

**Town of Vernon
Design Review Commission (DRC)
Wednesday, March 2, 2022
7:00 P.M.
Council Chambers
Vernon Town Hall
14 Park Place, 3rd floor
Vernon, CT**

MEETING AGENDA

1. Call to Order & Roll Call
2. Approval of the Minutes from the February 2, 2022 meeting
3. Referral from Town Planner

3.1 PZ-2022-05, 501 Talcottville Rd. An Application of Vernon Development LLC for a Site Plan and Special Permits to develop a 10,000 sq.ft. day care center at 501 Talcottville Rd. (Tax Map 09, Block 007, Parcel 0001D).

4. Other Business
5. Adjournment

Shaun Gately on behalf of,
Design Review Commission

Town of Vernon
Design Review Commission (DRC)
Wednesday, February 2, 2022, 7:00 p.m.
Virtual ZOOM Meeting

RECEIVED
VERNON TOWN CLERK
22 FEB -7 AM 10:10

DRAFT MINUTES

1. Call to Order and Roll Call

Chairperson Holt called the meeting to order at 7:00 p.m. Also in attendance were Commission Members Stephen Ransom and Eva Perrina. Staff members present were Shaun Gately, Economic Development Director, and George McGregor, Town Planner.

2. Approval of Minutes from the January 5, 2022, meeting
Stephen Ransom MOVED to accept the minutes from the January 5, 2022, meeting as presented. Eva Perrina seconded. Motion carried with one abstention.

3. Referral from Town Planner

3.1 Application **[PZ-2022-02]**, CT Golf Land, LLC has requested modifications to an approved Site Plan of Development and special permits for site grading, new construction, additions, and other activities on property located at 95 Hartford Tpke. (Assessor ID: Map 1, Block 158, Parcel 00095).

Present were Mark Peterson, P.E., of Gardner & Peterson Associates, LLC, and Jerry Fornarelli and Steven Lamesa, applicants.

Mark Peterson opened by explaining Phase II of the application, discussing the revitalization of Golf Land, buildings, material, lighting, parking lots, plantings, and fencing. Jerry Fornarelli explained the recently submitted building changes, themes, and lighting. Discussion took place.

*Stephen Ransom MOVED to approve Application **[PZ-2022-02]** with the stipulation that the Applicants provide landscape design and signage. Eva Perrina seconded. Motion with the stipulations carried unanimously.*

3.2 Application **[PZ-2022-03]**, an Application by Jerry Fornarelli for a modification to an approved site plan and special permits from Section 5 of the Zoning Regulations, in order to construct a deck addition, pavilion structure, and storage building at 57 Hartford Turnpike (Tax Map 01, Block 0158, Parcel 00057).

Mark Peterson opened discussion about the Rocking Horse Smoke House explaining the site plan map, building expansion, and additional buildings. Jerry Fornarelli and Steven Lamesa discussed the pavilion, plantings, roofing, fencing around perimeter, lighting, parking, dumpster, roof vents, and railings for roof vents.

Stephen Ransom MOVED to approve Application [PZ-2022-03] with the stipulation that the Applicants provide plans for the following: decorative fencing around roof vents, fencing around pavilion, landscape design, signage for the building, additional lighting, and food truck design. Eva Perrina seconded. Motion with the stipulations carried unanimously.

4. Other Business

4.1 Election of Officers

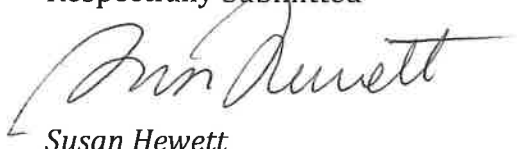
With no opposition, commission members confirmed the current slate of appointments: Jennifer Holt, Chairperson and Stephen Ransom, Vice Chairman.

4.2 Discussion took place regarding possible upcoming applications.

5. Adjournment

Chairperson Holt MOVED to adjourn at 7:55pm. Stephen Ransom seconded. Motion carried unanimously.

Respectfully Submitted

A handwritten signature in cursive script, appearing to read "Susan Hewett", written in dark ink.

Susan Hewett
Recording Secretary



RUSO
SURVEYORS-ENGINEERS

1 Shoham Rd. East Windsor, CT 06088

CT: (860) 623-0569

MA: (413) 785-1158

LETTER OF TRANSMITTAL

DATE: 1-24-22

JOB NO. 2021-083

ATTN: George McGregor

RE:

The Learning Experience (TLE)

501 Talcottville Road

Vernon, CT

TO Town of Vernon Planning & Zoning Commission
55 West Main Street, 2nd Floor
Vernon, CT 06066

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover Via delivery, the following items:

☒ Cover Letter ☒ Paper Prints ☐ Mylars ☐ Specifications ☐ Report ☒ Other

COPIES	DATE	SHEET NO.	DESCRIPTION
5	1-24-22		Cover Letter
5	1-11-22	-/12	Site Plans
5	1-24-22		Architectural Floor Plans & Elevations
5	12-23-21		Application for Site Plan of Development & Special Permits
5			Abutters List & Mailing Labels
5			Property Deed w/ Description
5			LID Checklist
2	1-05-22		Drainage Report
1	1-24-22		Check No. <u>13963</u>
5	6-06-21		Traffic Study

THESE ARE TRANSMITTED (as checked below):

☒ For approval ☐ For your use ☐ For review and comment ☐ As requested
☐ For signature ☐ For your records ☐ Returned after loan to us ☐ For bids due _____

REMARKS:

cc: Eric Spungin

SENT BY: Timothy Coon



January 24, 2022

George McGregor
Town Planner
55 West Main Street, 2nd Floor
Vernon, CT 06066

Re: The Learning Experience (TLE)
501 Talcottville Road, Vernon

Dear George,

On behalf of the Vernon Development LLC, I am pleased to submit the attached application for approval of a Site Plan of Development and Special Permits associated with the development of The Learning Experience (TLE) Academy of Early Education at 501 Talcottville Road in Vernon, Connecticut. The subject parcel currently consists of 4.6 acres of undeveloped woodland located at the intersection of Dart Hill Road and Talcottville Road (Rte. 83). In conjunction with the proposed TLE development, the owner is proposing to divide the existing parcel into two lots, including a 2.0 acre lot adjacent to Dart Hill Road to be developed with the TLE facility, and a remaining 2.6 acre lot fronting on Talcottville Road for potential future development. The subdivision application to split the parcel will be submitted to be considered concurrently with the site plan/special permit applications for the TLE development.

The proposed TLE development will involve the construction of a 10,000 square foot building, 5,000 square foot playground and associated parking. Access to the site will be provided via a driveway on Dart Hill Road directly across from the western Walgreens drive. A traffic study prepared by Fuss & O'Neill is included with the application materials. The traffic study concludes that the proposed development will not have a significant impact to the traffic operations in the vicinity of the site.

Runoff from the building and parking lot will be directed to a subsurface infiltration system and surface infiltration basin designed to provide treatment, groundwater recharge and detention prior to discharge at the edge of the existing on-site wetland. A retaining wall is proposed along the southern edge of the development in order prevent any direct wetland disturbance.

If there are any questions, or you require further information, please call me at (860) 623-0569.

Very truly yours,

A handwritten signature in black ink that reads "Timothy A. Coon". The signature is written in a cursive, flowing style.

Timothy A. Coon, P.E.
J.R. Russo & Associates, LLC

Attachments

cc: Vernon Traffic Authority
Eric Spungin

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Eric Spungin
Title: Member
Company: Vernon Development LLC
Address: 56 East Main St., Avon, CT 06001

Telephone: 860-677-5607 Fax: _____
E-mail: espungin@hotmail.com

II. PROPERTY OWNER (S):

Name: James Basile
Title: _____
Company: 501 Talcottville Road LLC
Address: 43 Ridgcrest Lane
Bristol, CT 06010-2910
Telephone: 860-202-9540 Fax _____
E-mail: _____

III. PROPERTY

Address: 501 Talcottville Road

Assessor's ID Code: Map # 09 Block # 007 Lot/Parcel # 0001D

Land Record Reference to Deed Description: Volume: 2026 Page 51

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☐ No

☒ Yes

☐ No work will be done in regulated area

☒ Work will be done in the regulated area

☒ IWC application has been submitted

☐ IWC application has not been submitted

Zoning District Commercial

Is this property located within five hundred (500) feet of a municipal boundary?

☒ No

☐ Yes:

☐ Bolton

☐ Coventry

☐ Ellington

☐ Manchester

☐ South Windsor

☐ Tolland

Check if Historic Status Applies:

☐ Located in historic district:

☐ Rockville

☐ Talcottville

☐ Individual historic property

IV. PROJECT

Project Name: The Learning Experience

Project Contact Person:

Name: Timothy Coon

Title: Project Engineer

Company: J.R. Russo + Associates LLC

Address: P.O. Box 938
East Windsor, CT 06088

Telephone: 860-623-0569 Fax: 860-623-2485

E-mail: tcoon@jrrusso.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Construction of a 10,000 SF Daycare Facility

General Activities: Filling, excavation + building
and parking lot construction

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6, 8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 X Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

 X Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

 X Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- X Special Permit for parking (ZR Sec. 4; 12; 21.4) 4.9.4.15.1
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

☒ Other Special Permit(s). Cite ZR Section and describe activity:

Special Permit for structure within 200' of resid. structure (4.9.4.15.2)

Special Permit for parking within 100' of resid. structure (4.9.4.15.3)

☐ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

☐ **Zoning:**

☐ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

☐ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

☐ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

☐ Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

Eli Spungin Member
Eli Spungin
Vernon Development LLC
Signature
[Signature] Member
James D. Basore
Signature
501 Talcottville Road, LLC

12/23/21
Date
12/23/21
Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____

Abutters List/Mailing Labels (200')

KAO LLC
192 Talcott Ridge Rd
South Windsor, CT 06074

Gregory Gozzo
C/O Gozzo Estate Homes
190 Spyglass Lane
Jupiter, FL 33477

Independence Realty Group LLC
c/o Webster Bank: Corp RE 203
145 Bank Street
Waterbury, CT 06702

