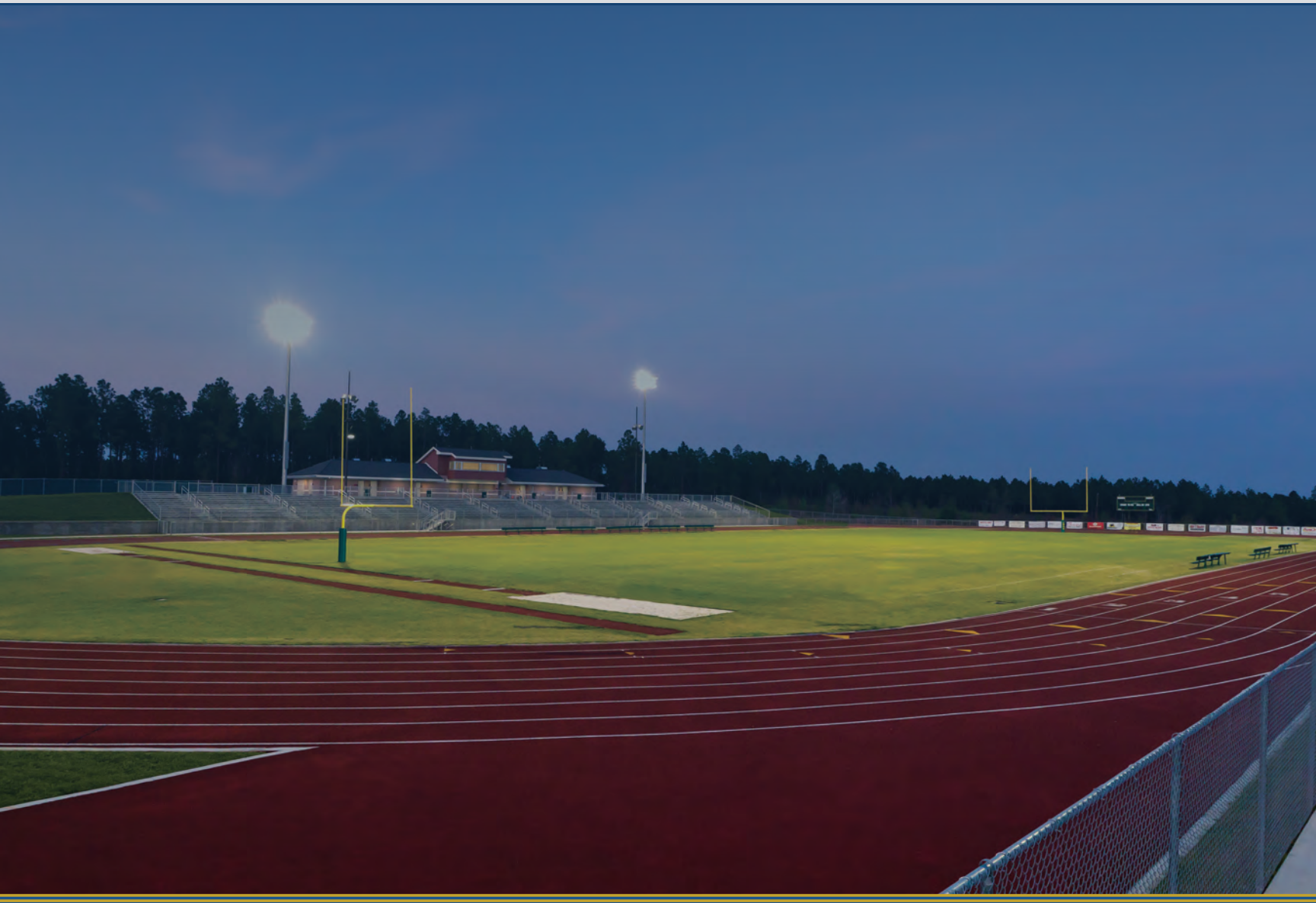
PRE-CONSTRUCTION / CONSTRUCTION PHASE (CM AT-RISK) SERVICES FOR CAPITAL RENEWAL RENOVATIONS AND MODIFICATIONS PROJECTS

January 10, 2019



Submitted by:

CPPI
CHARLES PERRY PARTNERS, INC

January 10, 2020

Beaufort County School District
Procurement Office
2900 Mink Point Blvd.
Beaufort, SC 29902

RE: Construction Management Services - Capital Renewal Renovations and Modifications Projects – Pre-Construction / Construction Phase Services

Members of the Selection Committee:

Charles Perry Partners, Inc. (CPPI) is pleased to submit our proposal to provide Construction Management Services for the Beaufort County School District's Capital Renewal Renovations and Modifications Projects. Our experience working on projects of a similar nature will ensure that your projects are delivered on time and on budget, and that all of Beaufort County School District's goals for the projects are achieved.

CPPI has been providing professional construction services throughout the Southeast since 1968. Over the course of 51 years of construction experience, CPPI has established itself as an educational facility builder. We have completed more than 4.5 million square feet of K-12 schools worth over $750,000,000 for 25 different school districts. In the last 5 years alone, we have worked on more than 40 K-12 projects in the Southeast. With this depth of experience and our strong management capabilities, we have an intuitive understanding of what it will take to make your projects successful.

The CPPI team, strategically selected for your projects, has worked on a number of occupied campuses throughout the Southeast. This educationally focused team has an outstanding record with regional facilities teams and an intimate understanding of school operations to ensure minimal disruption to the faculty and students and is ready to serve you.

In addition to working closely with your staff, we believe in supporting the parents, students, staff, and community members through open communication about the construction project. We offer a number of educational opportunities by providing regularly scheduled guest teachers and tours of the construction project in order for students to learn about construction and the science and math associated with this field. Our employees believe in serving as mentors, in organizations and charities throughout our communities, as well as volunteering and serving on many foundation boards. CPPI is proud of our long and enduring commitment, support, and involvement with the communities we serve.

Most importantly, you have our personal commitment to bring CPPI's talented resources to the project and to provide the highest level of service. At CPPI, we take great pride in our long-standing relationships with our K-12 clients, and we look forward to having the opportunity to build and develop a strong relationship with Beaufort County School District by demonstrating our ability to perform and deliver successful facilities to you. Thank you for the opportunity to submit our qualifications. We believe that our experience, expertise, and capabilities make CPPI the best choice to be your partner for your projects.

Sincerely,
Charles Perry Partners, Inc.

Matthew Webster
Executive Vice President/Principal
matt.webster@cppi.com

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TRUST
BUILT
ON PERFORMANCE

Beaufort County School District

Solicitation Number:	20-016
Date Printed:	December 11, 2019
Date Issued:	December 12, 2019
Procurement Officer:	Kaylee Yinger
Phone:	843-322-2349
Email:	Kaylee.Yinger@beaufort.k12.sc.us

Request for Proposals

DESCRIPTION: **Pre-Construction / Construction Phase (CM at-Risk) Services for Capital Renewal Renovations and Modifications Projects**

SUBMIT OFFER BY (Opening Date & Time): **January 10, 2020; 2:00 PM EST**
QUESTIONS MUST BE RECEIVED BY: January 3, 2020
NUMBER OF COPIES TO BE SUBMITTED: **Six (6) Original Signed Copies and One CD (all documents as a single PDF file)**

Offers must be submitted in a sealed package. Solicitation Number & Opening Date must appear on package exterior.

SUBMIT YOUR SEALED OFFER TO EITHER OF THE FOLLOWING ADDRESSES:

MAILING ADDRESS:
Beaufort County School District
Procurement Office
P.O. Drawer 309
Beaufort, SC 29901-0309

PHYSICAL ADDRESS:
Beaufort County School District
Procurement Office
2900 Mink Point Blvd
Beaufort, SC 29902

CONFERENCE TYPE:
LOCATION:
DATE & TIME:

AWARDS & AMENDMENTS:
Award will be posted at the Physical Address stated above on or after **January 10, 2020**. The award, this solicitation, and any amendments will be posted at the following web address: http://beaufortschools.net. You must submit a signed copy of this form with Your Offer. By submitting a proposal or bid, you agree to be bound by the terms of the Solicitation. You agree to hold Your Offer open for a minimum of ninety (90) calendar days after the Opening Date.

NAME OF OFFEROR: (Full legal name of business submitting the offer)
Charles Perry Partners, Inc.

ENTITY TYPE:
Corporation

AUTHORIZED SIGNATURE (Person signing must be authorized to submit binding offer to enter contract on behalf of Offeror named above)

Matthew J. Webster
PRINTED NAME

Executive Vice President / Principal
TITLE

Instructions regarding Offeror's name: Any award issued will be issued to, and the contract will be formed with, the entity identified as the Offeror above. An offer may be submitted by only one legal entity. The entity named as the Offeror must be a single and distinct legal entity. Do not use the name of a branch office or a division of a larger entity if the branch or division is not a separate legal entity, i.e., a separate corporation, partnership, sole proprietorship, etc.

PAGE TWO

(Return Page Two with Your Offer)

HOME OFFICE ADDRESS (Address for Offeror's home office/ Principal place of business):	NOTICE ADDRESS (Address to which all procurement and contract related notices should be sent):
8200 NW 15th Place Gainesville, FL 32606	7 E. Congress St., Suite 715 Savannah, GA 31401

PHONE NUMBER:	(912) 232-4544
EMAIL ADDRESS:	matt.webster@cppi.com

PAYMENT ADDRESS (Address to which payments will be sent):	ORDER ADDRESS (Address to which all purchase orders will be sent):
☐ Payment Address Same as Home Office Address ☐ Payment Address Same as Home Notice Address (check one only)	☐ Payment Address Same as Home Office Address ☒ Payment Address Same as Notice Address (check one only)

ACKNOWLEDGEMENT OF AMENDMENTS:	Amendment Number	Amendment Issue Date
Offeror acknowledges receipt of amendments by indicating amendment number and its date of issue.	1	January 7, 2019

MINORITY PARTICIPATION- Are you a Minority Business Enterprise: Yes ☐ No ☒
If yes, please include a copy of your certification.

FIRM NAME
Charles Perry Partners, Inc.

FIRM ADDRESS
7 E. Congress St., Suite 715
Savannah, GA 31401

HISTORY OF CPPI
In 1968, Charles R. "Chuck" Perry established a tradition of excellence by providing an impressive array of services for public and private sector clients through Charles Perry Construction.

In 1996, as the market shifted and the construction management methodology became more popular, Chuck established PPI to better serve this client type.

After Chuck's passing in 2005, the company continued to expand and build upon his legacy. In 2009, the Perry family of companies established a Georgia office and hired local, knowledgeable management and personnel to complement its existing team and better serve the needs of the Georgia market.

In 2011, Charles Perry Partners, Inc. (CPPI) was created as a strategic merger of these companies, combining the expertise of its staff and the quality of its projects while maintaining the principles established by Chuck 43 years earlier.

CPPI has staffed offices in Savannah, as well as Jacksonville, Gainesville, Orlando, Ft. Myers, Tampa, Florida, and Lynchburg, Virginia.

CPPI's current ownership consists of six active principals with an average of 20 years of service with the firm. This ownership includes:

- Breck Weingart, Chairman - 37 Years with CPPI
- Brian Leslie, President - 27 Years with CPPI
- John Carlson, Principal - 24 Years with CPPI
- Jason Morgan, Executive Vice President - 17 Years with CPPI
- Vinnie Moreschi, Executive Vice President - 21 Years with CPPI
- Matt Webster, Executive Vice President - 24 Years with CPPI

CPPI is a Construction Management, Design Build, and General Contracting firm with over 220 employees. The firm is a leader in sustainability and is dedicated to the communities in which it serves.

CONTACT INFORMATION FOR THE OFFICER OF THE FIRM IN CHARGE OF PROPOSAL
CPPI's Officer of the Firm in charge of this proposal is Ryan Taylor. He is a Vice President and Regional Manager of the Jacksonville, FL and Savannah, GA offices of CPPI and has more than 20 years of construction experience. He will serve as the Senior Project Manager for the Capital Renewal Renovations and Modifications Projects.

Ryan Taylor
VP / Regional Manager

o: (912) 232-4544
m: (904) 540-5544
e: ryan.taylor@cppi.com

CPPI

CORPORATE OFFICE: 8200 NW 15TH PLACE GAINESVILLE, FL 32606
OFFICES: ORLANDO, FL | TAMPA, FL | JACKSONVILLE, FL | SAVANNAH, GA | LYNCHBURG, VA
FLORIDA: CGC 016873 | **GEORGIA:** GCCO 002841 | **VIRGINIA:** CBC 2705163344

LOCATION OF CORPORATE HEADQUARTERS AND OTHER DIVISIONAL OFFICES

GAINESVILLE
8200 NW 15th Place
Gainesville, Florida 32606
P: (352) 333-9292
F: (352) 333-9293

ORLANDO
200 E. Palm Valley Drive, Ste 1040
Oviedo, Florida 32765
P: (407) 977-2353
F: (407) 977-2354

JACKSONVILLE
12740 Gran Bay Parkway West
Jacksonville, FL 32258
P: (904) 940-9902
F: (904) 940-9903

TAMPA
10150 Highland Manor Dr., Ste 135
Tampa, FL 33610
P: (813) 979-9577
F: (813) 979-9578

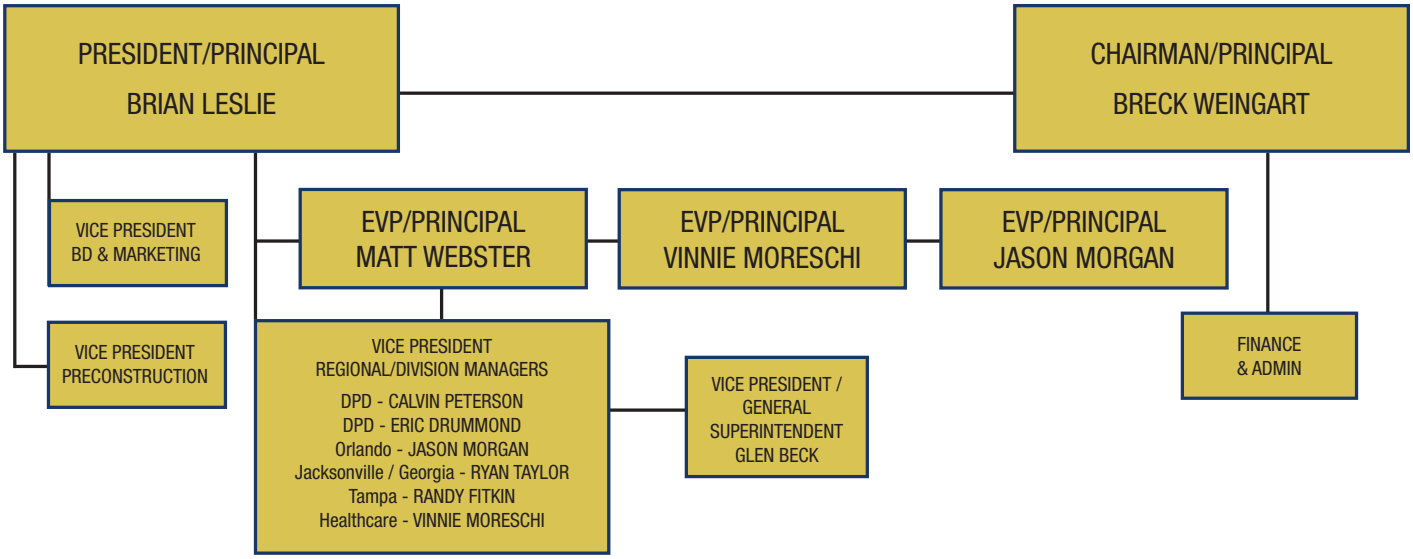
SAVANNAH
7 E. Congress Street, Suite 715
Savannah, GA 31401
P: (912) 232-4544
F: (912) 495-5880

LYNCHBURG
110B Duncraig Drive
Lynchburg, VA 24502
P: (540) 242-1580

LOCATION OF OFFICE(S) WHICH WILL BE INVOLVED IN THE PROJECT DURING BOTH PRECONSTRUCTION AND CONSTRUCTION

This project will be managed from CPPI's Savannah office with additional support provided if necessary from our Jacksonville office. Both office locations are listed above.

ORGANIZATIONAL STRUCTURE



DEPTH OF RESOURCES

Principals	6	Scheduler/LEAN	2
Executives	13	Estimators	7
Project Managers	70	Administration	23
Superintendents	61	Interns	16
Preconstruction/Marketing/BD	7	Skilled Laborers	13
MEP/FP/BIM	1	Safety	1
		TOTAL STAFF	***220***

VENDOR REFERENCES

Custom Cabinets by Williamson Millworks, Inc.
7 Aviation Ct.
Garden City, GA 31408
912-964-2290
Wayne.Cawthon@custom-cabinets.net
Wayne Cawthon

TCM Waterproofing, LLC
3650 Burnette Park Drive
Sewanee, GA 30024
770-904-5829
Justin.Horton@tcmwaterproofingllc.com
Justin Horton

Spach Enterprises
3845 Wrightsboro Rd., Suite B
Augusta, GA 30909
706-631-1228
Rcspach@gmail.com
Chris Spach

HA Sack Co.
3302 Zell Miller Pkwy.
Statesboro, GA 30458
912-536-0483
DanV@hasack.com
Dan Ver Beek

Southeast Roofing Solutions, Inc.
16101 Hwy. 80 West
Statesboro, GA 30459
912-687-2985
bryan@seroofingsolutions.com
Bryan Wiggins

- *Provide resumes describing your anticipated Project Team, along with their invididual and team experiences in projects similar in nature to the proposed project.*

Matt Webster

EXECUTIVE VICE PRESIDENT

PRINCIPAL IN CHARGE / PROJECT EXECUTIVE

Matt provides project overview and assists in coordination at all points throughout the project. He will make sure all the resources are in place to deliver a successful project. Matt is an active Principal who will work with the Beaufort County School District to ensure the Capital Renewal Renovations and Modifications Projects are successful.

- Expert in project development and delivery
- Provides principal leadership and direction for all phases of the project
- Assistance with strategic decision-making, establishment of project budget information, design review, preconstruction monitoring and finalizing contractual arrangements

EDUCATION
University of Florida, B.S. Building Construction

YEARS OF EXPERIENCE
25 Years

ACTIVE REGISTRATION
Certified General Contractor

LEED Accredited Professional BD+C, U.S. Green Building Council

Green Globes Professional

U.S. Army Corps of Engineers Certified Quality Control Manager (CQM-C)

Certified Plans Examiner, FLPX3320

Certified Building Code Inspector, FLBN6322

RELEVANT EXPERIENCE

- Liberty County School District Bradwell Institute Renovations
- Savannah-Chatham County Public School System Isle of Hope K-8 School
- St. Johns County School District K-8 Palm Valley Academy
- Savannah-Chatham County Public School System Haven Elementary School
- Pinellas County Schools Cypress Woods ES and Orange Grove ES Additions
- Volusia County Schools Creekside Middle School HVAC Renovation
- Pasco County Schools R.B. Cox Elementary School
- Pasco County Schools Shady Hills Elementary School
- Pinellas County Schools Cypress Woods Elementary School
- Pinellas County Schools Orange Grove Elementary School
- Hillsborough County Schools Referendum Projects (3 Schools – Benito MS, Clark ES, Wharton HS)
- Hillsborough County Schools Gorrie ES Renovation Phase I
- Charlotte County Schools Continuing Contract
- Seminole County Schools Seminole High School 9th Grade Center Renovation
- Alachua County School Board Continuing Contract
- North East Florida Educational Consortium Palatka
- Alachua County Schools Classroom Renovation
- Santa Fe College Continuing Contract
- Santa Fe College Center for Emerging Technologies
- City of Gainesville / Community Redevelopment Agency Continuing Contract
- Alachua County Board of County Commissioners Continuing Contract
- University of Florida College of Veterinary Medicine Animal Foods Facility
- University of Florida Communicore BSL-3 Renovation
- University of Florida Hub Renovation
- University of Florida Pharmacy Wing Renovation Phase I and II
- University of Florida UF Golf Course Clubhouse Renovation
- University of Florida Corry Village Infrastructure Replacement
- University of Florida College of Engineering Renovation
- University of Florida St. Augustine Government House Renovation
- University of Florida Dasburg House
- University of Florida McCarty A Laboratory Renovation

- *Provide resumes describing your anticipated Project Team, along with their invididual and team experiences in projects similar in nature to the proposed project.*

Ryan Taylor

SENIOR PROJECT MANAGER

Ryan will be the primary liaison for the owner, architect, superintendent and contractors on the job. He will work directly with all involved parties to ensure proper flow of information, including the coordination of all Owner/Architect/ Contractor meetings, review of shop drawings and submittals, and the management of change orders, RFI's, subcontracts, and schedule updates.

- Responsible for daily and monthly communications and the implementation of project specific plans for subcontractors, quality control and safety
- Works closely with Beaufort County School District officials throughout the duration of the project

EDUCATION
University of Florida
Bachelor of Science,
Operations Management

YEARS OF EXPERIENCE
25 Years

ACTIVE REGISTRATION
Certified General Contractor
Georgia License:
GCCO004117

LEED Accredited Professional
BD+C, U.S. Green Building Council

RELEVANT EXPERIENCE

- Liberty County School District Bradwell Institute Renovations
- Savannah-Chatham County Public School System Isle of Hope K-8 School
- St. Johns County School District K-8 Palm Valley Academy
- Savannah-Chatham County Public School System Haven Elementary School
- Florida School for the Deaf and the Blind Vaill Hall Renovations
- Lake County School Board Leesburg High School Library
- Flagler County Public Schools Buddy Taylor Middle School/Wadsworth Elementary School
- Georgia Southern University Interdisciplinary Building
- Savannah State University Science & Technology Facility
- Georgia Southern University Sanford Hall Renovation
- University of Florida St. Augustine Government House Phase I-III
- University of North Florida Brooks College of Health
- University of North Florida Disability Resource Center
- Veteran's Administration Atlanta VA Hospital
- Southern Regional Medical Center Southern Regional Medical Center Central Energy Plant
- Gordon Hospital Mid-Rise Tower
- Gordon Hospital Lab & Surgery
- Gordon Hospital Surgical Center
- Northside Hospital Women's Center
- Northside Hospital GYN
- West Volusia Hospice Care Facility

- *Provide resumes describing your anticipated Project Team, along with their invididual and team experiences in projects similar in nature to the proposed project.*

Clarence Satchell

SUPERINTENDENT

Clarence will be responsible for all on-site construction activity, including quality control, project safety, management of on-site employees and coordination of site logistics for the Capital Renewal Renovations and Modifications Projects. He will be responsible for the coordination of subcontractors as well as their adherence to the project schedule. Prior to construction, he will assist with the preparation and evaluation of bids, conduct pre-award conferences and issue trade contracts.

- Responsible for quality control, project safety, management of on-site employees and coordination of site logistics
- Works closely with Beaufort County School District throughout the duration of the project

EDUCATION
North Carolina A&T State University, B.S. Construction Management

YEARS OF EXPERIENCE
17 Years

ACTIVE REGISTRATION
30 Hr. OSHA Safety Certification

RELEVANT EXPERIENCE

- Savannah-Chatham County Public School System Isle of Hope K-8 School
- Savannah-Chatham County Public School System Haven Elementary School
- Liberty County School District Bradwell Institute Renovations
- Georgia Southern University Interdisciplinary Building
- Savannah State University Science & Technology Facility
- Nextran Corporation Atlanta Truck Center
- Target World Shooting Range
- Target World Point Blank Shooting Range
- Washington Park Renovation
- Ft. Stewart Physical Fitness Facility
- Ft. Bragg, NC Renovations of Building E3248 for ARSOAC HQ
- Write-Patterson Air Force Base Nano-Bio Laboratory Upgrade
- Write-Patterson Air Force Base C-17 Simulator
- Washington Park Renovation

- *Provide resumes describing your anticipated Project Team, along with their invididual and team experiences in projects similar in nature to the proposed project.*

Glenn Mullins

DIRECTOR OF PRECONSTRUCTION / COST ESTIMATOR

Mr. Mullins will be responsible for facilitating and coordinating all preconstruction activities through the delivery of the GMP for the project. He will present estimates and value analysis to the owner and project team. Additionally, he will ensure that proper documentation and data for preconstruction and scope/ budget alignment are available.

- Provide budget, design development, and guaranteed maximum price estimates for the project
- Conceptual estimating
- Value analysis
- Options analysis
- Bid package development

EDUCATION
University of Florida
Bachelor of Science in Building Construction

YEARS OF EXPERIENCE
39 Years

ACTIVE REGISTRATION
CMAA, Certified Construction Manager

Certified General Contractor

LEED BD+C, US Green Building Council

Green Globes Professional, Green Building Initiative

RELEVANT EXPERIENCE

- Savannah-Chatham County Public School System Isle of Hope K-8 School
- Savannah-Chatham County Public School System Haven Elementary School
- Liberty County School District Bradwell Institute Renovations
- St. Johns County School District K-8 Palm Valley Academy
- Pinellas County Schools Orange Grove Elementary School Addition
- Pinellas County Schools Cypress Woods Elementary School Addition
- Orange County Public Schools Dover Shores Elementary School
- Orange County Public Schools Site 83-E-SE-2 New Elementary School Relief Project
- Orange County Public Schools Exceptional Student Education Campus Consolidation Projects
- Orange County Public Schools Site 25-E-SW-4 ES Relief Project
- Orange County Public Schools Sally Ride Elementary School
- Orange County Public Schools Dover Shores Elementary School
- Orange County Public Schools Engelwood Elementary School
- Orange County Public Schools Lake Whitney Elementary School
- Orange County Public Schools Spring Lake Elementary School
- Pasco County Schools Shady Hills Elementary School
- Pasco County Schools R.B. Cox Elementary Cafeteria & Renovations
- Seminole County Schools Seminole High School 9th Grade Center Remodel / Renovation
- Hillsborough County Schools Referendum Projects (3 Schools – Benito MS, Clark ES, Wharton HS)
- Hillsborough County Schools Gorrie ES Renovation Phase I

- *Include an organizational chart identifying key individuals and their responsibilities.*

PROJECT TEAM ORGANIZATIONAL CHART

CPPI proposes a dedicated team of professionals specialized in K-12 construction.

Our services begin at the planning phase of the project and continue through commissioning and post-occupancy services, with each step involving Beaufort County School District. This will be a dedicated team from day one. We staff projects according to necessity as opposed to just the total cost.

Core Team

Matt Webster
executive vice president
Principal in Charge

Ryan Taylor
Senior Project Manager

Clarence Satchell
Superintendent

Support Team

Glenn Mullins
Director of Precon

David Lowe
Chief Estimator

Jim Sullivan
Lean Operations Director

Adolfo Espinosa
Corporate Scheduler

Lee Hall
MEP/FP Coordinator

Bill Wilkins
BIM Manager

Austin Weingart
Safety Manager

Olivia Frick
Local Business Coordinator

CERTIFIED TEAM MEMBERS

LEED AP BD+C

Green Globes Professional

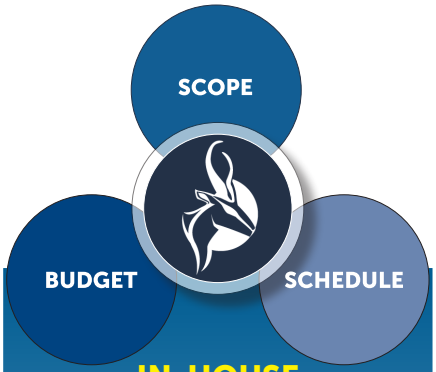
GREEN CONSTRUCTION

CPPI is committed to the construction of projects that are sustainable and environmentally friendly. Sustainable building can provide numerous benefits that will ultimately keep operating costs lower while reducing waste. A thorough cost/benefit analysis is the key to successfully integrating sustainable practices into the design and construction of a facility, including LEED or Green Globe Certification. Early design decisions made with the understanding that sustainable practices are desired will help to determine the best options available with minimal cost impact.

Our support team is available for specific technical projects. They will not add cost to the project unless they bring value to the team. This is an in-house service that allows us to rapidly respond to complex projects and act as a consultant and not just another contractor.

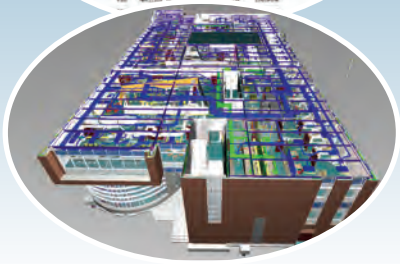
PRE-CONSTRUCTION & CONSTRUCTION PROJECT TEAM

- *Include an organizational chart identifying key individuals and their responsibilities.*



IN-HOUSE SERVICES PROVIDED

CPPI is a full service construction management firm that provides a myriad of services "in-house".



Estimating

Coupled with our substantial relevant historical cost data based on past K-12 projects, CPPI has a team of full-time Estimators who will provide estimates in intervals during programming, schematic, design development, and construction document phases of design.

Scheduling

CPPI has a full-time Scheduler who will develop a project master schedule, including all construction activity sequences. We will work with Beaufort County Schools and the design team on a schedule of progress, including specific milestone dates and review periods and a list of deliverables with due dates.

Lean Construction

CPPI practices Lean Construction. Essentially Lean Construction helps us do more with less. We understand the workforce is limited, so we need to eliminate waste and make our workers more productive. CPPI's intention is to build on a foundation of lean concepts through upper management support and field coordinated education.

Constructability Review

Throughout the design phase, we analyze the project documents focusing largely on structural systems, building envelope and site work. As the design develops many other opportunities will present themselves as we evaluate other means and methods of delivery in the details of subsystems. While the whole design and construction team will have input, the Director of Preconstruction and the project architect will specifically lead the effort.

BIM *(Building Information Modeling)*

CPPI has a full-time BIM Manager who has implemented Building Information Modeling into our every day practice, utilizing Autodesk "Revit" Suite of products. We are currently utilizing the software to generate building models with a level of detail sufficient for clash detection between the building structure and mechanical, electrical, plumbing, and fire protection (MEPFP) systems. CPPI performs this service for all projects, regardless of the software utilized by the Architect or Engineer in designing the project.

MEP/FP Coordination

CPPI has a full-time MEP/FP Coordinator who has established a protocol to ensure delivery of a proper working HVAC and Fire Protection system. He will develop a Commissioning plan to verify that the systems operate normally after installation and adhere to design criteria.

Safety Management

CPPI has a dedicated Safety Manager who provides all of our employees with guidance and support in job site safety. He works closely with the Superintendents to ensure that all proper safety measures are being taken at all times. The Safety Manager will visit the job site weekly to monitor compliance, and monthly to hold safety inspections.

PRE-CONSTRUCTION & CONSTRUCTION PROJECT TEAM

- *Identify current team member obligations, project assignments, and the approximate percentage of time each team member will spend on this project during the different stages of the Project.*

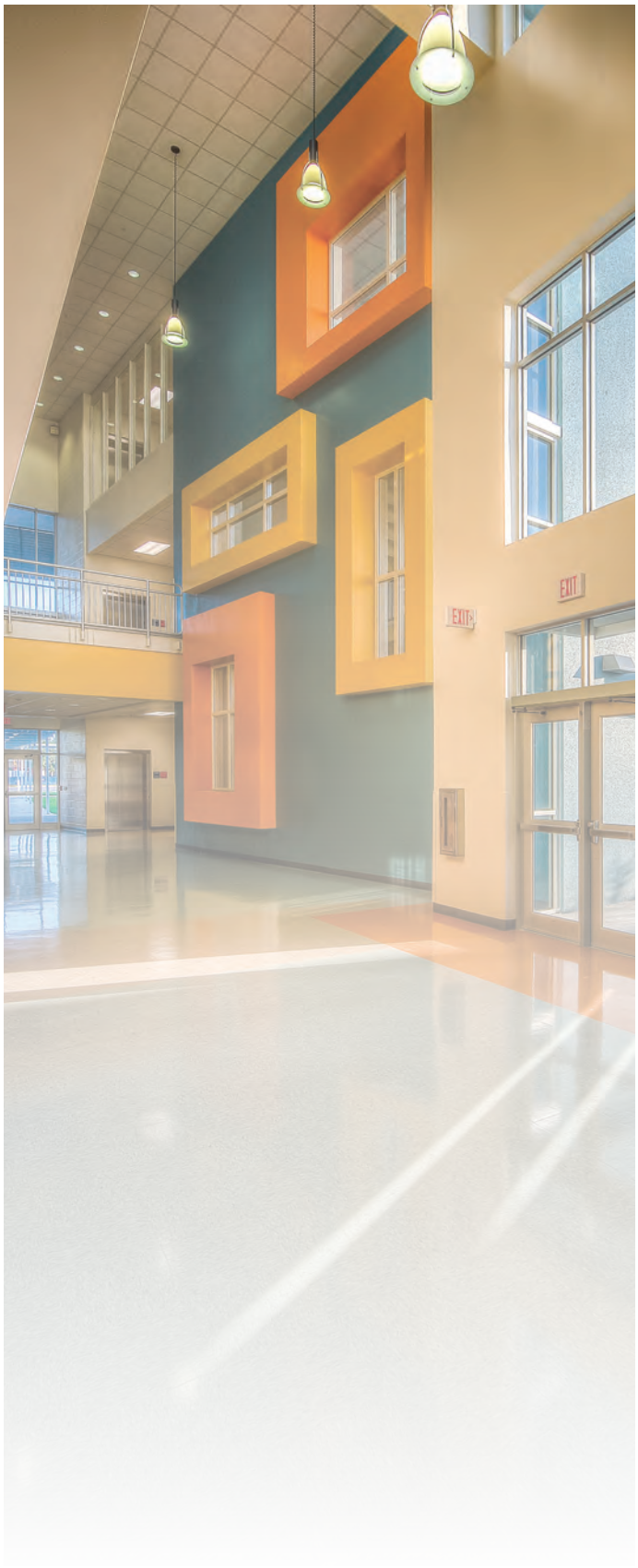
Ryan Taylor
Senior Project Manager

CURRENT OBLIGATIONS / PROJECT ASSIGNMENTS	PERCENTAGE OF TIME COMMITTMENT
Savannah-Chatham County Public School System New Hampstead K-8 Completion Date: 06/2021	Preconstruction: 30% Construction: 40% Post-Construction: 25%

Clarence Satchell
Superintendent

CURRENT OBLIGATIONS / PROJECT ASSIGNMENTS	PERCENTAGE OF TIME COMMITTMENT
Savannah-Chatham County Public School System New Hampstead K-8 Completion Date: 06/2021	Preconstruction: 10% Construction: 50% Post-Construction: 10%

- *Describe how the construction team would be organized throughout the life of the Project.*
- *Specifically identify your assigned Project Manager and possible Superintendents for the Project. Proposers shall propose a single Project Manager that will be assigned to all project sites. It is the intent of the District to have a single point of contact (per general contractor selected) for all project sites for pre-construction through completion of construction. The proposed Project Manager must be present at the RFP interviews, and the selected firm must commit to maintain the same persons as Project Manager for the entire duration of the Project.*



ORGANIZATIONAL STRUCTURE

CPPI is comprised of a dedicated team of professionals specialized in education construction delivery.

Our management and leadership philosophies start with the Project Executives and Project Managers and are implemented by all supervisors. Our services begin at the planning phase of the project and continue through commissioning and post-occupancy services, with each step involving Beaufort County School District.

Preconstruction

The preconstruction phase will be led by Glenn Mullins with significant input from Ryan Taylor. Matt Webster will provide Principal oversight.

Construction

All proposed team members will serve in the roles outlined in our provided organizational chart. Ryan Taylor will serve as the primary point of contact. Clarence Satchell will be reponsible for the on-site supervision of all construction activity. Support services will be provided on both addition projects as needed.

Post-Construction

Post-construction services will be overseen by Ryan Taylor, with assistance from Clarence Satchell. CPPI will provide 7 and 11 month walk-throughs. Further information about our post-construction services and our quality control program can be found in later sections of this document.

- *Describe your team's experience as part of a similar Project Team.*

EXPERIENCE AS PART OF A SIMILAR TEAM

All of our proposed team members have worked extensively on projects of a similar scope, including K-12, addition, and occupied campus projects. Please see the matrix below for a sampling of some of our team's experience.

Team Member	K-12 Experience	Addition Project Experience	Occupied Campus Experience	Experience Working With Key Members of This Team
Matt Webster *Principal in Charge*	✓	✓	✓	✓
Ryan Taylor *Project Executive*	✓	✓	✓	✓
Clarence Satchell *Superintendent*	✓	✓	✓	✓
Glenn Mullins *Director of Precon.*	✓	✓	✓	✓

PREVIOUS EXPERIENCE

- *Describe your previous experience in providing similar services as described above. Provide a minimum of three references of similar projects for these services*

- *For the past three years, provide the following information:*
  a. Identify all projects (name, location, completion date and Contract amount).
  b. Identify all addition projects with similar scope. Additionally:
  i. Indicate any such project where Liquidated Damages were assessed against your firm for failure to achieve substantial completion within the Contract Time, and describe the circumstances of the same;
  ii. Identify any such project in which your firm made a Claim or Change Order Request for acceleration damages, and describe the circumstances of the same;
  iii. Identify any such project in which your firm was terminated (whether for cause or for convenience) by the owner prior to substantial completion, and describe the circumstances of the same;
  iv. Identify all projects which had a negotiated fee or guaranteed maximum price;
  v. Identify all projects (description and cost) which had a Guaranteed Maximum Price prior to completion of the documents;
  vi. Identify all projects (description and cost) which had a Guaranteed Maximum Price prior to completion of the documents.

CPPI PROJECTS: 2016-PRESENT

Project Name / Location / Completion Date / Contract Amount	Addition Project?	Liquidated Damages Assessed?	Claim / Change Order for Acceleration Damages?	Terminated Prior to Substantial Completion?	Negotiated Fee or Guaranteed Maximum Price?	Guaranteed Maximum Price Prior to Completion of Documents?
School Board of Hillsborough County – Referendum Projects (3 Schools – Benito MS, Clark ES, Wharton HS) Tampa, FL Completion Date: TBD Contract Amount: $17.8M	No	No	No	No	Yes – Guaranteed Maximum Price	No
Gorrie Elementary School HVAC Replacement Phase 2 Tampa, FL Completion Date: August 2019 Contract Amount: $1M	No	No	No	No	Yes – Guaranteed Maximum Price	No
HCA Summerfield Free Standing Emergency Room Expansion Ocala, FL Completion Date: December 2019 Contract Amount: $3.3M	Yes	No	No	No	Yes – Guaranteed Maximum Price	No
Maricamp Free Standing Emergency Room (Uber Blox) Ocala, FL Completion Date: July 2019 Contract Amount: $2.4M	No	No	No	No	Yes – Guaranteed Maximum Price	No
City of Wildwood Police Department Wildwood, Fl Completion Date: TBD Contract Amount: $6.9M	No	No	No	No	Yes – Guaranteed Maximum Price	No
Orlando Health Randal Park FSED & MOB Orlando, FL Completion Date: TBD Contract Amount: $25M+	No	No	No	No	Yes – Guaranteed Maximum Price	No
UF Health The Oaks Gainesville, FL Completion Date: October 2019 Contract Amount: $25M	No	No	No	No	Yes – Guaranteed Maximum Price	No
OCPS Site 83-E-SE-2 New Elementary School Relief Project Orlando, FL Completion Date: June 2020 Contract Amount: $17M	No	No	No	No	Yes – Guaranteed Maximum Price	No
North Florida Regional Medical Center South Tower Vertical Expansion Gainesville, FL Completion Date: June 2021 Contract Amount: $43M	Yes	No	No	No	Yes – Guaranteed Maximum Price	No
Infinite Energy Office Building Gainesville, FL Completion Date: TBD Contract Amount: $13M	No	No	No	No	Yes – Guaranteed Maximum Price	No
North Florida Regional Medical Center Parking Garage Gainesville, FL Completion Date: December 2019 Contract Amount: $17.5M	No	No	No	No	Yes – Guaranteed Maximum Price	No
Pinellas County Schools Orange Grove ES Seminole, FL Completion Date: July 2019 Contract Amount: $5.2M	Yes	No	No	No	Yes – Guaranteed Maximum Price	No

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  ii. Identify any such project in which your firm made a Claim or Change Order Request for acceleration damages, and describe the circumstances of the same;
  iii. Identify any such project in which your firm was terminated (whether for cause or for convenience) by the owner prior to substantial completion, and describe the circumstances of the same;
  iv. Identify all projects which had a negotiated fee or guaranteed maximum price;
  v. Identify all projects (description and cost) which had a Guaranteed Maximum Price prior to completion of the documents;
  vi. Identify all projects (description and cost) which had a Guaranteed Maximum Price prior to completion of the documents.

CPPI PROJECTS: 2016-PRESENT (CONTINUED)

Pinellas County Schools Cypress Woods ES Palm Harbor, FL Completion Date: July 2019 Contract Amount: $5.3M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Medical Center of Trinity Women's Services & Surgical Expansion Trinity, FL Completion Date: July 2020 Contract Amount: $12.5M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Exceptional Student Education Campus Consolidation Projects Orlando, FL Completion Date: June 2021 Contract Amount: $36M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Millenia Free Standing Emergency Room Orlando, FL Completion Date: October 2019 Contract Amount: $5.7M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Orlando Regional Medical Center 11th Floor Build-Out Orlando, FL Completion Date: August 2019 Contract Amount: $9M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Sarasota Memorial Hospital Outpatient Cancer Center Sarasota, FL Completion Date: May 2020 Contract Amount: $12.2M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
West Florida Peds & PICU Expansion Pensacola, FL Completion Date: December 2019 Contract Amount: $7M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
OCPS Castleview Elementary School (Site 25-E-SW-4 ES Relief Project) Orlando, FL Completion Date: July 2019 Contract Amount: $15.6M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Orange Park Medical Center – EP Lab Expansion & Renovation Orange Park, FL Completion Date: June 2019 Contract Amount: $8M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Orange Park Medical Center – South Tower Expansion Orange Park, FL Completion Date: May 2020 Contract Amount: $43M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Orange Park Medical Center – Dietary & CEP Expansion/Renovation Orange Park, FL Completion Date: May 2020 Contract Amount: $18M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Virginia Tech Kentland Farm – BETR Building Blacksburg, VA Completion Date: May 2020 Contract Amount: $2.1M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Lewis Gale Medical Center Helipad Project Roanoke, VA Completion Date: June 2019 Contract Amount: $2.5M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**

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  i. Indicate any such project where Liquidated Damages were assessed against your firm for failure to achieve substantial completion within the Contract Time, and describe the circumstances of the same;
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  iv. Identify all projects which had a negotiated fee or guaranteed maximum price;
  v. Identify all projects (description and cost) which had a Guaranteed Maximum Price prior to completion of the documents;
  vi. Identify all projects (description and cost) which had a Guaranteed Maximum Price prior to completion of the documents.

CPPI PROJECTS: 2016-PRESENT (CONTINUED)

Exactech Renovations Gainesville, FL Completion Date: TBD Contract Amount: $16M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
UCF Student Union Expansion Orlando, FL Completion Date: June 2020 Contract Amount: $11.3M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Memorial Hospital of Jacksonville ED Expansion & Renovations Jacksonville, FL Completion Date: July 2019 Contract Amount: $17M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Health Central Hospital Observation Unit Addition and 5 Bed Renovation Ocoee, FL Completion Date: May 2019 Contract Amount: $6.3M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Dr. Phillips Hospital – Enabling Operating Room Buildout Orlando, FL Completion Date: June 2019 Contract Amount: $2.5M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Baldwin Park Free Standing Emergency Room Orlando, FL Completion Date: May 2019 Contract Amount: $5.6M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Medical Center of Trinity 36 Bed Expansion & Observation Unit Addition Completion Date: April 2019 Contract Amount: $30M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Liberty County School District Bradwell Institute Renovations Hinesville, GA Completion Date: April 2019 Contract Amount: $5.7M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Lewis Gale Medical Center Pavilion Fireproofing Roanoke, VA Completion Date: February 2019 Contract Amount: $.8M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Exactech Manufacturing Building & New Parking Garage Gainesville, FL Completion Date: February 2019 Contract Amount: $31.5M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Sandra Stetson Aquatic Center Deland, FL Completion Date: February 2019 Contract Amount: $5.2M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
International Parkway Free Standing Emergency Room Orlando, FL Completion Date: February 2019 Contract Amount: $7.9M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Memorial Hospital 36 Bed Med/Surg 5th Floor Jacksonville, FL Completion Date: January 2019 Contract Amount: $7.8M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
University of Central Florida Food Court Renovation Orlando, FL Completion Date: December 2018 Contract Amount: $2.8M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**

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  vi. Identify all projects (description and cost) which had a Guaranteed Maximum Price prior to completion of the documents.

