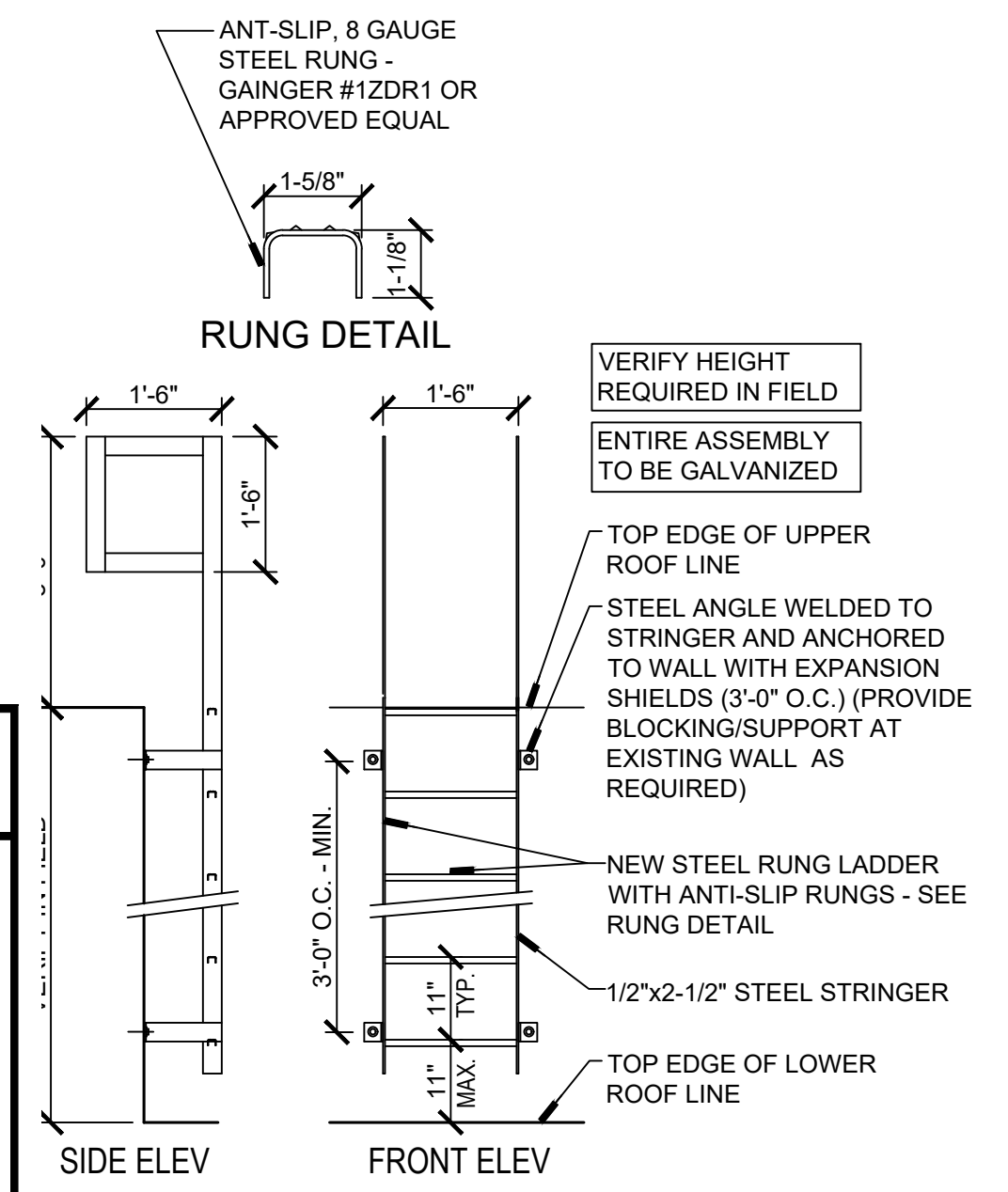
- AREA 1 AND 3:
SHINGLE ROOF SYSTEM OVER FELT OVER NAILABLE ROOF DECKING *ROOF DECK IS SLOPED.
- AREAS 2, 4 AND 5
BALLASTED EPDM ROOFING MEMBRANE OVER (2) LAYERS OF 1 1/2" RIGID INSULATION OVER METAL DECK. *ROOF DECK IS SLOPED.

DEMOLITION - GENERAL NOTES

- THE ROOFING CONTRACTOR IS TO COORDINATE AND PROVIDE ALL DEMOLITION AND REMOVAL OF DEBRIS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION
- THE DEMOLITION PLAN IS PROVIDED AS AID IN PLANNING AND DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY IN FIELD VERIFYING THE EXISTING JOB SITE
- PROVIDE ALL TEMPORARY SHORING AS REQUIRED TO SUPPORT STRUCTURES AND FINISHES TO REMAIN
- ALL AREAS, FINISHES AND ITEMS NOT REQUIRING DEMOLITION MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION WORK
- THIS DEMOLITION PLAN IS TO BE USED IN CONJUNCTION WITH THE REST OF THE SHEETS IN THE SET
- ALL ITEMS TO BE REMOVED SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE

LEWIS LEMON ELEMENTARY SCHOOL DEMOLITION BOX NOTES

- [A] REMOVE BALLAST, LOOSE-LAID EPDM ROOFING MEMBRANE DOWN TO EXISTING INSULATION - REMOVE EXISTING METAL FLASHINGS, METAL COPINGS, METAL ROOF EDGES, AND METAL TERMINATION BARS AROUND PERIMETER OF ROOF LINE AS REQUIRED - ROOFING CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF THE ROOFING MATERIALS OFF SITE.
- [B] NO WORK ON THIS ROOF. EXISTING ROOF SYSTEM REMAINS.
- [C] REMOVE BALLAST, LOOSE-LAID EPDM ROOFING MEMBRANE DOWN TO EXISTING WOOD DECK - REMOVE EXISTING METAL FLASHINGS, METAL COPINGS, METAL ROOF EDGES, AND METAL TERMINATION BARS AROUND PERIMETER OF ROOF LINE AS REQUIRED - ROOFING CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF THE ROOFING MATERIALS OFF SITE.
- [D] REMOVE SKYLIGHT, EXTEND CURB AS REQUIRED TO ACHIEVE 8" ABOVE NEW ROOF LINE, FLASH-IN THE CURB AND RE-INSTALL THE SKYLIGHT.
- [E] REMOVE ROOF HATCH, EXTEND CURB AS REQUIRED TO ACHIEVE 8" ABOVE NEW ROOF LINE, FLASH-IN THE CURB AND INSTALL NEW ROOF HATCH.
- [F] REMOVE EXISTING METAL COPING.
- [G] REMOVE EXISTING EDGE METAL.
- [H] REMOVE EXISTING EXPANSION JOINT.
- [J] EXISTING PLUMBING VENT TO REMAIN.
- [K] REMOVE AND RE-INSTALL EXISTING EXHAUST FAN OR MECHANICAL UNIT IN ORDER TO FLASH THE CURB.
- [L] EXISTING ROOF DRAIN TO REMAIN. NOTIFY ARCHITECT IF A DRAIN IS DAMAGED OR NEEDS TO BE REPLACED.
- [M] EXISTING CONDENSING UNITS TO REMAIN. REMOVE EXISTING WOOD SUPPORTS AND INSTALL NEW 4 X 4 TREATED WOOD CURBS OVER WALK PADS. PROVIDE NEW PITCH POCKET FOR POWER AND REFRIGERANT LINES.