Kenneth Busenbark
32 Worcester Road
Vernon, CT 06066

Richard & Gloria J. Martocchio
36 Worcester Road
Vernon, CT 06066

Nelson J. & Theresa M. Chiasson
42 Worcester Road
Vernon, CT 06066

Brian F. Oulette
& Stephanie M. Brow
46 Worcester Road
Vernon, CT 06066

John Coro
52 Worcester Road
Vernon, CT 06066

James D. & Bonnie R. King
58 Worcester Road
Vernon, CT 06066

Thomas Shirshac
64 Worcester Road
Vernon, CT 06066

Eugene P. & Judith S. Veillette
786 Dart Hill Road
Vernon, CT 06066-2302

Town of Vernon
14 Park Place
Vernon, CT 06066

Vernon Properties LLC
605 Middel Street, No. 15
Braintree, MA 02184-5817

Realty Income Corp
PM Dept 0704
11995 El Camino Real
San Diego, CA 92130

O'Reilly Automotive Store Inc.
P.O. Box 9167
Springfield, MO 65801

New 500 East LLC
44 Caisson Road
Colchester, CT 06415

Allen C. & Leatrice Trombley
28 Worcester Road
Vernon, CT 06066

Ian B. Carlson
24 Worcester Road
Vernon, CT 06066

Eileen M. Reivik
47 Worcester Road
Vernon, CT 06066

Dorine L. Decarli
51 Worcester Road
Vernon, CT 06066

Monica Cofrancesco
776 Dart Hill Road
Vernon, CT 06066

IF RETURN TO:
STIEBEL
86 FARMINGTON AVE.
HARTFORD, CT. 06105

VOL 2026 PG 55
INST# 51

QUITCLAIM DEED

VICTOR J. BASILE ("Releasor"), of 43 Ridgecrest Lane, Bristol, Connecticut, for no consideration paid, grants to 501 TALCOTTVILLE ROAD, LLC of 43 Ridgecrest Lane, Bristol, Connecticut ("Releasee") all that certain piece or parcel of land together with all improvements thereon and appurtenances thereto in the Town of Vernon, Connecticut, as more particularly described on Exhibit A attached hereto and made a part hereof ("Premises"). Releasee herein assumes and agrees to pay all real property taxes attributable to the Premises on the list of October 1, 2006 and thereafter.

SAID PREMISES IS CONVEYED SUBJECT TO, WITHOUT LIMITATION:

1. Taxes of the Town of Vernon on the List of October 1, 2006 now due and payable and thereafter, which Releasee herein assumes and agrees to pay.
2. Any and all provisions of any ordinance, municipal regulation, or public or private law.
3. Declarations, restrictions, covenants, matters and easements of record and any state of facts an accurate survey or personal inspection of the Premises might reveal.

Signed this 7th day of February, 2007

Witnessed by:


MICHAEL S. STIEBEL, as witness


VICTOR J. BASILE


ROBERT A. FIERCE, as witness

STATE OF CONNECTICUT)

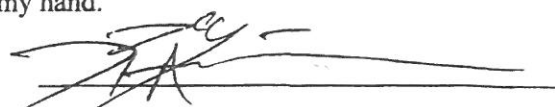
COUNTY OF)

ss:

Hartford
(town)

On this the 7th day of February, 2007, before me, the undersigned officer, personally appeared Victor J. Basile, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained and as his free act and deed.

In witness whereof I hereunto set my hand.


Commissioner of the Superior Court
Notary Public
My Commission Expires:

Grantee's Address: 43 Ridgecrest Lane
Bristol, Connecticut 06010

CONVEYANCE TAX RECEIVED
STATE \$.00
TOWN \$.00
Bernice K. Dixon
TOWN CLERK OF VERNON

Exhibit A

A certain piece or parcel of land situated on the westerly side of Talcottville Road (Route #83) and the southerly side of Dart Hill Road in the Town of Vernon, County of Tolland and State of Connecticut, being shown as "Parcel 3 Parcel contains 200.968 S.F.±, 4.6136 AC±", on a certain map or plan entitled "Sub-division Plan Prepared For John J. Mahr, Sr. Boundary Map Talcottville Rd. & Dart Hill Rd. Vernon, Conn. AR Lombardi Associates, Inc. Consulting Civil and Sanitary Engineers Land Surveyors Vernon Connecticut Comm. No: 84-1091 Date: March 7, 1985 Scale: 1" = 40' Sht. No: 1 of 2", which map or plan is on file or to be filed in the Vernon Town Clerk's Office and to which reference may be had for a more particular description thereof. Said Parcel 3 is more particularly bounded and described as follows:

Commencing at a point in the southerly street line of Dart Hill Road, which point marks the northwesterly corner of the herein-described premises and the northeasterly corner of land now or formerly of Antoine F. Bourcher, as shown on said map; thence proceeding in a southerly direction along said land now or formerly of Antoine F. Bourcher, land now or formerly of Thomas A. & Linda M. Shirshac, and land now or formerly of Eileen M. Strube, partly by each, a distance of 408.91 feet to a point; thence turning an obtuse interior angle of 179° 35' 27" and proceeding along land now or formerly of Alice M. Coro, land now or formerly of Peggy O. Tracy, land now or formerly of Nelson J. and Teresa M. Chiasson, land now or formerly of Paul J. and Linda Jobkowiak and land now or formerly of David M. Glenn Jr. and Sharon L. Glenn, partly by each, as shown on said map, a distance of 470.12 feet to a point; thence turning an obtuse interior angle of 103° 44' 36" and proceeding along Parcel 1, as shown on said map, a distance of 11.73 feet to a point; thence turning an acute interior angle of 76° 53' 42" and proceeding along land now or formerly of Cardinal Industries, Inc., as shown on said map, a distance of 211.66 feet to a point; thence turning an obtuse interior angle of 180° 04' 41" and proceeding along land now or formerly of Gregory Gozzo and David J. Sweeney, as shown on said map, a distance of 268.00 feet to a point; thence turning an obtuse interior angle of 289° 53' 43" and proceeding along said land now or formerly of Gregory Gozzo and David J. Sweeney, a distance of 403.00 feet to a point in the westerly street line of Talcottville Road; thence proceeding along the arc of a curve to the left having a radius of 2,506.67 feet, a distance of 322.92 feet along the westerly street line of Talcottville Road to a Connecticut Highway Department Monument in said westerly street line of Talcottville Road; thence proceeding along said westerly street line of Talcottville Road, a distance of 41.55 feet to a point; thence turning an acute interior angle of 82° 53' 05" and proceeding along Parcel No. 2, as shown on said map, a distance of 200.86 feet to a point; thence turning an interior obtuse angle of 277° 06' 55" and proceeding along Parcel No. 2, as shown on said map, a distance of 159.68 feet to a point; thence turning an interior acute angle of 77° 09' 29" and proceeding along the southerly street line of Dart Hill Road, as shown on said map, a distance of 352.53 feet to the point or place of beginning.

RECORDED IN
VERNON LAND RECORDS
Bernice K. Dixon
VERNON TOWN CLERK
ON Dec 05, 2008 AT 12:30P

LID CHECKLIST

Applicants must complete and submit the following checklist with the application.

Date: 12/22/21

Project: The Learning Experience, 501 Talcothville Road

Conformance with the following criteria shall be initiated in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided by the applicant in the space provided below. Comments will be reviewed with Town Staff at the scheduled Development Staff Meeting and documented.

Item	Description	Verified	Comments
1	An Existing Conditions Plan is provided documenting sensitive natural resources including but not limited to existing wetlands (as designated by a Certified Soils Scientist in Connecticut), streams, ponds, vernal pools, flood zones, stream channel encroachment lines, soil types and infiltration rates, wells, tree lines, property boundaries, and other items that may be requested by the Town.	TAC	
2	Utilizing the Existing Conditions Plan as a guide, development has been located to maximize preservation of contiguous natural sensitive areas.	TAC	
3	Proposed site developments for residential or two family dwellings on more than one individual parcel, all commercial, industrial, and retail developments have been guided by the applicable requirements of the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual.	TAC	
4	Bioretention Basins or Rain Gardens have been incorporated within yards, median strips, cul-de-sacs islands, and parking lot islands.		All runoff diverted to an infiltration basin for treatment + groundwater recharge.

Date: 12/22/21

Project: Five Leaning Experience, 501 Talcoville Rd
Conformance with the following criteria shall be initiated in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
5	Dry Wells have been incorporated into the design to control roof and pavement runoff.		Roof runoff diverted directly to infiltration basin.
6	Permeable (Porous) Pavement has been incorporated into areas of low traffic, parking lots, residential and light commercial use driveways, walkways, bike paths, etc.		Infiltration provided at infiltration basin.
7	Natural areas including woodlands, regulated wetland areas, naturally vegetated areas have been preserved/ and or replicated to the maximum extent practical.	TAC	
8	Post Development stormwater runoff is at or less than the predevelopment runoff.	TAC	
9	Stormwater infiltration has been provided by the use of underground storage units, devices, and/or infiltration swales/trenches.	TAC	
10	Level spreaders/vegetation have been provided at storm drainage outfalls to enhance water quality and mitigate erosion.	TAC	