CPPI PROJECTS: 2016-PRESENT (CONTINUED)

The Refuge Detox Facility Ocala, FL Completion Date: December 2018 Contract Amount: $3.5M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
The Eye Site Eye Clinic Collinsville, VA Completion Date: November 2018 Contract Amount: $.4M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Seminole High School 9th Grade Center Remodel / Renovation Sanford, FL Completion Date: November 2018 Contract Amount: $3.3M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Town & Country Free Standing ED Miami, FL Completion Date: October 2018 Contract Amount: $6.2M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
West 38 Aloft Hotel Gainesville, FL Completion Date: September 2018 Contract Amount: $14.5M	**No**	**No**	**No**	**No**	**Yes – Negotiated Fee**	**No**
Springhill Primary Care Building Gainesville, FL Completion Date: August 2018 Contract Amount: $29M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Health Central Hospital / UF Health Cancer Center Project Orlando, FL Completion Date: August 2018 Contract Amount: $15.2M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
University of Central Florida Garvy Center Orlando, FL Completion Date: August 2018 Contract Amount: $2.2M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
School District of Hillsborough County Gorrie Elementary School HVAC Replacement Phase I Tampa, FL Completion Date: August 2018 Contract Amount: $2.5M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Sally Ride Elementary School Orlando, FL Completion Date: August 2018 Contract Amount: $13.2M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Palm Valley Academy Jacksonville, FL Completion Date: August 2018 Contract Amount: $35.6M	**No**	**No**	**No**	**No**	**Yes – Negotiated Fee**	**No**
Georgia Southern University Interdisciplinary Bldg. Statesboro, GA Completion Date: August 2018 Contract Amount: $26.6M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Dover Shores Elementary School Orlando, FL Completion Date: July 2018 Contract Amount: $15.9M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
UF-628, IT Move to Ayers Building Gainesville, FL Completion Date: June 2018 Contract Amount: $2.2M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
University of Central Florida District Energy Plant IV Orlando, FL Completion Date: May 2018 Contract Amount: $10.4M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**

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CPPI PROJECTS: 2016-PRESENT (CONTINUED)

Lakewood Ranch Free Standing ED Sarasota, FL Completion Date: May 2018 Contract Amount: $6.1M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Perdido Bay Free Standing ER Pensacola, FL Completion Date: April 2018 Contract Amount: $6.5M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Florida Innovation Hub II Gainesville, FL Completion Date: December 2017 Contract Amount: $14.3M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Seminole State College Student Center Orlando, FL Completion Date: December 2017 Contract Amount: $20M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
University of Central Florida Research 1 Orlando, FL Completion Date: December 2017 Contract Amount: $37.7M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Millhopper Free Standing ER Gainesville, FL Completion Date: December 2017 Contract Amount: $5.2M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
LewisGale Medical Center Free Standing ED Roanoke, VA Completion Date: November 2017 Contract Amount: $5.9M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Santa Fe College Kirkpatrick Center Institute of Public Safety Expansion Gainesville, FL Completion Date: October 2017 Contract Amount: $5.8M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Savannah State University Science & Technology Facility Savannah, GA Completion Date: October 2018 Contract Amount: $14.4M	**No**	**No**	**No**	**No**	**Yes – Negotiated Fee**	**No**
Engelwood Elementary School Orlando, FL Completion Date: August 2017 Contract Amount: $14.6M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Lake-Sumter State College South Lake Campus Science Laboratory Facility Completion Date: July 2017 Contract Amount: $12M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Savannah-Chatham County Public School System Haven Elementary School Completion Date: July 2017 Contract Amount: $16M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
University of Central Florida Dining Facility Orlando, FL Completion Date: July 2017 Contract Amount: $2.2M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Nextran Atlanta Truck Center Atlanta, GA Completion Date: June 2017 Contract Amount: $8.8M	**No**	**No**	**No**	**No**	**Yes – Negotiated Fee**	**No**
Park West Free Standing Emergency Department Expansion Orange Park, FL Completion Date: May 2017 Contract Amount: $2.7M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**

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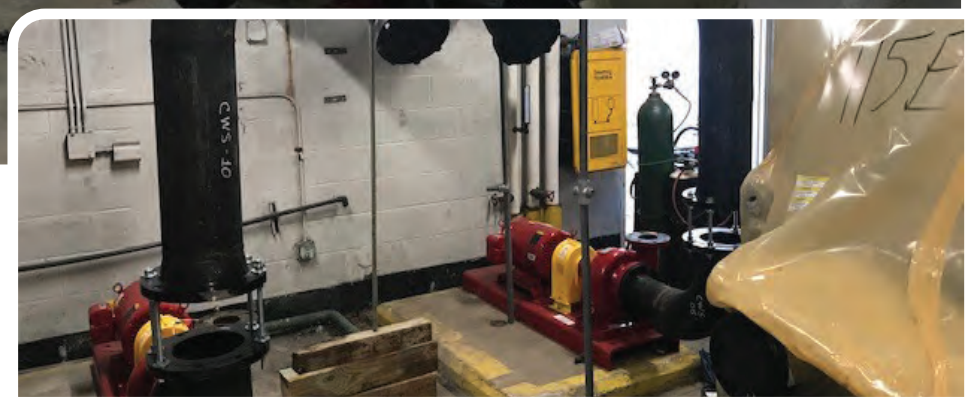
CPPI PROJECTS: 2016-PRESENT (CONTINUED)

Newberry Free Standing ER Newberry, FL Completion Date: April 2017 Contract Amount: $6.7M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Orlando Health / Health Central Emergency Department Expansion Orlando, FL Completion Date: January 2017 Contract Amount: $38M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Public Defenders Office / County Support Services Building Gainesville, FL Completion Date: November 2016 Contract Amount: $4.5M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Mandarin Free Standing ER Jacksonville, FL Completion Date: November 2016 Contract Amount: $5.5M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
South Bay Hospital Bed Tower Addition & Renovation Sun City Center, FL Completion Date: October 2016 Contract Amount: $15.2M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Ocala Free Standing ER Ocala, FL Completion Date: October 2016 Contract Amount: $5.2M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Lawnwood Regional Medical Center Rehab and Outpatient Physical Therapy Renovation and Expansion Ft. Pierece, FL Completion Date: October 2016 Contract Amount: $7.4M	**Yes**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**
Pasco County Schools R.B. Cox Elementary School Tampa, FL Completion Date: August 2016 Contract Amount: $5M	**No**	**No**	**No**	**No**	**Yes – Guaranteed Maximum Price**	**No**

- *For the past three years, provide the following information:*
  c. Provide descriptions of five addition projects most comparable to the proposed project scope in which your firm has been involved over the last five years (at least two must be completed). Include the services provided, the Project Team members, schedules, and references.

REFRENDUM PROJECTS - Tampa, FL
THREE SCHOOLS - HILLSBOROUGH COUNTY SCHOOLS



Owner/User Contact:
School Board of Hillsborough County
Chris Farkas, (813) 272-4000

Architect Contact:
Long & Associates Architects / Engineers, Inc.
(813) 839-0506

Date Completed:
TBD

Cost:
$17,820,000

Size:
TBD

Proposed Team Members
On This Project:
Matt Webster, Principal in Charge
Glenn Mullins, Director of Preconstruction

The School Board of Hillsborough County – Referendum Projects consist of fifteen school renovations varying in size and dollar value. CPPI was selected for the top contract that consists of three schools: Benito Middle School, Clark Elementary School, Wharton High School. Each of these projects are 'summer slam' projects to be completed over the summer of 2020.

Benito Middle School consists of: Water-cooled chiller, cooling tower, chiller re-piping, airhandler CHW, condensor, VAV boxes, rooftop dx, ventilation/exhaust, control systems, testing & balancing, commissioning, and related electrical modifications.

Clark Elementary School consists of: Chiller - air cooled, chiller re-piping, airhandler CHW, condensor, VAV boxes, ventilation/exhaust, testing & balancing, commissioning, and related electrical modifications.

Wharton High School consists of: Water-cooled chiller, airhandler CHW, VAV boxes, ventilation/exhaust, control systems, testing & balancing, commissioning, and related electrical modifications.

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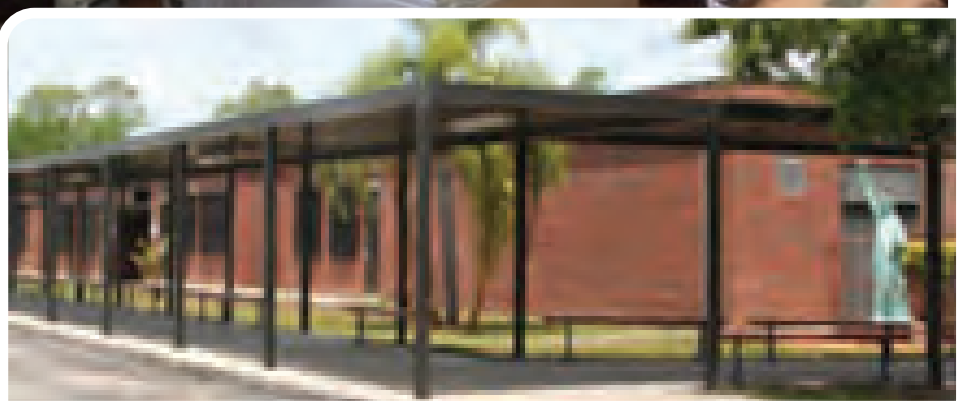
MULTIPLE SUMMER RENOVATIONS - Port Charlotte, FL

CHARLOTTE COUNTY PUBLIC SCHOOLS



Owner/User Contact:
Charlotte County Public Schools
Billie Williams, (941) 575-5400
1445 Education Way
Port Charlotte, FL 33948

Architect Contact:
Varied

Date Completed:
August 2018

Cost:
Varies

Size:
Varies

Personnel on Proposed Team:
Matt Webster, Principal in Charge
Glenn Mullins, Director of Preconstruction
Lee Hall, MEPFP Coordinator
Austin Weingart, Safety Manager

The Charlotte County Public Schools' renovation projects consisted of:
Port Charlotte Middle School Fire Alarm Replacement - $ 262,664. The Port Charlotte Middle School Fire Alarm Replacement project consisted of removing the existing fire alarm system and replacing it with a new Fire Alarm Control Panel, annunciator devices, duct detectors, pull stations, strobes, horns, flow switches, relays, etc. The project included rewiring the entire campus and the removal of existing wire.

Liberty Elementary School Kitchen Remodel - $288,686. The Liberty Elementary School Kitchen Remodel consisted of modifications to underground plumbing and electrical for new kitchen equipment furnished by the owner as well as structural modifications for a new electrically operated fire rated overhead coiling door. CPPI also relocated masonry walls and the restroom and made modifications to the plaster ceilings to accommodate the new work which included new hollow metal frames and steel doors and finish hardware. We repainted all walls and ceilings, installed all new signage, replaced the quarry tile floor with new flooring, reinstalled kitchen equipment, and installed the new serving line equipment furnished by the owner.

Charlotte Tech. College Air Condition Replacement - $127,330. The Charlotte Technical College Air Condition Replacement project consisted of removing existing dual coil AHU and condenser units, refrigerant piping, controls, VAV's, disconnects, etc. CPPI extended the existing underground chilled water system to serve the Building D new equipment. We also installed the new Owner furnished Chilled Water AHU, Duct Heater and VAV's. CPPI Furnish and install new controls. Provide Test Adjust Balance to new HVAC system.

- *For the past three years, provide the following information:*
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BRADWELL INSTITUTE RENOVATIONS - Hinesville, GA
LIBERTY COUNTY SCHOOL DISTRICT

Owner/User Contact:
Liberty County School District
Jason Rogers, (912) 876-2161

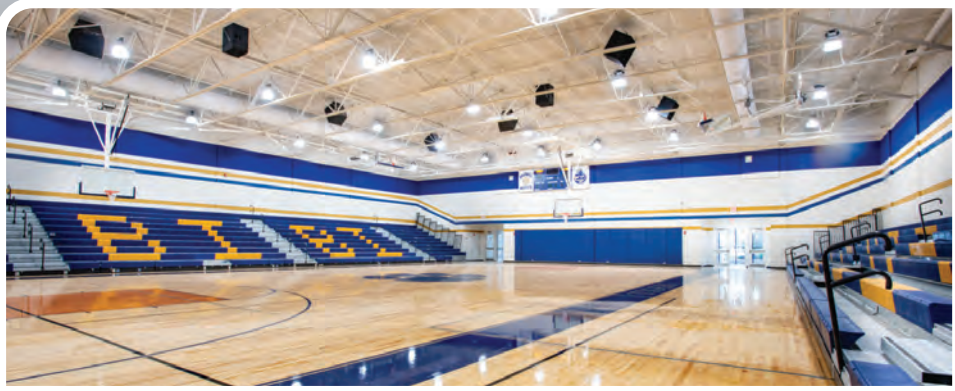
Architect Contact:
Altman & Barrett
King Smith, (229) 585-9018

Date Completed:
March 2019

Cost:
$5,736,043

Size:
38,000 SF

Proposed Team Members
On This Project:
Matt Webster, Principal in Charge
Ryan Taylor, Senior Project Manager
Clarence Satchell, Superintendent
Glenn Mullins, Director of Preconstruction



The Bradwell Institute, a public high school located near the U.S. Army's Fort Stewart, underwent an extensive renovation to the existing gymnasium and former vocational areas. The renovations consisted of demolition, new MEP systems, wall modifications, new gym bleachers, new gym wood flooring, new locker rooms, group restrooms, classrooms, and coaches' offices.

The project emphasized local and minority business enterprise (MBE) participation, early procurement of major MEP and equipment systems, coordination with occupied campus activities, and sustainable construction practices.

- *For the past three years, provide the following information:*
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HAVEN ELEMENTARY SCHOOL - Savannah, FL
SAVANNAH CHATHAM COUNTY PUBLIC SCHOOL SYSTEM

Owner/User Contact:
Savannah Chatham County Public School System / Parsons
Bill Huttinga, (912) 395-1391

Architect Contact:
James W. Buckley & Associates
Craig Buckley, (912) 447-1080

Date Completed:
July 2017

Cost:
$15,999,970

Size:
92,000 SF

Proposed Team Members On This Project:
Matt Webster, Principal in Charge
Ryan Taylor, Senior Project Manager
Clarence Satchell, Superintendent
Glenn Mullins, Director of Preconstruction

The Haven Elementary School project provided is a 93,000 square foot facility situated on 8 acres. Built for 650 student stations in Pre-K through 5th grade, the building was constructed using 100% brick and a TPO roofing system. A welcoming exterior courtyard creates additional outdoor teaching spaces.

Designed with 42 classrooms, the facility includes an administrative area, media center, full kitchen and cafeteria with a stage and an Arts wing. The Arts wing houses music, art, science, and reading classrooms for the students.

We developed a procurement plan and tailored scopes to maximize local subcontractor opportunities on the project while obtaining the most competitive price. This included breaking the bid scope packages into smaller parts to allow smaller firms to participate in the bidding process. 70% of the contract was executed by local businesses and 20% was executed by local minority-owned businesses.

CPPI returned $94,511 in savings to the owner and completed the project twelve days early.

- *For the past three years, provide the following information:*
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Haven Elementary School

5330 Montgomery Street / Savannah, GA 31405

March 22, 2017

Re: Savannah-Chatham County Public School System Haven Elementary Replacement School

To Whom It May Concern:

Charles Perry Partners, Inc. (CPPI) recently completed the Haven Elementary Replacement School for Savannah-Chatham County Public School System (SCCPSS). This project consisted of the construction of a new 90,000 square foot facility to accommodate 650 students with a firm occupancy date to accommodate the beginning of a new school year.

CPPI worked closely with Parsons, the Program Manager for SCCPSS, and Buckley Architects to keep the project on schedule and within budget. Their dedicated project team was consistently proactive to anticipate any potential impacts on schedule, budget or quality. They also maintained a secure and safe project site for a prolonged period in an area surrounded by residents. Additionally, CPPI exceeded all minority participation goals for this project as set by SCCPSS. The team did an excellent job communicating with the administration regarding projects, deadlines, and unforeseen problems that may arise during construction. They were able to meet critical deadlines to ensure that we were safely in the building on time for school to open at the beginning of the year.

In addition to the above, this company gave a generous donation to the school for the students and families whose homes were destroyed and affected by Hurricane Matthew. They are always willing and able to lend a helping hand anytime we call upon them for assistance.

I recommend this team of professionals for any construction project in the future.

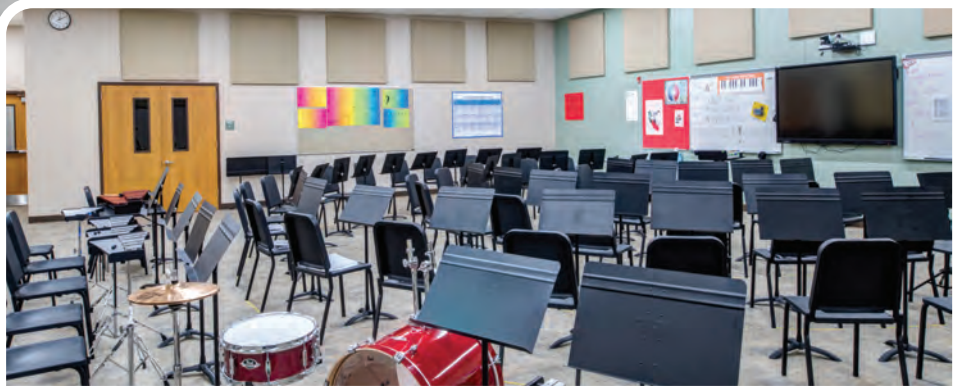
Sincerely,

Dionne T. Young

Dionne T. Young, Principal

- *For the past three years, provide the following information:*
  c. Provide descriptions of five addition projects most comparable to the proposed project scope in which your firm has been involved over the last five years (at least two must be completed). Include the services provided, the Project Team members, schedules, and references.

PALM VALLEY ACADEMY - Ponte Vedra Beach, FL
ST. JOHNS COUNTY SCHOOL DISTRICT



Owner/User Contact:
St. John's County School District Paul Rose, (904) 547-8150 x3740

Architect Contact:
Harvard Jolly Architecture
René Tercilla, (407) 667-7727

Date Completed:
March 2018

Cost:
$35,000,000

Size:
190,000 SF

Proposed Team Members On This Project:
Matt Webster, Principal in Charge
Ryan Taylor, Senior Project Manager
Glenn Mullins, Director of Preconstruction
Lee Hall, MEPFP Coordinator
Austin Weingart, Safety Manager

The Palm Valley Academy project consisted of the new construction of approximately 190,000 SF including two-story and three-story classroom wings, gymnasium, multipurpose room, kitchen, media center, site work, parking, and play-fields. The walls were tilt-up concrete panels and the second/third floors were a concrete composite slab. The roof was primarily steel bar joist framing with metal decking and lightweight insulating concrete with a built-up Modified Bitumen roof.

The school features movable walls between two classroom teams as well as extended learning areas for collaboration opportunities, including state-of-the-art technology and core facilities with a media center, cafetorium, playgrounds and physical education fields.

- *Identify your annual volume of Construction Contracts for the last five years. Where a local office is involved, please provide similar information for the local office.*
- *What is the current dollar value of work under Contract?*
- *What is the typical dollar range of projects under Contract with your firm?*
- *Identify what percentage of your work is hard bid and what percentage is based on a CM/GC at Risk or similar approach?*
- *Identify what percentage of your work is renovation versus new construction.*

ANNUAL VOLUME OF CONSTRUCTION CONTRACTS

2019: $252,000,000 (estimated)
2018: $234,065,664
2017: $237,144,554
2016: $150,585,113
2015: $125,786,929
2014: $97,796,637

CURRENT DOLLAR VALUE OF WORK UNDER CONTRACT

$386,000,000+

TYPICAL DOLLAR RANGE OF PROJECTS UNDER CONTRACT

CPPI's typical dollar range of projects is primarily $2,000,000 - $50,000,000. Additionally, CPPI has a division specifically dedicated to projects under $2,000,000.

PERCENTAGE OF HARD BID WORK VS. CM/GC AT RISK OR SIMILAR APPROACH

CPPI's work is comprised of 90% CM, GC and Design-Build contracts, with the remaining 10% consisting of hard bid or negotiated GMP work.

PERCENTAGE OF RENOVATION WORK VS. NEW CONSTRUCTION

CPPI's work generally consists of approximately 70% new construction, with the remaining 30% consisting of renovation projects.

- *Submit your most recent financial statements (at a minimum, balance sheets and income statements for 2017 and 2018) and verification of current bonding capacity.*
- *Provide two bank references.*
- *Describe all instances of project disputes, which, in the last five years, reached the level of:*
  a. Formal mediation, arbitration, or litigation;
  b. Significant settlements with clients, contractors, or sub-contractors; or
  c. Current significant pending claims or suits.
  For each dispute, describe the parties involved, the nature of the dispute, and the amount of the dispute. Please provide this information for all such disputes arising out of the firm's projects, regardless of whether the firm was a party or witness in the dispute.
- *Identify any occasion in the past five (5) years where any Surety was required to pay any claim against any Payment Bond furnished by the Proposer for any project.*
- *Identify any occasion in the past five (5) years where any Surety was required to render or secure performance due to any owner under any Performance Bond furnished by the Proposer for any project.*
- *Identify any occasion in the past five (5) years where any Surety requested any owner of a project in which the Proposer had furnished Performance and/or Payment Bonds to make any payment(s) by joint check to the Proposer and Surety.*
- *Provide a certificate showing your current Commercial General Liability (CGL) insurance policy and any other insurance policies (such as professional liability) that would be applicable to the Project.*
- *Provide your current bonding rate schedule.*

FINANCIAL STATEMENTS & BONDING CAPACITY

Please see the enclosed confidential financial statement. Bonding capacity letter can be found on following pages.

BANK REFERENCES

Ameris Bank
Wilson Steen
PO Box 5278
Gainesville, FL 32606
P: 352-264-7217

Ameris Bank
Justin Fleming
PO Box 5278
Gainesville, FL 32606
P: 352-264-7217

PROJECT DISPUTES

CPPI's typical dollar range of projects is primarily $2,000,000 - $50,000,000. Additionally, CPPI has a division of the company specifically dedicated to projects under $2,000,000.

IDENTIFY ANY OCCASION IN THE PAST FIVE (5) YEARS WHERE ANY SURETY WAS REQUIRED TO PAY ANY CLAIM AGAINST ANY PAYMENT BOND FURNISHED BY THE PROPOSER FOR ANY PROJECT.

N/A

IDENTIFY ANY OCCASION IN THE PAST FIVE (5) YEARS WHERE ANY SURETY WAS REQUIRED TO RENDER OR SECURE PERFORMANCE DUE TO ANY OWNER UNDER ANY PERFORMANCE BOND FURNISHED BY THE PROPOSER FOR ANY PROJECT.

N/A

IDENTIFY ANY OCCASION IN THE PAST FIVE (5) YEARS WHERE ANY SURETY REQUESTED ANY OWNER OF A PROJECT IN WHICH THE PROPOSER HAD FURNISHED PERFORMANCE AND/OR PAYMENT BONDS TO MAKE ANY PAYMENT(S) BY JOINT CHECK TO THE PROPOSER AND SURETY.

N/A

INSURANCE CERTIFICATE

Please see following pages.

CURRENT BONDING RATE SCHEDULE

Please see following pages.

WALDORFF
INSURANCE & BONDING

January 8th, 2019

Beaufort County School District
Procurement Office
2900 Mink Point Boulevard
Beaufort, SC 29902

RE: Charles Perry Partners, Inc.
Project: Construction Management Services-Pre-Construction/Construction Phase (CM at-Risk) Services for Capital Renewal Renovations and Modifications Projects.

To Whom It May Concern:

This is to advise you that Waldorff Insurance & Bonding, Inc. provides bonding for Charles Perry Partners, Inc. Their Surety is Liberty Mutual Insurance Company, which has an A.M. Best Rating of A XV and is listed in the Department of the Treasury's Federal Register with an underwriting limit of $1,122,392,000. The home office address is 175 Berkeley Street, Boston, MA 02116.

Charles Perry Partners, Inc. is a financially strong, well-managed company and it is a pleasure to recommend them to you for your consideration. They have an excellent reputation with architects/engineers, owners, subcontractors, and suppliers and are considered to be an exceptional contractor in the area.

At this time, we would not anticipate a problem in providing our client a **payment & performance bond for the above referenced projects**. The premium for this job, with an approximate contract value of $15,000,000, will be $93,530 for 12 months. They currently have the ability to apply for bonds ranging from $250,000,000 for a single project or $500,000,000 aggregately. The surety reserves the right to perform normal underwriting at the time of any bond request, including, without limitation, prior review and approval of relevant contract documents, bond forms, and project financing.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Rebekah G. Wolf
Attorney-in-Fact

Trusted Choice

1110 NORTHWEST 6th STREET
GAINESVILLE, FL 32601

PHONE 352-374-7779
FAX 850-581-4930

WWW.WALDORFFINSURANCE.COM

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

Certificate No: **8200277-964021**

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint, Benjamin H. French; Clyde D. Hare; Pamela L. Jarman; Paul A. Locascio; L. Dale Waldorff; K. Wayne Walker; Rebekah G. Wolf

all of the city of Fort Walton Beach state of FL each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 11th day of January, 2019.

LIBERTY MUTUAL INSURANCE COMPANY INCORPORATED 1912 MASSACHUSETTS — THE OHIO CASUALTY INSURANCE COMPANY INCORPORATED 1919 NEW HAMPSHIRE — WEST AMERICAN INSURANCE COMPANY INCORPORATED 1991 INDIANA

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

By: David M. Carey, Assistant Secretary

State of PENNSYLVANIA
County of MONTGOMERY ss

On this 11th day of January, 2019 before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at King of Prussia, Pennsylvania, on the day and year first above written.

TERESA PASTELLA COMMONWEALTH OF PENNSYLVANIA NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Teresa Pastella, Notary Public
Upper Merion Twp., Montgomery County
My Commission Expires March 28, 2021
Member, Pennsylvania Association of Notaries

By: Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV – OFFICERS: Section 12. Power of Attorney.
Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII – Execution of Contracts: Section 5. Surety Bonds and Undertakings.
Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation – The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization – By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy of the Power of Attorney executed by said Companies, is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 8th day of January, 2020.

LIBERTY MUTUAL INSURANCE COMPANY INCORPORATED 1912 MASSACHUSETTS — THE OHIO CASUALTY INSURANCE COMPANY INCORPORATED 1919 NEW HAMPSHIRE — WEST AMERICAN INSURANCE COMPANY INCORPORATED 1991 INDIANA

By: Renee C. Llewellyn, Assistant Secretary

Not valid for mortgage, note, loan, letter of credit, currency rate, interest rate or residual value guarantees.

To confirm the validity of this Power of Attorney call 1-610-832-8240 between 9:00 am and 4:30 pm EST on any business day.

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY): 1/6/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER
Waldorff Insurance & Bonding, Inc.
45 Eglin Parkway, NE, Ste 202
Fort Walton Beach FL 32548

CONTACT NAME:
PHONE (A/C, No, Ext): 850-581-4925 FAX (A/C, No): 850-581-4930
E-MAIL ADDRESS: receptionist@waldorffinsurance.com

INSURER(S) AFFORDING COVERAGE	NAIC #
INSURER A : Amerisure Insurance	19488
INSURER B : Amerisure Mutual	23396
INSURER C : Indian Harbor Insurance Co	36940
INSURER D : Charter Oak Fire Insurance Co	25615
INSURER E :	
INSURER F :	

INSURED
Charles Perry Partners, Inc.
8200 NW 15th Place
Gainesville FL 32606

COVERAGES **CERTIFICATE NUMBER:** 1130676646 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
B	X COMMERCIAL GENERAL LIABILITY			GL 2048815 1402	1/1/2020	1/1/2021	EACH OCCURRENCE	$ 1,000,000
	CLAIMS-MADE X OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence)	$ 1,000,000
							MED EXP (Any one person)	$ 10,000
							PERSONAL & ADV INJURY	$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE	$ 2,000,000
	POLICY X PRO-JECT LOC						PRODUCTS - COMP/OP AGG	$ 2,000,000
	OTHER:							$
A	AUTOMOBILE LIABILITY			CA 2048811 1301	1/1/2020	1/1/2021	COMBINED SINGLE LIMIT (Ea accident)	$ 1,000,000
	X ANY AUTO						BODILY INJURY (Per person)	$
	OWNED AUTOS ONLY / SCHEDULED AUTOS						BODILY INJURY (Per accident)	$
	X HIRED AUTOS ONLY / X NON-OWNED AUTOS ONLY						PROPERTY DAMAGE (Per accident)	$
							PIP	$ 10,000
B	X UMBRELLA LIAB X OCCUR			CU 2048816 1302	1/1/2020	1/1/2021	EACH OCCURRENCE	$ 10,000,000
	EXCESS LIAB CLAIMS-MADE						AGGREGATE	$ 10,000,000
	DED X RETENTION $ 0							$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	N / A		WC 2042161 1301	1/1/2020	1/1/2021	X PER STATUTE / OTH-ER	
	ANYPROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? Y / N: N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. EACH ACCIDENT	$ 1,000,000
							E.L. DISEASE - EA EMPLOYEE	$ 1,000,000
							E.L. DISEASE - POLICY LIMIT	$ 1,000,000
D	Leased Equipment			QT6309M84296919	1/1/2020	1/1/2021	Equip Limit:	$1,000,000
C	Professional Liability			CEO744631602	1/1/2020	1/1/2021	$2,000,000 Each Claim	$5,000,000 Agg.
	Pollution Liability						$2,000,000 Each Claim	$5,000,000 Agg.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Solicitation Number: 20-016
Pre-Construction / Construction Phase (CM at-Risk) Services for Capital Renewal Renovations and Modifications Projects

CERTIFICATE HOLDER

Beaufort County School District
Procurement Office
2900 Mink Point Blvd
Beaufort SC 29902

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2015 ACORD CORPORATION. All rights reserved.

8.0 BIDDING SCHEDULE / PRICE BUSINESS PROPOSAL:

Pre-Construction Phase Service Fee: $ 20,000.00

Construction Phase Service Fee ($10 Million Cost of the Work) 7.15%

Plus cost of Performance & Payment Bonds: $ 65,000.00

Fees as % of Cost of the Work:

Project Cost:	
Less than $100,000	15.5%
$100,000 – $1,000,000	10.0%
$1,000,000 - $5,000,000	7.80%
$5,000,000 - $10,000,000	7.15%
$10,000,000 - $15,000,000	5.80%

Hourly Rates

Estimating	$80.00
Field Verification	$55.00
Constructability Reviews	$80.00
PM (during Pre-Con)	$100.00

- *The selected Contractor shall be required to hold a publically advertised pre-bid meeting, covering all projects, prior to accepting bids to be used in preparation of the GMP.*
- *The selected Contractor shall be required to obtain a minimum of 3 qualified, competitive bids for all work in excess of $100,000.00.. Adequate price competition must exist for all components of the construction work awarded by a construction manager at-risk on the basis of competitive bids. The owner will require that all bids be compiled and presented prior to or at the establishment of the GMP. The owner shall be present when all bids are opened for review.*
- *The contract with a construction manager at-risk cannot involve cost reimbursement.*
- *All construction management services provided by a construction manager at-risk must be paid as a fee based on either a fixed rate, fixed amount, or fixed formula.*
- *Construction may not commence until the bonding requirements have been satisfied. Subject to the foregoing, bonding may be provided, and construction may commence for a designated portion of the construction.*
- *In a construction management at-risk project, construction may not commence for any portion of the construction until after the District and the construction manager at risk contract for a fixed price or a GMP regarding that portion of the construction.*
- *The District shall have the right at any time, and for three years following final payment, to audit the construction manager at-risk to disallow and to recover costs not properly charged to the project. Any costs incurred above the GMP shall be paid for by the construction manager at-risk.*
- *A construction manager at-risk may not self-perform any construction work for which subcontractor bids are invited, unless no acceptable bids are received, or a subcontractor fails to perform. The contract with a construction manager at-risk requires the construction manager at-risk to invite bids for all major components of the construction work.*
- *The Owner reserves the right to pre-qualify and/or approve subcontractors.*

MISCELLANEOUS

CPPI accepts all of the conditions as outlined above.

- *Describe your information management systems and Owner reporting systems. Explain how these systems tie to the initial cost projections and final estimate.*

COMPUTER-BASED MANAGEMENT

Controlling the construction project's schedule, budget, and deliverable is vital in assuring the success of a project.

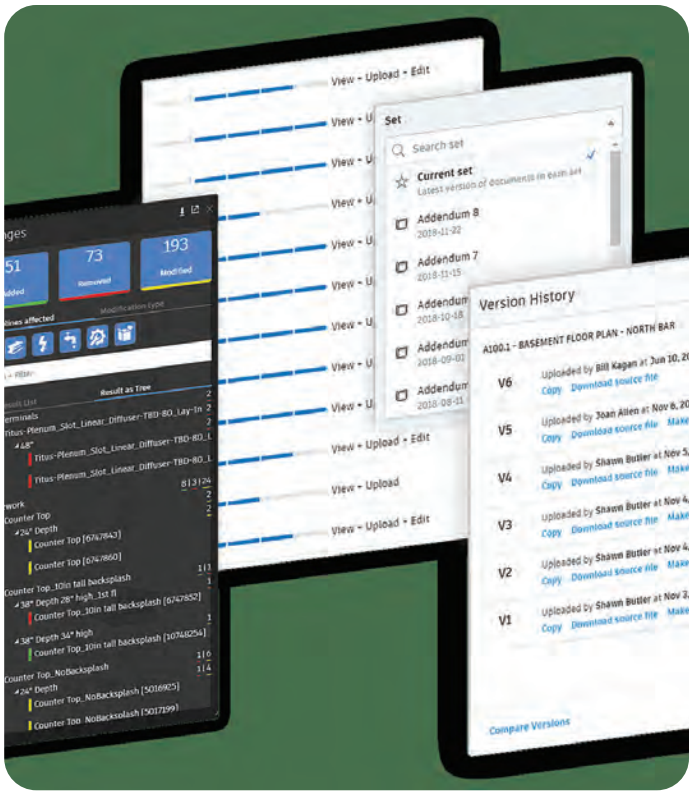
This can be challenging as every unbudgeted change or delay in schedule can result in increasing costs, risk and claim exposure.

CPPI project management staff utilizes Autodesk 360 software to immediately respond to questions, issues, changes and daily events.

Project team members have instant and easy access to the latest, most accurate project information including drawings, answered RFIs, and approved changes.

Autodesk 360 provides the entire team with accountability, change management, job cost control, and reports management to ensure that this project achieves successful on time and on budget completion.

Placing all data into one, creates a central and secure database. The database enables the project team to group, analyze and compare project performance. This process facilitates team interaction and collaborative decision making.



Project: Kirkpatrick Center IPS Expansion	CPPI Project Number: 15134
Owner: SFC Project Number: 15-70-01	Location: SFC Kirkpatrick Center Library
Meeting: OAC Meeting #08	Date: November 30th, 2016 Time: 2:00 pm

Construction Schedule Progress:

- New Building two week look ahead – Bob McIver
- Interior Renovation two week look ahead – Chuck Crosier

Meeting Minutes – Previous Meeting (2016-11-16 OAC 07)

- See attached log

Critical Submittals

- Hollow Metal Doors & Frames SD – 08 1113
- Door Hardware PD – 08 7100
- Distribution Switchboards PD Rev1 - 26 2413
- See attached Submittal Log – Critical Submittals are highlighted

Critical RFI's

- # 033 – Traffic rated utility boxes
- # 035 - Upgraded panel board inquiries
- # 036 - Existing fire alarm wiring
- # 039 - Dry sidewall sprinklers
- # 043 - 2nd floor lobby fire protection
- # 044 - Electrical floor boxes

CPPI Change Order Proposals

Santa Fe College
Savings & Allowance Log

Construction Mgr.:	CPPI
Architect:	Kail Partners
Engineer:	AEI

	Original Allowance in GMP	Actual Cost to Date	Remaining Allowance	Current Buyout Savings*
	$ 750.00	$ -	$ -	$ 750.00
	$ 1,250.00	$ 1,250.00	$ -	$ -
	$ 750.00	$ -	$ 750.00	$ -
	$ 1,250.00	$ 244.00	$ -	$ 1,006.00
	$ 1,250.00	$ 1,250.00	$ -	$ -
	$ 1,850.00	$ -	$ 1,850.00	$ -
	$ 954.00	$ 225.00	$ 729.00	$ -
	$ -	$ -	$ -	$ -
	$ -	$ -	$ -	$ -
	$ -	$ -	$ -	$ -
	$ -	$ -	$ -	$ -
	$ -	$ -	$ -	$ -
	$ -	$ -	$ -	$ -
	$ -	$ -	$ -	$ -
	$ -	$ -	$ -	$ -
	$ -	$ -	$ -	$ -
	$ -	$ -	$ -	$ -
TALS	$ 8,054.00	$ 2,969.00	$ 3,329.00	$ 1,756.00
			TOTAL Current Buyout Savings**	$ 1,756.00

RECORDS, REPORTS, & MONITORING SYSTEMS

Daily Reports

- *Full details of weather and site conditions, contractor's labor force, progress achieved, site visitors, problems, and issues that may impact the project*

- *The superintendent's daily log contains all work activities, personnel, status of materials, deliveries, schedule progress, and inspections records*

Basic Administration: Request For Information

- *Request For Information Log*
- *Submittals*
- *Meeting Minutes*
- *Document Control*
- *Contacts*
- *Contract Administration*

Cash Flow Summary – The cash flow summary is a living record tracking every dollar shift on the project. This is a form we created to track the following:

- *GMP Amounts per trade*
- *Buy-out Contingency culmination after bid award*
- *Buy-out Contingency use during the project*
- *Project Contingency use during the project*
- *Allowances and Allowance use during the project*
- *Subtotals for each type of savings or contingency*
- *Pending change amounts*
- *Total Savings and Total Saving with Pending being removed*

This is a great tool to explain where to dollars go, how they were spent and make decisions based on what is remaining in the project.

- *Describe your information management systems and Owner reporting systems. Explain how these systems tie to the initial cost projections and final estimate.*

COMMUNICATION

CPPI develops clear and concise written scopes of work that are reviewed with each contractor. This process helps to avoid any elimination or overlap of work. A reporting hierarchy is established by CPPI within the office and field to maintain a constant line of communication between trade contractors, superintendents, project managers, executives and all other team personnel.

All issues related to cost, schedule, and quality are thoroughly documented on a daily basis and reviewed periodically by various parties to ensure accuracy. Formal reviews and look-ahead meetings are conducted by CPPI with all contractors at least once a week. These reviews and meetings are used to address work performed, upcoming plans, potential changes, critical items, quality, and consistency. Cost issues are addressed individually with each contractor.

CONTRACT DOCUMENT COMPLIANCE

CPPI reviews project specifications to identify long-lead specialty systems, equipment, and materials early in the design process and incorporate this information into the construction schedule. Communication is established between trade contractors and CPPI so all parties have a clear understanding of any specifications or shop drawings.

ISSUE RESOLUTION

Our 51 years of experience has enabled us to develop long lasting relationships with a large network of subcontractors. Developing and maintaining these relationships is vital to the long-term working success of the team, and we use subcontractors who have proven to be reliable and perform high quality work.

Although we strive to avoid disputes by project planning and management, conflict can still arise. Should an issue present itself, our process of resolution includes:

- *Dealing with issues immediately*
- *Dealing with issues personally and directly*
- *Relying on the terms of the contract - but also by using common sense*
- *Maintaining a civil environment to focus on the issue in a professional manner*
- *Seeking a reasonable solution that is fair for all parties involved in the dispute*

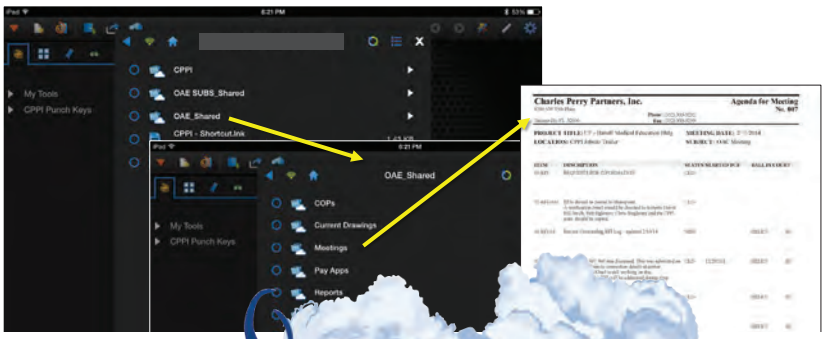
ACCOUNTING PROCEDURES

Our accounting and information management procedures will be implemented and maintained in such a manner that keeps the project team informed at all times regarding what is happening, what happens next, and who is responsible.

The culmination of this is detailed record keeping and reporting systems that keep the team and the Owner informed at all times.

Clear and precise records and documentation will be maintained throughout the progress. This is particularly important in the decision-making chain as information and responsibility moves from the design team to the project manager, superintendent, suppliers and sub-contractors.

CPPI promotes the “open book” approach to information sharing. All our reports, analyses, databases, etc. are available for the team to share and question. We believe that a thorough understanding of all the issues and the process used to make recommendations will enable the whole team to achieve the project goals.



CPPI has established a cloud network which allows immediate access for on-site construction staff as well as the Beaufort County School District to vital real time documentation including:

- *Submittals*
- *Request For Information Logs, (RFI’s)*
- *Meeting Minutes*
- *Emails*
- *Quality Control Program*
- *Safety Tracking Logs*
- *Accurate As-builts*
- *Schedule*

- *Describe the process you would utilize to qualify and bid subcontractors and vendors for the project.*

SUBCONTRACTOR MANAGEMENT

The successful proactive management of trade contractors begins early in the design process. Proper planning, communication, collaboration, and respect are crucial elements that are essential for not only the management and coordination of trade contractors, but also for the delivery of a completed high quality project.

This management approach creates a professional and positive environment that relies on input from all parties involved in a project, and effectively encourages dialogue between team members that can preemptively address ***any potential conflict that may arise under different conditions.***

CPPI is recognized for the excellent jobsite management that is provided, primarily due to strong relationships that have been built over a lengthy period of time with trade contractors throughout the state.

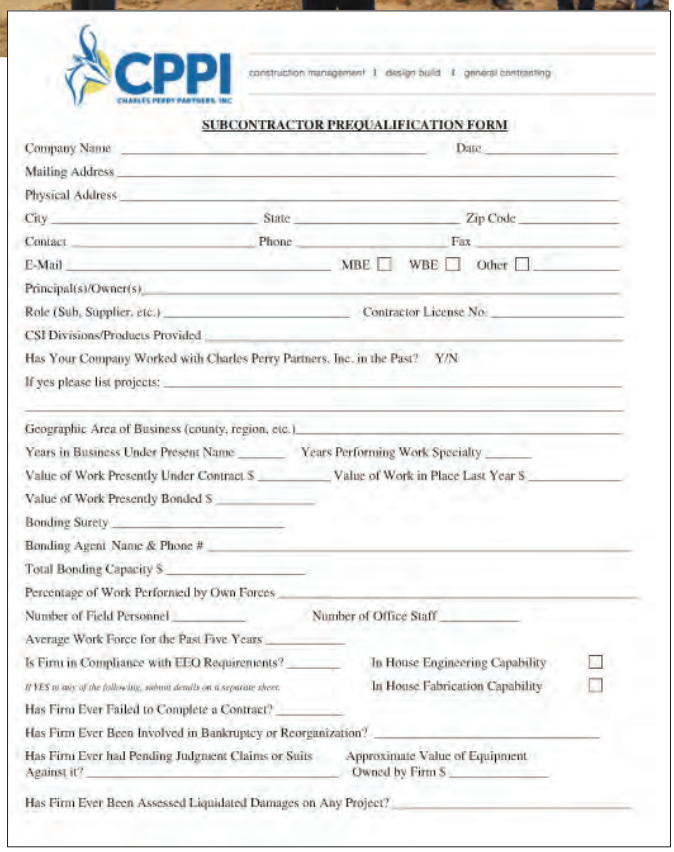
- *Management and coordination of all team members is a vital element of any successful project, but it can be absolutely critical when involving the complexities of multi-phased and occupied building construction.*

CPPI takes all necessary steps to ensure communication and minimize conflicts between trades in the field. Prequalifying trade contractors and providing them with the defined scope of their roles helps to outline the expectations of CPPI, the Owner, and any site or project specific requirements.

- *Our management team supports and respects all trade contractors, and strives to quickly and fairly resolve any minor issues before they become major concerns. This open channel of thorough communication, coordination and involvement is instilled and encouraged in all of our team members.*

Proactive Management

CPPI solicits the involvement of specialty systems trades and local contractors early in the process to generate interest, and to create a pool of pre-qualified contractors to utilize for projects. The primary criteria we base our selection on is whether each trade is capable of meeting the high quality standards that we set for each CPPI project. To help with this process CPPI utilizes experience, references, current and future workloads, the number of personnel in the organization, financial stability, and safety statistics.



CPPI
CHARLES PERRY PARTNERS, INC
construction management | design build | general contracting

SUBCONTRACTOR PREQUALIFICATION FORM

Company Name _____ Date _____
Mailing Address _____
Physical Address _____
City _____ State _____ Zip Code _____
Contact _____ Phone _____ Fax _____
E-Mail _____ MBE ☐ WBE ☐ Other ☐ _____
Principal(s)/Owner(s) _____
Role (Sub, Supplier, etc.) _____ Contractor License No. _____
CSI Divisions/Products Provided _____
Has Your Company Worked with Charles Perry Partners, Inc. in the Past? Y/N
If yes please list projects: _____
Geographic Area of Business (county, region, etc.) _____
Years in Business Under Present Name _____ Years Performing Work Specialty _____
Value of Work Presently Under Contract $ _____ Value of Work in Place Last Year $ _____
Value of Work Presently Bonded $ _____
Bonding Surety _____
Bonding Agent Name & Phone # _____
Total Bonding Capacity $ _____
Percentage of Work Performed by Own Forces _____
Number of Field Personnel _____ Number of Office Staff _____
Average Work Force for the Past Five Years _____
Is Firm in Compliance with EEO Requirements? _____ In House Engineering Capability ☐
If YES to any of the following, submit details on a separate sheet. In House Fabrication Capability ☐
Has Firm Ever Failed to Complete a Contract? _____
Has Firm Ever Been Involved in Bankruptcy or Reorganization? _____
Has Firm Ever had Pending Judgment Claims or Suits Against it? _____ Approximate Value of Equipment Owned by Firm $ _____
Has Firm Ever Been Assessed Liquidated Damages on Any Project? _____

Once a contractor is pre-qualified, CPPI works to develop relationships with each company and their key staff. We include contractors during preconstruction and encourage their input to confirm that all personnel have a clear definition of the overall and individual goals for the project. Allowing contractors to participate in the early-stage decision making process has proven to be an effective way to avoid conflict resolution from the very beginning and throughout the life of a project.