- [N] EXISTING DUCTWORK AND CURB TO REMAIN. FLASH AS REQUIRED.
- [O] REMOVE EXISTING SHINGLES AND FELT UNDERLAYMENT DOWN TO EXISTING NAILABLE INSULATION.
- [P] REMOVE EXISTING OVERFLOW SCUPPER, MODIFY AND INSTALL NEW.
- [Q] EXISTING OVERFLOW SCUPPER TO REMAIN.
- [R] EXISTING RUNG LADDER TO REMAIN.



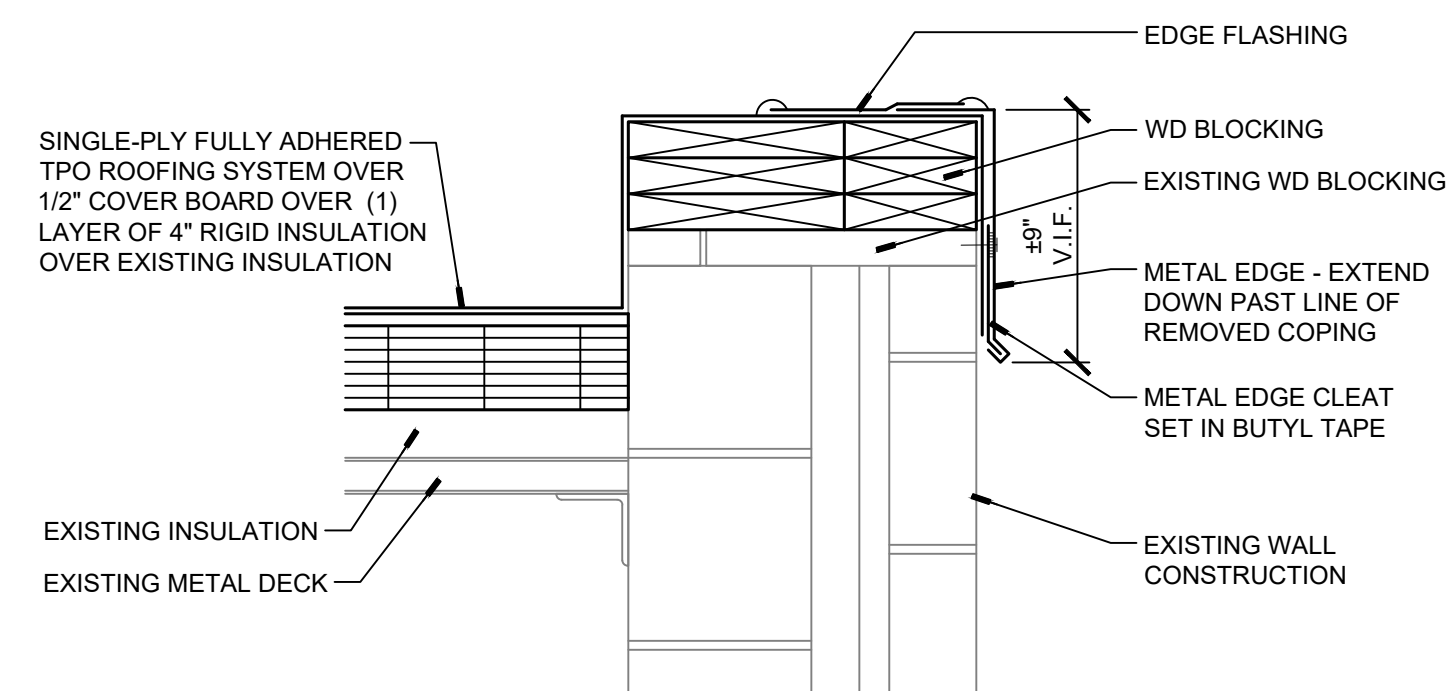
ROOF ACCESS LADDER
 SCALE: 1/2"=1'-0"

RENOVATION - GENERAL NOTES

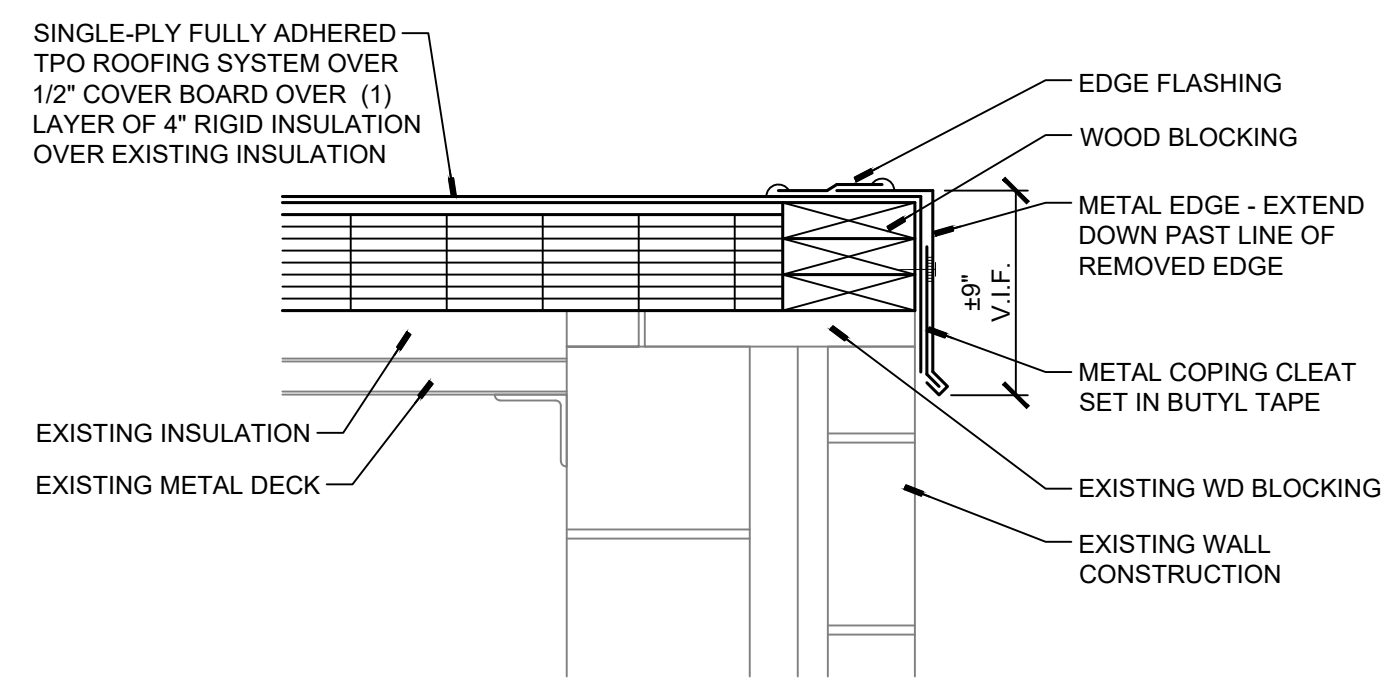
- ROOFING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CORE CUTS TO VERIFY THE EXISTING CONDITIONS. NO EXTRAS WILL BE ALLOWED TO COMPENSATE FOR EXISTING CONDITIONS WHICH MAY DIFFER FROM WHAT IS DESCRIBED ON DRAWINGS AND/OR SPECIFICATIONS
- ROOFING CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS OF THE ROOFS PRIOR TO BIDDING - DO NOT SCALE THESE DRAWINGS
- ROOFING CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL EXISTING ROOF TOP MECHANICAL EQUIPMENT UNITS, PIPING, VENTS, ETC. PRIOR TO BIDDING - LOCATION OF MECHANICAL EQUIPMENT SHOWN ON PLANS SHOULD ONLY BE USED AS A GUIDE - CONTRACTOR SHALL FLASH ALL PENETRATIONS PER MANUFACTURER'S WARRANTY STANDARDS
- ROOFING CONTRACTOR TO EXTEND MECHANICAL CURBS AND ANY MECHANICAL EQUIPMENT SO THEY ARE A MINIMUM OF 8" ABOVE THE TOP OF THE ROOF - EXTEND VENT STACKS SO THEY ARE A MINIMUM OF 12" ABOVE THE TOP OF THE ROOF - EXTEND / MODIFY EXISTING DUCTWORK AND ELECTRICAL COMPONENTS ASSOCIATED WITH MECHANICAL EQUIPMENT
- ALL DETAILS SHALL BE APPROVED BY THE ROOFING MANUFACTURER IN ORDER TO KEEP THE NEW ROOFING WARRANTY INTACT
- PROVIDE SADDLES AT ALL MECHANICAL ROOF TOP UNITS AND OTHER ROOF PENETRATIONS
- FLASH IN ANY EXISTING ROOF PENETRATIONS PER ROOFING MANUFACTURER'S GUIDELINES
- MAINTAIN CONTINUOUS TEMPORARY PROTECTION AGAINST WATER INTRUSION DURING AND PRIOR TO INSTALLATION OF NEW ROOFING SYSTEM
- CONTRACTOR WILL BE RESPONSIBLE FOR PICKING UP ALL NAILS, SCREWS, AND SIMILAR DEBRIS AROUND THE PERIMETER OF THE BUILDING WHERE THE CONTRACTOR IS PERFORMING WORK
- PROVIDE ALL REQUIRED TREATED WOOD BLOCKING WHETHER SHOWN OR NOT