Date: 12/22/21

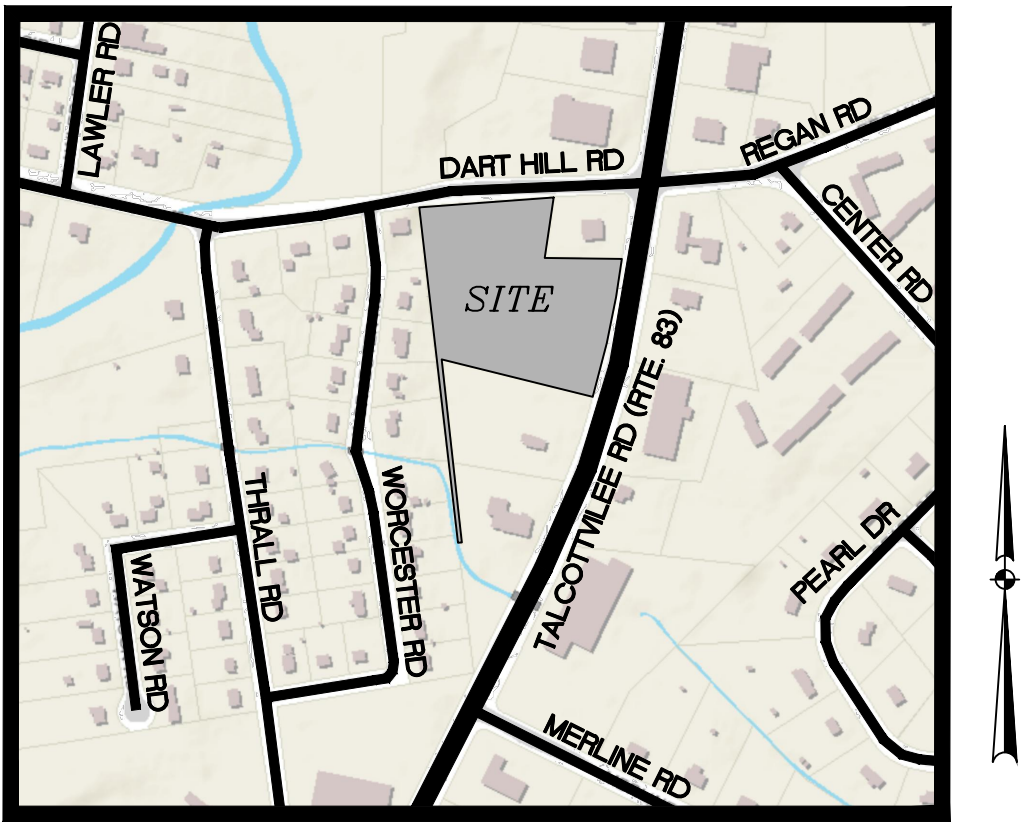
Project: The Leasing Experience 501 Talcothville Rd

Conformance with the following criteria shall be initiated in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
11	On-Site retention/detention facilities have been provided to address water quality and storm water runoff.	TAC	
12	Rain Barrels, cisterns, and/or other rainwater harvesting techniques to reuse rainwater for irrigation and other non-potable uses are incorporated into the design.		Not applicable.
13	An Erosion and Sedimentation Control Plan conforming to the Standards of the Connecticut Guidelines for Soil Erosion and Sediment Control is included in the design.	TAC	
14	A yearly maintenance plan of all components of best management practices associated with storm water management has been provided.	TAC	
15	Impervious area percentages for pre and post development have been provided.	TAC	
16	When conflicts exist between the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual the State Manual shall govern.	TAC	



501 Talcottville Road
Vernon, Connecticut



KEY PLAN MAP
1"=500'

Applicant
Vernon Development LLC
56 East Main Street
Avon, CT 06001
(860) 677-5607

Owner
501 Talcottville Road LLC
43 Ridgecrest Lane
Bristol, CT 06010-2910

LADA, P.C.



Land Planners
104 West Street
Simsbury, CT 06070 (860) 651-4971
Brewster, NY 10509 (845) 278-7424
Email: ladapc@snet.net

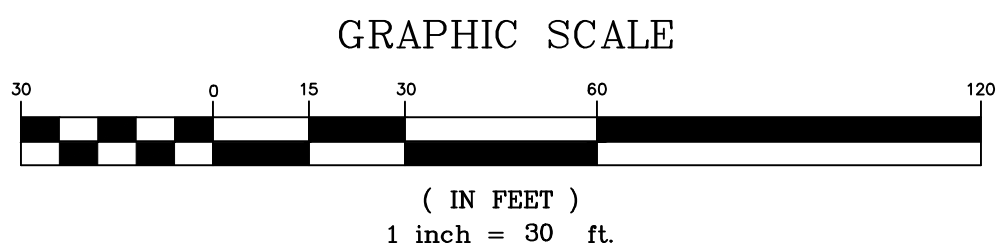


RUSSO

SURVEYORS • ENGINEERS
SERVING CT & MA
J.R. Russo & Associates, LLC
1 Shoham Rd East Windsor CT 06088 • CT 860.623.0569 • MA 413.785.1158
www.jrusso.com • info@jrusso.com

DRAWING INDEX

SHEET TITLE	SHEET NO.	LATEST REVISION
CIVIL		
COVER SHEET	1 of 12	2-14-22
EXISTING CONDITIONS & DEMOLITION PLAN	2 of 12	2-14-22
LAYOUT PLAN	3 of 12	2-14-22
GRADING & EROSION & SEDIMENT CONTROL PLAN	4 of 12	2-14-22
STORM SEWER PLAN	5 of 12	2-14-22
UTILITY PLAN	6 of 12	2-14-22
PLANTING PLAN	7 of 12	2-14-22
EROSION & SEDIMENT CONTROL NOTES	8 of 12	2-14-22
DETAILS	9 of 12	2-14-22
DETAILS	10 of 12	2-14-22
DETAILS	11 of 12	2-14-22
DETAILS	12 of 12	2-14-22

