

TOWN OF VERNON
Inland Wetlands Commission (IWC)
Special Meeting Notice & Agenda
Tuesday, February 15, 2022, 7:00 PM

VIA Virtual Zoom Meeting
<https://us02web.zoom.us/j/6149852850?pwd=NUZwVkEwWkRlS1EweC94cFNHVUxBdz09>
Meeting ID: 614 985 2850
Passcode: h72Vs7
Dial by your location
+1 646 876 9923
Meeting ID: 614 985 2850
Passcode: 786221

AGENDA

1. Call to Order & Roll Call
2. Administrative Actions
 - 2.1 2022 Election of Officers
 - 2.2 Approval of the Minutes from the December 21, 2021 meeting
 - 2.3 Call for filing(s) of Intervener Petitions and Determination of Status
3. New Applications for Receipt and Determination of Significance, if any
 - 3.1 **IWC 2022-01, 501 Talcottville Rd.** An Application by Vernon Development LLC for a Wetlands Re-designation and a Wetlands Permit for activity in a regulated area, in order to develop a child-care facility at 501 Talcottville Rd. (Tax Map 09, Block 007, Parcel 0001D).
4. Public Hearing and Action on New Applications
 - 4.1 **IWC 2021-07, 57 Hartford Turnpike.** An Application by Jerry Fornarelli for a Wetlands Re-designation and a Wetlands Permit for activity in a regulated area, in order to construct a deck addition, pavilion structure, and storage building at 57 Hartford Turnpike (Tax Map 01, Block 0158, Parcel 00057)
 - 4.2 **IWC 2021-08, 95 Hartford Turnpike.** An application of Jerry Fornarelli for a Wetlands Permit by Commission for site grading, new construction, and other development activities in a regulated area, at the Golf Land recreation center located at 95 Hartford Turnpike, (Assessor's ID: Map 1, Block 158, Parcel 00095).
5. Status of Cease & Correct Orders, if any
 - 5.1 26 Naek Rd. & 321 Talcottville Rd.
6. Wetlands Enforcement Officer Report, if any

7. Inland Wetlands Agent Approvals, if any

8. Other Business

9. Adjournment

Rachel Stansel, Chairperson Inland Wetlands Commission

Draft Minutes

Town of Vernon
Inland Wetlands Commission (IWC)
Meeting Notice & Agenda
Tuesday, December 21, 2021, 7:00 p.m.
Virtual ZOOM Meeting

DRAFT MINUTES

1. Call to Order and Roll Call

Chairperson Rachel Stansel called the meeting to order at 7:00pm. In attendance were Commission Members Don Schubert and Kathy Minor. Absent were Frank Galat and Jeff Pescosolido. Staff member present was George McGregor, Town Planner.

2. Administrative Actions

2.1 Amendment/Adoption of Agenda – Additional business to be considered under agenda item #7 “Other Business” requires Commission vote
None

2.2 Approval of Minutes from November 23, 2021, meeting
Kathy Minor MOVED to approve the minutes of November 23, 2021, regular meeting. Don Schubert seconded. Motion carried unanimously.

3. New Applications for Receipt and Determination of Significance

3.1 **IWC-2021-07**, 57 Hartford Turnpike. An Application by Jerry Fornarelli for a Wetlands Redesignation and a Wetlands Permit for activity in a regulated area, in order to construct a deck addition, pavilion structure, and storage building at 57 Hartford Turnpike (Tax Map 01, Block 0158, Parcel 00057).

Present for the meeting were Jerry Fornarelli, applicant, Steve Lamesa, and Mark Peterson, of Gardner & Peterson Associates, LLC.

Town Planner introduced the application with maps.

*Kathy Minor MOVED that the Inland Wetlands Commission receive **IWC-2021-07** as an application of significant impact and schedule the application for a Public Hearing at the January 25, 2022, regular meeting. Don Schubert seconded. Motion carried unanimously.*

3.2 **IWC-2021-08**, 95 Hartford Turnpike. An Application by Jerry Fornarelli for a Wetlands Permit by Commission for site grading, new construction, and other development activities in an upland review area at the Golf Land recreation center located at 95 Hartford Turnpike (Assessor’s ID: Map 1, Block 158, Parcel 00095).

Town Planner introduced the plan maps.

*Chairperson Stansel MOVED that the Inland Wetlands Commission receive **IWC-2021-08** as an application of significant impact and schedule the application for a Public Hearing at the January 25, 2022, regular meeting. Don Schubert seconded. Motion Carried unanimously.*

4. Status of Cease & Correct Orders if any
None

5. Wetlands Enforcement Officer Report if any
IWC Project Status Report was included in Commission packet.

6. Inland Wetlands Agent Approvals if any
None

7. Other Business
None

8. Adjournment
Chairperson Stansel adjourned the meeting at 7:09pm.

Respectfully Submitted,

Susan Hewett,
Recording Secretary

APPLICATION For RECEIPT



January 12, 2022

Vernon Inland Wetlands Commission
56 West Main Street, 2nd Floor
Vernon, CT 06066

Re: The Learning Experience (TLE)
501 Talcottville Road, Vernon

Dear Commissioners,

On behalf of the Vernon Development LLC, I am pleased to submit the attached application for a wetland redesignation and a wetland permit for regulated activities associated with the development of The Learning Experience (TLE) Academy of Early Education at 501 Talcottville Road in Vernon, Connecticut. The subject parcel currently consists of 4.6 acres of undeveloped woodland located at the intersection of Dart Hill Road and Talcottville Road (Rte. 83). A wooded wetland, delineated by REMA Ecological Services, LLC in May of 2021, occupies the southwestern portion of the parcel. In conjunction with the proposed TLE development, the owner is proposing to divide the existing parcel into two lots, including a 2.0 acre lot adjacent to Dart Hill Road to be developed with the TLE facility, and a remaining 2.6 acre lot fronting on Talcottville Road for potential future development. The subdivision application to split the parcel will be submitted to be considered concurrently with the applications for the Wetland Permit and Special Permit/Site Plan approval for the TLE development. However, the permits for the TLE should not be conditioned on the approval of the subdivision, but should be valid regardless of whether the lot is split or remains a single 4.6 acre parcel.

The proposed TLE development will involve the construction of a 10,000 square foot building, 5,000 square foot playground and associated parking. Runoff from the building and parking lot will be directed to a subsurface infiltration system and surface infiltration basin for treatment, groundwater recharge and detention prior to discharge at the edge of the existing on-site wetland. A retaining wall is proposed along the southern edge of the development in order prevent any direct wetland disturbance. However, the project will involve approximately 0.82 acres of work within wetland regulated area associated with the construction of the building, playground, parking lot, and stormwater management system. The plans call for the removal of existing invasive species along the project perimeter and installation of wetland buffer plantings along the existing wetland.

If there are any questions, or you require further information, please call me at (860) 623-0569.

Very truly yours,

A handwritten signature in black ink that reads "Timothy A. Coon". The signature is fluid and cursive, with the first name being the most prominent.

Timothy A. Coon, P.E.
J.R. Russo & Associates, LLC

Attachments
cc: Eric Spungin



TOWN OF VERNON

INLAND WETLANDS COMMISSION (IWC)

APPLICATION

This form is to be used to apply to the Vernon Inland Wetlands Commission (IWC) for approval for a redesignation of a wetlands area, a change to the Inland Wetlands and Watercourses Regulations, and/or a permit to conduct a regulated activity in a wetland, watercourse, or upland review area (URA), which are defined as areas within one hundred (100) feet from the boundary of a wetland, watercourse, or intermittent watercourse and areas within two hundred (200) feet from the boundary of Gage's Brook, Hockanum River, Ogden Brook, Railroad Brook, Tankerhoosen River, Valley Falls Pond, Walker Reservoir East, Walker Reservoir West. Any activity that the Commission determines is likely to impact or affect wetlands or watercourses may be considered a regulated activity. **Provide all the information requested.**

The Applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property. Said interest shall be explained. If the applicant is not the property owner, written permission for this Application must be obtained from the property owner and submitted by letter signed by the property owner authorizing submission of the Application.

The Applicant understands that the Application is complete only when all information and documents required by IWC have been submitted and that any approval by the IWC relies upon complete and accurate information being provided by the Applicant. Incorrect information provided by the Applicant may make the approval invalid. The IWC may require additional information to be provided by the Applicant.

I. APPLICANT (S)

Name: Eric Spungin
Title: Member
Company: Vernon Development LLC
Address: 56 East Main Street, Avon, CT 06001
Telephone: 860-677-5607 Fax: _____
E-mail: espungin@hotmail.com

II. PROPERTY OWNERS

Name: James Basile
Title: _____
Company: 501 Talcottville Road LLC
Address: 43 Ridgecrest Lane, Bristol, CT 06010-2910
Telephone: 860-202-9540 Fax: _____
E-mail: _____

III. PROPERTY

Address: 501 Talcottville Road

Assessor ID Code: Map # 09 Block # 007 Lot/Parcel # 0001D

Land Record Reference to Deed Description: Volume: 2026 Page 51

USGA Location:

Circle the Map Quadrangle Name: Manchester # 38 Rockville #39

Circle the Sub regional Drainage Basin #: 3108 4500 4502 4503

Zoning District: Commercial (C)

IV. PROJECT

Project Name: The Learning Experience

Project Contact Person:

Name: Timothy Coon

Title: Project Engineer

Company: J.R. Russo + Associates LLC

Address: P.O. Box 938, East Windsor, CT 06088

Telephone: 860-623-0569 Fax: 860-623-2485

E-mail: tcoon@jrusso.com

V. PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "The Town of Vernon Inland Wetlands and Watercourses Regulations".

Purpose: Construction of a 10,000 SF Daycare Facility

General Activities: Filling, excavation, and building construction within the upland review area.

Regulated Activities:

Watercourse disturbance (linear feet): 0

Wetlands disturbance (acres or sq. ft.): 0

Upland Review Area (URA) disturbance: 0.82 ± acres

Nonregulated activities & activities outside URA: 0.89 ± acres

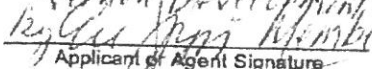
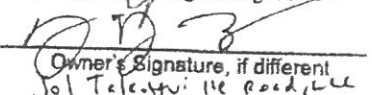
VI. APPLICATION

- ☒ Redesignation of Wetlands
- ☐ Amendment of Inland Wetlands and Watercourses Regulations
- ☐ Modification of a Wetlands Redesignation
- ☒ Wetlands Permit
- ☐ Non-significant activity
- ☐ Significant activity with less than 1/2 acre site disturbance
- ☐ Significant activity with site disturbance from 1/2 acre to and including 2 acres
- ☐ Significant activity with site disturbance greater than 2 acres
- ☐ Commission modification of a wetland permit in effect
- ☐ Modification of a wetland permit by the Wetlands Agent
- ☐ Approval of a license by the Wetlands Agent for activities in an upland
- ☐ Appeal of a decision by the Wetlands Agent
- ☐ Subdivision review per CGS Section 8-26
- ☐ Jurisdictional ruling regarding permitted and nonregulated uses
- ☐ Waiver, reduction, or delayed payment of fees (attach statement of justification)
- ☐ Waiver
- ☐ Reduction to \$ _____
- ☐ Delay of payment to _____

VII. CERTIFICATION AND SIGNATURE

I, the undersigned Applicant or applicant's Agent, hereby certify that I have reviewed the "Town of Vernon Inland Wetlands and Watercourses Regulations" and have prepared this Application with complete and accurate information.

Property Owner, Applicant, or Applicant's Agent:

 Applicant or Agent Signature	<u>Eric Spangin</u> Printed Name	<u>12/22/21</u> Date
 Owner's Signature, if different Sol Tele. 411-116 Road, LLC	<u>James J Dasile</u> Printed Name	<u>12/22/21</u> Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

DATE APPLICATION SUBMITTED _____

DATE APPLICATION RECEIVED BY COMMISSION _____

IWC FILE: _____



CONNECTICUT DEPARTMENT OF
ENVIRONMENTAL PROTECTION
79 Elm Street
Hartford, CT 06106-5127

GIS CODE #: _____
For DEP Use Only

Gina McCarthy, Commissioner

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions. Please print or type.

PART I: To Be Completed By The Inland Wetlands Agency Only

1. DATE ACTION WAS TAKEN: Year _____ Month _____
2. ACTION TAKEN (circle one): A B C D E F G H
3. WAS A PUBLIC HEARING HELD? Yes _____ No _____
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING: Vernon
Does this project cross municipal boundaries? Yes _____ No X
If Yes, list the other town(s) in which the action is occurring: _____
6. LOCATION: USGS Quad Map Name: Rockville AND Quad Number: 39
Subregional Drainage Basin Number: 4500
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER: Vernon Development LLC
8. NAME & ADDRESS/LOCATION OF PROJECT SITE: 501 Talcottville Road
Briefly describe the action/project/activity: Construction of a 10,000 SF Daycare Facility
9. ACTIVITY PURPOSE CODE: D
10. ACTIVITY TYPE CODE(S): 12 14 _____
11. WETLAND / WATERCOURSE AREA ALTERED [must be provided in acres or linear feet as indicated]:
Wetlands: 0 acres Open Water Body: 0 acres Stream: 0 linear feet
12. UPLAND AREA ALTERED [must be provided in acres as indicated]: 0.82 acres
13. AREA OF WETLANDS AND / OR WATERCOURSES RESTORED, ENHANCED OR CREATED: 0 acres
[must be provided in acres as indicated]

DATE RECEIVED:

PART III: To Be Completed By The DEP

DATE RETURNED TO DEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

PLEASE RETURN TO:
M. STIEGEL
86 FAIRMINGTON AVE.
HARTFORD, CT. 06105

VOL 2026 PG 51
INST: 5522

QUITCLAIM DEED

VICTOR J. BASILE ("Releasor"), of 43 Ridgecrest Lane, Bristol, Connecticut, for no consideration paid, grants to 501 TALCOTTVILLE ROAD, LLC of 43 Ridgecrest Lane, Bristol, Connecticut ("Releasee") all that certain piece or parcel of land together with all improvements thereon and appurtenances thereto in the Town of Vernon, Connecticut, as more particularly described on Exhibit A attached hereto and made a part hereof ("Premises"). Releasee herein assumes and agrees to pay all real property taxes attributable to the Premises on the list of October 1, 2006 and thereafter.

SAID PREMISES IS CONVEYED SUBJECT TO, WITHOUT LIMITATION:

1. Taxes of the Town of Vernon on the List of October 1, 2006 now due and payable and thereafter, which Releasee herein assumes and agrees to pay.
2. Any and all provisions of any ordinance, municipal regulation, or public or private law.
3. Declarations, restrictions, covenants, matters and easements of record and any state of facts an accurate survey or personal inspection of the Premises might reveal.

Signed this 7th day of February, 2007

Witnessed by:


MICHAEL S. STIEGEL, as witness


VICTOR J. BASILE


ROBERT A. FIERCE as witness

STATE OF CONNECTICUT)

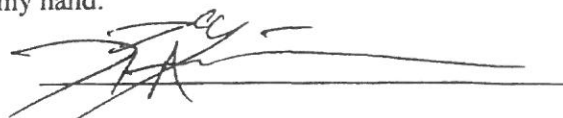
COUNTY OF)

ss:

Hartford
(town)

On this the 7th day of February, 2007, before me, the undersigned officer, personally appeared Victor J. Basile, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained and as his free act and deed.

In witness whereof I hereunto set my hand.

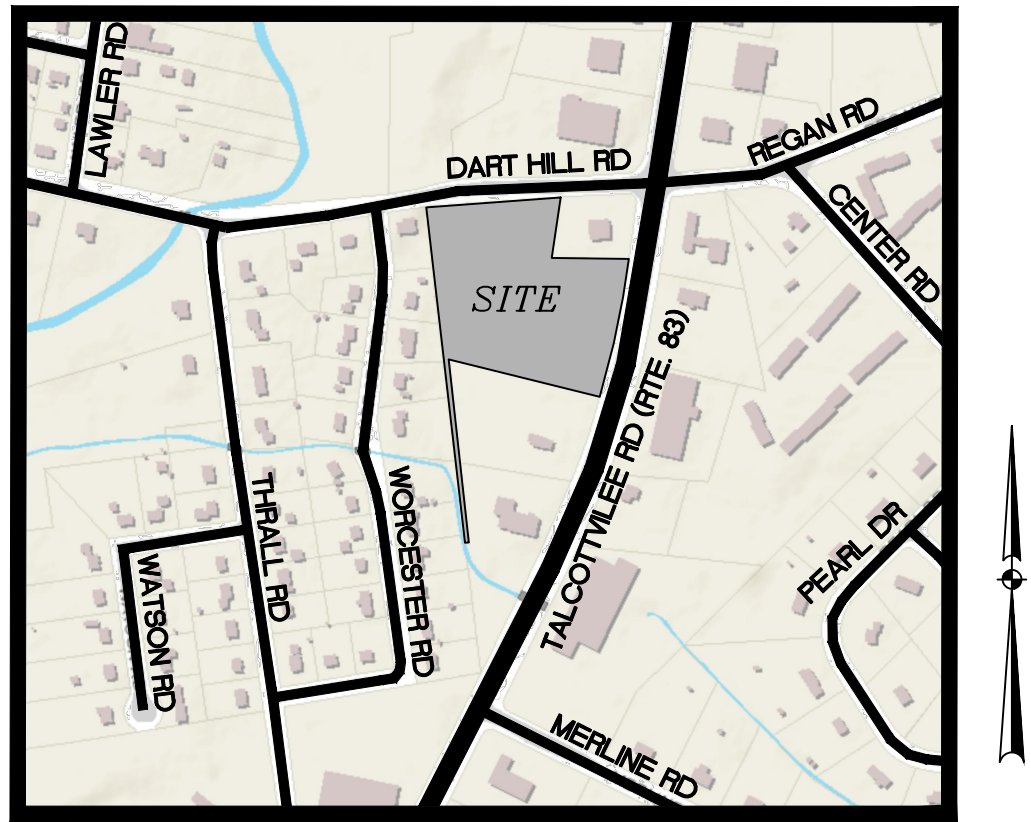

Commissioner of the Superior Court
Notary Public
My Commission Expires:

Grantee's Address: 43 Ridgecrest Lane
Bristol, Connecticut 06010

CONVEYANCE TAX RECEIVED
STATE \$.00
TOWN \$.00
Bernice K. Dixon
TOWN CLERK OF VERNON



501 Talcottville Road
Enfield, Connecticut



KEY PLAN MAP
1"=500'

Applicant
Vernon Development LLC
56 East Main Street
Avon, CT 06001
(860) 677-5607

Owner
501 Talcottville Road LLC
43 Ridgecrest Lane
Bristol, CT 06010-2910

LADA, P.C.

Land Planners

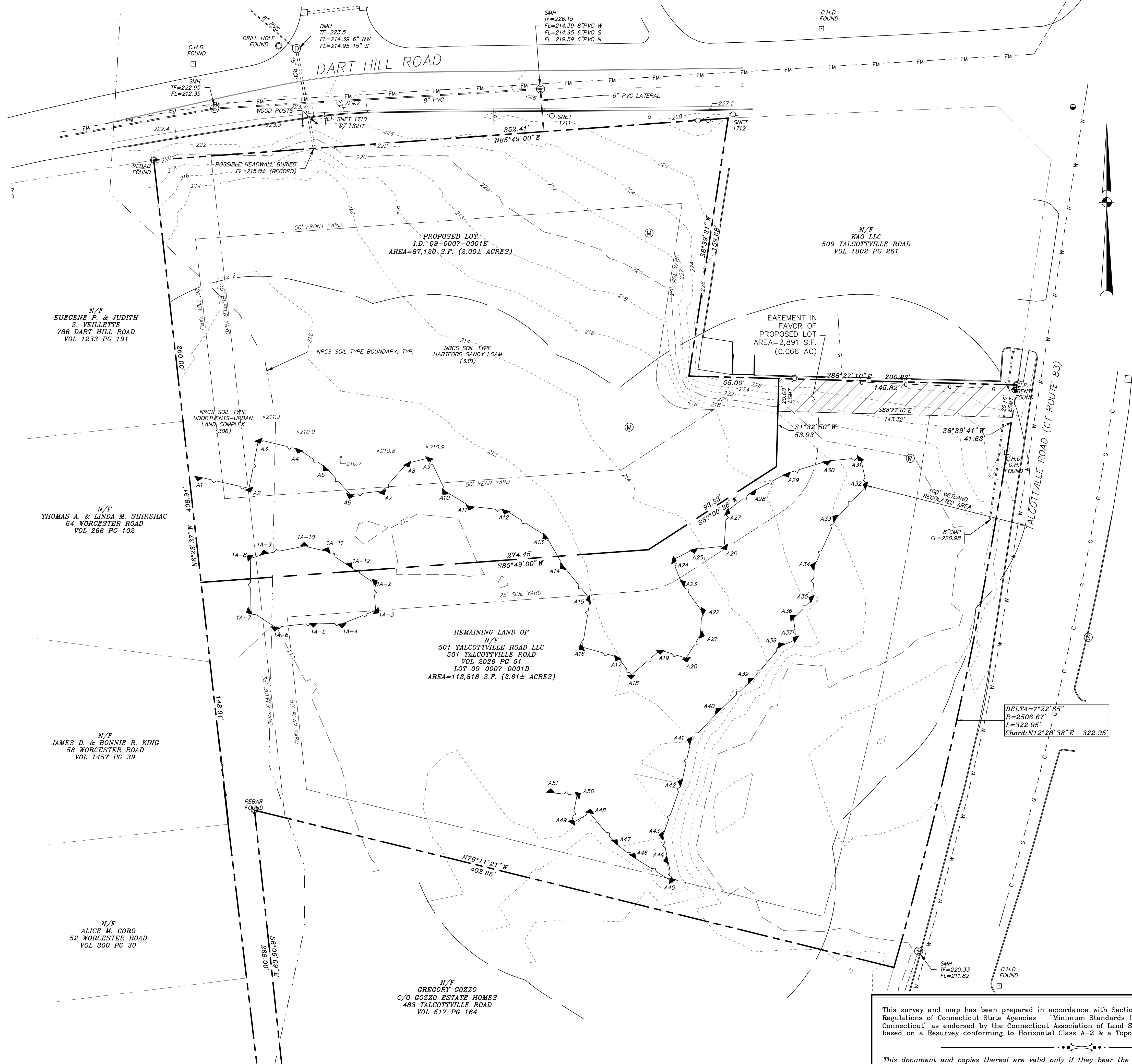
104 West Street
Simsbury, CT 06070 (860) 651-4971
Brewster, NY 10509 (845) 278-7424
Email: ladapc@snet.net

**RUSSO**
SURVEYORS • ENGINEERS
SERVING CT & MA

J.R. Russo & Associates, LLC

1 Shoham Rd East Windsor CT 06088 • CT 860.623.0569 • MA 413.785.1158
www.jrussocom • info@jrussocom

DRAWING INDEX		
SHEET TITLE	SHEET NO.	LATEST REVISION
CIVIL		
COVER SHEET	1 of 11	1-11-22
WETLAND REDESIGNATION PLAN	2 of 12	1-11-22
EXISTING CONDITIONS & DEMOLITION PLAN	3 of 12	1-11-22
LAYOUT PLAN	4 of 12	1-11-22
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STORM SEWER PLAN	6 of 12	1-11-22
UTILITY PLAN	7 of 12	1-11-22
PLANTING PLAN	8 of 12	1-11-22
EROSION & SEDIMENT CONTROL NOTES	9 of 12	1-11-22
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DETAILS	11 of 12	1-11-22
DETAILS	12 of 12	1-11-22



Reference Maps:

- "Boundary Survey Prepared for 501 Talcottville Road LLC, 501 Talcottville Road (CT Route 83) & Dart Hill Road, Vernon, Connecticut" Sheet SV.01, Scale: 1"=50' Date: May 2021 by Alfred Benesch & Company.
- "Topographic Survey Prepared for 501 Talcottville Road LLC, 501 Talcottville Road (CT Route 83) & Dart Hill Road, Vernon, Connecticut" Sheet SV.02Scale: 1"=30' Date: May 2021 by Alfred Benesch & Company.

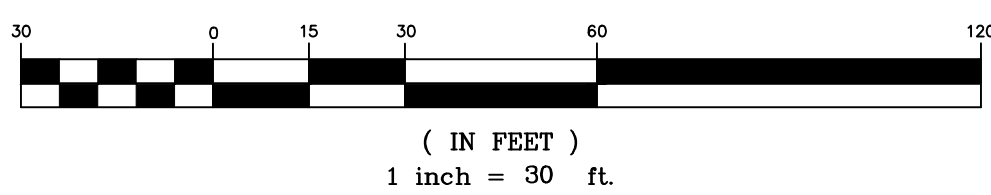
Notes:

- Portion of the parcel is located in inland wetlands as delineated by Rema Ecological Services per reference map #2.
- Proposed lot does not lie within a special flood hazard area per "FEMA flood insurance rate map, town of Vernon, Connecticut community panel number 0901310005C, revised August 9, 1999".
- Horizontal and vertical datums are based upon map references prepared by Alfred Benesch & Company.
- All underground utility locations on this plan are approximate and may not be complete. Anyone using this information without verifying the locations does so at their own risk. No construction will be done on this site prior to utility mark out. "Call Before You Dig 1-800-922-4455".
- Boundary and existing conditions shown hereon are based on map references prepared by Alfred Benesch & Company.

LEGEND

- EXISTING UTILITY POLE
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- PROPOSED FIRE PROTECTION LINE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED ROOF LEADER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER
- EXISTING SANITARY FORCE MAIN
- PROPOSED SANITARY SEWER
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING IRON PIN (FOUND)
- PROPOSED IRON PIN (TO BE SET)
- EXISTING MONUMENT (FOUND)
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMIT OF WETLANDS
- PROPERTY LINE
- EASEMENT LINE
- BUILDING LINE
- STAKED HAYBALES OR SILT FENCE

GRAPHIC SCALE



This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

This document and copies thereof are valid only if they bear the live signature and embossed seal of the designated professional. Unauthorized alterations render any declaration hereon null and void.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

RUSSO
SURVEYORS-ENGINEERS
SERVING CT & MA

J.R. Russo & Associates, LLC
1190 Main Rd East Windsor CT 06028 • CT 860.663.0369 • MA 437.851.1918
www.jrusso.com • jrusso@russo.com

Applicant
Vernon Development LLC
56 East Main Street
Avon, Connecticut 06001

REVISIONS

BY: LF/TAC CHK: JEU

The Learning Experience
Property Of

501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06010
Parcel ID: 09-0007-0001D (Zone: C)

**Wetland
Redesignation Plan**

DATE

1-11-22

SCALE

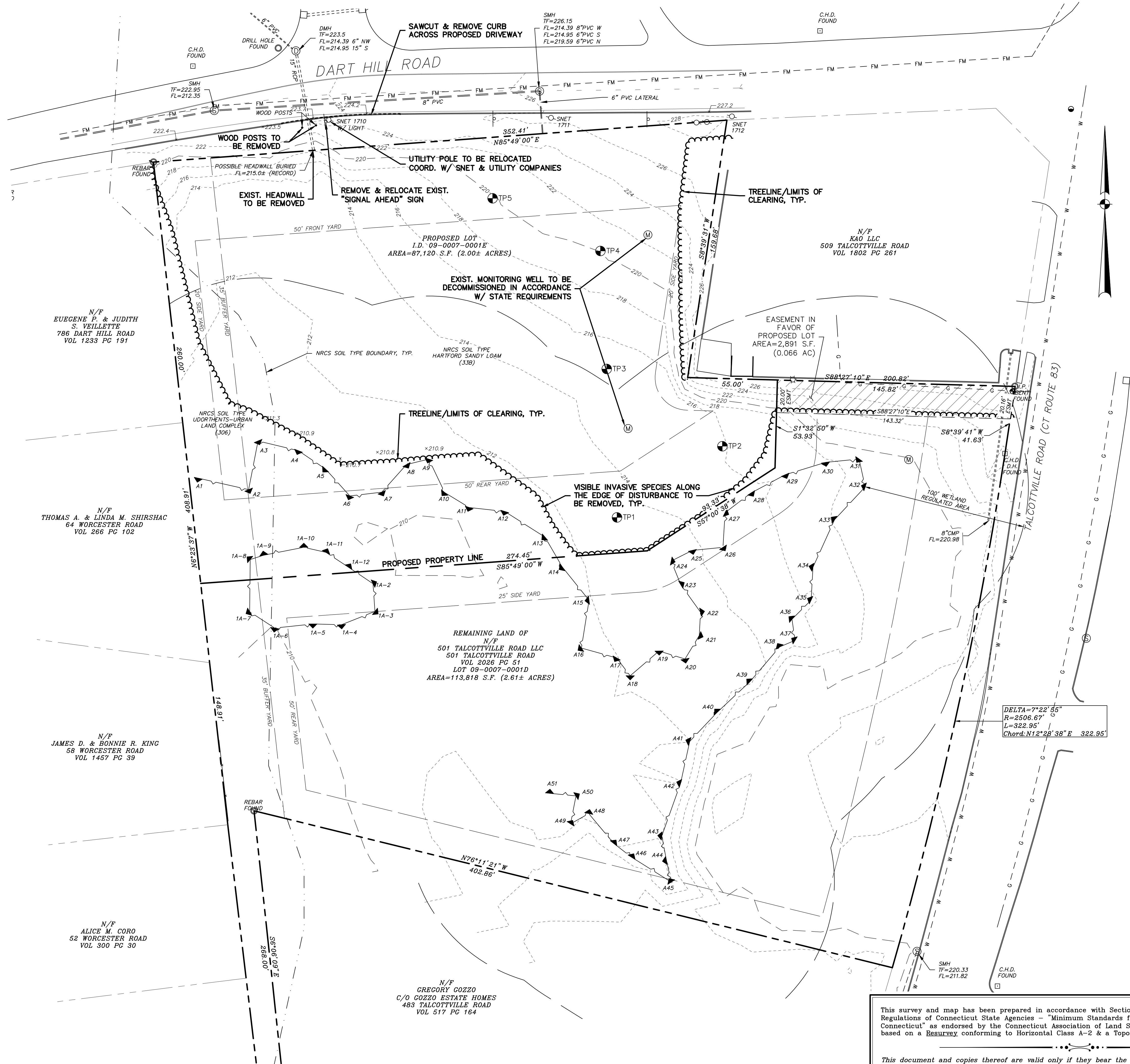
1"=30'

JOB NUMBER

2021-083

SHEET

2 of 12



Reference Maps:

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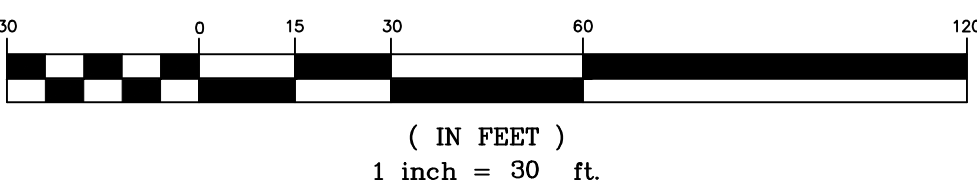
Notes:

- Portion of the parcel is located in inland wetlands as delineated by Rema Ecological Services per reference map #2.
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LEGEND

- EXISTING UTILITY POLE
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- EXISTING SANITARY FORCE MAIN
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- PROPOSED IRON PIN (TO BE SET)
- EXISTING MONUMENT (FOUND)
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- PROPOSED SPOT GRADE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMIT OF WETLANDS
- PROPERTY LINE
- EASEMENT LINE
- BUILDING LINE
- STAKED HAYBALES OR SILT FENCE

GRAPHIC SCALE



This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

This document and copies thereof are valid only if they bear the live signature and embossed seal of the designated professional. Unauthorized alterations render any declaration hereon null and void.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



J.R. Russo & Associates, LLC
1190 Main Rd East Windsor CT 06028 • CT 860.663.0969 • MA 403.780.1918
www.jrusso.com • rjrusso@russo.com

Applicant
Vernon Development LLC
56 East Main Street
Avon, Connecticut 06001

REVISIONS

BY: LF/TAC CHK: JEU

The Learning Experience
Property Of
501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06010
Parcel ID: 09-0007-0001D (Zone: C)

Existing Conditions
& Demolition Plan

DATE

1-11-22

SCALE

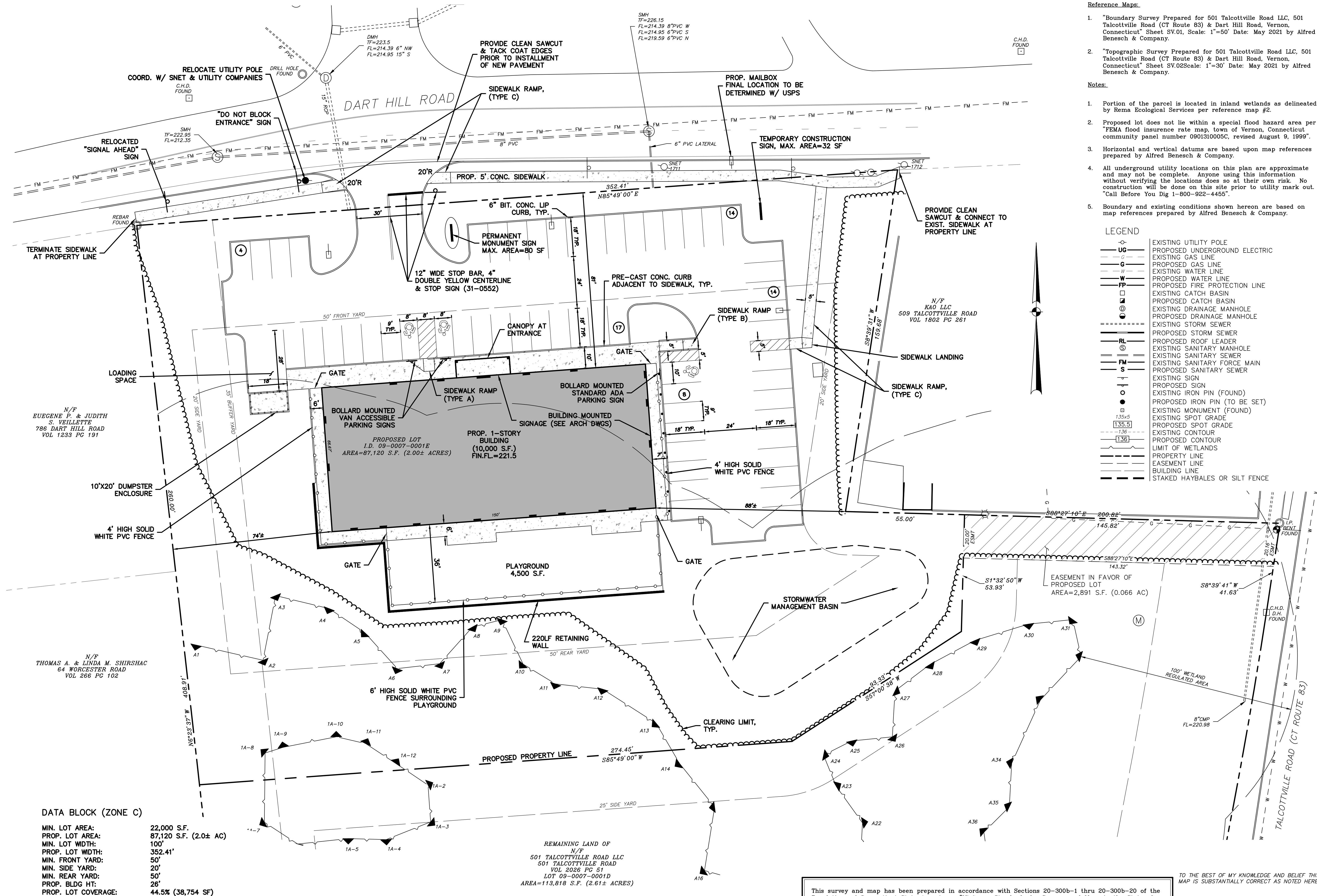
1"=30'