- CONTRACTOR WILL BE RESPONSIBLE FOR RESTORING GRASS AREAS BACK TO THEIR ORIGINAL CONDITION AFTER THE ROOF WORK IS COMPLETE
- CONTRACTOR TO VISUALLY REVIEW THE UNDERSIDE OF THE DECK TO LOCATE EXISTING CONDUITS AND WIRING PRIOR TO TEAR OFF. CONTRACTOR WILL REMOVE A FEW CEILING TILES IN EACH ROOM TO ALLOW FOR VISUAL ACCESS. CONTRACTOR SHALL TRANSFER THE LOCATIONS OF THE CONDUIT TO THE ROOF SO THEY DO NOT DAMAGE THEM WHEN INSTALLING THE FASTENERS. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGED ELECTRICAL CONDUIT, POWER WIRING OR LOW VOLTAGE WIRING IN THE BUILDING THAT GETS DAMAGED FROM ROOF FASTENERS
- PROVIDE PITCH POCKET(S) FOR PIPING AND CONDUIT THAT GOES THROUGH THE ROOF

LEWIS LEMON ELEMENTARY SCHOOL RENOVATION KEY NOTES

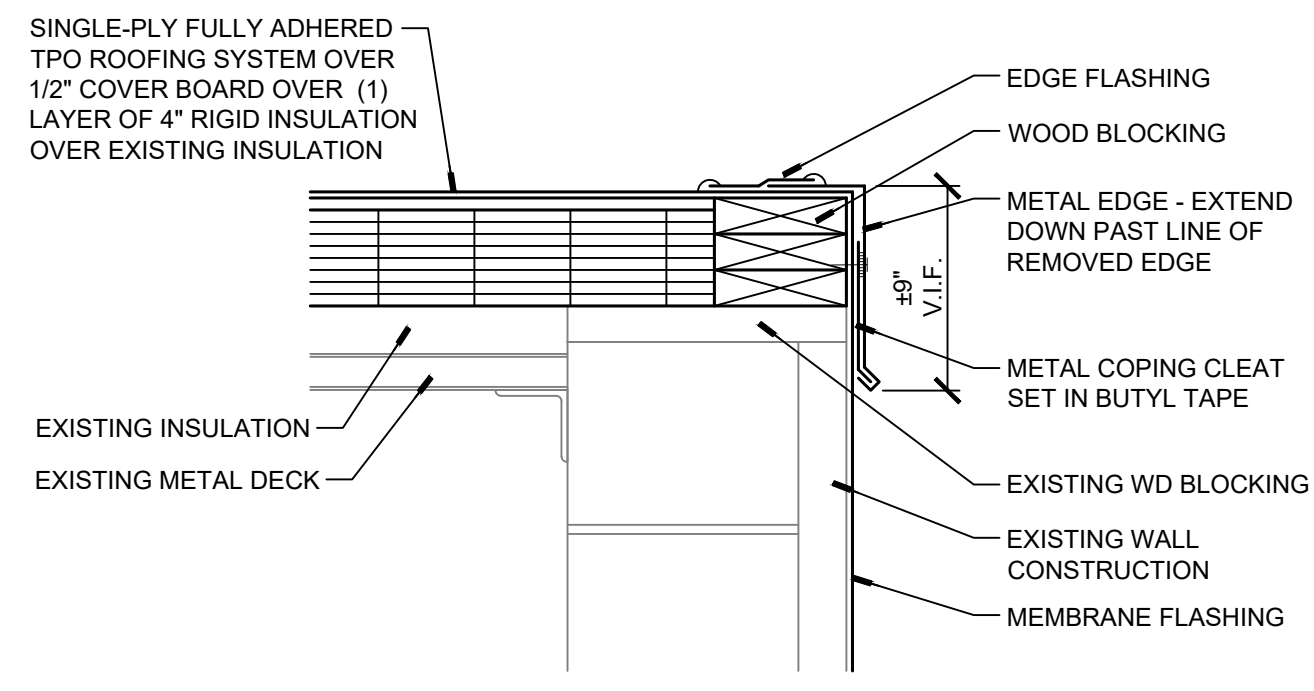
- ◇ NO ROOFING WORK UNDER THIS CONTRACT IN THIS AREA
- ◇ PROVIDE SINGLE-PLY FULLY ADHERED TPO ROOFING SYSTEM OVER (1) LAYER OF 1/2" COVER BOARD ADHERED OVER (1) LAYER OF 2 1/2" RIGID INSULATION MECHANICALLY FASTENED THRU THE EXISTING INSULATION INTO THE EXISTING METAL DECK- PROVIDE COPINGS, EDGE METAL, TREATED WOOD BLOCKING AND FLASHINGS AROUND PERIMETER AS DETAILED
- ◇ PROVIDE SINGLE-PLY FULLY ADHERED TPO ROOFING SYSTEM OVER (1) LAYER OF 1/2" COVER BOARD ADHERED OVER (1) LAYER OF 2 1/2" RIGID INSULATION ADHERED OVER (1) LAYER OF 3" RIGID INSULATION ADHERED TO 1/2" COVER BOARD MECHANICALLY FASTENED THRU THE EXISTING WOOD DECK - PROVIDE COPINGS, EDGE METAL, TREATED WOOD BLOCKING AND FLASHINGS AROUND PERIMETER AS DETAILED
- ◇ BASE BID - SHINGLE ROOF SYSTEM OVER ICE AND WATER MEMBRANE OVER 4.1" VENTED NAILABLE ROOF INSULATION MECHANICALLY FASTENED INTO EXISTING NAILABLE INSULATION
- ◇ ALTERNATE BID #1 - STANDING SEAM METAL ROOFING SYSTEM OVER ICE AND WATER MEMBRANE OVER 3.5" NON-VENTED NAILABLE ROOF INSULATION OVER EXISTING NAILABLE INSULATION
- ◇ BASE BID ONLY - PROVIDE RIDGE VENT
- ◇ NEW METAL GUTTER - PROVIDE 4 X 5 DOWNSPOUT TO DUMP ON TO THE ROOF ON THE EAST END OF THE GUTTER - PROVIDE WALK PAD UNDER DOWNSPOUT
- ◇ PROVIDE VERTICAL METAL COUNTERFLASHING OVER TERMINATION BAR.