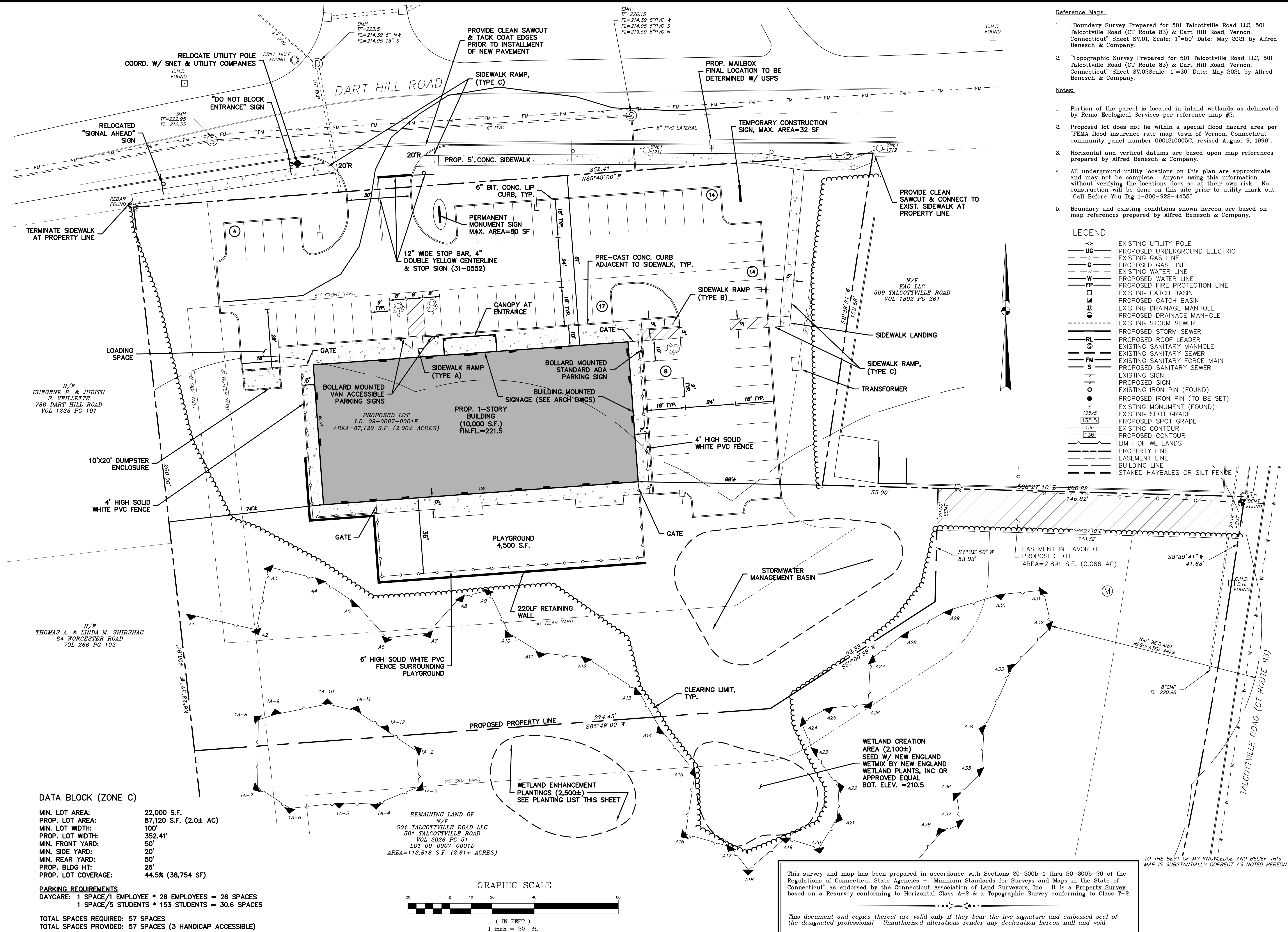


This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2

• • • • •

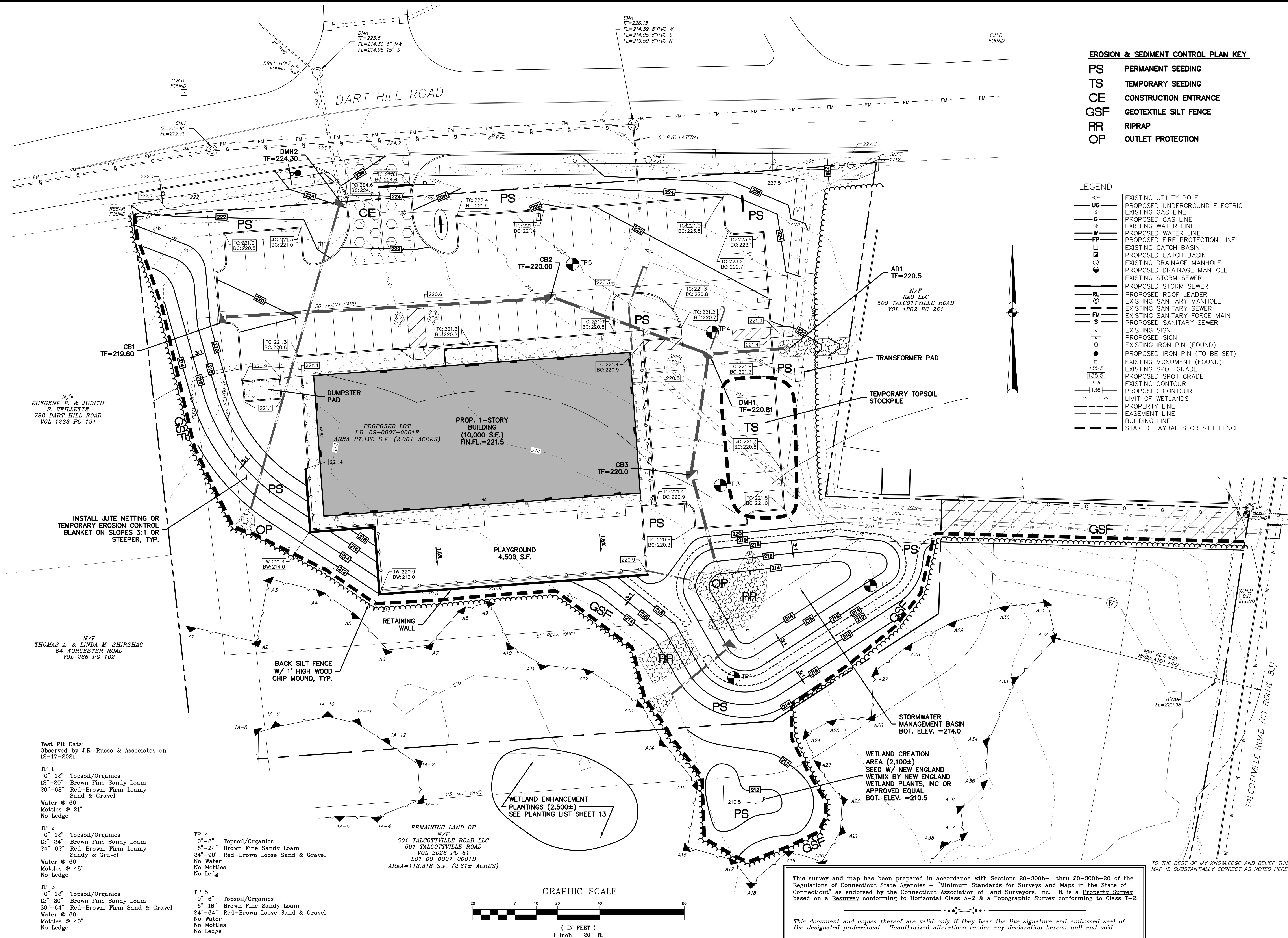
This document and copies thereof are valid only if they bear the live signature and embossed seal of the designated professional. Unauthorized alterations render any declaration hereon null and void.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS
MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



2-14-22	WETLAND MITIGATION, LEAK-OFF, BASIN OUTLET
---------	--------------------------------------------

REVISIONS	
BY: LF/TAC	CHK: JEU



EROSION & SEDIMENT CONTROL PLAN KEY

- PS PERMANENT SEEDING
TS TEMPORARY SEEDING
CE CONSTRUCTION ENTRANCE
GSF GEOTEXTILE SILT FENCE
RR RIPRAP
OP OUTLET PROTECTION

LEGEND

- EXISTING UTILITY POLE
—UG— PROPOSED UNDERGROUND ELECTRIC
—G— EXISTING GAS LINE
—C— PROPOSED GAS LINE
—W— EXISTING WATER LINE
—FP— PROPOSED WATER LINE
—FP— PROPOSED FIRE PROTECTION LINE
□ EXISTING CATCH BASIN
□ PROPOSED CATCH BASIN
● EXISTING DRAINAGE MANHOLE
● PROPOSED DRAINAGE MANHOLE
===== EXISTING STORM SEWER
===== PROPOSED STORM SEWER
—RL— PROPOSED ROOF LEADER
—S— EXISTING SANITARY MANHOLE
—S— EXISTING SANITARY SEWER
—S— EXISTING SANITARY FORCE MAIN
—S— PROPOSED SANITARY SEWER
—S— EXISTING SIGN
—S— PROPOSED SIGN
● EXISTING IRON PIN (FOUND)
● PROPOSED IRON PIN (TO BE SET)
● EXISTING MONUMENT (FOUND)
135.5 EXISTING SPOT GRADE
136 PROPOSED SPOT GRADE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- - - - - LIMIT OF WETLANDS
- - - - - PROPERTY LINE
- - - - - EASEMENT LINE
- - - - - BUILDING LINE
- - - - - STAKED HAYBALES OR SILT FENCE



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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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REVISIONS

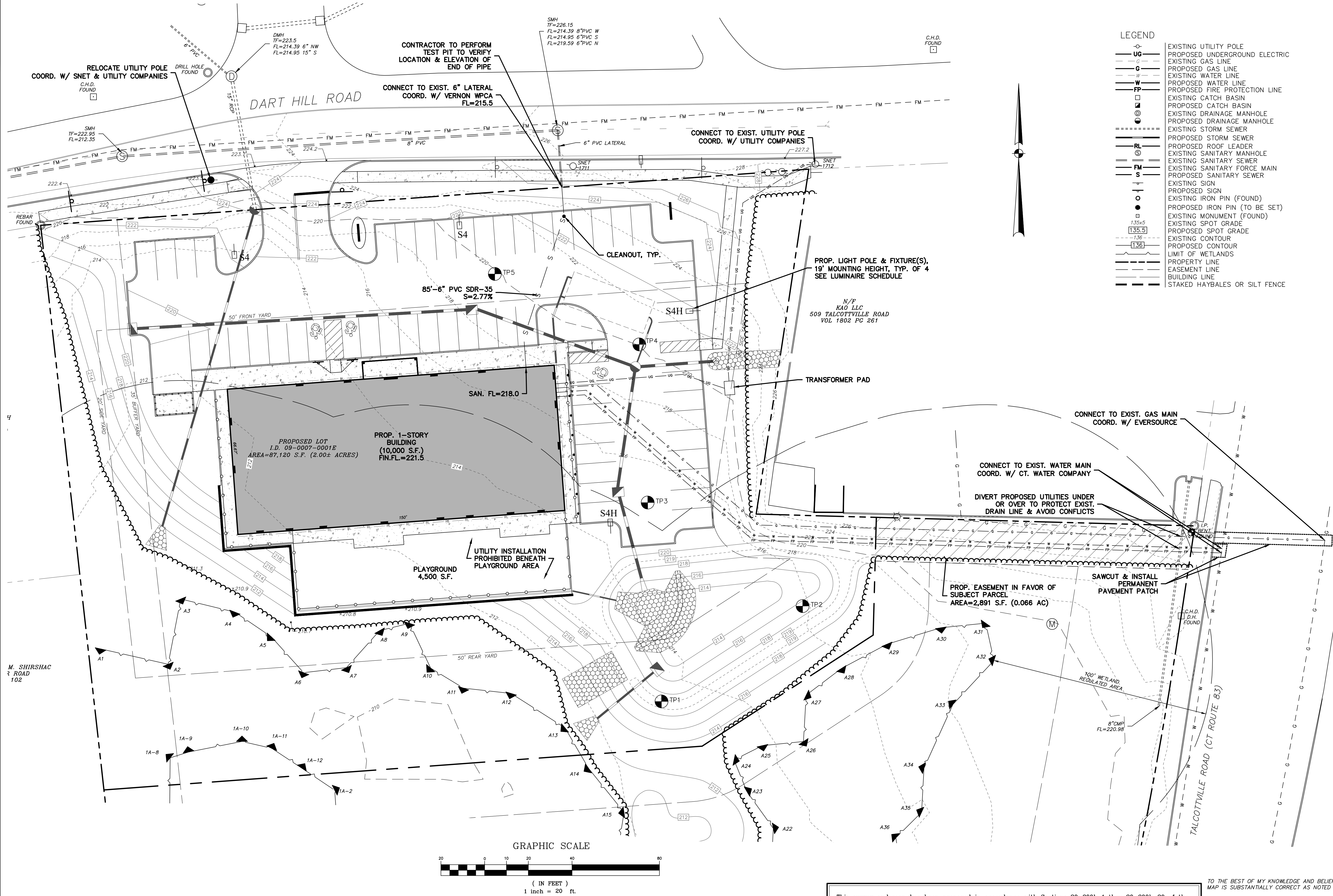
BY: LF/TAC CHK: JEU

The Learning Experience
Property Of
501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06060
Parcel ID: 09-0007-0001D (Zone: C)

**Grading & Erosion
& Sediment
Control Plan**

DATE	1-11-22
SCALE	1"=20'
JOB NUMBER	2021-083
SHEET	4 of 12

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Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
	2	S4	Single	12574	102	0.900	B2-U0-G3	19	Lithonia DSX1 LED P3 40K TFTM MVOLT SPA DBLXD - SSS 18 4C DM19A DBLXD 18FT POLE on 1FT BASE
	2	S4H	Single	11312	125	0.900	B2-U0-G2	19	Lithonia DSX1 LED P4 40K TFTM MVOLT SPA HS DBLXD - SSS 18 4C DM19AS DBLXD 18FT POLE on 1FT BASE

This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

This document and copies thereof are valid only if they bear the live signature and embossed seal of the designated professional. Unauthorized alterations render any declaration hereon null and void.