JOB NUMBER

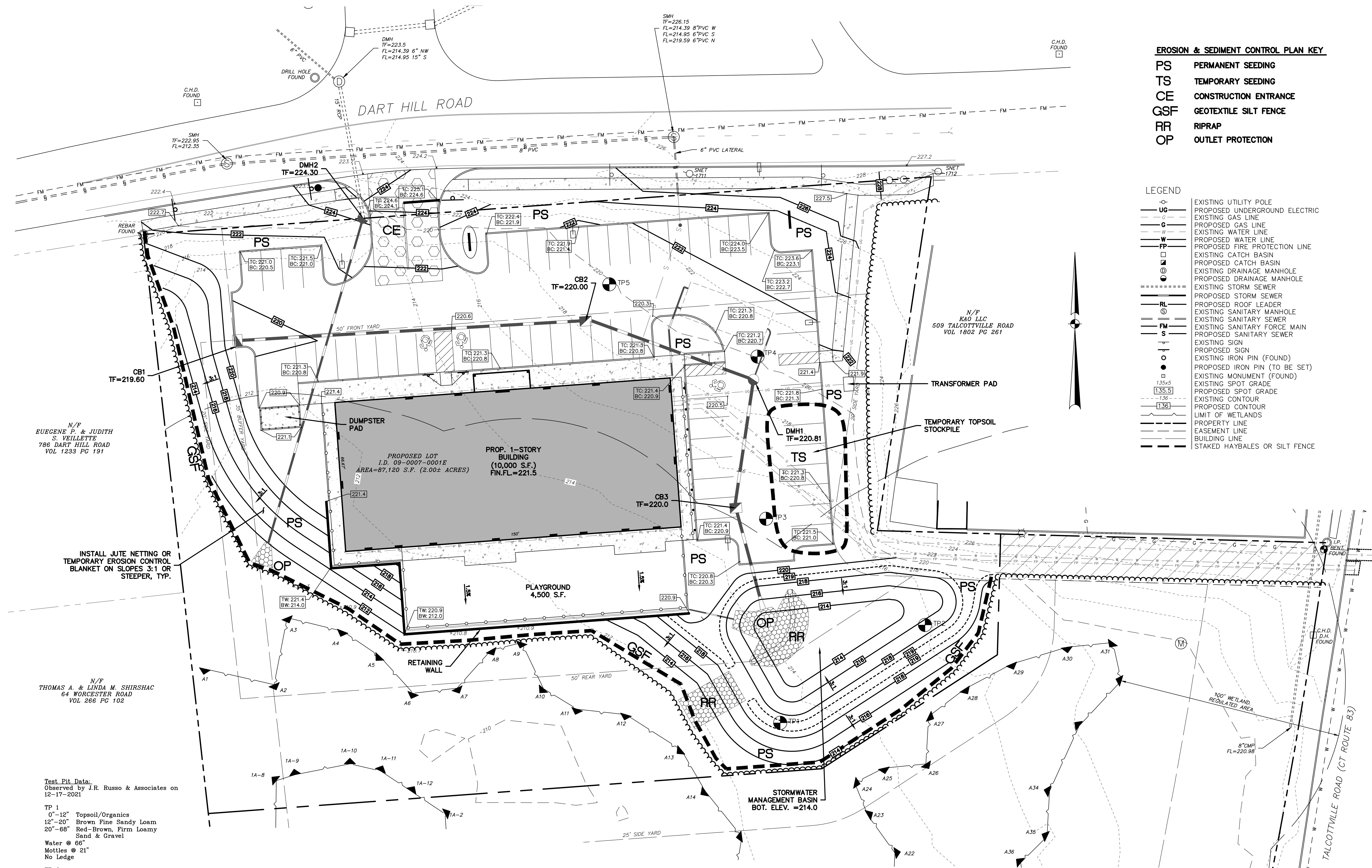
2021-083

SHEET

3 of 12



S:\Acad\2021 Civil 3D\2021-083 Vernon Development - 501 Talcottville Rd\Russos Drawings\2021-083.dwg



Test Pit Data:
Observed by J.R. Russo & Associates on
12-17-2021

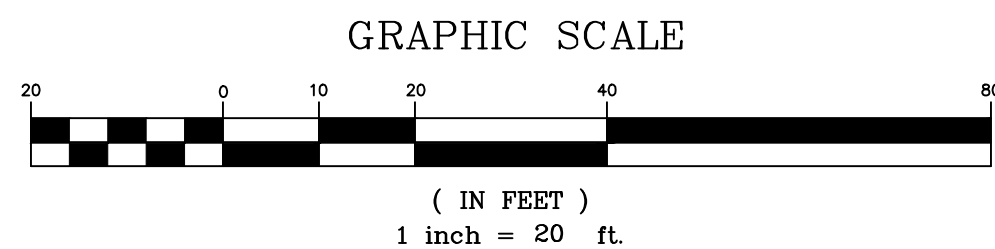
TP 1
0"-12" Topsoil/Organics
12"-20" Brown Fine Sandy Loam
20"-68" Red-Brown, Firm Loamy
Sand & Gravel
Water @ 68"
Mottles @ 21"
No Ledge

TP 2
0"-12" Topsoil/Organics
12"-24" Brown Fine Sandy Loam
24"-62" Red-Brown, Firm Loamy
Sandy & Gravel
Water @ 60"
Mottles @ 48"
No Ledge

TP 3
0"-12" Topsoil/Organics
12"-30" Brown Fine Sandy Loam
30"-64" Red-Brown, Firm Sand & Gravel
Water @ 60"
Mottles @ 40"
No Ledge

TP 4
0"-8" Topsoil/Organics
8"-24" Brown Fine Sandy Loam
24"-90" Red-Brown Loose Sand & Gravel
No Water
No Mottles
No Ledge

TP 5
0"-6" Topsoil/Organics
6"-18" Brown Fine Sandy Loam
24"-64" Red-Brown Loose Sand & Gravel
No Water
No Mottles
No Ledge



This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

... ..

This document and copies thereof are valid only if they bear the live signature and embossed seal of the designated professional. Unauthorized alterations render any declaration hereon null and void.

EROSION & SEDIMENT CONTROL PLAN KEY

PS PERMANENT SEEDING
TS TEMPORARY SEEDING
CE CONSTRUCTION ENTRANCE
GSF GEOTEXTILE SILT FENCE
RR RIPRAP
OP OUTLET PROTECTION

LEGEND

—○— EXISTING UTILITY POLE
—UG— PROPOSED UNDERGROUND ELECTRIC
—G— EXISTING GAS LINE
—C— PROPOSED GAS LINE
—W— EXISTING WATER LINE
—FP— PROPOSED WATER LINE
—FP— PROPOSED FIRE PROTECTION LINE
□ EXISTING CATCH BASIN
□ EXISTING DRAINAGE MANHOLE
□ EXISTING DRAINAGE MANHOLE
===== EXISTING STORM SEWER
===== PROPOSED STORM SEWER
—RL— PROPOSED ROOF LEADER
—S— EXISTING SANITARY MANHOLE
—FM— EXISTING SANITARY SEWER
—S— EXISTING SANITARY FORCE MAIN
—S— PROPOSED SANITARY SEWER
—S— EXISTING SIGN
—S— PROPOSED SIGN
● EXISTING IRON PIN (FOUND)
● PROPOSED IRON PIN (TO BE SET)
● EXISTING MONUMENT (FOUND)
135.5 EXISTING SPOT GRADE
136 PROPOSED SPOT GRADE
-136 EXISTING CONTOUR
-136 PROPOSED CONTOUR
--- LIMIT OF WETLANDS
--- PROPERTY LINE
--- EASEMENT LINE
--- BUILDING LINE
--- STAKED HAYBALES OR SILT FENCE

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS
MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



Applicant
Vernon Development LLC
56 East Main Street
Avon, Connecticut 06001

REVISIONS

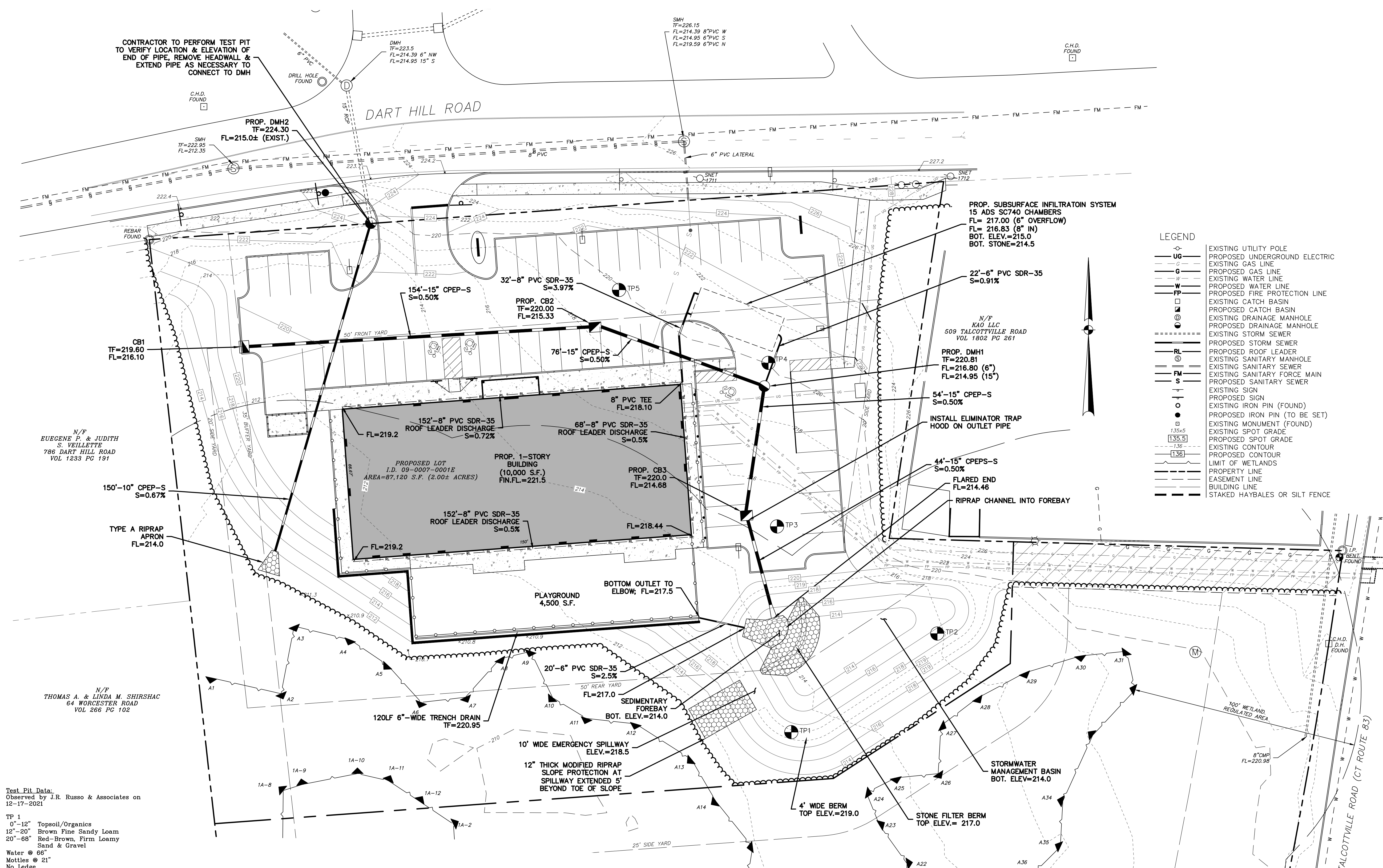
BY: LF/TAC CHK: JEU

The Learning Experience
Property Of
501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06010
Parcel ID: 09-0007-0001D (Zone: C)

Grading & Erosion & Sediment Control Plan

DATE
1-11-22
SCALE
1"=20'
JOB NUMBER
2021-083
SHEET
5 of 12

S:\Acad\2021 Civil 3D\2021-083 Vernon Development - 501 Talcottville Rd\Russos Drawings\2021-083.dwg



This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a **Property Survey** based on a **Resurvey** conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

... ..

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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

RUSSO
SURVEYORS • ENGINEERS
SERVING CT & MA
J.R. Russo & Associates, LLC
1 Stoughton Rd East Windsor CT 06088 • CT 860.623.0399 • MA 403.785.1818
www.jrusso.com • rj@jrusso.com

Applicant
Vernon Development LLC
56 East Main Street
Avon, Connecticut 06001

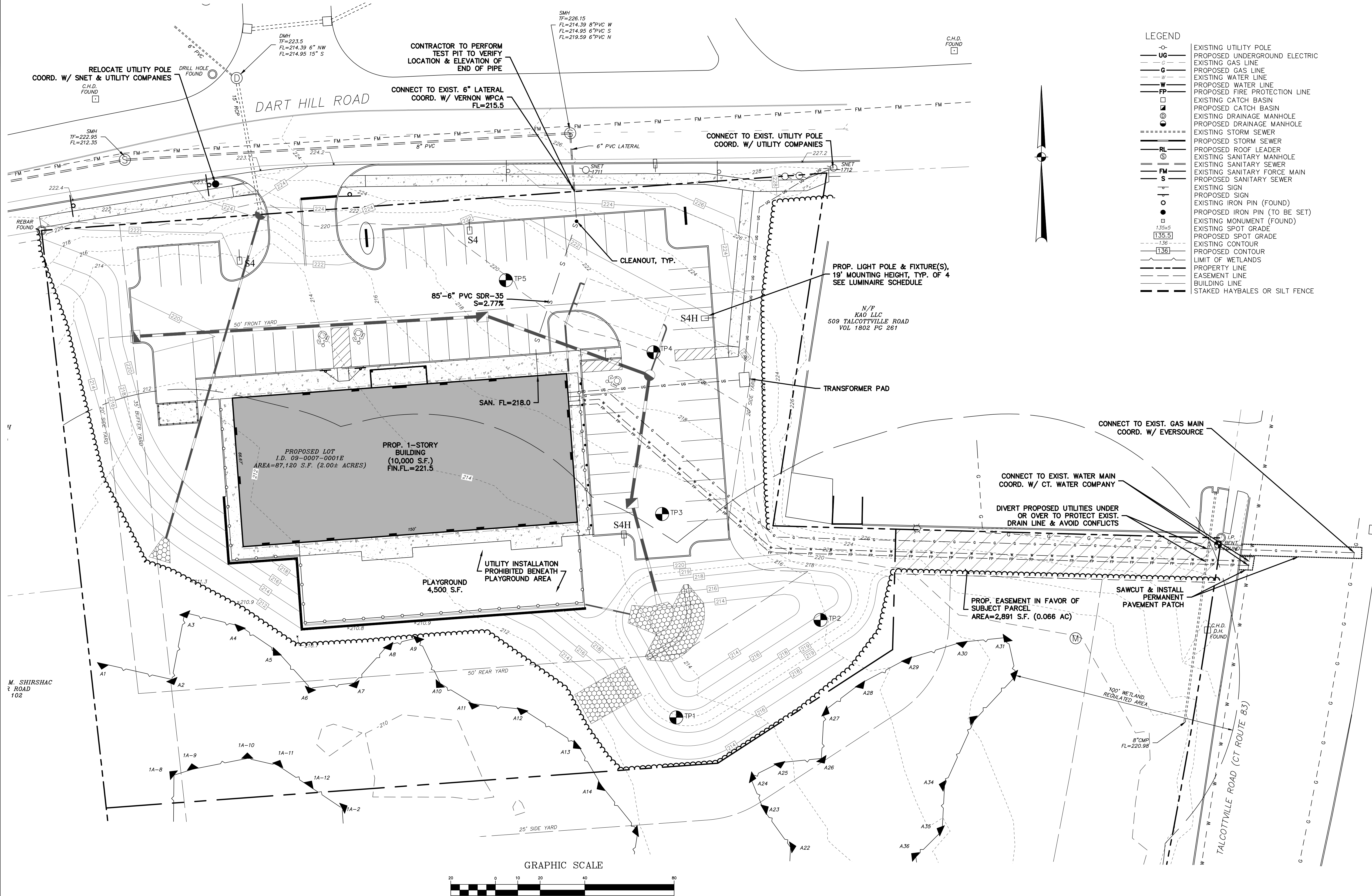
REVISIONS
BY: LF/TAC CHK: JEU

The Learning Experience
Property Of
501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06010
Parcel ID: 09-0007-0001D (Zone: C)

Storm Sewer Plan

DATE	1-11-22
SCALE	1"=20'
JOB NUMBER	2021-083
SHEET	6 of 12

S:\Acad\2021 Civil 3D\2021-083 Vernon Development - 501 Talcottville Rd\Russos Drawings\2021-083.dwg



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
	2	S4	Single	12574	102	0.900	B2-U0-G3	19	Lithonia DSX1 LED P3 40K TFTM MVOLT SPA DBLXD - SSS 18 4C DM19A DBLXD 18FT POLE on 1FT BASE
	2	S4H	Single	11312	125	0.900	B2-U0-G2	19	Lithonia DSX1 LED P4 40K TFTM MVOLT SPA HS DBLXD - SSS 18 4C DM19AS DBLXD 18FT POLE on 1FT BASE

This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



Applicant
Vernon Development LLC
56 East Main Street
Avon, Connecticut 06001

REVISIONS

BY: LF/TAC CHK: JEU

The Learning Experience
Property Of
501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06010
Parcel ID: 09-0007-0001D (Zone: C)

Utility Plan

DATE

1-11-22

SCALE

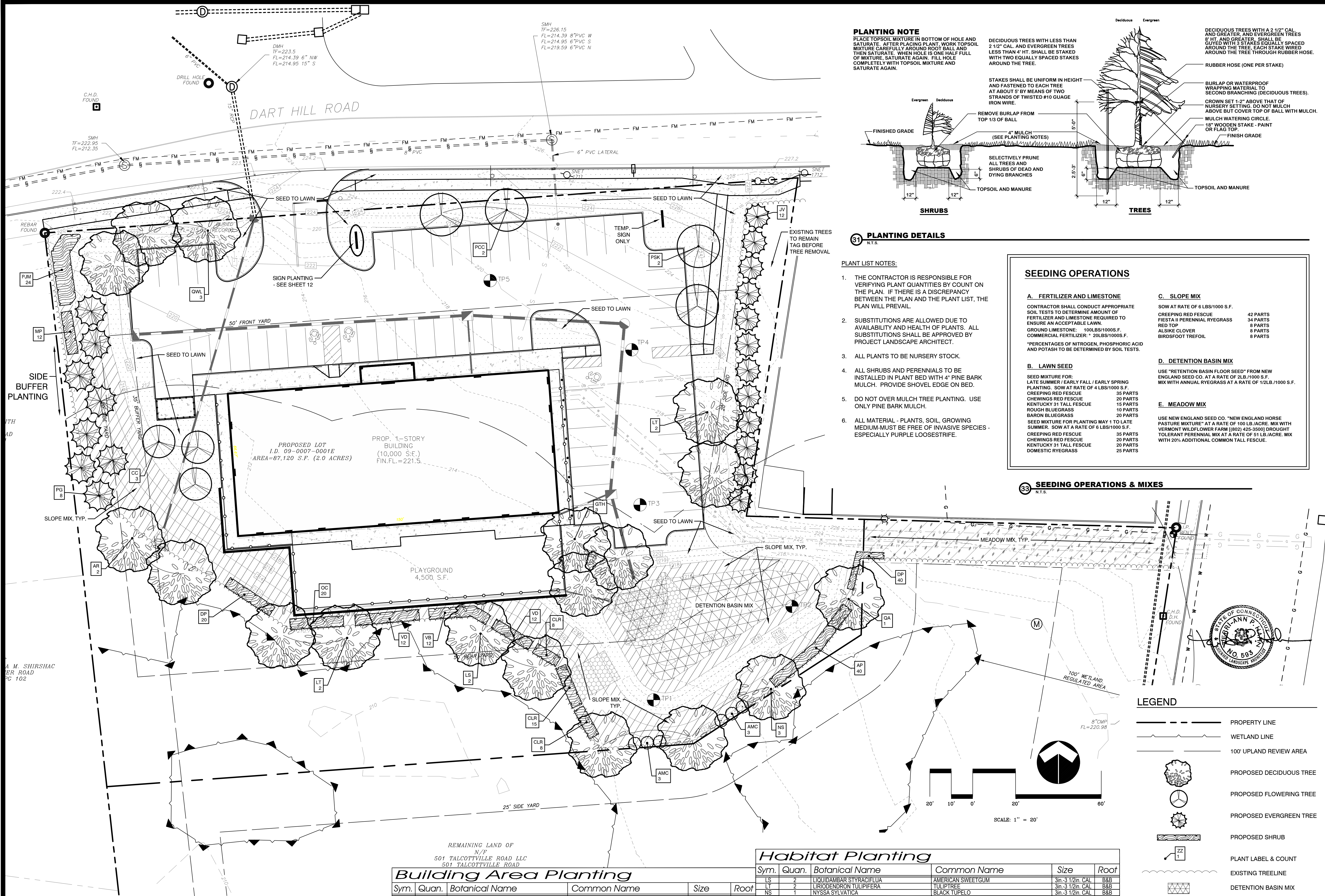
1"=20'

JOB NUMBER

2021-083

SHEET

7 of 12



Side Buffer Planting					
Sym.	Quan.	Botanical Name	Common Name	Size	Root
PG	8	PICEA GLAUCA	WHITE SPRUCE	5ft-6ft Ht.	B&B
MP	12	MYRTICA PENSYLVANICA	NORTHERN BAYBERRY	24in-30in Ht.	CONT.
PJM	24	RHOXODENDRON PJM	PJM RHOXODENDRON	24in-30in Ht.	CONT.

Building Area Planting					
Sym.	Quan.	Botanical Name	Common Name	Size	Root
AR	2	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY RED MAPLE	3in-3 1/2in. CAL	B&B
CC	3	CERIS CANADENSIS	EASTERN REDBUD	2in-2 1/2in. CAL	B&B
GTH	3	GLEDITSIA TRIACANTHOS SHADEMASTER	SHADEMASTER HONEYLOCUST	3in-3 1/2in. CAL	B&B
JV	12	JUNIPERUS VIRGINIANA EMERALD SENTINEL	EMERALD SENTINEL EASTERN RED-CEDAR	5ft-6ft Ht.	B&B
LT	2	LIRIODENDRON TULIPIFERA	TULIPTREE	3in-3 1/2in. CAL	B&B
PCC	2	PRUNUS CALLERYANA CHANTICLEER	ORNAMENTAL PEAR	3in-3 1/2in. CAL	B&B
PSK	2	PRUNUS SERRULATA KWANZAN	KWANZAN CHERRY	3in-3 1/2in. CAL	B&B
QWL	3	QUERCUS X WAREI LONG	REGAL PRINCE OAK - FASTIGIATE FORM	3in-3 1/2in. CAL	B&B

Habitat Planting					
Sym.	Quan.	Botanical Name	Common Name	Size	Root
LS	2	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	3in-3 1/2in. CAL	B&B
LT	2	LIRIODENDRON TULIPIFERA	TULIP TREE	3in-3 1/2in. CAL	B&B
NS	1	NYSSA SYLVATICA	BLACK TUPELO	3in-3 1/2in. CAL	B&B
QA	1	QUERCUS ALBA	WHITE OAK	2in-2 1/2in. CAL	B&B
AMC	6	AMELANCHIER CANADENSIS	SHADEL OW SERVICEBERRY - MULTISTEM SHRUB FORM	4ft-5ft	CONT.
CL	31	CLETHRA ALNIFOLIA RUBY SPICE	RUBY SPICE SUMMERSWEET	24in-30in Ht.	CONT.
VB	12	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	24in-30in Ht.	CONT.
VD	24	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	24in-30in Ht.	CONT.
AP	40	ADIANTUM PEDATUM	MAIDENHAIR FERN		CONT.
DP	60	DIENSTAEIDIA FUNTILIOBULA	HAY SCENTED FERN		CONT.
OC	20	OSMUNDA CINNAMOMEA	CINNAMON FERN		CONT.

PLANTING NOTE

PLACE TOPSOIL MIXTURE IN BOTTOM OF HOLE AND SATURATE. AFTER PLACING PLANT, WORK TOPSOIL MIXTURE CAREFULLY AROUND ROOT BALL AND THEN SATURATE. WHEN HOLE IS ONE HALF FULL OF MIXTURE, SATURATE AGAIN. FILL HOLE COMPLETELY WITH TOPSOIL MIXTURE AND SATURATE AGAIN.

DECIDUOUS TREES WITH LESS THAN 2 1/2" CAL. AND EVERGREEN TREES LESS THAN 4" HT. SHALL BE STAKED WITH TWO EQUALLY SPACED STAKES AROUND THE TREE.

STAKES SHALL BE UNIFORM IN HEIGHT AND FASTENED TO EACH TREE AT ABOUT 5" BY MEANS OF TWO STRANDS OF TWISTED #10 GAUGE IRON WIRE.

REMOVE BURLAP FROM TOP 1/3 OF BALL (SEE PLANTING NOTES)

SELECTIVELY PRUNE ALL TREES AND SHRUBS OF DEAD AND DYING BRANCHES

TOPSOIL AND MANURE

SHRUBS

TREES

FINISHED GRADE

TOPSOIL AND MANURE

TOPSOIL AND MANURE

TOPSOIL AND MANURE

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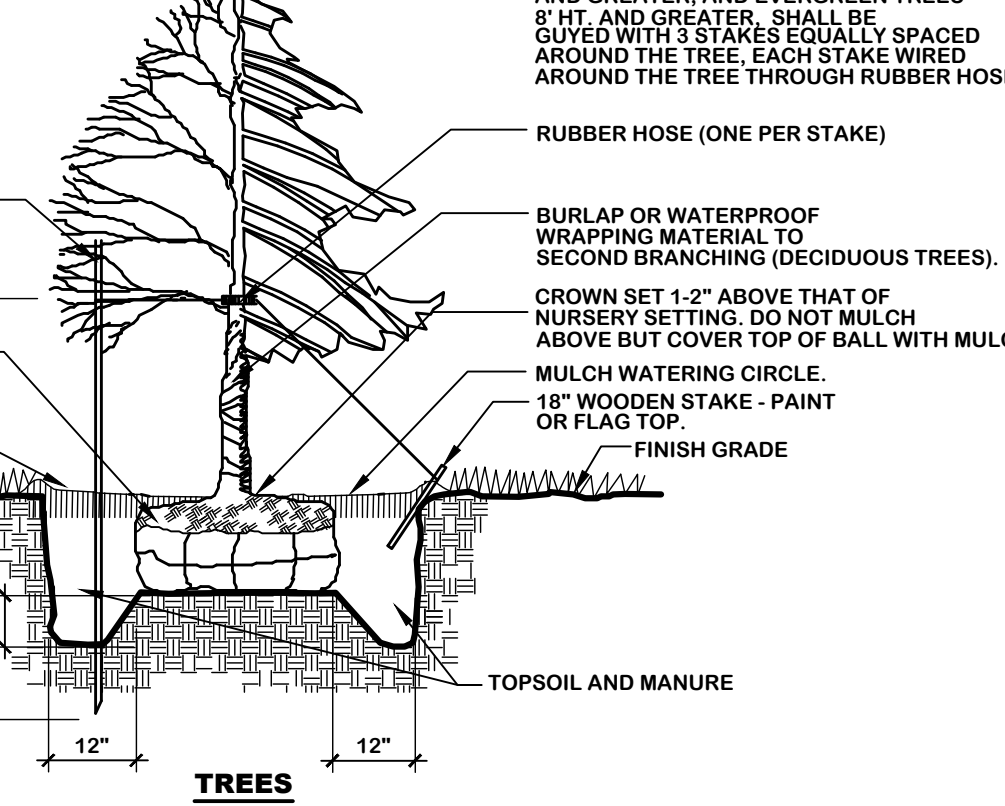
TOPSOIL AND MANURE

TOPSOIL AND MANURE

TOPSOIL AND MANURE

TOPSOIL AND MANURE

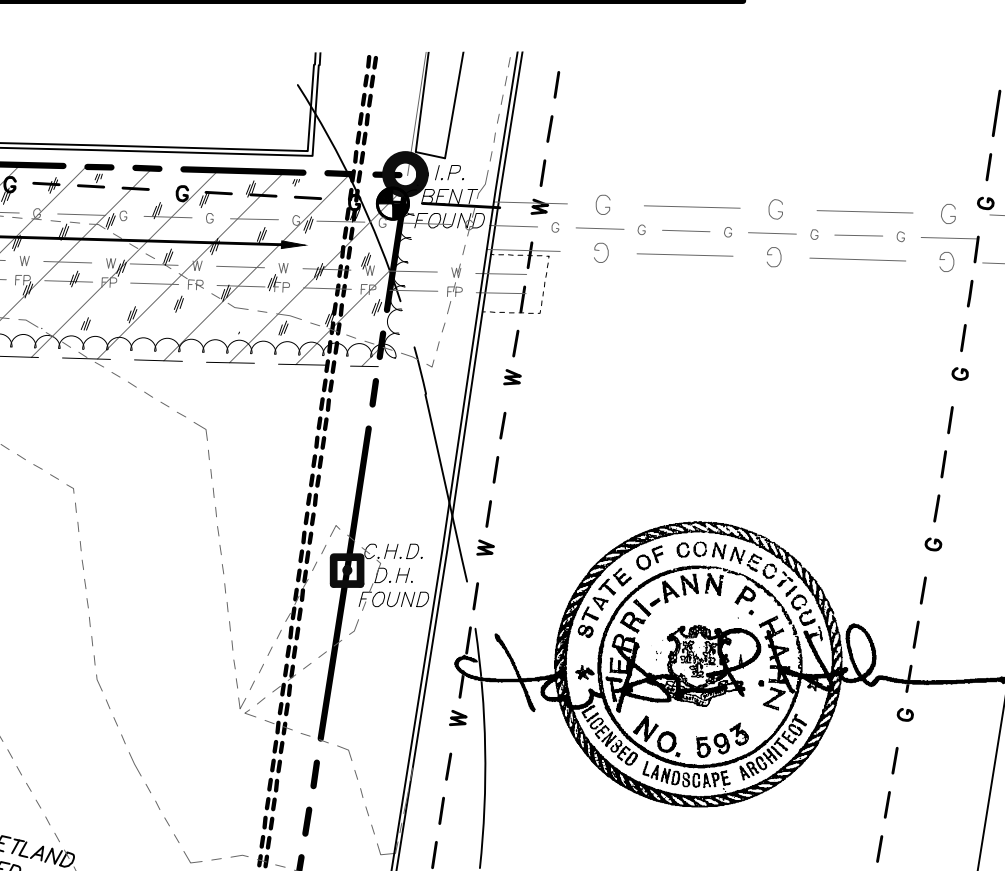
PLANTING DETAILS



SEEDING OPERATIONS

- A. FERTILIZER AND LIMESTONE**
CONTRACTOR SHALL CONDUCT APPROPRIATE SOIL TESTS TO DETERMINE AMOUNT OF FERTILIZER AND LIMESTONE REQUIRED TO ENSURE AN ACCEPTABLE LAWN.
GROUND LIMESTONE: 100LBS/1000S.F.
COMMERCIAL FERTILIZER: 20LBS/1000S.F.
*PERCENTAGES OF NITROGEN, PHOSPHORIC ACID AND POTASH TO BE DETERMINED BY SOIL TESTS.
- B. LAWN SEED**
SEED MIXTURE FOR: LATE SUMMER / EARLY FALL / EARLY SPRING PLANTING. SOW AT RATE OF 4 LBS/1000 S.F.
CREeping RED FESCUE 35 PARTS
CHEWINGS RED FESCUE 20 PARTS
KENTUCKY 31 TALL FESCUE 15 PARTS
ROUGH BLUEGRASS 10 PARTS
BARON BLUEGRASS 20 PARTS
SEED MIXTURE FOR PLANTING MAY 1 TO LATE SUMMER. SOW AT RATE OF 6 LBS/1000 S.F.
CREeping RED FESCUE 35 PARTS
CHEWINGS RED FESCUE 20 PARTS
KENTUCKY 31 TALL FESCUE 20 PARTS
DOMESTIC RYEGRASS 25 PARTS
- C. SLOPE MIX**
SOW AT RATE OF 6 LBS/1000 S.F.
CREeping RED FESCUE 42 PARTS
FIESTA II PERENNIAL RYEGRASS 34 PARTS
RED TOP 8 PARTS
ALSKIE CLOVER 8 PARTS
BIRDSFOOT TREFOIL 8 PARTS
- D. DETENTION BASIN MIX**
USE "RETENTION BASIN FLOOR SEED" FROM NEW ENGLAND SEED CO. AT A RATE OF 2LB./1000 S.F. MIX WITH ANNUAL RYEGRASS AT A RATE OF 1/2LB./1000 S.F.
- E. MEADOW MIX**
USE NEW ENGLAND SEED CO. "NEW ENGLAND HORSE PASTURE MIXTURE" AT A RATE OF 100 LB./ACRE. MIX WITH VERMONT WILDFLOWER FARM (802) 425-3500 DROUGHT TOLERANT PERENNIAL MIX AT A RATE OF 51 LB./ACRE. MIX WITH 20% ADDITIONAL COMMON TALL FESCUE.