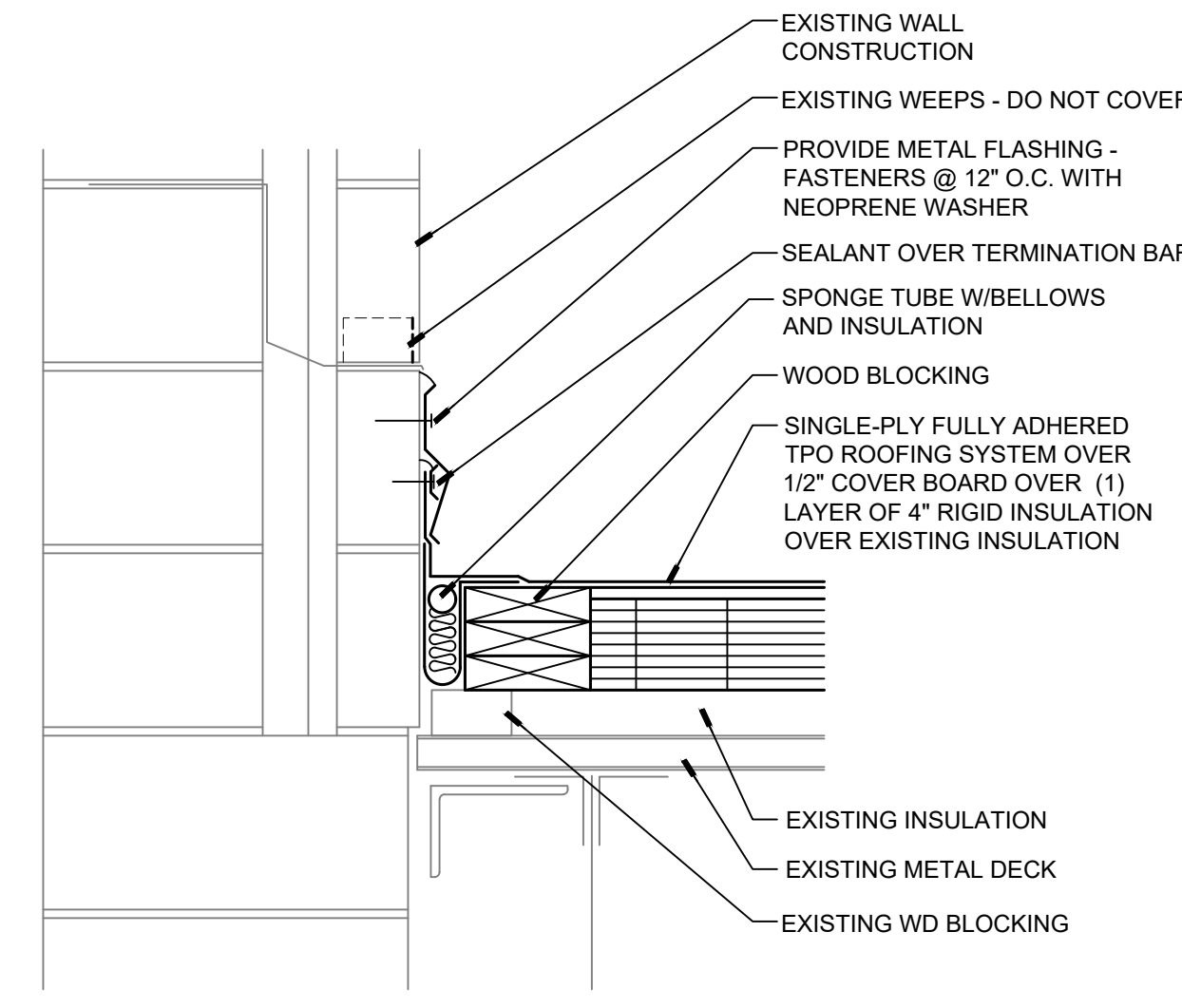
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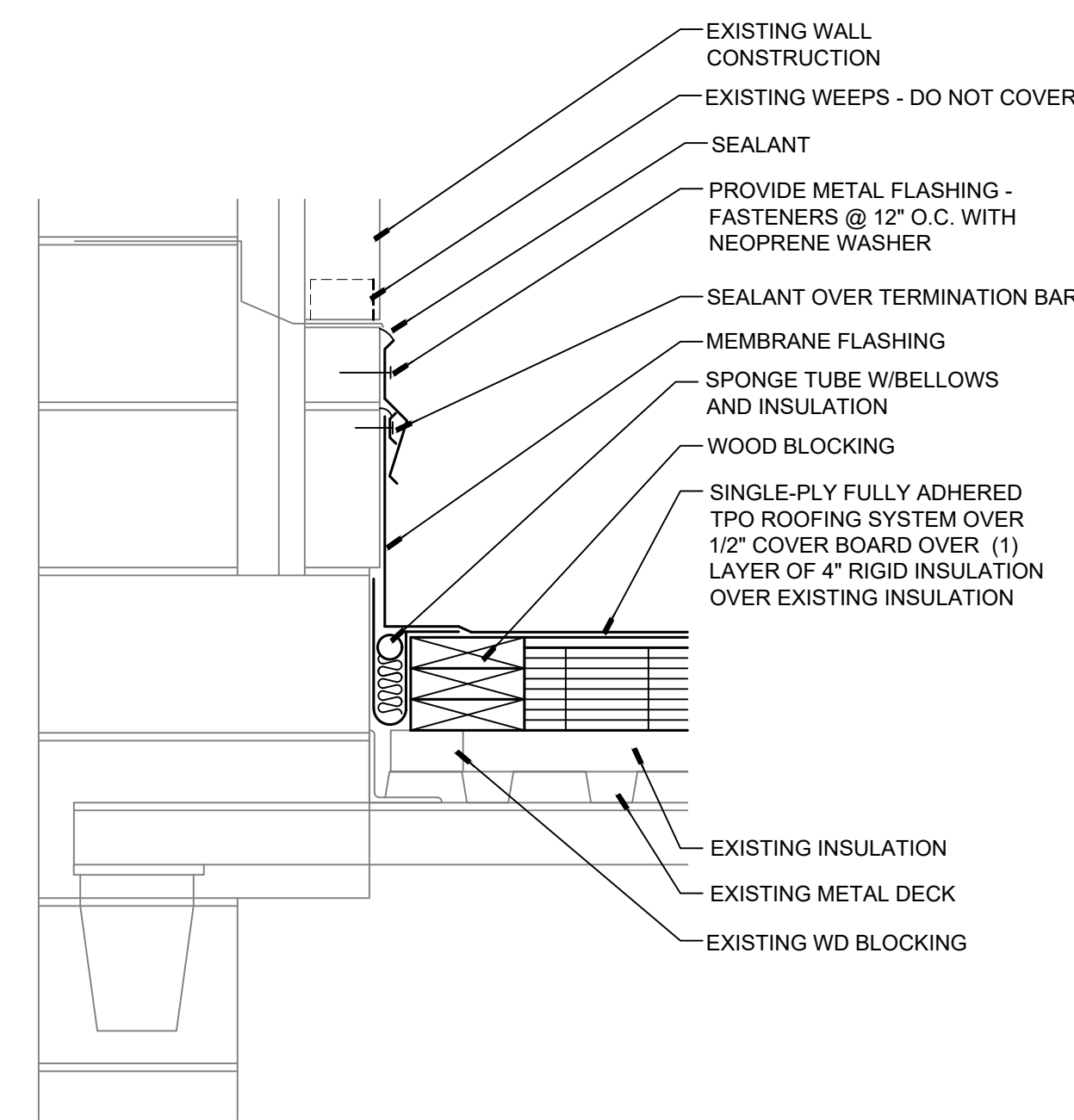
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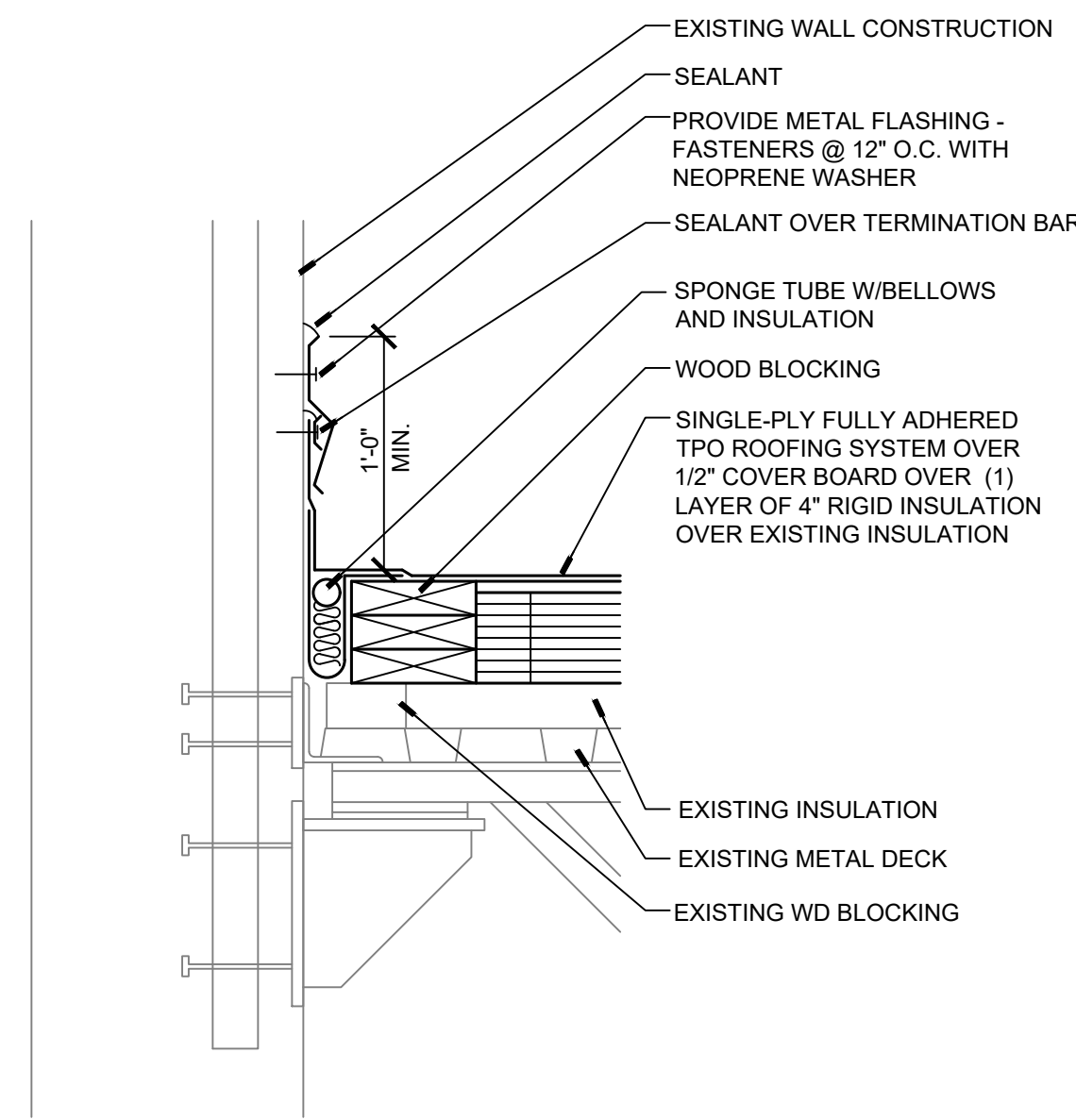