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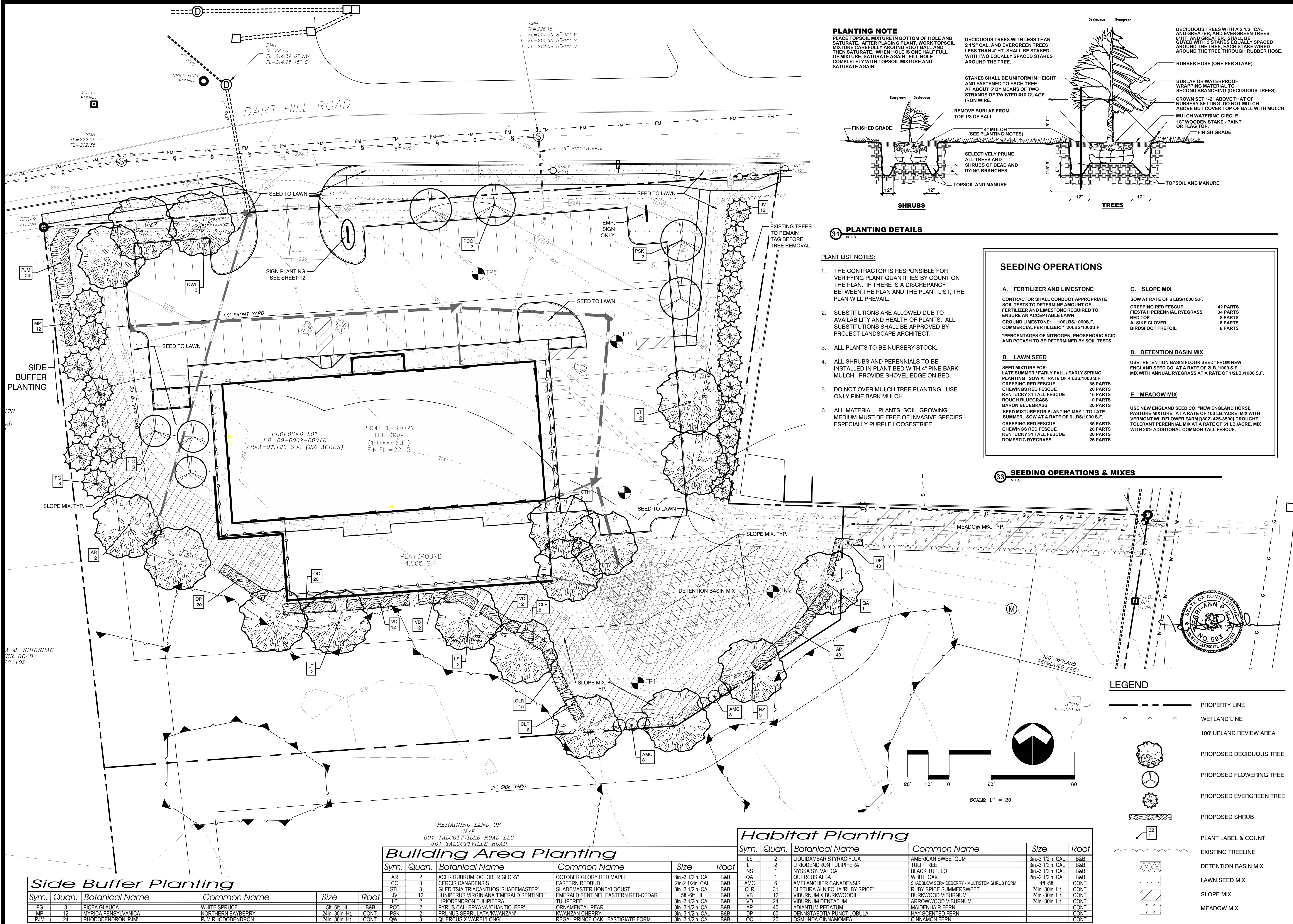
Applicant
Vernon Development LLC
56 East Main Street
Avon, Connecticut 06001

REVISIONS	
BY: LF/TAC	CHK: JEU

The Learning Experience
Property Of
501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06010
Parcel ID: 09-0007-0001D (Zone: C)

Utility Plan

DATE	1-11-22
SCALE	1"=20'
JOB NUMBER	2021-083
SHEET	6 of 12



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LADA, P.C.
Land Planners

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(860) 655-4471
Email: lalapa@met.net

REVISIONS	
BY: DFM	CHK: TPH

The Learning Experience
Property of
501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06010
Parcel ID: 09-0007-0001D (Zone: C)

Planting Plan

DATE
01-06-2022

SCALE
1"=20'

JOB NUMBER
2021-083

SHEET
7 of 12

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PERMANENT SEEDING (PS)

SPECIFICATIONS

Time Of Year

Seeding dates in Connecticut are normally April 1 through June 15 and August 15 through October 1. Spring seedings give the best results and spring seedings of all mixes with legumes is recommended. There are two exceptions to the above dates. The first exception is when seedings will be made in the areas of Connecticut known as the Coastal Slope and the Connecticut River Valley. The Coastal Slope includes the coastal towns of New London, Middlesex, New Haven, and Fairfield counties. In these areas, with the exception of crown vetch (when crown vetch is seeded in late summer, at least 35% of the seed should be hard seed (unscarified), the final fall seeding dates can be extended and additional 15 days. The second exception is frost crack or dormant seeding, the seed is applied during the time of year when no germination can be expected, normally November through February. Germination will take place when weather conditions improve, mulching is extremely important to protect the seed from wind and surface erosion and to provide erosion protection until the seeding becomes established.

Site Preparation

Grade in accordance with the Land Grading measure which is in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition.

Install all necessary surface water controls.

For areas to be mowed remove all surface stones 2 inches or larger. Remove all other debris such as wire, cable tree roots, pieces of concrete, clods, lumps, or other unsuitable material.

Seed Selection

Lawn Areas: Premium Seed Mix for Sun and Shade. Stormwater Basin: New England Erosion Control/Restoration Mix by New England Wetland Plants, Inc. or approved equal.

Seedbed Preparation

Apply topsoil, if necessary, in accordance with the Topsoiling measure which is in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition.

Apply ground limestone and fertilizer according to soil test recommendations (such as those offered by the University of Connecticut Soil Testing Laboratory or other reliable source).

Where soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10–10–10 or equivalent and limestone at 4 tons per acre or 200 pounds per 1,000 square feet.

Work lime and fertilizer into the soil to a depth of 3 to 4 inches with a disc or other suitable equipment.

Inspect seedbed just before seeding. If the soil is compacted, crusted or hardened, scarify the area prior to seeding.

Seed Application

Apply selected seed at rates per manufacturer's recommendations uniformly by hand, cyclone seeder, drill, cultipacker type seeder or hydroseeder (slurry including seed, fertilizer). Normal seeding depth is from 0.25 to 0.5 inch. Increase seeding rates by 10% when hydroseeding or frost crack seeding. Seed warm season grasses during the spring period only.

Mulching

See guidelines in the Mulch For Seed measures.

MAINTENANCE

Inspect temporary soil protection area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater during the first growing season.

Where seed has been moved or where soil erosion has occurred, determine the cause of the failure and repair as needed.

TEMPORARY SEEDING (TS)

SPECIFICATIONS

Site Preparation

Install needed erosion control measures such as diversions, grade stabilization structures, sedimentation basins and grassed waterways in accordance with the approved plan.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application and mulch anchoring.

Seedbed Preparation

Loosen the soil to a depth of 3–4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence.

Apply ground limestone and fertilizer according to soil test recommendations (such as those offered by the University of Connecticut Soil Testing Laboratory or other reliable source).

If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10–10–10 or equivalent.

Seeding

Apply seed uniformly by hand, cyclone seeder, drill, cultipacker type seeder or hydroseeder. The temporary seed shall be Rye (grain) applied at a rate of 120 pounds per acre. Increase seeding rates by 10% when hydroseeding.

Mulching

See guidelines in the Mulch For Seed measures.

MAINTENANCE

Inspect temporary seeding area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has been moved or where soil erosion has occurred, determine the cause of the failure and repair as needed.

MULCH FOR SEED (MS)

SPECIFICATIONS

Materials

Types of Mulches within this specification include, but are not limited to:

1. Hay: The dried stems and leafy parts of plants cut and harvested, such as alfalfa, clovers, other forage legumes and the finer stemmed, leafy grasses. The average stem length should not be less than 4 inches. Hay that can be windblown should be anchored to hold it in place.

2. Straw: Cut and dried stems of herbaceous plants, such as wheat, barley, cereal rye, or brome. The average stem length should not be less than 4 inches. Straw that can be windblown should be anchored to hold it in place.

3. Cellulose Fiber: Fiber origin is either virgin wood, post–industrial/pre–consumer wood or post consumer wood complying with materials specification (collectively referred to as "wood fiber"), newspaper, kraft paper, cardboard (collectively referred to as "paper fiber") or a combination of wood and paper fiber. Paper fiber, in particular, shall not contain boron, which inhibits seed germination. The cellulose fiber must be manufactured in such a manner that after the addition to and agitation in slurry tanks with water, the fibers in the slurry become uniformly suspended to form a homogeneous product. Subsequent to hydraulic spraying on the ground, the mulch shall allow for the absorption and percolation of moisture and shall not form a tough crust such that it interferes with seed germination or growth. Generally applied with tackifier and fertilizer. Refer to manufacturer's specifications for application rates needed to attain 80%–95% coverage without interfering with seed germination or plant growth. Not recommended as a mulch for use when seeding occurs outside of the recommended seeding dates.

Tackifiers within this specification include, but are not limited to: Water soluble materials that cause mulch particles to adhere to one another, generally consisting of either a natural vegetable gum blended with gelling and hardening agents or a blend of hydrophilic polymers, resins, viscosifiers, sticking aids and gums. Good for areas intended to be mowed. Cellulose fiber mulch may be applied as a tackifier to other mulches, provided the application is sufficient to cause the other mulches to adhere to one another. Emulsified asphalt is specifically prohibited for use as tackifiers due to their potential for causing water pollution following its application.

Nettings within this specification include, but are not limited to: Prefabricated openwork fabrics made of cellulose cords, ropes, threads, or biodegradable synthetic material that is woven, knotted or molded in such a manner that it holds mulch in place until vegetation growth is sufficient to stabilize the soil. Generally used in areas where no mowing is planned.

Site Preparation

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application and mulch anchoring.

Application

Timing: Applied immediately following seeding. Some cellulose fiber may be applied with seed to assist in marking where seed has been sprayed, but expect to apply a second application of cellulose fiber to meet the requirements of Mulch For Seed in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition.

Spreading: Mulch material shall be spread uniformly by hand or machine resulting in 80%–95% coverage of the disturbed soil when seeding within the recommended seeding dates. Applications that are uneven can result in excessive mulch smothering the germinating seeds. For hay or straw anticipate an application rate of 2 tons per acre. For cellulose fiber follow manufacture's recommended application rates to provided 80%–95% coverage.