- *Include one sample of the following items with your response to the Request for Proposal (if these have been done previously with project management software as mentioned in Item 8 above, please submit printed examples in that format):*
  a. Project Cost Estimate (similar format to the one proposed for this project)
  b. Daily and Monthly project report to the Owner
  c. Log(s) for tracking work progress
  d. Other tracking items you feel would be helpful in showing how you would assure the Project is delivered on time and on budget.

SAMPLE ITEMS

Please see the enclosed Work Product Sample Package under separate cover.

- *Describe how you will address and promote the Owner's M/WBE Policy in the Construction Phase. All selected contractors will be expected to participate in District sponsored meetings promoting minority/local sub-contractor participation.*

CPPI is not an M/WBE firm, however we have an established Mentor/Protege M/WBE Program.

Since the inception of CPPI, our firm has worked diligently to create a company culture that promotes the utilization of Local, Minority & Women Business Enterprises. Our company has developed programs to provide win-win situations for CPPI and M/WBE firms, including mentor-protégé partnerships, subcontracting informational seminars, and relation building retreats.

Our initial approach for the utilization of M/WBE firms relating to this proposal would include an invitation to an information workshop for all certified M/WBE's to provide insight to the program, provide CPPI subcontractor pre-qualification forms to begin the qualification process, provide an over view of our subcontracting requirements and create an opportunity for firms to showcase there capabilities.

The desired outcome of the workshop will be to develop a group of pre-qualified M/WBE firms that are able to provide the necessary services each project will require.

We will survey the M/WBE firms to determine what scopes of work are best suited to create M/WBE participation and develop bid packages that will promote a competitive atmosphere for all firms.

As a secondary plan to utilize Minority Businesses, if bid packages are awarded to firms that are not certified, we will create sub-contractual requirements that encourage firms to use certified sub-sub and vendors as a tool to promote the inclusion of M/WBE Firms.

MINORITY WOMEN BUSINESS ENTERPRISE PROGRAM

CPPI established a Minority/Women Business Enterprise (M/WBE) Program in 1994 to serve as an economic outreach to the minority business community.

It was also developed to serve as a catalyst among majority construction firms in an effort to create a business environment which would prove to be a win-win situation for M/WMBE advocates, including state and local government M/WBE agencies and all majority firms willing to make a real commitment to the development of M/WBEs.

RECENT M/WBE PERFORMANCE

Haven ES	32%
Isle of Hope K-8	30%
Cypress Park ES	24%
Dover Shores ES	24%
Engelwood ES	31%
Dream Lake ES	27%
Lake Whitney ES	24%
Spring Lake ES	26%
Westridge MS	27%
Hunter's Creek ES	31%

- *Describe how you will address and promote the Owner's M/WBE Policy in the Construction Phase. All selected contractors will be expected to participate in District sponsored meetings promoting minority/local sub-contractor participation.*

MENTORSHIP PROGRAM

This program was designed to provide M/WBE owners the opportunity to win contracts while simultaneously training their management in all aspects of construction management on projects which the minority contractor cannot, or has not, had the opportunity to serve as sole contractor.

The program gives minority firms an important hands-on role throughout projects including:

- *Project Co-Executive*
- *Bid Package Development*
- *Scoping of Subcontractor Bids*
- *Negotiation of GMP*
- *Monitoring job progress on a weekly basis*
- *Solving construction issues in the field*
- *Providing field supervision to subcontractors*
- *Developing close out documents*

Each Mentor relationship is based on the needs of the specific project. Our Mentorship Program helps to eliminate the "lack of experience" obstacle that many of these organizations face. Throughout the year we conduct and sponsor workshops where we assist M/WBEs with technical information, insurance, bonding and other vital issues.

CPPI also participates in roundtable forums to facilitate networking opportunities between M/WBEs and CPPI team members.

In addition, we proactively seek out M/WBE firms during the bidding process, and will break down bid packages to help them bid on contracts, for which they might not otherwise qualify.

MINORITY BUSINESS INVOLVEMENT

CPPI has a goal that complements that of Beaufort County School District to involve local M/WBE. Our team is well positioned to maximize the participation of qualified local subcontractors and suppliers for the River Ridge Academy and May River High School Addition projects.

Our proven prequalification process, will ensure that our team approves the most qualified firms for the job while exploring all options for the inclusion of Minority/Women Business Enterprise (M/WBE) firms.

Our team takes a proactive approach to the management of subcontractors and vendors. CPPI will:

- Thoroughly review all aspects of the construction documents. Determine the project's scope of work, how they should be managed and any conditions that require special attention.

- Conduct local community outreach workshops and "meet and greet functions". These functions are conducted by our team to educate the subcontractor market about the project and generate local subcontractor excitement. We have found this process results in higher quality subcontractors and better overall pricing.

- Execute a procurement plan to maximize local subcontractor opportunities on the project while obtaining the most competitive price. Our team is very well positioned to maximize the participation of qualified local subcontractors and suppliers for this project.

Our current subcontractor database contains over 190 subcontractors from the region. We will host outreach workshops to expand our regional subcontractor list and start the team building process of a successful project.

- *Any other information that you believe may assist the Owner in deciding that your firm is best qualified for the Project.*

COST CONTROL DURING CONSTRUCTION

With experience and historical construction costs CPPI is poised to negotiate fair pricing for changes. This is done by carefully examining the material quantities, labor hours, unit costs, fee percentages, freight costs, labor burden percentages, etc. for every change proposal received to make sure they are in line with the added scope of work in question. We perform this review prior to submitting to the design team for validation of all proposed work scope and pricing requests.

Change Order Avoidance

CPPI practices change avoidance, working to anticipate problems such as gaps, overlaps and poor systems coordination in the design, documentation or construction, so that a change order does not occur.

CPPI develops clear and concise written scopes of work that are reviewed with each contractor. Existing conditions are examined and accounted for on remodeling and renovation jobs. This process helps to minimize any elimination, overlap of work or unforeseen issues. CPPI physically inspects conditions and documents what's in place to eliminate surprises.

By eliminating these surprises, change orders are kept to a minimum.

Although some changes are inevitable, and are often beneficial, CPPI maintains tight control of change requests. Before a change is authorized we scrutinize the request and require a thorough technical/cost justification. Any changes are negotiated to ensure that they work for the benefit of the owner and the project.

Owner Direct Purchase

CPPI has extensive experience in administering Owner Direct Purchase (ODP) programs. These programs are designed to save the project money by taking advantage of tax exemptions. We have successfully implemented ODP programs on a myriad of projects. The process CPPI uses is streamlined in an effort to minimize the requirements of the Owner's staff. CPPI prepares the Purchase Order documents on Owner forms, coordinates material delivers, documents receiving the materials, approves the invoices and prepares the deductive change orders for the material and sales tax savings amounts. CPPI will administer the ODP program at no additional cost to the owner, with all sales tax savings returned at 100% of their value.

Cost Control After Construction

Upon completion of the project we conduct an internal audit of all construction costs and ensure all purchase orders and subcontracts are appropriately funded and have been paid in full. The internal audit process produces the final change order that reconciles the GMP contract amount by returning all uncommitted funds.

- *Any other information that you believe may assist the Owner in deciding that your firm is best qualified for the Project.*

QUALITY CONTROL

Our ultimate goal is to construct a superior facility for our client and for this reason, quality control is very important to us.

We view quality control as the result of applying technical ability, experience, and pride of workmanship to the construction process. Throughout our process, we enlist the best technicians to identify, address and resolve potential issues. Prior to the start of construction, we will have a job specific Quality Control plan in place designed for your project.

Our Quality Control Program is divided into three tiers, Preconstruction, Construction and Post Construction/ Warranty Phase. Clear lines of communication remain consistent throughout the duration of the project.

3 TIER QUALITY CONTROL PROGRAM

TIER 1 DESIGN / PRECONSTRUCTION

Detailed drawing and specification review

- Scope issues
- Coordination issues
- Potential problems
- Comparison of specs to drawings for uniformity
- Review of MFG recommendations where applicable
- Identify mock ups
- Identify Items that require a pre-installation meeting
- Identify third party review/inspection items
- Identify commissioning activities
- Constructability review
- Identify and isolate effected utilities and systems

Quality Check Sheets for Selected Scopes

- Create project specific check sheets by division
- Create data base for boiler plate QC sheets by division
- To be used by project team on site (PM, PE, Sup)
- Utilized daily by team and maintained at job site
- Owner/Architect review

Project Specific QC program

- Prepare project specific program and activities
- Program designed with customer scope in mind
- Listing of team members
- Incorporated in the onsite QC Manual
- Owner approval throughout design and preconstruction phase

TIER 2 CONSTRUCTION

Random Quality Inspections (QC Audits)

- Each project team to conduct three audits a week
- Audit form on file within project QC book
- All non compliant audits to have follow up and closure
- Audits to have time lines with resolution descriptions
- Subcontractor notification
- All open items discussed at weekly subcontractor meeting

Miscellaneous Quality Control

- Third party inspection reports
- Review of mock up assemblies
- Pre-installation meetings

Subcontractor Quality Control

- Submittal Reviews
- Quality of submittals
- Timeliness of submittals
- Review of Subcontractor Quality program
- Subcontractor QC program reviewed & signed off by PM
- Subcontractor to review and sign off on QC program
- Ensure subcontractors follow QC programs

Punch List Preparation & Completion

- Subcontractor Punch List
- Punch List
- Final Owner / Architect Punch List
- Approval through construction phase

TIER 3 POST CONSTRUCTION FOLLOW UP

Warranty Procedure

- 3 Month Walk Through
- 11 Month Walk Through
- Owner Requested Warranty Work
- Lessons Learned documented and distributed
- Opportunities for improvement documented and distributed
- Subcontractor Evaluation
- Rating of subcontractor performance with supporting information
- Owner satisfaction surveys

- *Any other information that you believe may assist the Owner in deciding that your firm is best qualified for the Project.*

CPPI works to provide services that meet or exceed the owner's expectations by evaluating their individual goals and specializing our performance to meet them.

Your plan will include:

- The Superintendent will serve as the Quality Control Coordinator
- Quality Control Program documentation is generated and maintained
- Resources are provided for all employees
- QC Program, Documentation, Check Sheets and all other QC related information is maintained on an up to date data base that is accessible by all employees
- Open Communication with Project Management Team, subcontractors, suppliers, and manufacturers leading to better client relations and client trust
- A system that can be audited for consistency and continuous improvement
- Cost savings through quality issue resolutions
- A program that ensures the team continuously exceeds expectations
- A means for establishing the quality baseline with continuous improvement objectives

We encourage all employees to strive for individual excellence in their work and in their association with other people inside and outside of the workplace.

We help to facilitate this by providing leadership, training, proper materials and technology, and a cooperative environment in which they can thrive.

Project Managers as well as Superintendents are expected to monitor customer satisfaction on a continual basis, making appropriate adjustments and corrections if problems occur.

Our team gives you their commitment to deliver a successful project to you. We don't disappear when the project is complete. We offer you a strong track record of reliability and continued service on completed projects.

- *Any other information that you believe may assist the Owner in deciding that your firm is best qualified for the Project.*

Completing Projects On Time & Within Budget

Over the course of 52 years of construction experience, CPPI has established procedures for completing projects on time and within budget that have proven time and time again to be successful.

Key components to maintaining schedule and budget include communication between all team members, collaboration, clear definition of project goals and periodic quality reviews.

By establishing all goals during preconstruction and maintaining clear channels of communication throughout the project, all team members can evaluate the schedule and budget progress of the project and identify any potential issues before they impact the schedule or budget.

Along with our Cost Control methods, we develop thorough project schedules that involve a number of checks along the way to ensure the project will remain on schedule and ultimately be completed on time.

Project Scheduling

Our schedule for this project will be created and maintained with Primavera Software, a computer based scheduling program.

- This industry standard program helps us schedule, and then plan and monitor, the progress of work activities through the project.
- Each phase of the development process is monitored to provide the information to make decisions, exercise control and avoid surprises.

We consider this program to be a valuable tool because it enables us to update and review the schedule with all parties involved at any point during the project.

- In addition, the software gives us a comprehensive historical data base comprising previous projects, which assists our employees in accurately projecting time and cost considerations for Beaufort County School District.

Construction Schedule

The construction schedule will cover the period from groundbreaking to punch list completion and focuses on site activities of the trade contractors.

- It is similar to the items in the project schedule, however more detailed.
- This project schedule is continually updated and included in the monthly report we provide to Beaufort County School District.
- The master schedule and two week look ahead schedule are continually updated as work progresses.

Maintaining The Schedule During Construction

Detailed daily site activity and trade contractor communication is recorded daily throughout the course of a project.

- Work areas, number of workers on site, site conditions and amount of work are monitored and reviewed to ensure that all safety and quality conditions meet the standards of CPPI and Beaufort County School District.

If standards are not being met, the situation is remedied with corrective action immediately.

- CPPI tracks and reviews the schedule weekly with all trade contractors.
- Reviews include evaluation of past performance, expectations of future work and critical items, and any potential changes.
- All relevant information is incorporated into the overall project schedule so as to remain focused on deadlines and the goals of Beaufort County School District.

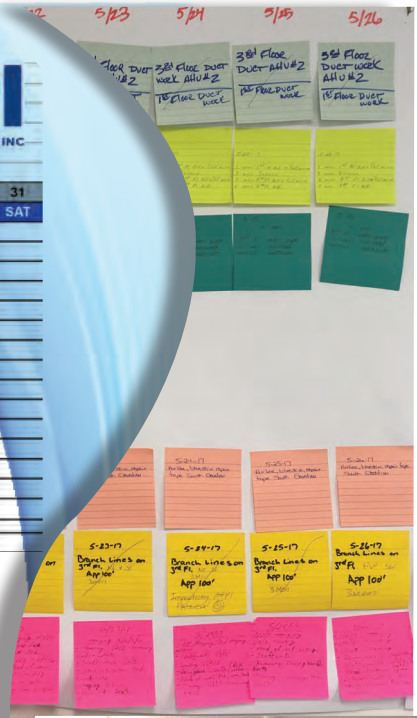
- *Any other information that you believe may assist the Owner in deciding that your firm is best qualified for the Project.*

TWO WEEK LOOK AHEAD

CPPI
CHARLES PERRY PARTNERS, INC

Project Name:	
Project No.:	
From Date:	*Fill out this date only. The rest will auto-fill.*
To Date:	

	Date	19	20	21	22	23	24	25	26	27	28	29	30	31
Division/Sub	Activities	MON	TUES	WED	THUR	FRI	SAT		MON	TUES	WED	THUR	FRI	SAT
SFE	Above Clg Rough/ F.A.	S	S	S										
WW Gay	Above Ceiling Rough-In	S	S	S										
CNS/Data	Prep IT RM/ Low voltage/Data	S	S	S	S	S								
RimRock	Install Tile in Baths	S	S	S					S					
SFE	Install lights and elec.trim	S	S	S	S	S			S	S	S	S	S	
RimRock	Begin Install Carpet/Tile					S	S		S	S	S			
WW Gay	LV/Ref. Lines/Mini Spl.	S	S											
WW Gay	Fire Protection/Trim	S	S											
Precision	Install Store Fronts/Doors								S	S	S			
WW Gay	HVAC Trim		S	S					S	S				
Acousti	Install Ceiling Tile								S					
CFD	Ceiling Patch/Punch	S	S											
McCleod GT	Install Glass/Doors								S	S	S			
Furniture	DELIVERY/Set Up											S	S	
Above Ceiling	Inspection/ Mech. Subs			S										



LOOK AHEAD SCHEDULE

The two week look ahead schedule, prepared and continuously updated by the site superintendent, is used to plan and coordinate all subcontractor activity on a detailed basis over a short period of time. It is also used to focus on specific portions of the overall project.

For instance, a two week look ahead schedule might be used to focus on critical path activities.

It may also be used to help contractors make up time if they have fallen behind, or rearrange work to deal with the changing dynamics of the onsite work. The schedule basically defines the technical scope of each activity to its lowest task level.

PULL PLANNING

CPPI utilizes Pull Planning as part of our lean construction approach. Pull planning is different from other techniques because it not only works backward, but also requires a collaboration that is unique from other methods. This collaboration works to identify potential problems & cuts down unnecessary time spent.

- Sticky notes are utilized to help visualize the order of dependent tasks and identify possible overlap that could cause schedule delays.
- We work from the scheduled completion date backward.
- Construction phases & tasks are sequenced so that their completion releases work.
- Tasks and material deliveries are planned based on the request (or “pull”) of downstream subcontractors.
- Workflow becomes more reliable and efficient as redundancies are eliminated.

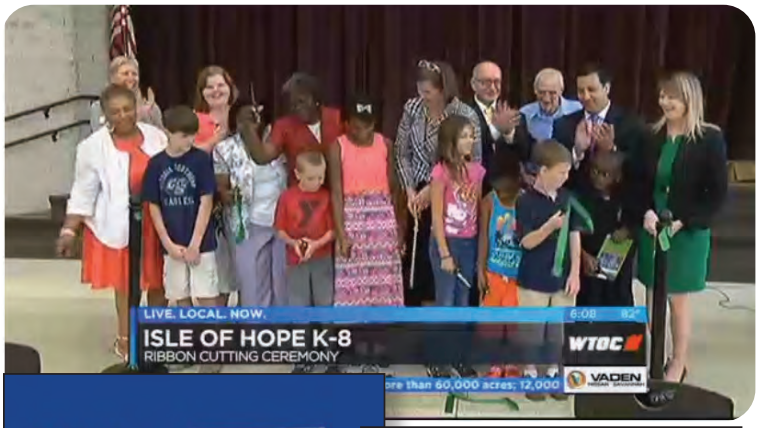
- *Any other information that you believe may assist the Owner in deciding that your firm is best qualified for the Project.*

POST CONSTRUCTION SERVICES

PROJECT CLOSE-OUT

During the post-construction phase, CPPI reviews the project with the Design Team, contractors and the owner to ensure design intent, workmanship and owner satisfaction have been met. CPPI handles all warranty items so that Beaufort County School District needs to make only one call in the unlikely event of a problem. The original project liaison, Ryan Taylor, will continue to remain the main source of contact.

Six and eleven month walk-throughs are conducted to get maximum benefit from the warranty period. Prior to turning the building over to Beaufort County School District, CPPI begins providing training including preparing complete operations and maintenance manuals, securing and forwarding all guarantees, affidavits, releases, bonds and waivers. We turn over all as-builts, and records to the owner. CPPI also provides on site training to all staff and faculty, helping them transition into the new facility.



TRANSITION PLANNING

The transition from delivering a completed structure to opening the doors for school is a challenging and often complex endeavor. This may be a first time experience for the administration, faculty and staff and CPPI is prepared to make the process as smooth as possible.

We will begin working with Administration and School Principal long before the actual building is complete. Scheduling and coordination is the key. In addition to providing training for your maintenance and operations staff during the close out period we will also work with the district for the delivery and installation of computer and other electronic systems, furniture and food service and media center supplies.

The transition schedule will be as detailed as the original construction schedule and we will work with you to understand your goals and priorities and facilitate a smooth opening to the New Claxton High School.

OWNER & PERSONNEL TRAINING

Our team conducts owner training on all building and site systems that require periodical maintenance and adjustments.

- Training sessions are performed on-site around the actual system the training is intended for. We conduct the training utilizing pre-set agendas that correspond with the manufacturer's recommendations.
- Each session is recorded onto a DVD and included in the close-out documentation.
- The training sessions are conducted in an open manner and encourage interaction with the technicians and maintenance staff.

- *Any other information that you believe may assist the Owner in deciding that your firm is best qualified for the Project.*

WARRANTY AND CLOSEOUT DOCUMENTS

Our project close-out process actually begins with the commencement of construction. We require subcontractors to complete daily updates to the as-built drawings and provide in-depth pictorial review of the construction progress ensuring a clear understanding of the in-wall and above ceiling components.

At the completion of the project we will:

- Submit all the required operating and maintenance manuals, warranties and attic stock in an organized fashion.
- The documents will be bound for easy reference and include necessary contact info for warranty related service.
- Make sure that your move into the new facility is as seamless and unproblematic as possible.
- Conduct post occupancy reviews with the design team, contractors, owners and end users to ensure that everything works as it should and that the user group and owners are completely satisfied.
- Handle all warranty issues, so in the unlikely event of a problem, you only have to call us to have the issue remedied. We provide a single point of contact for warranty related issues. This ensures the issue is remedied quickly and eliminates any miscommunication or misunderstandings.

Our post-construction services include:

- Start-Up and Debugging
- Contractor Claims Analysis
- Final Accounting
- Final Documentation
- Training Programs Implementation
- Monitor Punch List
- Operating Maintenance Manuals
- Post-Occupancy Review
- 3 and 11 month warranty and walk-through/punch list
- Lessons Learned
- Recommendations
- Applications
-

PUNCH LISTS

CPPI generates on-going punchlists prior to substantial completion. We have found that this eases the project close-out process. The key to a successful punch out program is to start early and punch as you go. This will eliminate a lengthy list at the end of the project. Inspections and inspection reports act as a punch program during construction or “punch as you go”. Once the project is completed a punch list will need to be generated.

The CPPI team will conduct an internal punch walk through ensuring all deficiencies get documented no matter how large or small. Once all discrepancies are corrected, the Project Manager schedules an official punch walk through with the Project Superintendent, Owner, Owner’s Rep, Architect, and engineers.

CPPI utilizes Pype Closeout Automation which provides a single portal for closeout documentation management with digital document collection from subcontractors and powerful reporting dashboards. With subcontractor outreach automated, the Closeout platform ensures contract compliance. Insights provided by the platform make final billings and turnover a clearer and quicker process.

Utilizing Pype allows us to:

- Minimizes the enormous time commitment that a tedious closeout follow-up process requires
- Efficiently generates the submittal log and the collection and management of closeout requirements
- Provides owners with easily referenced turnover documentation

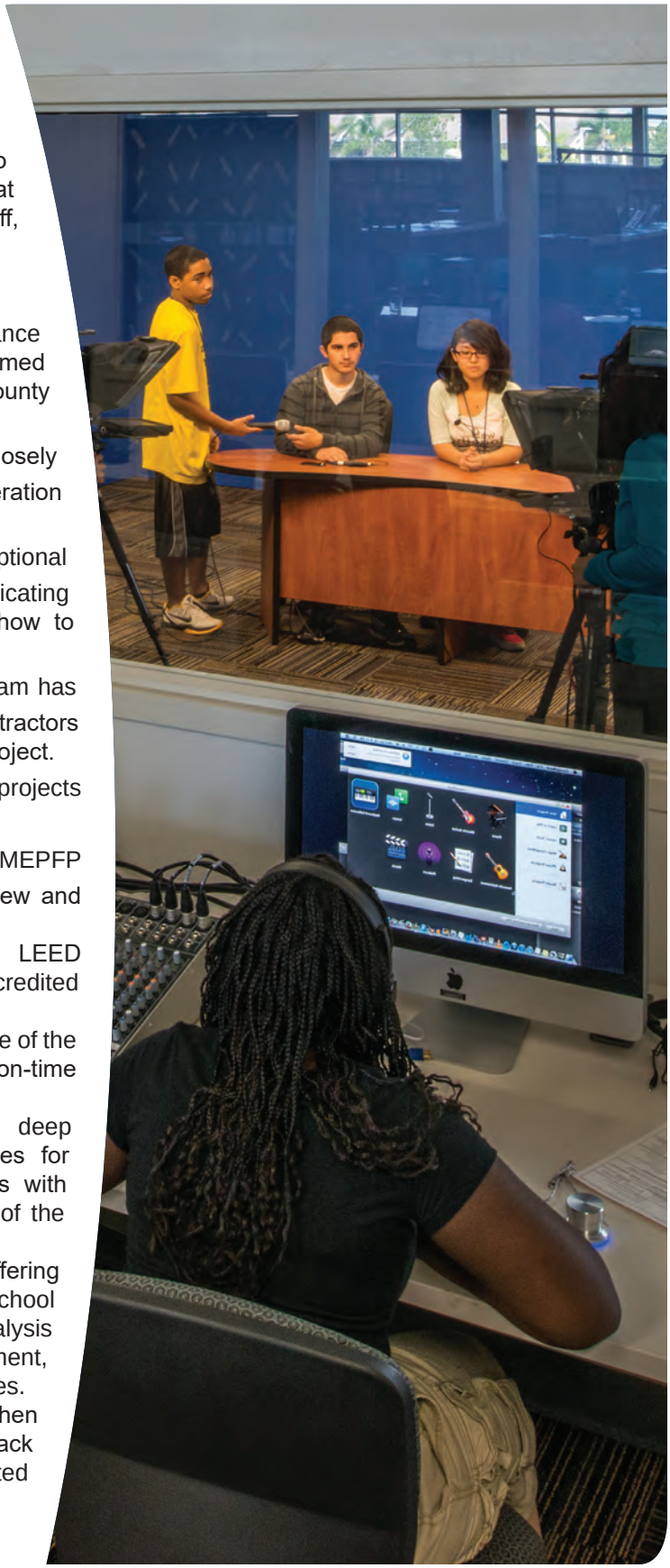
- *Any other information that you believe may assist the Owner in deciding that your firm is best qualified for the Project.*

ENSURING SUCCESS

Each member of our team has proven they possess the personal characteristics to meet not only an Owner's expectations, but CPPI's expectations. Our team believes in continuing our legacy of providing quality construction services. Approaching each project with open communication, organization, attention to detail, and a strong work ethic, we offer you a team that will deliver a successful project to your students, staff, and community.

Our proposed team's special characteristics include:

- **Open Communication** – We understand the importance of keeping the students, staff, and community informed while aligning with the goals of the Beaufort County School District.
- **Collaboration** – Our team has the ability to work closely with campus staff to provide smooth campus operation while critical construction activities are ongoing.
- **Coordination** - Our proposed team does an exceptional job in coordinating, forecasting and communicating upcoming activities related to construction and how to avoid potential pitfalls related to construction.
- **Excellent Subcontractor Relationships** - Our team has worked extensively with a large network of subcontractors and will be able to provide the best value for this project.
- **Dedication** – Our team is committed to these projects throughout the duration of the contract.
- **MEPFP Coordinator** - We have a full time in-house MEPFP Coordinator that is dedicated to the systems review and coordination during design and construction.
- **Sustainable Construction** - Experience with LEED accreditation practices, multiple LEED Accredited Professionals on our proposed teams.
- **Scheduling** – Our team understands the importance of the schedule and how to expedite schedules for an on-time completion of projects.
- **Occupied Campuses** – Our team has a deep understanding of working on occupied campuses for multiple phased renovation and addition projects with the least amount of impact to the daily activities of the campus. Safety of students and staff is our priority.
- **Quality** – CPPI has a commitment to quality while offering the best value by engaging the Beaufort County School District's personnel and subcontractors in the analysis of all information related to design, cost management, schedule, and the sensitivity of construction activities.
- **Commitment** – The CPPI team won't disappear when the project is complete. We offer you a strong track record of reliability and continued service on completed projects.



TRUST BUILT ON PERFORMANCE

CONSTRUCTION MANAGEMENT • DESIGN-BUILD
GENERAL CONTRACTING

PRE-CONSTRUCTION / CONSTRUCTION PHASE (CM AT-RISK) SERVICES FOR CAPITAL RENEWAL RENOVATIONS AND MODIFICATIONS PROJECTS

January 10, 2019

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CPPI
CHARLES PERRY PARTNERS, INC

WORK PRODUCT SAMPLE PACKAGE

Submitted by:

CPPI
CHARLES PERRY PARTNERS, INC

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TRUST
BUILT
ON PERFORMANCE

September 16, 2016

OCPS
Cypress Park Elementary School
Orlando, FL

DESIGN DEVELOPMENT ESTIMATE

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CSI	pckge	Description	Total Cost/Unit	Total Amount
		NEW CLASSROOM BLDG, SITE WORK (41,050 sf)		
		New Classroom Building (41,050 sf)		
01-00-00.00		GENERAL REQUIREMENTS		
	01C	CONSTRUCTION REQUIREMENTS	8.53 /sf	350,000
		GENERAL REQUIREMENTS	8.53 /sf	350,000
03-00-00.00		CONCRETE		
	03A	CAST IN PLACE CONCRETE	20.61 /sf	846,100
		CONCRETE	20.61 /sf	846,100
05-00-00.00		METALS		
	05A	STRUCTURAL STEEL	12.77 /sf	524,127
		METALS	12.77 /sf	524,127
07-00-00.00		THERMAL AND MOISTURE PROTECTION		
	07A	DAMPPROOFING, WATERPROOFING	0.25 /sf	10,277
	07B	ROOFING SYSTEM, HORIZONTAL	14.02 /sf	575,512
		THERMAL AND MOISTURE PROTECTION	14.27 /sf	585,789
08-00-00.00		OPENINGS		
	08A	DOORS, FRAMES, FINISH HARDWARE	4.62 /sf	189,810
	08B	STOREFRONT, CURTAINWALL, GLASS	2.72 /sf	111,670
	08E	WINDOW TESTING	0.07 /sf	3,000
		OPENINGS	7.42 /sf	304,480
09-00-00.00		FINISHES		
	09A	DRYWALL, FRAMING	11.26 /sf	462,376
	09C	ACOUSTICAL CEILINGS, TREATMENTS	2.36 /sf	96,947
	09D	PAINTING, COATINGS, WALLCOVERINGS	2.62 /sf	107,478
	09E	CARPET, RESILIENT FLOORING	2.72 /sf	111,553
	09F	TILE FLOORING	2.97 /sf	121,784
		FINISHES	21.93 /sf	900,137
10-00-00.00		SPECIALTIES		
	10B	FIRE EXTINGUISHERS, CABINETS	0.08 /sf	3,450
	10C	SIGNAGE	1.12 /sf	45,820
	10M	VISUAL DISPLAY BOARDS	0.61 /sf	25,000
	10N	MISCELLANEOUS SPECIALTIES	1.05 /sf	43,000
	10P	BIKE RACKS	0.04 /sf	1,500
		SPECIALTIES	2.89 /sf	118,770
11-00-00.00		EQUIPMENT		
	11A	FOOD SERVICE EQUIPMENT	7.67 /sf	315,000
	11C	STAGE CURTAINS, EQUIPMENT	0.22 /sf	9,000
	11D	ATHLETIC EQUIPMENT	0.34 /sf	14,000
	11I	PLAYGROUND EQUIPMENT	2.68 /sf	110,000
	11J	MISC. EQUIPMENT	0.22 /sf	9,000
	11M	KILN	0.15 /sf	6,000
		EQUIPMENT	11.28 /sf	463,000
12-00-00.00		FURNISHINGS		
	12A	CASEWORK	1.92 /sf	78,765
	12C	WINDOW TREATMENTS	0.18 /sf	7,500
		FURNISHINGS	2.10 /sf	86,265
21-00-00.00		FIRE SUPPRESSION		
	21A	FIRE PROTECTION	2.50 /sf	102,625
		FIRE SUPPRESSION	2.50 /sf	102,625
22-00-00.00		PLUMBING		
	22A	PLUMBING	10.00 /sf	410,500
		PLUMBING	10.00 /sf	410,500
23-00-00.00		HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)		
	23A	HVAC	30.00 /sf	1,231,500
	23B	TEST AND BALANCE	0.49 /sf	20,000
		HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)	30.49 /sf	1,251,500
26-00-00.00		ELECTRICAL		

CSI	pckge	Description	Total Cost/Unit	Total Amount
	26A	ELECTRICAL	31.44 /sf	1,290,578
		ELECTRICAL	31.44 /sf	1,290,578
		New Classroom Building (41,050 sf)	176.22 /sf	7,233,870
		PE Building, Coverd Play (3,145 sf)		
03-00-00.00		CONCRETE		
	03A	CAST IN PLACE CONCRETE	21.65 /sf	68,092
		CONCRETE	21.65 /sf	68,092
04-00-00.00		MASONRY		
	04A	MASONRY	10.49 /sf	33,000
		MASONRY	10.49 /sf	33,000
07-00-00.00		THERMAL AND MOISTURE PROTECTION		
	07A	DAMPPROOFING, WATERPROOFING	/sf	155
		THERMAL AND MOISTURE PROTECTION	/sf	155
08-00-00.00		OPENINGS		
	08A	DOORS, FRAMES, FINISH HARDWARE	2.27 /sf	7,140
		OPENINGS	2.27 /sf	7,140
09-00-00.00		FINISHES		
	09D	PAINTING, COATINGS, WALLCOVERINGS	3.32 /sf	10,436
	09E	CARPET, RESILIENT FLOORING	0.16 /sf	503
	09F	TILE FLOORING	2.82 /sf	8,864
		FINISHES	6.30 /sf	19,803
10-00-00.00		SPECIALTIES		
	10C	SIGNAGE	0.15 /sf	480
		SPECIALTIES	0.15 /sf	480
13-00-00.00		SPECIAL CONSTRUCTION		
	13A	PRE-ENGINEERED METAL BUILDINGS	18.00 /sf	56,610
		SPECIAL CONSTRUCTION	18.00 /sf	56,610
22-00-00.00		PLUMBING		
	22A	PLUMBING	10.00 /sf	31,450
		PLUMBING	10.00 /sf	31,450
23-00-00.00		HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)		
	23A	HVAC	2.39 /sf	7,500
	23B	TEST AND BALANCE	0.32 /sf	1,000
		HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)	2.70 /sf	8,500
26-00-00.00		ELECTRICAL		
	26A	ELECTRICAL	18.63 /sf	58,593
		ELECTRICAL	18.63 /sf	58,593
		PE Building, Coverd Play (3,145 sf)	90.25 /sf	283,822
		Site Work		
02-00-00.00		EXISTING CONDITIONS		
	02C	BUILDING DEMOLITION	3.61 /sf	236,880
		EXISTING CONDITIONS	3.61 /sf	236,880
03-00-00.00		CONCRETE		
	03A	CAST IN PLACE CONCRETE	3.17 /sf	208,275
		CONCRETE	3.17 /sf	208,275
10-00-00.00		SPECIALTIES		
	10E	WALKWAY CANOPIES	3.20 /sf	210,000
		SPECIALTIES	3.20 /sf	210,000
12-00-00.00		FURNISHINGS		
	12F	TEMPORARY TENT STRUCTURE	/sf	
31-00-00.00		EARTHWORK		
	31A	EARTHWORK, SITE IMPROVEMENTS	18.72 /sf	1,229,516
		EARTHWORK	18.72 /sf	1,229,516
32-00-00.00		EXTERIOR IMPROVEMENTS		
	32A	FENCING, GATES	1.52 /sf	100,000
	32B	LANDSCAPING, IRRIGATION	1.52 /sf	100,000
	32C	PLAYCOURT STRIPING	0.08 /sf	5,000

CSI	pckge	Description	Total Cost/Unit	Total Amount
	40A	FIRE WATER TANK	7.61 /sf	500,000
		EXTERIOR IMPROVEMENTS	10.74 /sf	705,000
		Site Work	39.43 /sf	2,589,671
		NEW CLASSROOM BLDG, SITE WORK (41,050 sf)	246.22 /sf	10,107,363
		EXISTING BUILDINGS RENOVATIONS (21,480 sf)		
		Existing Buildings 11 & 12 (21,480 sf)		
02-00-00.00		EXISTING CONDITIONS		
	02A	SELECTIVE DEMOLITION	1.87 /sf	40,000
		EXISTING CONDITIONS	1.87 /sf	40,000
03-00-00.00		CONCRETE		
	03A	CAST IN PLACE CONCRETE	0.70 /sf	15,000
		CONCRETE	0.70 /sf	15,000
07-00-00.00		THERMAL AND MOISTURE PROTECTION		
	07A	DAMPPROOFING, WATERPROOFING	0.67 /sf	14,340
		THERMAL AND MOISTURE PROTECTION	0.67 /sf	14,340
08-00-00.00		OPENINGS		
	08A	DOORS, FRAMES, FINISH HARDWARE	2.97 /sf	63,640
		OPENINGS	2.97 /sf	63,640
09-00-00.00		FINISHES		
	09A	DRYWALL, FRAMING	1.06 /sf	22,700
	09C	ACOUSTICAL CEILINGS, TREATMENTS	1.61 /sf	34,428
	09D	PAINTING, COATINGS, WALLCOVERINGS	1.50 /sf	32,241
	09E	CARPET, RESILIENT FLOORING	2.92 /sf	62,530
	09F	TILE FLOORING	1.18 /sf	25,325
		FINISHES	8.27 /sf	177,223
10-00-00.00		SPECIALTIES		
	10C	SIGNAGE	0.14 /sf	3,000
	10M	VISUAL DISPLAY BOARDS	0.26 /sf	5,500
	10N	MISCELLANEOUS SPECIALTIES	0.21 /sf	4,500
		SPECIALTIES	0.61 /sf	13,000
12-00-00.00		FURNISHINGS		
	12C	WINDOW TREATMENTS	0.27 /sf	5,700
		FURNISHINGS	0.27 /sf	5,700
21-00-00.00		FIRE SUPPRESSION		
	21A	FIRE PROTECTION	3.06 /sf	65,460
		FIRE SUPPRESSION	3.06 /sf	65,460
22-00-00.00		PLUMBING		
	22A	PLUMBING	2.62 /sf	56,200
		PLUMBING	2.62 /sf	56,200
23-00-00.00		HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)		
	23A	HVAC	25.56 /sf	547,740
	23B	TEST AND BALANCE	0.35 /sf	7,500
		HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)	25.91 /sf	555,240
26-00-00.00		ELECTRICAL		
	26A	ELECTRICAL	17.51 /sf	375,174
		ELECTRICAL	17.51 /sf	375,174
		Existing Buildings 11 & 12 (21,480 sf)	64.44 /sf	1,380,977
		EXISTING BUILDINGS RENOVATIONS (21,480 sf)	64.44 /sf	1,380,977

Estimate Totals

Description	Amount	Totals	Rate
subtotal cost of work	**11,488,340**	**11,488,340**	
general conditions	630,000		
builder's risk inland			
contract bond (max 24 mo)	104,770		0.79 %
profit/overhead	550,040		4.50 %
general liability 03.09.2016	73,107		5.54 $ / 1,000
subguard	150,005		1.35 %
subtotal ins, bonding	**1,507,922**	**12,996,262**	
construction contingency	100,000		
owner's contingency	100,000		
subtotal contingencies	**200,000**	**13,196,262**	
Total		***13,196,262***	

Item	Description	Total Amount		
		Cypress Park DD v1	Cypress Park SD v1	Variance
BASE				
	10 New Classroom Building (41,050 sf)			
01-00-00.00	*GENERAL REQUIREMENTS*			
01C	CONSTRUCTION REQUIREMENTS	350,000	350,000	0
	GENERAL REQUIREMENTS	*350,000*	*350,000*	*0*
03-00-00.00	*CONCRETE*			
03A	CAST IN PLACE CONCRETE	846,100	750,000	96,100
	CONCRETE	*846,100*	*750,000*	*96,100*
05-00-00.00	*METALS*			
05A	STRUCTURAL STEEL	524,127	460,000	64,127
	METALS	*524,127*	*460,000*	*64,127*
07-00-00.00	*THERMAL AND MOISTURE PROTECTION*			
07A	DAMPPROOFING, WATERPROOFING	10,277	18,000	(7,723)
07B	ROOFING SYSTEM, HORIZONTAL	575,512	440,000	135,512
	THERMAL AND MOISTURE PROTECTION	*585,789*	*458,000*	*127,789*
08-00-00.00	*OPENINGS*			
08A	DOORS, FRAMES, FINISH HARDWARE	189,810	154,000	35,810
08B	STOREFRONT, CURTAINWALL, GLASS	111,670	157,000	(45,330)
08E	WINDOW TESTING	3,000	3,000	0
	OPENINGS	*304,480*	*314,000*	*(9,520)*
09-00-00.00	*FINISHES*			
09A	DRYWALL, FRAMING	462,376	450,000	12,376
09C	ACOUSTICAL CEILINGS, TREATMENTS	96,947	80,000	16,947
09D	PAINTING, COATINGS, WALLCOVERINGS	107,478	80,000	27,478
09E	CARPET, RESILIENT FLOORING	111,553	95,000	16,553
09F	TILE FLOORING	121,784	80,000	41,784
	FINISHES	*900,137*	*785,000*	*115,137*
10-00-00.00	*SPECIALTIES*			
10B	FIRE EXTINGUISHERS, CABINETS	3,450	500	2,950
10C	SIGNAGE	45,820	20,000	25,820
10M	VISUAL DISPLAY BOARDS	25,000	25,000	0
10N	MISCELLANEOUS SPECIALTIES	43,000	43,000	0
10P	BIKE RACKS	1,500	1,500	0
	SPECIALTIES	*118,770*	*90,000*	*28,770*
11-00-00.00	*EQUIPMENT*			
11A	FOOD SERVICE EQUIPMENT	315,000	310,000	5,000
11C	STAGE CURTAINS, EQUIPMENT	9,000	9,000	0
11D	ATHLETIC EQUIPMENT	14,000	15,000	(1,000)
11I	PLAYGROUND EQUIPMENT	110,000	110,000	0
11J	MISC. EQUIPMENT	9,000	9,000	0
11M	KILN	6,000	6,000	0

Item	Description	Total Amount		
		Cypress Park DD v1	Cypress Park SD v1	Variance
	EQUIPMENT	*463,000*	*459,000*	*4,000*
12-00-00.00	*FURNISHINGS*			
12A	CASEWORK	78,765	120,000	(41,235)
12C	WINDOW TREATMENTS	7,500	6,000	1,500
	FURNISHINGS	*86,265*	*126,000*	*(39,735)*
21-00-00.00	*FIRE SUPPRESSION*			
21A	FIRE PROTECTION	102,625	100,000	2,625
	FIRE SUPPRESSION	*102,625*	*100,000*	*2,625*
22-00-00.00	*PLUMBING*			
22A	PLUMBING	410,500	375,000	35,500
	PLUMBING	*410,500*	*375,000*	*35,500*
23-00-00.00	*HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)*			
23A	HVAC	1,231,500	1,100,000	131,500
23B	TEST AND BALANCE	20,000	20,000	0
	HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)	*1,251,500*	*1,120,000*	*131,500*
26-00-00.00	*ELECTRICAL*			
26A	ELECTRICAL	1,290,578	1,100,000	190,578
	ELECTRICAL	*1,290,578*	*1,100,000*	*190,578*
	10 New Classroom Building (41,050 sf)	**7,233,870**	**6,487,000**	**746,870**
	25 PE Building, Coverd Play (3,145 sf)			
03-00-00.00	*CONCRETE*			
03A	CAST IN PLACE CONCRETE	68,092	30,000	38,092
	CONCRETE	*68,092*	*30,000*	*38,092*
04-00-00.00	*MASONRY*			
04A	MASONRY	33,000	40,000	(7,000)
	MASONRY	*33,000*	*40,000*	*(7,000)*
07-00-00.00	*THERMAL AND MOISTURE PROTECTION*			
07A	DAMPPROOFING, WATERPROOFING	155	3,000	(2,845)
	THERMAL AND MOISTURE PROTECTION	*155*	*3,000*	*(2,845)*
08-00-00.00	*OPENINGS*			
08A	DOORS, FRAMES, FINISH HARDWARE	7,140	5,000	2,140
08B	STOREFRONT, CURTAINWALL, GLASS		1,500	(1,500)
	OPENINGS	*7,140*	*6,500*	*640*
09-00-00.00	*FINISHES*			
09A	DRYWALL, FRAMING		5,000	(5,000)
09C	ACOUSTICAL CEILINGS, TREATMENTS		500	(500)
09D	PAINTING, COATINGS, WALLCOVERINGS	10,436	6,500	3,936
09E	CARPET, RESILIENT FLOORING	503	500	3
09F	TILE FLOORING	8,864	4,000	4,864

Item	Description	Total Amount		
		Cypress Park DD v1	Cypress Park SD v1	Variance
	FINISHES	*19,803*	*16,500*	*3,303*
10-00-00.00	*SPECIALTIES*			
10C	SIGNAGE	480	500	(20)
10N	MISCELLANEOUS SPECIALTIES		1,500	(1,500)
	SPECIALTIES	*480*	*2,000*	*(1,520)*
12-00-00.00	*FURNISHINGS*			
12C	WINDOW TREATMENTS		150	(150)
	FURNISHINGS		*150*	*(150)*
13-00-00.00	*SPECIAL CONSTRUCTION*			
13A	PRE-ENGINEERED METAL BUILDINGS	56,610	60,000	(3,390)
	SPECIAL CONSTRUCTION	*56,610*	*60,000*	*(3,390)*
22-00-00.00	*PLUMBING*			
22A	PLUMBING	31,450		31,450
	PLUMBING	*31,450*		*31,450*
23-00-00.00	*HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)*			
23A	HVAC	7,500		7,500
23B	TEST AND BALANCE	1,000		1,000
	HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)	*8,500*		*8,500*
26-00-00.00	*ELECTRICAL*			
22A	PLUMBING		3,000	(3,000)
23A	HVAC		5,000	(5,000)
26A	ELECTRICAL	58,593	50,000	8,593
	ELECTRICAL	*58,593*	*58,000*	*593*
	25 PE Building, Coverd Play (3,145 sf)	**283,822**	**216,150**	**67,672**
	30 Site Work			
02-00-00.00	*EXISTING CONDITIONS*			
02C	BUILDING DEMOLITION	236,880	210,000	26,880
	EXISTING CONDITIONS	*236,880*	*210,000*	*26,880*
03-00-00.00	*CONCRETE*			
02D	UNDERGROUND TANK REMOVAL		30,000	(30,000)
03A	CAST IN PLACE CONCRETE	208,275	175,000	33,275
	CONCRETE	*208,275*	*205,000*	*3,275*
10-00-00.00	*SPECIALTIES*			
10E	WALKWAY CANOPIES	210,000	100,000	110,000
	SPECIALTIES	*210,000*	*100,000*	*110,000*
12-00-00.00	*FURNISHINGS*			
12F	TEMPORARY TENT STRUCTURE		20,000	(20,000)
	FURNISHINGS		*20,000*	*(20,000)*
31-00-00.00	*EARTHWORK*			
31A	EARTHWORK, SITE IMPROVEMENTS	1,229,516	1,400,000	(170,484)

Item	Description	Total Amount Cypress Park DD v1	Total Amount Cypress Park SD v1	Variance
	EARTHWORK	*1,229,516*	*1,400,000*	*(170,484)*
32-00-00.00	*EXTERIOR IMPROVEMENTS*			
32A	FENCING, GATES	100,000	100,000	0
32B	LANDSCAPING, IRRIGATION	100,000	100,000	0
32C	PLAYCOURT STRIPING	5,000	5,000	0
40A	FIRE WATER TANK	500,000	500,000	0
	EXTERIOR IMPROVEMENTS	*705,000*	*705,000*	*0*
	30 Site Work	**2,589,671**	**2,640,000**	**(50,329)**
	BASE NEW CLASSROOM BLDG, SITE WORK (41,050 sf)	***10,107,363***	***9,343,150***	***764,213***

EXIST

20 Existing Buildings 11 & 12 (21,480 sf)

02-00-00.00	*EXISTING CONDITIONS*			
02A	SELECTIVE DEMOLITION	40,000	40,000	0
	EXISTING CONDITIONS	*40,000*	*40,000*	*0*
03-00-00.00	*CONCRETE*			
03A	CAST IN PLACE CONCRETE	15,000	15,000	0
	CONCRETE	*15,000*	*15,000*	*0*
07-00-00.00	*THERMAL AND MOISTURE PROTECTION*			
07A	DAMPPROOFING, WATERPROOFING	14,340	15,000	(660)
08A	DOORS, FRAMES, FINISH HARDWARE		5,000	(5,000)
	THERMAL AND MOISTURE PROTECTION	*14,340*	*20,000*	*(5,660)*
08-00-00.00	*OPENINGS*			
08A	DOORS, FRAMES, FINISH HARDWARE	63,640		63,640
	OPENINGS	*63,640*		*63,640*
09-00-00.00	*FINISHES*			
09A	DRYWALL, FRAMING	22,700	10,000	12,700
09C	ACOUSTICAL CEILINGS, TREATMENTS	34,428	45,000	(10,572)
09D	PAINTING, COATINGS, WALLCOVERINGS	32,241	60,000	(27,759)
09E	CARPET, RESILIENT FLOORING	62,530	60,000	2,530
09F	TILE FLOORING	25,325	24,000	1,325
	FINISHES	*177,223*	*199,000*	*(21,777)*
10-00-00.00	*SPECIALTIES*			
10C	SIGNAGE	3,000	3,600	(600)
10M	VISUAL DISPLAY BOARDS	5,500	18,000	(12,500)
10N	MISCELLANEOUS SPECIALTIES	4,500	25,200	(20,700)
	SPECIALTIES	*13,000*	*46,800*	*(33,800)*
12-00-00.00	*FURNISHINGS*			
12A	CASEWORK		10,000	(10,000)
12C	WINDOW TREATMENTS	5,700	5,000	700

Item	Description	Total Amount		
		Cypress Park DD v1	Cypress Park SD v1	Variance
	FURNISHINGS	*5,700*	*15,000*	*(9,300)*
21-00-00.00	*FIRE SUPPRESSION*			
21A	FIRE PROTECTION	65,460	55,000	10,460
	FIRE SUPPRESSION	*65,460*	*55,000*	*10,460*
22-00-00.00	*PLUMBING*			
22A	PLUMBING	56,200	5,000	51,200
	PLUMBING	*56,200*	*5,000*	*51,200*
23-00-00.00	*HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)*			
23A	HVAC	547,740	175,000	372,740
23B	TEST AND BALANCE	7,500	7,500	0
	HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)	*555,240*	*182,500*	*372,740*
26-00-00.00	*ELECTRICAL*			
26A	ELECTRICAL	375,174	175,000	200,174
	ELECTRICAL	*375,174*	*175,000*	*200,174*
	20 Existing Buildings 11 & 12 (21,480 sf)	**1,380,977**	**753,300**	**627,677**
	EXIST EXISTING BUILDINGS RENOVATIONS (21,480 sf)	***1,380,977***	***753,300***	***627,677***
	Total	***11,488,340***	***10,096,450***	***1,391,890***

Estimate Totals

Labor	63,000	0	63,000
Material	44,940	0	44,940
Subcontract	11,293,460	10,078,872	1,214,588
Equipment	44,940	0	44,940
Other	42,000	17,578	24,422
	11,488,340	**10,096,450**	**1,391,890**
general conditions	630,000	630,000	0
builder's risk inland	0	0	0
contract bond (max 24 mo)	104,770	92,912	11,858
profit/overhead	550,040	486,871	63,169
general liability 03.09.2016	73,107	64,833	8,274
subguard	150,005*	131,577*	18,428
	12,996,262	**11,502,643**	**1,493,619**
construction contingency	100,000	100,000	0
owner's contingency	100,000	100,000	0
	13,196,262	**11,702,643**	**1,493,619**
Total	***13,196,262***	***11,702,643***	***1,493,619***

September 16, 2016

ORANGE COUNTY PUBLIC SCHOOLS

Cypress Park Elementary School

Orlando, FL

DESIGN DEVELOPMENT ESTIMATE QUALIFICATIONS & CLARIFICATIONS

This proposal is based on the Phase II Submittal drawings dated August 26, 2016, as prepared by Song + Associates, Inc.