SEEDING OPERATIONS & MIXES



LEGEND

- PROPERTY LINE
WETLAND LINE
100' UPLAND REVIEW AREA
PROPOSED DECIDUOUS TREE
PROPOSED FLOWERING TREE
PROPOSED EVERGREEN TREE
PROPOSED SHRUB
PLANT LABEL & COUNT
EXISTING TREELINE
DETENTION BASIN MIX
LAWN SEED MIX
SLOPE MIX
MEADOW MIX

RUSSO
SURVEYORS-ENGINEERS
SERVING CT & MA
J.R. Russo & Associates, LLC
150 West Street
Stamford, CT 06907
(860) 655-4471
www.russosurveyors.com
Email: russos@russosurveyors.com

LADA, P.C.
Land Planners
104 West Street
Stamford, CT 06907
(860) 655-4471
Email: lada@lada.net

REVISIONS	
BY: DFM	CHK: TPH

The Learning Experience
Property of
501 Talcottville Road, LLC
501 Talcottville Road
Vernon, Connecticut 06010
Parcel ID: 09-0007-0001D (Zone: C)

Planting Plan	
DATE	01-06-2022
SCALE	1"=20'
JOB NUMBER	2021-083
SHEET	8 of 12

APPLICATION 1



TOWN OF VERNON

INLAND WETLANDS COMMISSION (IWC)

APPLICATION

This form is to be used to apply to the Vernon Inland Wetlands Commission (IWC) for approval for a redesignation of a wetlands area, a change to the Inland Wetlands and Watercourses Regulations, and/or a permit to conduct a regulated activity in a wetland, watercourse, or upland review area (URA), which are defined as areas within one hundred (100) feet from the boundary of a wetland, watercourse, or intermittent watercourse and areas within two hundred (200) feet from the boundary of Gage's Brook, Hockanum River, Ogden Brook, Railroad Brook, Tankerhoosen River, Valley Falls Pond, Walker Reservoir East, Walker Reservoir West. Any activity that the Commission determines is likely to impact or affect wetlands or watercourses may be considered a regulated activity. **Provide all the information requested.**

The Applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property. Said interest shall be explained. If the applicant is not the property owner, written permission for this Application must be obtained from the property owner and submitted by letter signed by the property owner authorizing submission of the Application.

The Applicant understands that the Application is complete only when all information and documents required by IWC have been submitted and that any approval by the IWC relies upon complete and accurate information being provided by the Applicant. Incorrect information provided by the Applicant may make the approval invalid. The IWC may require additional information to be provided by the Applicant.

I. APPLICANT (S)

Name: Jerry Fornarelli
Title: _____
Company: _____
Address: 57 Hartford Turnpike, Vernon, CT
Telephone: 860-951-4657 Fax: _____
E-mail: _____

II. PROPERTY OWNERS

Name: Peter Krause
Title: President
Company: Sub Peak of Connecticut, Inc.
Address: 14 Hartford Turnpike
Vernon, CT 06066
Telephone: 860-205-1440 Fax: 860-646-4895
E-mail: pkrause7681@gmail.com

III. PROPERTY

Address: 57 Hartford Turnpike

Assessor ID Code: Map # 1 Block # 158 Lot/Parcel # 57

Land Record Reference to Deed Description: Volume: 2584 Page 229

USGA Location: 859720, 1067020

Circle the Map Quadrangle Name: Manchester # 38 Rockville #39

Circle the Sub regional Drainage Basin #: 3108 4500 4502 4503

Zoning District: Commercial

IV. PROJECT

Project Name: 57 Hartford Turnpike

Project Contact Person:

Name: Mark Peterson

Title: Partner

Company: Gardner & Peterson Associates, LLC

Address: 178 Hartford Turnpike, Tolland, CT 06084

Telephone: 860-871-0808 Fax: _____

E-mail: mpeterson@gardnerpeterson.com

V. PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "The Town of Vernon Inland Wetlands and Watercourses Regulations".

Purpose: Wetland Redesignation and Permit Plan

General Activities: Construction of a deck and storage garage and pavilion
within the upland review area.

Regulated Activities:

Watercourse disturbance (linear feet): None

Wetlands disturbance (acres or sq. ft.): None

Upland Review Area (URA) disturbance: 0.35 acres

Nonregulated activities & activities outside URA: None

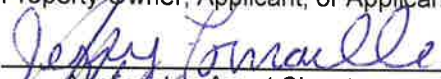

VI. APPLICATION

- ☒ Redesignation of Wetlands
- ☐ Amendment of Inland Wetlands and Watercourses Regulations
- ☐ Modification of a Wetlands Redesignation
- ☒ Wetlands Permit
- ☒ Non-significant activity
- ☐ Significant activity with less than 1/2 acre site disturbance
- ☐ Significant activity with site disturbance from 1/2 acre to and including 2 acres
- ☐ Significant activity with site disturbance greater than 2 acres
- ☐ Commission modification of a wetland permit in effect
- ☐ Modification of a wetland permit by the Wetlands Agent
- ☐ Approval of a license by the Wetlands Agent for activities in an upland
- ☐ Appeal of a decision by the Wetlands Agent
- ☐ Subdivision review per CGS Section 8-26
- ☐ Jurisdictional ruling regarding permitted and nonregulated uses
- ☐ Waiver, reduction, or delayed payment of fees (attach statement of justification)
- ☐ Waiver
- ☐ Reduction to \$ _____
- ☐ Delay of payment to _____

VII. CERTIFICATION AND SIGNATURE

I, the undersigned Applicant or applicant's Agent, hereby certify that I have reviewed the "Town of Vernon Inland Wetlands and Watercourses Regulations" and have prepared this Application with complete and accurate information.

Property Owner, Applicant, or Applicant's Agent:

	<u>Jerry Fornarelli</u>	<u>12/10/2021</u>
Applicant or Agent Signature	Printed Name	Date
	<u>PETER KRAUSE</u>	<u>12/10/2021</u>
Owner's Signature, if different	Printed Name	Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

DATE APPLICATION SUBMITTED _____

DATE APPLICATION RECEIVED BY COMMISSION _____

IWC FILE: _____

USE THIS FORM ONLY IF THE REQUIREMENTS OF
22-a-42a(b) OF THE C.G.S. MUST BE MET

RECEIPT FOR DOCUMENTS SUBMITTED FOR PUBLIC INSPECTION

TO: VERNON TOWN CLERK
FROM: Gardner & Peterson Assoc., LLC
REFERENCE: 57 Hartford Turnpike, Vernon
DATE"

The attached documents, consisting of:
-Town of Vernon Inland Wetlands Commission (IWC) Application
-Wetland Redesignation Plan Sub Peak of Connecticut, Inc.
Lot #8 #57 Hartford Turnpike Vernon, Connecticut
Gardner & Peterson Associates, LLC 178 Hartford Turnpike
Tolland, Connecticut Professional Engineers Land Surveyors
By M.A.P. Scale 1"=50' Date 12-09-2021 Sheet No. 1 of 1
Map No. 8926-8W

are being submitted for public inspection under CGS 8-3(a)/22a-42a (b).

Received: _____

Vernon Town Clerk _____
Signature

Date: _____

-Improvement Location Survey Permit Plan Land of Sub Peak
of Connecticut, Inc. Lot #8 #57 Hartford Turnpike Vernon,
Connecticut Gardner & Peterson Associates, LLC 178 Hartford
Turnpike Tolland, Connecticut Professional Engineers Land
Surveyors By M.A.P. Scale 1"=50' Date 12-10-2021 Sheet 1 of 1
Map No. 8926-P8



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

1. DATE ACTION WAS TAKEN: year: _____ month: _____
2. ACTION TAKEN (see instructions, only use one code): _____
3. WAS A PUBLIC HEARING HELD (check one)? yes ☐ no ☐
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (print name): Vernon
does this project cross municipal boundaries (check one)? yes ☐ no ☒
if yes, list the other town(s) in which the action is occurring (print name(s)): _____
6. LOCATION (see instructions for information): USGS quad name: Manchester or number: 38
subregional drainage basin number: 4500
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Jerry Fornarelli
8. NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): 57 Hartford Turnpike
briefly describe the action/project/activity (check and print information): temporary ☐ permanent ☐ description: Approval of wetland boundary and construction of deck and garage
9. ACTIVITY PURPOSE CODE (see instructions, only use one code): M
10. ACTIVITY TYPE CODE(S) (see instructions for codes): 14, 1, 2
11. WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
12. UPLAND AREA ALTERED (must provide acres): 0.35 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

LEGEND:

- EXISTING PIN/PIPE
EXISTING MONUMENT
IRON PIN TO BE SET
MONUMENT TO BE SET
EXISTING CONTOUR (FROM TOWN AERIAL)
EXISTING BITUMINOUS CONCRETE CURBING
EXISTING EDGE OF PARKING/DRIVE
EXISTING LIGHT POLE
EXISTING LIGHT/UTILITY POLE (FROM TOWN AERIAL)
EXISTING GAS GATE/VALVE
EXISTING WATER GATE/VALVE
EXISTING FIRE HYDRANT
EXISTING BOLLARD
EXISTING ELECTRIC TRANSFORMER
EXISTING FENCE
EXISTING GUARD RAIL
EXISTING FENCE (FROM TOWN AERIAL)
APPROX. LOCATION OF WATER LINE
APPROX. LOCATION OF GAS LINE
APPROX. LOCATION OF SAN. SEWER
APPROX. LOCATION OF ELEC./UTILITY LINES
EXISTING STORM DRAIN
EXISTING STORM DRAIN (FROM TOWN AERIAL)
EXISTING SAN. MANHOLE
EXISTING ELECTRIC MANHOLE

NOTES:
1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS A DATA ACCUMULATION PLAN BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, TOPOGRAPHY DEPICTED CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-D.

2. REFERENCE IS MADE TO THE FOLLOWING PLAN:
A. "RESUBDIVISION PLAN - LOT #7 TALCOTTVILLE DEVELOPMENT COMPANY, LLC #57 & #163 HARTFORD TURNPIKE VERNON, CONNECTICUT BY: GARDNER & PETERSON ASSOCIATES, LLC BY: B.D.C., DATE: 6-8-2015, REVISED TO 12-08-2021, SHEET 4 OF 5, MAP NO. 8926-RESUB-7"

THE PURPOSE OF THIS PLAN IS TO APPROVE THE INLAND WETLANDS THAT WERE FIELD DELINEATED ON LOT #8.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Peterson
KENNETH R. PETERSON

L.S. 10839
REGISTRATION NO.

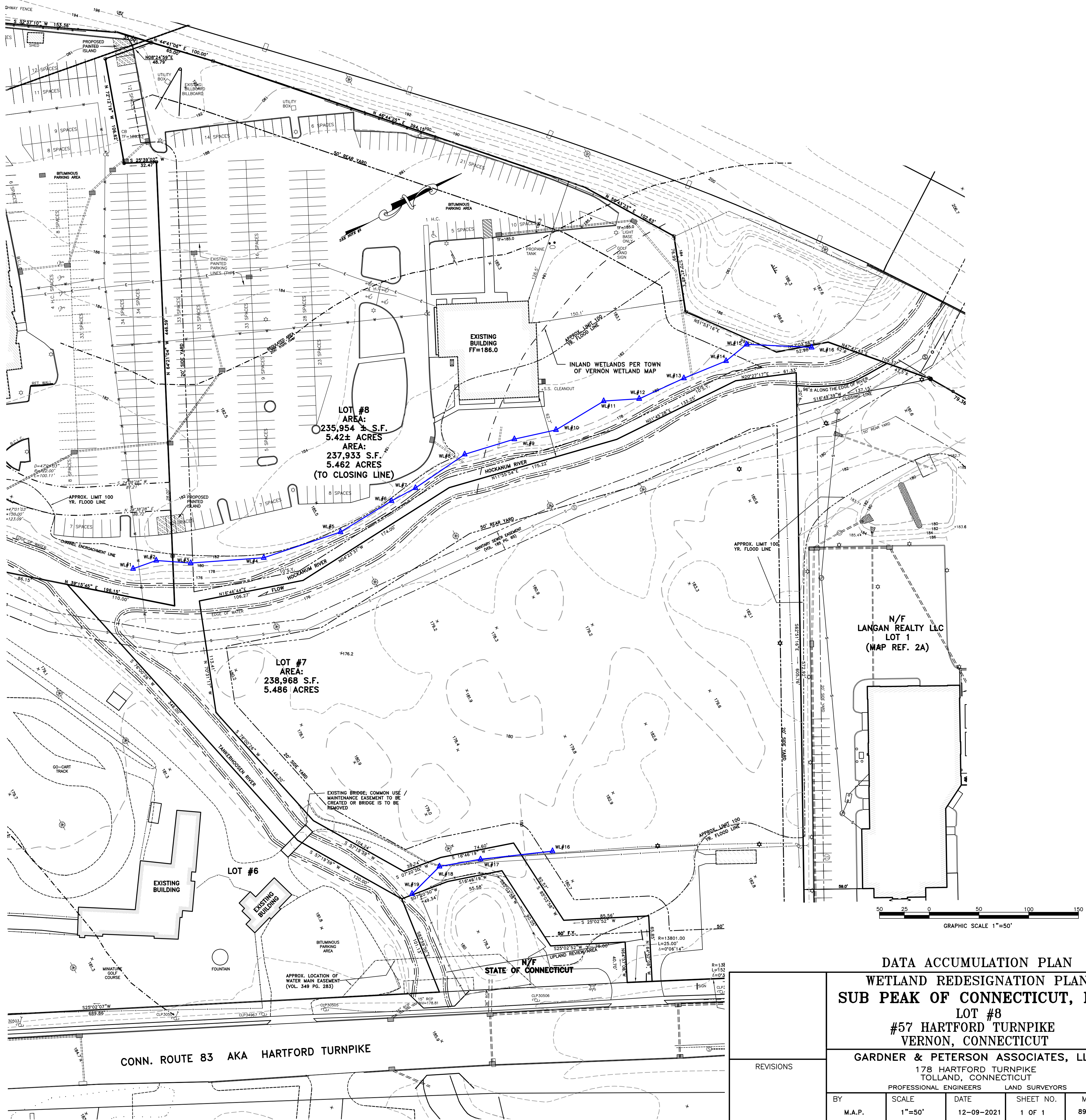
UTILITY NOTE:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN

SOIL SCIENTIST

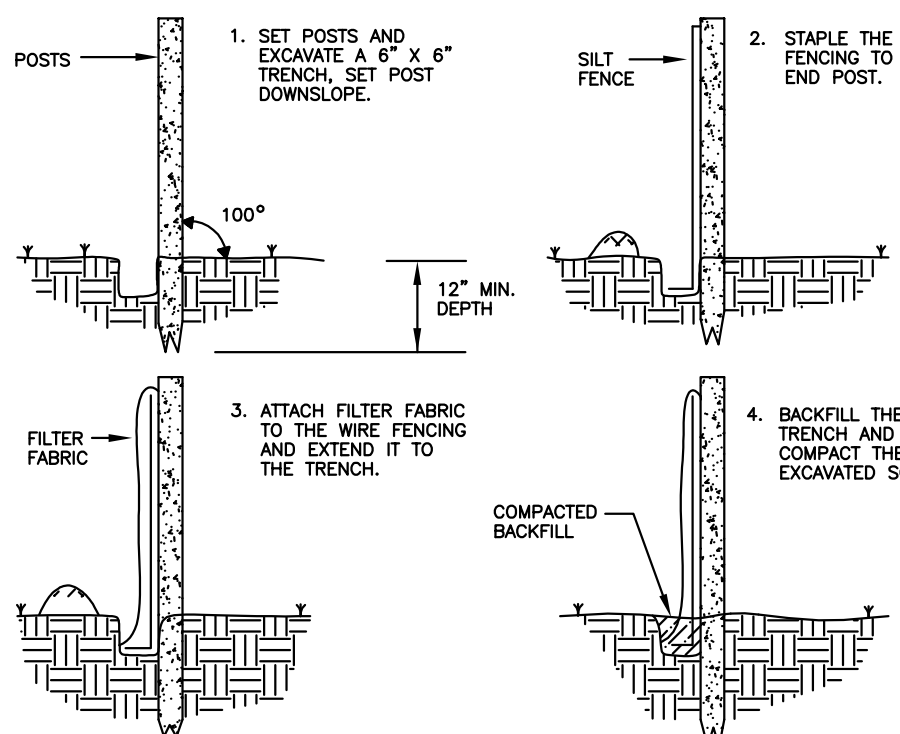
GRAPHIC SCALE 1"=50'



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLUPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE. TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- STRIP TOPSOIL AND EXCAVATE FOR FOOTING
- CONSTRUCT GARAGE
- FINAL GRADE
- LOAM AND SEED ALL DISTURBED AREAS
- REMOVE SILTENCE WHEN SITE IS STABILIZED
- PAINT HATCH OVER TWO PARKING SPACES
- FRONT/SOUTHERLY ADDITIONS
- INSTALL SILT SAC IN CATCH BASIN
- INSTALL SILTENCE AS SHOWN
- PROJECT DATES:
- DATE OF CONSTRUCTION START FEBRUARY 1, 2022
- DATE OF CONSTRUCTION COMPLETION OCTOBER 15, 2022
- EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER



NOTES:

- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE STATUTES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, TOPOGRAPHY DEPICTED CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-D.
- REFERENCE IS MADE TO THE FOLLOWING PLAN:
A. "RESUBDIVISION PLAN - LOT #7 TALCOTTVILLE DEVELOPMENT COMPANY, LLC #57 & #163 HARTFORD TURNPIKE VERNON, CONNECTICUT BY: GARDNER & PETERSON ASSOCIATES, LLC BY: B.D.C., DATE: 6-8-2015, REVISED 12-08-2021, SHEETS 4 OF 5, MAP NO. 8926-RESUB-7"
- "WETLAND REDESIGNATION PLAN DATA ACCUMULATION PLAN SUB PEAK OF CONNECTICUT, INC. LOT #8 #57 HARTFORD TURNPIKE VERNON, CONNECTICUT BY: GARDNER & PETERSON ASSOCIATES, LLC BY: MAP DATE: 12-09-2021, SHEET 1 OF 1, MAP NO. 8926-8W"

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

KENNETH R. PETERSON

L.S. 10839
REGISTRATION NO.

CONSTRUCTION SCHEDULE &
EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: LOT 8-SUB PEAK OF CONNECTICUT, INC.

LOCATION: 57 HARTFORD TURNPIKE

PROJECT DESCRIPTION: PROPOSED DECK AND DETACHED GARAGE

PARCEL AREA: 5.42± ACRES

RESPONSIBLE PERSONNEL: JERRY FORNARELLI

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CALL CBYD			
DECK CONSTRUCTION			
INSTALL SILTENCE AS SHOWN			
REMOVE EXISTING SIDEWALK			
INSTALL FLOOD STORAGE AREA (SPOILS TO BE PLACED OUTSIDE FLOOD ZONE)			
REMOVE BRUSH/SAPLINGS ALONG WEST SIDE OF RIVER NEAR DECK (STUMPS TO REMAIN)			
INSTALL HELICAL PILES FOR DECK CONSTRUCTION (PIERS TO BE DRILLED-NO SITE EXCAVATION)			
CONSTRUCT DECK			
LOAM AND SEED ALL DISTURBED AREAS			
REMOVE SILTENCE WHEN SITE IS STABILIZED			
GARAGE CONSTRUCTION			
INSTALL SILTENCE			
STRIP TOPSOIL AND EXCAVATE FOR FOOTING			
CONSTRUCT GARAGE			
FINAL GRADE			
LOAM AND SEED ALL DISTURBED AREAS			
REMOVE SILTENCE ONCE SITE IS STABILIZED			
PAINT HATCH OVER TWO PARKING SPACES			
FRONT/SOUTHERLY ADDITIONS			
INSTALL SILT SAC IN CATCH BASIN			
INSTALL SILTENCE AS SHOWN			

FLOOD STORAGE CALCULATIONS

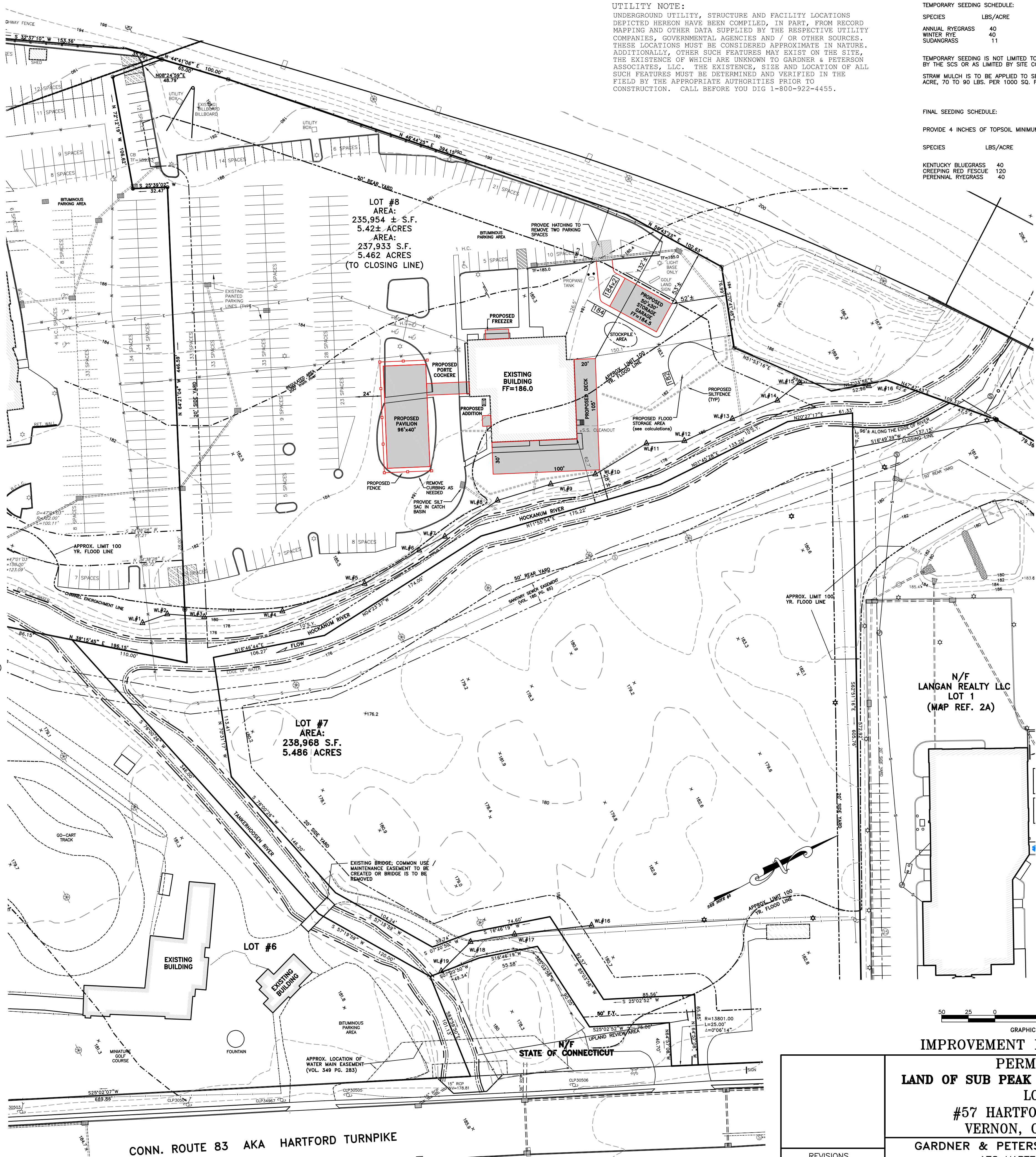
(40) PROPOSED PILING
EACH PILING IS 10" DIAMETER AND AVERAGES 24" FROM THE EXISTING GROUND TO THE FLOOD ELEVATION.
(3.14x0.42'2) x 2.0' x 40 = 44c.f. OF FLOOD STORAGE AREA USED
FLOOD STORAGE CREATED: 50c.f.

PAVEMENT CROSS SECTION

N.T.S.

LEGEND:

EXISTING PIN/PIPE	
EXISTING MONUMENT	
IRON PIN TO BE SET	
MONUMENT TO BE SET	
EXISTING CONTOUR (FROM TOWN AERIAL)	
EXISTING BITUMINOUS CONCRETE CURBING	
EXISTING EDGE OF PARKING/DRIVE	
EXISTING LIGHT POLE	
EXISTING LIGHT/UTILITY POLE (FROM TOWN AERIAL)	
EXISTING GAS GATE/VALVE	
EXISTING WATER GATE/VALVE	
EXISTING FIRE HYDRANT	
EXISTING BOLLARD	
EXISTING ELECTRIC TRANSFORMER	
EXISTING FENCE	
EXISTING GUARD RAIL	
EXISTING FENCE (FROM TOWN AERIAL)	
APPROX. LOCATION OF WATER LINE	
APPROX. LOCATION OF GAS LINE	
APPROX. LOCATION OF SAN. SEWER	
APPROX. LOCATION OF ELEC./UTILITY LINES	
EXISTING STORM DRAIN	
EXISTING STORM DRAIN (FROM TOWN AERIAL)	
EXISTING SAN. MANHOLE	
EXISTING ELECTRIC MANHOLE	



UTILITY NOTE:
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-8/15

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDING AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	

N/F
LANGAN REALTY LLC
LOT 1
(MAP REF. 2A)

IMPROVEMENT LOCATION SURVEY

PERMIT PLAN
LAND OF SUB PEAK OF CONNECTICUT, INC.

LOT #8

#57 HARTFORD TURNPIKE
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=50'	12-10-2021	1 OF 1	8926-P8

STAFF COMMENTS



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcmgregor@vernon-ct.gov

MEMORANDUM

TO: Inland Wetlands Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: IWC 2021-07, 57 Hartford Turnpike

DATE: January 25, 2022

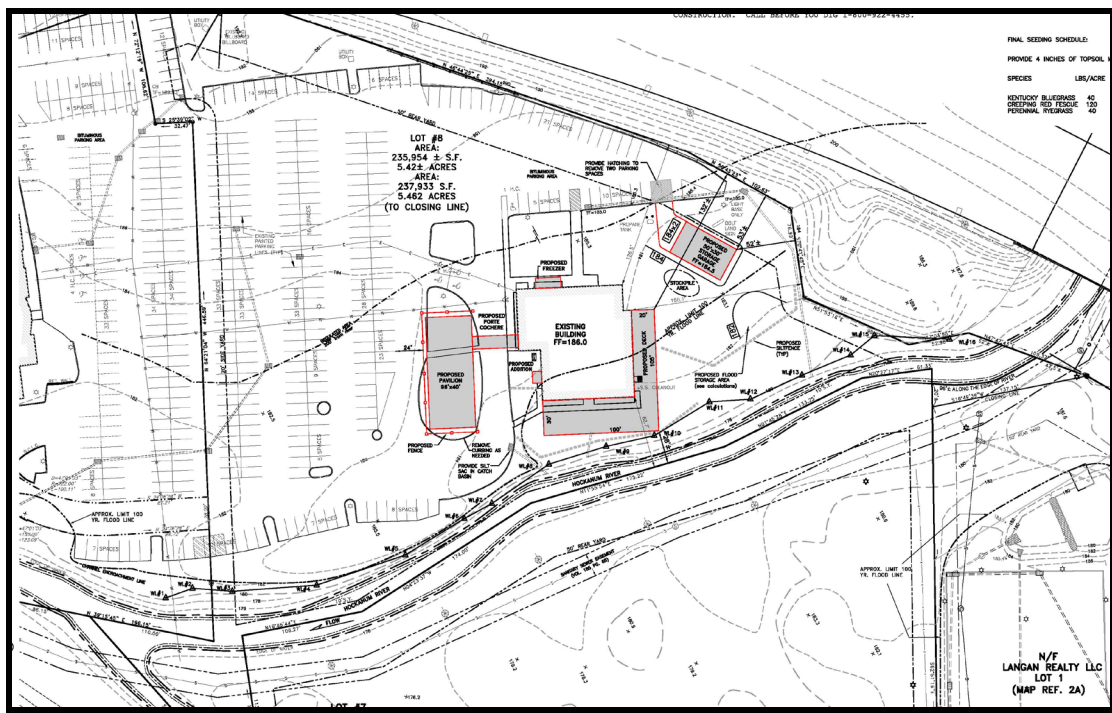
Request

Jerry Fornarelli has requested approval for a Wetlands Permit and a Wetlands re-designation for additional commercial activities at 57 Hartford Tpke. (Assessor ID: Map 1, Block 158, Parcel 00057). The site is the former movie theatre, to the rear and across the Hockanum River from the Golf Land Site. The Applicant proposes to add a 3,000 sq.ft deck, a 3,800 sq. ft. outdoor pavilion, and a 1,500 sq. ft. storage garage as part of a new restaurant facility.



Staff Comments & Analysis

These improvements are intended to provide outdoor capabilities for a future restaurant. The deck is proposed right up to the edge of the newly designated wetland area, leaving little room between the deck and the wetland. Sensitive construction practices will help to reduce impacts on the wetland area. The applicant has shared the pile design with staff and it is included in the packet. This type of design appears to minimize impacts in the regulated area and on the adjacent wetlands.



The pavilion, attached to the entrance porte cochere, will have a concrete surface on the ground underneath, which is an increase in impervious surface. The garage addition will have little impact on the wetland area. Staff has asked the applicant to consider potential mitigation measures such as riparian plantings, tree islands in the parking lot, or other measures to counter the new development impacts.

Draft Motions (Staff recommends separate Motions)

Re-Designation

MOVED, that the Vernon Inland Wetlands and Watercourse Commission does hereby **APPROVE** application **(IWC-2021-07)** for a Wetlands Re-designation, subject to the “Wetlands Re-Designation Plan” dated December 9, 2021, prepared by Gardner & Peterson.

Wetland Permit

MOVED, that the Vernon Inland Wetlands and Watercourses Commission does hereby **APPROVE**, the application **(IWC-2021-07)** of Jerry Fornarelli for a Wetlands permit by Commission based on the following findings:

- The project will have no adverse impacts on wetlands or watercourses;
- There are no prudent or feasible alternatives

AND, Subject to the Site Plan of Development dated December 10, 2021, prepared by Gardner & Peterson, Associates, LLC.

Or,

MOVED, an Alternate Motion

GKM

From: [Perry, Craig](#)
To: [McGregor, George](#)
Subject: FW: IWC 2021-07 57 Hartford Tpke
Date: Wednesday, December 29, 2021 11:34:47 AM

From: Perry, Craig
Sent: Tuesday, December 21, 2021 11:46 AM
To: McGregor, George <GMcGregor@vernon-ct.gov>
Cc: Smith, David <DSmith@vernon-ct.gov>
Subject: IWC 2021-07 57 Hartford Tpke

George,

I have no comment on the Redesignation portion of this application.

Concerning the Wetlands Permit;

The layout of the proposed deck is shown right at the edge of the newly proposed wetlands limit. A riparian or buffer area is important for the preservation of wetlands or watercourse areas.

The proposed size of the deck adjacent to the watercourse is 100' x 30'.

If the size of the deck is reduced, there would be more room for landscaping / plantings that would help protect the watercourse.

Sincerely,

Craig W. Perry

Town of Vernon

Engineering Department

Wetlands Enforcement Officer

Phone: 860-870-3638

Fax: 860-870-3683

cperry@vernon-ct.gov

APPLICATION 2



TOWN OF VERNON

INLAND WETLANDS COMMISSION (IWC)

APPLICATION

This form is to be used to apply to the Vernon Inland Wetlands Commission (IWC) for approval for a redesignation of a wetlands area, a change to the Inland Wetlands and Watercourses Regulations, and/or a permit to conduct a regulated activity in a wetland, watercourse, or upland review area (URA), which are defined as areas within one hundred (100) feet from the boundary of a wetland, watercourse, or intermittent watercourse and areas within two hundred (200) feet from the boundary of Gage's Brook, Hockanum River, Ogden Brook, Railroad Brook, Tankerhoosen River, Valley Falls Pond, Walker Reservoir East, Walker Reservoir West. Any activity that the Commission determines is likely to impact or affect wetlands or watercourses may be considered a regulated activity. **Provide all the information requested.**

The Applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property. Said interest shall be explained. If the applicant is not the property owner, written permission for this Application must be obtained from the property owner and submitted by letter signed by the property owner authorizing submission of the Application.

The Applicant understands that the Application is complete only when all information and documents required by IWC have been submitted and that any approval by the IWC relies upon complete and accurate information being provided by the Applicant. Incorrect information provided by the Applicant may make the approval invalid. The IWC may require additional information to be provided by the Applicant.

I. APPLICANT (S)

Name: Jerry Fornarelli

Title: _____

Company: _____

Address: 95 Hartford Turnpike, Vernon, CT

Telephone: 860-951-4657 Fax: _____

E-mail: _____

II. PROPERTY OWNERS

Name: Peter Krause

Title: President

Company: Sub Peak of Connecticut, Inc.

Address: 14 Hartford Turnpike
Vernon, CT 06066

Telephone: 860-205-1440 Fax: 860-646-4895

E-mail: pkrause7681@gmail.com

III. PROPERTY

Address: 95 Hartford Turnpike

Assessor ID Code: Map # 1 Block # 158 Lot/Parcel # 95

Land Record Reference to Deed Description: Volume: 2367 Page 10

USGA Location: 858920, 1067120

Circle the Map Quadrangle Name: Manchester # 38 Rockville #39

Circle the Sub regional Drainage Basin #: 3108 4500 4502 4503

Zoning District: Commercial

IV. PROJECT

Project Name: Connecticut Golf Land - Phase II

Project Contact Person:

Name: Mark Peterson

Title: Partner

Company: Gardner & Peterson Associates, LLC

Address: 178 Hartford Turnpike, Tolland, CT 06084

Telephone: 860-871-0808 Fax: _____

E-mail: mpeterson@gardnerpeterson.com

V. PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "The Town of Vernon Inland Wetlands and Watercourses Regulations".