When seeding outside the recommended seeding dates, increase mulch application rate to provide between 95%–100% coverage of the disturbed soil. For hay or straw anticipate an application rate to 2.5 to 3 tons per acre.

When spreading hay mulch by hand, divide the area to be mulched into approximately 1,000 square feet and place 1.5–2 bales of hay in each section to facilitate uniform distribution.

For cellulose fiber mulch, expect several spray passes to attain adequate coverage, to eliminate shadowing, and to avoid slippage.

Anchoring: Expect the need for mulch anchoring along the shoulders of actively traveled roads, hill tops and long open slopes not protected by wind breaks.

When using netting, the most critical aspect is to ensure that the netting maintains substantial contact with the underlying mulch and the mulch, in turn, maintains continuous contact with the soil surface. Without such contact, the material is useless and erosion can be expected to occur.

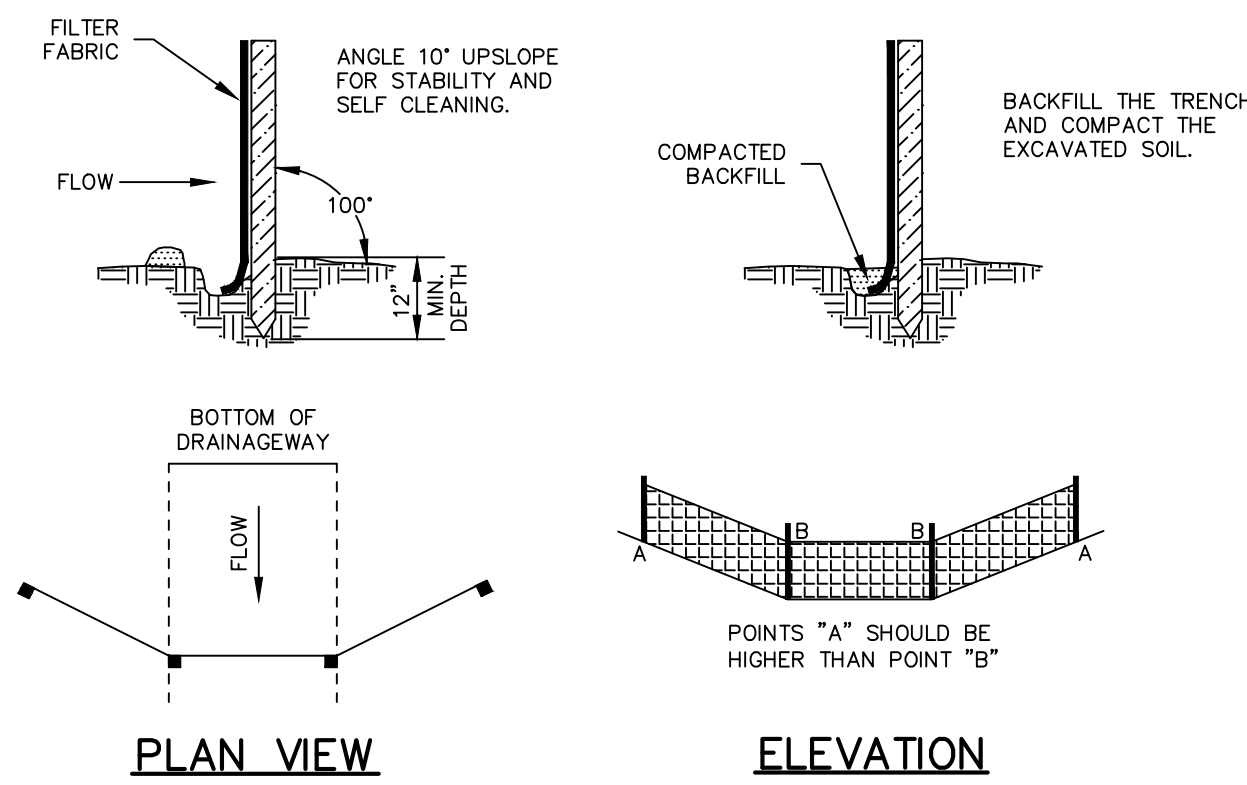
MAINTENANCE

Inspect mulch for seed area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater until the grass has germinated to determine maintenance needs.

Where mulch has been moved or where soil erosion has occurred, determine the cause of the failure and repair as needed.

SOIL ERSOION & SEDIMENT CONTROL NOTES

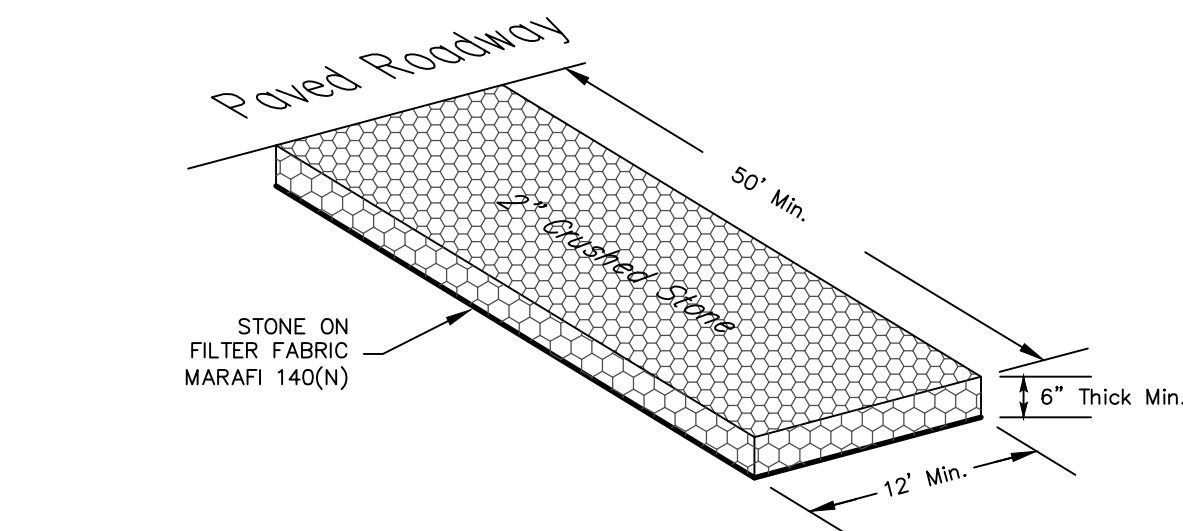
- The contractor/developer shall notify the Town Staff prior to construction in accordance with the local approvals and permits.
- All soil erosion and sediment control work shall be done in strict accordance with the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition.
- Any additional erosion/sediment control deemed necessary by the engineer during construction, shall be installed by the developer. In addition, the developer shall be responsible for the repair/replacement and/or maintenance of all erosion control measures until all disturbed areas are stabilized to the satisfaction of the town staff.
- All soil erosion and sediment control operations shall be in place prior to any grading operations and installation of proposed structures or utilities and shall be left in place until construction is completed and/or area is stabilized.
- In all areas, removal of trees, bushes and other vegetation as well as disturbance of the soil is to be kept to an absolute minimum while allowing proper development of the site. During construction, expose as small an area of soil as possible for as short a time as possible.
- The developer shall practice effective dust control per the soil conservation service handbook during construction and until all areas are stabilized or surface treated. The developer shall be responsible for the cleaning of nearby streets, as ordered by the town, of any debris from these construction activities.
- All fill areas shall be compacted sufficiently for their intended purpose and as required to reduce slipping, erosion or excess saturation. Fill intended to support buildings, structures, conduits, etc., shall be compacted in accordance with local requirements or codes.
- Topsoil is to be stripped and stockpiled in amounts necessary to complete finished grading of all exposed areas requiring topsoil. The stockpiled topsoil is to be located as designated on the plans. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading or proposed sodding.
- Any and all fill material is to be free of brush, rubbish, timber, logs, vegetative matter and stumps in amounts that will be detrimental to constructing stable fills. Maximum side slopes of exposed surfaces of earth to be 3:1 or as otherwise specified by local authorities.
- Soil stabilization should be completed within 5 days of clearing or inactivity in construction.
- Waste Materials – All waste materials (including wastewater) shall be disposed of in accordance with local, state and federal law. Litter shall be picked up at the end of each work day.
- The Contractor shall maintain on–site additional erosion control materials as a contingency in the event of a failure or when required to shore up existing BMPs. At a minimum, the on–site contingency materials should include 30 feet of silt fence and 5 straw haybales with 10 stakes.



SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CONNECTICUT

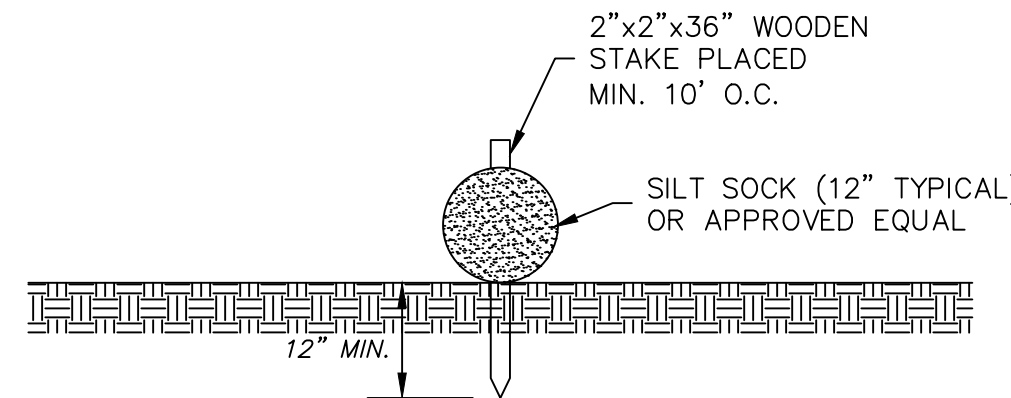
GEOTEXTILE SILT FENCE (GSF)

NOT TO SCALE



ANTI-TRACKING EXIT PAD DETAIL (CE)

NOT TO SCALE



NOTE: MAY BE USED AS ALTERNATIVE TO GEOTEXTILE SILT FENCE.