Division 1 - General Conditions

1.1 The estimate is based on a new one-story classroom building and the renovation of two existing structures. The new classroom building has a gross area of 41,050 sf with the existing structures grossing 21,480 sf and a new covered play area of 3,145 sf.

1.2 General conditions are based on a project start date of December 2016 with a 15-month construction schedule (see schedule included).

1.3 The cost of a Performance and Payment Bond and General Liability Insurance are included.

1.4 Builders Risk Insurance and Builders Risk deductibles are owner provided and not included in this estimate.

1.5 Estimate is based on in-house quantity survey and pricing, historical cost data from projects of similar design with Orange County Public Schools, current market analysis, and design development pricing guidance from subcontractors.

1.6 A Construction Management Contingency of $100,000 is included to cover estimating variances and unexpected events in the construction process and schedule.

1.7 The estimate includes a separate owner contingency of $100,000.

1.8 Costs for plan review, and building permit, meter rental or purchase, special inspections, threshold inspections, impact fees, transportation/traffic fees, connection fees, variances, or environmental fees and assessments are not included.

1.9 Materials testing to be provided and funded by the Owner, if required.

1.10 The estimate does not include hazardous materials abatement.

Division 2 – Demolition

2.1 Owner shall indicate any equipment or fixtures to be salvaged prior to commencement of demolition activities.

2.2 All demolition debris not salvaged by owner will be sorted and taken to appropriate recycling or landfill facilities.

2.3 Demolition of the gazebo is included.

Division 3 - Concrete

3.1 The building is assumed to rest on shallow continuous foundations supporting concrete tilt-wall panels and shallow interior spread footings to support structural steel columns.
3.2 Lightweight insulating concrete is included at flat roofs.
3.3 Stained, stamped, and integrally colored concrete are not anticipated.
3.4 All sidewalks to receive a broom finish.

Division 4 - Masonry

4.1 Walls at Covered Play Area are included as CMU.

Division 7 – Thermal & Moisture Protection

7.1 Roof drain leaders will tie-in to the storm water system around the new classroom building.
7.2 Flat roof assembly is included as PVC roofing fully adhered on lightweight insulating concrete.

Division 8 – Openings

8.1 Auto operators are excluded.

Division 9 – Finishes

9.1 Sound batt is not included above acoustical ceilings.
9.2 Refer to estimate detail for floor finish quantities and unit costs.
9.3 Stripping and waxing is included at resilient floors.
9.4 Wood flooring is not included.
9.5 Wall tiles included at all kitchen walls and bathroom wet walls to full height.

Division 10 – Specialties

10.1 Refer to estimate detail for miscellaneous specialty quantities and costs.
10.2 Defibrillator is excluded.

Division 11 – Equipment

11.1 Refer to estimate detail for equipment quantities and costs.
11.2 Four each exterior basketball goals with backboards are included.

11.3 New playground equipment (two complete play structures) is included at the new tot lot/kindergarten play and youth lot/play areas. Playground protective surfacing is included at both playgrounds.

Division 12 – Furnishings

12.1 Casework is included as plastic laminate finish.
12.2 Window treatments are included at the new classroom building.
12.3 Entrance mats are excluded.

Division 13 – Special Construction

13.1 Pre-engineered building (framing and roofing only) is included for the covered play area.

Division 21 – Fire Suppression

21.1 Wet pipe fire sprinkler system is included at the new building and shall be designed and installed per NFPA 13.
21.2 Dry pipe system is included at breezeway between existing McCree Buildings.
21.3 Fire pump and water storage tank are included.

Division 22 - Plumbing

22.1 Sanitary waste and vent piping below and above grade to be schedule 40 PVC DWV pipe and fittings.
22.2 Storm piping below and above grade to be schedule 40 PVC DWV pipe and fittings.
22.3 Domestic water piping below grade to be copper type “K” pipe.
22.4 Domestic water piping above grade to be copper type “L” pipe
22.5 Fixtures are included for a typical OCPS classroom building.
22.6 Insulation for hot water and horizontal storm piping is included.
22.7 One (1) 1250 gallon grease trap is included.

Division 23 – HVAC

23.1 Mechanical system is included as outlined in the plans specifically includes the following:

i. Central Energy plant with two (2) 170-ton air-cooled chillers and variable pumping systems
ii. Zoned VAV air handling units with variable frequency drives
iii. Electric pre-heats and re-heats in each air handling unit
iv. Medium pressure sheet metal supply, return and exhaust duct work
v. Externally insulated duct work

vi. Pre-Insulated underground chilled water piping
vii. Field insulated aboveground chilled water piping
viii. DDC control systems

23.2 Test and balance is included.

Division 26 – Electrical and AV/IT

26.1 Electrical and low voltage systems are included as outlined in the plans specifically include the following:

i. Lighting fixtures, lighting controls, lighting contactors and battery inverters.
ii. Switchgear, panels, disconnects, transformers and surge protection.
iii. All wiring devices, floor boxes and trench duct.
iv. All connections to kitchen equipment and mechanical equipment.
v. Complete lightning protection system.
vi. Integrated Audio Video System.
vii. Access Control System.
viii. Intrusion Detection System.
ix. Video Surveillance System.
x. Addressable Fire Alarm System complete.

Division 31 – Earthwork

31.1 Site work is included per the drawings. Refer to estimate detail for materials and quantities.
31.2 Minimal dewatering is included.
31.3 Over excavation is not anticipated.
31.4 It is assumed excavated material will be suitable for use as structural fill.
31.5 Basketball courts to be concrete with painted court markings. Court surfacing is not included.
31.6 New sidewalks are included.

Division 32 – Exterior Improvements

32.1 Chain link fencing is included.
32.2 An allowance of $100,000 for landscaping, irrigation, and sod replacement for the entire site is included.

McCree Buildings Renovation

1. Exterior caulking around the base of the exterior wall will need to be removed and replaced. The existing dirt grade around the building is too high and will need to be lowered below the caulk joint.
2. New door stops at all existing doors.

3. All existing lock sets will have new cores installed.
4. Include protection of existing doors while construction is in process.
5. Assume drywall in all mechanical rooms will be replaced up to 5’ high. Mold damaged drywall to be removed and mitigated by others.
6. Assume drywall at exterior classroom doors will be replaced 1’ high x 10’ long. Mold damaged drywall to be removed and mitigated by others.
7. A $5,000 allowance is included for patching holes at existing drywall surfaces to remain.
8. Repaint all interior surfaces.
9. A $2,000 allowance in included to touch up paint on all casework and cubbies.
10. Repainting of the exterior is excluded.
11. Re-grout all bathroom floor tile.
12. Replace tile base at all bathrooms.
13. Re-grout and caulked at inside corners of bathroom wall tile.
14. All existing VCT and Carpet will be removed and replaced. All existing vinyl base (6”) will be removed and replaced.
15. Remove and replace all existing ACT ceilings.
16. Bathrooms have a hard drywall ceiling. Remove and replace a 3’ x 5’ section of drywall in each bathroom for access to HVAC and Electrical work.
17. Replace all corner guards.
18. Assume new tack strips in the corridor walls between classrooms.
19. Folding partitions shown in classroom do not exist. We have not included any work relating to folding partitions in these locations.
20. Replace all window blinds with new blinds.
21. Replace sinks in classrooms.
22. $1,000 allowance is included for replacement of toilet floor bolt caps.
23. Include replacing all toilet seats on all toilets.
24. Replace existing water heaters with new water heaters.
25. Replace slop sinks and install FRP splash guards around slop sinks.
26. Breezeway between McCree buildings will require new lights and fire sprinklers. Fire sprinklers will need to be a dry pipe system due to exterior condition. Lights may require metal ceiling panels to be removed and re-installed.
27. U/G chilled water lines noted on M-100 will require removal and replacement of the exterior concrete slab, interior concrete slab and core drilling of foundation.

September 16, 2016

ORANGE COUNTY PUBLIC SCHOOLS

Cypress Park Elementary School

Orlando, FL

DESIGN DEVELOPMENT ESTIMATE

Document List

TITLE SHEETS		
T100	COVER	08.26.2016
T100	DRAWING INDEX, LEGENDS, AND GENERAL NOTES	08.26.2016
CONSTRUCTION PHASING		
K100	CONSTRUCTION ZONE AREA PLAN	08.26.2016
CIVIL		
C100	OVERALL SITE PLAN	07.29.2016
C101	PH 1 - OVERALL SITE PLAN	07.29.2016
C102	PH 2 - OVERALL SITE PLAN	07.29.2016
C201	PH 1 – DEMO & EROSION CONTROL PLAN	07.29.2016
C202	PH 2 – DEMO & EROSION CONTROL PLAN	07.29.2016
C301	PH 1 – GEOMETRY & STRIPPING PLAN	07.29.2016
C302	PH 2 – GEOMETRY & STRIPPING PLAN	07.29.2016
LANDSCAPE		
L101	LANDSCAPE PLAN	08.29.2016
L102	LANDSCAPE TREES & DETAILS	08.29.2016
I201	IRRIGATION PLAN	08.29.2016
ARCHITECTURAL		
AD201	DEMOLITION FLOOR PLAN – BUILDING 11 & 12	08.26.2016
AD300	DEMOLITION RCP – BUILDING 11 & 12	08.26.2016
LIFE SAFETY		
Y000	LIFE SAFETY SUMMARY	07.29.2016
Y100	OVERALL LIFE SAFETY SITE PLAN	07.29.2016
Y200	OVERALL LIFE SAFETY FLOOR PLAN	08.26.2016
SITE		
A100	OVERALL SITE PLAN	08.26.2016

FLOOR PLANS

A201	OVERALL FLOOR PLAN – BUILDING 100	08.26.2016
A211	PARTIAL FLOOR PLAN – BUILDING 100	08.26.2016
A212	PARTIAL FLOOR PLAN – BUILDING 100	08.26.2016
A213	BUILDING 11, 12 AND NEW COVERED PLAY AREA	08.26.2016
A250	FLOOR PLAN DETAILS	08.26.2016
A301	OVERALL REFLECTED CEILING PLAN	08.26.2016
A350	REFLECTED CEILING PLAN DETAILS	08.26.2016
A401	OVERALL ROOF PLAN	08.26.2016
A411	PARTIAL ROOF PLAN – BUILDING 100 – NORTH	08.26.2016
A412	PARTIAL ROOF PLAN – BUILDING 100 – SOUTH	08.26.2016
A450	ROOF PLAN DETAILS	08.26.2016

EXTERIOR ELEVATIONS

A501	EXTERIOR ELEVATIONS	08.26.2016

SECTIONS

A601	BUILDING SECTIONS	08.26.2016
A602	BUILDING SECTIONS	08.26.2016
A603	BUILDING SECTIONS	08.26.2016
A604	BUILDING SECTIONS	08.26.2016
A610	WALL SECTIONS	08.26.2016

FF&E PLANS

A701	OVERALL FF&E PLAN	08.26.2016
A711	PARTIAL FF&E PLAN	08.26.2016
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S001	STRUCTURAL GENERAL NOTES	07.29.2016
S002	STRUCTURAL GENERAL NOTES	07.29.2016
S003	STRUCTURAL GENERAL NOTES	07.29.2016
S201	OVERALL FDN + FMG – BUILDING 11, 12 AND COVERED PLAY	07.29.2016
S202	OVERALL FDN + ROOF FMG – BUILDING 100	07.29.2016
S211	PARTIAL FOUNDATION PLAN –BUILDING 100 – NORTH	07.29.2016
S212	PARTIAL FOUNDATION PLAN – BUILDING 100 – SOUTH	07.29.2016
S213	FOUNDATION PLAN BUILDING 11, 12 AND COVERED PLAY	07.29.2016
S214	PARTIAL ROOF FRAMING PLAN – BUILDING 100 – NORTH	07.29.2016
S215	PARTIAL ROOF FRAMING PLAN – BUILDING 100 – SOUTH	07.29.2016
S216	FRAMING PLAN BUILDING 11, 12 AND COVERED PLAY	07.29.2016
S301	STRUCTURAL NOTES + DETAILS	07.29.2016
S401	FOUNDATION SECTIONS + DETAILS	07.29.2016
S501	ROOF FRAMING SECTIONS + DETAILS	07.29.2016
S601	TILT-UP REINF, DETAILS + NOTES	07.29.2016
S701	SCHEDULES	07.29.2019
S702	SCHEDULES	07.29.2016

FIRE PROTECTION

F001	FIRE PROTECTION SYMBOLS LEGEND AND GENERAL NOTES	07.29.2016
F211	PARTIAL FIRE PROTECTION PLAN – BUILDING 100	07.29.2016
F212	PARTIAL FIRE PROTECTION PLAN – BUILDING 100	07.29.2016
F213	FIRE PROTECTION PLAN – BUILDING 11	07.29.2016
F214	FIRE PROTECTION PLAN – BUILDING 12	07.29.2016
F601	FIRE PROTECTION DETAILS	07.29.2016

PLUMBING

P001	PLUMBING SYMBOLS LEGEND AND GENERAL NOTES	07.29.2016
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P212	PARTIAL PLUMBING PLAN – BUILDING 100	07.29.2016
P601	PLUMBING DETAILS	07.29.2016
P701	PLUMBING SCHEDULES	07.29.2016

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M001	MECHANICAL SYMBOLS LEGEND AND GENERAL NOTES	07.29.2016
M100	MECHANICAL SITE PLAN	07.29.2016
MD213	MECHANICAL DEMO PLAN – BUILDING 11	07.29.2016
MD214	MECHANICAL DEMO PLAN – BUILDING 12	07.29.2016
M211	PARTIAL MECHANICAL PLAN – BUILDING 100	07.29.2016
M212	PARTIAL MECHANICAL PLAN – BUILDING 100	07.29.2016
M213	MECHANICAL PLAN – BUILDING 11	07.29.2016
M214	MECHANICAL PLAN – BUILDING 12	07.29.2016
M221	PARTIAL ROOF MECH PLAN – BUILDING 100	07.29.2016
M222	PARTIAL ROOF MECH PLAN – BUILDING 100	07.29.2016
M411	MECHANICAL ENLARGED PLAN	07.29.2016
M412	MECHANICAL ELEVATION VIEWS	07.29.2016
M501	MECHANICAL DETAILS	07.29.2016
M502	MECHANICAL DETAILS	07.29.2016
M503	MECHANICAL DETAILS	07.29.2016
M601	CHILLED WATER SCHEMATIC	07.29.2016
M701	MECHANICAL CONTROLS	07.29.2016
M702	MECHANICAL CONTROLS	07.29.2016
M703	MECHANICAL CONTROLS	07.29.2016
M801	MECHANICAL SCHEDULES	07.29.2016
M802	MECHANICAL SCHEDULES	07.29.2016

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E001	ELECTRICAL SYMBOLS LEGEND AND GENERAL NOTES	07.29.2016
E100	ELECTRICAL SITE PLAN	07.29.2016
E101	LIGHTING PHOTOMETRICS – NORMAL	07.29.2016
E102	LIGHTING PHOTOMETRICS – EMERGENCY	07.29.2016
ELD213	LIGHTING DEMO PLAN – BUILDING 11	07.29.2016
ELD214	LIGHTING DEMO PLAN – BUILDING 12	07.29.2016

EPD 213	POWER DEMO PLAN – BUILDING 11	07.29.2016
EPD 214	POWER DEMO PLAN – BUILDING 12	07.29.2016
EL211	PARTIAL LIGHTING PLAN – BUILDING 100	07.29.2016
EL212	PARTIAL LIGHTING PLAN – BUILDING 100	07.29.2016
EL213	LIGHTING PLAN – BUILDING 11	07.29.2016
EL214	LIGHTING PLAN – BUILDING 12	07.29.2016
EP211	PARTIAL POWER PLAN – BUILDING 100	07.29.2016
EP212	PARTIAL POWER PLAN – BUILDING 100	07.29.2016
EP213	POWER PLAN – BUILDING 11	07.29.2016
EP214	POWER PLAN – BUILDING 12	07.29.2016
EP215	ROOF POWER PLAN – BUILDING 100	07.29.2016
EP216	ROOD POWER PLAN – BUILDING 100	07.29.2016
EP311	LIGHTNING PROTECTION PLAN – BUILDING 100	07.29.2016
EP312	LIGHTNING PROTECTION PLAN – BUILDING 100	07.29.2016
EP313	LIGHTNING PROTECTION PLAN – BUS LOOP	07.29.2016
EP314	LIGHTNING PROTECTION PLAN – COVERED PLAY	07.29.2016
EP411	ENLARGED ELECTRICAL PLANS	07.29.2016
EP412	ENLARGED ELECTRICAL PLANS	07.29.2016
E501	ONE-LINE DIAGRAM	07.29.2016
E601	ELECTRICAL DETAILS	07.29.2016
E602	ELECTRICAL DETAILS	07.29.2016
E603	ELECTRICAL DETAILS	07.29.2016
E604	ELECTRICAL DETAILS	07.29.2016
E701	ELECTRICAL SCHEDULES	07.29.2016
E702	ELECTRICAL SCHEDULES	07.29.2016
E703	ELECTRICAL SCHEDULES	07.29.2016

SYSTEMS

ES001	SYSTEMS SYMBOLS LEGEND AND GENERAL NOTES	07.29.2016
ES100	SYSTEMS SITE PLAN	07.29.2016
ESD213	SYSTEMS DEMO PLAN – BUILDING 11	07.29.2016
ESD214	SYSTEMS DEMO PLAN – BUILDING 12	07.29.2016
ES211	PARTIAL SYSTEMS PLAN – BUILDING 100	07.29.2016
ES212	PARTIAL SYSTEMS PLAN – BUILDING 100	07.29.2016
ES213	SYSTEMS PLAN – BUILDING 11	07.29.2016
ES214	SYSTEMS PLAN – BUILDING 12	07.29.2016
ES411	ENLARGED TELECOMMUNICATION ROOMS	07.29.2016
ES601	FIRE ALARM RISER DIAGRAMS	07.29.2016
ES602	DATA AND INTERCOM RISERS	07.29.2016
ES603	ACCESS CONTROL AND INTRUSION DETECTION RISERS	07.29.2016
ES701	SYSTEMS EQUIPMENT ELEVATIONS	07.29.2016
ES801	SYSTEMS DETAILS	07.29.2016
ES802	SYSTEMS DETAILS	07.29.2016
ES803	SYSTEMS DETAILS	07.29.2016
ES804	SYSTEMS DETAILS	07.29.2016
ES805	SYSTEMS DETAILS	07.29.2016
ES806	SYSTEMS DETAILS	07.29.2016

SPECIFICATIONS

Specifications dated July 29, 2016 from Song + Associates, Inc.

Group	pckge	bid item	Description	Takeoff Quantity	Total Cost/Unit	Total Amount
			New Classroom Building (41,050 sf)			
01-00-00.00			GENERAL REQUIREMENTS			
	01C		CONSTRUCTION REQUIREMENTS			
			Construction Requirements	12.00 mo	29,166.67 /mo	350,000
			01C CONSTRUCTION REQUIREMENTS		/sf	350,000
			GENERAL REQUIREMENTS		/sf	350,000
03-00-00.00			CONCRETE			
	03A		CAST IN PLACE CONCRETE			
			Equipment Pads	1,000.00 sf	16.79 /sf	16,786
			Footings, Column Pads	46.00 cy	615.49 /cy	28,313
			Footings, Continuous	186.00 cy	615.49 /cy	114,482
			Slab on Grade, 5"	42,475.00 sf	6.71 /sf	285,198
			CIP steps at stage	220.00 sf	22.38 /sf	4,924
			Concrete Tilt-Walls	18,643.00 sf	21.26 /sf	396,397
			03A CAST IN PLACE CONCRETE		/sf	846,100
			CONCRETE		/sf	846,100
05-00-00.00			METALS			
	05A		STRUCTURAL STEEL			
			Roof Deck	41,108.00 sf	2.00 /sf	82,216
			Columns, beams, bar joist, roof deck, floor deck	41,108.00 sf	9.00 /sf	369,972
			Misc. steel, roof edge, bridging, bracing, bent plate	41,108.00 sf	1.75 /sf	71,939
			05A STRUCTURAL STEEL		/sf	524,127
			METALS		/sf	524,127
07-00-00.00			THERMAL AND MOISTURE PROTECTION			
	07A		DAMPPROOFING, WATERPROOFING			
			Dampproofing, Waterproofing and Sealants	41,108.00 sf	0.25 /sf	10,277
			07A DAMPPROOFING, WATERPROOFING		/sf	10,277
	07B		ROOFING SYSTEM, HORIZONTAL			
			Membrane Roofing	41,108.00 sf	8.00 /sf	328,864
			Lightweight Roof Deck	41,108.00 sf	6.00 /sf	246,648
			07B ROOFING SYSTEM, HORIZONTAL		/sf	575,512
			THERMAL AND MOISTURE PROTECTION		/sf	585,789
08-00-00.00			OPENINGS			
	08A		DOORS, FRAMES, FINISH HARDWARE			
			Hollow Metal Door Frames	114.00 ea	285.00 /ea	32,490
			Hollow Metal Window Frames	8.00 ea	315.00 /ea	2,520
			Hollow Metal Doors	17.00 lvs	400.00 /lvs	6,800
			Wood Doors	112.00 lvs	400.00 /lvs	44,800
			Hardware Sets	129.00 ea	600.00 /ea	77,400
			Labor, Door Installation	129.00 ea	200.00 /ea	25,800
			08A DOORS, FRAMES, FINISH HARDWARE		/sf	189,810
	08B		STOREFRONT, CURTAINWALL, GLASS			
			Storefront Doors	4.00 lvs	3,750.00 /lvs	15,000
			Storefronts to 12'6"H	232.00 sf	60.00 /sf	13,920
			Window, 6/8 x 5/0 (35 sf/ea)	29.00 ea	1,750.00 /ea	50,750
			Window, 6/8 x 6/0 (40 sf/ea)	8.00 ea	2,000.00 /ea	16,000
			Interior Glazing, Borrowed Lites	1.00 ls	6,000.00 /ls	6,000
			Control Booth Room 106B Frame/Glazing	2.00 ea	1,500.00 /ea	3,000
			Firelite Glazing	1.00 ls	5,000.00 /ls	5,000
			Unframed mirrors	1.00 ls	2,000.00 /ls	2,000
			08B STOREFRONT, CURTAINWALL, GLASS		/sf	111,670
	08E		WINDOW TESTING			
			Subcontractor, Window Testing	1.00 ls	3,000.00 /ls	3,000
			08E WINDOW TESTING		/sf	3,000
			OPENINGS		/sf	304,480
09-00-00.00			FINISHES			
	09A		DRYWALL, FRAMING			
			Drywall, Framing, Interior Partition	55,541.00 sf	6.50 /sf	361,017
			Drywall, Framing, Furring at Tilt-up Panels	18,643.00 sf	3.80 /sf	70,839
			Drywall, Framing, Ceilings	4,016.00 sf	7.60 /sf	30,520
			09A DRYWALL, FRAMING		/sf	462,376
	09C		ACOUSTICAL CEILINGS, TREATMENTS			
			Acoustical Ceiling System, Standard	42,632.00 sf	1.75 /sf	74,606
			Acoustical Ceiling System, Acoustic	877.00 sf	2.50 /sf	2,193
			Acoustical Ceiling System, Vinyl Faced	5,716.00 sf	3.00 /sf	17,148
			Acoustical Treatments	1.00 ls	3,000.00 /ls	3,000

Group	pckge	bid item	Description	Takeoff Quantity	Total Cost/Unit	Total Amount
			09C ACOUSTICAL CEILINGS, TREATMENTS		**/sf**	**96,947**
	09D		**PAINTING, COATINGS, WALLCOVERINGS**			
			Paint Interior Drywall	119,154.00 sf	0.65 /sf	77,450
			Paint Exterior Tilt-up Panels	18,643.00 sf	1.50 /sf	27,965
			Concrete w/ Sealer	2,063.00 sf	1.00 /sf	2,063
			09D PAINTING, COATINGS, WALLCOVERINGS		**/sf**	**107,478**
	09E		**CARPET, RESILIENT FLOORING**			
			Carpet Flooring	1,831.00 sy	27.00 /sy	49,437
			VCT Flooring	14,967.00 sf	2.50 /sf	37,418
			Rubber Base	6,221.00 lf	2.00 /lf	12,442
			Minor Floor Prep	1.00 ls	3,500.00 /ls	3,500
			Calcium Chloride Test	30.00 ea	25.00 /ea	750
			Floor Wax, 6 Coats	30,769.00 sf	0.20 /sf	6,006
			Attic Stock	1.00 ls	2,000.00 /ls	2,000
			09E CARPET, RESILIENT FLOORING		**/sf**	**111,553**
	09F		**TILE FLOORING**			
			Ceramic Tile Flooring	1,547.00 sf	8.00 /sf	12,376
			Ceramic Wall Tile to 9'-0"	2,000.00 sf	8.00 /sf	16,000
			Ceramic Tile Base	771.00 lf	8.00 /lf	6,168
			Quarry Tile Flooring	2,855.00 sf	8.00 /sf	22,840
			Quarry Tile Base	560.00 lf	8.00 /lf	4,480
			Ceramic Wall Tile to 9'-0" at Kitchen	5,040.00 sf	8.00 /sf	40,320
			Window sills	560.00 lf	35.00 /lf	19,600
			09F TILE FLOORING		**/sf**	**121,784**
			FINISHES		**/sf**	**900,137**
10-00-00.00			**SPECIALTIES**			
	10B		**FIRE EXTINGUISHERS, CABINETS**			
			Subcontractor, Fire Extinguishers, Cabinets	10.00 ea	285.00 /ea	2,850
			Subcontractor, Fire Extinguishers	6.00 ea	100.00 /ea	600
			10B FIRE EXTINGUISHERS, CABINETS		**/sf**	**3,450**
	10C		**SIGNAGE**			
			Signage, Exterior, Monument, Internally Illuminated	1.00 ea	1,500.00 /ea	1,500
			Signage, Exterior, Letters, 3" High, Cast Bronze	8.00 ea	125.00 /ea	1,000
			Signage, Exterior, Letters, 6" High, Cast Bronze	50.00 ea	175.00 /ea	8,750
			Signage, Exterior, Letters, 10" High, Cast Aluminum	14.00 ea	225.00 /ea	3,150
			Signage, Exterior, Letters, 14" High, Cast Aluminum	21.00 ea	250.00 /ea	5,250
			Signage, Exterior, Plaques, 18" x 24", Cast Bronze	2.00 ea	275.00 /ea	550
			Signage, Engraved Interior Panel, Door Sign, 8" x 2"	182.00 ea	60.00 /ea	10,920
			Signage, Engraved Interior Panel, Door Sign, 8" x 8"	150.00 ea	60.00 /ea	9,000
			Signage, Engraved Interior Panel, Door Sign, 12" x 12"	45.00 ea	60.00 /ea	2,700
			Signage, Engraved Interior Panel, Graphic Symbols, 8" x 8"	50.00 ea	60.00 /ea	3,000
			10C SIGNAGE		**/sf**	**45,820**
	10M		**VISUAL DISPLAY BOARDS**			
			Visual Display Boards	1.00 ls	25,000.00 /ls	25,000
			10M VISUAL DISPLAY BOARDS		**/sf**	**25,000**
	10N		**MISCELLANEOUS SPECIALTIES**			
			Subcontractor, Misc Specialties	1.00 ls	43,000.00 /ls	43,000
			10N MISCELLANEOUS SPECIALTIES		**/sf**	**43,000**
	10P		**BIKE RACKS**			
			Bike Racks	1.00 ls	1,500.00 /ls	1,500
			10P BIKE RACKS		**/sf**	**1,500**
			SPECIALTIES		**/sf**	**118,770**
11-00-00.00			**EQUIPMENT**			
	11A		**FOOD SERVICE EQUIPMENT**			
			Food Service Equipment	1.00 ls	315,000.00 /ls	315,000
			11A FOOD SERVICE EQUIPMENT		**/sf**	**315,000**
	11C		**STAGE CURTAINS, EQUIPMENT**			
			Stage Curtains	1.00 ls	9,000.00 /ls	9,000
			11C STAGE CURTAINS, EQUIPMENT		**/sf**	**9,000**
	11D		**ATHLETIC EQUIPMENT**			
			Exterior Basketball Goals	4.00 ea	3,500.00 /ea	14,000
			11D ATHLETIC EQUIPMENT		**/sf**	**14,000**
	11I		**PLAYGROUND EQUIPMENT**			
			Playground, Modular, Youth Play	1.00 ls	32,616.76 /ls	32,617
			Playground, Mulch (2,500 sf, 1'-0" Depth)	90.00 cy	203.85 /cy	18,347
			Playground, Modular, Kindergarten Play	1.00 ls	28,539.67 /ls	28,540
			Playground Protective Surfacing	2,200.00 sf	13.86 /sf	30,497

Group	pckge	bid item	Description	Takeoff Quantity	Total Cost/Unit	Total Amount
			11I PLAYGROUND EQUIPMENT		/sf	110,000
	11J		MISC. EQUIPMENT			
			Misc. Equipment	1.00 ls	9,000.00 /ls	9,000
			11J MISC. EQUIPMENT		/sf	9,000
	11M		KILN			
			Kiln Equipment	1.00 ls	6,000.00 /ls	6,000
			11M KILN		/sf	6,000
			EQUIPMENT		/sf	463,000
12-00-00.00			FURNISHINGS			
	12A		CASEWORK			
			Base Cabinets, Tops	126.00 lf	190.00 /lf	23,940
			Wall Cabinets	119.00 lf	125.00 /lf	14,875
			Cubbies	109.00 lf	175.00 /lf	19,075
			Storage Cabinets	21.00 ea	450.00 /ea	9,450
			Reception Desk	20.00 lf	300.00 /lf	6,000
			Worktop	31.00 lf	175.00 /lf	5,425
			12A CASEWORK		/sf	78,765
	12C		WINDOW TREATMENTS			
			Blinds, Horizontal, Louver, 1" Aluminum Slats	1,500.00 sf	5.00 /sf	7,500
			12C WINDOW TREATMENTS		/sf	7,500
			FURNISHINGS		/sf	86,265
21-00-00.00			FIRE SUPPRESSION			
	21A		FIRE PROTECTION			
			Fire Sprinkler System	41,050.00 sf	2.50 /sf	102,625
			21A FIRE PROTECTION		/sf	102,625
			FIRE SUPPRESSION		/sf	102,625
22-00-00.00			PLUMBING			
	22A		PLUMBING			
			Plumbing Work	41,050.00 sf	10.00 /sf	410,500
			22A PLUMBING		/sf	410,500
			PLUMBING		/sf	410,500
23-00-00.00			HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)			
	23A		HVAC			
			HVAC Work	41,050.00 sf	30.00 /sf	1,231,500
			23A HVAC		/sf	1,231,500
	23B		TEST AND BALANCE			
			Test and Balance	1.00 ls	20,000.00 /ls	20,000
			23B TEST AND BALANCE		/sf	20,000
			HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)		/sf	1,251,500
26-00-00.00			ELECTRICAL			
	26A		ELECTRICAL			
			Electrical Work	41,050.00 sf	31.44 /sf	1,290,578
			26A ELECTRICAL		/sf	1,290,578
			ELECTRICAL		/sf	1,290,578
			New Classroom Building (41,050 sf)		**/sf**	**7,233,870**
			Existing Buildings 11 & 12 (21,480 sf)			
02-00-00.00			EXISTING CONDITIONS			
	02A		SELECTIVE DEMOLITION			
			Selective Demolition	21,430.00 sf	1.87 /sf	40,000
			02A SELECTIVE DEMOLITION		/sf	40,000
			EXISTING CONDITIONS		/sf	40,000
03-00-00.00			CONCRETE			
	03A		CAST IN PLACE CONCRETE			
			Concrete Cut/Patch/Repair at New Chilled Water Lines	8.00 ea	1,875.00 /ea	15,000
			03A CAST IN PLACE CONCRETE		/sf	15,000
			CONCRETE		/sf	15,000
07-00-00.00			THERMAL AND MOISTURE PROTECTION			
	07A		DAMPPROOFING, WATERPROOFING			
			Misc. caulking and sealants	21,480.00 sf	0.50 /sf	10,740
			Replace caulk joint at base of exterior wall	900.00 lf	4.00 /lf	3,600
			07A DAMPPROOFING, WATERPROOFING		/sf	14,340
			THERMAL AND MOISTURE PROTECTION		/sf	14,340
08-00-00.00			OPENINGS			
	08A		DOORS, FRAMES, FINISH HARDWARE			
			Replace lock cores	148.00 ea	200.00 /ea	29,600
			Protect existing doors during construction	148.00 ea	200.00 /ea	29,600

Group	pckge	bid item	Description	Takeoff Quantity	Total Cost/Unit	Total Amount
	08A		DOORS, FRAMES, FINISH HARDWARE			
			Replace Door Stops	148.00 ea	30.00 /ea	4,440
			08A DOORS, FRAMES, FINISH HARDWARE		/sf	63,640
			OPENINGS		/sf	63,640
09-00-00.00			FINISHES			
	09A		DRYWALL, FRAMING			
			Patch holes in existing walls	1.00 ls	5,000.00 /ls	5,000
			FRP splash guards at mop sinks	2.00 ea	500.00 /ea	1,000
			Replace drywall to 5'-0" at mechanical rooms	1,600.00 sf	4.00 /sf	6,400
			Replace drywall at existing doors (assume 1' x 10' strip)	32.00 ea	150.00 /ea	4,800
			Remove and install metal ceilings at breezeways	1.00 ls	2,000.00 /ls	2,000
			Cut/patch drywall ceiling for MEP work	1.00 ls	3,500.00 /ls	3,500
			09A DRYWALL, FRAMING		/sf	22,700
	09C		ACOUSTICAL CEILINGS, TREATMENTS			
			Acoustical Ceiling System, Standard	18,530.00 sf	1.75 /sf	32,428
			Acoustical Treatments	1.00 ls	2,000.00 /ls	2,000
			09C ACOUSTICAL CEILINGS, TREATMENTS		/sf	34,428
	09D		PAINTING, COATINGS, WALLCOVERINGS			
			Paint/Repair exterior of existing builidngs	***0.00 sf***	***0.00 /sf***	***0***
			Paint Interior Drywall	45,138.00 sf	0.65 /sf	29,340
			Concrete w/ Sealer	901.00 sf	1.00 /sf	901
			Touch up paint at casework	1.00 ls	2,000.00 /ls	2,000
			09D PAINTING, COATINGS, WALLCOVERINGS		/sf	32,241
	09E		CARPET, RESILIENT FLOORING			
			Carpet Flooring	1,573.00 sy	27.00 /sy	42,471
			VCT Flooring	3,997.00 sf	2.50 /sf	9,993
			Rubber Base	4,033.00 lf	2.00 /lf	8,066
			Minor Floor Patch	1.00 ls	2,000.00 /ls	2,000
			09E CARPET, RESILIENT FLOORING		/sf	62,530
	09F		TILE FLOORING			
			Regrout Ceramic Tile Flooring	647.00 sf	5.00 /sf	3,235
			Regrout Ceramic Wall Tile to 9'-0"	3,600.00 sf	5.00 /sf	18,000
			Replace Ceramic Tile Base	409.00 lf	10.00 /lf	4,090
			09F TILE FLOORING		/sf	25,325
			FINISHES		/sf	177,223
10-00-00.00			SPECIALTIES			
	10C		SIGNAGE			
			Replace Interior Signage	1.00 ls	3,000.00 /ls	3,000
			10C SIGNAGE		/sf	3,000
	10M		VISUAL DISPLAY BOARDS			
			Remove existing visual display boards	1.00 ls	4,000.00 /ls	4,000
			Tackstrip at corridors	300.00 lf	5.00 /lf	1,500
			10M VISUAL DISPLAY BOARDS		/sf	5,500
	10N		MISCELLANEOUS SPECIALTIES			
			Replace existing corner guards	1.00 ls	4,500.00 /ls	4,500
			10N MISCELLANEOUS SPECIALTIES		/sf	4,500
			SPECIALTIES		/sf	13,000
12-00-00.00			FURNISHINGS			
	12C		WINDOW TREATMENTS			
			Blinds, Horizontal, Louver, 1" Aluminum Slats	38.00 ea	150.00 /ea	5,700
			12C WINDOW TREATMENTS		/sf	5,700
			FURNISHINGS		/sf	5,700
21-00-00.00			FIRE SUPPRESSION			
	21A		FIRE PROTECTION			
			Fire Sprinkler System, Retrofit	21,480.00 sf	2.50 /sf	53,700
			Dry pipe system at breezeways	1,960.00 sf	6.00 /sf	11,760
			21A FIRE PROTECTION		/sf	65,460
			FIRE SUPPRESSION		/sf	65,460
22-00-00.00			PLUMBING			
	22A		PLUMBING			
			Replace floor bolt covers	1.00 ls	1,000.00 /ls	1,000
			Replace toilet seats	16.00 ea	200.00 /ea	3,200
			Replace water heaters	2.00 ea	7,500.00 /ea	15,000
			Replace sinks at classrooms	16.00 ea	2,000.00 /ea	32,000
			Replace mop sinks	2.00 ea	2,500.00 /ea	5,000
			22A PLUMBING		/sf	56,200