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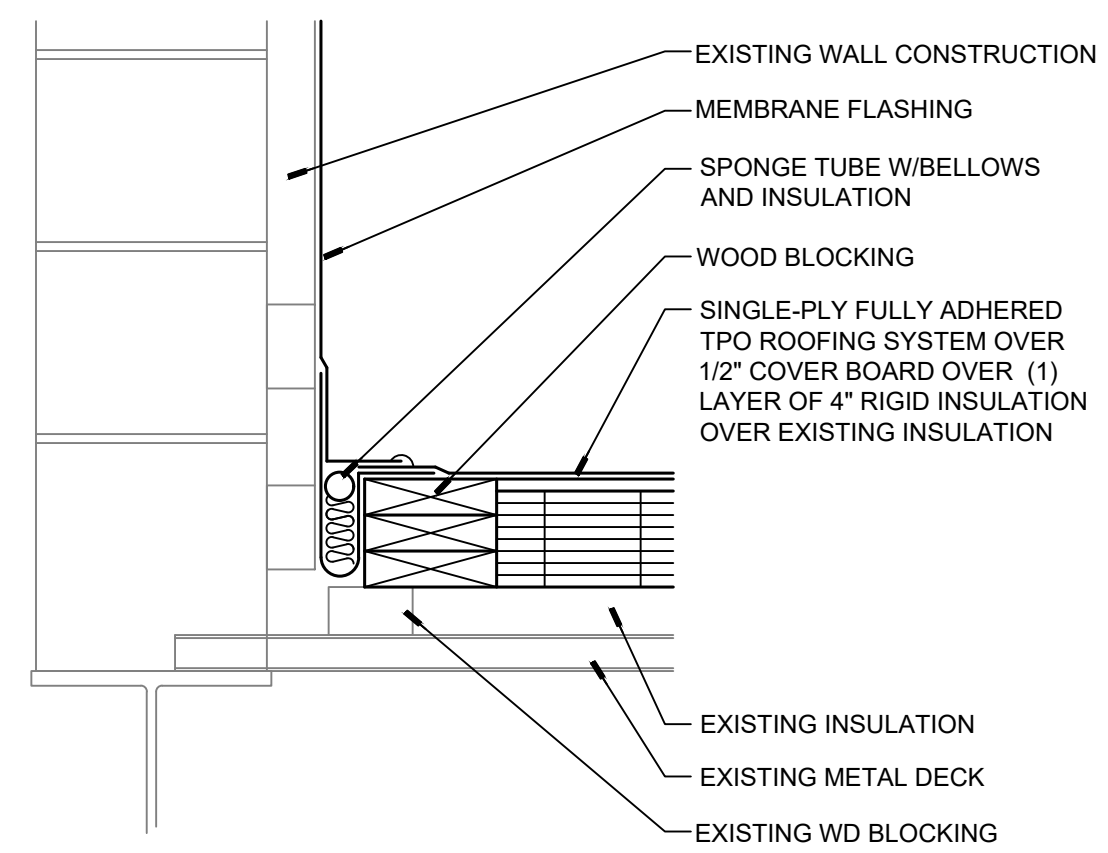
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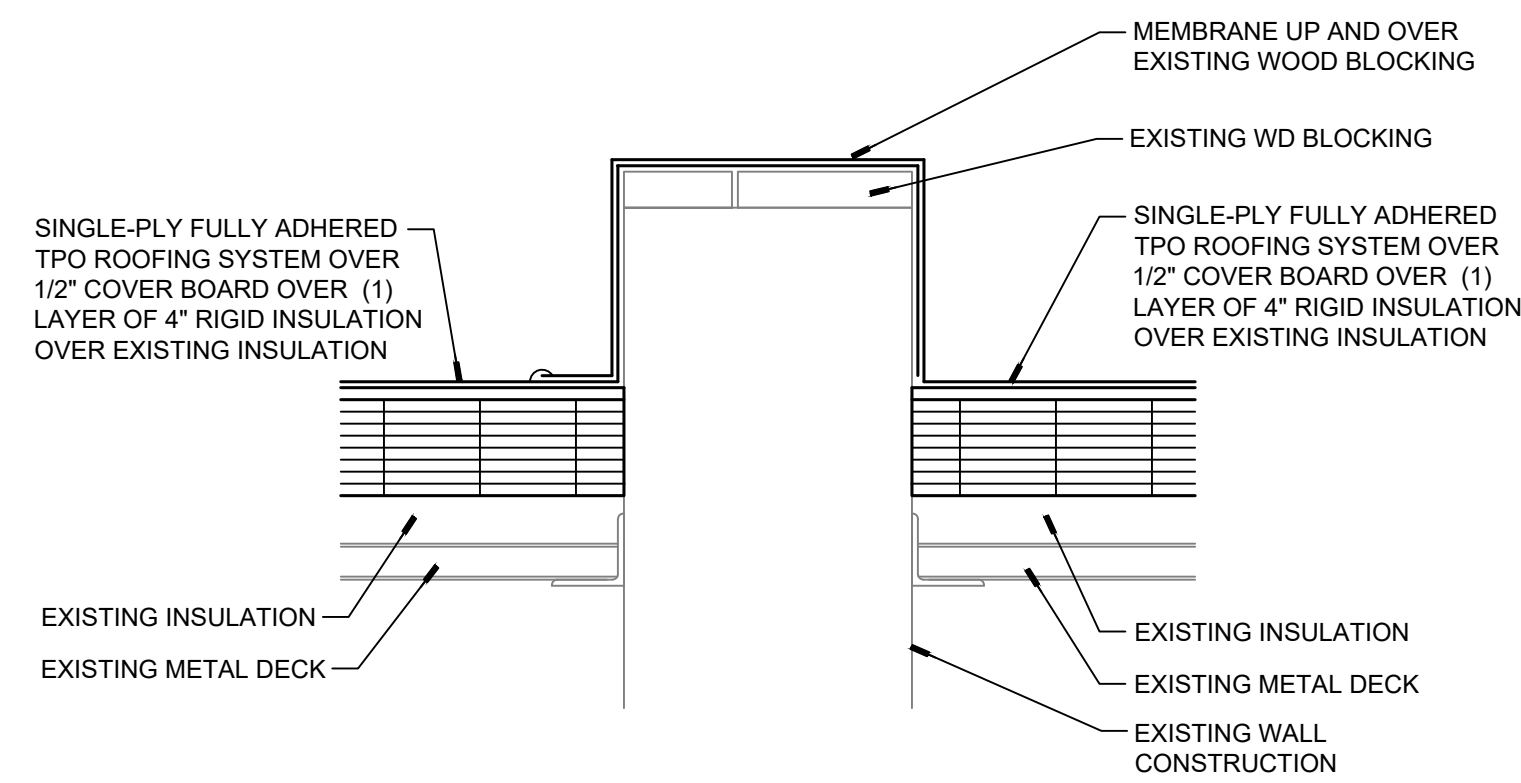
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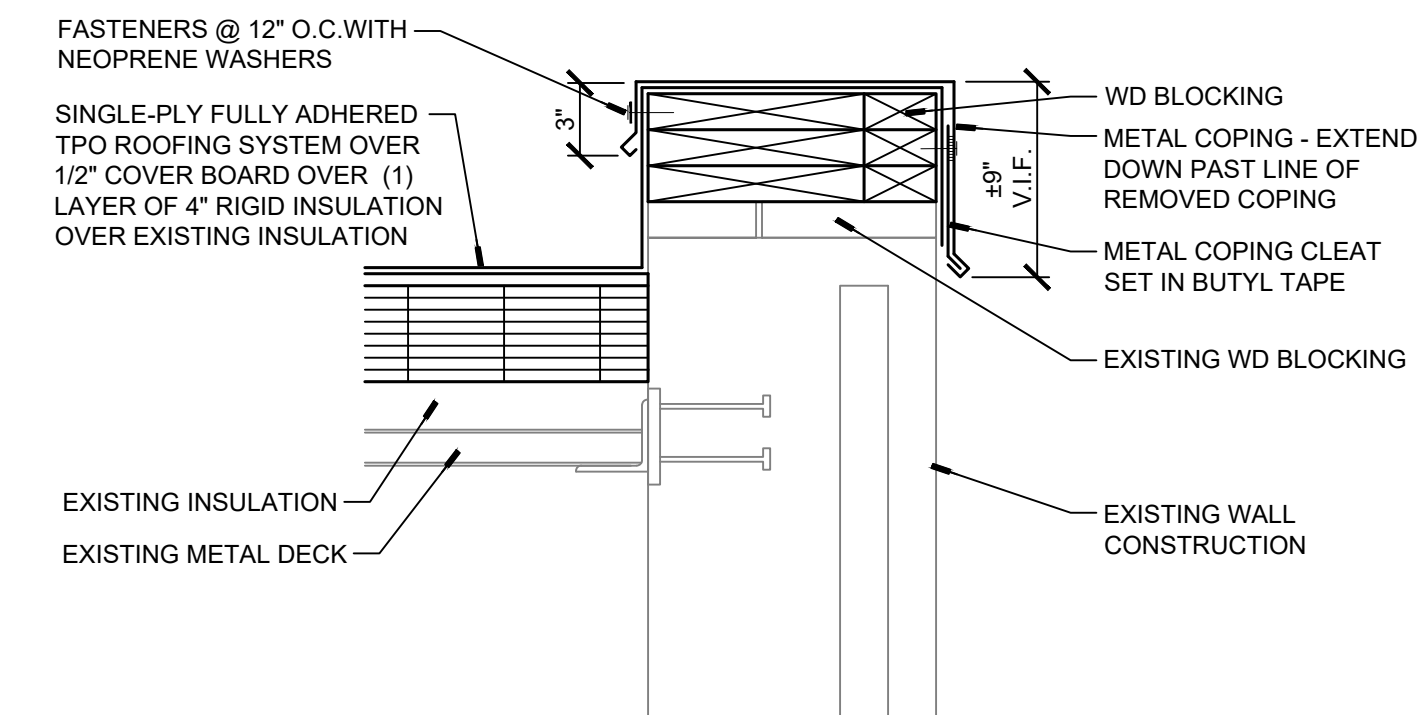