PERIMETER SEDIMENT BARRIER

NOT TO SCALE

CHECKLIST FOR EROSION CONTROL PLAN

PROJECT: The Learning Experience Academy of Education

LOCATION: 501 Talcottville Road, Vernon, CT

PROJECT DESCRIPTION: Construction of a Daycare Facility

PARCEL AREA: 2.0 acres

RESPONSIBLE PERSONNEL: Eric Spungin (860) 989–9494

EROSION AND SEDIMENT CONTROL PLAN PREPARER: J.R. Russo & Associates, LLC

CHECKLIST:

Work Description Erosion & Sediment Control Measures	Location	Date Installed	Initials	Date Removed	Initials
Install construction entrance	As shown on plan.				
Install perimeter sediment barriers	As shown on plan.				

MAINTENANCE OF MEASURES:

Location	Description or Number	Date	Initials

Project Dates:

Date of groundbreaking for project:

Date of final stabilization:

PROJECT NARRATIVE AND CONSTRUCTION SEQUENCE

This project is located at 501 Talcottville Road in Vernon, Connecticut. The proposed activity is the construction of a 10,000 square foot daycare facility. The suggested schedule of construction is as follows:

- Install construction anti-tracking pad (CE).
- Install sediment barriers (GSF) at project perimeters.
- Strip topsoil. Stockpile suitable amount of topsoil for reuse on-site in areas shown. Stockpiles shall be surrounded by sediment barriers (GSF).
- Place and compact fill to establish subgrades.
- Begin building construction.
- Construction stormwater management basin and install drainage.
- Install other site utilities.
- Install parking lot base.
- Install concrete sidewalks and dumpster pad.
- Pave binder course.
- Stabilize remaining areas to receive topsoil and permanently seed as soon as possible.
- Install landscaping.
- Install pavement top course in all areas. Sweep binder course and apply tack coat prior to placing pavement top course.
- Apply paint striping.
- Remove sediment barriers after site is fully stabilized.

Construction of this site is anticipated to begin in the spring of 2022 and be complete by January 2023, pending approvals. Temporary erosion control measures shall be installed prior to any soil disturbance and maintained throughout construction until soils have been stabilized with permanent vegetation.

The Contractor shall keep the area of disturbance to a minimum and establish vegetative cover on exposed soils as soon as practical. All soil and erosion control measures shall be installed and maintained in accordance with these plans and the "Connecticut DEP Guidelines for Soil Erosion and Sediment Control", as amended. The Contractor shall verify all conditions noted on the plans and shall immediately notify the Engineer of any discrepancies.

The developer shall be responsible for the repair/replacement/maintenance of all erosion control measures until all disturbed areas are stabilized. Accumulated sediment shall be removed as required to keep silt fence functional. In all cases, deposits shall be removed when the accumulated sediment has reached one-half above the ground height of the silt fence. This material is to be spread and stabilized in areas not subject to erosion, or to be used in areas which are not to be paved or built on. Silt fence (GSF) is to be replaced as necessary to maintain proper filtering action. Silt fence (GSF) are to remain in place and shall be maintained to insure efficient sediment capture until all areas above the erosion checks are stabilized and vegetation has been established.

POST CONSTRUCTION MAINTENANCE NOTES:

The property owner shall be responsible for performing the following post construction maintenance schedule:

- Maintain lawn & landscape areas with minimal pesticides.
- Sweep parking lot and paved areas at least once per year in the spring.
- Inspect catch basins and storm manholes at least twice per year, including after sweeping. Clean at least once per year in April and as necessary to prevent the discharge of pollutants from structures. Remove accumulated oil, trash and excessive sediment with vac-truck. Check condition of hoods (if applicable).
- Inspect infiltration basin annually for evidence of hydrocarbons and remove by vac-truck. Repair eroded areas and replace riprap and vegetation as required. Dredge bottom of forebay to remove accumulated sediment every 10 years or when significant volume reduction is observed. Mow infiltration basin on a regular basis to maintain as lawn area for filtering of pollutants. Inspect inlet pipes monthly and remove trash and debris as needed.

The Learning Experience

Property Of
501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06010
Parcel ID: 09–0007–0001D (Zone: C)

Erosion & Sediment Control Notes

DATE

1–11–22

SCALE

1"=20'

JOB NUMBER

2021–083

SHEET

8 of 12

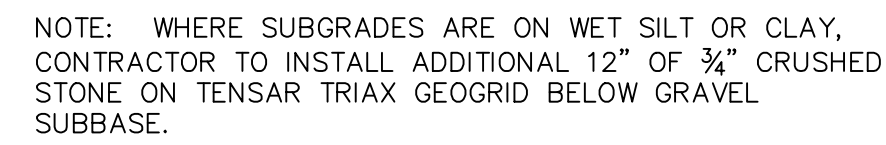
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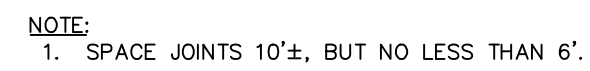
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REVISIONS

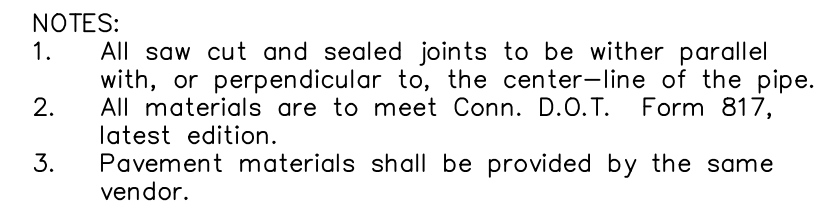
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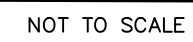
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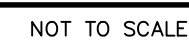
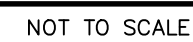
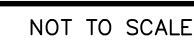
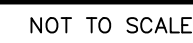
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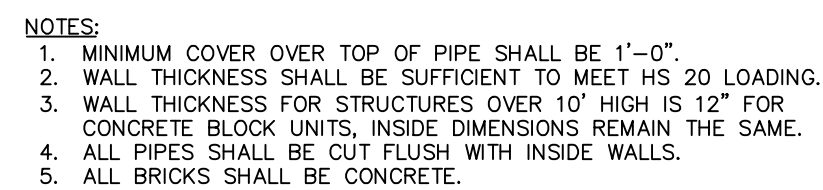


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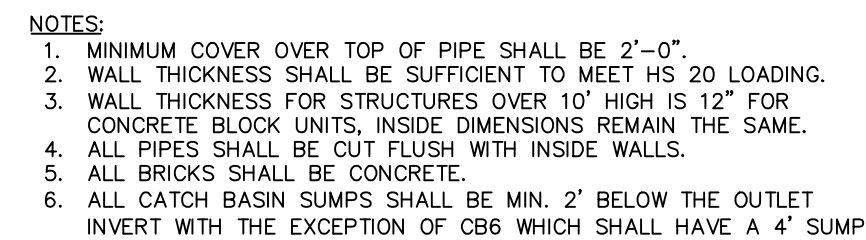


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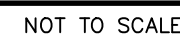




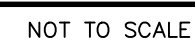
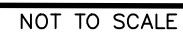
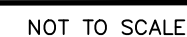
NOT TO SCALE



NOT TO SCALE



1. MINIMUM COVER OVER TOP OF PIPE SHALL BE 2'-0" UNLESS OTHERWISE APPROVED BY THE ENGINEER.
2. TOP STEP TO BE A MAXIMUM OF 24" BELOW TOP OF MANHOLE FRAME & COVER.
3. WALL THICKNESS SHALL BE SUFFICIENT TO MEET HS 1500 LADING.
4. MANHOLE INSIDE DIAMETER MAY BE INCREASED AS DIRECTED BY THE ENGINEER TO ACCOMMODATE SIZE AND NUMBER OF PIPES. INCREASE WALL THICKNESS 1" FOR EACH 1 FT. OF INSIDE DIAMETER INCREASE.
5. FOR SHALLOW STRUCTURES, USE 8" SLAB IN PLACE OF 12" SECTION.
6. ALL PIPES SHALL BE CUT FLUSH WITH INSIDE WALLS.
7. FILL LIFTING HOLES WITH MORTAR.



1. HIGH DENSITY POLYETHYLENE NYROPLAST ENVIROHOOD MODEL 24F FOR FLAT CONCRETE STRUCTURES.
2. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

NOT TO SCALE

[illegible]

REVISIONS

BY: LF/TAC	CHK: JEU
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Vernon, Connecticut 06010
Parcel ID: 09-0007-0001D (Zone: C)

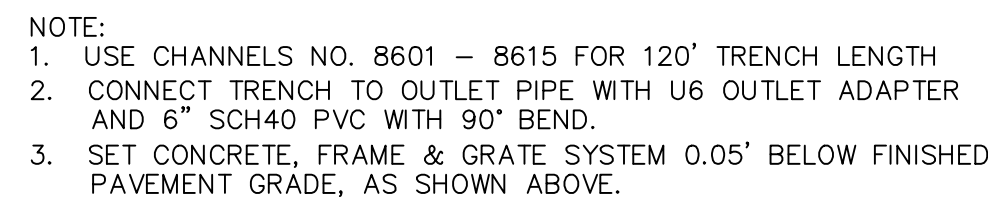
Details

DATE
1-11-22

SCALE
1"=20'

JOB NUMBER
2021-083

SHEET
10 of 12



NOT TO SCALE



1. PROVIDE WRAPPING TAPE, 12-24" ABOVE TOP OF PIPE.
2. BACKFILL SHALL BE SUITABLE NATIVE MATERIAL UNLESS DETERMINED TO BE UNSUITABLE BY THE ENGINEER OR GRANULAR FILL M.02.01 PLACED AND COMPACTED IN 12" LOOSE LIFTS.
3. UNDER PAVED AREAS COMPACT BACKFILL TO 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY A STANDARD PROCTOR TEST. UNDER UNPAVED AREAS COMPACT TO 80%.
4. UNSUITABLE TRENCH MATERIAL TO BE REMOVED AND REPLACED WITH 3/4" CRUSHED STONE AS DIRECTED BY ENGINEER.