Group	pckge	bid item	Description	Takeoff Quantity	Total Cost/Unit	Total Amount
			PLUMBING		/sf	56,200
23-00-00.00			HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)			
	23A		HVAC			
			demo existing dx units	21,480.00 sf	25.50 /sf	547,740
			23A HVAC		/sf	547,740
	23B		TEST AND BALANCE			
			Test and Balance	1.00 ls	7,500.00 /ls	7,500
			23B TEST AND BALANCE		/sf	7,500
			HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)		/sf	555,240
26-00-00.00			ELECTRICAL			
	26A		ELECTRICAL			
			Electrical Work	21,480.00 sf	17.47 /sf	375,174
			26A ELECTRICAL		/sf	375,174
			ELECTRICAL		/sf	375,174
			Existing Buildings 11 & 12 (21,480 sf)		**/sf**	**1,380,977**
			PE Building, Coverd Play (3,145 sf)			
03-00-00.00			CONCRETE			
	03A		CAST IN PLACE CONCRETE			
			Pavilion - slab on grade	3,182.00 sf	6.00 /sf	19,092
			Pavilion - footings, tie-beams	29.00 cy	1,000.00 /cy	29,000
			24" round columns	4.00 cy	5,000.00 /cy	20,000
			03A CAST IN PLACE CONCRETE		/sf	68,092
			CONCRETE		/sf	68,092
04-00-00.00			MASONRY			
	04A		MASONRY			
			Pavilion - CMU, Exterior, Normal Weight, 8" Thick	2,200.00 sf	15.00 /sf	33,000
			04A MASONRY		/sf	33,000
			MASONRY		/sf	33,000
07-00-00.00			THERMAL AND MOISTURE PROTECTION			
	07A		DAMPPROOFING, WATERPROOFING			
			Dampproofing, Waterproofing and Sealants	618.00 sf	0.25 /sf	155
			07A DAMPPROOFING, WATERPROOFING		/sf	155
			THERMAL AND MOISTURE PROTECTION		/sf	155
08-00-00.00			OPENINGS			
	08A		DOORS, FRAMES, FINISH HARDWARE			
			Hollow Metal Door Frames	4.00 ea	285.00 /ea	1,140
			Hardware Sets	5.00 ea	600.00 /ea	3,000
			Labor, Door Installation	5.00 ea	200.00 /ea	1,000
			Hollow Metal Doors	5.00 lvs	400.00 /lvs	2,000
			08A DOORS, FRAMES, FINISH HARDWARE		/sf	7,140
			OPENINGS		/sf	7,140
09-00-00.00			FINISHES			
	09D		PAINTING, COATINGS, WALLCOVERINGS			
			Painting, Coatings - at PE Building	2,500.00 sf	2.00 /sf	5,000
			Concrete w/ Colorized Sealer	2,718.00 sf	2.00 /sf	5,436
			09D PAINTING, COATINGS, WALLCOVERINGS		/sf	10,436
	09E		CARPET, RESILIENT FLOORING			
			VCT Flooring	201.00 sf	2.50 /sf	503
			09E CARPET, RESILIENT FLOORING		/sf	503
	09F		TILE FLOORING			
			Ceramic Tile Flooring	105.00 sf	8.00 /sf	840
			Ceramic Wall Tile to 9'-0"	945.00 sf	8.00 /sf	7,560
			Ceramic Tile Base	58.00 lf	8.00 /lf	464
			09F TILE FLOORING		/sf	8,864
			FINISHES		/sf	19,803
10-00-00.00			SPECIALTIES			
	10C		SIGNAGE			
			Signage, Engraved Interior Panel, Door Sign, 8" x 2"	4.00 ea	60.00 /ea	240
			Signage, Engraved Interior Panel, Door Sign, 8" x 8"	4.00 ea	60.00 /ea	240
			10C SIGNAGE		/sf	480
			SPECIALTIES		/sf	480
13-00-00.00			SPECIAL CONSTRUCTION			
	13A		PRE-ENGINEERED METAL BUILDINGS			
			Pre-engineered Metal Building	3,145.00 sf	18.00 /sf	56,610
			13A PRE-ENGINEERED METAL BUILDINGS		/sf	56,610

Group	pckge	bid item	Description	Takeoff Quantity	Total Cost/Unit	Total Amount
			SPECIAL CONSTRUCTION		/sf	56,610
22-00-00.00			PLUMBING			
	22A		PLUMBING			
			Plumbing Work	3,145.00 sf	10.00 /sf	31,450
			22A PLUMBING		/sf	31,450
			PLUMBING		/sf	31,450
23-00-00.00			HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)			
	23A		HVAC			
			HVAC Work	3,145.00 sf	2.39 /sf	7,500
			23A HVAC		/sf	7,500
	23B		TEST AND BALANCE			
			Test and Balance	1.00 ls	1,000.00 /ls	1,000
			23B TEST AND BALANCE		/sf	1,000
			HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)		/sf	8,500
26-00-00.00			ELECTRICAL			
	26A		ELECTRICAL			
			Electrical Work	3,145.00 sf	18.63 /sf	58,593
			26A ELECTRICAL		/sf	58,593
			ELECTRICAL		/sf	58,593
			PE Building, Coverd Play (3,145 sf)		**/sf**	**283,822**
			Site Work			
02-00-00.00			EXISTING CONDITIONS			
	02C		BUILDING DEMOLITION			
			Building Demolition	0.00 sf	0.00 /sf	118,440
			Remove Existing Portables	0.00 ea	0.00 /ea	118,440
			02C BUILDING DEMOLITION		/sf	236,880
			EXISTING CONDITIONS		/sf	236,880
03-00-00.00			CONCRETE			
	03A		CAST IN PLACE CONCRETE			
			Site Concrete - 4" sidewalks, ramps	23,322.00 sf	4.00 /sf	93,288
			Site Concrete - 6" basketball court	11,800.00 sf	6.00 /sf	70,800
			Site Concrete - bollards	7.00 ea	150.00 /ea	1,050
			Site Concrete - canopy column footings	1.00 ls	25,000.00 /ls	25,000
			Site Concrete - dumpster footings	6.00 cy	550.00 /cy	3,300
			Site Concrete - dumpster pad	334.00 sf	8.00 /sf	2,672
			Site Concrete - bike rack pad	2,433.00 sf	5.00 /sf	12,165
			03A CAST IN PLACE CONCRETE		/sf	208,275
			CONCRETE		/sf	208,275
10-00-00.00			SPECIALTIES			
	10E		WALKWAY CANOPIES			
			Subcontractor, Walkway Canopy	7,000.00 sf	30.00 /sf	210,000
			10E WALKWAY CANOPIES		/sf	210,000
			SPECIALTIES		/sf	210,000
12-00-00.00			FURNISHINGS			
	12F		TEMPORARY TENT STRUCTURE			
			Temporary Tent Structure (Not in Contract)	***1.00 ls***	***0.00 /ls***	***0***
31-00-00.00			EARTHWORK			
	31A		EARTHWORK, SITE IMPROVEMENTS			
			Clearing and Demolition	***ls***	***/ls***	
			__Disc Site	16.00 Acre	1,300.00 /Acre	20,800
			__Demo Concrete	8,000.00 sy	12.00 /sy	96,000
			__Demo Curbs	2,500.00 lf	12.00 /lf	30,000
			__Demo Asphalt & Base	7,050.00 sy	14.00 /sy	98,700
			__Sawcut	250.00 lf	3.00 /lf	750
			__Demo Storm Pipe	875.00 lf	20.00 /lf	17,500
			__Demo Storm Structures	15.00 ea	600.00 /ea	9,000
			__Demo Dugouts	4.00 ea	1,000.00 /ea	4,000
			__Remove Fence	850.00 lf	5.00 /lf	4,250
			__Remove Misc. Items from Site	1.00 ls	5,000.00 /ls	5,000
			General Conditions	***ls***	***/ls***	
			__Mobilization	1.00 ls	8,513.11 /ls	8,513
			__Layout	1.00 ls	18,918.04 /ls	18,918
			__Temporary Entrance	1.00 ea	3,074.18 /ea	3,074
			__Silt Fence	3,700.00 lf	2.37 /lf	8,750
			__Tree Protection	1.00 ls	2,364.75 /ls	2,365
			__Inlet Protection	1.00 ls	1,182.37 /ls	1,182

Group	pckge	bid item	Description	Takeoff Quantity	Total Cost/Unit	Total Amount
	31A		EARTHWORK, SITE IMPROVEMENTS			
			__Protect Existing Sturctures/Playgrounds/Pavement/Sidewalks	1.00 ls	2,955.95 /ls	2,956
			__As-Builts	1.00 ls	13,006.15 /ls	13,006
			__MOT	1.00 ls	1,773.56 /ls	1,774
			Earthwork	***ls***	***/ls***	
			__Excavate Ponds	9,000.00 cy	5.32 /cy	47,886
			__Grade Building Pad	4,555.00 sy	1.66 /sy	7,540
			__Grade New Pavement	8,136.00 sy	1.66 /sy	13,468
			__Grade Stabilized Access Road	3,211.00 sy	1.66 /sy	5,315
			__Grade Site	1.00 ls	17,735.64 /ls	17,736
			Heavy Duty Paving	***ls***	***/ls***	
			__12" Stabilized Sub-Base	3,020.00 sy	2.90 /sy	8,748
			__8" Crushed Concrete Base	3,020.00 sy	14.19 /sy	42,849
			__2" S-3 Asphalt	3,020.00 sy	12.12 /sy	36,600
			Light Duty Paving	***ls***	***/ls***	
			__12" Stabilized Sub-Base	5,116.00 sy	2.90 /sy	14,820
			__6" Crushed Concrete Base	5,116.00 sy	10.00 /sy	51,160
			__1 1/2" S-3 Asphalt	5,116.00 sy	10.25 /sy	52,439
			Access Road, Markers and Topsoil	28,900.00 sf	1.00 /sf	28,900
			__12" Stabilized Sub-Base	3,211.00 sy	2.90 /sy	9,302
			__6" Crushed Concrete Base	3,211.00 sy	10.00 /sy	32,110
			Striping and Signage	1.00 ls	23,500.00 /ls	23,500
			Concrete Curbing	2,490.00 lf	12.00 /lf	29,880
			Storm Drainage	***ls***	***/ls***	
			__15" HDPE Pipe	560.00 lf	18.72 /lf	10,481
			__18" HDPE Pipe	700.00 lf	22.88 /lf	16,013
			__24" HDPE Pipe	440.00 lf	35.35 /lf	15,555
			__4" PVC Pipe	336.00 lf	14.56 /lf	4,891
			__6" PVC Pipe	98.00 lf	18.72 /lf	1,834
			__8" PVC Pipe	448.00 lf	27.04 /lf	12,112
			__10" PVC PIpe	280.00 lf	31.19 /lf	8,734
			__12" PVC Pipe	308.00 lf	37.43 /lf	11,529
			__Connect to Pipe	2.00 ea	1,192.65 /ea	2,385
			__Type "C" Inlet	13.00 ea	1,585.69 /ea	20,614
			__Type P-6 Inlet	3.00 ea	2,075.43 /ea	6,226
			__Yard Drains	15.00 ea	916.06 /ea	13,741
			__Control Structures	2.00 ea	3,246.24 /ea	6,492
			__Geotextile Fabric	1,500.00 sf	6.14 /sf	9,202
			__12" MES	1.00 ea	1,367.32 /ea	1,367
			__18" MES	1.00 ea	1,108.42 /ea	1,108
			__24" MES	1.00 ea	1,244.64 /ea	1,245
			__Roof Drains	12.00 ea	124.78 /ea	1,497
			__Cleanouts	4.00 ea	469.99 /ea	1,880
			__Various Fittings	1.00 ls	27,554.54 /ls	27,555
			__Testing	1,700.00 lf	1.56 /lf	2,651
			__Dewatering	1.00 ls	5,198.96 /ls	5,199
			Sanitary Sewer	***ls***	***/ls***	
			__8" SDR 35 PVC Pipe	378.00 lf	30.74 /lf	11,620
			__6" SDR 35 PVC Pipe	126.00 lf	21.28 /lf	2,682
			__Connect to Pipe	1.00 ea	591.19 /ea	591
			__0-6 MH	3.00 ea	2,955.94 /ea	8,868
			__Cleanouts	3.00 ea	413.83 /ea	1,242
			__Sewer Services	3.00 ea	738.99 /ea	2,217
			__Various Fittings	1.00 ls	886.78 /ls	887
			__Testing	504.00 lf	2.07 /lf	1,043
			__Dewatering	1.00 ls	5,911.88 /ls	5,912
			Watermain	***ls***	***/ls***	
			__4" DR 18 PVC Pipe	1,240.00 lf	16.55 /lf	20,526
			__2" PE Pipe	200.00 lf	11.82 /lf	2,365
			__1 1/2 PE Pipe	140.00 lf	9.46 /lf	1,324
			__16" X 4" Wet Tap	1.00 ea	8,276.63 /ea	8,277
			__Connect to Existing	1.00 ea	591.20 /ea	591
			__Temporary Jumper	1.00 ea	1,182.37 /ea	1,182
			__4" DDCV	2.00 ea	7,094.26 /ea	14,189
			__4" G.V.	2.00 ea	1,064.14 /ea	2,128
			__2" Domestic Service W/BFP	2.00 ea	4,138.33 /ea	8,277
			__1 1/2" Domestic Service W/BFP	1.00 ea	3,547.12 /ea	3,547
			__2" Irrigation Service W/BFP	1.00 ea	4,138.33 /ea	4,138
			__Various Fittings	1.00 ls	7,094.25 /ls	7,094

Group	pckge	bid item	Description	Takeoff Quantity	Total Cost/Unit	Total Amount
	31A		EARTHWORK, SITE IMPROVEMENTS			
			__Utility Permit	1.00 ls	591.19 /ls	591
			__Testing	1.00 ls	1,182.38 /ls	1,182
			Firemain	***ls***	***/ls***	
			__10" DR 14 PVC Pipe	1,240.00 lf	35.47 /lf	43,984
			__8" DR 14 PVC Pipe	200.00 lf	30.74 /lf	6,148
			__6" DR 14 PVC Pipe	140.00 lf	21.28 /lf	2,980
			__16" X 10" Wet Tap	1.00 ea	11,823.77 /ea	11,824
			__Connect to Stubout	1.00 ea	709.42 /ea	709
			__Temporary Jumper	1.00 ea	1,182.38 /ea	1,182
			__8" DDCV	1.00 ea	1,525.27 /ea	1,525
			__Fire Hydrant	3.00 ea	3,506.93 /ea	10,521
			__10" G.V.	2.00 ea	1,655.33 /ea	3,311
			__8" PIV	1.00 ea	2,955.94 /ea	2,956
			__8" FDC	1.00 ea	1,773.56 /ea	1,774
			__8" Building Riser	1.00 ea	1,773.56 /ea	1,774
			__Fire Permit	1.00 ls	591.19 /ls	591
			__Various Fittings	1.00 ls	7,685.45 /ls	7,685
			__Testing	1.00 ls	1,773.57 /ls	1,774
			Demo gazebo	1.00 ls	1,200.00 /ls	1,200
			__Import fill	8,500.00 cy	8.00 /cy	68,000
			31A EARTHWORK, SITE IMPROVEMENTS		/sf	1,229,516
			EARTHWORK		/sf	1,229,516
32-00-00.00			EXTERIOR IMPROVEMENTS			
	32A		FENCING, GATES			
			Fencing	1.00 ls	100,000.00 /ls	100,000
			32A FENCING, GATES		/sf	100,000
	32B		LANDSCAPING, IRRIGATION			
			Subcontractor, Landscaping and Irrigation	1.00 ls	100,000.00 /ls	100,000
			32B LANDSCAPING, IRRIGATION		/sf	100,000
	32C		PLAYCOURT STRIPING			
			Playcourt Striping at Basketball Courts	1.00 ls	5,000.00 /ls	5,000
			32C PLAYCOURT STRIPING		/sf	5,000
	40A		FIRE WATER TANK			
			Water Storage Tank (200,000 gallons)	1.00 ls	500,000.00 /ls	500,000
			40A FIRE WATER TANK		/sf	500,000
			EXTERIOR IMPROVEMENTS		/sf	705,000
			Site Work		**/sf**	**2,589,671**

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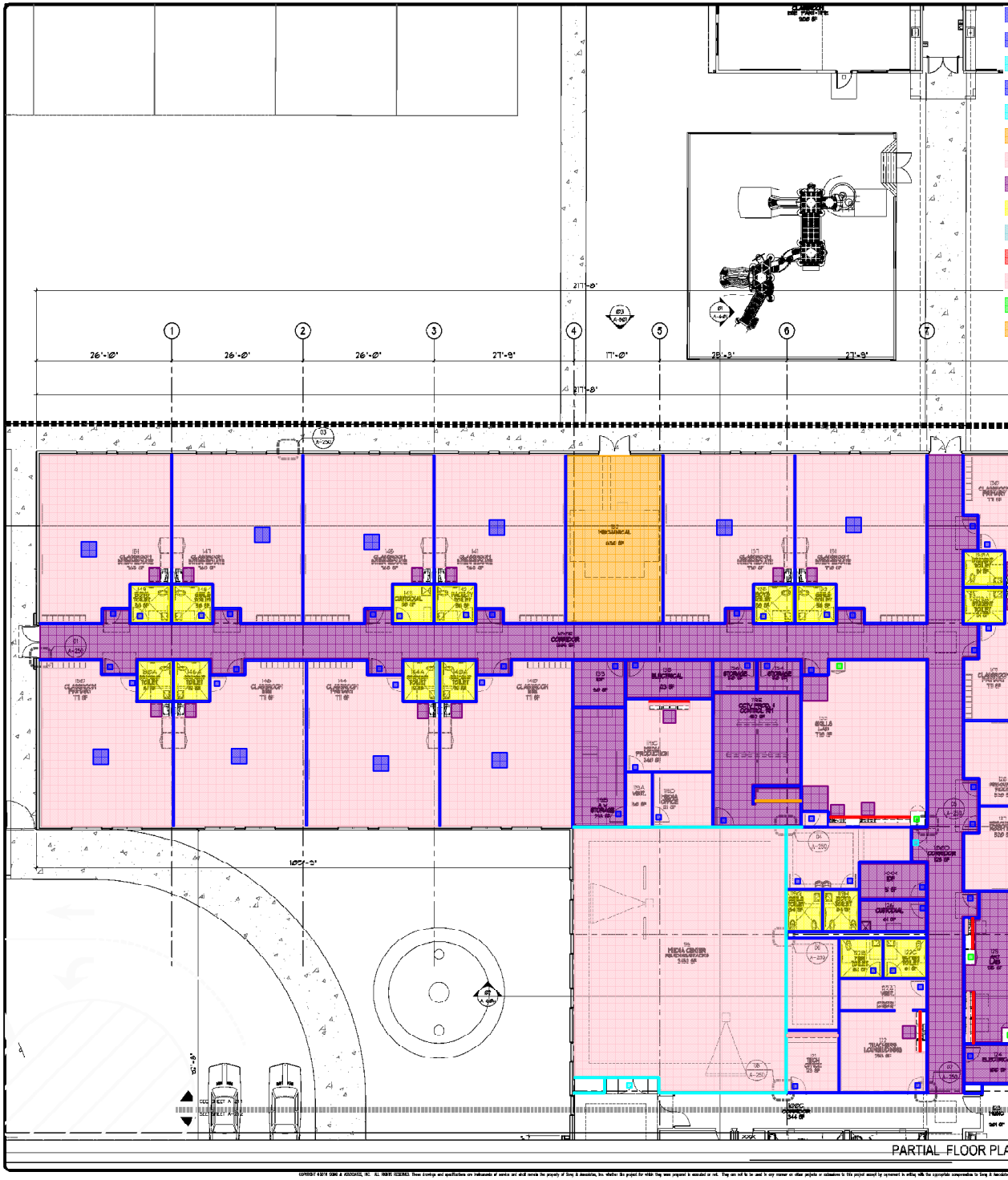

- (unassigned) - Classroom Casework - Q1 12 EA
- 08A Doors, Hardware - Interior Doors - Single - Q1 49 EA
- 08A Doors, Hardware - Interior Doors - Pair - Q1 2 EA
- 09A Drywall, Framing - 14'-6" - Interior - Q1 1,872 LF ; Q2 27,144 SF
- 09A Drywall, Framing - 18'-6" - Interior - Q1 152 LF ; Q2 2,817 SF
- 09D Painting - Sealed Concrete - Q1 689 SF ; Q2 136 LF
- 09E Flooring - Carpet - Q1 1,567 SY ; Q2 2,280 LF
- 09E Flooring - VCT - Q1 4,670 SF ; Q2 1,536 LF
- 09E Flooring - Bathroom Tile - Q1 850 SF ; Q2 467 LF
- 09E Flooring - Bathroom Tile - Q1 8 LF
- 12A Casework - Base Cabinets - Q1 95 LF
- 12A Casework - Wall Cabinets - Q1 88 LF
- 12A Casework - Storage Cabinets - Q1 17 EA
- 12A Casework - Worktop - Q1 9 LF

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CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
PARTIAL FLOOR PLAN - BUILDING 100

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

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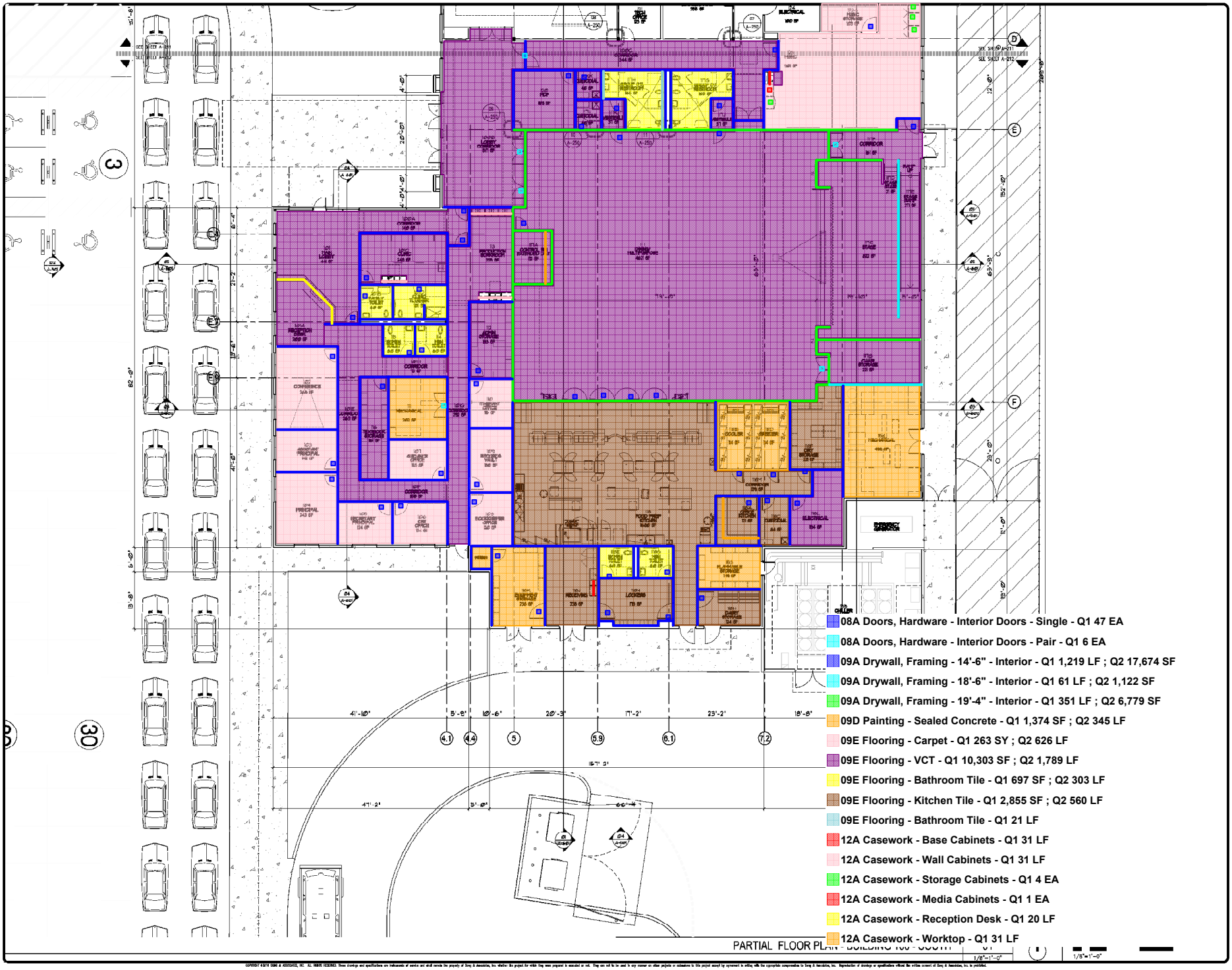

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CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
PARTIAL FLOOR PLAN - BUILDING 100

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

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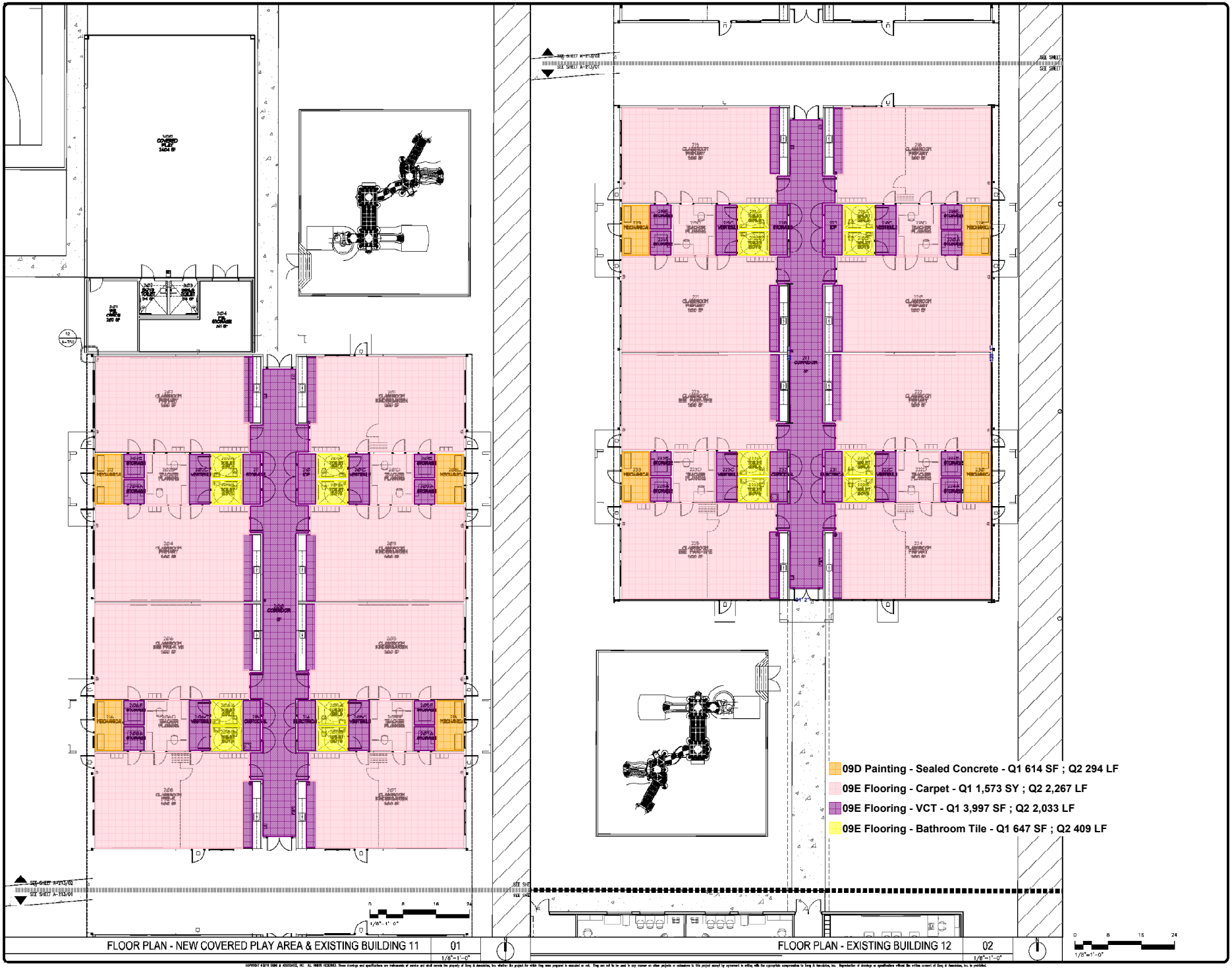

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CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
BUILDING 11, 12, AND NEW COVERED PLAY AREA

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

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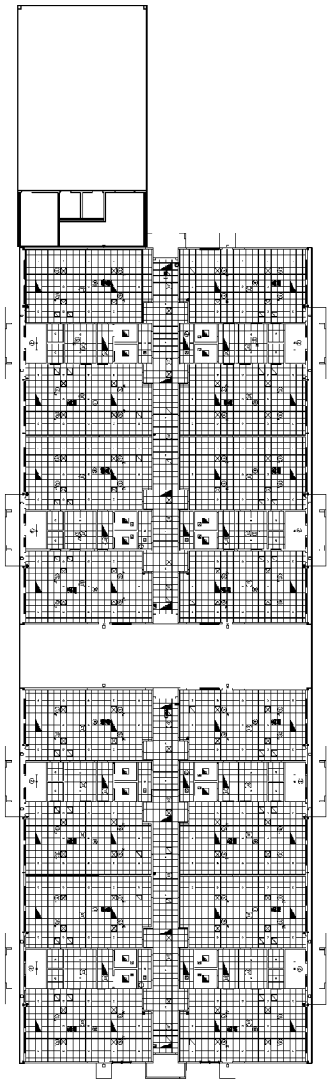
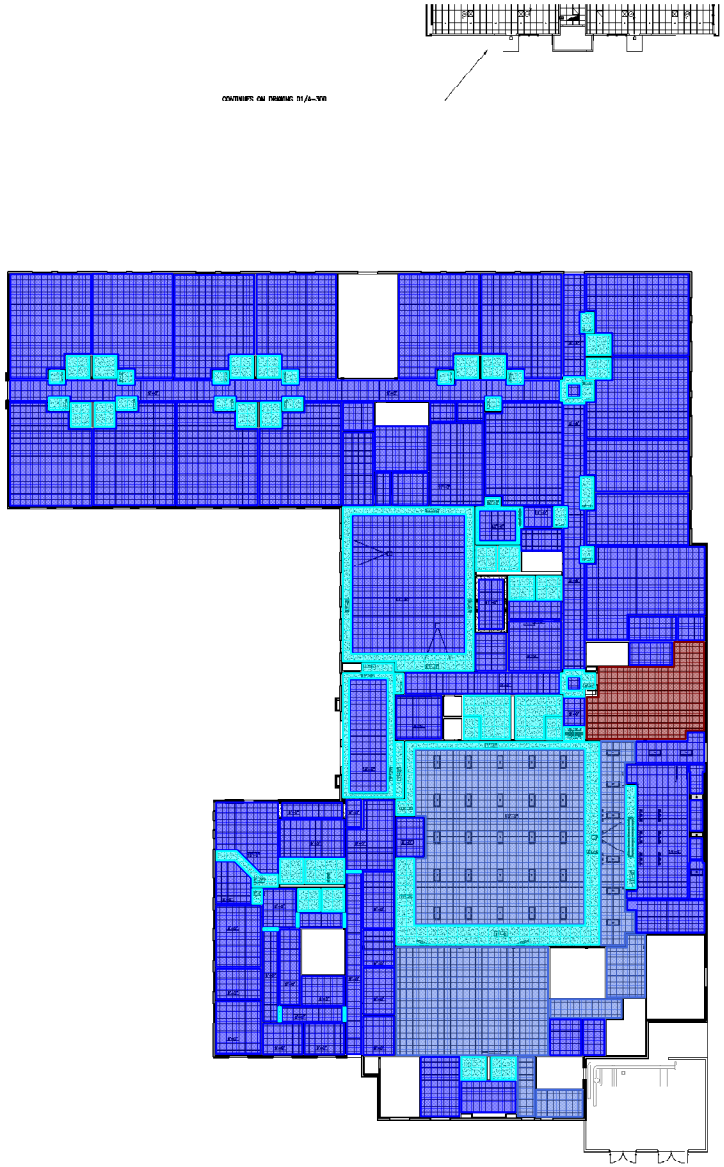


CONTINUES ON DRAWING 02/A-300

1/16"=1'-0"

FLOOR PLAN - EXISTING BLDG 11, 12 & NEW COVERED PLAY AREA | 01 | 1/16"=1'-0"



CONTINUES ON DRAWING 11/A-300

09A Drywall, Framing - Gypsum Ceilings - Q1 4,016 SF

09C Acoustical Ceilings - Acoustical Ceiling Tiles - Standard - Q1 24,102 SF

09C Acoustical Ceilings - Acoustical Ceiling Tiles - Acoustic - Q1 877 SF

09C Acoustical Ceilings - Acoustical Ceiling Tiles - Vinyl Faced - Q1 5,716 SF

1/16"=1'-0"

OVERALL FLOOR PLAN - BUILDING 100 | 02 | 1/16"=1'-0"

REFLECTED CEILING LEGEND

ROOM TAG: 1-100; X; X; X — ROOM NUMBER; ROOM NAME

DETAIL TAG: DETAIL NUMBER; SHEET NUMBER

DETAIL SECTION TAG: XXX/XXX — SHEET NUMBER; DETAIL NUMBER

CEILING HEIGHT TAG: 0'-0" — CEILING HEIGHT (AR MEASURED FROM FINISHED FLOOR)

- 2x2 LAY-IN FIXTURE
- 2x2 LAY-IN FIXTURE - EMERGENCY
- 2x4 LAY-IN FIXTURE
- 2x4 LAY-IN FIXTURE - EMERGENCY
- RECESSED FIXTURE
- RECESSED FIXTURE - EMERGENCY
- 2x4 SURFACE MOUNTED FIXTURE
- 2x4 SURFACE MOUNTED FIXTURE - EMERGENCY
- SURFACE MOUNTED FIXTURE
- SURFACE MOUNTED FIXTURE - EMERGENCY
- SUSPENDED FIXTURE
- SUSPENDED FIXTURE - EMERGENCY
- SUSPENDED PENDANT FIXTURE
- SUSPENDED PENDANT FIXTURE - EMERGENCY
- LIGHTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED
- LIGHTED EXIT SIGN - DOUBLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED
- LIGHTED DIRECTIONAL EXIT SIGN - SINGLE FACED ARROW INDICATES DIRECTION(S) TO EXIT
- LIGHTED DIRECTIONAL EXIT SIGN - DOUBLE FACED ARROW INDICATES DIRECTION(S) TO EXIT
- WALL SCONCE - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE
- EMERGENCY DUAL HEAD LIGHTING UNIT WITH BATTERY PACK
- STAGE LIGHT - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE
- STAGE LIGHT - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE
- 2' X 2' LAY IN ACOUSTICAL CEILING TILE (TYPE 1)
- GWB CEILING SOFFIT / BULKHEAD
- EXPOSED STRUCTURE
- WASHABLE ACOUSTICAL CEILING TILES
- RETURN AIR GRILLE
- SUPPLY AIR GRILLE
- EXHAUST GRILLE
- SMOKE DETECTOR
- HEAT DETECTOR
- SPRINKLER
- CEILING PROJECTOR
- SOUND DIFFUSER
- SURFACE MOUNTED NURSE CALL DOME LIGHT

GENERAL NOTES:

1. ALL FIXTURES AND DEVICES SHALL BE INSTALLED ON THE CENTERLINE OF CEILING TILE OR SPACE UNLESS OTHERWISE NOTED.
2. ALL SOFFITS SHALL ALIGN WITH WALLS OR CORNERS AT ALL LOCATIONS WHERE SOFFITS MEET WALLS OR CORNERS AS TO PROVIDE A FLUSH FINISH, UNLESS OTHERWISE NOTED.
3. TAPE AND FINISH ALL INSIDE JOINTS.
4. PROVIDE CORNER BEADS FOR ALL OUTSIDE JOINTS.
5. CONTRACTOR TO COORDINATE ALL DISCIPLINES TO ENSURE ALL DUCTWORK, EQUIPMENT, FIXTURES, PIPES, CONDUITS, SUSPENSION AND ACOUSTIC SYSTEMS NECESSARY TO MAINTAIN CEILING ELEVATIONS.
6. CONTRACTOR TO COORDINATE ALL DUCT LOCATIONS WITH OTHER TRADES.
7. ALL EXTERIOR STUCCO CEILING FRAMING TO BE PROVIDED IN SIGNED & SEALED SHOP DRAWINGS BY FL REGISTERED SHOP-DER.
8. SPRINKLERS NOT SHOWN REFER TO FIRE PROTECTION ENGINEERING DRAWINGS. PAINT UNDERSIDE OF SOFFIT TO MATCH FACE AND SIDES OF SOFFITS REFER TO AID SHEETS FOR PAINT COLOR & LOCATIONS
9. NOT USED
10. TYPICAL RESTROOM GWB CEILING SHALL BE 5/8" TYPE X UNO.
11. FIRE SPRINKLER SYSTEM IS A PERFORMANCE BASED DESIGN AS DESCRIBED BY THE FIRE PROTECTION ENGINEER WHERE POSSIBLE SPRINKLER HEADS SHOULD BE CENTERED IN CEILING TILES.

CODED NOTES:

1. AT VAN ACRYLIC WITH WALL
2. AT VAN ACRYLIC WITH CORNER
3. AT VAN ACRYLIC WITH FACE OF COLUMN

A. TYPE 3 - HIGH SOUND ABSORPTIVE/ REFLECTIVE CEILING TILE
B. TYPE 4 - STAIN RESISTANT GYPSUM CORE, VINYL CEILING TILE
C. TYPE 8 - STAIN RESISTANT VINYL PERFORATED CEILING TILE

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CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
OVERALL REFLECTED CEILING PLAN

ORANGE COUNTY PUBLIC SCHOOLS
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FACILITIES & ENVIRONMENTAL SERVICES
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ROOF DRAINAGE CALCULATIONS

ROOF DRAIN PROJECTED AREA

ROOF AREA NO.	ROOF AREA SF	VERTICAL SURFACE (½ OF AREA)	TOTAL PROJECTED AREA SF	TOTAL GPM REQUIRED (1)
RA-01	RA-01: 15,873 RA-02: 8,604 24,477	993	38,470	1304 GPM
+ RA-02	8,604	861	9,465	411 GPM
++ RA-03	7,762	889	8,651	433 GPM
RA-04	RA-04: 4,960 RA-03: 7,762 12,722	734	13,456	700 GPM
RA-05	3,136	430	3,626	186 GPM

OVERFLOW SCUPPER CALCULATIONS

	PRIMARY SCUPPER(2)				SECONDARY SCUPPER(2)			
	SCUPPERS PROVIDED	WEIR WIDTH	GPM PER SCUPPER	AREA PER SCUPPER	SCUPPERS PROVIDED	WEIR WIDTH	GPM PER SCUPPER	AREA PER SCUPPER
RA-01	4	24"	98 GPM	6,823 SF	8	13"	55 GPM	3,461 SF
+ RA-02	2	12"	280 GPM	9,384 SF	4	8"	120 GPM	2,307 SF
++ RA-03	2	12"	280 GPM	9,384 SF	4	8"	120 GPM	2,307 SF
RA-04	4	8"	187 GPM	3,588 SF	8	6"	90 GPM	1,730 SF
RA-05	2	12"	280 GPM	9,384 SF	4	8"	67 GPM	1,283 SF

+ RA-02 ROOF AREA IS DISTRIBUTED TO RA-01 ROOF AREA.
++ RA-03 ROOF AREA IS DISTRIBUTED TO RA-04 ROOF AREA.
(1) ROOF AREA X 9" RAINFALL PER HR X 0.00104 = GPM REQUIRED
(2) PER FBC TABLE 1106.1

SCUPPER SCHEDULE

PRIMARY SCUPPER

TYPE	WEIR WIDTH	ROUGH OPENING	REMARKS
S1	24"	28"	
S2	12"	14"	
S3	8"	10"	

OVERFLOW SCUPPER

TYPE	WEIR WIDTH	ROUGH OPENING	REMARKS
S1	12"	14"	
S2	8"	10"	
S3	6"	8"	

GENERAL NOTE:
1. FOR PRIMARY SCUPPER DETAIL - REFER TO DETAIL 03/A-450
2. FOR SECONDARY SCUPPER DETAIL - REFER TO DETAIL 02/A-450

ROOF LEGEND

DETAIL TAG — DETAIL NUMBER / SHEET NUMBER

RA-## ROOF NUMBER

DETAIL SECTION TAG — XXXX / SHEET NUMBER / DETAIL NUMBER

DIRECTION OF SLOPE (MIN 1/4" PER FT.)

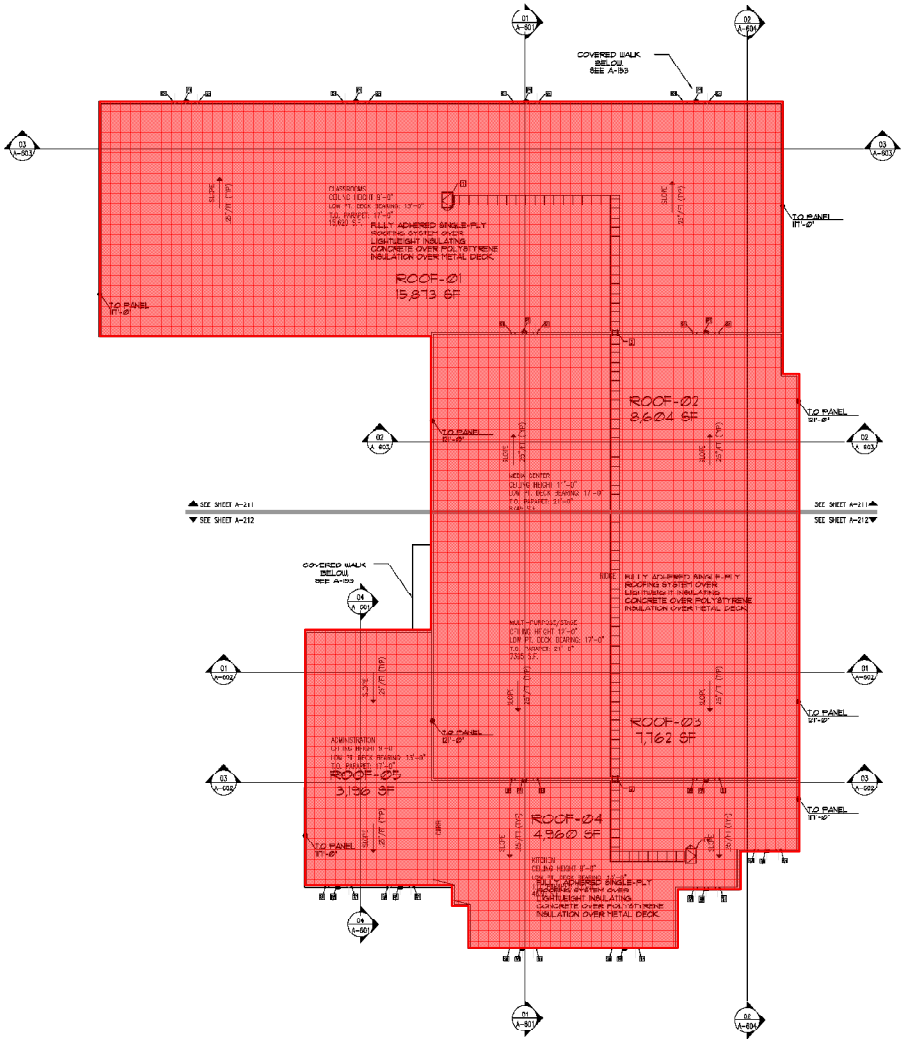
CODED NOTES

1. ROOF ACCESS HATCH
2. DRAIN SLOPE - REFER TO SHEET A-450
3. PARAPET LADDER
4. PRE-ENGINEERED/ PRE-FABRICATED ALUMINUM CANOPY SYSTEM
5. KITCHEN HOOD EXHAUST
6. ROOF TOP EXHAUST FAN. PROVIDE CRICKET AT ROOF CURB (TYPICAL)
7. VENT STACK WITH ROOF. REFER TO PLUMBING DRAWINGS. REFER TO DETAIL 01/A-450

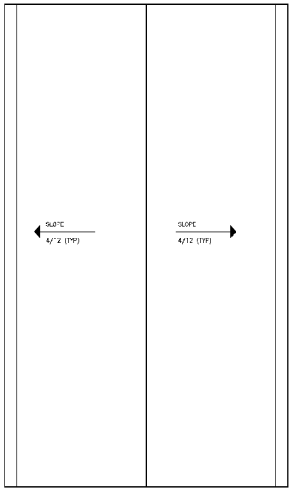
GENERAL NOTES

1. PROVIDE CRICKETS AT ALL ROOF EQUIPMENT CURBS AS REQUIRED AND IN COORDINATION WITH ROOF SLOPES.
2. TYPICAL CRICKET SLOPES AT 1/4".
3. WALKPAD PADS TO BE PROVIDED AROUND ACCESS HATCHES LOCATED AT EAVES AND TOP OF PARAPET ACCESS LADDERS/ AND ROOF TOP EQUIPMENT REQUIRING REGULAR MAINTENANCE.
4. ALL METAL LOCATED ON ROOF LEVEL SHALL BE STAINLESS STEEL.
5. ALL DIMENSIONS FOR PRIMARY AND SECONDARY SCUPPERS ARE TO CENTERLINE OF SCUPPERS.