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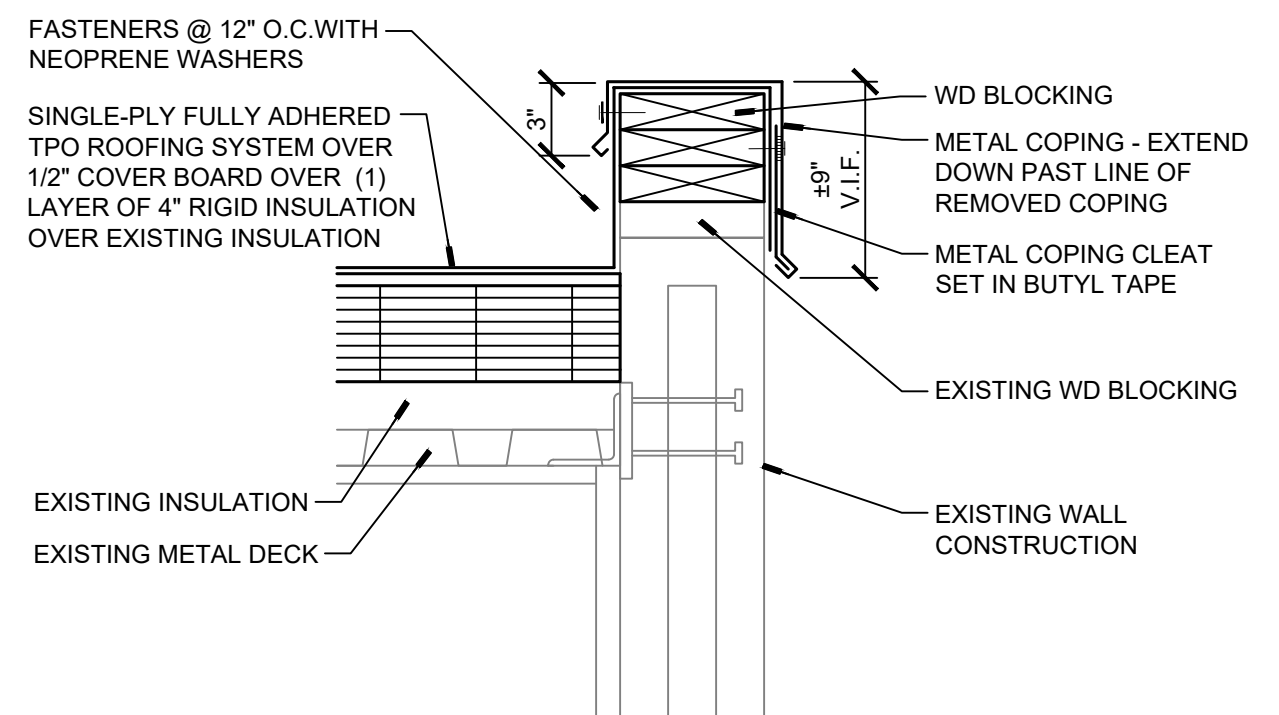
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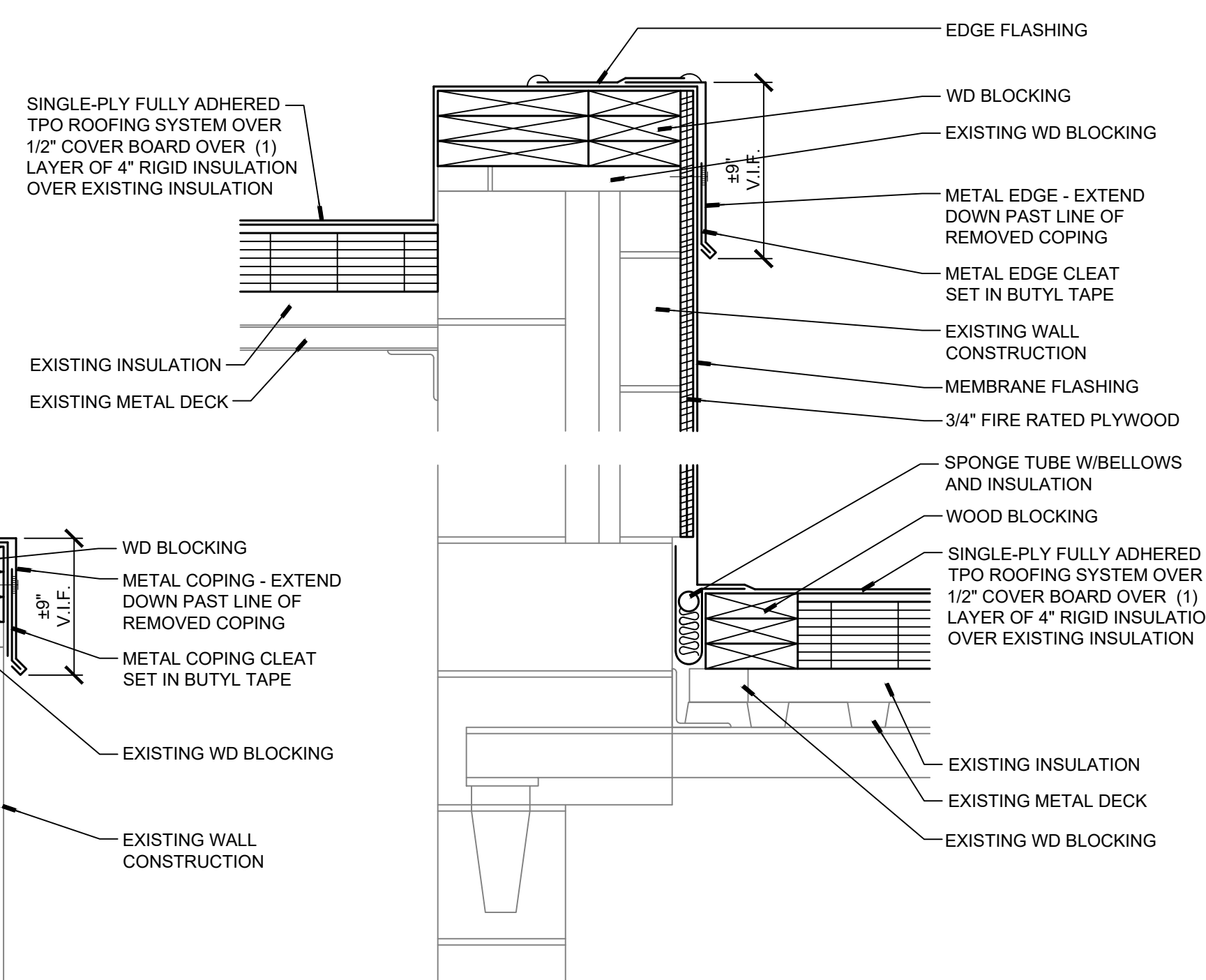
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