Purpose: Proposed go-karts, bumper boats and mini-golf

General Activities: Site grading and erosion controls

Regulated Activities:

Watercourse disturbance (linear feet): None

Wetlands disturbance (acres or sq. ft.): None

Upland Review Area (URA) disturbance: 1.0 acres

Nonregulated activities & activities outside URA: 1.25 acres

VI. APPLICATION

- ☐ Redesignation of Wetlands
- ☐ Amendment of Inland Wetlands and Watercourses Regulations
- ☐ Modification of a Wetlands Redesignation
- ☐ Wetlands Permit
- ☒ Non-significant activity
- ☐ Significant activity with less than ½ acre site disturbance
- ☐ Significant activity with site disturbance from ½ acre to and including 2 acres
- ☐ Significant activity with site disturbance greater than 2 acres
- ☐ Commission modification of a wetland permit in effect
- ☐ Modification of a wetland permit by the Wetlands Agent
- ☐ Approval of a license by the Wetlands Agent for activities in an upland
- ☐ Appeal of a decision by the Wetlands Agent
- ☐ Subdivision review per CGS Section 8-26
- ☐ Jurisdictional ruling regarding permitted and nonregulated uses
- ☐ Waiver, reduction, or delayed payment of fees (attach statement of justification)
- ☐ Waiver
- ☐ Reduction to \$ _____
- ☐ Delay of payment to _____

VII. CERTIFICATION AND SIGNATURE

I, the undersigned Applicant or applicant's Agent, hereby certify that I have reviewed the "Town of Vernon Inland Wetlands and Watercourses Regulations" and have prepared this Application with complete and accurate information.

Property Owner, Applicant, or Applicant's Agent:

	Terry Fornarelli	12/10/2021
Applicant or Agent Signature	Printed Name	Date
	DLRU KATUSSE	12/10/2021
Owner's Signature, if different	Printed Name	Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

DATE APPLICATION SUBMITTED _____

DATE APPLICATION RECEIVED BY COMMISSION _____

IWC FILE: _____



Connecticut Department of

ENERGY &
ENVIRONMENTAL
PROTECTION

GIS CODE #: _____
For DEEP Use Only

79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

1. DATE ACTION WAS TAKEN: year: _____ month: _____
2. ACTION TAKEN (see instructions, only use one code): _____
3. WAS A PUBLIC HEARING HELD (check one)? yes ☐ no ☐
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (print name): Vernon
does this project cross municipal boundaries (check one)? yes ☐ no ☒
if yes, list the other town(s) in which the action is occurring (print name(s)): _____
6. LOCATION (see instructions for information): USGS quad name: Manchester or number: 38
subregional drainage basin number: 4500
7. NAME OF APPLICANT, ~~VIOLATOR OR PETITIONER~~ (print name): CT Golf Land, LLC
8. NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): 95 Hartford Turnpike, Vernon
briefly describe the action/project/activity (check and print information): temporary ☐ permanent ☐ description: Construction of go-karts, bumper boats and mini-golf
9. ACTIVITY PURPOSE CODE (see instructions, only use one code): D
10. ACTIVITY TYPE CODE(S) (see instructions for codes): 12 14 1 2
11. WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
12. UPLAND AREA ALTERED (must provide acres): 2.25 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

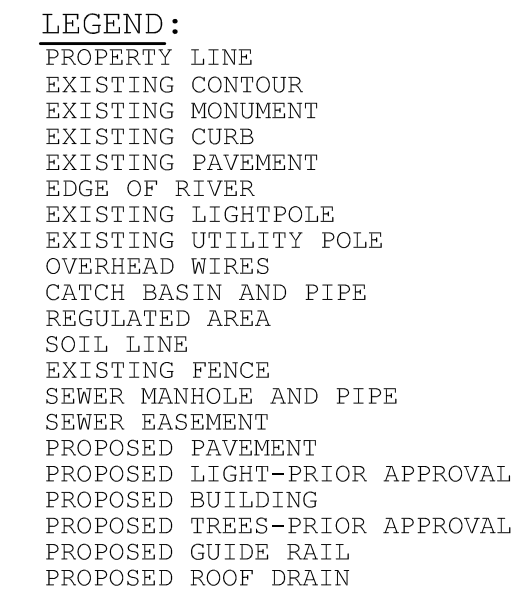
DATE RECEIVED:

PART III: To Be Completed By The DEEP

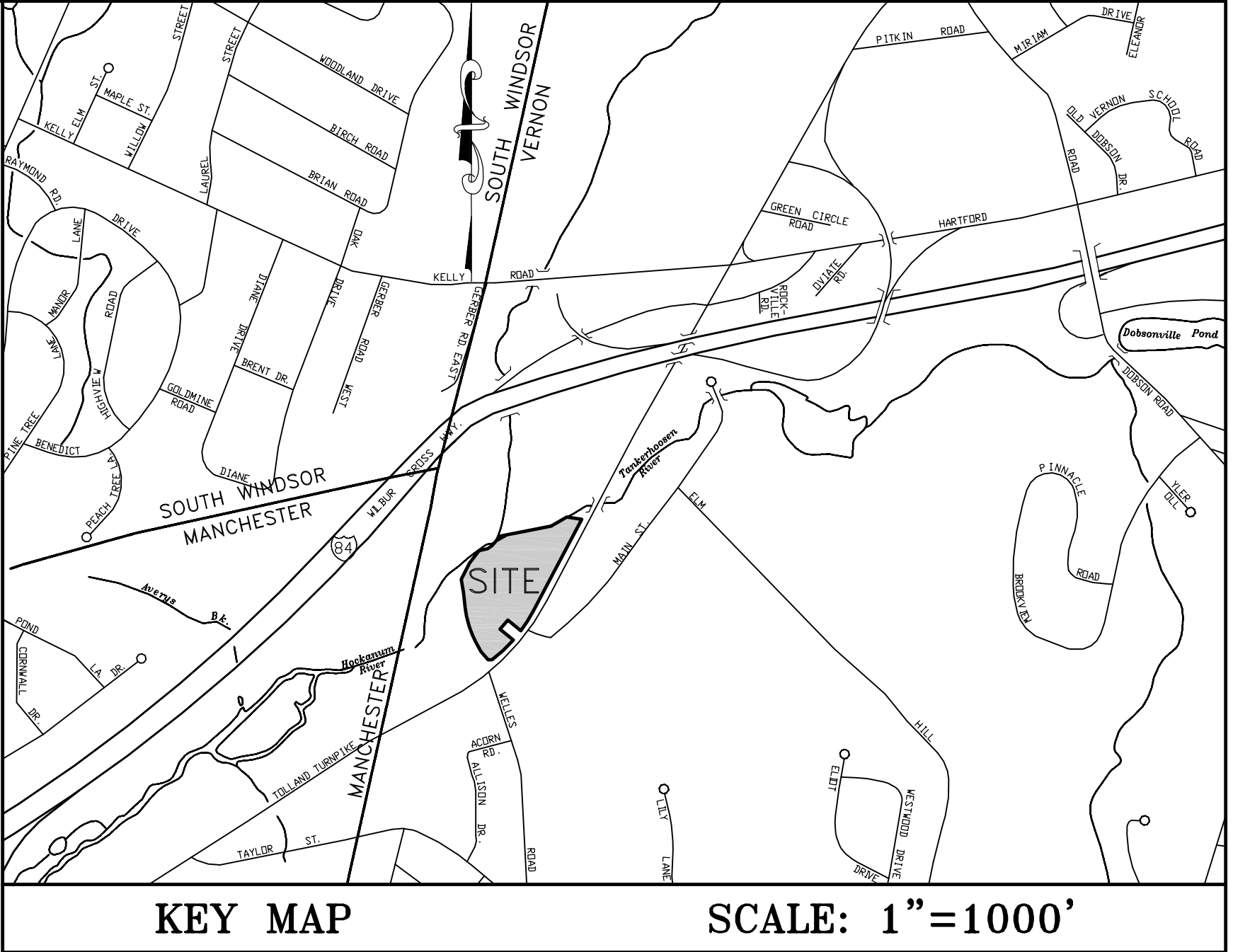
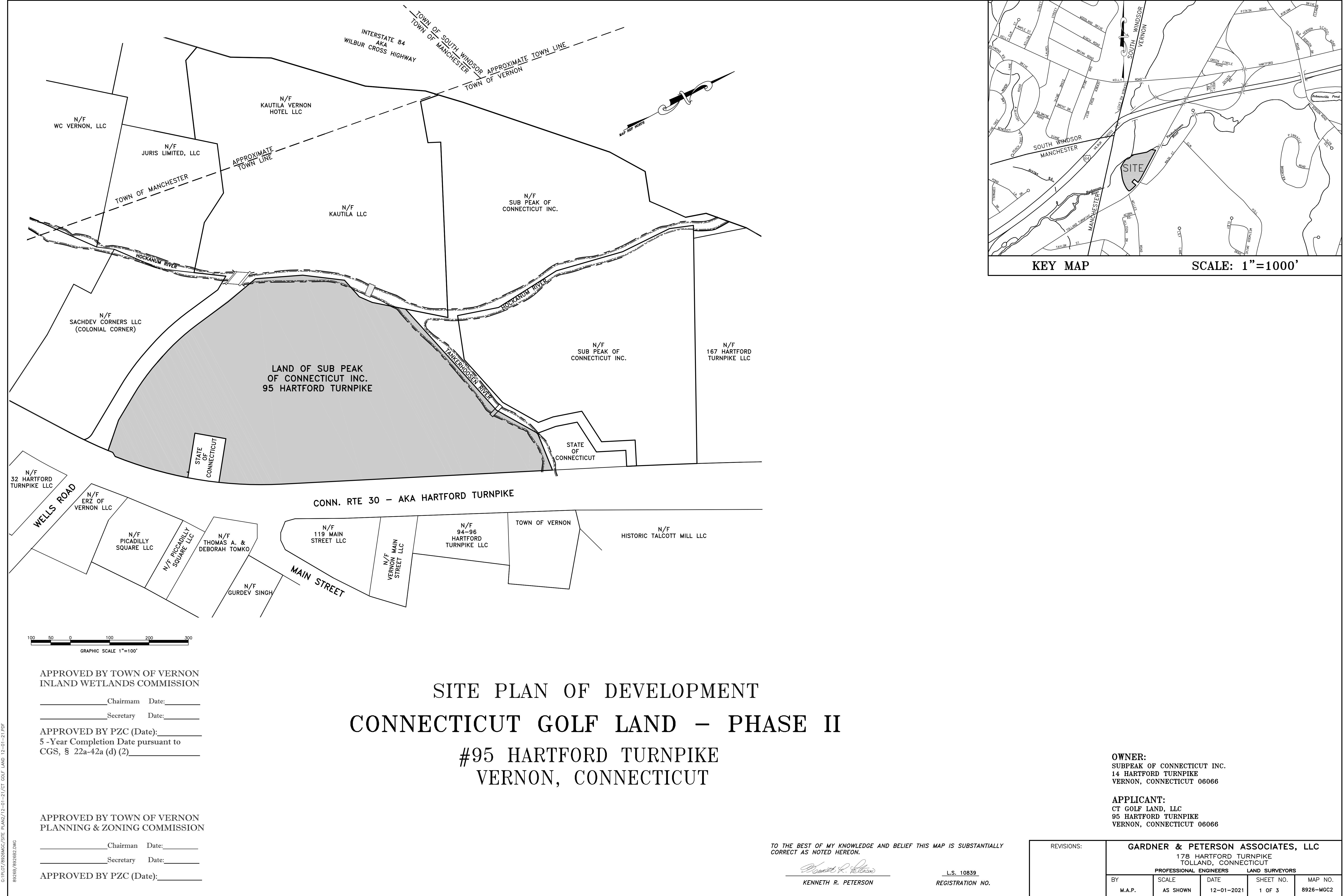
DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS			LAND SURVEYORS	
BY M.A.P.	SCALE 1"=40'	DATE 12-01-2021	SHEET NO. 2 OF 3	MAP NO. 8926-MGC2



G:\PLC\8926MGC\SITE PLAN\12-01-21\CT GOLF LAND 12-01-21.PDF
8926B/8926B2.DWG

APPROVED BY TOWN OF VERNON
INLAND WETLANDS COMMISSION

_____, Chairman Date: _____
_____, Secretary Date: _____

APPROVED BY PZC (Date): _____
5 -Year Completion Date pursuant to
CGS, § 22a-42a (d) (2) _____

APPROVED BY TOWN OF VERNON
PLANNING & ZONING COMMISSION

_____, Chairman Date: _____
_____, Secretary Date: _____

APPROVED BY PZC (Date): _____

SITE PLAN OF DEVELOPMENT
CONNECTICUT GOLF LAND – PHASE II
#95 HARTFORD TURNPIKE
VERNON, CONNECTICUT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

Kenneth R. Peterson
KENNETH R. PETERSON

L.S. 10839
REGISTRATION NO.

OWNER:
SUBPEAK OF CONNECTICUT INC.
14 HARTFORD TURNPIKE
VERNON, CONNECTICUT 06066

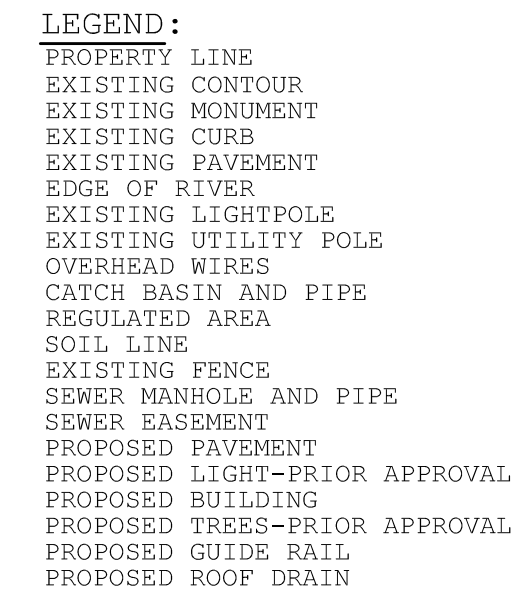
APPLICANT:
CT GOLF LAND, LLC
95 HARTFORD TURNPIKE
VERNON, CONNECTICUT 06066

REVISIONS:

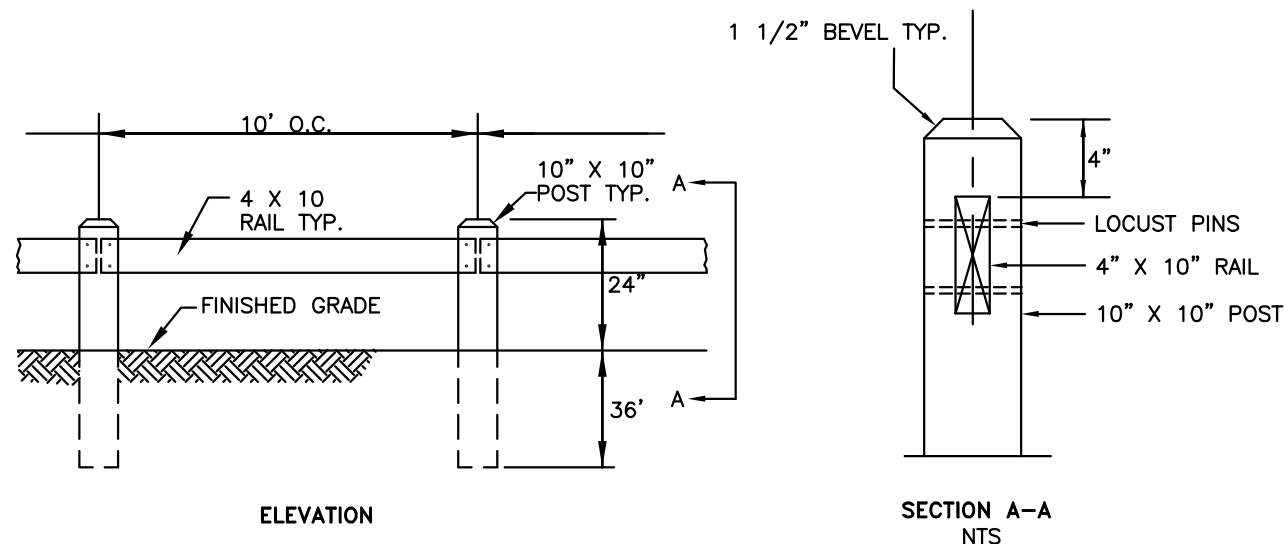
GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

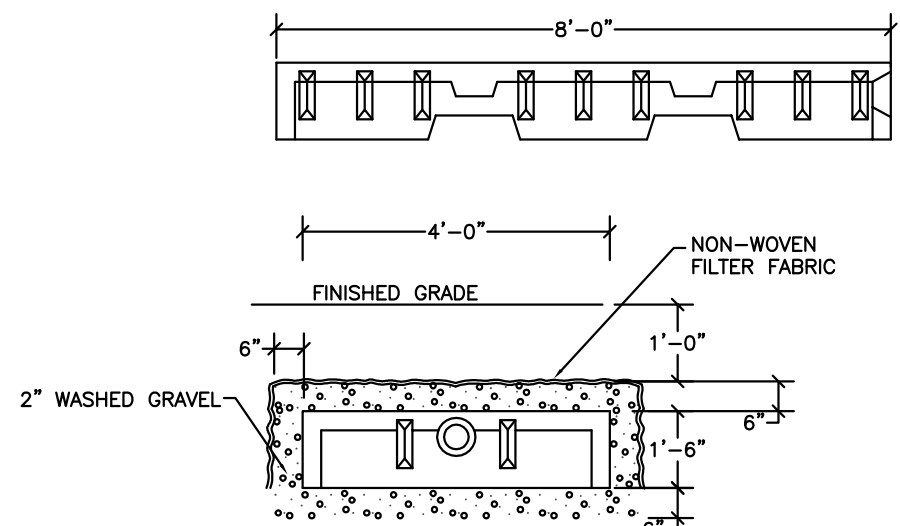
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	AS SHOWN	12-01-2021	1 OF 3	8926-MGC2



178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS			LAND SURVEYORS	
BY M.A.P.	SCALE 1"=40'	DATE 12-01-2021	SHEET NO. 2 OF 3	MAP NO. 8926-MGC2

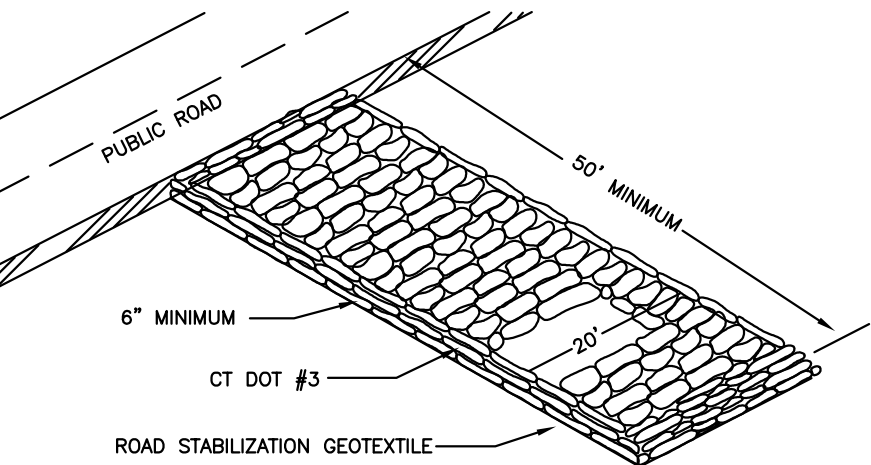


GUIDE RAIL (OR EQUAL)



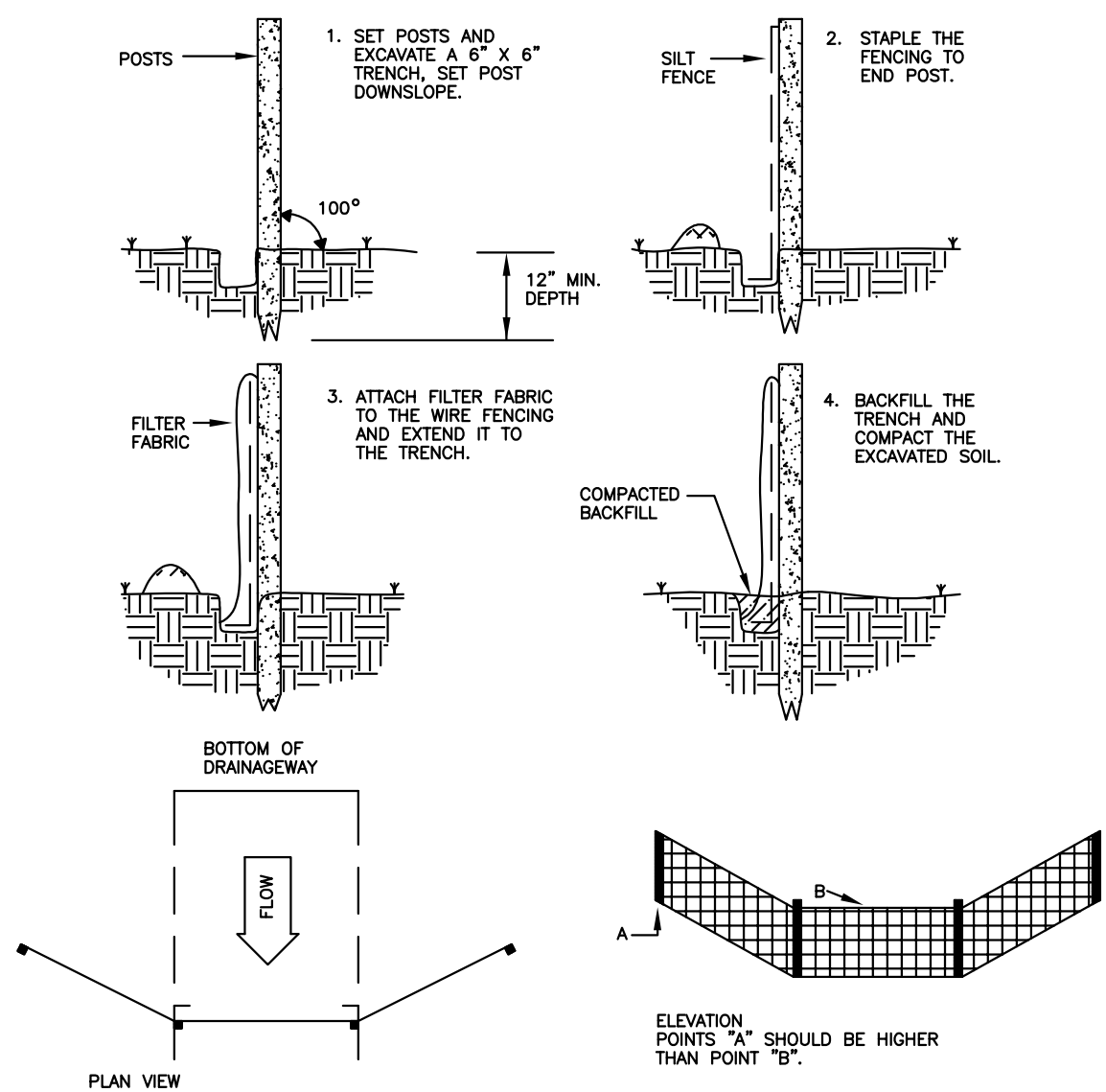
12" CONCRETE GALLEY
OR EQUAL

- NOTES:
1. BOTTOM OF STRUCTURE TO BE SET AT ELEVATION NOTED ON PLAN. ANY TOPSOIL PRESENT BELOW THE CHAMBERS SHALL BE REMOVED AND REPLACED WITH STONE.
 2. PLACE NON-WOVEN FILTER OVER INFILTRATION GALLEY AND ONE INCH STONE.
 3. INFILTRATION GALLEY TO BE CONSTRUCTED TO WITHSTAND H-20 LOADS.
 4. CONCRETE COMPRESSIVE STRENGTH SHALL BE 400 PSI AT 28 DAYS.
 5. REINFORCING STEEL DEFORMED BARS SHALL CONFORM TO THE LATEST ASTM SPECIFICATION A615.
 6. PROVIDE A 4" (MIN) INSPECTION PORT ON EACH ROW OF UNITS.



CONSTRUCTION ENTRANCE

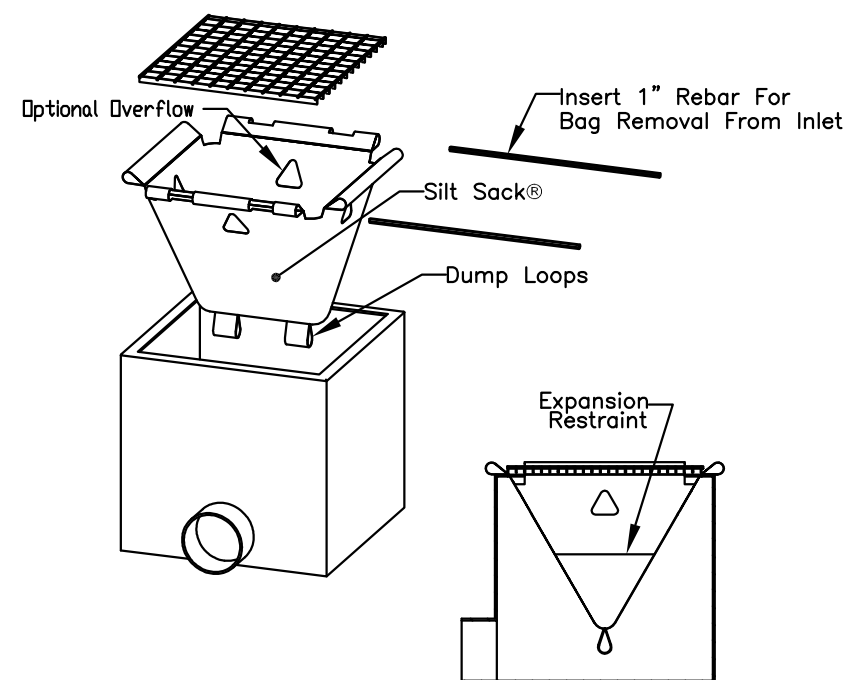
PLACEMENT AND CONSTRUCTION OF A SYNTHETIC
FILTER BARRIER



HAY BALE APPLICATIONS

Sheet Flow Applications

1. Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
2. All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides rather than along the tops and bottoms of the bales to prevent deterioration of the bindings.
3. The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier. Ideally, bales should be placed 10 feet away from the toe of slope.
4. Each bale shall be securely anchored by at least two stakes or rebars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
5. The gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between the bales. (Loose straw scattered over the area immediately uphill from a straw bale barrier tends to increase barrier efficiency.) In sloping areas where surface flow follows the bale line, perpendicular bale checks shall be installed at appropriate intervals (100 feet Maximum).
6. Inspection shall be frequent and repair or replacement shall be made promptly as needed.
7. Bale barriers shall be removed when they have served their usefulness, but not before the upslope areas have been permanently stabilized.



CATCH BASIN INLET PROTECTION

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
6. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
7. FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
8. FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
9. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
10. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
11. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
12. SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
13. CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
14. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
15. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
16. FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
17. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
18. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
19. WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
20. CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-8/15

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDBED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	

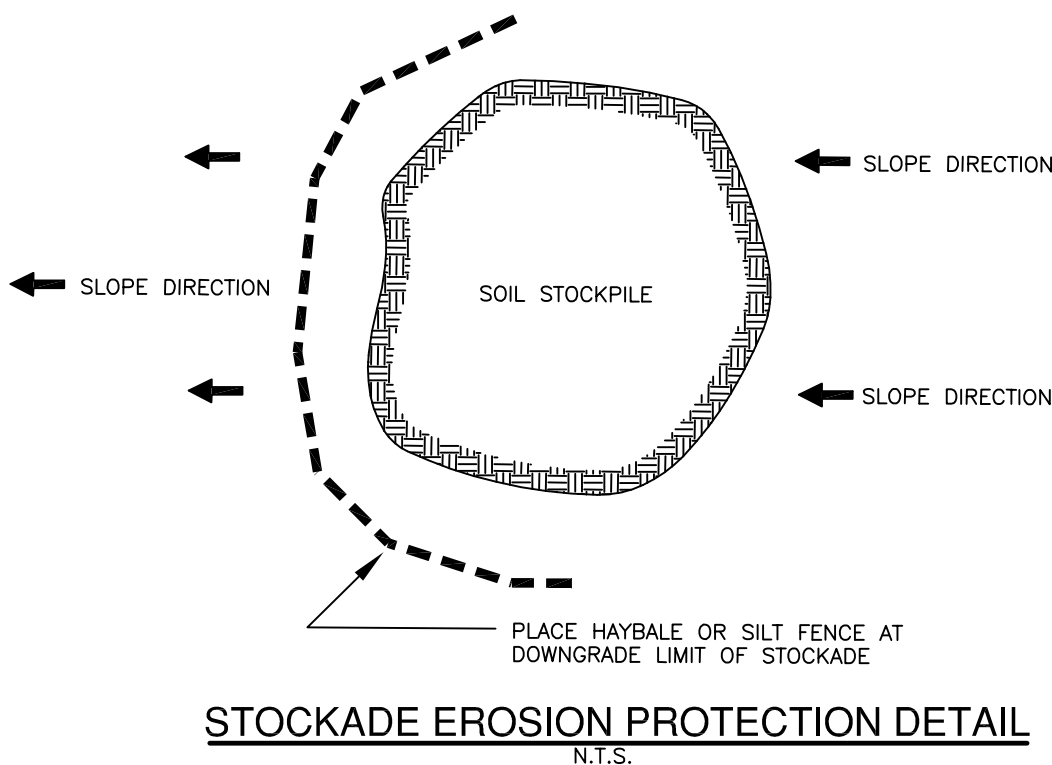
CONSTRUCTION SCHEDULE &
EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: CONNECTICUT GOLF LAND-PHASE II
LOCATION: 95 HARTFORD TURNPIKE, VERNON, CT
PROJECT DESCRIPTION: EXTERIOR RECREATION
PARCEL AREA: 8.86 Acres
RESPONSIBLE PERSONNEL: STEVE LAMESA

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CONTACT CBYD	INSTALL ANTI TRACKING PAD		
CONSTRUCT GO CART TRACK, NEW BUILDINGS	INSTALL SILT FENCE		
CONSTRUCT STORMWATER AREA			
CONSTRUCT WALKWAYS	INSPECT EROSION CONTROLS		
INSTALL UTILITIES	REPAIR AS NECESSARY		
FINAL GRADE AND SEED ALL DISTURBED AREAS	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		

PROJECT DATES:
DATE OF CONSTRUCTION START As soon as possible
DATE OF CONSTRUCTION COMPLETION One year from start

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.



STOCKADE EROSION PROTECTION DETAIL

SEDIMENTATION & EROSION CONTROL DETAILS

CONSTRUCTION DETAILS CONNECTICUT GOLF LAND-PHASE II CT GOLF LAND, LLC #95 HARTFORD TURNPIKE VERNON, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
REVISIONS	PROFESSIONAL ENGINEERS		LAND SURVEYORS	
	BY M.A.P.	SCALE AS SHOWN	DATE 12-01-2021	SHEET NO. 3 OF 3 MAP NO. 8926-MGC2

STAFF COMMENTS

Staff Comments & Analysis

Historically, this area is prone to flooding. The severe storms of 2021 illustrated this phenomenon on several occasions. Therefore, careful attention should be paid to any development activity which could exacerbate flooding in this area (although we note that flooding near the confluence of the Hockanum and the Tankerhoosen is more likely associated with upstream development impacts). The Applicant is proposing additional flood storage areas, and, by their engineers' calculations, appear to balance the site appropriately.

While the site may balance technically, ensuring the flood storage areas are highly functional is important. Staff has asked the Applicant to review the flood storage areas shown and consider potential revisions relative to size and location. Staff will update the IWC at the hearing.

The proposed redevelopment of the Golf Land Site appears generally sensitive to the environmental features present (the site had previously been significantly disturbed during iterations of development on this site). The applicant has considered additional flood storage on site in an effort to improve those conditions. Although the total impervious surface was reduced by 12,900 sq. ft. according to the Phase I plans, Phase II adds back 16,000 sq. ft. for a net project impervious increase of approximately 3,000 sq.ft.

A site visit the week of January 18, 2022 indicated that a significant amount of fill/dirt had been deposited on site, on the south western side, near the commercial access drive. This activity was not permitted under the original wetland permit. Its disposition is unclear.

Any additional conditions or stipulations will be drafted under separate cover and provided to the Commission prior to the public hearing.

Draft Motions

MOVED, that the Vernon Inland Wetlands and Watercourses Commission does hereby APPROVE, the application (**IWC-2021-08**) of CT Golf Land LLC for a Wetlands permit by Commission based on the following findings:

- The project will have no adverse impacts on wetlands or watercourses;
- There are no prudent or feasible alternatives

AND, Subject to the Site Plan of Development dated December 1, 2021, prepared by Gardner & Peterson, Associates, LLC.

Or,

MOVED, an Alternate Motion

GKM

From: [Perry, Craig](#)
To: [McGregor, George](#)
Subject: FW: IWC 2021-08 95 Hartford Tpke - Golfland Phase II
Date: Wednesday, December 29, 2021 11:33:34 AM

From: Perry, Craig
Sent: Tuesday, December 21, 2021 4:01 PM
To: McGregor, George <GMcGregor@vernon-ct.gov>
Cc: Smith, David <DSmith@vernon-ct.gov>
Subject: IWC 2021-08 95 Hartford Tpke - Golfland Phase II

George,

I have a couple concerns with these proposed phase II plans.

The proposed golf area does not show any proposed development within the shaded area.

The proposed new Go cart track is now over the Flood Storage area #4 (there was a previously approved Flood Storage Area at this location, but shaped differently).

It is hard to determine what is happening in this area.

Thank you,

Craig W. Perry
Town of Vernon
Engineering Department
Phone: 860-870-3638
Fax: 860-870-3683
cperry@vernon-ct.gov

STATUS OF CEASE & CORRECT ORDERS



OFFICE OF THE
TOWN ENGINEER

TOWN OF VERNON

55 West Main St, Vernon, CT 06066

Tel: (860) 870-3638

Fax: (860) 870-3683

cperry@vernon-ct.gov

The Rashid Hamid Family LLP
27 Naek Road
Vernon, CT 06066

Brian R Juliano
321 Talcottville Road
Vernon, CT 06066

26 Naek Road / 321 Talcottville Road

CEASE AND CORRECT ORDER **Certified Letter**

January 5, 2022

Dear Property Owners,

I have re-inspected your properties several times since issuing a Violation Notice (letter included) to #26 Naek Road on April 19, 2021 for conducting a "Regulated Activity" within a regulated area, by clear-cutting and depositing material within 100' of a watercourse. In accordance with this Violation Notice, you were instructed to immediately stabilize and remove all the deposited material within 30 days.

After the initial re-inspection of this area, it was found that immediate stabilization was done on #26 Naek Road as requested, however, it was also determined that the deposited material was covering both of the above listed properties after referencing the last approved site plan for #321 Talcottville Road, titled Juliano's Pools, dated 12/12/08. For the past few months Juliano Pools has been slowly removing some of this unpermitted material, but at this time, there is still a significant amount of material that remains within the regulated area.