ROOF WALKWAY PADS



07B Roofing - Roof Deck - Q1 41,108 SF ; Q2 1,064 LF



OVERALL ROOF PLAN - BUILDING 100 | 01 | 1/16"=1'-0" | GRAPHIC SCALE 0 8 16 32 48

OVERALL ROOF PLAN - COVERED PLAY AREA | 02 | 1/8"=1'-0" | GRAPHIC SCALE 0 8 16 24

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CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
OVERALL ROOF PLAN

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

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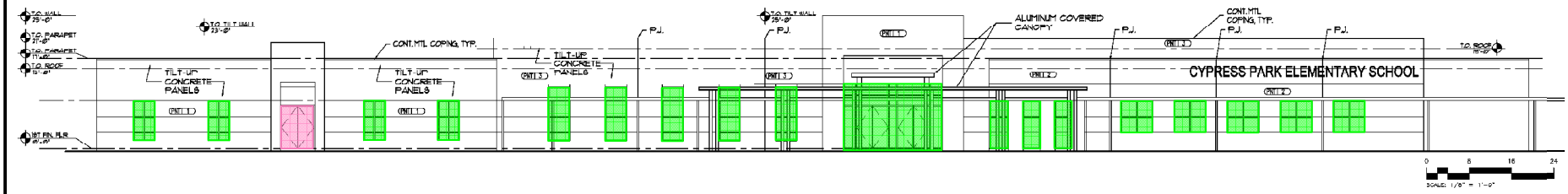
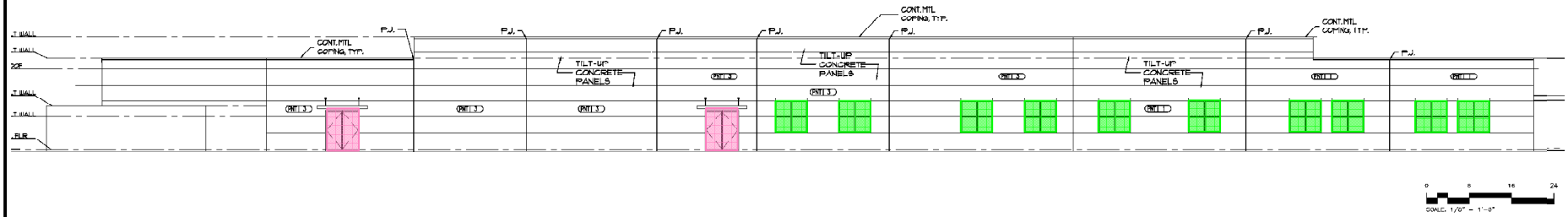


WEST ELEVATION 01 1/8" = 1'-0"

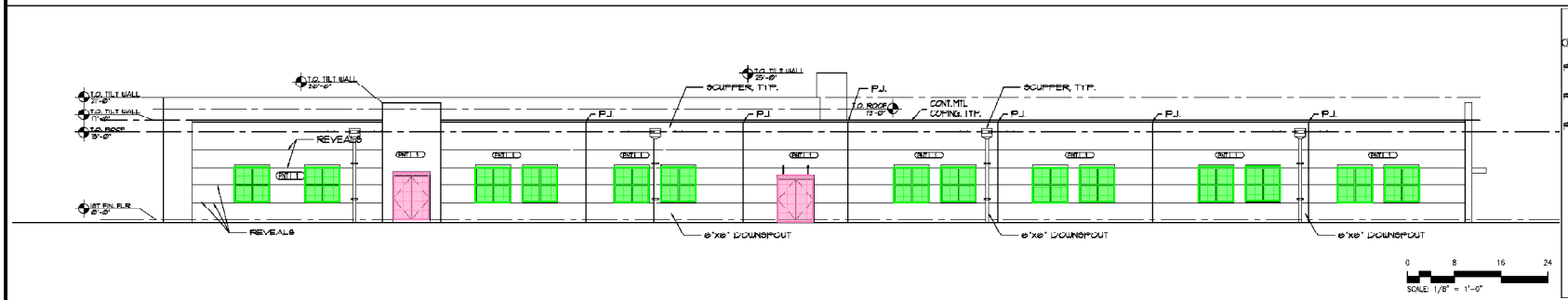
08A Doors, Hardware - Exterior Doors - Single - Q1 3 EA

08A Doors, Hardware - Exterior Doors - Pair - Q1 7 EA

08B Storefront, Glazing - Storefront/Windows - Q1 1,955 SF



EAST ELEVATION 02 1/8" = 1'-0"



ELEVATION PAINT LEGEND

XX FINISH PAINT NO. SEE SCHEDULE BELOW

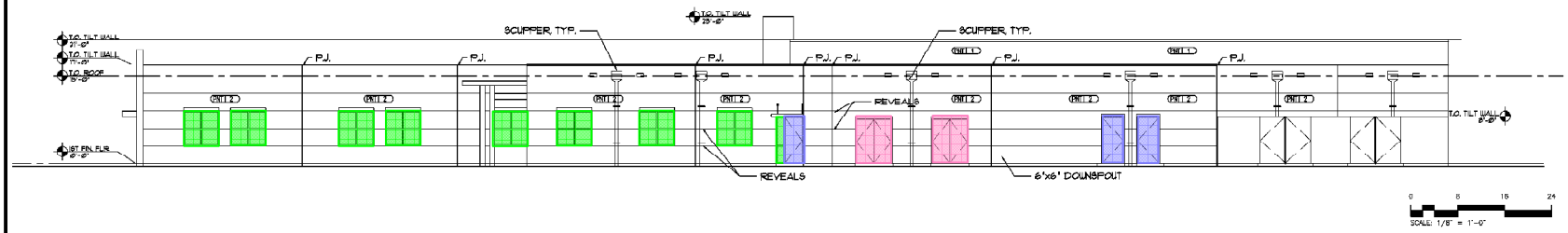
PNT-1 Benjamin Moore Color:CLOUD WHITE 967

PNT-2 Benjamin Moore Color:CORAL ROCK 032

PNT-3 Benjamin Moore Color:TAWNY BISQUE 1160

GENERAL NOTES:

NORTH ELEVATION 03 1/8" = 1'-0"



SOUTH ELEVATION 04 1/8" = 1'-0"

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Phone: 407-454-1905

CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
EXTERIOR ELEVATIONS

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

DRAWN: WA
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DATE: 6/8/16 SCALE: 1/8"
OCPS DRAWING FILE NAME: 0741_C0085_A500.dwg
SHEET NUMBER: A-501
OF (Total):

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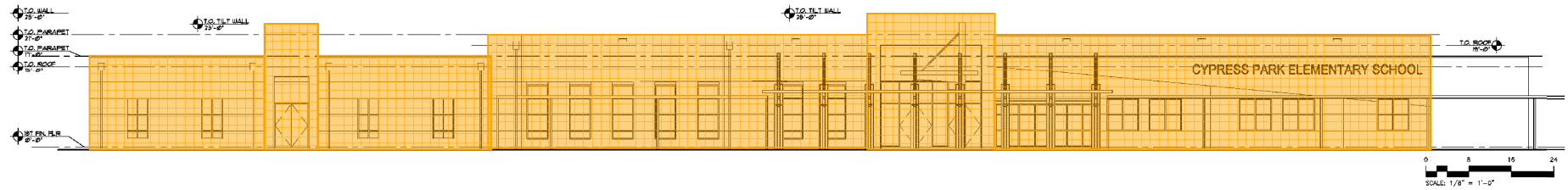
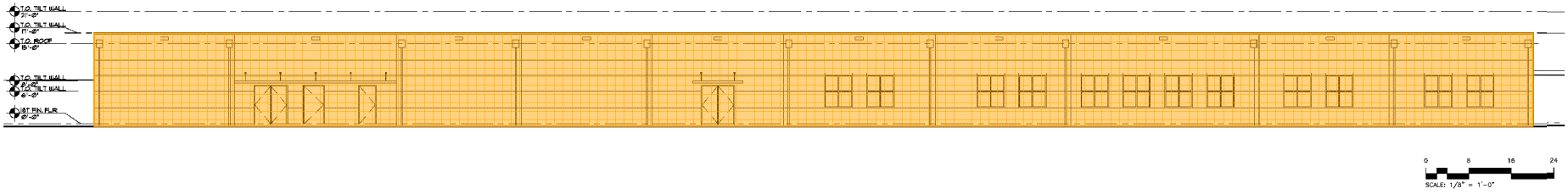
Document Issue Date: 29 July 2016

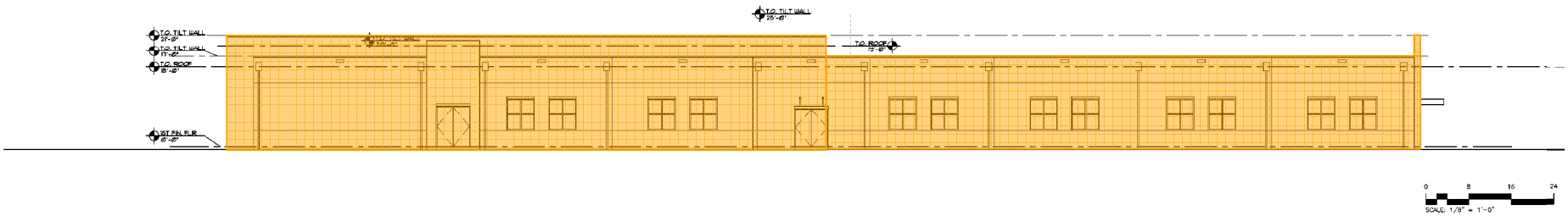


WEST ELEVATION 01
1/8" = 1'-0"

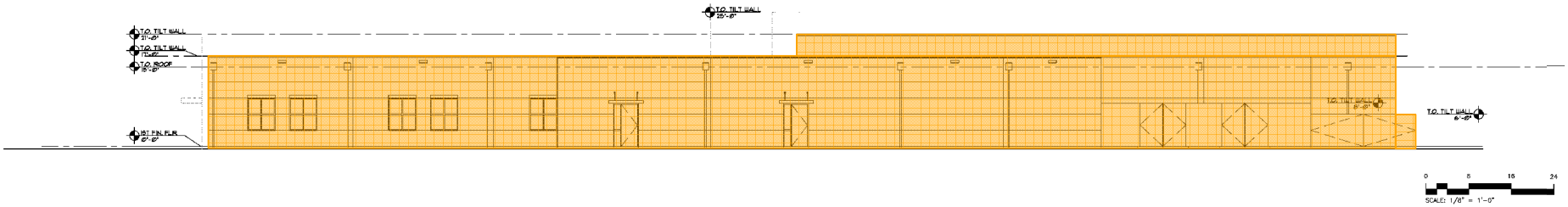
17 - Tilt Wall - 18,653 SF



EAST ELEVATION 02
1/8" = 1'-0"



NORTH ELEVATION 03
1/8" = 1'-0"



SOUTH ELEVATION 04
1/8" = 1'-0"

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CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
EXTERIOR ELEVATIONS

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

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DATE: 07/16	SCALE: 1/8"
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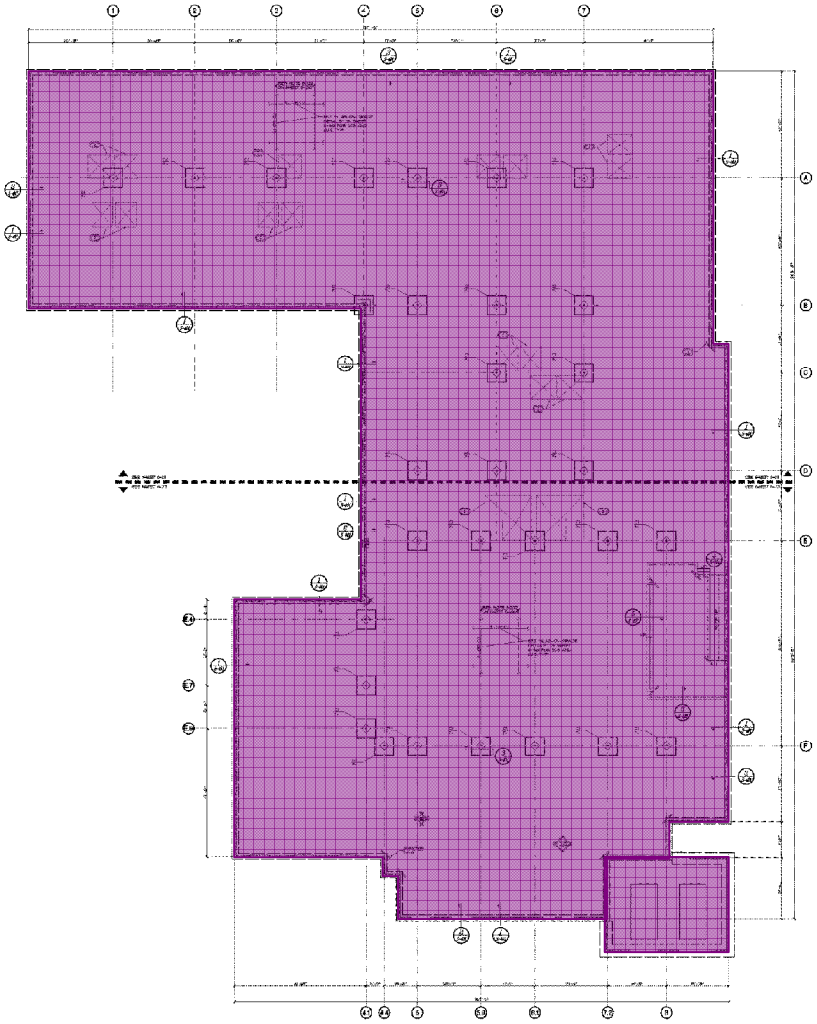
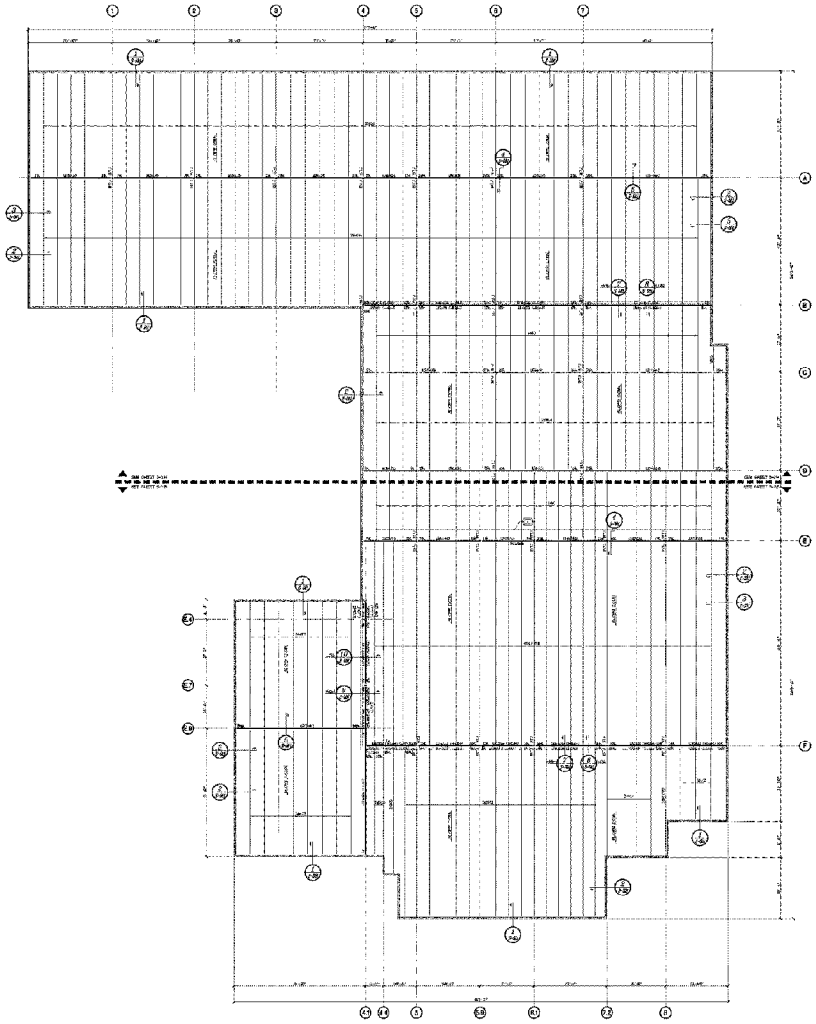
Document Issue Date: 29 July 2016



11 - Concrete Slab - 42,475 SF

OVERALL FOUNDATION PLAN - BUILDING 100 | 01 | 1/16"=1'-0"



OVERALL ROOF FRAMING PLAN - BUILDING 100 | 02 | 1/16"=1'-0"

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STRUCTURAL ENGINEERS
BOWEN ENGINEERING CORPORATION

REVISIONS	DATE	BY

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Song + Associates
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Phone 407-426-1615

CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No. C-0085
OVERALL FDN + ROOF FMG PLAN - BUILDING 100

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 3200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

DRAWN: NM
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DATE: SCALE: AS NOTED
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SHEET NUMBER: S-202

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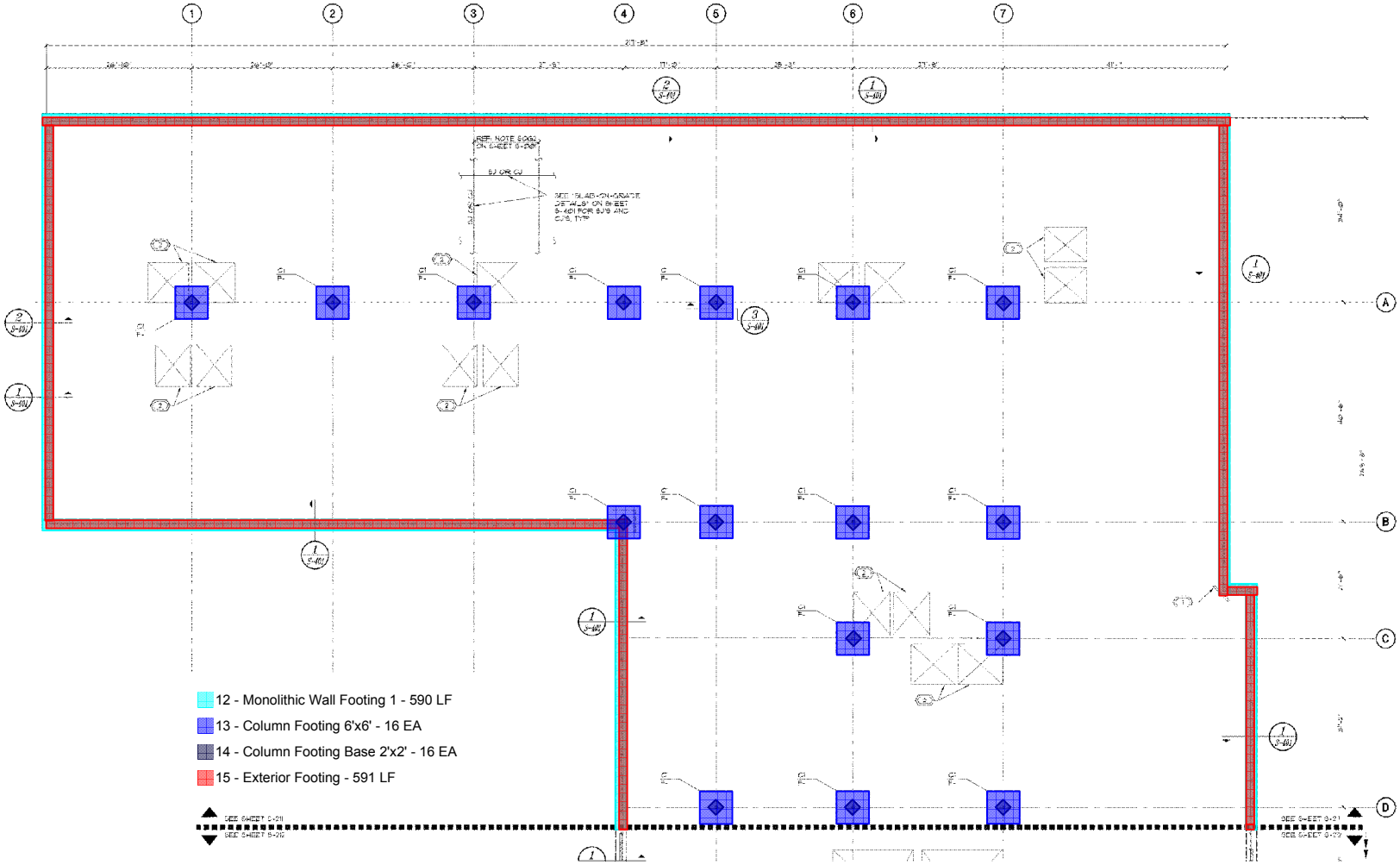

FOUNDATION PLAN NOTES:

1. FLOOR SLAB SHALL BE 5" THICK CONCRETE REINF WITH 6X6 W2.9x2.9, 20F, UNO IN ARCHITECTURAL SPECIFICATIONS. PROVIDE CLASS A 10 MIL (MIN) VAPOR RETARDER (WITH E 154-11) ON COMPACTED AND TERMITE TREATED SUBGRADE. SEE "SLAB-ON-GRADE DETAILS" ON SHEET S-401 FOR PLACEMENT OF REINF.
2. T/ SLAB EL. = 100'-0" (TYP, UNO). REFERENCE ONLY - SEE CIVIL DWGS FOR ACTUAL ELEVATION.
3. T/ WALL FTG EL. = 99'-8" (TYP, UNO).
4. T/ COL FTG EL. = 99'-8" (TYP, UNO).
5. ALL TILT-UP PANELS SHALL HAVE OVERALL THICKNESS OF 8 1/4" WHICH INCLUDES UP TO A 3/4" DEEP REVEAL ALLOWANCE, TYP.
6. ALL TILT UP PANELS ARE VIEWED FROM THE INSIDE OF THE BUILDING.
7. SHEAR AND/OR BOLEM FOUNDATIONS WHERE SHOWN AND AS NECESSARY TO AVOID INTERFERENCES WITH OTHER TRADES. SEE CONCRETE GENERAL NOTES FOR DETAILS AND DEDICATION. PARTICULAR ATTENTION SHALL BE PAID TO COORDINATE ENSURING THAT PROPER ACTIONS HAVE BEEN TAKEN TO PREVENT PIPES FROM CONFLICTING WITH THE FOUNDATION SYSTEM.
8. ALL FTGS ARE CENTERED BENEATH THE BEARING WALLS AND COLUMNS (TYP, UNO).
9. SEE SHEET S-502 FOR PANEL REINF, EMBEDDED ITEMS AND JOINT DETAILS.
10. SEE SHEETS S-601 THRU S-603 FOR STRUCTURAL GENERAL NOTES.
11. MAINTAIN STRUCTURAL SLAB THICKNESS AT ALL FLOOR SLOPES AND DEPRESSIONS, TYP UNO.
12. THE CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES, PIPES, ETC. WITH THE FOUNDATION PLAN AND FOUNDATION ELEVATIONS. FOOTING PENETRATION DETAILS MAY BE FOUND IN THE CONCRETE AND REINFORCING SECTION OF THE STRUCTURAL GENERAL NOTES.

FOUNDATION PLAN KEY NOTES:

1. (2) #5x4'-0" LONG @ 3'-0" OC PLACED 2" CLR FROM CORNER, CENTERED IN SLAB (TYP WHERE SHOWN)
2. INDICATES SLOPE IN SLAB MAINTAIN SLAB THICKNESS THROUGHOUT ENTIRE LENGTH OF THE SLOPE. REFER TO DWGS FOR EXACT SIZE + LOCATION

NOTE:
ALUMINUM CANOPY COLUMNS ARE NOT SHOWN. SEE S6-1 ON SHEET S-601 FOR MISCELLANEOUS ENGINEERING REQUIREMENTS. REF ARCHITECTURAL + CIVIL DRAWINGS FOR LOCATIONS.

NOTE:
FOUNDATIONS HERE NOT DESIGNED DUE TO INSUFFICIENT GEOTECHNICAL INFO AT THE TIME OF THIS SUBMITTAL. FOUNDATIONS WILL BE DESIGNED ONCE GEOTECHNICAL INFO IS RECEIVED.

FOUNDATION LEGEND:

- C - INDICATES STEEL COLUMN. SEE SCHEDULE ON SHEET S-701 FOR INFO.
- F - INDICATES PAD FOOTING. SEE FOUNDATION SCHEDULE ON SHEET S-701 FOR INFO.
- WF - INDICATES WALL FOOTING. SEE FOUNDATION SCHEDULE ON SHEET S-701 FOR INFO.
- MS - INDICATES MONOLITHIC SEDGE. SEE FOUNDATION SCHEDULE ON SHEET S-701 FOR INFO.

PARTIAL FOUNDATION PLAN - BUILDING 100 - NORTH 01

1/8" = 1'-0"

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BOWEN ENGINEERING CORPORATION

REVISIONS | DATE | BY

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Phone: 407-414-0400

CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
PARTIAL FOUNDATION PLAN - BUILDING 100 - NORTH

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 3200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

DRAWN: NRS
CHECKED: LEC
DATE: 2016-08-29
WORK DRAWING TITLE NAME: 074_C-0085_S-211
SHEET NUMBER: S-211

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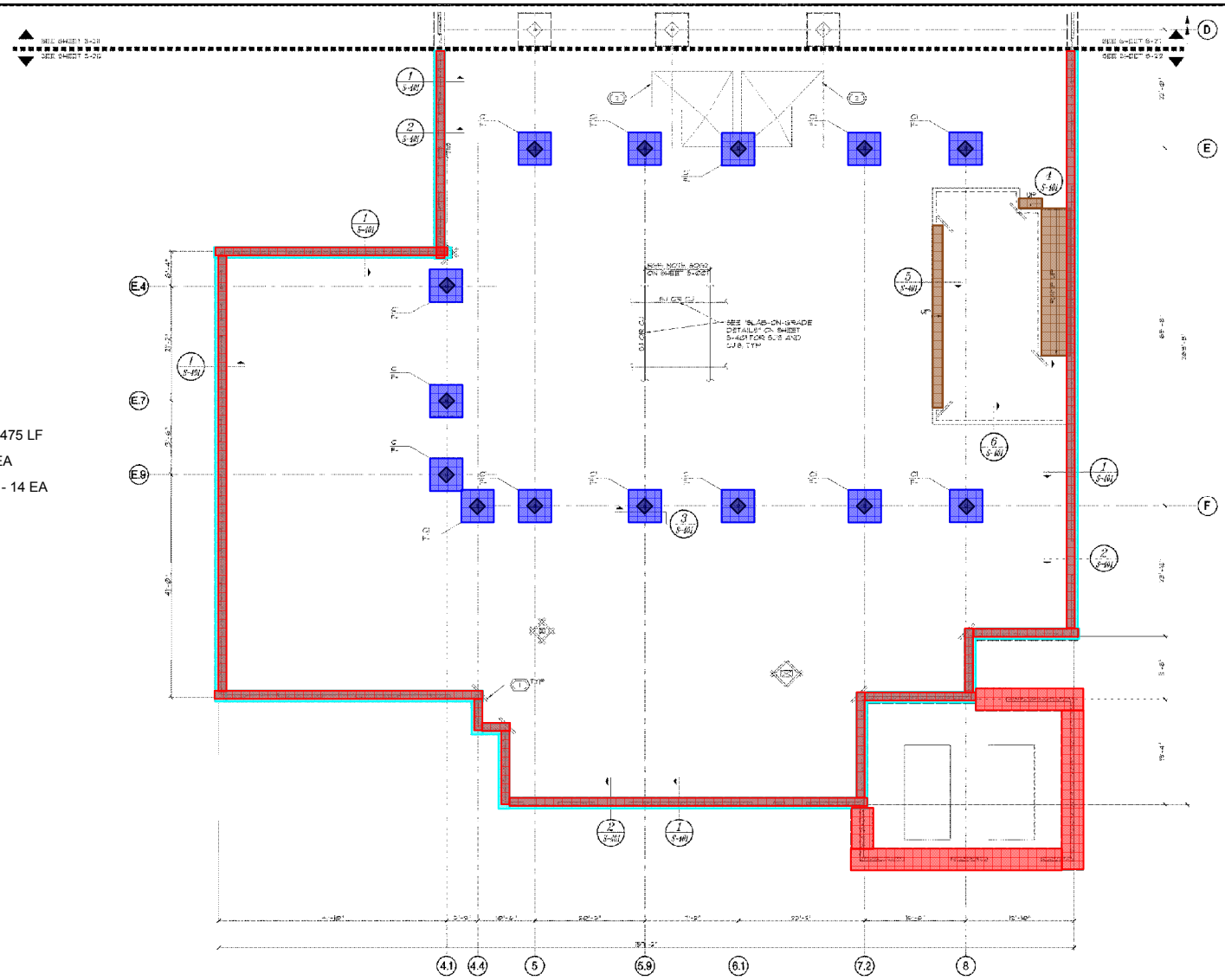
Document Issue Date: 29 July 2016

Document Name: F:\2016\16050\16050_IFC\16050_SDWGS\6050_Sdwgs\0741_C-0085_S-212.dwg
Document Issue Date: 29 July 2016

12 - Monolithic Wall Footing 1 - 475 LF
13 - Column Footing 6'x6' - 14 EA
14 - Column Footing Base 2'x2' - 14 EA
15 - Exterior Footing - 477 LF
16 - Exterior Footing 2 - 95 LF
18 - Untitled - 216 SF



FOUNDATION PLAN NOTES:

1. SEE SHEET S-211 FOR FOUNDATION PLAN NOTES.

FOUNDATION PLAN KEY NOTES:

(XX) SEE SHEET S-211 FOR FOUNDATION PLAN KEY NOTES.

PARTIAL FOUNDATION PLAN - BUILDING 100 - SOUTH 01

1/8"=1'-0"

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CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No. C-0085
PARTIAL FOUNDATION PLAN - BUILDING 100 - SOUTH

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
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SHEET NUMBER:
S-212

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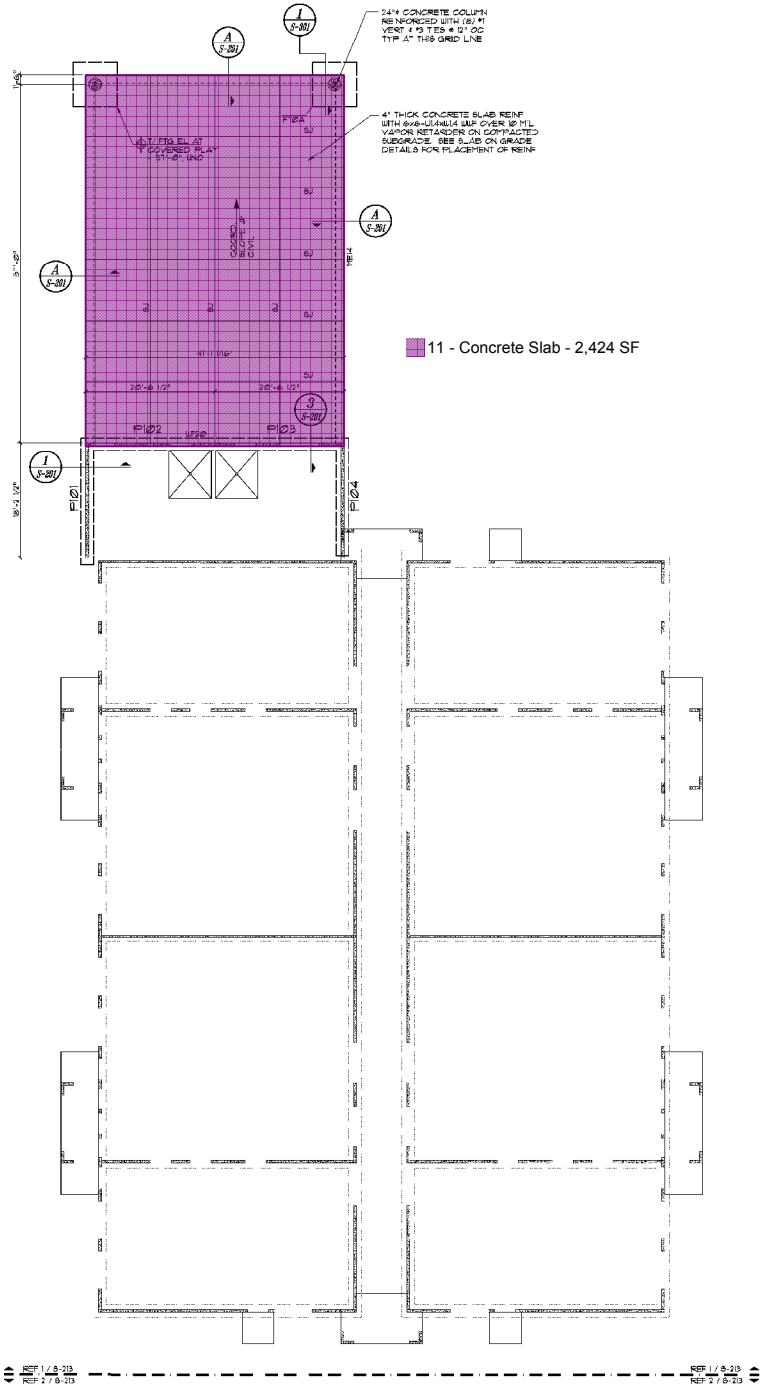
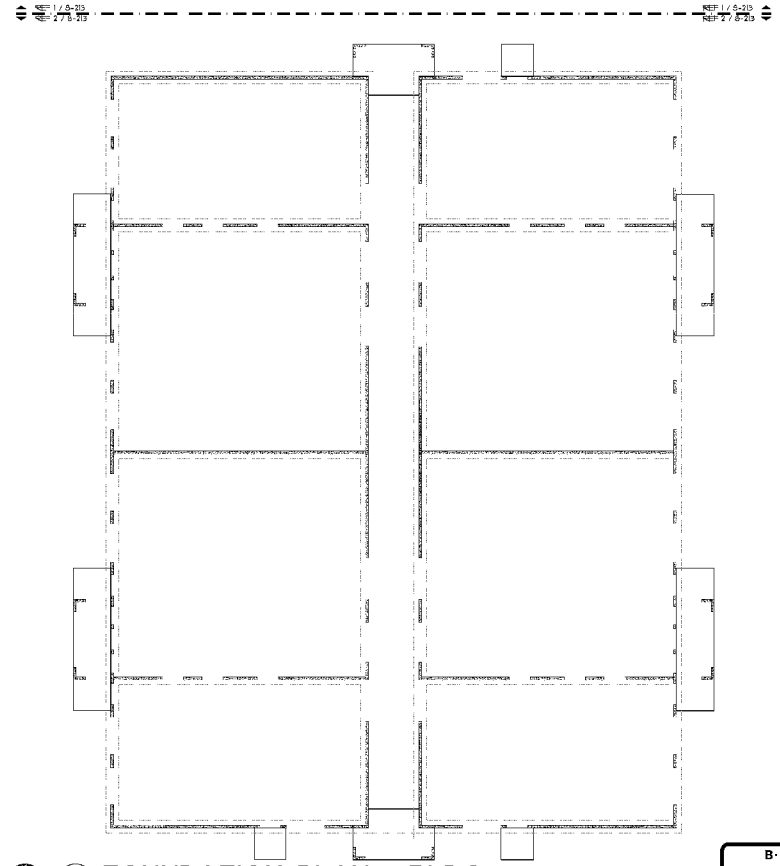


1 FOUNDATION PLAN - BLDG 12 + COVERED PLAY AREA

0 5 10 15 20 FEET



2 FOUNDATION PLAN - BLDG 11

0 5 10 15 20 FEET

B·B·M STRUCTURAL ENGINEERS Orlando • Stuart Boston

BOWEN ENGINEERING CORPORATION

REVISIONS | DATE | BY

Seal: NOT FOR CONSTRUCTION

PRINCIPAL ENTITY: Florida Professional Engineer Inc. 18313

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CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
FOUNDATION PLAN BLDG 11, 12 and COVERED PLAY

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 2200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

DRAWN: GK
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DATE: TBD SCALE: AS NOTED
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SHEET NUMBER: S-213
OF (Total):

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Document Issue Date: 29 July 2016

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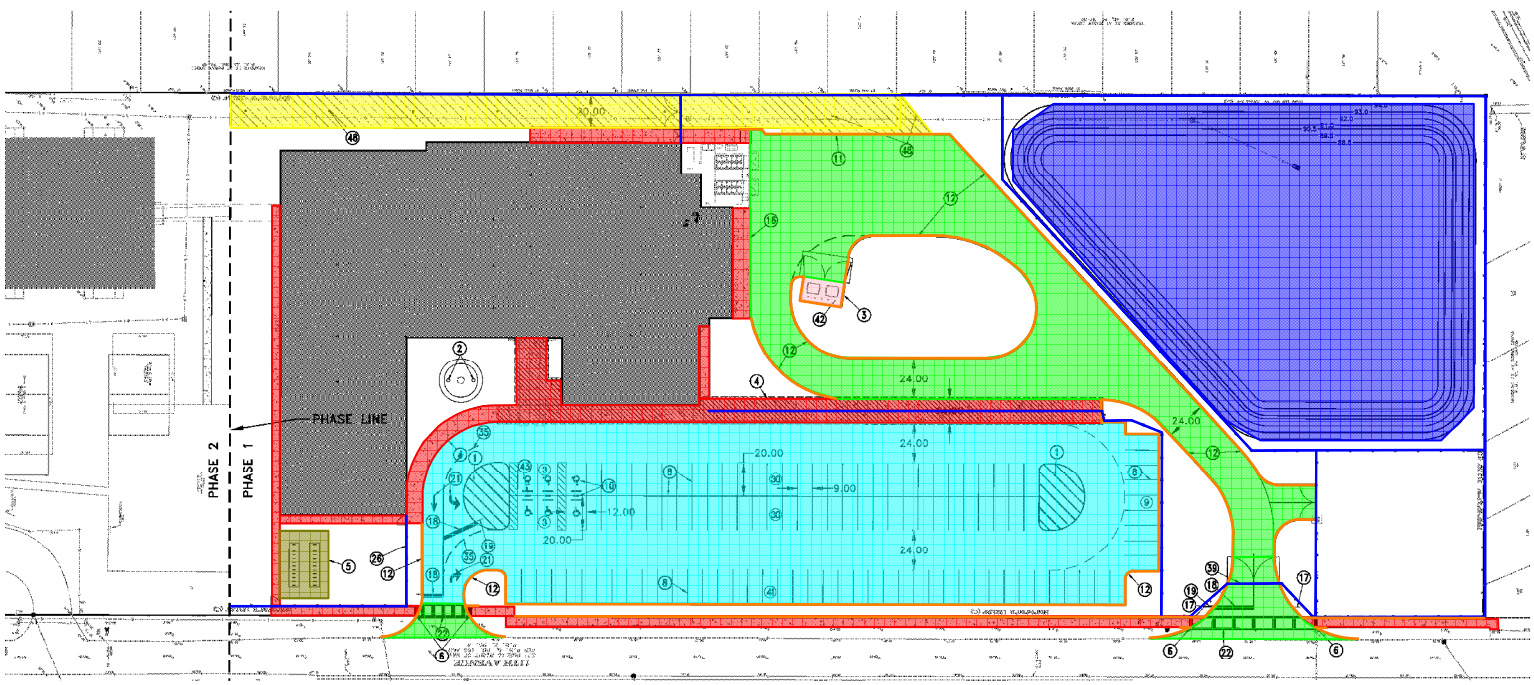
Document Issue Date: 29 July 2016

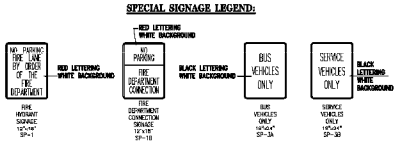


- 1 - Detention Pond - 44,151 SF
- 3 - Main Parking Lot - 5,116 SY
- 4 - Sidewalks - 14,025 SF
- 5 - Dumpster Pad - 334 SF
- 6 - Asphalt Drives - 3,020 SY
- 7 - Curbs - 2,490 LF
- 8 - Bike Rack Area - 1,184 SF
- 9 - Chain Link Fence - 2,353 LF
- 10 - Access Road - 8,595 SF

KEYNOTES

1. 6" SOLID WHITE STRIPE – TRAFFIC PAINT
2. FLAG POLE, REFER TO DETAIL ON ARCHITECTURAL PLANS.
3. DUMPSTER PAD, REFER TO SLAB DETAIL ON SHEET C800. REFER TO ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
4. THICKENED EDGE RAISED CONCRETE WALK, REFER TO DETAIL ON SHEET C800.
5. BIKE RACK, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
6. RAMP w/ DETECTABLE WARNING SURFACE. REFER TO DETAIL ON SHEET C801 (TYP.)
7. 6" YELLOW STRIPE – TRAFFIC PAINT.
8. 4" SOLID WHITE STRIPE – TRAFFIC PAINT.
9. DOUBLE 6" SOLID YELLOW STRIPE – TRAFFIC PAINT.
10. HANDICAP PARKING STRIPING AND SIGNAGE, REFER TO DETAIL ON SHEET C800.
11. 12"x6" RISERS CURB, REFER TO DETAIL ON SHEET C800.
12. FDOT TYPE D CURB.
13. FDOT TYPE F CURB AND GUTTER.
14. FDOT CURB TRANSITION.
15. FDOT DROP CURB
16. FLUSH CONCRETE WALK, REFER TO DETAIL ON SHEET C800.
17. SERVICE VEHICLE ONLY SIGNAGE SP-3B (SEE THIS SHEET).
18. 24" STOP BAR – TRAFFIC PAINT.
19. FDOT "STOP" SIGN (R1-1).
20. EXIST. CONCRETE WALK.
21. DIRECTIONAL ARROW AND/OR PAVEMENT MESSAGE. REFER TO FDOT DETAILS ON SHEET C801.
22. CROSSWALK, REFER TO FDOT DETAILS ON SHEET C801.
23. PEDESTRIAN GATE w/ PANIC HARDWARE
24. NO PARKING FIRE LANE (SP-1).
25. 4' BLACK VINYL COATED CHAIN LINK FENCE
26. 6' BLACK VINYL COATED CHAIN LINK FENCE.
27. "NOTICE TO ALL VISITORS" SIGN (SEE DETAIL THIS SHEET)
28. 8' RAMP, 50' FLUSH LOADING ZONE w/ 4' SOLID YELLOW TRAFFIC PAINT BORDER AND 12" SOLID YELLOW STRIPE @ 45°, 5' O.C. (TYP.)
29. 6' HIGH BLACK VINYL CHAIN LINK FENCE w/ 3' GATE
30. NO PARKING – FIRE DEPARTMENT CONNECTION (SP-1B) AND PW.
31. FDOT ONE WAY SIGN
32. FDOT "DO NOT ENTER" SIGN
33. FDOT "LEFT TURN ONLY" SIGN
34. DOUBLE 6" YELLOW STRIPE – TRAFFIC PAINT
35. 10' SKIP, 10' GAP, 4" WHITE STRIPE – TRAFFIC PAINT
36. 4' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
37. 8' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
38. 4' SINGLE SWING BLACK VINYL CHAIN LINK GATE.
39. 12' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
40. 20' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
41. ELECTRICAL TRANSFORMER W/ ENCLOSURE, SEE CEP PLANS.
42. BOLLARD (TYP.), REFER TO DETAIL ON SHEET C800.
43. WHEELSTOP (TYP.), REFER TO DETAIL ON C800
44. FDOT VALLEY GUTTER.
45. 13' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
46. 17' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
47. 8" THICK, THICKENED EDGE CONCRETE WALK.
48. BLUE EMERGENCY ACCESS MARKER, REFER TO DETAIL ON SHEET C800.

SPECIAL SIGNAGE LEGEND:



A CONTRACTOR TO COORDINATE THE PHASING TRANSITION BETWEEN PHASE 1 AND PHASE 2 ENTRANCE CONSTRUCTION.

B CONTRACTOR TO COORDINATE ROUTING OF THE EXISTING DRAINAGE SYSTEM AS NEEDED BETWEEN PHASES.