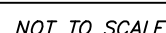
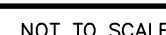
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

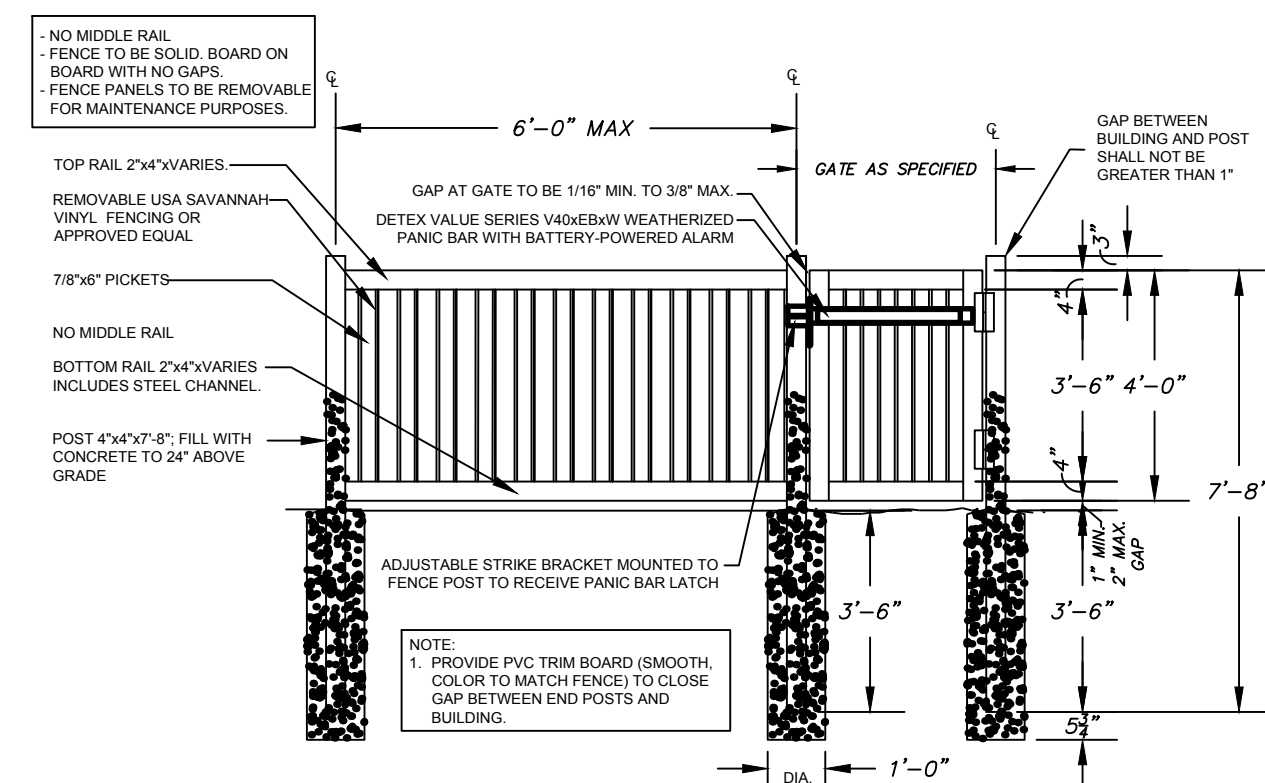
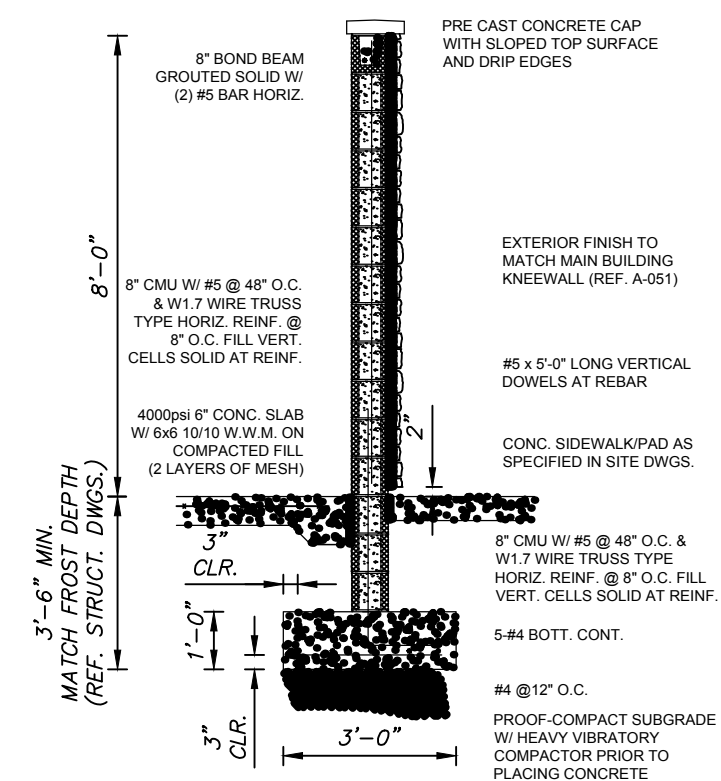


NOT TO SCALE

NOT TO SCALE



NOT TO SCALE



③ 4'-0" PVC FENCE AND GATE DETAIL
SCALE 1/2" = 1'-0"

Scientific Name	Zone	Common Name	Size	Shade tolerant?	Wetland Creation Area	Wetland Enhancement Area	Totals
SHRUBS							
<i>Photinia pyrifolia</i>	C	Chokeberry	3'-4'	N	0	4	4
<i>Clethra alnifolia</i>	B,C	Sweet pepperbush	3'-4'	Y	4	0	4
<i>Ilex verticillata</i>	A,B,C	Winterberry	3'-4'	Y	3	2	5
<i>Sambucus nigra</i>	B	Common elderberry	3'-4'	N	0	2	2
<i>Swida amomum</i>	B,C	Silky dogwood	3'-4'	N	0	3	3
<i>Swida racemosum</i>	B,C	Gray dogwood	3'-4'	Y	5	2	7
<i>Vaccinium corymbosum</i>	B	Highbush blueberry	3'-4'	Y	2	0	2
<i>Viburnum cassinoides</i>	B	Wild raisin	3'-4'	Y	2	0	2
<i>Viburnum opulus</i>	B,C	Cranberry viburnum	3'-4'	Y	0	3	3
Totals:					16	16	32

Scientific Name	Zone	Common Name	Form	NWI*	Spacing
<i>Asclepias incarnata</i>	B, C	Swamp milkweed	2" plug	OBL	2'OC
<i>Carex crinita</i>	A, B	Fringed sedge	2" plug	OBL	2'OC
<i>Osmundastrum cinnamomeum</i>	B, C	Cinnamon fern	#1 pot	FACW	2'OC
<i>Eutrochium maculatum</i>	B, C	Spotted Joe Pye weed	2" plug	FACW	1.5'OC
<i>Carex lupulina</i>	A, B	Hop sedge	2" plug	FACW+	2'OC
Total:					

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EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE / TYPE	FINISH / COLOR
STOREFRONT	KAWNEER	TRIFAB 451T / 350 PER DOOR SCHEDULE	BONE WHITE
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED
FIXED WINDOW	PLY GEM	SILVER LINE V1 SERIES PER WINDOW SCHEDULE	WHITE
STONE-1	BUECHEL STONE CORP.	5" FULL DEPTH STONE	CHILTON TAILORED BLEND
SILL-1	MODERN PRECAST	3 3/4"x6"W W/ 2" FLAT W/ 1/4" DRIP EDGE	REGULAR (LIGHT GREY)
SILL-2	MODERN PRECAST	CUSTOM SILL 3 3/4"x4"W W/ 2" FLAT REF. DTL. 6/A-032	REGULAR (LIGHT GREY)
HARDIE-1	JAMES HARDIE	WIDTH: 8.25"	COLOR: NAVAJO BEIGE
HARDIE-2	JAMES HARDIE	WIDTH: 8.25"	COLOR: KHAKI BROWN
TRIM-1	JAMES HARDIE	3/4" M3 SMOOTH TRIM BOARD WIDTH: 3.5"	COLOR: KHAKI BROWN
TRIM-2	JAMES HARDIE	3/4" M3 SMOOTH TRIM BOARD WIDTH: 11.25"	COLOR: KHAKI BROWN
VINYL-1	ROYAL BUILDING PRODUCTS	COLORSCAPES TRIPLE 4 PERFORATED SOFFIT NOM. THICKNESS 0.042"	WHITE (REF. NOTE 2 BELOW)
VINYL-2	FYPON	WINDOW CROSSHEAD WIDTH 56", HEIGHT 9"	PAINT TO MATCH HARDIE-3 PRODUCT: WCH56X9
VINYL-3	FYPON	DOOR CROSSHEAD WIDTH 48", HEIGHT 9"	PAINT TO MATCH HARDIE-3 PRODUCT: WCH48X9
VINYL-4	FYPON	DOOR CROSSHEAD WIDTH 84", HEIGHT 9"	PAINT TO MATCH HARDIE-3 PRODUCT: WCH84X9
VINYL-5	FYPON	WINDOW CROSSHEAD WIDTH 103", HEIGHT 9"	PAINT TO MATCH HARDIE-3 PRODUCT: WCH103X9
VINYL-6	FYPON	WINDOW CROSSHEAD WIDTH 44", HEIGHT 9"	PAINT TO MATCH HARDIE-3 PRODUCT: WCH44X9
COPING-1	FABRAL (OR EQUAL)	BREAK METAL	DARK BRONZE
KNOX-1	KNOX BOX	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)
FINISH SCHEDULE NOTES: 1. G.C. SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING AND INSTALLATION. 2. G.C. SHALL ENSURE ALL EXTERIOR FINISHES ARE INSTALLED AND FINISHED IN COMPLIANCE WITH MANUFACTURER'S WARRANTY REQUIREMENTS.			

SA-1.2