Therefore, you are hereby ordered to cease and correct any further regulated activities upon this property. You are also hereby requested to attend an Inland Wetlands Commission meeting on January 25, 2022, with the Inland Wetlands Commission at the Vernon Town Hall, Third Floor, 14 Park Place, Vernon CT, at 7:00 pm, at which time a "Show Cause" hearing will be held providing you the opportunity to be heard and show cause why the order should not remain in effect.

Please restore these properties in accordance with the Juliano's Pools site plan listed above. It is important that these properties remain stabilized during restoration efforts with the use of erosion control items such as hay bales and filter fabric to prevent any further erosion problems that may impact this valued resource.

Please be aware, if this condition is not corrected to the satisfaction of the commission, you could be fined up to \$1,000.00 per day in accordance with the Town of Vernon Inland Wetlands and Watercourses Regulations, section 14.

If you have any questions concerning this matter please feel free to contact me at the Town of Vernon Engineering Department 860-870-3638.

Sincerely,



Craig W. Perry
Wetlands Enforcement Officer

c.c. Rachel Stansel	- Chairman, Inland Wetlands Commission
David Smith, PE	- Town Engineer
George McGregor	- Town Planner
Shaun Gately	- Economic Development

WETLAND AGENT REPORT



OFFICE OF THE
TOWN ENGINEER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066

Tel: (860) 870-3638

Fax: (860) 870-3683

E-Mail: cperry@vernon-ct.gov

To: Wetlands Commission
From: Wetlands Enforcement Officer
Subject: **IWC Project Status Report**

DATE: **2022 – January**

Note: **Red letters** indicate a change from the last report.

IWC-2021-05 (933 Hartford Turnpike – AmVets).

- No construction activity at this time.

IWC-2021-04 (Naek Road – 70 unit Townhouse Project).

- No construction activity at this time.

IWC-2021-02 (7 Beechwood Rd – New residential home).

- No construction activity at this time.

IWC-2021-01 (58 Wildwood Rd – New residential home).

- No construction activity at this time.

IWC-2020-08 (6 Hartford Turnpike – Suburban Subaru).

- Installation of the porous pavement has been completed.
- Finish grading around pavement edges remains.

IWC-2020-06 (CT Golfland).

- **Work continues.**

IWC-2020-05 (Dart Hill Rd Bridge Replacement).

- Construction scheduled for the spring 2022.

IWC-2020-04 (Windermere Rd. – Athletic Fields).

- Site work has ended for the winter season.

IWC-2019-05 (Chilstone, LLC 624 Dart Hill Rd – 4 unit apartment bldg.).

- Still needs P & Z approval.
- Project is on hold.

IWC-2019-02 WPCA (Wetlands Permit for site upgrades).

- Construction continues.

IWC-2017-05 (#133 Tunnel Road)

- Property has been sold.

IWC-2017-03 (Hyde Park LLC – #14 Hyde Ave - Apartments)

- No construction activity at this time.

IWC-2016-05 (129/145 Talcottville Rd – Storage Facility behind Wendy's)

- Recent activity by design engineering firm.
- Time extension granted. Expires on Dec. 13, 2026

IWC-2015-05 (Kenneth Kaplan – Drainage System – 200 West Main St.)

- No construction activity at this time.
- Expires on Oct. 9, 2025

IWC-2015-02 (Kenneth Kaplan – Parking Area – 200 West Main St.)

- No construction activity at this time.
- Expires on June 9, 2025

IWC-2013-05 (133 Washington St. – House surrounded by wetlands)

- No construction activity at this time.
- Expires on 3-17-2026 with total extension applied.

IWC-2009-07 (Hotel at 53 Hartford Turnpike)

- No construction at this time.
- Expiration date is 11/25/2023 with total extension applied

IWC-2008-09 (380 Talcottville Road / Phase 2 The Shoppes at Vernon Valley)

- No construction at this time
- Expiration date is 7/28/2022 with total extension applied.

IWC-2005-26 (Bolton Branch Road – Laurel Woods Development)

- Tree clearing continues and construction of road base.
- The new expiration date is 9/4/2022 with total extension applied.

IWC-2003-05 (117 Reservoir Rd. – Home Depot)

- There is no construction activity at this time.
- Expiration date is 3/27/2022 with total extension applied.

Other Information of Importance:

Cease and Correct Order (#26 Naek Road / 321 Talcottville Road) – caused by
Juliano Pools.

Wetland Agent Report:

Approval for;

Supplemental

Datum Engineering & Surveying, LLC
Richard Zulick
Soil Scientist
400 Nott Highway
Ashford, CT
06278

January 23, 2022

*Town of Vernon
Inland Wetlands Commission
Vernon, CT.*

Re: Wetland delineation - Lot 8, 57 Hartford Turnpike, Vernon, Connecticut

Dear Commissioners:

I have reviewed the Site Plan of Development for Sub Peak of Connecticut, Inc., located at 57 Hartford Turnpike in the Town of Vernon, CT. This plan has been prepared by Gardner and Peterson Associates LLC, plan number 8926- 8W and dated 12- 9 -2021.

At the request of Gardner and Peterson Associates LLC. I have conducted a wetland assessment on this subject property.

The wetlands on this plan have been investigated in accordance with the standards of the National Cooperative Soil Survey and the definition of wetlands as found in the Connecticut General Statutes, Chapter 440, Section 22A-38.

I have conducted soil observations with both a hand auger and shovel using the standard methodology defined under CGS, Chapter 440, Section 22A -38.

Existing Conditions

The entire area has been compromised by past disturbances associated with the development of the existing commercial area. Significant historic disturbances associated with filling have occurred within the entire open area northwest of the Hockanum River and southeast of Interstate 84. The date of the filling observed could not be established during my assessment, however, I have no reason to believe that any of the past filling was illegal.

The soils northwest of my wetland flag numbers WB 1 – WB 16 show no recent alluvium and do contain larger cobbles and fractured stone representative of fill over an older flood plain (alluvial) soil. The bulk of the upper soil profile within the subject area consists of fill that is best matched as a Hinckley loamy sandy type soil. These soils are sandy-skeletal, mixed, mesic Typic Udorthents. The Hinckley series is considered an excessively drained soil. The entire subject area is mapped by NRCS as Udorthents which are well drained soils that have been moved and placed as fill by man (machinery) and Urban Developed land. I concur with this mapping.

This subject area shows no recent evidence that it functions as a flood plain during regular flood events associated with high waters of the Hockanum River. It is probable that the sizeable lower elevations located to the east of the river have accommodated the flood waters associated with our most recent storm events. The fill used to develop this subject area prevents these soils from meeting either the hydric or alluvial criteria to be regulated in the State of Connecticut.

For regulatory purposes, I do consider the Hockanum River to be a watercourse and, therefore, regulated by the commission.

If you have any questions concerning the wetland assessment or this report, please feel free to contact me.

Sincerely,



*Richard Zulick
Certified Forester and Soil Scientist
Member SSSSNE*

This document contains confidential information, is an instrument of service and the property of the Architect. It shall not be used on other projects or for the extension of this project without the Architect's written approval.

All products, fixtures, and equipment shall be installed in accordance with manufacturers' installation instructions and all applicable codes.

All dimensions, materials, and specifications are to be verified by the Contractor prior to the commencement of work.

The Contractor shall be responsible for construction means, methods, techniques, sequences, and safety precautions in connection with the work.

PROJECT NAME:

ADDITION / RENOVATION

PROJECT ADDRESS:

95 HARTFORD
TURNPIKE
VERNON, CT

PROJ NO:

2021.35

ISSUE DATE:

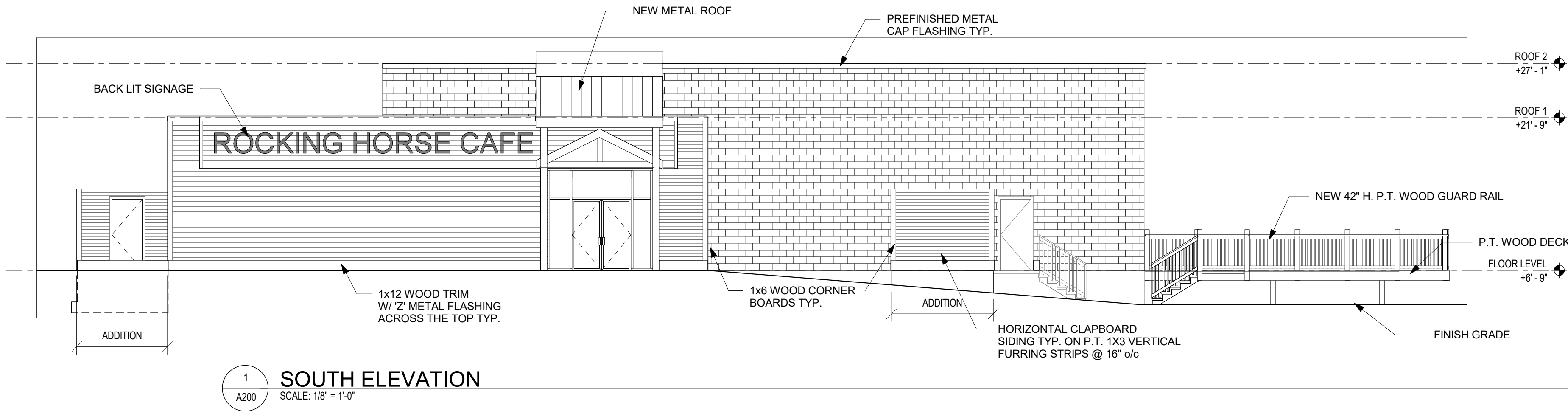
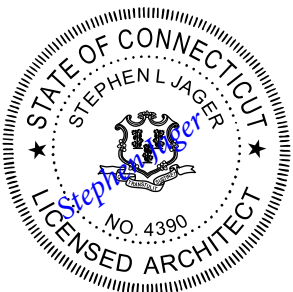
11/10/2021

REVISION DATE:

DRAWING

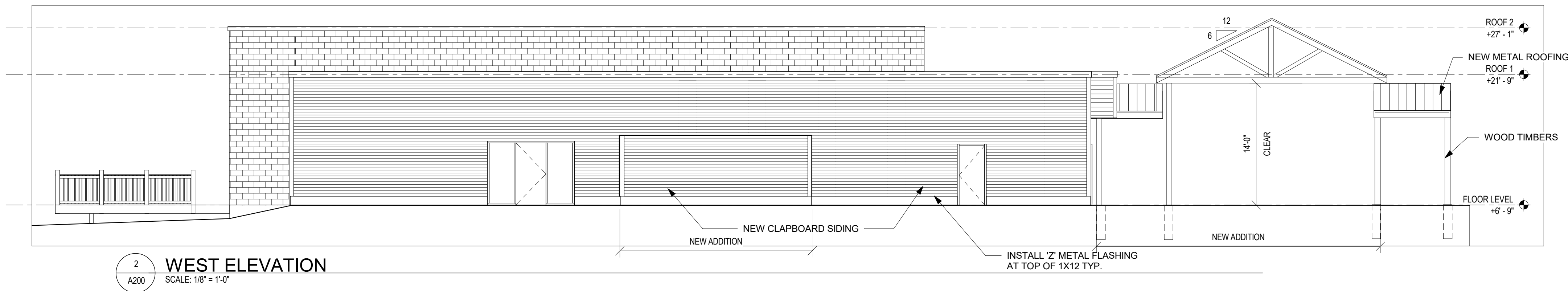
EXTERIOR
ELEVATIONS

A200



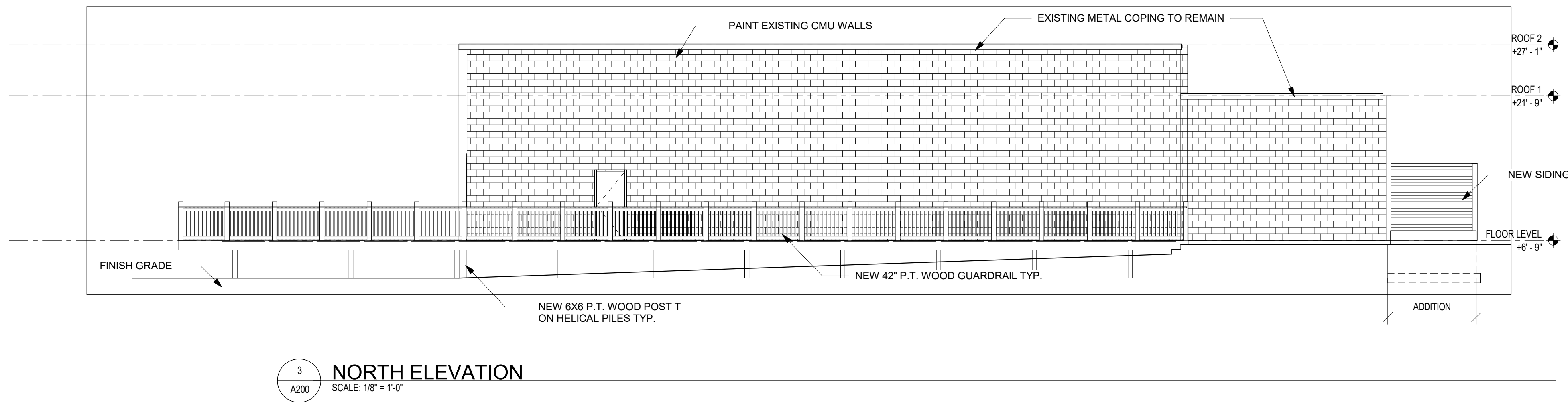
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



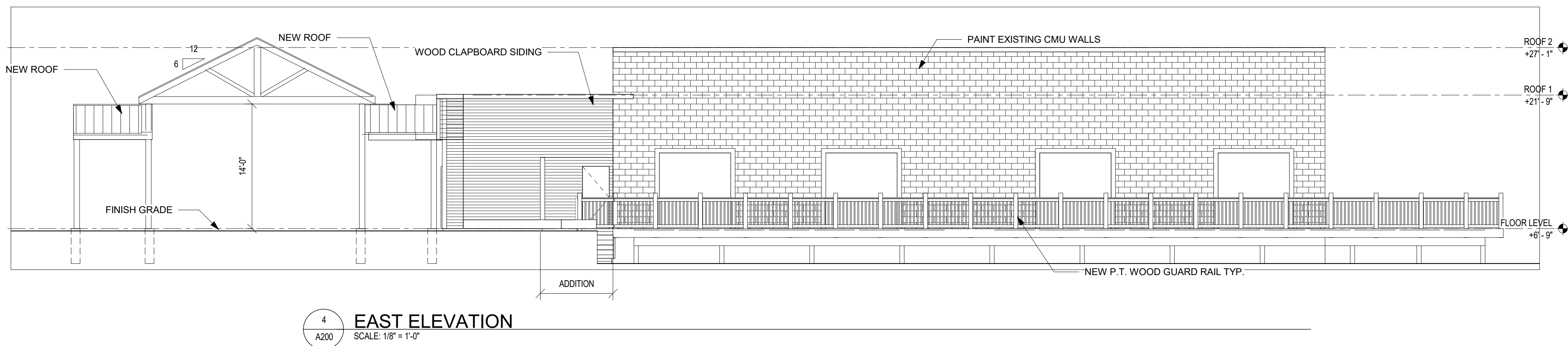
WEST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CONNECTICUT STATE BUILDING CODE (2015 INTERNATIONAL BUILDING CODE) EFFECTIVE OCTOBER 1, 2018 ALONG WITH AMENDMENTS, THE LATEST EDITION OF THE LATEST EDITION OF THE FOLLOWING CODES SHALL APPLY TO THE WORK:

- ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
- ACI 308, "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS"
- ACI 530/ASCE 6/MTS 6-02, "SPECIFICATIONS FOR MASONRY STRUCTURES"
- AISC A588, "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN"
- AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES
- NASPEC 2201 - NORTH AMERICAN SPECIFICATION FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS.
- AWS D11, "STRUCTURAL WELDING CODE"

THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER CONSTRUCTION HAS BEEN COMPLETED. THE STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSE WORK, PORT WORK, STAGING, BRACING, SHEETING, SHORING, ETC. LACK OF COMMENT BY THE ENGINEER IS NOT TO BE INTERPRETED AS APPROVAL OF THOSE ASPECTS OF WORK.

- ## DESIGN LOADS / CRITERIA

- | COMPONENTS & CLADDING NET WIND PRESSURES | | | |
|--|--|--|---|
| EFFECTIVE
WIND AREA | HALL / ROOF
POSITIVE WIND
PRESSURE | HALL NEGATIVE WIND
PRESSURE (ZONES 4 /
ZONE 5 - SUCTION) | ROOF NEGATIVE WIND
PRESSURE (ZONES 1 / 2 / 3 -
SUCTION) |
| 10 SQUARE FEET | 28.2 / 11.5 PSF | -30.6 / -31.7 PSF | -28.2 / -41.3 / -71.1 PSF |
| 20 SQUARE FEET | 26.8 / 10.8 PSF | -29.3 / -39.2 PSF | -21.4 / -42.2 / -58.9 PSF |
| 50 SQUARE FEET | 25.2 / 9.8 PSF | -27.6 / -31.8 PSF | -26.5 / -35.6 / -42.8 PSF |
| 100 SQUARE FEET | 24.0 / 9.1 PSF | -26.3 / -28.3 PSF | -28.8 / -30.6 / -30.6 PSF |
| 500 SQUARE
FEET | 21.0 / - PSF | -23.4 / -23.4 PSF | - |

- ## FOUNDATION NOTES

- | LOCATION | STRENGTH (F _c) | AGGREGATE |
|-------------------------------|----------------------------|---------------|
| FOOTINGS AND FOUNDATION WALLS | 3500 PSI | NORMAL WEIGHT |
| PIERS AND PILASTERS | 3500 PSI | NORMAL WEIGHT |
| SLABS-ON-GRADE | 4000 PSI | NORMAL WEIGHT |

2. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
3. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WITH A MINIMUM YIELD STRENGTH OF 75 KSI. LAP WIRE MESH SHALL BE A MINIMUM OF 8-INCHES AND WIRE TOGETHER.
4. ALL DETAILING, FABRICATION, AND INSTALLATION OF REINFORCING STEEL SHALL COMPLY WITH THE LATEST ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES/ ACI 318.
5. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE PER SECTION 7.1.1 OF ACI 318, UNLESS OTHERWISE INDICATED OR SHOWN.
6. UNLESS OTHERWISE INDICATED, REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
7. CONCRETE SLABS SHALL BE PROTECTED FROM LOSS OF SURFACE MOISTURE FOR NOT LESS THAN 1-DAYS BY USING A CURING COMPOUND CONFORMING TO ASTM C-309 OR BY WET BURLAP OR A PLASTIC MEMBRANE.
8. WELDED OF REINFORCING BARS IS NOT PERMITTED UNLESS APPROVED BY THE ENGINEER.
9. REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS OF BAR EMBEDMENT LENGTHS AND BAR SPLICED LENGTHS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP STEEL, BAR SPACING, COVER AND THE LIKE.
10. LOCATION OF CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS, CONFORMANCE WITH ACI 318, AND THE ACCEPTANCE OF THE ENGINEER.
11. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE 16 GAUGE CONFORMING TO ASTM A62.

1. STRUCTURAL STEEL MATERIALS (U.O.N.)

- | | |
|-----------------------------|---------------------------|
| W SHAPES | ASTM A992 |
| H88 STRUCTURAL STEEL TUBING | ASTM A500, GRADE B |
| ANGLES, PLATES, AND BARS | ASTM A36 |
| HIGH STRENGTH BOLTS | ASTM A325 |
| ANCHOR BOLTS | ASTM A36 |
| WELDING ELECTRODE | ASTM E70XX (LOW HYDROGEN) |
- ALL WELDING SHALL BE PERFORMED ONLY BY WELDERS WHO ARE CERTIFIED AS PRESCRIBED IN THE AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE (AWS D1).
 - CONNECTIONS NOT SHOWN ARE TO BE DETAILED BY THE FABRICATOR FOR THE REACTIONS SHOWN OR NOTED IN CONNECTIONS WITH AISC STANDARD SPECIFIED UNDER CODES AND STANDARDS. DETAILS OF ALL CONNECTIONS MUST BE SHOWN ON SHOP DRAWINGS. THE FABRICATOR IS RESPONSIBLE FOR DESIGNING SHEAR & MOMENT CONNECTIONS FOR THE REACTIONS SHOWN OR NOTED AND SUBMITTED FOR REVIEW BY THE STRUCTURAL ENGINEER OF RECORD.
 - ALL BOLTED CONNECTIONS WITHIN BRACED FRAMES SHALL CONFORM TO ASTM A335-9C, SLIP CRITICAL. TENSION CONTROL, FASTENERS (TOP) OR LOAD INDICATING WASHERS (LW) SHALL BE USED IN FRCTION TYPE CONNECTIONS. ALL ANCHOR BOLTS SHALL BE A536 CLASS 45, TENSION CONTROL FASTENERS FOR BEARING TYPE CONNECTIONS AND BE INSTALLED TO A "SNUG TIGHT CONDITION". ALL CONNECTIONS SHALL HAVE A MINIMUM OF 2 BOLTS (3/4" DIA) UNLESS NOTED OTHERWISE.
 - WHERE NO REACTION IS SHOWN OR NOTED IN THE DRAWINGS, DESIGN CONNECTIONS TO CARRY THE VERTICAL REACTION INDICATED IN THE REACTION TABLE SHOWN IN THE TYPICAL STEEL DETAILS IN ACCORDANCE WITH AISC REQUIREMENTS.
 - A HARDENED WASHER CONFORMING TO ASTM F436 SHALL BE INSTALLED ADJACENT TO THE BEARING FACE OF THE TURNED ELEMENT OF EACH ASTM A335 BOLT ASSEMBLY.
 - IF PARTS TO BE JOINED WITH FILLET WELDS CANNOT BE BROUGHT INTO DIRECT CONTACT, THE FILLET WELD SHALL BE INCREASED IN SIZE ABOVE THAT INDICATED IN THE DRAWINGS. THE INCREASED SIZE SHALL BE EQUAL TO OR GREATER THAN THE GAP.
 - STEEL FRAME SHALL BE ERECTED TRUE AND PLUMED WITHIN SPECIFIED TOLERANCES, PROVIDE TEMPORARY BRACING IN ADDITION TO MEMBERS SHOWN IN THE DRAWINGS IN ORDER TO SAFELY RESIST ALL IMPOSED LOADS APPLIED DURING CONSTRUCTION AND TO MAINTAIN CORRECT ALIGNMENT. DESIGN OF TEMPORARY SHORING, BRACING AND GUYING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - ANCHOR BOLTS AND BASE PLATES SHALL BE LOCATED AND BUILT INTO CONNECTING WORK, PRESET BE TEMPLATES OR SIMILAR METHODS. ALL BASE PLATES SHALL BE GROUPED SLOTT FOR FULL BEARING SUBSEQUENT TO COMPLETE ERECTION OF FRAMING WITHIN SPECIFIED TOLERANCES.
 - ALL STRUCTURAL STEEL SHALL BE CLEANED IN ACCORDANCE WITH THE STEEL STRUCTURES PAINTING CODE. SPECIFICATION 95-3-83 FOR POWER TOOL, CLEANING AND PAINTED TO A MINIMUM DRY FILM THICKNESS OF 7 MILS WITH A SHOP COAT OF RUST INHIBITING FIELD COAT TO BE PROVIDED TO ALL COMPONENTS AT ALL POINTS OF DAMAGE AS A RESULT OF DELIVERY AND ERECTION, INCLUDING AREAS RECEIVING WELD AFTER COATING. FINISH STEEL IN ACCORDANCE WITH ARCHITECTS SPECIFICATIONS.
 - PROVIDE BUTYRATHIC PROTECTION COATING FOR ALL STRUCTURAL STEEL, BELOW GRADE.
 - FOR MISCELLANEOUS STEEL, REFER TO ARCHITECTURAL DRAWINGS.

1. ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR WOOD CONSTRUCTION LISTED UNDER CODES AND STANDARDS ON THIS SHEET.
2. STANDARD DRESSED SAWN LUMBER SHALL BE AS FOLLOWS:
 - A. DIMENSION LUMBER - SPRUCE PINE FIR NO. 2 OR BETTER.
 - B. PRESSURE TREATED DIMENSION LUMBER - SOUTHERN YELLOW PINE NO. 2 OR BETTER.
3. GLUED LAMINATED TIMBER (GLULAM) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 - A. MODULUS OF ELASTICITY $E = 1,800,000 \text{ PSI}$
 - B. FLEXURAL STRESS $F_b = 2,400 \text{ PSI}$
 - C. SHEAR STRESS (PARALLEL TO GRAIN) $F_v = 265 \text{ PSI}$
4. GLULAM INDICATED IN PLANS SHALL BE MANUFACTURED BY ROSSBORO (OR APPROVED EQUIVALENT).
5. PRESSURE TREAT ALL ROUGH CARPENTRY ASSOCIATED WITH CURBS, CORNERS AND NAILERS, IN CONTACT WITH MASONRY OR CONCRETE, AND SIMILAR, AS WELL AS WHERE INDICATED ON DRAWINGS.
6. NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH TABLE 2304.9.1, FASTENING SCHEDULE, OF THE 2016 CT BUILDING CODE.
7. ALL WOOD SILLS SHALL BE FASTENED TO CONCRETE FOUNDATIONS WITH 5/8" DIAMETER TITAN ANCHOR BOLTS BY SPINON STRONG-TIE LOCATED 8-INCHES FROM ENDS AND CORNERS AND INTERMEDIATELY SPACED AT 24-INCHES ON CENTER. THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS PER SECTION OF FLATE. PROVIDE A MINIMUM OF 6-INCHES EMBEDMENT INTO CONCRETE.

1. ALL STUDS AND ACCESSORIES SHALL BE FORGED FROM STEEL THAT CONFORMS TO THE REQUIREMENTS OF ASTM A1009 AND BE GALVANIZED TO 660 COATING STUDS 18-GAGE AND BELOW HAVE A MINIMUM YIELD STRENGTH OF 33KSI. STUDS 18-GAGE AND ABOVE WILL HAVE A MINIMUM YIELD STRENGTH OF 50KSI.
2. STUD AND TRACK SIZES ARE BASED ON 50% SIZE DESIGNATIONS.
3. ALL FIELD CUTTING OF STUDS MUST BE DONE BY SAWING OR WELDING. TORCH CUTTING OF COLD-FORMED MEMBERS IS UNACCEPTABLE.
4. NOTCHING OR COPING IS NOT PERMITTED UNLESS STATED OR SHOWN WITHIN SHOP DRAWINGS.
5. ENDS OF STUDS SHALL SEAT FIRMLY WITHIN TRACK WITH THE EXCEPTION OF DEFLECTION TRACK. TRACK MUST HAVE FULL BEARING ON STRUCTURE.
6. SPLICING OF WALL STUDS IS NOT PERMITTED UNLESS OTHERWISE STATED OR SHOWN WITHIN SHOP DRAWINGS.
7. ENSURE PUNCHOUT ALIGNMENT FOR LATERAL BRACING / BRIDGING. LATERAL BRACING / BRIDGING SHALL BE SPACED AT MAXIMUM 10 FEET ON CENTER. LATERAL BRACING / BRIDGING SHALL BE INSTALLED AT THE TIME THE WALL IS ERECTED. FAILURE TO INSTALL LATERAL BRACING / BRIDGING WILL COMPROMISE THE STRUCTURAL INTEGRITY OF THE FRAMING.
8. JOIST OR ROOF MEMBERS MUST BEAR DIRECTLY OVER WALL STUDS. OTHERWISE, A STRUCTURAL MEMBER (BY OTHERS) IS REQUIRED ON TOP OF RUNNER TRACK FOR PROPER BEARING AND ANCHORAGE. NO NOTCHING OR COPING OF JOISTS OR RAFTERS IS ALLOWED.
9. STUDS MUST BEAR DIRECTLY OVER SUPPORT FRAMING. OTHERWISE, A STRUCTURAL MEMBER (BY OTHERS) IS REQUIRED TO SUPPORT WALL STUDS.
10. ALL HEADERS / BUILT-UP BEAMS ARE TO BE CONSTRUCTED WITH UNPINCHED MATERIAL ONLY. SPLICING OF HEADERS IS NOT PERMITTED.
11. ALL METAL TO METAL CONNECTIONS SHALL BE BASED ON SECTION E4 OF THE 2009 AISI SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL FRAMING.
12. SCREWS: MAINTAIN A MINIMUM OF 3/4" CLEARANCE FROM ALL EDGES OF STEEL MEMBERS AND 3/4" MINIMUM ON-CENTER BRACING BETWEEN ADJACENT SCREWS.
13. POWDER DRIVEN FASTENERS, EXPANSION ANCHORS, ADHESIVE ANCHORING SYSTEMS SPECIFIED ARE BASED ON LITERATURE PUBLISHED BY HILTI INC. (800-875-8000). APPROVED EQUIVALENT FASTENING SYSTEMS MAY BE PROPOSED FOR SUBSTITUTION. NOTIFY ENGINEER IF WELDED CONNECTIONS ARE PROPOSED.
14. ALL COLD-FORMED METAL BUILDING FRAMING INDICATED ON DRAWINGS SHALL BE USED FOR PLANNING AND PRICING ONLY. ALL COLD-FORMED METAL BUILDINGS FRAMING SUPPLIED INCLUDING THE ROOF FLOORS, AND WALLS SYSTEMS SHALL CONSIST OF ALL NECESSARY FRAMING INCLUDING BORING, TRIM FASTENERS AND ACCESSORIES NECESSARY AS FOLLOWS:
 - A. ROOF AND WALL SYSTEMS: STANDING SEAM METAL ROOF UL50 (OR APPROVED EQUAL) EAVE AND RAKE TRIM SOFFITS AND ALL PANELS.
 - B. SECONDARY FRAMING SYSTEM: COLD-FORMED METAL WALL STUDS AND PANELS.
 - C. PRIMARY FRAMING SYSTEM: COLD-FORMED METAL PURLINS, STUDS, TRACK, HEADERS, DECK LATERAL FRAME (WIND BEARING) AND HORIZONTAL BRACING. PROVIDE TRACK FOR LATERAL, UP AND SERVIC FUNCTIONS TO BE TRANSFERRED TO SLAB-ON-DECK AT FIRST FLOOR LEVEL.
 - D. CONNECTIONS: FRAMING CONNECTIONS FOR COLD FORMED METAL BUILDING SYSTEMS, SCREWS, BOLTS, WELDS, ETC.
15. E. STRUCTURAL ENGINEERING: ENGINEERING OF ALL COLD FORMED METAL BUILDING SYSTEMS AND COMPONENTS INCLUDING AS-BUILT CERTIFICATION.
16. THE COLD-FORMED METAL BUILDING SYSTEMS AND ITS COMPONENTS SHALL BE DESIGNED IN ITS ENTIRETY AND FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2009 AISI SPECIFICATION FOR COLD-FORMED STEEL STRUCTURAL MEMBERS AND RECOMMENDED DESIGN PRACTICE MANUAL AND APPLICABLE PROVISIONS OF AISI, AISI, AND THE 2009 INTERNATIONAL BUILDING CODE BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NY. DESIGN ASSUMPTIONS, PRODUCTS MANUAL ALONG WITH DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
17. COLD-FORMED METAL BUILDING ENGINEER SHALL VISIT THE SITE UPON COMPLETION OF CONSTRUCTION AND PROVIDE AS-BUILT CERTIFICATION THAT CONSTRUCTION IS IN ACCORDANCE WITH DESIGN.

1. CONCRETE BLOCK SHALL BE LIGHTWEIGHT HOLLOW LOAD BEARING MASONRY UNITS CONFORMING TO ASTM C-90, TYPE I MOISTURE CONTROLLED UNITS WITH THE FOLLOWING STRENGTH PROPERTIES:

STRENGTH PROPERTIES	INTERIOR WALLS	EXTERIOR WALLS
NET COMPRESSIVE STRENGTH OF MASONRY UNITS	1900 PSI	3750 PSI
PRISM STRENGTH OF MASONRY - (f'm)	1500 PSI	2500 PSI

1. SUBMIT SAMPLES, SHOP DRAWINGS, PRODUCT DATA, TEST REPORTS AND DATA, MANUFACTURER'S NAMES, CERTIFICATES, AND SPECIFICATIONS FOR STEEL, STEEL JOISTS, STEEL JOIST JOISTS, AND AS REQUESTED, SHOP DRAWINGS SHALL CONFORM TO THE BEST STANDARDS OF THE CONSTRUCTION INDUSTRY, AND SHALL BE PREPARED UNDER THE SUPERVISION OF COMPETENT ENGINEERING PERSONNEL.
2. CAST-IN-PLACE CONCRETE:
 - A. SUBMIT CONCRETE MIX DESIGNS WITH MATERIAL CERTIFICATIONS FOR CEMENT AND PRODUCT DATA FOR ADMIXTURES.
3. STRUCTURAL STEEL:
 - A. SUBMIT ERECTION DRAWINGS, INDEX SHEETS, CONNECTION DETAILS, AND PIECE DRAWINGS FOR FABRICATED STEEL. THE STEEL FABRICATOR SHALL BE AN ISO 9001 CERTIFIED CATEGORY 1 OR 2 FOR STEEL STRUCTURES. SUBMIT CERTIFICATION WITH SHOP DRAWINGS.
 - B. SUBMIT CERTIFIED COPIES OF MILL TEST REPORTS FOR ALL NEW STEEL FURNISHED AND MANUFACTURER'S CERTIFICATION OF BOLTS, WASHERS, AND FILLER MATERIAL FOR WELDING UPON REQUEST.

This code plan and code information is meant to identify the egress requirements for an existing building being renovated. The building is being evaluated as an A-2 use group. Toilet fixture requirements are based on the occupant loads for Tenant Space "A" only (building owner).