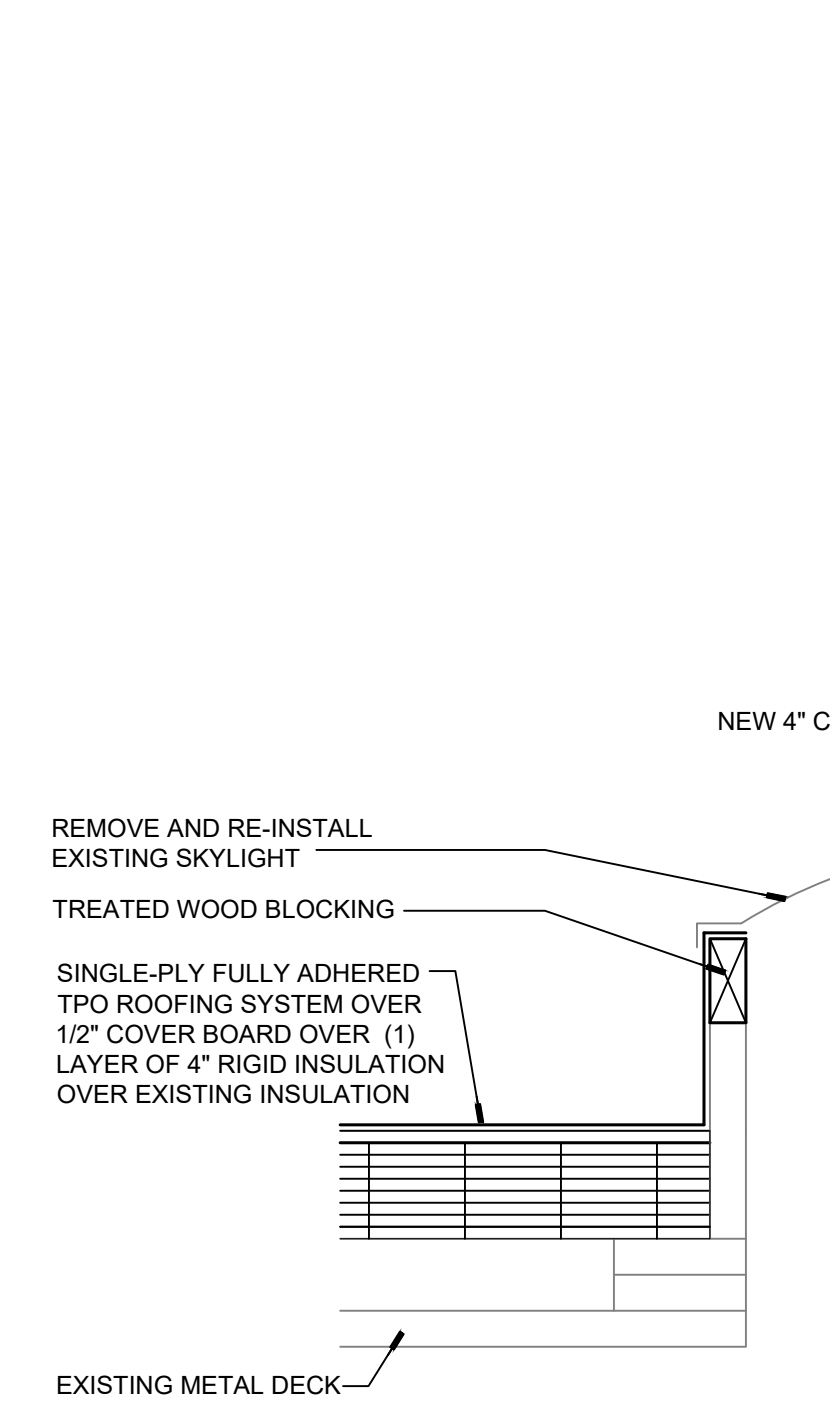
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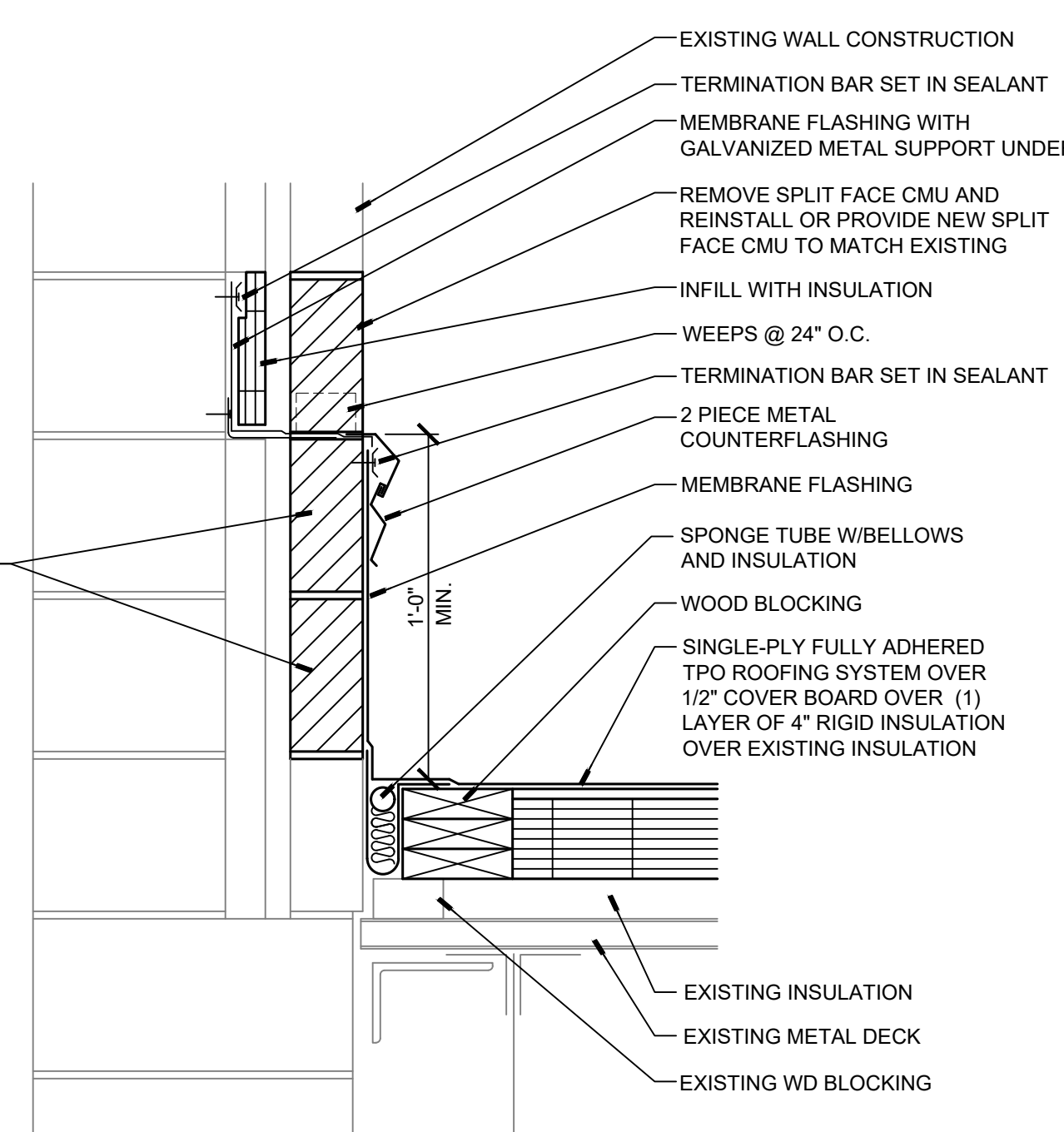
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11 DETAIL
SCALE: 1-1/2"=1'-0"



12 DETAIL
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13 DETAIL
SCALE: 1-1/2"=1'-0"

SHEET IDENTIFICATION			
ELLIS ELEMENTARY SCHOOL			
DETAILS			
PROJECT INFORMATION	March 8, 2022		
Date	Rev. Date	Rev. Date	Rev. Date
			RLJA Proj 2021-092
SHEET NUMBER			A105
			OF
			5