SOURCE: 2015 International Building Code
2018 Connecticut Supplement
2018 Amendment to the 2015 State
of Connecticut Building Code

USE GROUP CLASSIFICATION:	A-2 RESTAURANT / TAVERN	
CONSTRUCTION CLASSIFICATION:	Type - IIB	
ALLOWABLE AREA - A-2	TABULAR AREA T506.2	PROVIDED
	38,000 s.f.	8,635 s.f.
HEIGHT LIMIT (504.4, 504.3)	3 Stories/ 75'	1 Story/ 19'-10"

FIRE RESISTANCE RATINGS:

EXTERIOR WALLS (T601)		
LOADBEARING (T601)	0 HR	0 HR
NONLOADBEARING (T602)	0 HR (over 30' fire separation distance)	0 HR

LOADBEARING (T601)	0 HR	0 HR
NONLOADBEARING (T601)	0 HR	0 HR

INTERIOR BEARING WALLS			
SUPPORTING ONLY 1 FLR. OR ROOF	0 HR		0 HR
STRUCT. MEMBERS SUPPORTING WALL	0 HR		0 HR
FLOOR CONSTRUCTION	0 HR		0 HR
ROOF CONSTRUCTION	0 HR		0 HR

EXITS (106.3.1)	2 min.	5 Provided
TRAVEL DISTANCE - A-2 (1017.2)	250'	75'
CORRIDOR WIDTH (1020.2)	48"	48"
EGRESS STAIR WIDTH (1009.3)	48"	48"

OCCUPANT LOADS:

1ST FLOOR

A-2 = 714 OCCUPANTS

2ND FLOOR	
B (INCIDENTAL)	8 OCCUPANTS
<hr/>	
TOTAL	782 OCCUPANTS

HANDICAPPED ACCESS	Provided, refer to plans
SPRINKLER SYSTEM	Sprinklered

PLUMBING FIXTURE COUNTS (7/20/01)		
A-2 USES:		
Tavern		
Water Closets:		
Male 19 occupants @ 1 per 40	1	1
Female 19 occupants @ 1 per 40	1	1
Lavatories:		
Male 19 occupants @ 1 per 75	1	1
Female 19 occupants @ 1 per 75	1	1
Restaurant		
Water Closets:		
Male 368 occupants @ 1 per 75	5	5
Female 368 occupants @ 1 per 75	5	5
Lavatories:		
Male 368 occupants @ 1 per 75	5	5
Female 368 occupants @ 1 per 75	5	5

<u>Total Required</u>	<u>Total Required</u>	<u>Total Provided</u>
<u>Water Closets:MEN</u>	6	6
<u>Lavatories:MEN</u>	3	4
<u>Water Closets:WOMEN</u>	6	6
<u>Lavatories:WOMEN</u>	3	4

REVISIONS:

1-11/24/2021 - GENERAL REVISION

DRAWING TITLE: **GENERAL NOTES & DESIGN CRITERIA**

PROJECT: ADDITION / RENOVATION

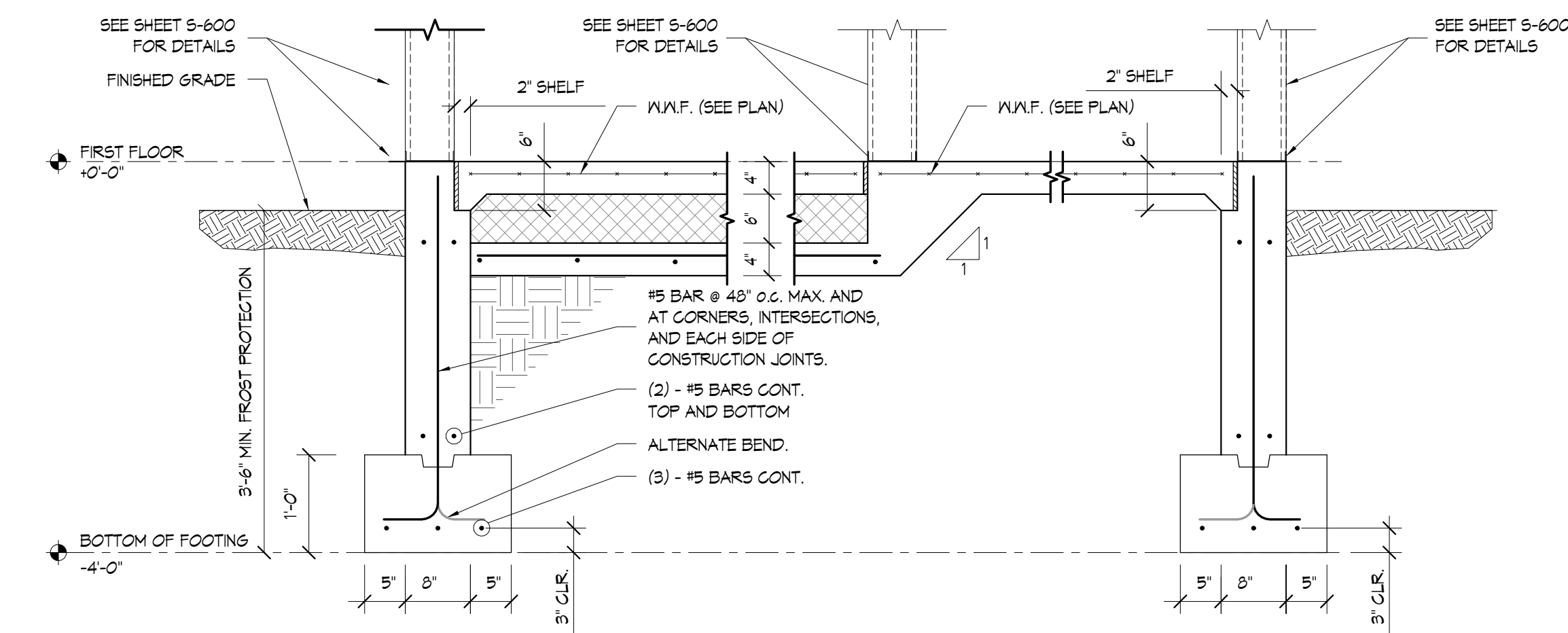
CONSULTANT:
PVE Engineering, P.C.
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860.522.3971 - fax



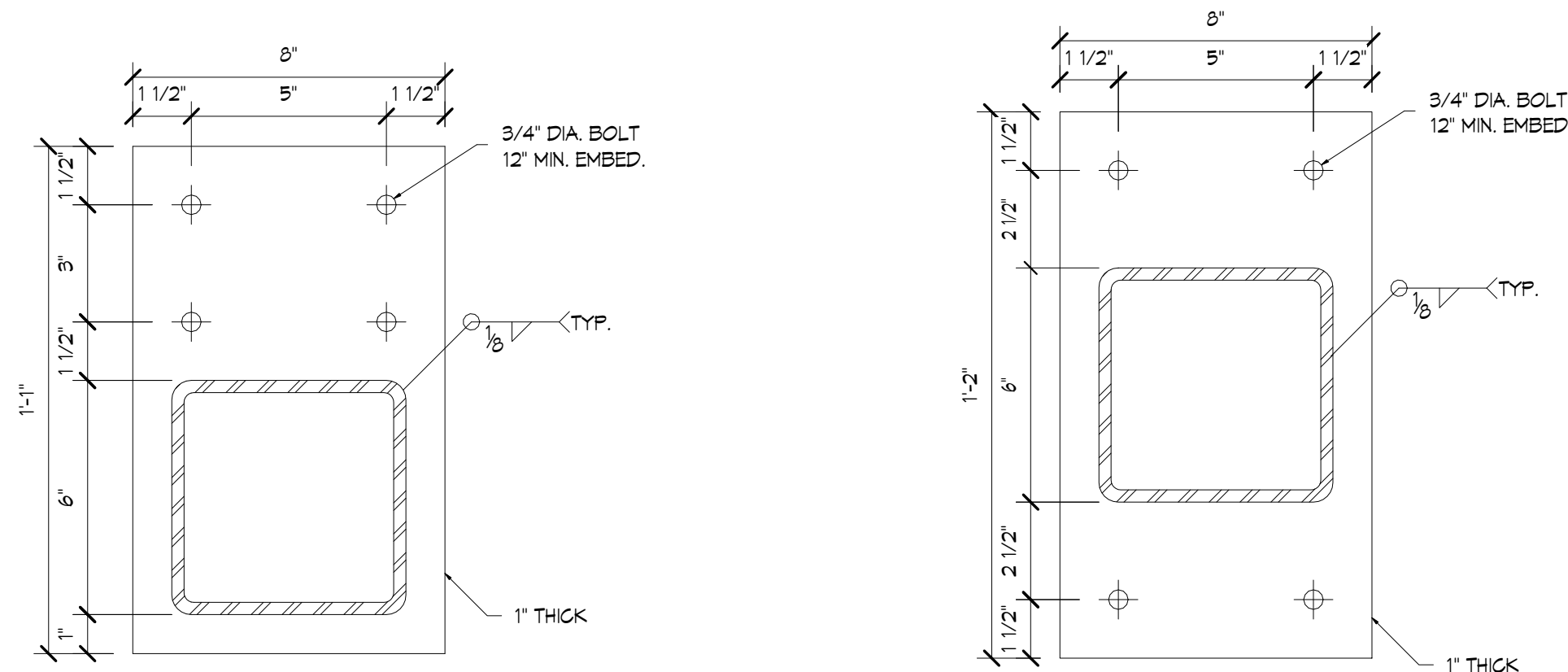
DESIGNED BY:	HT
DRAWN BY:	HT
SCALE:	AS NOTED
APPROVED BY:	AJP
PROJECT NO.:	20020
DATE:	NOVEMBER 10, 2021

SHEET NO.

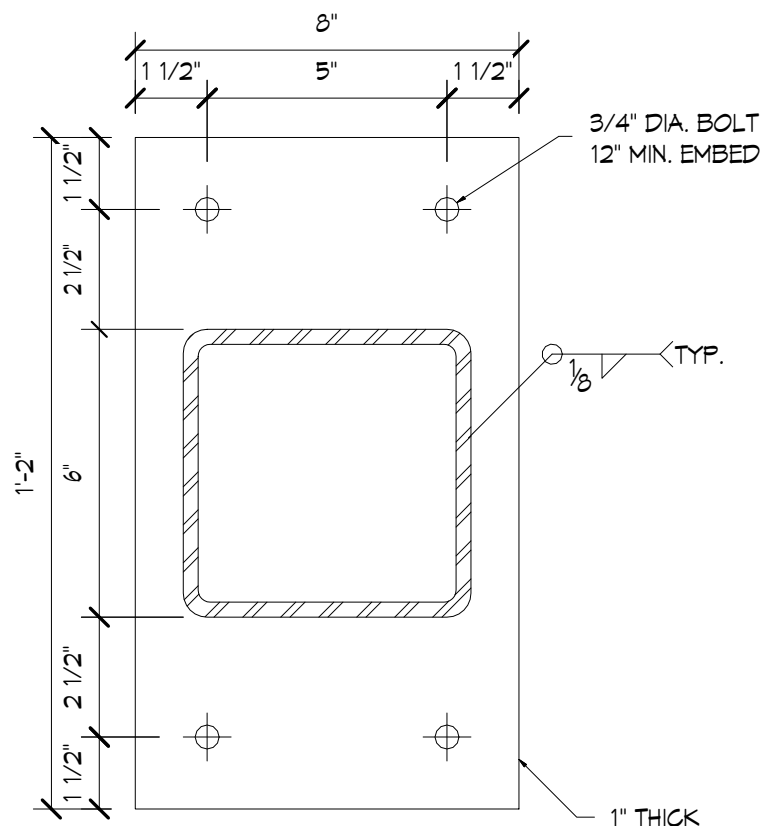
S-001



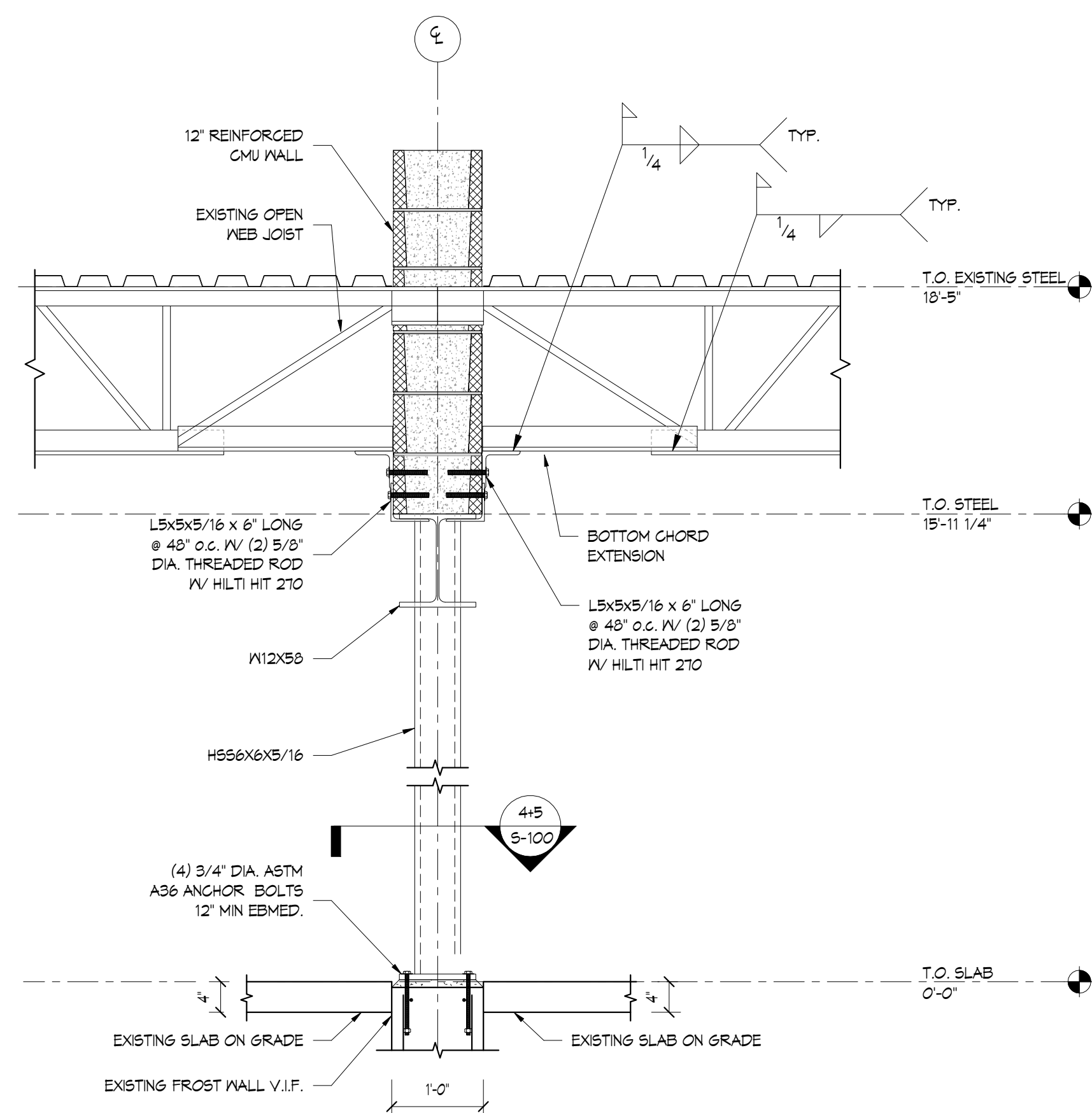
6 WALKTHROUGH FREEZER COOLER FOUNDATION SECTION
5-100 SCALE: 3/4" = 1'-0"



5 COLUMN BASE PLATE 2
S-100 SCALE: 3" = 1'-0"



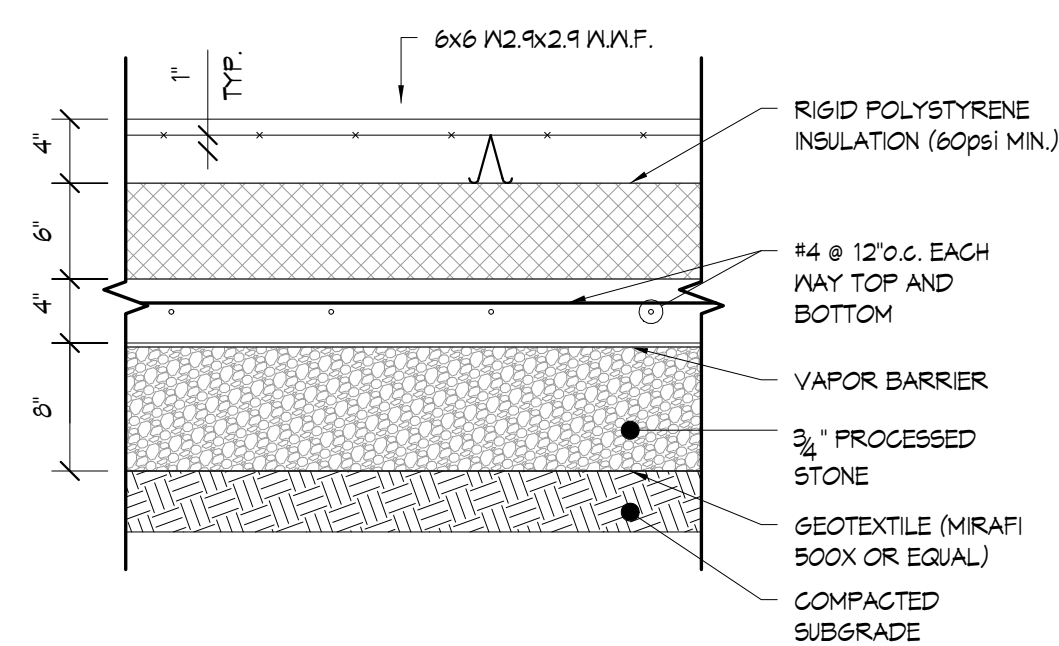
4 COLUMN BASE PLATE 1
S-100 SCALE: 3" = 1'-0"



3
S-100

WALL SECTION

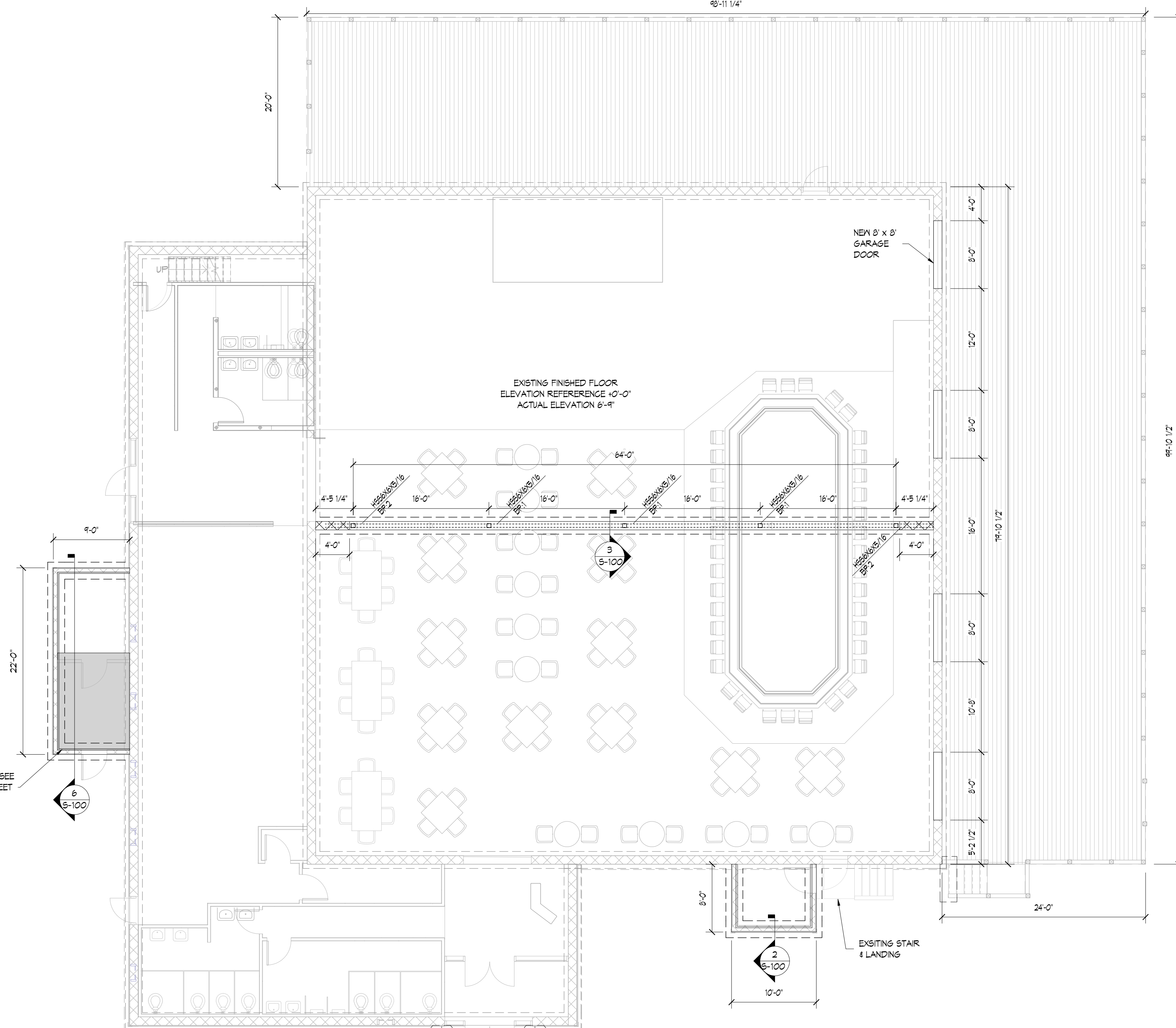
SCALE: 3/4" = 1'-0"




FREEZER SLAB PROFILE

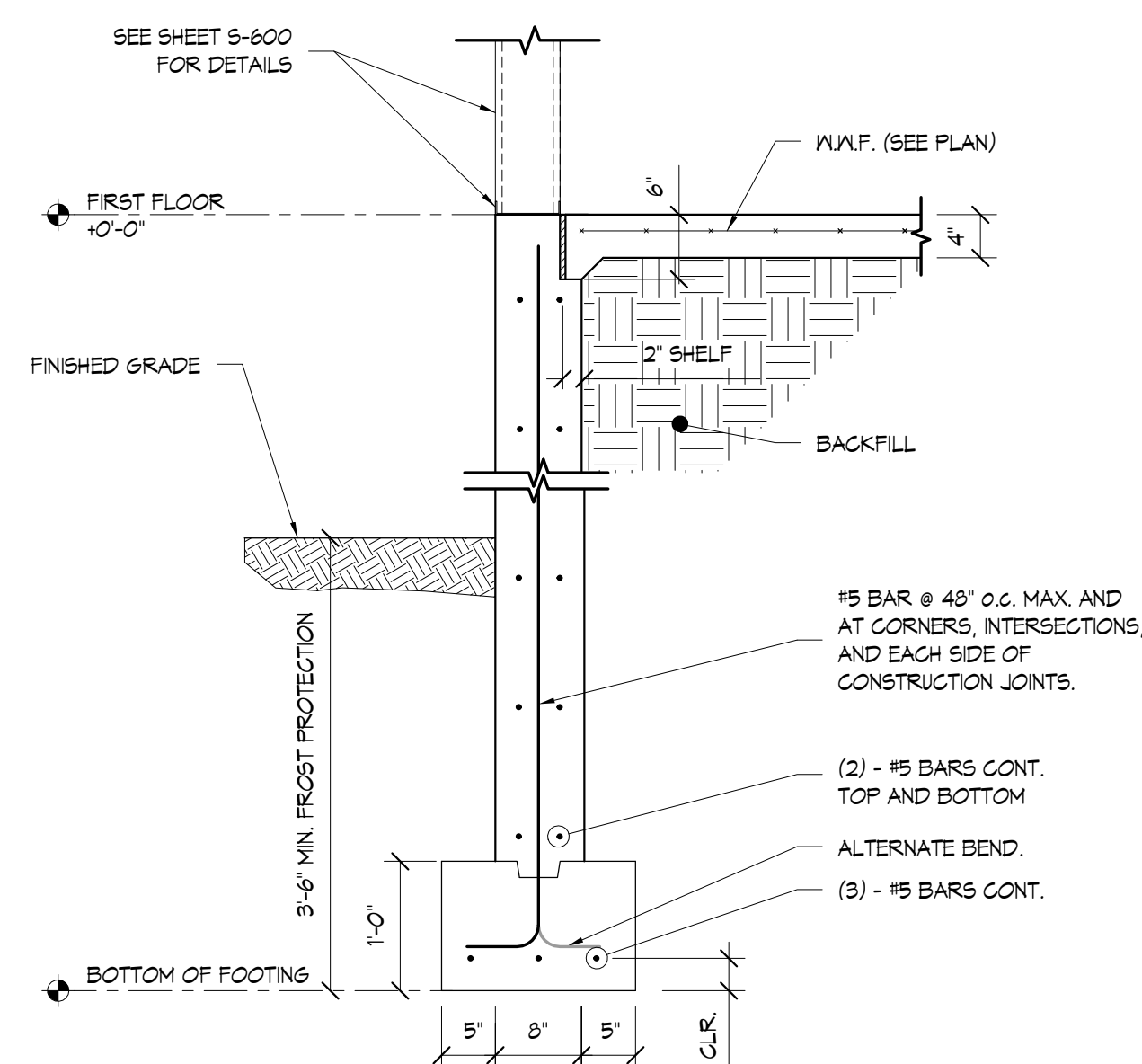
NOTES:

1. PROVIDE CHAIRS TO MAINTAIN SLAB REINFORCING AT ELEVATIONS SHOWN.
2. PROVIDE HEAT SOURCE BELOW FREEZER SLAB TO PRECLUDE LONG TERM DEVELOPMENT OF PERMA-FROST.



1 FLOOR PLAN
S-100 SCALE: 1/8" = 1'-0"

- NOTES:
1. Fx = X-X" INDICATES BOTTOM OF FOOTING ELEVATION. SEE DETAIL 3/5-101 FOR DETAILS.
 2. Px = X-X" INDICATES PIER TYPE AND ELEVATION. SEE DETAIL 3/5-101 FOR DETAILS.
 3. T1/N: INDICATES TOP OF WALL ELEVATION.
 4. B.F.: INDICATES BOTTOM OF FOOTING ELEVATION.
 5. T.S.: INDICATES TOP OF SHELF.
 6.  INDICATES LOCATION OF FREEZER SLAB



2 WALK IN COOLER FOUNDATION SECTION
5-100 SCALE: 3/4" = 1'-0"

REVISIONS:

D R A W I N G T I T L E:

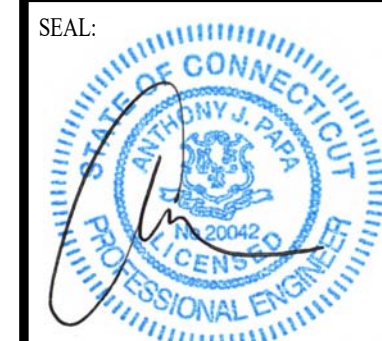
FOUNDATION PLAN

PROJECT: **ADDITION / RNOVATION**

95 HRTFORD TURNPIKE
VERNON, CT



CONSULTANT:
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DESIGNED BY:	SA
DRAWN BY:	SA
SCALE:	AS NOTE
APPROVED BY:	AJ
PROJECT NO.:	2002
DATE:	NOVEMBER 10, 202

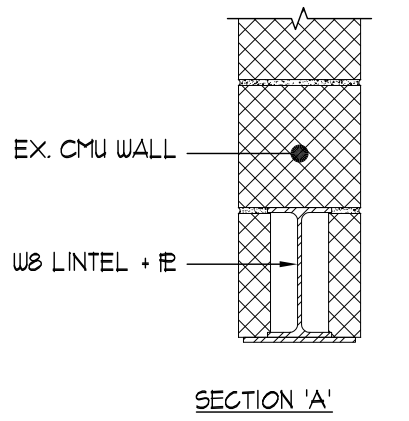
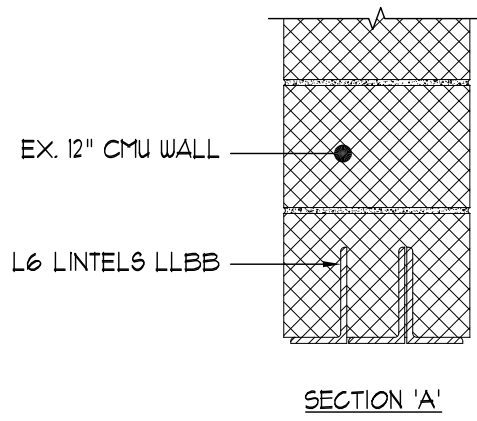
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S-100

SHEET NO.

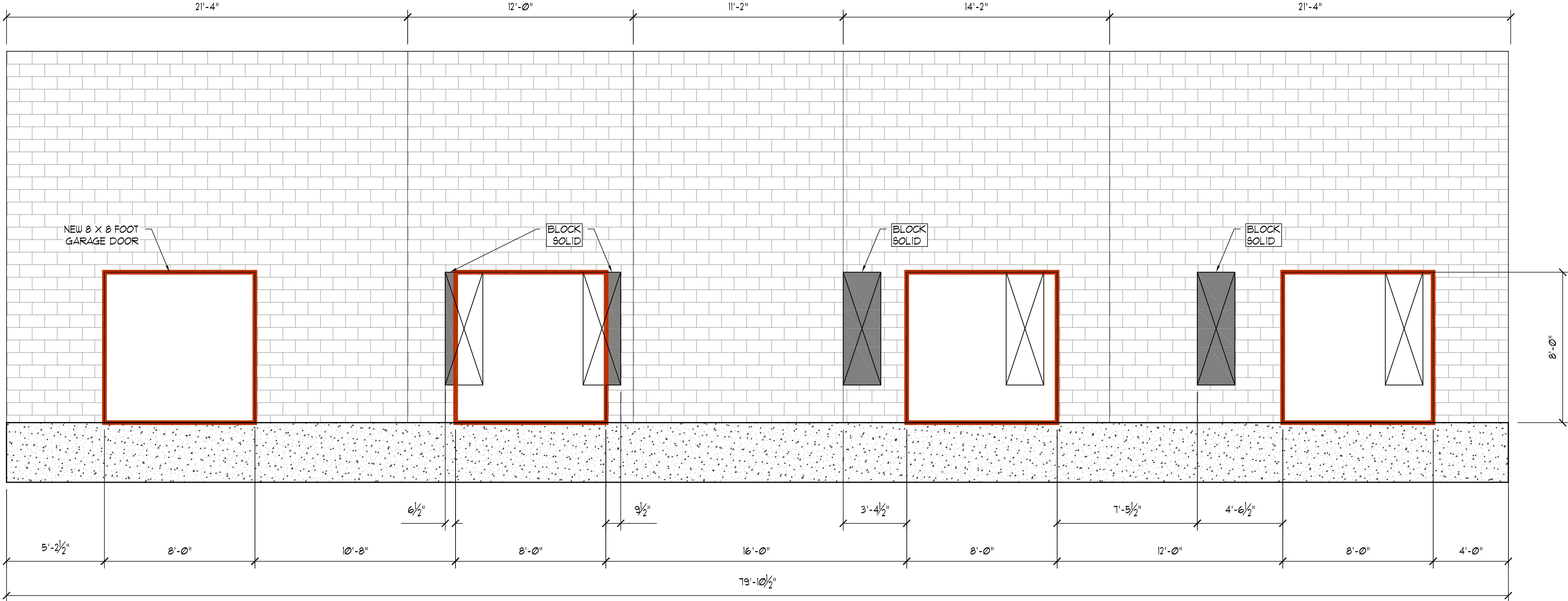
S-101

LOOSE STEEL LINTELS FOR MASONRY (RUNNING BOND CMU WALLS - U.O.N.)		
SPAN	LINTEL SIZE	REMARKS
UP TO 4'-0"	L 4 x 3½ x ⅝ (LLV)	4" VENEER
OVER 4'-0" TO 8'-0"	L 6 x 3½ x ⅝ (LLV)	4" VENEER
UP TO 4'-0"	L 4 x 3½ x ⅝ (LLBB)	8" ± 12" INTERIOR CMU WALLS
OVER 4'-0" TO 8'-0"	L 6 x 3½ x ⅝ (LLBB)	8" ± 12" INTERIOR CMU WALLS
UP TO 4'-0"	W8x15 ± ⅝ PLATE	8" EXTERIOR MASONRY WALLS



- LOOSE LINTEL NOTES:**
1. PROVIDE (I) ANGLE FOR EVERY 4' OF MASONRY WALL THICKNESS WHERE ANGLES ARE NOTED.
 2. AT 8" AND 12" CMU WALLS, PROVIDE 8" MIN. BEARING EACH END, (M.O. +1'-4") U.O.N. ENDS OF LINTELS SHALL BEAR ON CMU JAMBS GROUTED 3 COURSES MIN.
 3. SHOP WELD GRIP STAY CHANNELS (OR SIMILAR ADJUSTABLE ANCHORS) TO BOTH SIDES OF LINTEL WEB AT 24" o.c. FOR ANCHORING MASONRY TO LINTEL.
 4. ALL EXTERIOR LINTELS SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION.
 5. LINTEL PLATE WIDTH SHALL BE 1 INCH LESS THAN OVERALL NOMINAL WIDTH OF MASONRY WALL (INCLUDING CAVITY) UNLESS OTHERWISE DETAILED.

LOOSE LINTEL SCHEDULE



REVISIONS:
1: 11/24/2021 - GENERAL REVISION

DRAWING TITLE:
EAST ELEVATION

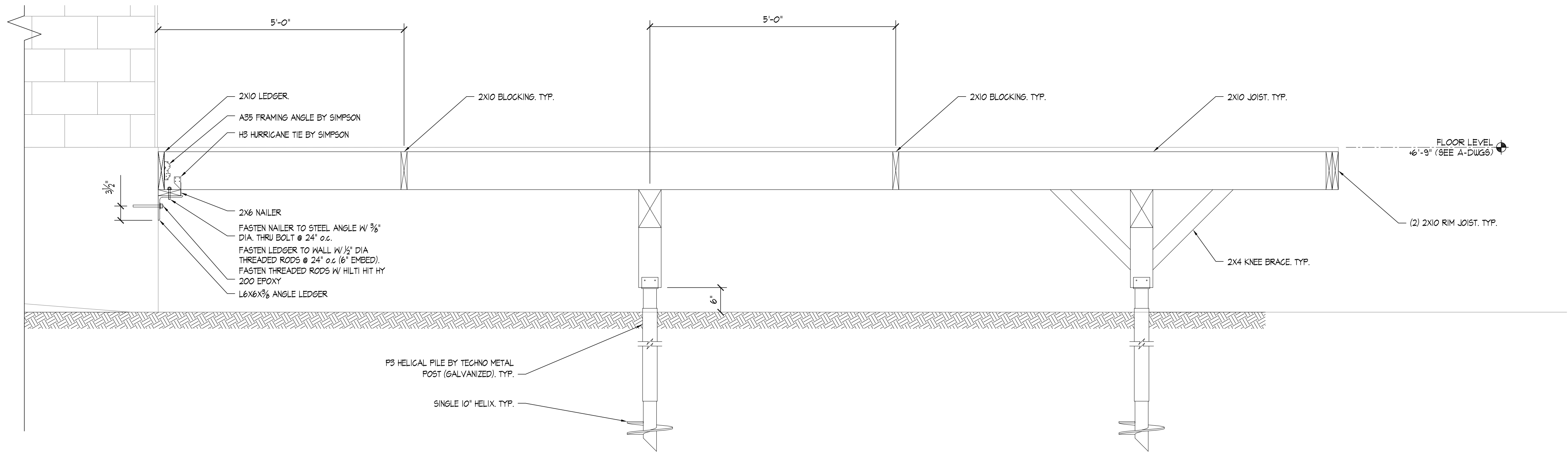
PROJECT:
ADDITION / RENOVATION
95 HARTFORD TURNPIKE VERNON, CT

CONSULTANT:

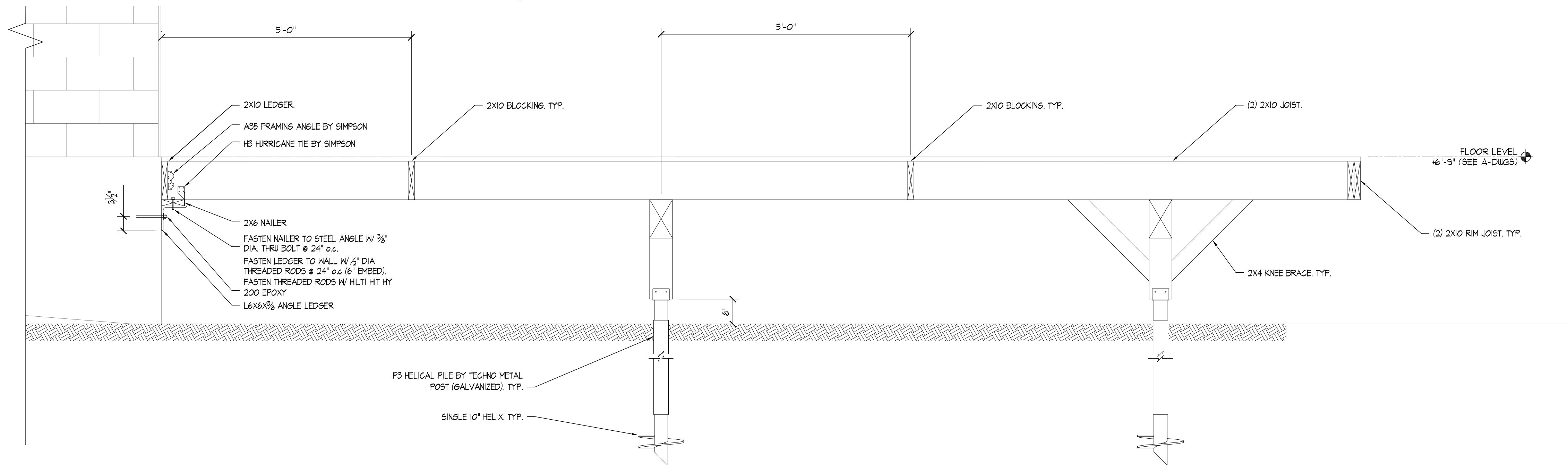
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DESIGNED BY:	AJP
DRAWN BY:	AJP
SCALE:	AS NOTED
APPROVED BY:	AJP
PROJECT NO.:	20020
DATE:	NOVEMBER 10, 2021

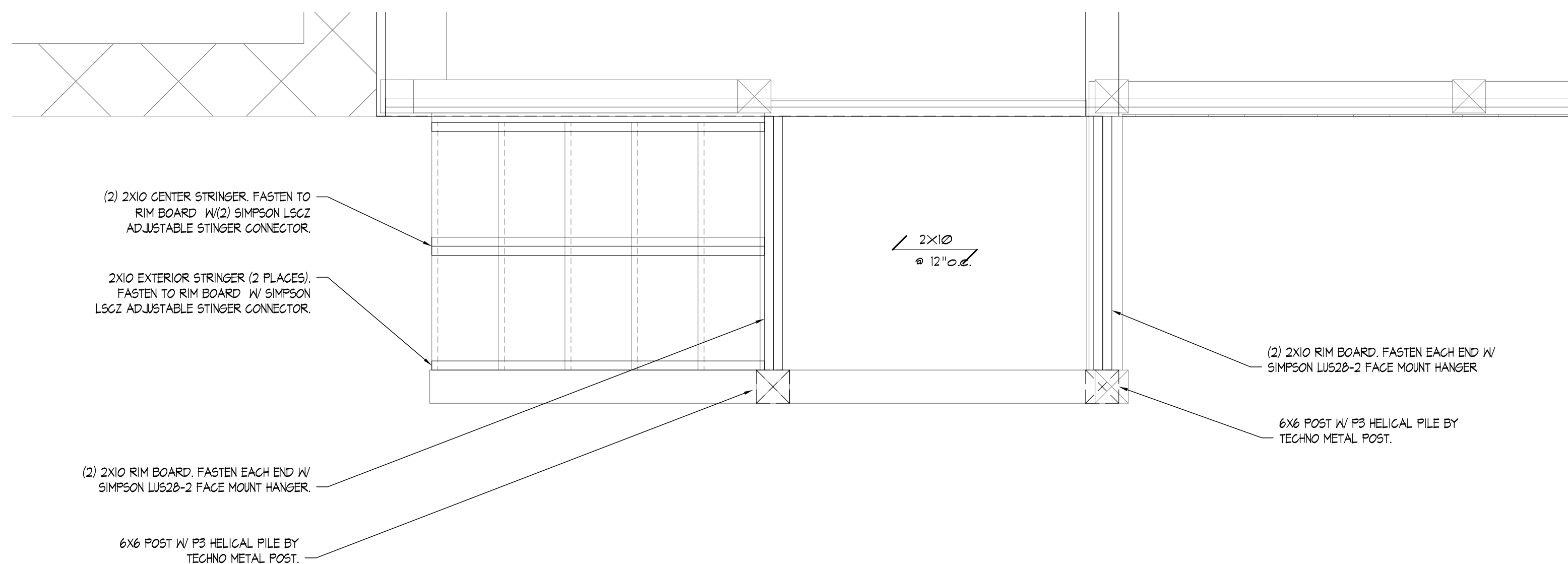
- HELICAL PILE NOTES:
1. TEST PILES SHALL BE PERFORMED TO VERIFY SITE CONDITIONS AND ALLOWABLE BEARING.
 2. MINIMUM ALLOWABLE WORKING LOAD FOR EACH PIER IS 15,000 LBS.
 3. PILE DRIVING LOGS ARE TO BE PROVIDED TO ENGINEER OF RECORD TO VERIFY PILE DEPTH AND INSTALLATION TORQUE.



3 DECK ELEVATION 2
SCALE: 3/4" = 1'-0"



2 DECK ELEVATION 1
SCALE: 3/4" = 1'-0"



1 DECK STAIR FRAMING PLAN
SCALE: 3/4" = 1'-0"

REVISIONS:

1: 11/24/2021 - GENERAL REVISION

DRAWING TITLE:
DECK ELEVATIONS &
STAIR PLAN

PROJECT:
ADDITION / RENOVATION

95 HARTFORD TURNPIKE
VERNON, CT



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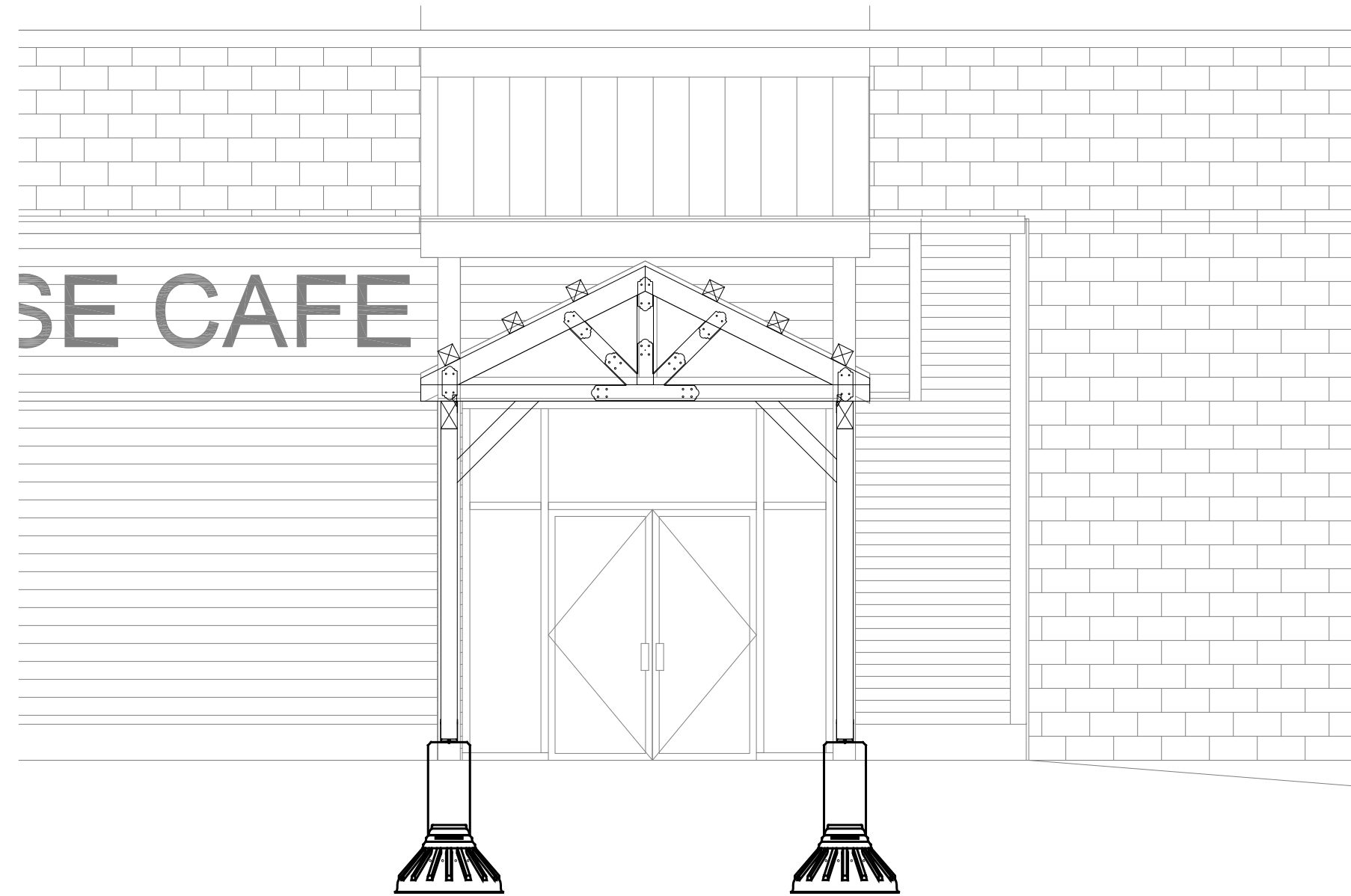
SEAL:



DESIGNED BY: HT
DRAWN BY: HT
SCALE: AS NOTED
APPROVED BY: AJP
PROJECT NO.: 20020
DATE: NOVEMBER 10, 2021

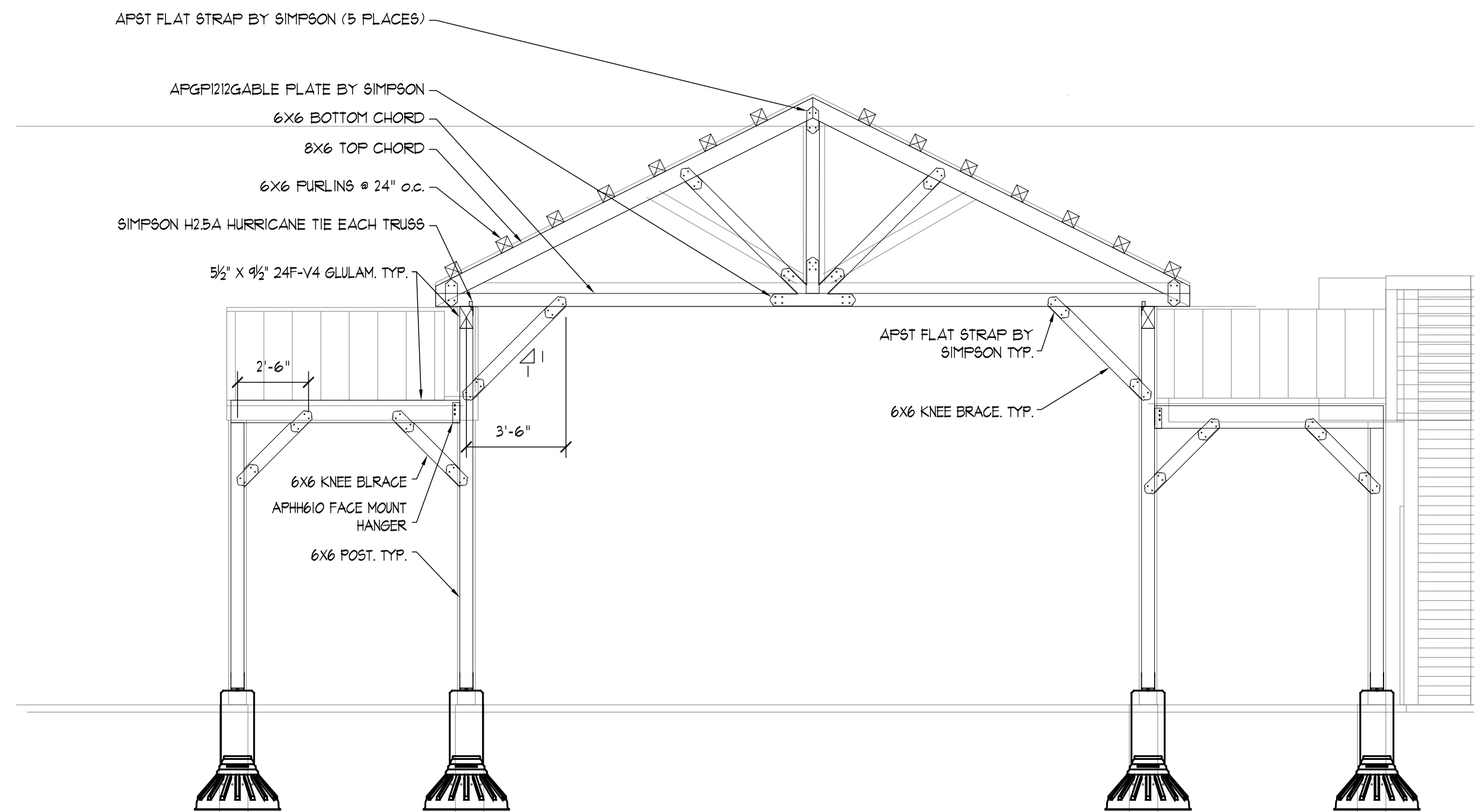
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S-500

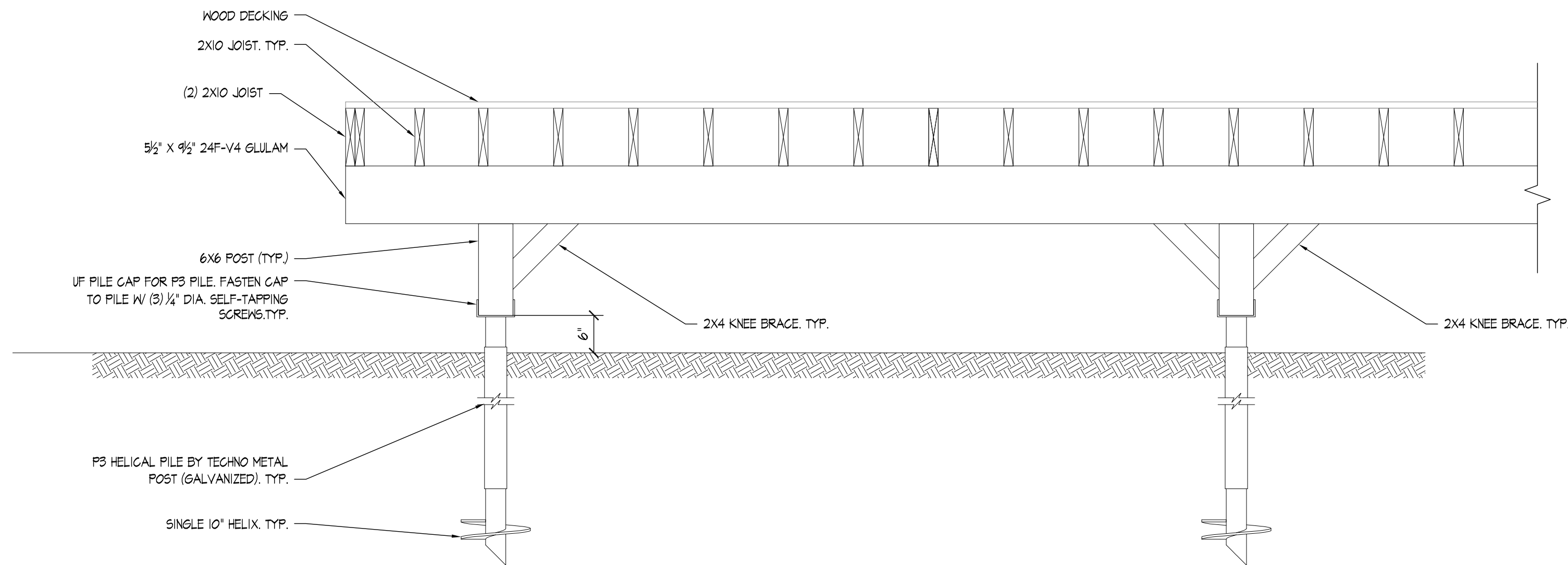


3
S-501
PORTE COCHERE ELEVATION 2
SCALE: 1/4" = 1'-0"

NOTES:
1. SEE SECTION 2 THIS SHEET FOR TIMBER SIZES AND CONNECTION DETAILS.



2
S-501
PORTE COCHERE ELEVATION 1
SCALE: 1/4" = 1'-0"



1
S-501
DECK ELEVATION 3
SCALE: 3/4" = 1'-0"

HELICAL PILE NOTES:
1. TEST PILES SHALL BE PERFORMED TO VERIFY SITE CONDITIONS AND ALLOWABLE BEARING.
2. MINIMUM ALLOWABLE WORKING LOAD FOR EACH PIER IS 15,000 LBS.
3. PILE DRIVING LOGS ARE TO BE PROVIDED TO ENGINEER OF RECORD TO VERIFY PILE DEPTH AND INSTALLATION TORQUE.

REVISIONS:
1: 11/24/2021 - GENERAL REVISION

DRAWING TITLE:
DECK ELEVATION &
PORTE COCHERE ELEVATIONS

PROJECT:
ADDITION / RENOVATION

95 HARTFORD TURNPIKE
VERNON, CT



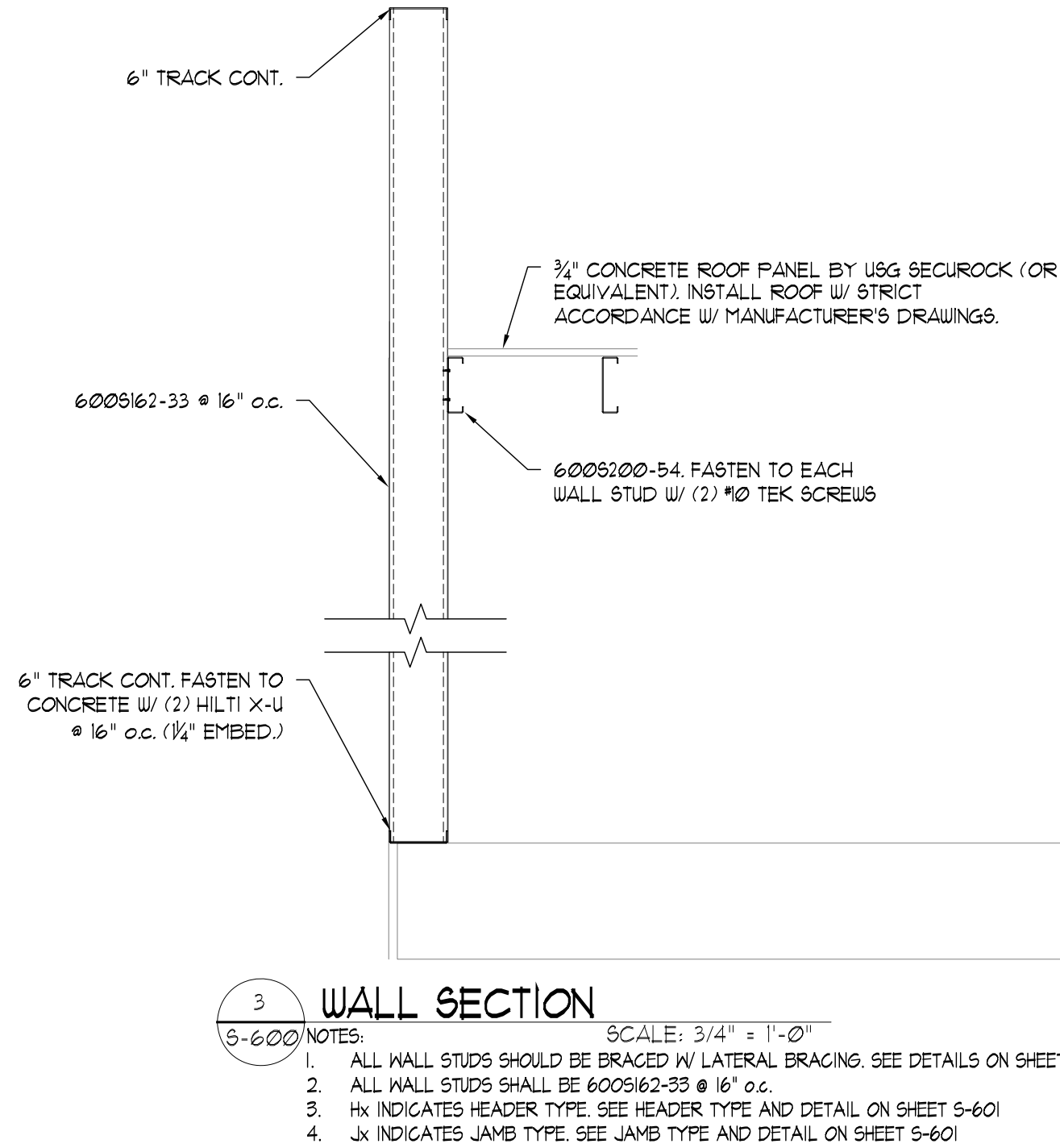
CONSULTANT:
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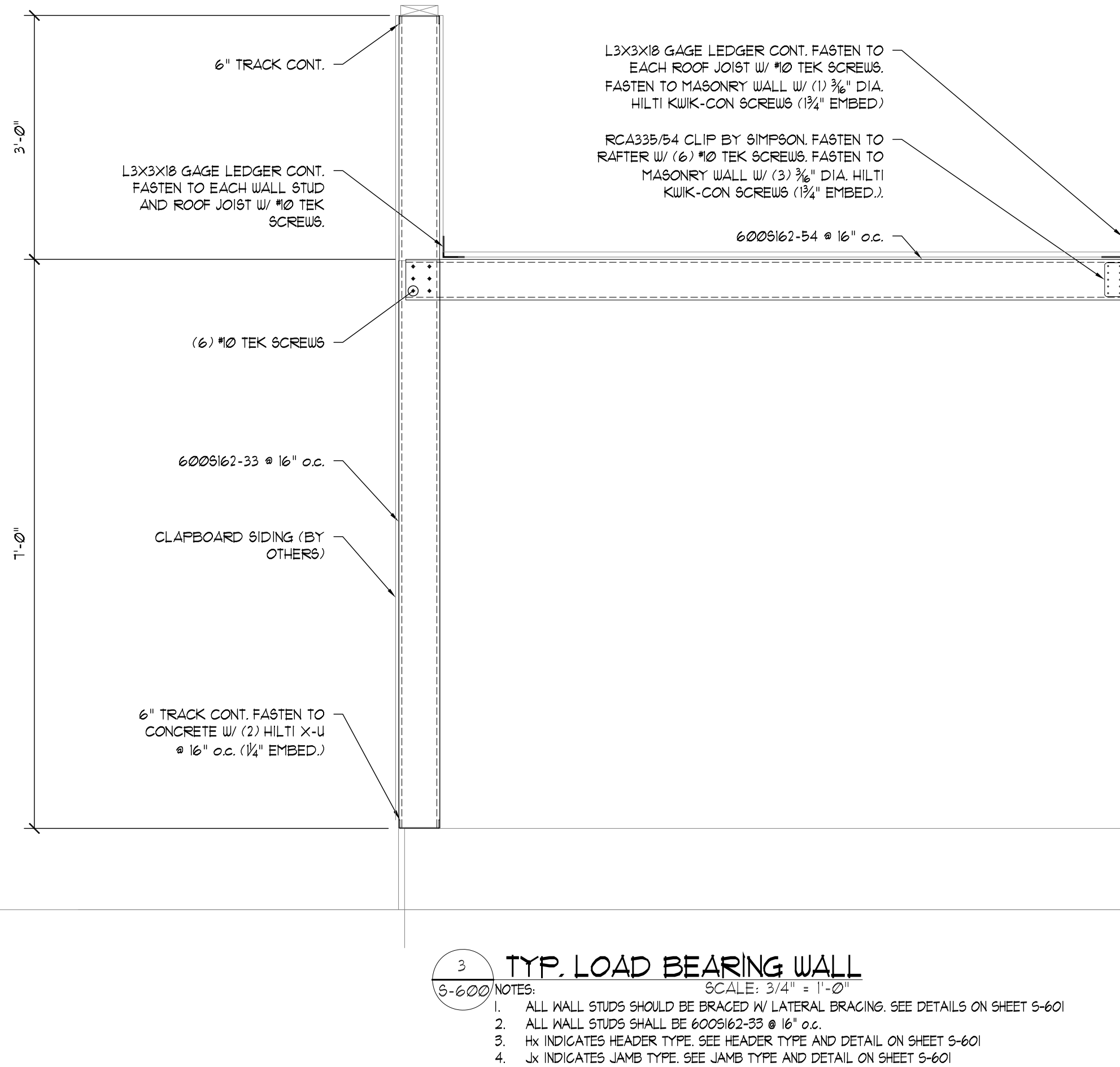
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APPROVED BY: AJP
PROJECT NO.: 20020
DATE: NOVEMBER 10, 2021

SHEET NO.

S-501



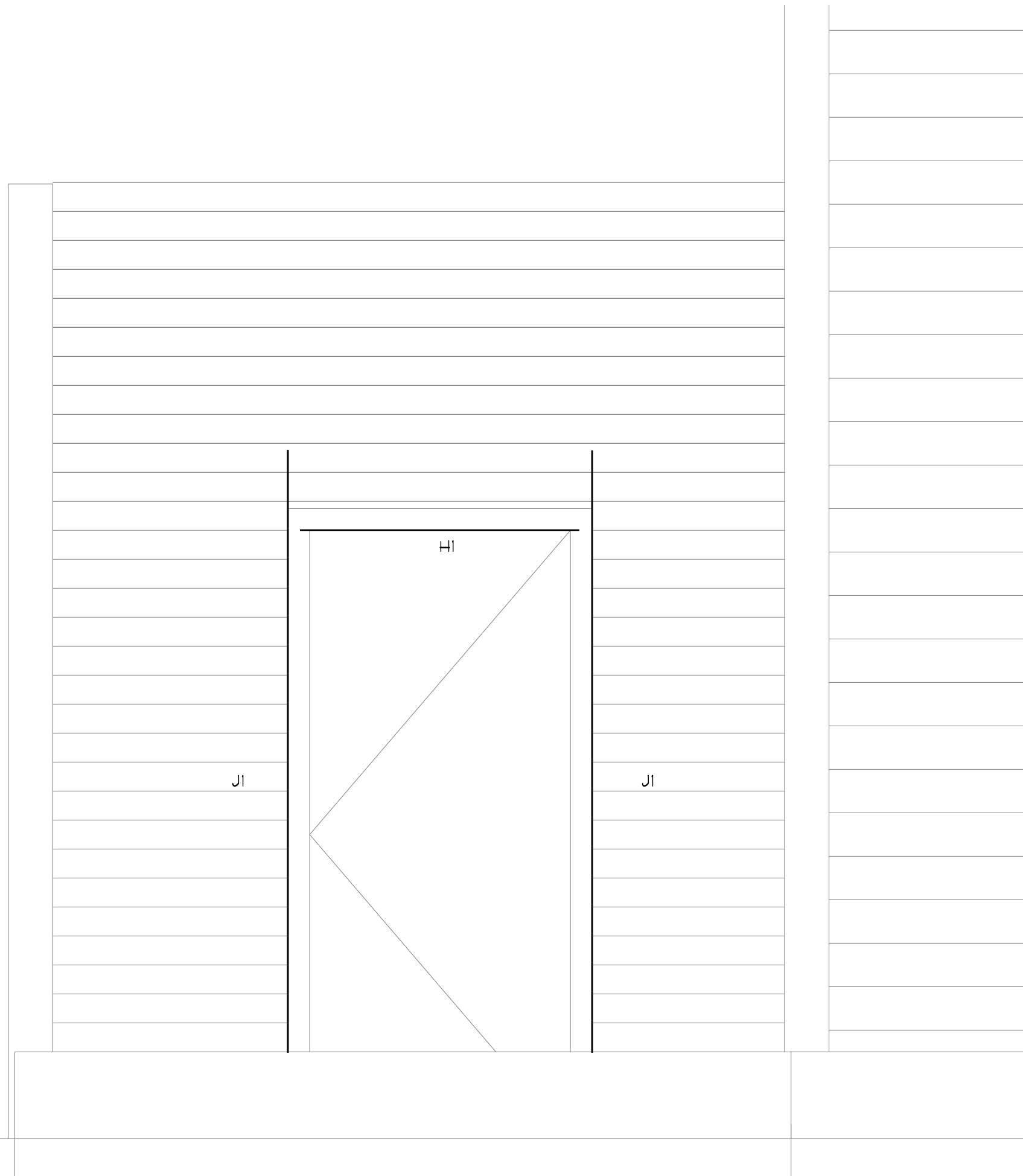
3 WALL SECTION
SCALE: 3/4" = 1'-0"
NOTES:
1. ALL WALL STUDS SHOULD BE BRACED W/ LATERAL BRACING. SEE DETAILS ON SHEET S-601
2. ALL WALL STUDS SHALL BE 6005162-33 #16 o.c.
3. Hx INDICATES HEADER TYPE. SEE HEADER TYPE AND DETAIL ON SHEET S-601
4. Jx INDICATES JAMB TYPE. SEE JAMB TYPE AND DETAIL ON SHEET S-601



3 TYP. LOAD BEARING WALL
SCALE: 3/4" = 1'-0"
NOTES:
1. ALL WALL STUDS SHOULD BE BRACED W/ LATERAL BRACING. SEE DETAILS ON SHEET S-601
2. ALL WALL STUDS SHALL BE 6005162-33 #16 o.c.
3. Hx INDICATES HEADER TYPE. SEE HEADER TYPE AND DETAIL ON SHEET S-601
4. Jx INDICATES JAMB TYPE. SEE JAMB TYPE AND DETAIL ON SHEET S-601



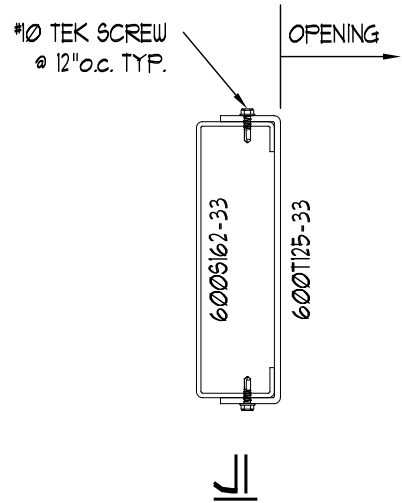
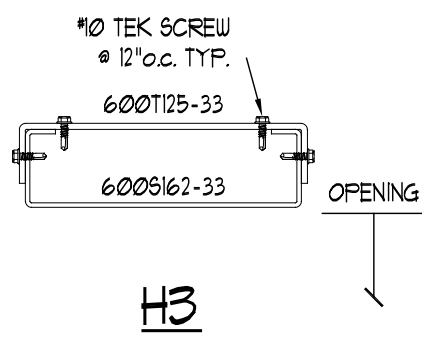
2 ADDITION ELEVATION 2
SCALE: 3/4" = 1'-0"



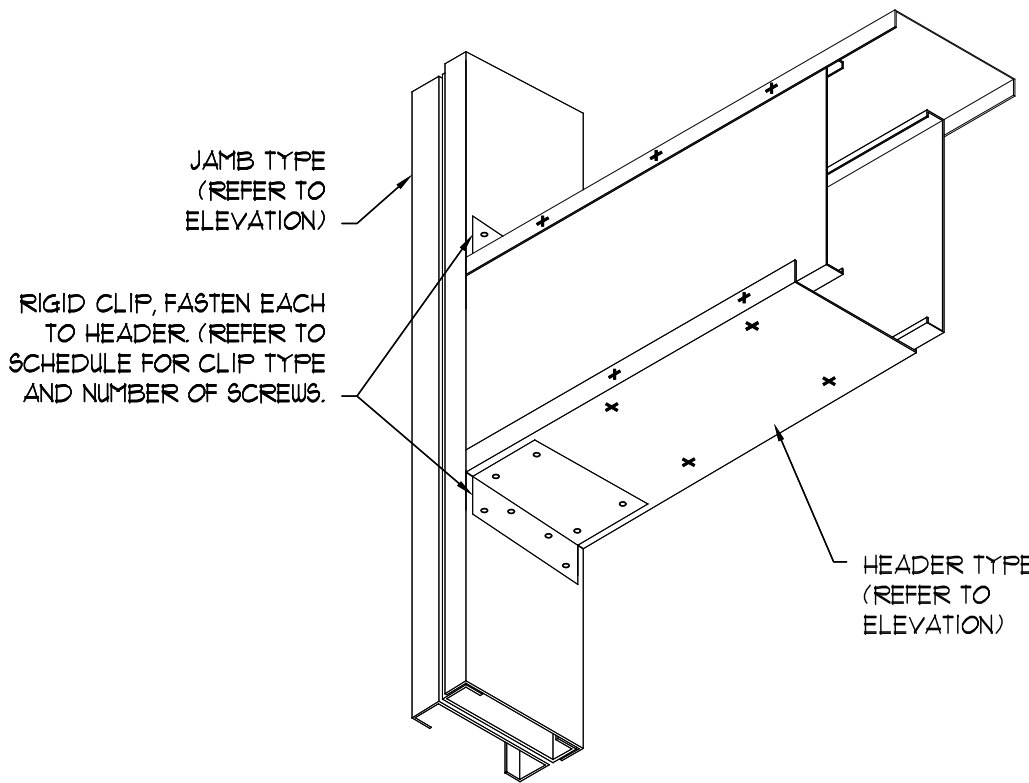
1 ADDITION ELEVATION 1
SCALE: 3/4" = 1'-0"
NOTES:
1. ALL WALL STUDS SHOULD BE BRACED W/ LATERAL BRACING. SEE DETAILS ON SHEET S-601
2. ALL WALL STUDS SHALL BE 6005162-33 #16 o.c.
3. Hx INDICATES HEADER TYPE. SEE HEADER TYPE AND DETAIL ON SHEET S-601
4. Jx INDICATES JAMB TYPE. SEE JAMB TYPE AND DETAIL ON SHEET S-601

REVISIONS:	
1: 11/24/2021	GENERAL REVISION
DRAWING TITLE: LIGHT GAUGE ELEVATIONS & WALL SECTIONS	
PROJECT: ADDITION / RENOVATION	
CONSULTANT: PVE Engineering, P.C. Bushnell on the Park 100 Wells Street - Suite 2K Hartford, CT 06103 860.522.3970 860.522.3971 - fax	
DESIGNED BY: HT	
DRAWN BY: HT	
SCALE: AS NOTED	
APPROVED BY: AJP	
PROJECT NO.: 20020	
DATE: NOVEMBER 10, 2021	
SHEET NO. S-600	

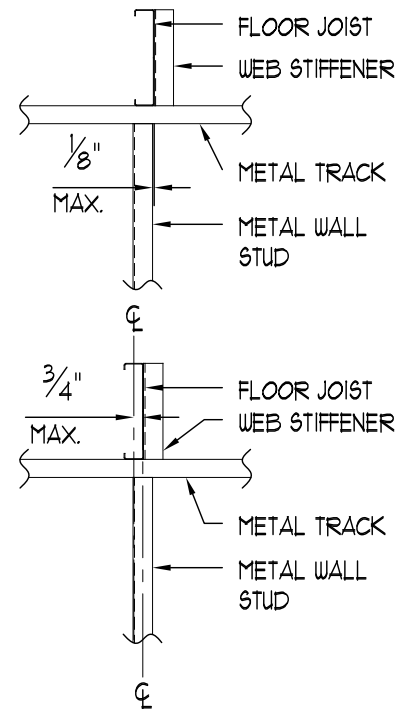
JAMB CONNECTION SCHEDULE	
JAMB TYPE	CONNECTIONS
JL	FASTEN JAMB TOP W/ RGA335/54 BY SIMPSON STRONG TIE. FASTEN EACH CLIP TO ROOF RAFTER W/(6) #10 TEK SCREWS AND TO JAMB W/(6) #10 TEK SCREWS. FASTEN JAMB BOTTOM W/ RGA335/54 BY SIMPSON STRONG TIE. FASTEN TO CONCRETE W/ (3) HILTI X-U (1-1/4" EMBED.) AND TO JAMB W/ (6) #10 TEK SCREWS.
HI	FASTEN EACH END OF HEADER W/ RGA335/54 BY SIMPSON STRONG TIE @ BOTTOM. FASTEN EACH LEG W/ (6) #10 TEK SCREWS. SEE TYP. BOXED HEADER TO JAMB CONNECTION DETAIL ON SHEET SCF-3.



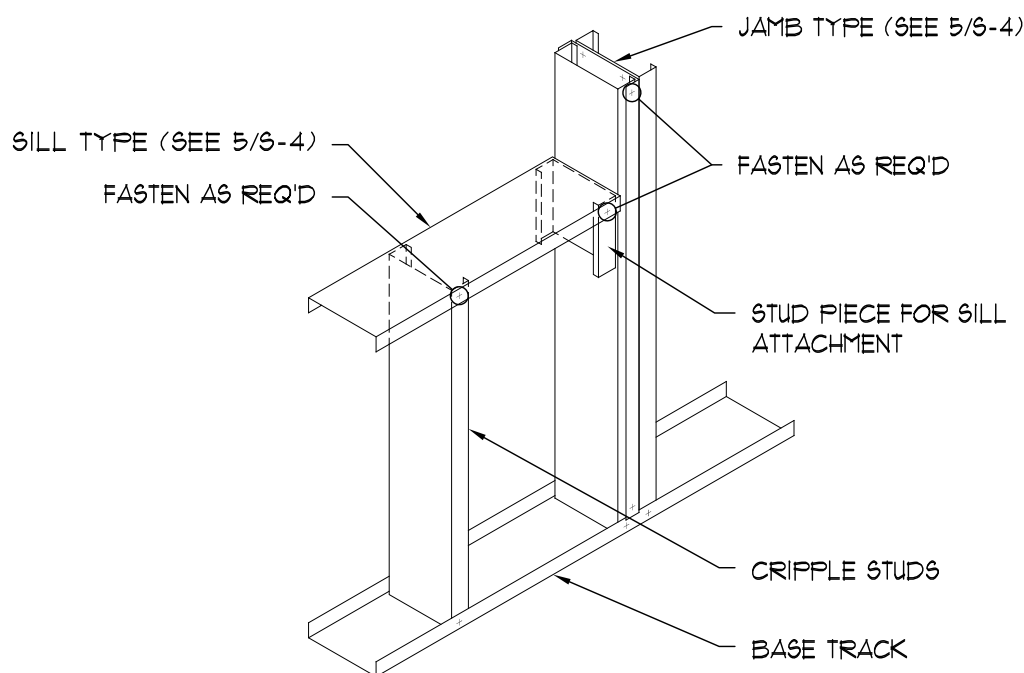
JAMB AND HEADER DETAILS
SCALE: 3" = 1'-0"



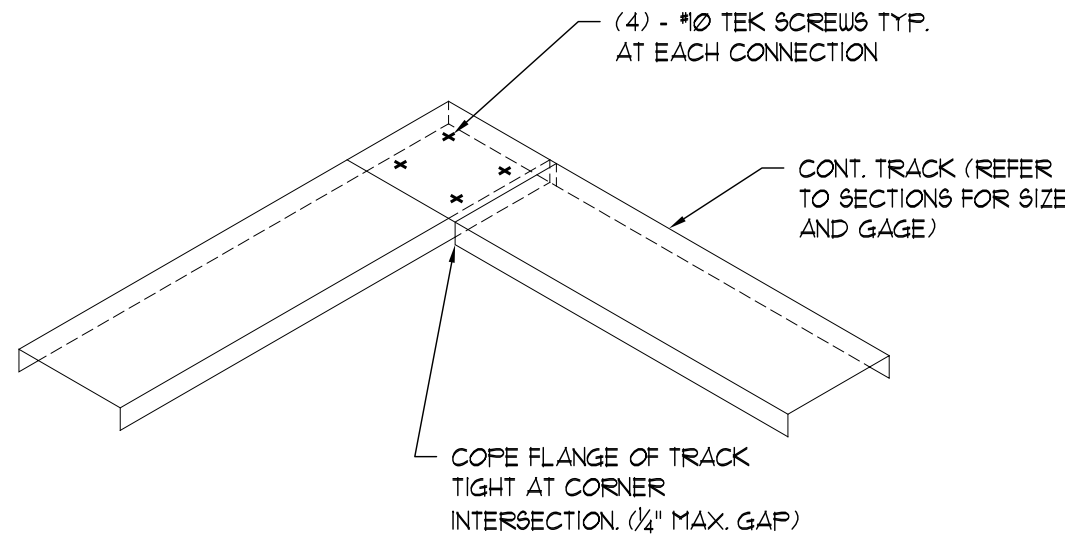
JAMB AND HEADER DETAIL



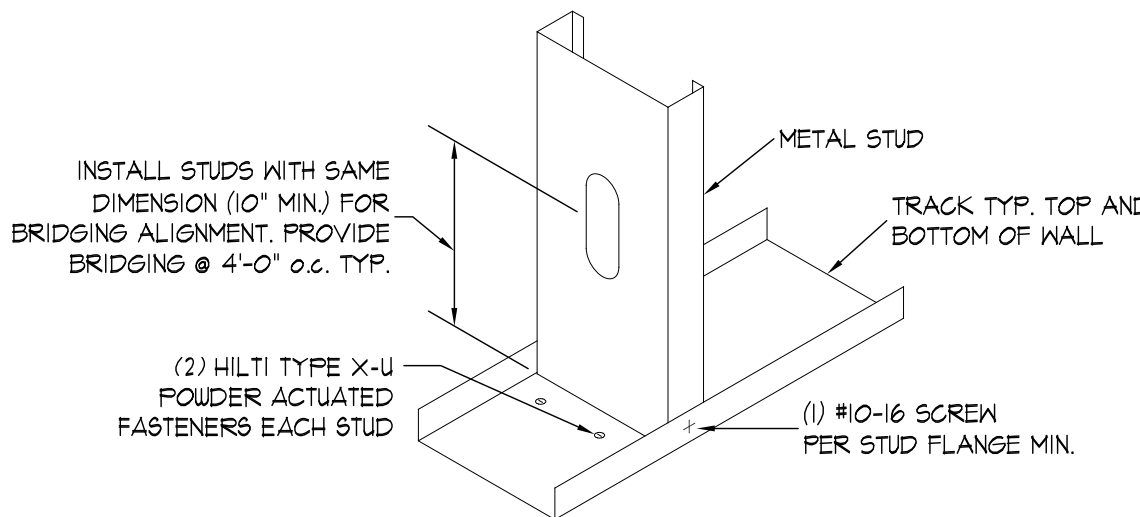
TYPICAL BEARING WALL DETAIL



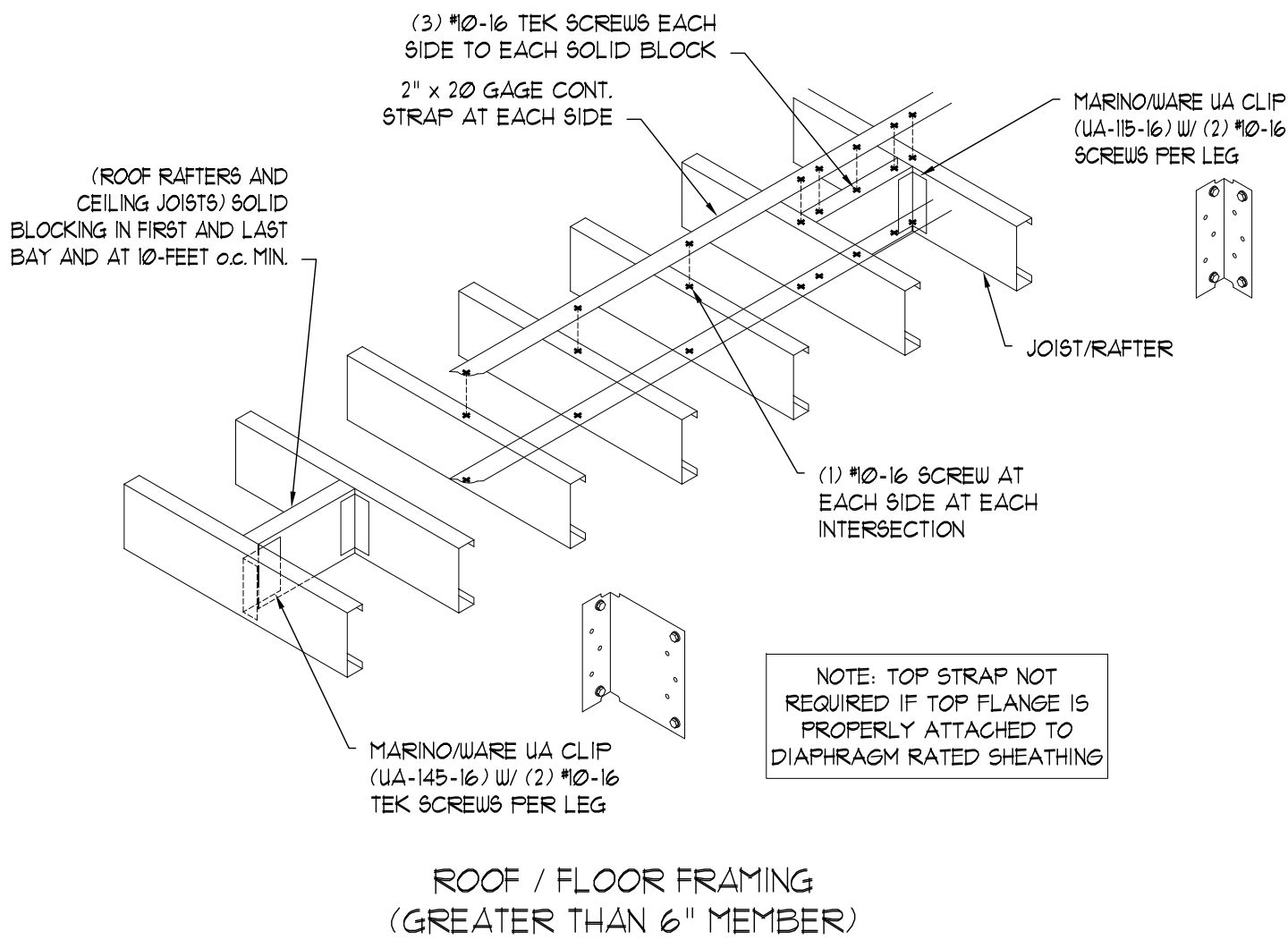
TYP. JAMB AND SILL DETAIL



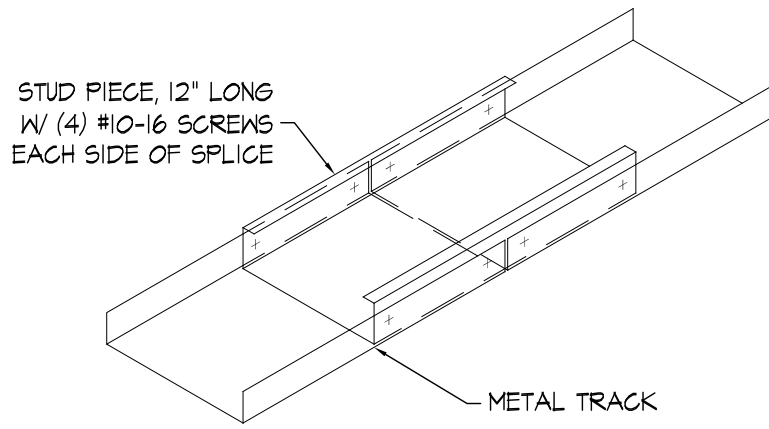
TYP. TRACK CORNER CONNECTION DETAIL
NOTE: WALL STUDS NOT SHOWN FOR CLARITY



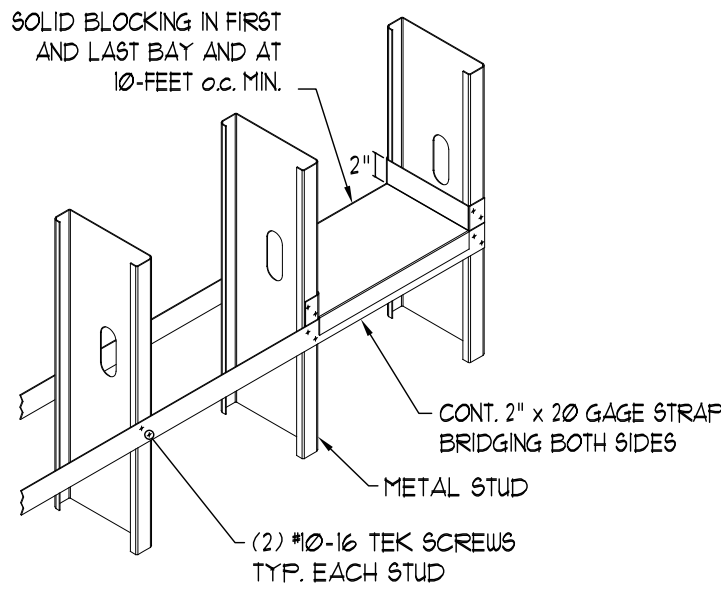
TYP. STUD BASE DETAIL



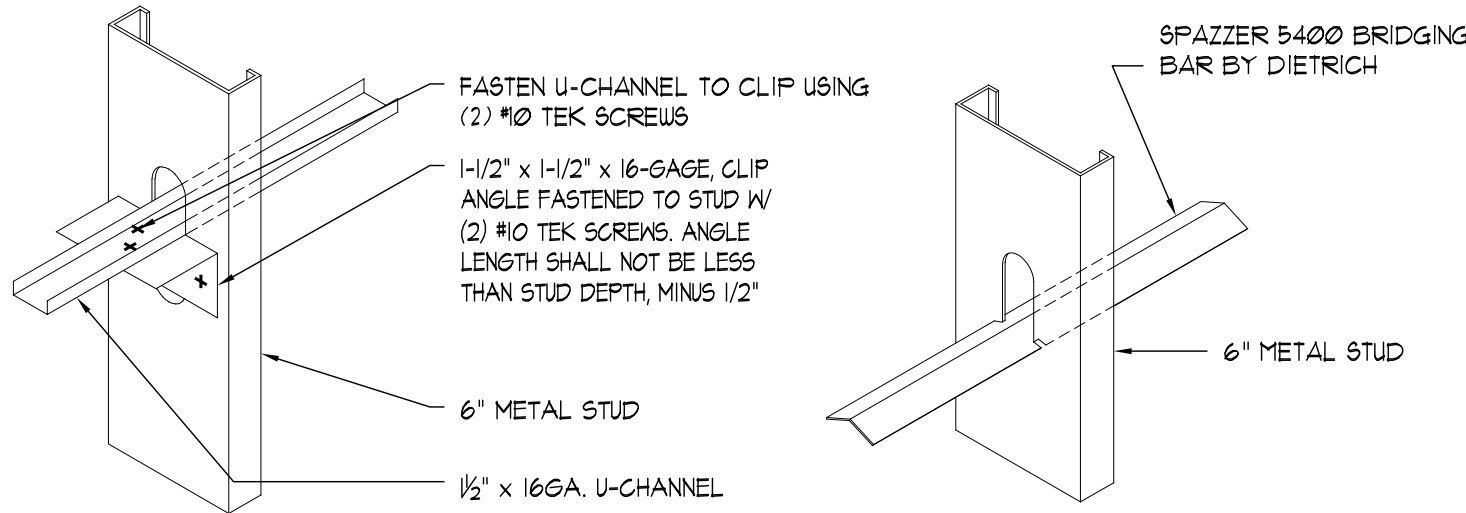
TYPICAL BLOCK AND STRAP DETAILS @ 8'-0" o.c.



TYP. TRACK SPLICE CONNECTION

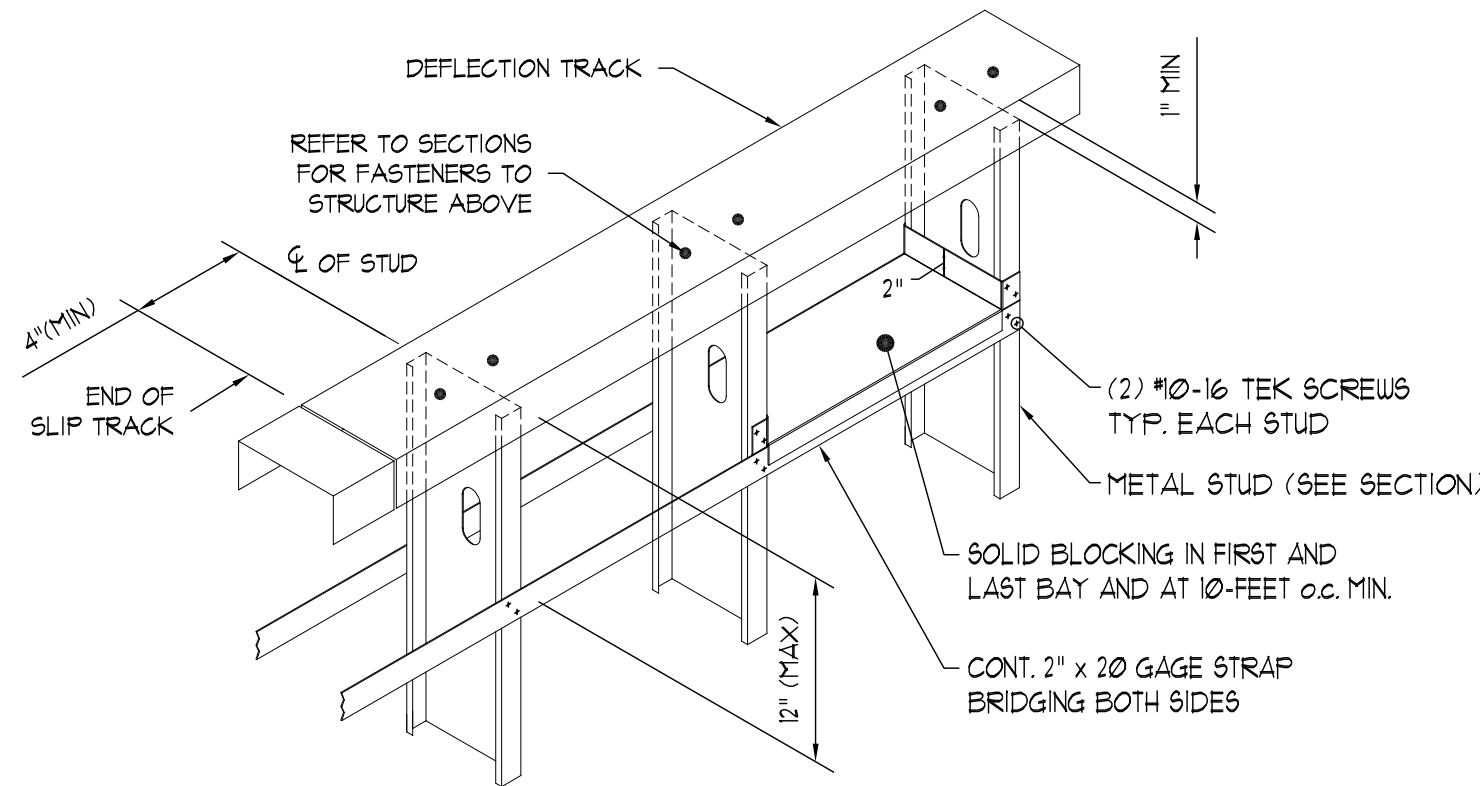


TYPICAL BLOCK AND STRAP DETAIL
(48" o.c. VERTICALLY MAX. FOR STUDS GREATER THAN 6")



NOTE: ENSURE PUNCHOUT ALIGNMENT FOR LATERAL BRACING / BRIDGING. LATERAL BRACING / BRIDGING SHALL BE SPACED AT 48-INCHES ON-CENTER MAX. FAILURE TO INSTALL BRACING MAY COMPROMISE THE STRUCTURAL INTEGRITY OF THE FRAMING. THROUGH WALL BRIDGING IS ONLY GOOD FOR STUDS THAT ARE 6" OR SMALLER. FOR STUDS THAT ARE 8" OR LARGER REFER TO TYPICAL BLOCK AND STRAP DETAIL.

TYP. LATERAL BRIDGING DETAILS



TYP. DEFLECTION TRACK DETAIL

REVISIONS:
1: 11/24/2021 - GENERAL REVISION

DRAWING TITLE:
TYPICAL LIGHT GAUGE DETAILS

PROJECT:
ADDITION / RENOVATION



CONSULTANT:
PVE Engineering, P.C.
Bushnell on the Park
100 Wells Street - Suite 2K
Hartford, CT 06103
860.522.3970
860.522.3971 - fax

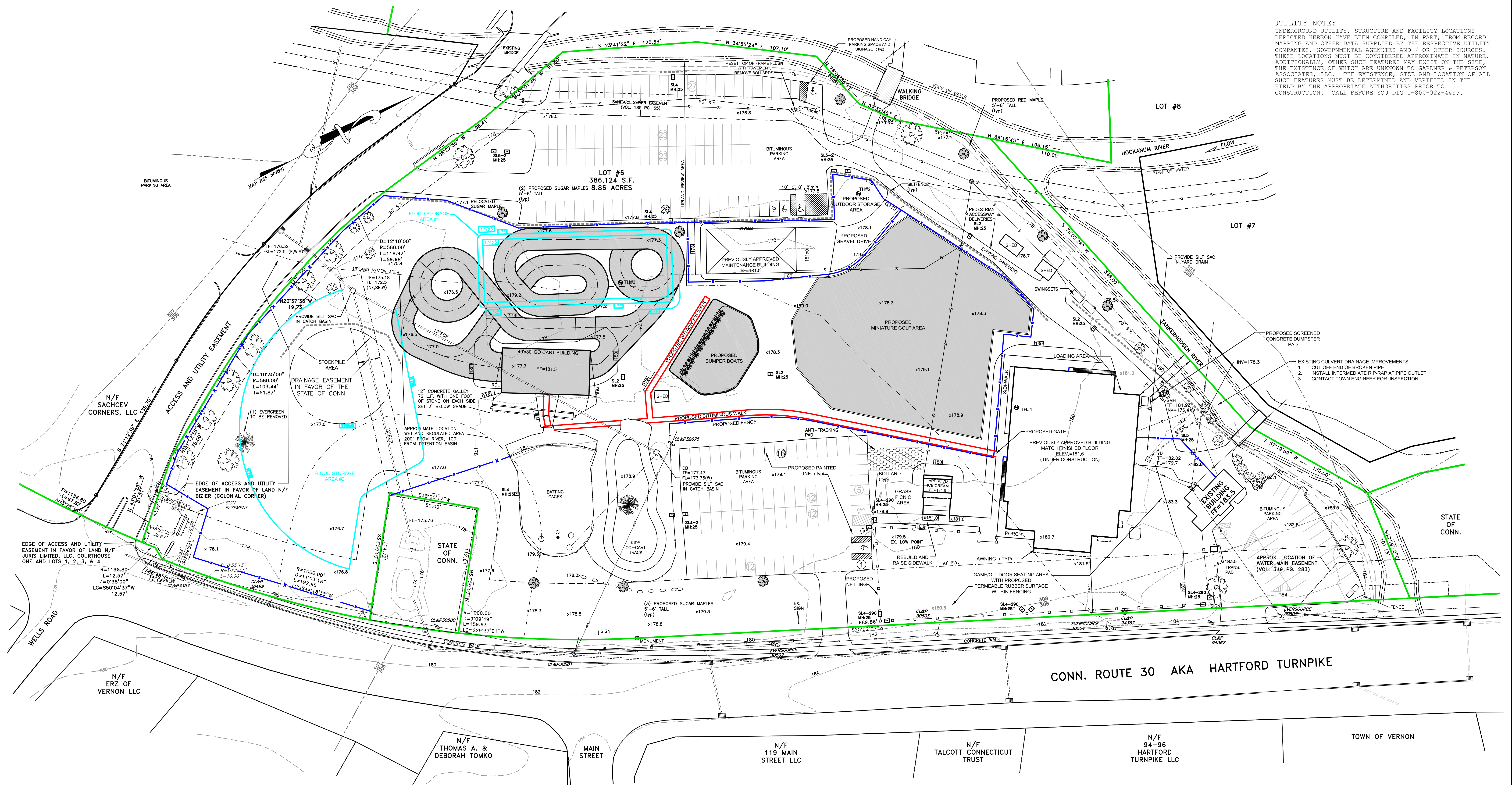
SEAL:



DESIGNED BY: AJP
DRAWN BY: SAJ
SCALE: AS NOTED
APPROVED BY: AJP
PROJECT NO.: 20020
DATE: NOVEMBER 10, 2021

SHEET NO.
S-601

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS
DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD
MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY
COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES.
THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE.
ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE,
THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON
ENGINEERS, INC. THE USER SHALL BE RESPONSIBLE FOR LOCATING ALL
SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE
FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO
CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.



PHASE 1-APPROVAL

ZONING TABLE	(CURRENT ZONE COMMERCIAL)		
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	22,000 SF	8.86 ACRES	—
MIN. LOT WIDTH	100'	1040'±	—
MIN. FRONT YARD	50'	66'	51'
MIN. SIDE YARD	20'	44'	53'
MIN. REAR YARD	50'	201'	124'
LOT COVERAGE	>60% SPECIAL PERMIT	33.9%	31.3%

PROPOSED LOT COVERAGE BREAKDOWN:

REMOVE EXISTING GO CART TRACK	-	REDUCTION OF 18,125sf OF IMPERVIOUS SURFACE
REMOVE MINI-GOLF COURSE	-	REDUCTION OF 6,000sf OF IMPERVIOUS SURFACE
REMOVE BUILDING	-	REDUCTION OF 6,790sf OF IMPERVIOUS SURFACE
REMOVE WALNUT SOUTH OF BLD.	-	REDUCTION OF 5,500sf OF IMPERVIOUS SURFACE
REMOVE BUMPER BOAT, CONC. & PVMT	-	REDUCTION OF 5,800sf OF IMPERVIOUS SURFACE
PROPOSED BUILDING	+ADDITIONAL	16,665sf OF IMPERVIOUS SURFACE
PROPOSED WALKWAY POSITION	+ADDITIONAL	450sf OF IMPERVIOUS SURFACE
PROPOSED BARK ABUTTING BUILDING	+ADDITIONAL	3,220sf OF IMPERVIOUS SURFACE
PROPOSED MAINTENANCE BUILDING	+ADDITIONAL	3,200sf OF IMPERVIOUS SURFACE
PROPOSED ADDITIONAL BUILDING	+ADDITIONAL	900sf OF IMPERVIOUS SURFACE
PROPOSED DUMPSTER PAD	+ADDITIONAL	100sf OF IMPERVIOUS SURFACE
(2) CONCRETE LANDINGS	+ADDITIONAL	30sf OF IMPERVIOUS SURFACE
TOTAL		- 12,900sf REDUCTION IN IMPERVIOUS SURFACE

PHASE 1—PARKING TABLE

COMMERCIAL RECREATION AREA
REQUIRED: 1 SPACE PER EMPLOYEE & 1 SPACE FOR EACH (4) PATRONS
18 EMPLOYEES AND UP TO 260 PATRONS
18 EMPLOYEE SPACES AND 65 PATRON SPACES TOTALING 83 SPACES

RESTAURANT
REQUIRED: 1 SPACE PER 50 SF OF PUBLIC FLOOR AREA - 4,000SF OR 80 SPACES

PROVIDED: 163 EXISTING (EXCLUDES SUBWAY), 163 PROPOSED (EXCLUDING SUBWAY)
REQUIRED: 6 HANDICAP PARKING SPACES
PROVIDED: 6 HANDICAP PARKING SPACES

PHASE1-FLOOD STORAGE VOLUME

PROPOSED FILL: 1,454 c.y.
PROPOSED CUT: AREA WILL NOT BE USED FOR FLOOD STORAGE

PHASE2-FLOOD STORAGE VOLUME

PROPOSED FILL: 1,110 c.y.
 PROPOSED CUT: (1)1,300c.y. + (2)1,280c.y.
 2,580c.y. EXCEEDS FILL OF 1,454 + 1,110 = 2,564c.y.

PHASE II PROPOSED LOT COVERAGE BREAKDOWN:

REMOVE SIDEWALK	-	REDUCTION	2,860sf	OF IMPERVIOUS SURFACE	
PROPOSED MINI-GOLF	-	ADDITIONAL	8,000sf	OF IMPERVIOUS SURFACE	
PROPOSED PATIO AROUND BUMPER BOAT	-	ADDITIONAL	910sf	OF IMPERVIOUS SURFACE	
PROPOSED GO CART TRACK	-	ADDITIONAL	4,000sf	OF IMPERVIOUS SURFACE	MOST OF TRACK IS ELEVATED
PROPOSED GO CART BUILDING	-	ADDITIONAL	3,200sf	OF IMPERVIOUS SURFACE	
PROPOSED SIDEWALKS	-	ADDITIONAL	2,650sf	OF IMPERVIOUS SURFACE	

PHASE II TOTAL
TOTAL PROJECT

TOTAL PROJECT	- 3,000sf NET INCREASE
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PHASE I—SIGNAGE

EXISTING FREE STANDING SIGN: REPLACE SIGN, NOT TO EXCEED 80s.f.

PROPOSED BUILDING MOUNTED SIGNS:	
WESTERLY BUILDING FACE	NOT TO EXCEED 240s.f
(3) EASTERLY BUILDING FACE SIGNS	NOT TO EXCEED 200s.f
EASTERLY FACE ICE CREAM STAND	NOT TO EXCEED 50s.f.

PHASE II—PROPOSED DRAINAGE

IN ORDER TO OFFSET THE INCREASE IN IMPERVIOUS SURFACE, THE GO CART BUILDING ROOF RUNOFF SHALL BE DISCHARGED TO A STORMWATER INFILTRATION SYSTEM.

AREA TO INFILTRATE: 40'x80'
STORM INTENSITY: 1" RAINFALL
VOLUME REQUIRED: $40' \times 80' \times (1" / 12") = 267 \text{ c.f.}$
VOLUME PROVIDED: $72' \text{ LONG} \times 1' \text{ TALL} \times 4' \text{ WIDE} = 144 \text{ c.f. (PLUS STONE)}$

IMPROVEMENT LOCATION SURVEY SITE PLAN AND

EROSION & SEDIMENT CONTROL PLAN
CONNECTICUT GOLF LAND-PHASE II
CT GOLF LAND, LLC
#95 HARTFORD TURNPIKE
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS			LAND SURVEYORS	
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=40'	12-01-2021	2 OF 3	8926-MGC2

SEE SHEET NUMBER 1 FOR
NOTES & CERTIFICATION

LEGEND:
PROPERTY LINE
EXISTING CONTOUR
EXISTING MONUMENT
EXISTING CURB
EXISTING PAVEMENT
EDGE OF RIVER
EXISTING LIGHTPOLE
EXISTING UTILITY POLE
OVERHEAD WIRES
CATCH BASIN AND PIPE
REGULATED AREA
SOIL LINE
EXISTING FENCE
SEWER MANHOLE AND PIPE
SEWER EASEMENT
PROPOSED PAVEMENT
PROPOSED LIGHT-PRIOR APPROVAL
PROPOSED BUILDING
PROPOSED FRES-PRIOR APPROVAL
PROPOSED GUIDE RAIL
PROPOSED 6" ROOF DRAIN