Klima Weeks
CIVIL ENGINEERING
Certificate of Authorization No.: 9230

REVISIONS | DATE | BY

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NAME: RYAN A. HERNANDEZ
License # PE-72049

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CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
PH 1 - GEOMETRY & STRIPING PLAN

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

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CHECKED: RAR
DATE: 07/29/16 SCALE: AS NOTED
OCPS DRAWING FILE NAME: C0085-C301-2 - GEOMETRY PLAN.dwg
SHEET NUMBER: C301
OF (Total):

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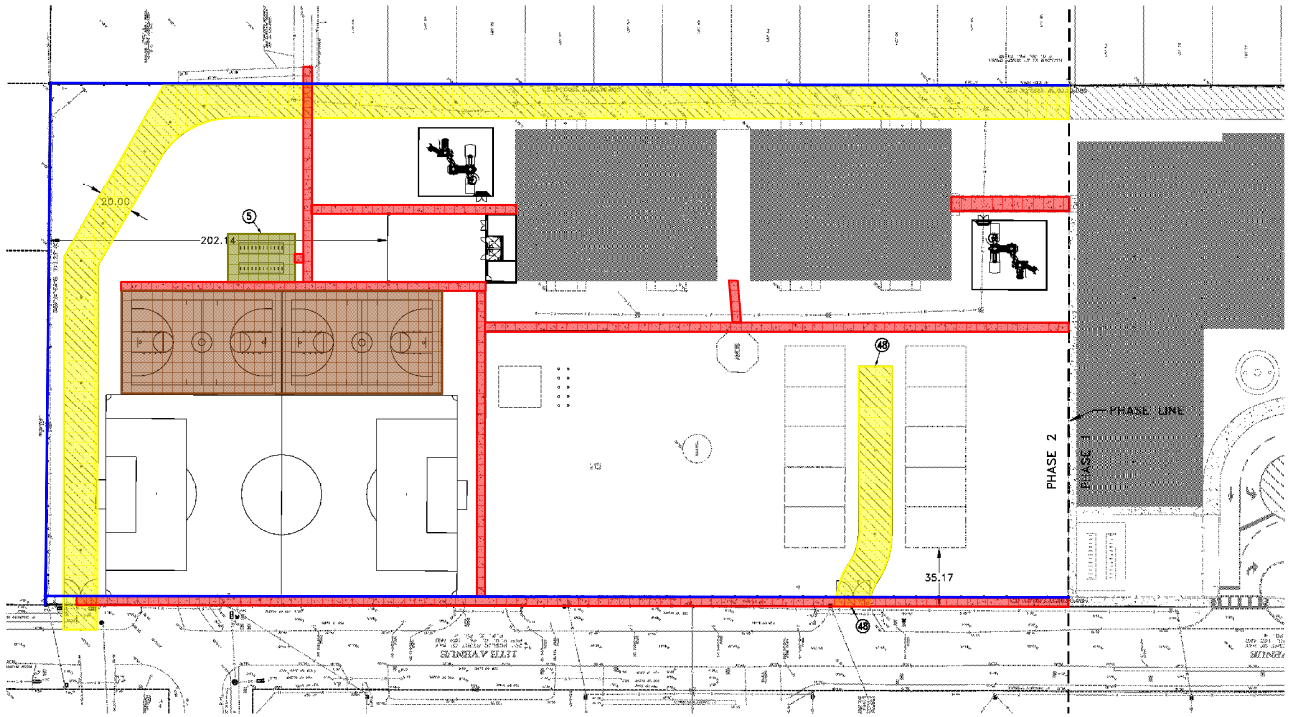
Document Issue Date: 29 July 2016

GRAPHIC SCALE
(IN FEET)
(NAVD88)

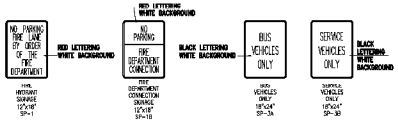


- 4 - Sidewalks - 9,297 SF
- 8 - Bike Rack Area - 1,159 SF
- 9 - Chain Link Fence - 1,530 LF
- 10 - Access Road - 20,306 SF
- 18 - Untitled - 11,799 SF

KEYNOTES

1. 6" SOLID WHITE STRIPE – TRAFFIC PAINT
2. FLAG POLE, REFER TO DETAIL ON ARCHITECTURAL PLANS.
3. DUMPSTER PAD, REFER TO SLAB DETAIL ON SHEET C800. REFER TO ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
4. THICKENED EDGE RAISED CONCRETE WALK, REFER TO DETAIL ON SHEET C800.
5. BIKE RACK, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
6. RAMP w/ DETECTABLE WARNING SURFACE, REFER TO DETAIL ON SHEET C801 (TYP.)
7. 6" YELLOW STRIPE – TRAFFIC PAINT.
8. 4" SOLID WHITE STRIPE – TRAFFIC PAINT.
9. DOUBLE 6" SOLID YELLOW STRIPE – TRAFFIC PAINT.
10. HANDICAP PARKING STRIPING AND SIGNAGE, REFER TO DETAIL ON SHEET C800.
11. 12"x6" RIBBON CURB, REFER TO DETAIL ON SHEET C600.
12. FDOT TYPE D CURB.
13. FDOT TYPE F CURB AND GUTTER.
14. FDOT CURB TRANSITION.
15. FDOT DROP CURB
16. FLUSH CONCRETE WALK, REFER TO DETAIL ON SHEET C800.
17. SERVICE VEHICLE ONLY SIGNAGE SP-3B (SEE THIS SHEET).
18. 24" STOP BAR – TRAFFIC PAINT.
19. FDOT "STOP" SIGN (R1-1).
20. EXIST. CONCRETE WALK.
21. DIRECTIONAL ARROW AND/OR PAVEMENT MESSAGE. REFER TO FDOT DETAILS ON SHEET C801.
22. CROSSWALK, REFER TO FDOT DETAILS ON SHEET C801.
23. PEDESTRIAN GATE w/ PANIC HARDWARE
24. NO PARKING FIRE LANE (SP-1).
25. 4' BLACK VINYL COATED CHAIN LINK FENCE
26. 6' BLACK VINYL COATED CHAIN LINK FENCE.
27. "NOTICE TO ALL VISITORS" SIGN (SEE DETAIL THIS SHEET)
28. 8' RAMP, 20' FLUSH LOADING ZONE w/ 4' SOLID YELLOW TRAFFIC PAINT BORDER AND 12" SOLID YELLOW STRIPE @ 45°, 5' O.C. (TYP.)
29. 6' HIGH BLACK VINYL CHAIN LINK FENCE w/ 5' GATE
30. NO PARKING – FIRE DEPARTMENT CONNECTION (SP-1B) AND PIV.
31. FDOT ONE WAY SIGN
32. FDOT "DO NOT ENTER" SIGN
33. FDOT "LEFT TURN ONLY" SIGN
34. DOUBLE 6" YELLOW STRIPE – TRAFFIC PAINT
35. 10' SKIP, 10' GAP, 4" WHITE STRIPE – TRAFFIC PAINT
36. 4' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
37. 6' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
38. 4' SINGLE SWING BLACK VINYL CHAIN LINK GATE.
39. 12' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
40. 20' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
41. ELECTRICAL TRANSFORMER W/ ENCLOSURE, SEE CEP PLANS.
42. BOLLARD (TYP.), REFER TO DETAIL ON SHEET C800.
43. WHEELSTOP (TYP.), REFER TO DETAIL ON C800
44. FDOT VALLEY GUTTER.
45. 13' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
46. 17' DOUBLE SWING BLACK VINYL CHAIN LINK GATES.
47. 8" THICK, THICKENED EDGE CONCRETE WALK.
48. BLUE EMERGENCY ACCESS MARKER, REFER TO DETAIL ON SHEET C800.

SPECIAL SIGNAGE LEGEND:



A CONTRACTOR TO COORDINATE THE PHASING TRANSITION BETWEEN PHASE 1 AND PHASE 2 ENTRANCE CONSTRUCTION.

B CONTRACTOR TO COORDINATE ROUTING OF THE EXISTING DRAINAGE SYSTEM AS NEEDED BETWEEN PHASES.

Klima Weeks CIVIL ENGINEERING
Certificate of Authorization No.: 9230

REVISIONS	DATE	BY

Seal
NAME: RYAN A. KENNEDY
License # PE-72049

Song + Associates
Architecture • Planning • Interior
618 E. South Street, Suite 500
Orlando, FL 32801 407-454-3605
EB-0004996

CYPRESS PARK E.S.
COMPREHENSIVE PROJECT
OCPS PROJ. No: C-0085
PH 2 - GEOMETRY & STRIPING PLAN

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

DRAWN: RAR
CHECKED: RAR
DATE: 07/29/16 SCALE: AS NOTED
OCPS DRAWING FILE NAME: C0085-C301-2 - GEOMETRY PLAN.dwg
SHEET NUMBER: C302
OF (Total):

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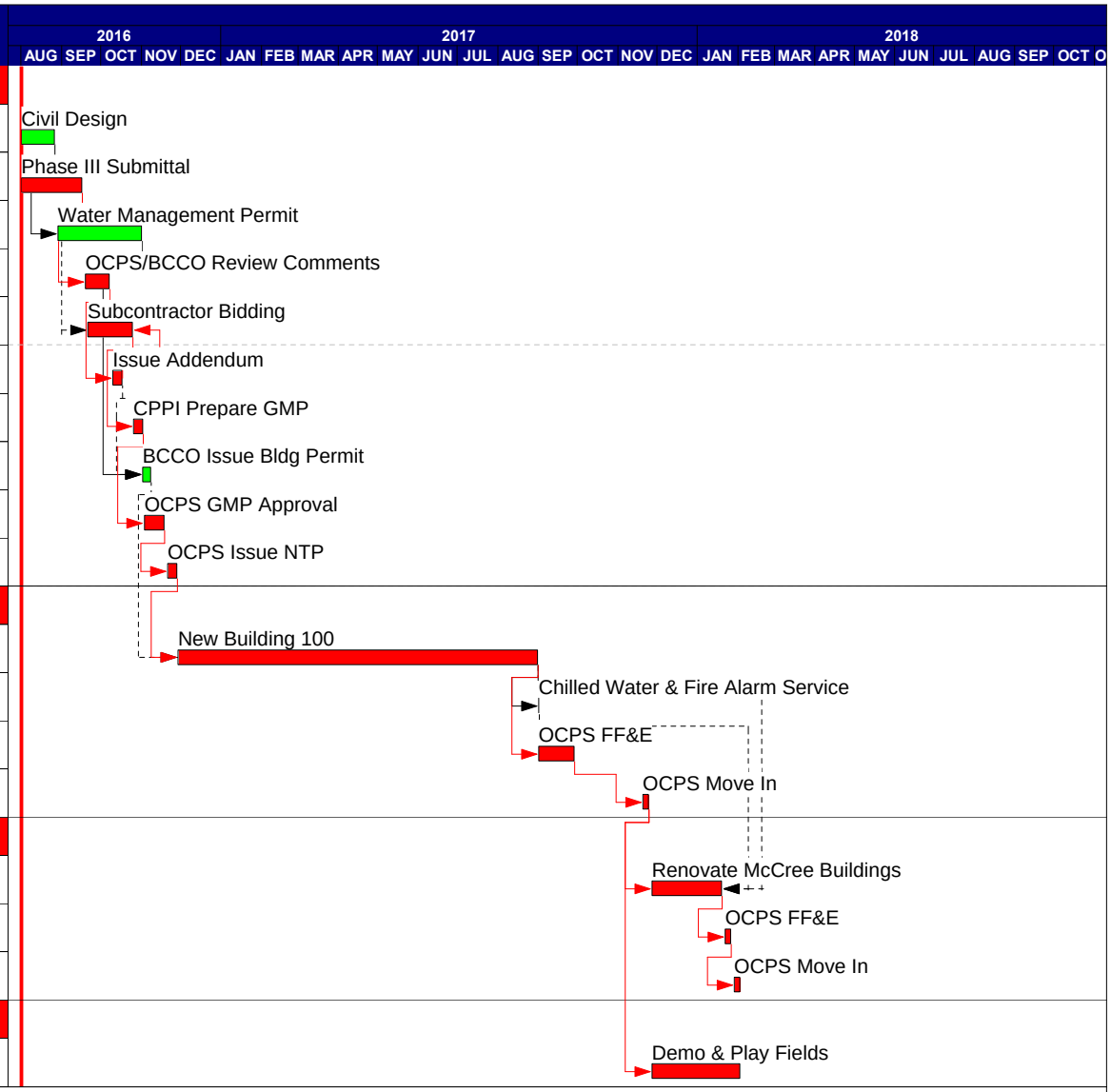
Act ID	Description	Orig Dur	Early Start	Early Finish
Design Phase				
100	Civil Design	20d	01AUG16	26AUG16
120	Phase III Submittal	35d	01AUG16	16SEP16
110	Water Management Permit	47d	29AUG16	01NOV16
140	OCPS/BCCO Review Comments	15d	19SEP16	07OCT16
130	Subcontractor Bidding	25d	21SEP16	25OCT16
150	Issue Addendum	6d	10OCT16	17OCT16
160	CPPI Prepare GMP	6d	26OCT16	02NOV16
190	BCCO Issue Bldg Permit	5d	02NOV16	08NOV16
170	OCPS GMP Approval	12d	03NOV16	18NOV16
180	OCPS Issue NTP	6d	21NOV16	28NOV16
Construction Building 100				
200	New Building 100	200d	29NOV16	31AUG17
205	Chilled Water & Fire Alarm Service	1d	01SEP17	01SEP17
210	OCPS FF&E	20d	01SEP17	28SEP17
220	OCPS Move In	5d	20NOV17	24NOV17
Renovation Bldg 11 & 12				
500	Renovate McCree Buildings	40d	27NOV17	19JAN18
510	OCPS FF&E	5d	22JAN18	26JAN18
520	OCPS Move In	5d	29JAN18	02FEB18
Demo Existing School & Play Fields				
700	Demo & Play Fields	50d	27NOV17	02FEB18



Start date	01AUG16
Finish date	02FEB18
Data date	01AUG16
Run date	18AUG16
Page number	1A

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CPPI / Sequel
Cypress Park ES Project
Project Milestone Schedule
Option 1

- Early bar
- Progress bar
- Critical bar
- Summary bar
- Start milestone point
- Finish milestone point

September 16, 2016

ORANGE COUNTY PUBLIC SCHOOLS

Cypress Park Elementary School

Orlando, FL

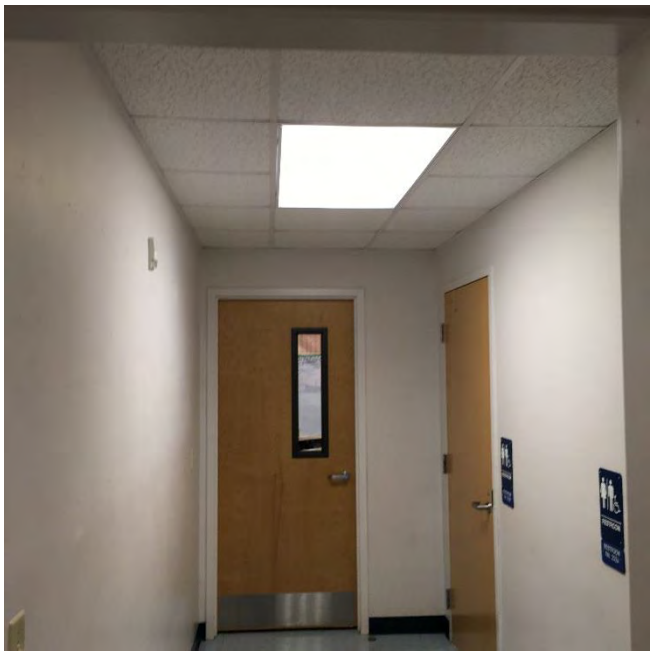
Observations of Existing Conditions

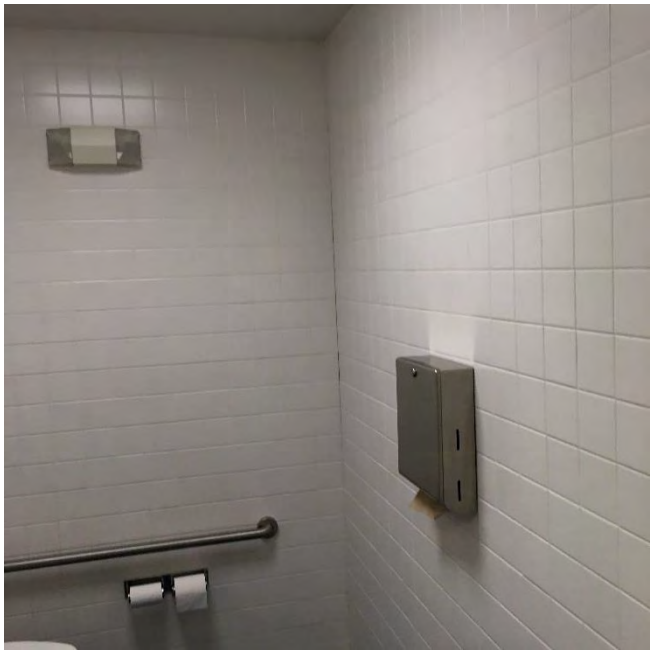
ENTER
ONLY

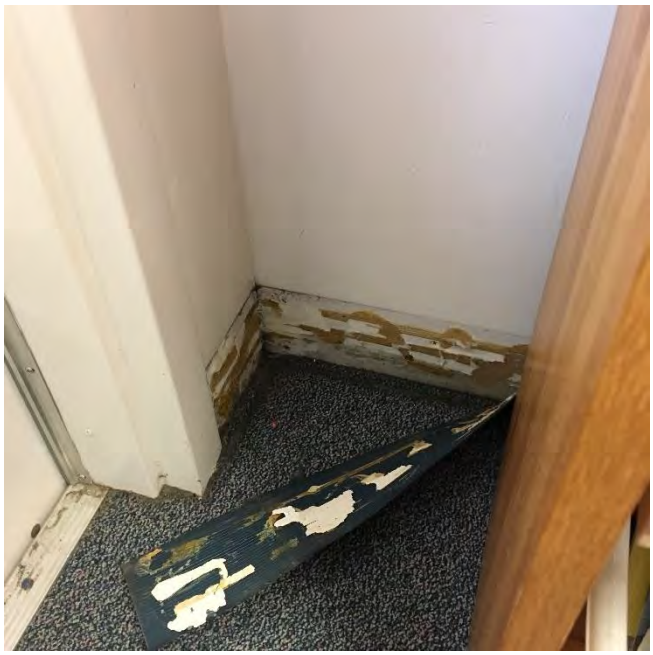
CYPRESS PARK
ELEMENTARY
TEACHERS LEAD
STUDENTS TO SUCCESS

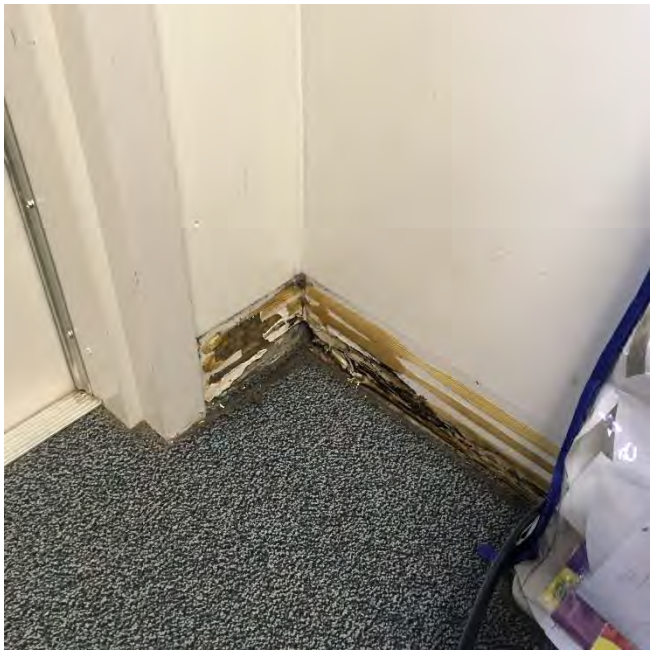
PARK
SCHOOL

CYPRESS PARK
ELEMENTARY SCHOOL

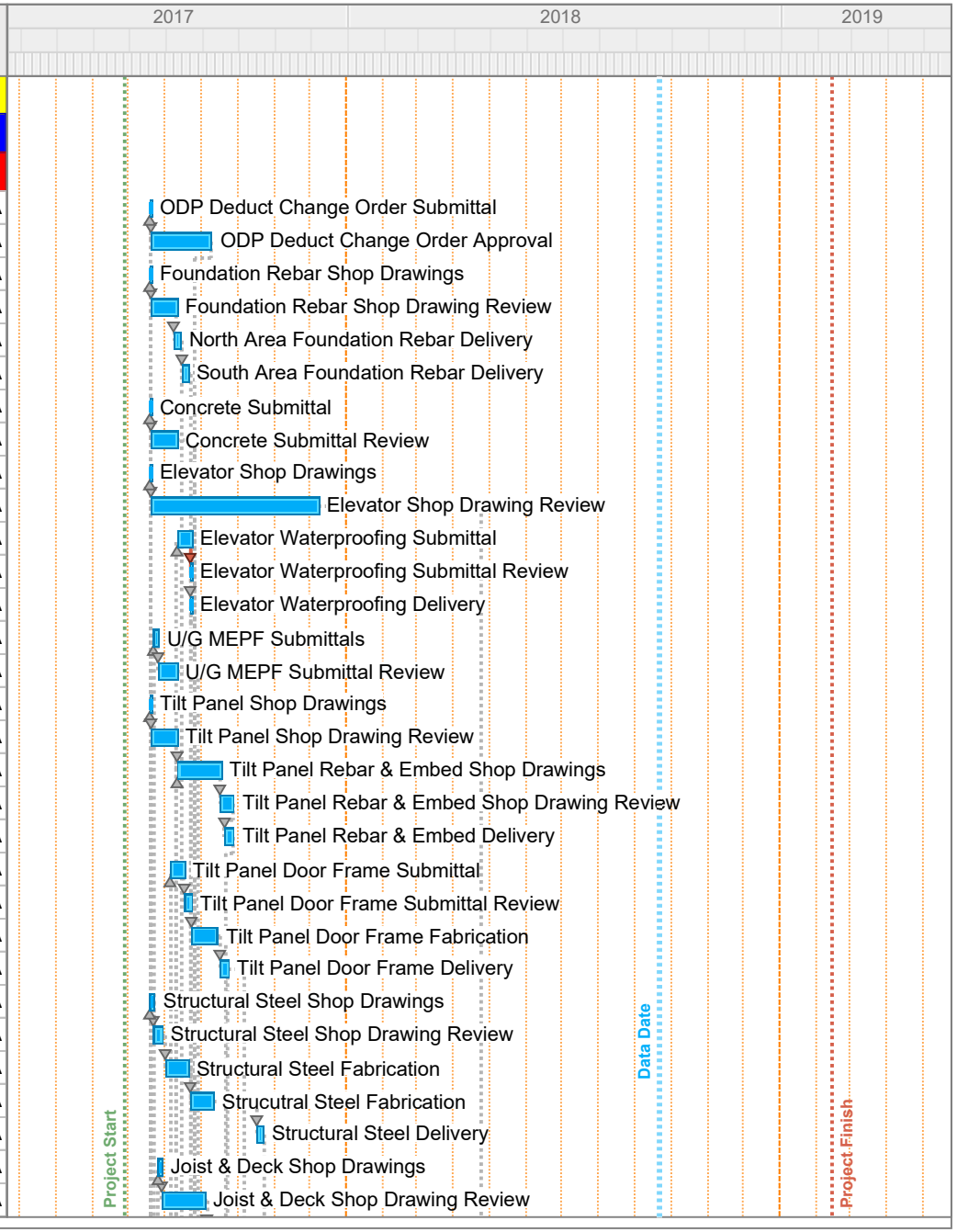








ID	Description	Original Duration	Start	Finish
Phase 1 - New Construction				
Procurement				
Procurement				
1000	ODP Deduct Change Order Submittal	5	07/18/17A	07/18/17A
1010	ODP Deduct Change Order Approval	10	07/19/17A	09/06/17A
1020	Foundation Rebar Shop Drawings	5	07/18/17A	07/18/17A
1030	Foundation Rebar Shop Drawing Review	5	07/19/17A	08/09/17A
1040	North Area Foundation Rebar Delivery	5	08/07/17A	08/11/17A
1050	South Area Foundation Rebar Delivery	5	08/14/17A	08/18/17A
1060	Concrete Submittal	10	07/18/17A	07/18/17A
1070	Concrete Submittal Review	10	07/19/17A	08/09/17A
1080	Elevator Shop Drawings	10	07/18/17A	07/18/17A
1090	Elevator Shop Drawing Review	10	07/19/17A	12/06/17A
1100	Elevator Waterproofing Submittal	10	08/10/17A	08/21/17A
1110	Elevator Waterproofing Submittal Review	1	08/21/17A	08/21/17A
1120	Elevator Waterproofing Delivery	1	08/21/17A	08/21/17A
1130	U/G MEPF Submittals	10	07/21/17A	07/24/17A
1140	U/G MEPF Submittal Review	10	07/25/17A	08/09/17A
1150	Tilt Panel Shop Drawings	5	07/18/17A	07/18/17A
1160	Tilt Panel Shop Drawing Review	10	07/19/17A	08/09/17A
1170	Tilt Panel Rebar & Embed Shop Drawings	5	08/10/17A	09/15/17A
1180	Tilt Panel Rebar & Embed Shop Drawing Review	5	09/15/17A	09/25/17A
1190	Tilt Panel Rebar & Embed Delivery	5	09/19/17A	09/25/17A
1200	Tilt Panel Door Frame Submittal	15	08/04/17A	08/15/17A
1210	Tilt Panel Door Frame Submittal Review	10	08/16/17A	08/21/17A
1220	Tilt Panel Door Frame Fabrication	15	08/22/17A	09/11/17A
1230	Tilt Panel Door Frame Delivery	5	09/15/17A	09/21/17A
1240	Structural Steel Shop Drawings	15	07/18/17A	07/20/17A
1250	Structural Steel Shop Drawing Review	10	07/21/17A	07/27/17A
1260	Structural Steel Fabrication	15	07/31/17A	08/18/17A
1270	Strucutral Steel Fabrication	15	08/21/17A	09/08/17A
1280	Structural Steel Delivery	5	10/16/17A	10/20/17A
1290	Joist & Deck Shop Drawings	15	07/25/17A	07/27/17A
1300	Joist & Deck Shop Drawing Review	10	07/28/17A	09/01/17A

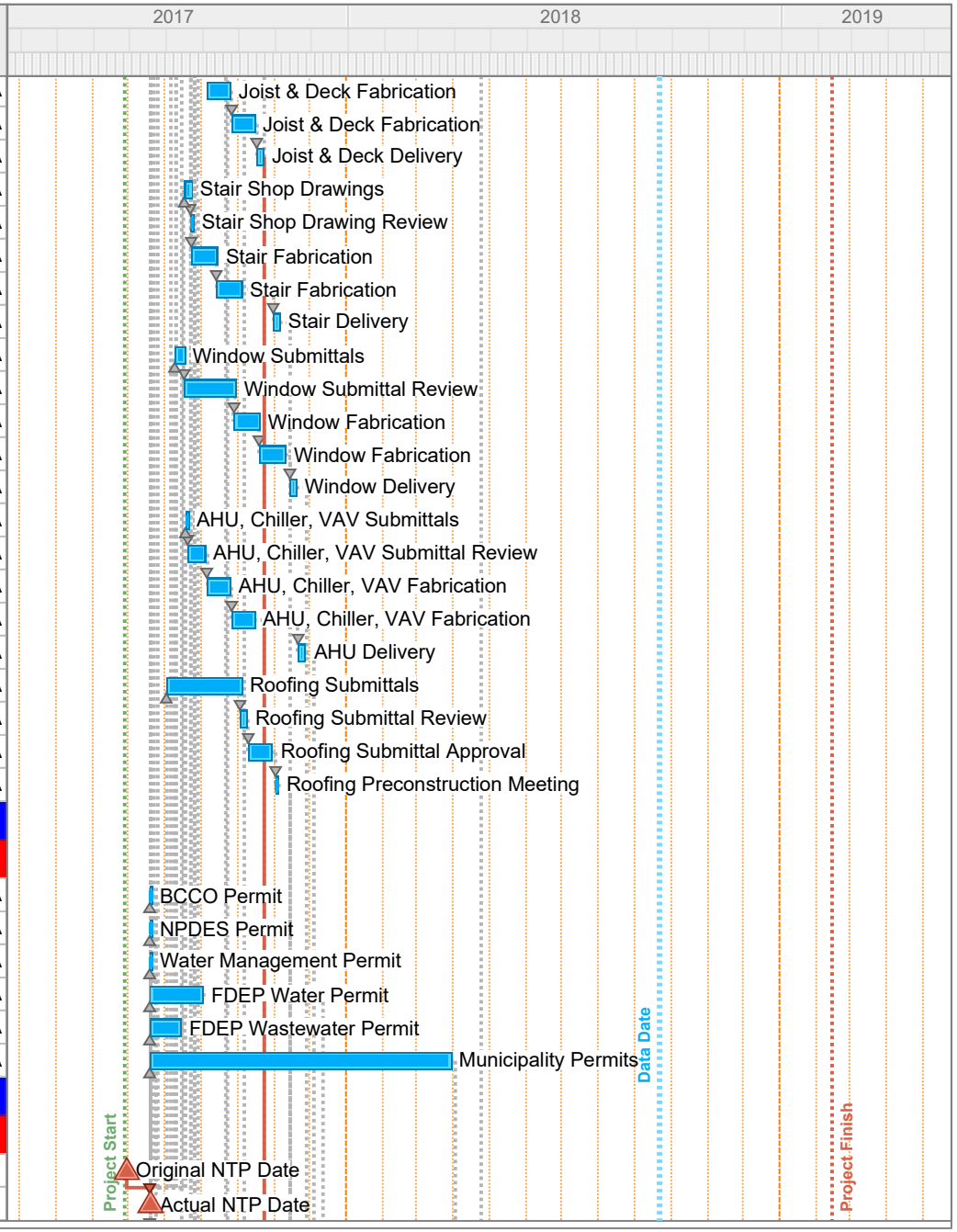


Start Date: 06/28/17
Finish Date: 02/12/19
Data Date: 09/21/18

C0085
Cypress Park Elementary School
Schedule Update 9/21/2018

CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
1310	Joist & Deck Fabrication	15	09/04/17A	09/22/17A
1320	Joist & Deck Fabrication	15	09/25/17A	10/13/17A
1330	Joist & Deck Delivery	5	10/16/17A	10/20/17A
1340	Stair Shop Drawings	15	08/16/17A	08/21/17A
1350	Stair Shop Drawing Review	10	08/21/17A	08/22/17A
1360	Stair Fabrication	15	08/22/17A	09/11/17A
1370	Stair Fabrication	15	09/12/17A	10/02/17A
1380	Stair Delivery	5	10/30/17A	11/03/17A
1390	Window Submittals	15	08/08/17A	08/15/17A
1400	Window Submittal Review	10	08/16/17A	09/27/17A
1410	Window Fabrication	15	09/27/17A	10/17/17A
1420	Window Fabrication	15	10/18/17A	11/07/17A
1430	Window Delivery	5	11/13/17A	11/17/17A
1440	AHU, Chiller, VAV Submittals	15	08/17/17A	08/18/17A
1450	AHU, Chiller, VAV Submittal Review	10	08/19/17A	09/01/17A
1460	AHU, Chiller, VAV Fabrication	15	09/04/17A	09/22/17A
1470	AHU, Chiller, VAV Fabrication	15	09/25/17A	10/13/17A
1480	AHU Delivery	5	11/20/17A	11/24/17A
1490	Roofing Submittals	15	08/01/17A	10/02/17A
1500	Roofing Submittal Review	15	10/02/17A	10/06/17A
1510	Roofing Submittal Approval	15	10/09/17A	10/27/17A
1520	Roofing Preconstruction Meeting	1	11/01/17A	11/01/17A
Permits				
Permits				
1600	BCCO Permit	1	07/18/17A	07/18/17A
1610	NPDES Permit	1	07/18/17A	07/18/17A
1620	Water Management Permit	1	07/18/17A	07/18/17A
1630	FDEP Water Permit	10	07/18/17A	08/30/17A
1640	FDEP Wastewater Permit	10	07/18/17A	08/11/17A
1650	Municipality Permits	15	07/18/17A	03/27/18A
Construction				
Site Preperation				
1700	Original NTP Date	0	06/28/17A	
1705	Actual NTP Date	0	07/18/17A	



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C0085
Cypress Park Elementary School
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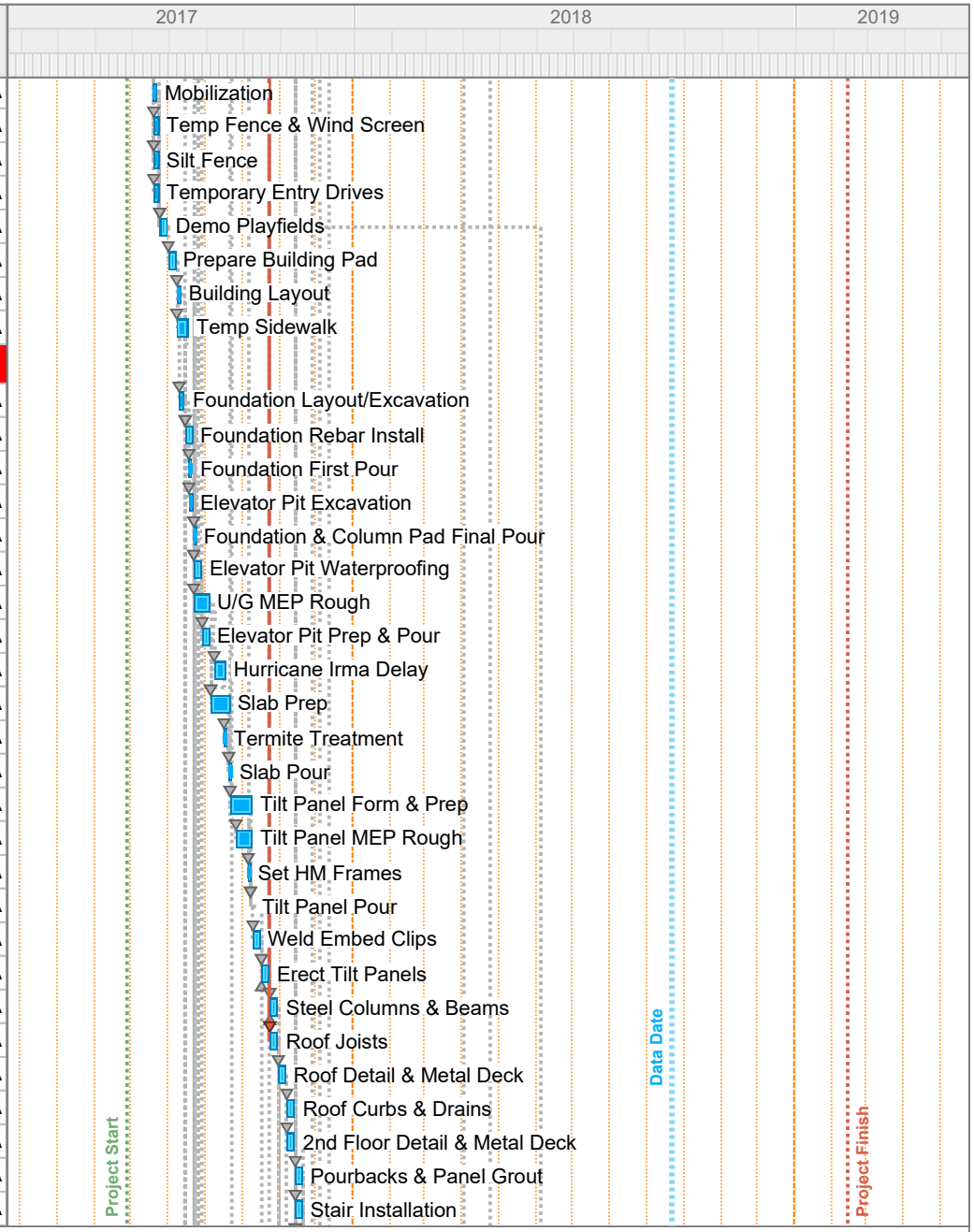
CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
1710	Mobilization	2	07/18/17A	07/19/17A
1720	Temp Fence & Wind Screen	3	07/19/17A	07/21/17A
1730	Silt Fence	3	07/19/17A	07/21/17A
1740	Temporary Entry Drives	3	07/19/17A	07/21/17A
1750	Demo Playfields	5	07/24/17A	07/28/17A
1760	Prepare Building Pad	5	07/31/17A	08/04/17A
1770	Building Layout	2	08/07/17A	08/08/17A
1780	Temp Sidewalk	5	08/07/17A	08/14/17A
Bldg 100 North Area Structure				
1800	Foundation Layout/Excavation	3	08/09/17A	08/11/17A
1810	Foundation Rebar Install	5	08/14/17A	08/18/17A
1820	Foundation First Pour	1	08/17/17A	08/17/17A
1830	Elevator Pit Excavation	2	08/17/17A	08/18/17A
1840	Foundation & Column Pad Final Pour	1	08/21/17A	08/21/17A
1850	Elevator Pit Waterproofing	5	08/21/17A	08/25/17A
1860	U/G MEP Rough	10	08/21/17A	09/01/17A
1870	Elevator Pit Prep & Pour	5	08/28/17A	09/01/17A
1875	Hurricane Irma Delay	6	09/07/17A	09/14/17A
1880	Slab Prep	5	09/04/17A	09/18/17A
1890	Termite Treatment	1	09/15/17A	09/15/17A
1900	Slab Pour	1	09/19/17A	09/19/17A
1910	Tilt Panel Form & Prep	15	09/20/17A	10/06/17A
1920	Tilt Panel MEP Rough	10	09/25/17A	10/06/17A
1930	Set HM Frames	1	10/05/17A	10/05/17A
1940	Tilt Panel Pour	5	10/07/17A	10/07/17A
1950	Weld Embed Clips	5	10/09/17A	10/13/17A
1960	Erect Tilt Panels	5	10/16/17A	10/20/17A
1970	Steel Columns & Beams	5	10/23/17A	10/27/17A
1980	Roof Joists	5	10/23/17A	10/27/17A
1990	Roof Detail & Metal Deck	5	10/30/17A	11/03/17A
2000	Roof Curbs & Drains	5	11/06/17A	11/10/17A
2010	2nd Floor Detail & Metal Deck	5	11/06/17A	11/10/17A
2020	Pourbacks & Panel Grout	5	11/13/17A	11/17/17A
2030	Stair Installation	5	11/13/17A	11/17/17A



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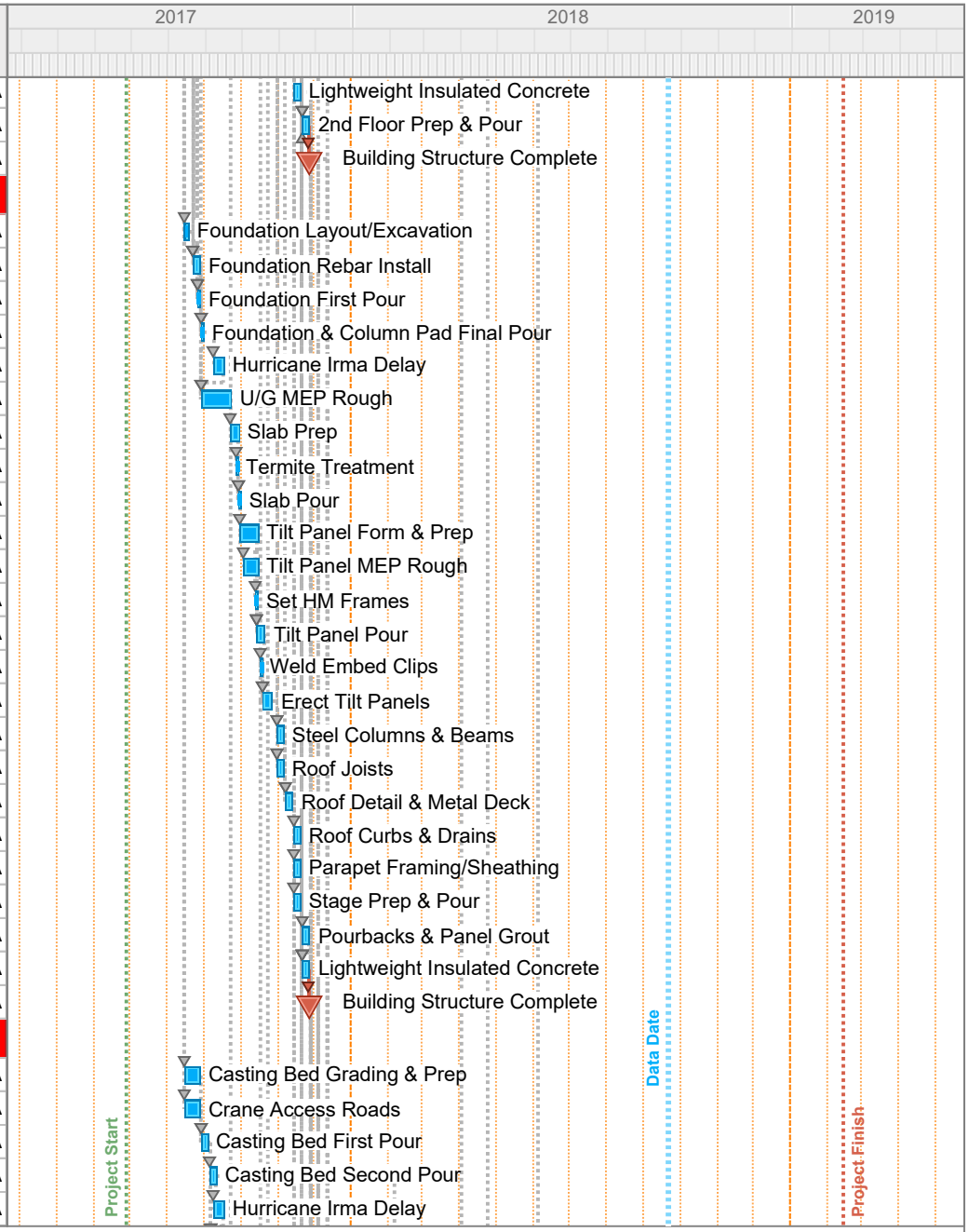
C0085
Cypress Park Elementary School
Schedule Update 9/21/2018

CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
2040	Lightweight Insulated Concrete	5	11/13/17A	11/17/17A
2050	2nd Floor Prep & Pour	5	11/20/17A	11/24/17A
2060	Building Structure Complete	0		11/24/17A
Bldg 100 South Area Structure				
2100	Foundation Layout/Excavation	3	08/14/17A	08/16/17A
2110	Foundation Rebar Install	5	08/21/17A	08/25/17A
2120	Foundation First Pour	1	08/25/17A	08/25/17A
2130	Foundation & Column Pad Final Pour	1	08/28/17A	08/28/17A
2135	Hurricane Irma Delay	6	09/07/17A	09/14/17A
2140	U/G MEP Rough	10	08/28/17A	09/20/17A
2150	Slab Prep	5	09/21/17A	09/27/17A
2160	Termite Treatment	1	09/26/17A	09/26/17A
2170	Slab Pour	1	09/28/17A	09/28/17A
2180	Tilt Panel Form & Prep	15	09/29/17A	10/13/17A
2190	Tilt Panel MEP Rough	10	10/02/17A	10/13/17A
2200	Set HM Frames	1	10/12/17A	10/12/17A
2210	Tilt Panel Pour	5	10/13/17A	10/18/17A
2220	Weld Embed Clips	1	10/16/17A	10/16/17A
2230	Erect Tilt Panels	5	10/18/17A	10/24/17A
2240	Steel Columns & Beams	5	10/30/17A	11/03/17A
2250	Roof Joists	5	10/30/17A	11/03/17A
2260	Roof Detail & Metal Deck	5	11/06/17A	11/10/17A
2270	Roof Curbs & Drains	5	11/13/17A	11/17/17A
2280	Parapet Framing/Sheathing	5	11/13/17A	11/17/17A
2290	Stage Prep & Pour	5	11/13/17A	11/17/17A
2300	Pourbacks & Panel Grout	5	11/20/17A	11/24/17A
2310	Lightweight Insulated Concrete	5	11/20/17A	11/24/17A
2320	Building Structure Complete	0		11/24/17A
Casting Beds				
2400	Casting Bed Grading & Prep	10	08/14/17A	08/25/17A
2410	Crane Access Roads	10	08/14/17A	08/25/17A
2420	Casting Bed First Pour	5	08/28/17A	09/01/17A
2430	Casting Bed Second Pour	5	09/04/17A	09/08/17A
2435	Hurricane Irma Delay	6	09/07/17A	09/14/17A



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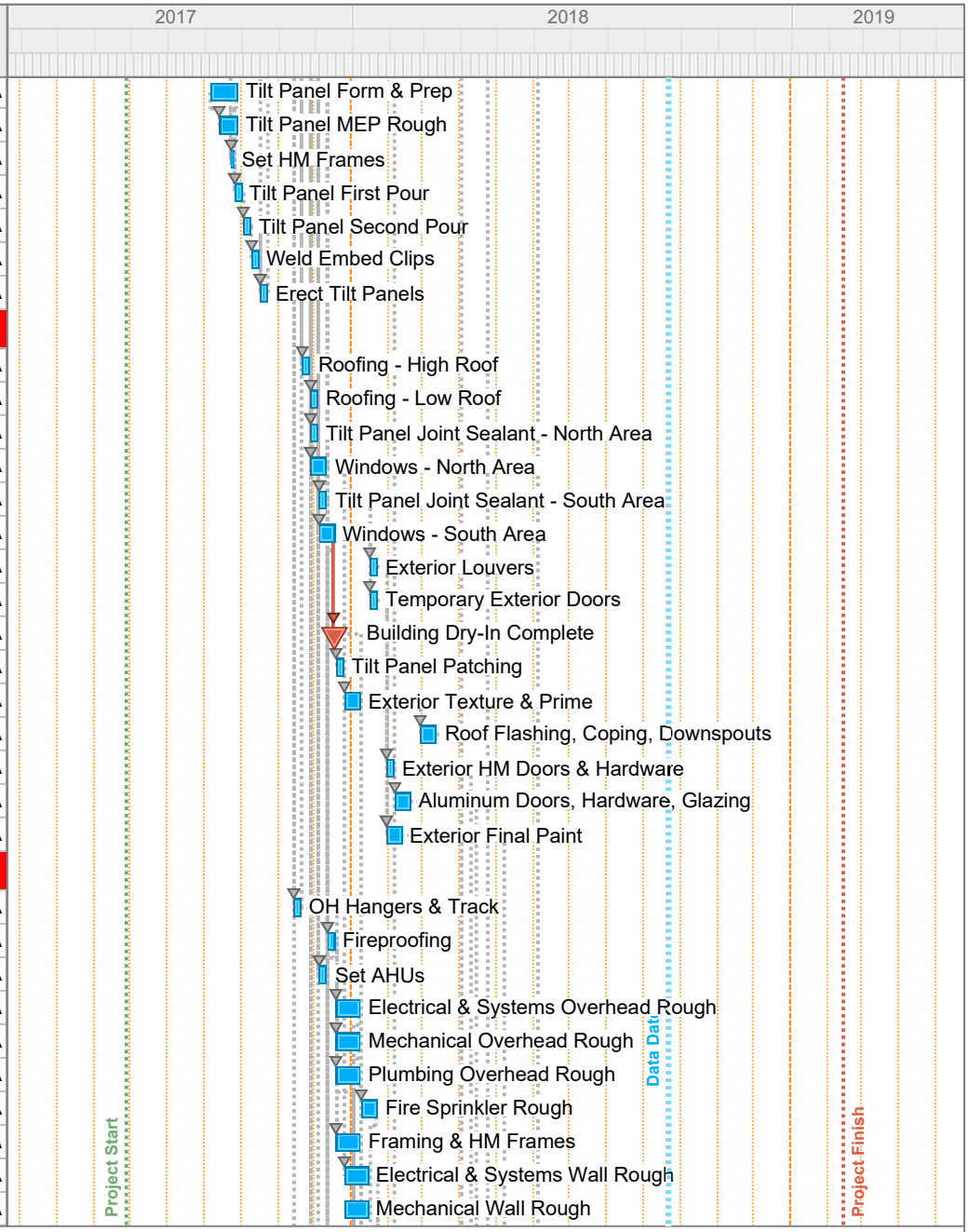
C0085
Cypress Park Elementary School
Schedule Update 9/21/2018

CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
2440	Tilt Panel Form & Prep	15	09/05/17A	09/25/17A
2450	Tilt Panel MEP Rough	10	09/12/17A	09/25/17A
2460	Set HM Frames	1	09/22/17A	09/22/17A
2470	Tilt Panel First Pour	5	09/25/17A	09/29/17A
2480	Tilt Panel Second Pour	5	10/02/17A	10/06/17A
2490	Weld Embed Clips	5	10/09/17A	10/13/17A
2500	Erect Tilt Panels	5	10/16/17A	10/20/17A
Bldg 100 Envelope				
2600	Roofing - High Roof	5	11/20/17A	11/24/17A
2610	Roofing - Low Roof	5	11/27/17A	12/01/17A
2620	Tilt Panel Joint Sealant - North Area	5	11/27/17A	12/01/17A
2630	Windows - North Area	10	11/27/17A	12/08/17A
2640	Tilt Panel Joint Sealant - South Area	5	12/04/17A	12/08/17A
2650	Windows - South Area	10	12/04/17A	12/15/17A
2660	Exterior Louvers	5	01/15/18A	01/19/18A
2670	Temporary Exterior Doors	5	01/15/18A	01/19/18A
2680	Building Dry-In Complete	0		12/15/17A
2690	Tilt Panel Patching	5	12/18/17A	12/22/17A
2700	Exterior Texture & Prime	10	12/25/17A	01/05/18A
2710	Roof Flashing, Coping, Downspouts	10	02/26/18A	03/09/18A
2720	Exterior HM Doors & Hardware	5	01/29/18A	02/02/18A
2730	Aluminum Doors, Hardware, Glazing	10	02/05/18A	02/16/18A
2740	Exterior Final Paint	10	01/29/18A	02/09/18A
Bldg 100 North Area 1st Floor Finish				
2800	OH Hangers & Track	5	11/13/17A	11/17/17A
2810	Fireproofing	5	12/11/17A	12/15/17A
2820	Set AHUs	5	12/04/17A	12/08/17A
2830	Electrical & Systems Overhead Rough	15	12/18/17A	01/05/18A
2840	Mechanical Overhead Rough	15	12/18/17A	01/05/18A
2850	Plumbing Overhead Rough	15	12/18/17A	01/05/18A
2860	Fire Sprinkler Rough	10	01/08/18A	01/19/18A
2870	Framing & HM Frames	15	12/18/17A	01/05/18A
2880	Electrical & Systems Wall Rough	15	12/25/17A	01/12/18A
2890	Mechanical Wall Rough	15	12/25/17A	01/12/18A



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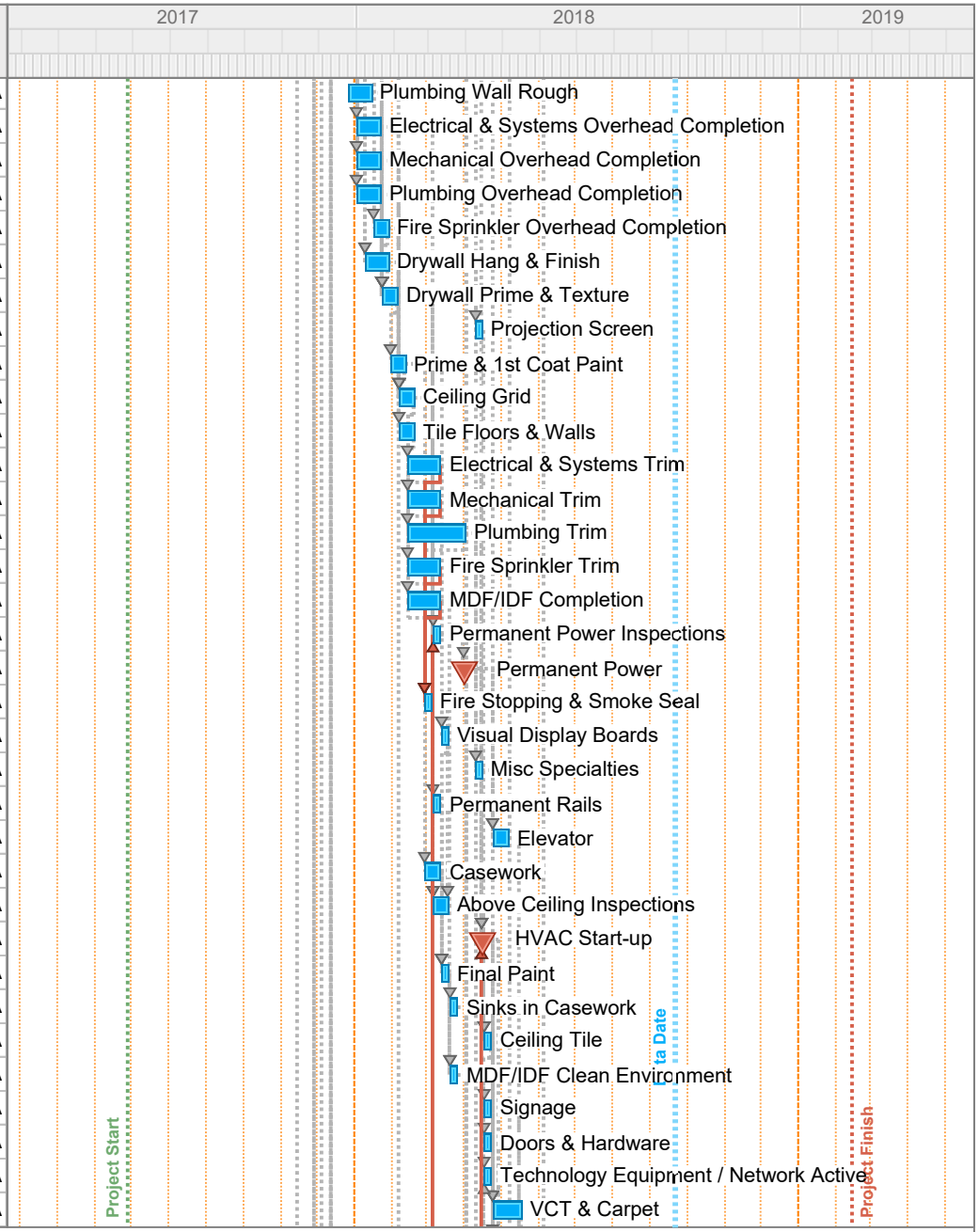
C0085
Cypress Park Elementary School
Schedule Update 9/21/2018

CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
2900	Plumbing Wall Rough	15	12/25/17A	01/12/18A
2910	Electrical & Systems Overhead Completion	15	01/01/18A	01/19/18A
2920	Mechanical Overhead Completion	15	01/01/18A	01/19/18A
2930	Plumbing Overhead Completion	15	01/01/18A	01/19/18A
2940	Fire Sprinkler Overhead Completion	10	01/15/18A	01/26/18A
2950	Drywall Hang & Finish	15	01/08/18A	01/26/18A
2960	Drywall Prime & Texture	10	01/22/18A	02/02/18A
2970	Projection Screen	5	04/09/18A	04/13/18A
2980	Prime & 1st Coat Paint	10	01/29/18A	02/09/18A
2990	Ceiling Grid	10	02/05/18A	02/16/18A
3000	Tile Floors & Walls	10	02/05/18A	02/16/18A
3010	Electrical & Systems Trim	15	02/12/18A	03/09/18A
3020	Mechanical Trim	15	02/12/18A	03/09/18A
3030	Plumbing Trim	15	02/12/18A	03/30/18A
3040	Fire Sprinkler Trim	15	02/12/18A	03/09/18A
3050	MDF/IDF Completion	15	02/12/18A	03/09/18A
3060	Permanent Power Inspections	5	03/05/18A	03/09/18A
3070	Permanent Power	0		03/29/18A
3080	Fire Stopping & Smoke Seal	5	02/26/18A	03/02/18A
3090	Visual Display Boards	5	03/12/18A	03/16/18A
3100	Misc Specialties	5	04/09/18A	04/13/18A
3110	Permanent Rails	5	03/05/18A	03/09/18A
3120	Elevator	15	04/23/18A	05/04/18A
3130	Casework	10	02/26/18A	03/09/18A
3140	Above Ceiling Inspections	10	03/05/18A	03/16/18A
3150	HVAC Start-up	0		04/13/18A
3160	Final Paint	5	03/12/18A	03/16/18A
3170	Sinks in Casework	5	03/19/18A	03/23/18A
3180	Ceiling Tile	5	04/16/18A	04/20/18A
3190	MDF/IDF Clean Environment	5	03/19/18A	03/23/18A
3210	Signage	5	04/16/18A	04/20/18A
3220	Doors & Hardware	5	04/16/18A	04/20/18A
3230	Technology Equipment / Network Active	5	04/16/18A	04/20/18A
3240	VCT & Carpet	10	04/23/18A	05/15/18A



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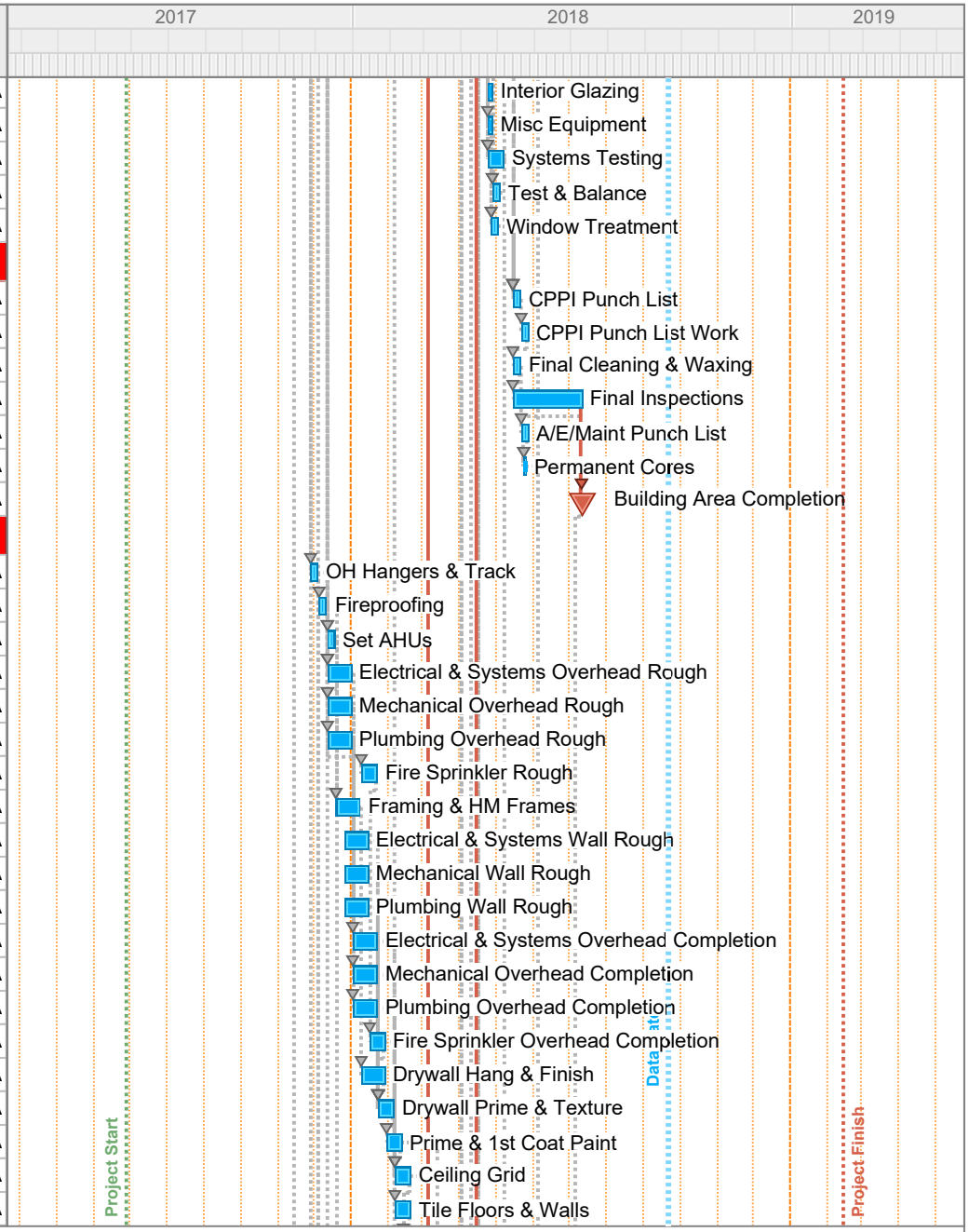
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
3250	Interior Glazing	3	04/23/18A	04/25/18A
3260	Misc Equipment	3	04/23/18A	04/25/18A
3270	Systems Testing	10	04/23/18A	05/04/18A
3280	Test & Balance	10	04/27/18A	05/01/18A
3290	Window Treatment	3	04/26/18A	04/30/18A
Bldg 100 North Area 1st Floor Completion				
3400	CPPI Punch List	5	05/14/18A	05/18/18A
3410	CPPI Punch List Work	5	05/21/18A	05/25/18A
3420	Final Cleaning & Waxing	5	05/14/18A	05/18/18A
3430	Final Inspections	10	05/14/18A	07/09/18A
3440	A/E/Maint Punch List	5	05/21/18A	05/25/18A
3450	Permanent Cores	4	05/23/18A	05/23/18A
3460	Building Area Completion	0		07/09/18A
Bldg 100 North Area 2nd Floor Finish				
3500	OH Hangers & Track	5	11/27/17A	12/01/17A
3510	Fireproofing	5	12/04/17A	12/08/17A
3520	Set AHUs	5	12/11/17A	12/15/17A
3530	Electrical & Systems Overhead Rough	15	12/11/17A	12/29/17A
3540	Mechanical Overhead Rough	15	12/11/17A	12/29/17A
3550	Plumbing Overhead Rough	15	12/11/17A	12/29/17A
3560	Fire Sprinkler Rough	10	01/08/18A	01/19/18A
3570	Framing & HM Frames	15	12/18/17A	01/05/18A
3580	Electrical & Systems Wall Rough	15	12/25/17A	01/12/18A
3590	Mechanical Wall Rough	15	12/25/17A	01/12/18A
3600	Plumbing Wall Rough	15	12/25/17A	01/12/18A
3610	Electrical & Systems Overhead Completion	15	01/01/18A	01/19/18A
3620	Mechanical Overhead Completion	15	01/01/18A	01/19/18A
3630	Plumbing Overhead Completion	15	01/01/18A	01/19/18A
3640	Fire Sprinkler Overhead Completion	10	01/15/18A	01/26/18A
3650	Drywall Hang & Finish	15	01/08/18A	01/26/18A
3660	Drywall Prime & Texture	10	01/22/18A	02/02/18A
3670	Prime & 1st Coat Paint	10	01/29/18A	02/09/18A
3680	Ceiling Grid	10	02/05/18A	02/16/18A
3690	Tile Floors & Walls	10	02/05/18A	02/16/18A



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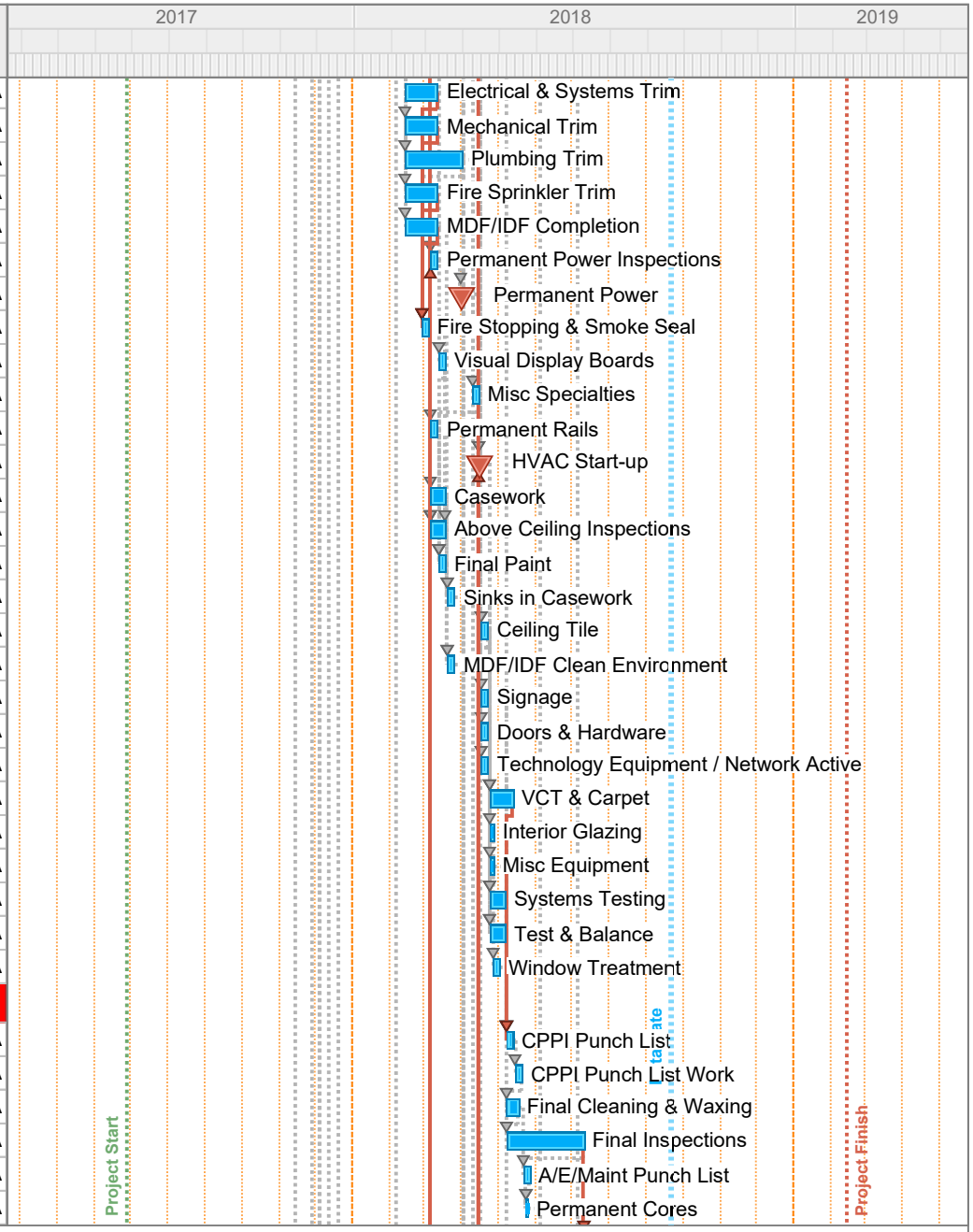
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
3700	Electrical & Systems Trim	15	02/12/18A	03/09/18A
3710	Mechanical Trim	15	02/12/18A	03/09/18A
3720	Plumbing Trim	15	02/12/18A	03/30/18A
3730	Fire Sprinkler Trim	15	02/12/18A	03/09/18A
3740	MDF/IDF Completion	15	02/12/18A	03/09/18A
3750	Permanent Power Inspections	5	03/05/18A	03/09/18A
3760	Permanent Power	0		03/29/18A
3770	Fire Stopping & Smoke Seal	5	02/26/18A	03/02/18A
3780	Visual Display Boards	5	03/12/18A	03/16/18A
3790	Misc Specialties	5	04/09/18A	04/13/18A
3800	Permanent Rails	5	03/05/18A	03/09/18A
3810	HVAC Start-up	0		04/13/18A
3820	Casework	10	03/05/18A	03/16/18A
3830	Above Ceiling Inspections	10	03/05/18A	03/16/18A
3840	Final Paint	5	03/12/18A	03/16/18A
3850	Sinks in Casework	5	03/19/18A	03/23/18A
3860	Ceiling Tile	5	04/16/18A	04/20/18A
3870	MDF/IDF Clean Environment	5	03/19/18A	03/23/18A
3880	Signage	5	04/16/18A	04/20/18A
3890	Doors & Hardware	5	04/16/18A	04/20/18A
3900	Technology Equipment / Network Active	5	04/16/18A	04/20/18A
3910	VCT & Carpet	10	04/23/18A	05/11/18A
3920	Interior Glazing	3	04/23/18A	04/25/18A
3930	Misc Equipment	3	04/23/18A	04/25/18A
3940	Systems Testing	10	04/23/18A	05/04/18A
3950	Test & Balance	10	04/23/18A	05/04/18A
3960	Window Treatment	3	04/26/18A	04/30/18A
Bldg 100 North Area 2nd Floor Completion				
4000	CPPI Punch List	5	05/07/18A	05/11/18A
4010	CPPI Punch List Work	5	05/14/18A	05/18/18A
4020	Final Cleaning & Waxing	5	05/07/18A	05/16/18A
4030	Final Inspections	10	05/07/18A	07/09/18A
4040	A/E/Maint Punch List	5	05/21/18A	05/25/18A
4050	Permanent Cores	4	05/23/18A	05/23/18A



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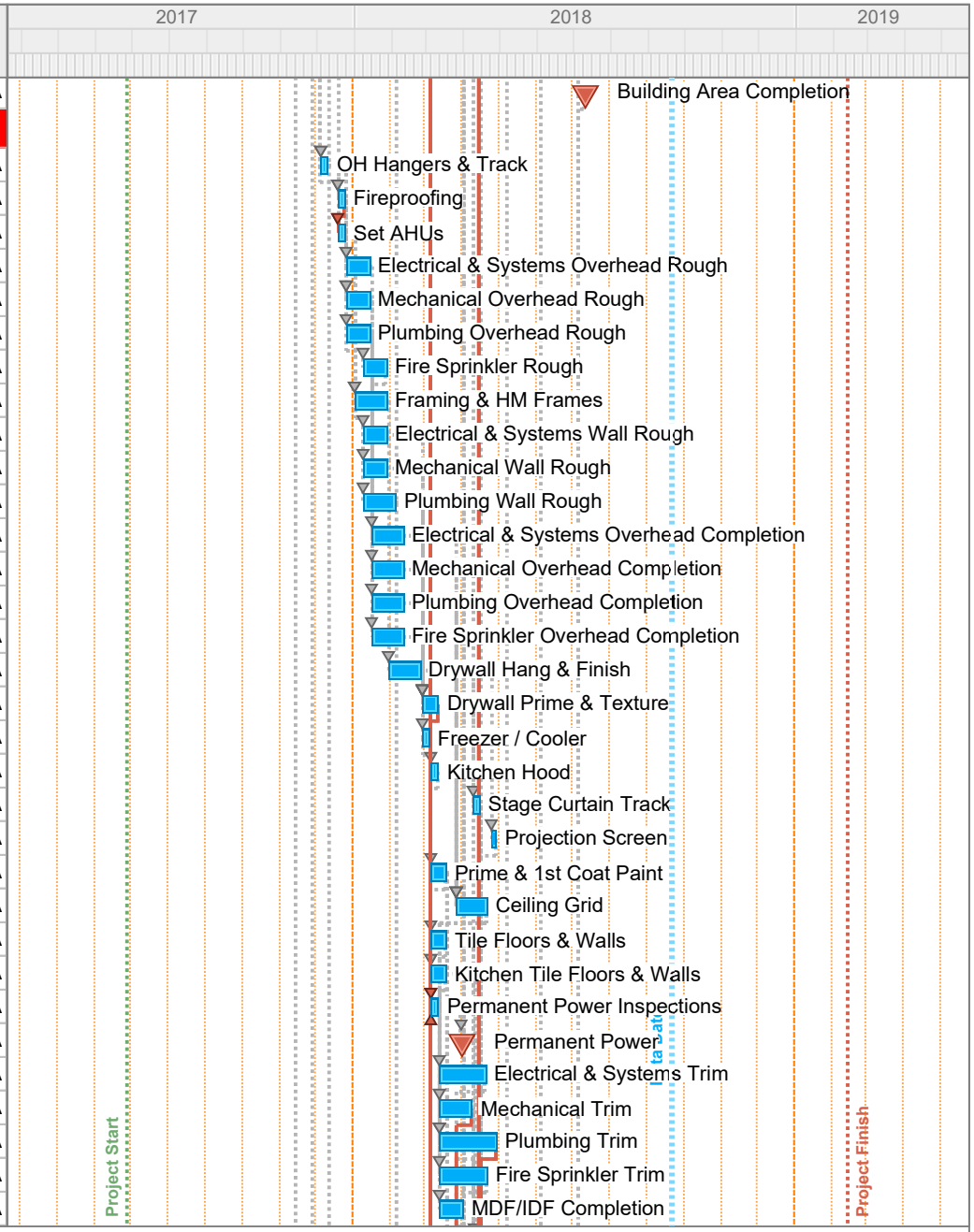
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
4060	Building Area Completion	0		07/09/18A
Bldg 100 South Area Finish				
4100	OH Hangers & Track	5	12/04/17A	12/08/17A
4110	Fireproofing	5	12/18/17A	12/22/17A
4120	Set AHUs	5	12/18/17A	12/22/17A
4130	Electrical & Systems Overhead Rough	15	12/25/17A	01/12/18A
4140	Mechanical Overhead Rough	15	12/25/17A	01/12/18A
4150	Plumbing Overhead Rough	15	12/25/17A	01/12/18A
4160	Fire Sprinkler Rough	10	01/08/18A	01/26/18A
4170	Framing & HM Frames	15	01/01/18A	01/26/18A
4180	Electrical & Systems Wall Rough	15	01/08/18A	01/26/18A
4190	Mechanical Wall Rough	15	01/08/18A	01/26/18A
4200	Plumbing Wall Rough	15	01/08/18A	02/02/18A
4210	Electrical & Systems Overhead Completion	15	01/15/18A	02/09/18A
4220	Mechanical Overhead Completion	15	01/15/18A	02/09/18A
4230	Plumbing Overhead Completion	15	01/15/18A	02/09/18A
4240	Fire Sprinkler Overhead Completion	15	01/15/18A	02/09/18A
4250	Drywall Hang & Finish	15	01/29/18A	02/23/18A
4260	Drywall Prime & Texture	10	02/26/18A	03/09/18A
4270	Freezer / Cooler	5	02/26/18A	03/02/18A
4280	Kitchen Hood	5	03/05/18A	03/09/18A
4290	Stage Curtain Track	5	04/09/18A	04/13/18A
4300	Projection Screen	5	04/24/18A	04/26/18A
4310	Prime & 1st Coat Paint	10	03/05/18A	03/16/18A
4320	Ceiling Grid	10	03/26/18A	04/19/18A
4330	Tile Floors & Walls	10	03/05/18A	03/16/18A
4340	Kitchen Tile Floors & Walls	10	03/05/18A	03/16/18A
4350	Permanent Power Inspections	5	03/05/18A	03/09/18A
4360	Permanent Power	0		03/29/18A
4370	Electrical & Systems Trim	15	03/12/18A	04/18/18A
4380	Mechanical Trim	15	03/12/18A	04/06/18A
4390	Plumbing Trim	15	03/12/18A	04/27/18A
4400	Fire Sprinkler Trim	15	03/12/18A	04/19/18A
4410	MDF/IDF Completion	15	03/12/18A	03/30/18A



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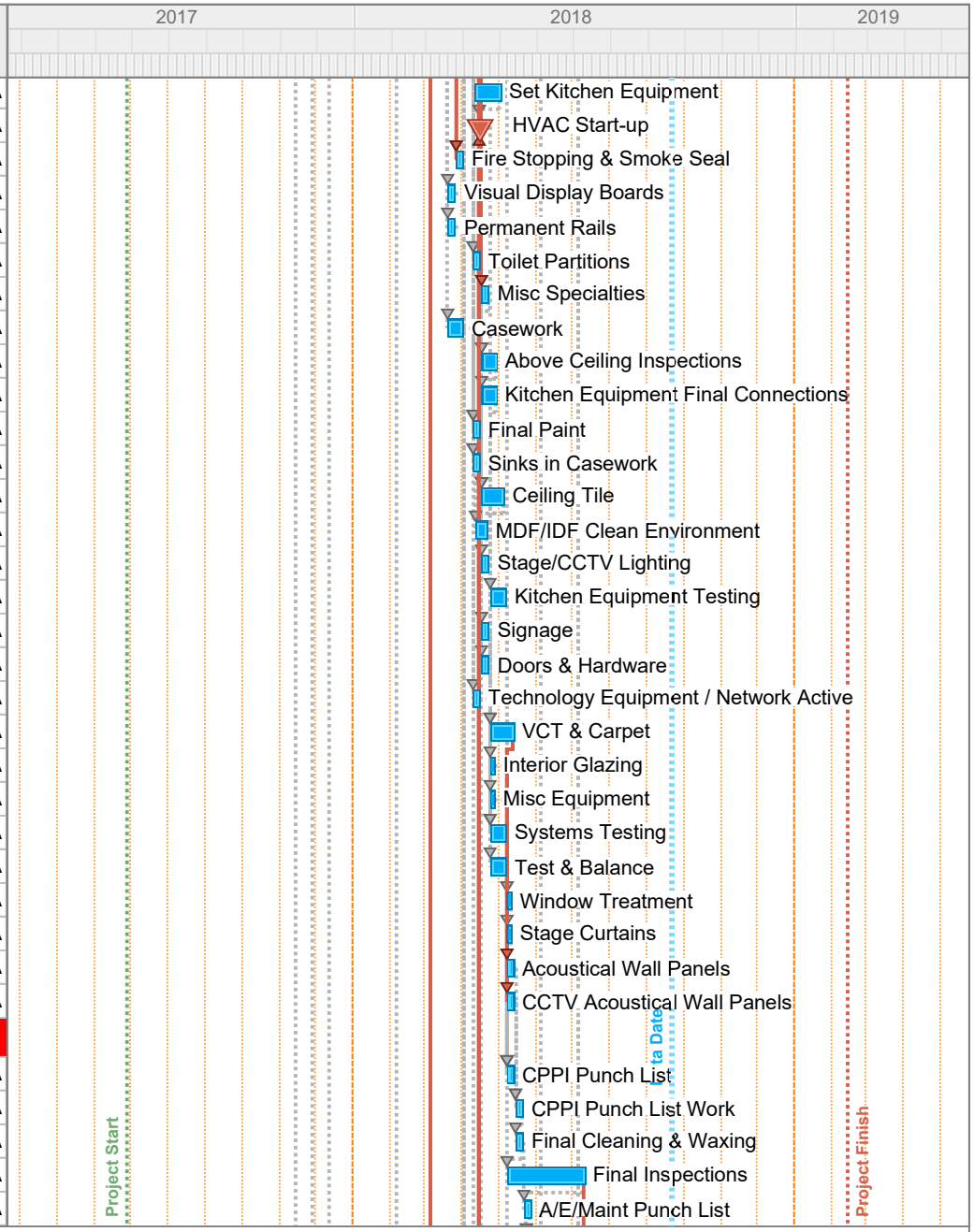
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
4420	Set Kitchen Equipment	10	04/10/18A	04/30/18A
4430	HVAC Start-up	0		04/13/18A
4440	Fire Stopping & Smoke Seal	5	03/26/18A	03/30/18A
4450	Visual Display Boards	5	03/19/18A	03/23/18A
4460	Permanent Rails	5	03/19/18A	03/23/18A
4470	Toilet Partitions	5	04/09/18A	04/13/18A
4480	Misc Specialties	5	04/16/18A	04/20/18A
4490	Casework	10	03/19/18A	03/30/18A
4500	Above Ceiling Inspections	10	04/16/18A	04/27/18A
4510	Kitchen Equipment Final Connections	10	04/16/18A	04/27/18A
4520	Final Paint	5	04/09/18A	04/13/18A
4530	Sinks in Casework	5	04/09/18A	04/13/18A
4540	Ceiling Tile	5	04/16/18A	05/03/18A
4550	MDF/IDF Clean Environment	5	04/11/18A	04/19/18A
4560	Stage/CCTV Lighting	5	04/16/18A	04/20/18A
4570	Kitchen Equipment Testing	10	04/23/18A	05/04/18A
4580	Signage	5	04/16/18A	04/20/18A
4590	Doors & Hardware	5	04/16/18A	04/20/18A
4600	Technology Equipment / Network Active	5	04/09/18A	04/13/18A
4610	VCT & Carpet	10	04/23/18A	05/11/18A
4620	Interior Glazing	3	04/23/18A	04/25/18A
4630	Misc Equipment	3	04/23/18A	04/25/18A
4640	Systems Testing	10	04/23/18A	05/04/18A
4650	Test & Balance	10	04/23/18A	05/04/18A
4660	Window Treatment	3	05/07/18A	05/09/18A
4670	Stage Curtains	3	05/07/18A	05/09/18A
4680	Acoustical Wall Panels	5	05/07/18A	05/11/18A
4690	CCTV Acoustical Wall Panels	5	05/07/18A	05/11/18A
Bldg 100 South Area Completion				
4700	CPPI Punch List	5	05/07/18A	05/11/18A
4710	CPPI Punch List Work	5	05/14/18A	05/18/18A
4720	Final Cleaning & Waxing	5	05/14/18A	05/18/18A
4730	Final Inspections	10	05/07/18A	07/09/18A
4740	A/E/Maint Punch List	5	05/21/18A	05/25/18A



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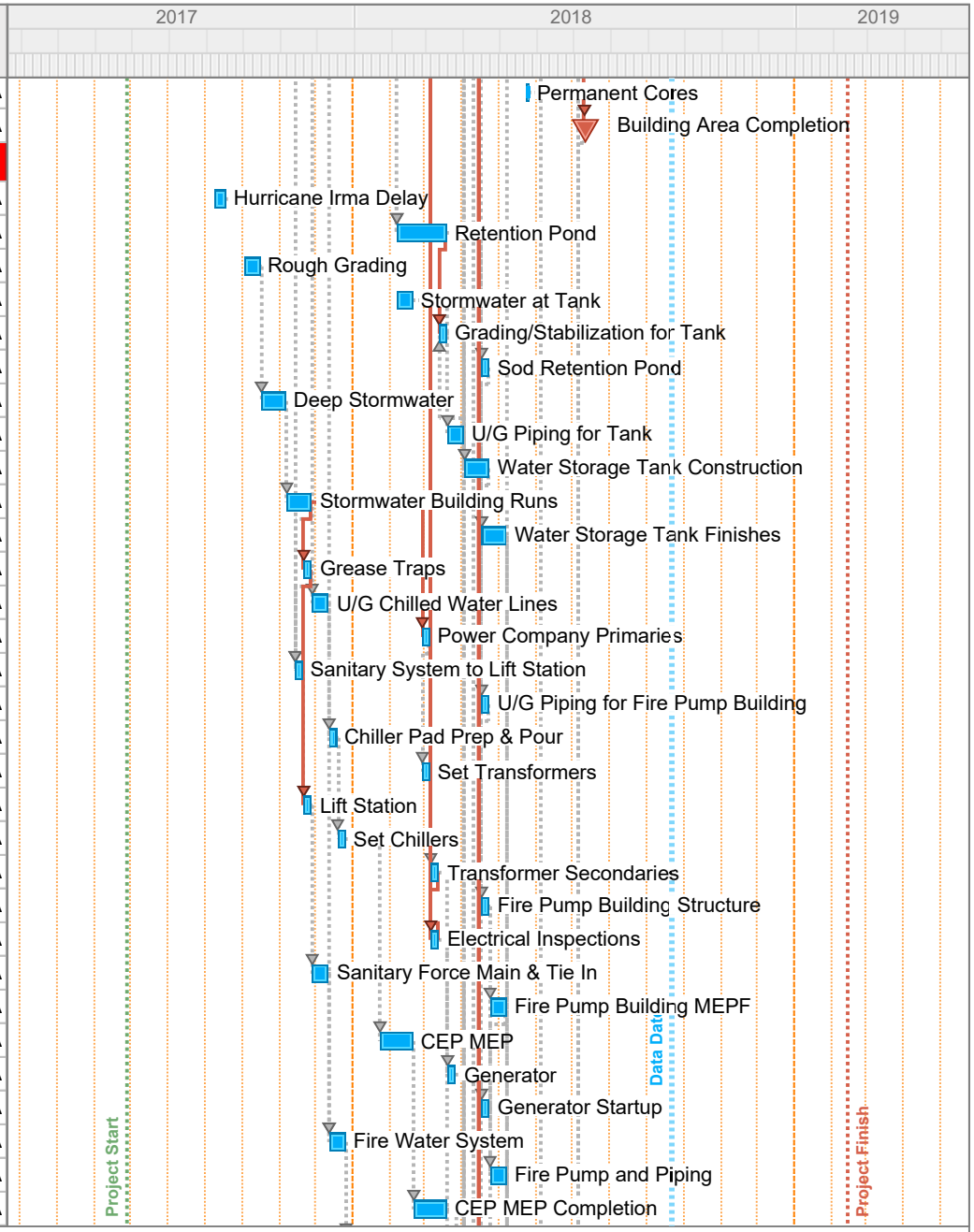
CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
4750	Permanent Cores	4	05/23/18A	05/23/18A
4760	Building Area Completion	0		07/09/18A
Site				
4795	Hurricane Irma Delay	6	09/07/17A	09/14/17A
5000	Retention Pond	15	02/05/18A	03/16/18A
5020	Rough Grading	10	10/02/17A	10/13/17A
5030	Stormwater at Tank	10	02/05/18A	02/16/18A
5050	Grading/Stabilization for Tank	5	03/12/18A	03/16/18A
5060	Sod Retention Pond	5	04/16/18A	04/20/18A
5070	Deep Stormwater	15	10/16/17A	11/03/17A
5080	U/G Piping for Tank	5	03/19/18A	03/30/18A
5090	Water Storage Tank Construction	15	04/02/18A	04/20/18A
5100	Stormwater Building Runs	15	11/06/17A	11/24/17A
5110	Water Storage Tank Finishes	15	04/16/18A	05/04/18A
5120	Grease Traps	5	11/20/17A	11/24/17A
5130	U/G Chilled Water Lines	10	11/27/17A	12/08/17A
5140	Power Company Primaries	5	02/26/18A	03/02/18A
5150	Sanitary System to Lift Station	5	11/13/17A	11/17/17A
5160	U/G Piping for Fire Pump Building	5	04/16/18A	04/20/18A
5170	Chiller Pad Prep & Pour	5	12/11/17A	12/15/17A
5180	Set Transformers	5	02/26/18A	03/02/18A
5190	Lift Station	10	11/20/17A	11/24/17A
5200	Set Chillers	5	12/18/17A	12/22/17A
5210	Transformer Secondaries	5	03/05/18A	03/09/18A
5220	Fire Pump Building Structure	5	04/16/18A	04/20/18A
5230	Electrical Inspections	5	03/05/18A	03/09/18A
5240	Sanitary Force Main & Tie In	10	11/27/17A	12/08/17A
5250	Fire Pump Building MEPF	10	04/23/18A	05/04/18A
5260	CEP MEP	15	01/22/18A	02/16/18A
5270	Generator	5	03/19/18A	03/23/18A
5280	Generator Startup	5	04/16/18A	04/20/18A
5290	Fire Water System	10	12/11/17A	12/22/17A
5300	Fire Pump and Piping	10	04/23/18A	05/04/18A
5310	CEP MEP Completion	15	02/19/18A	03/16/18A



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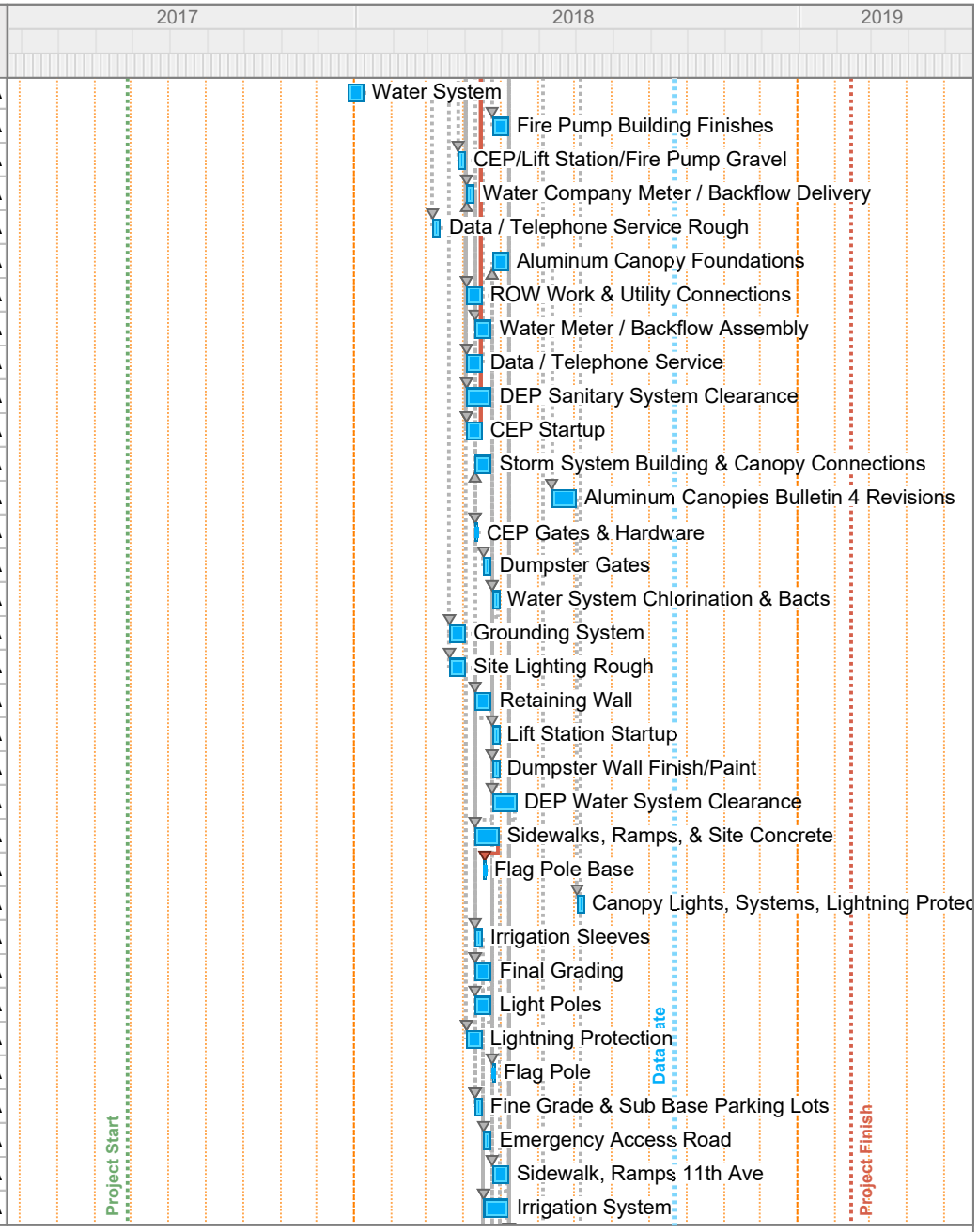
ID	Description	Original Duration	Start	Finish
5320	Water System	10	12/25/17A	01/05/18A
5330	Fire Pump Building Finishes	10	04/23/18A	05/04/18A
5340	CEP/Lift Station/Fire Pump Gravel	5	03/26/18A	03/30/18A
5350	Water Company Meter / Backflow Delivery	5	04/02/18A	04/06/18A
5360	Data / Telephone Service Rough	5	03/05/18A	03/09/18A
5370	Aluminum Canopy Foundations	10	04/23/18A	05/04/18A
5380	ROW Work & Utility Connections	10	04/02/18A	04/13/18A
5390	Water Meter / Backflow Assembly	10	04/09/18A	04/20/18A
5400	Data / Telephone Service	10	04/02/18A	04/13/18A
5410	DEP Sanitary System Clearance	15	04/02/18A	04/20/18A
5420	CEP Startup	10	04/02/18A	04/13/18A
5430	Storm System Building & Canopy Connections	10	04/09/18A	04/20/18A
5440	Aluminum Canopies Bulletin 4 Revisions	15	06/11/18A	06/29/18A
5450	CEP Gates & Hardware	1	04/09/18A	04/09/18A
5460	Dumpster Gates	5	04/16/18A	04/20/18A
5470	Water System Chlorination & Bacts	5	04/23/18A	04/27/18A
5480	Grounding System	10	03/19/18A	03/30/18A
5490	Site Lighting Rough	10	03/19/18A	03/30/18A
5500	Retaining Wall	10	04/09/18A	04/20/18A
5510	Lift Station Startup	5	04/23/18A	04/27/18A
5520	Dumpster Wall Finish/Paint	5	04/23/18A	04/27/18A
5530	DEP Water System Clearance	15	04/23/18A	05/11/18A
5540	Sidewalks, Ramps, & Site Concrete	15	04/09/18A	04/27/18A
5550	Flag Pole Base	1	04/16/18A	04/16/18A
5560	Canopy Lights, Systems, Lightning Protection	5	07/02/18A	07/06/18A
5570	Irrigation Sleeves	5	04/09/18A	04/13/18A
5580	Final Grading	10	04/09/18A	04/20/18A
5590	Light Poles	10	04/09/18A	04/20/18A
5600	Lightning Protection	10	04/02/18A	04/13/18A
5610	Flag Pole	1	04/23/18A	04/23/18A
5620	Fine Grade & Sub Base Parking Lots	5	04/09/18A	04/13/18A
5630	Emergency Access Road	5	04/16/18A	04/20/18A
5640	Sidewalk, Ramps 11th Ave	10	04/23/18A	05/04/18A
5650	Irrigation System	15	04/16/18A	05/04/18A



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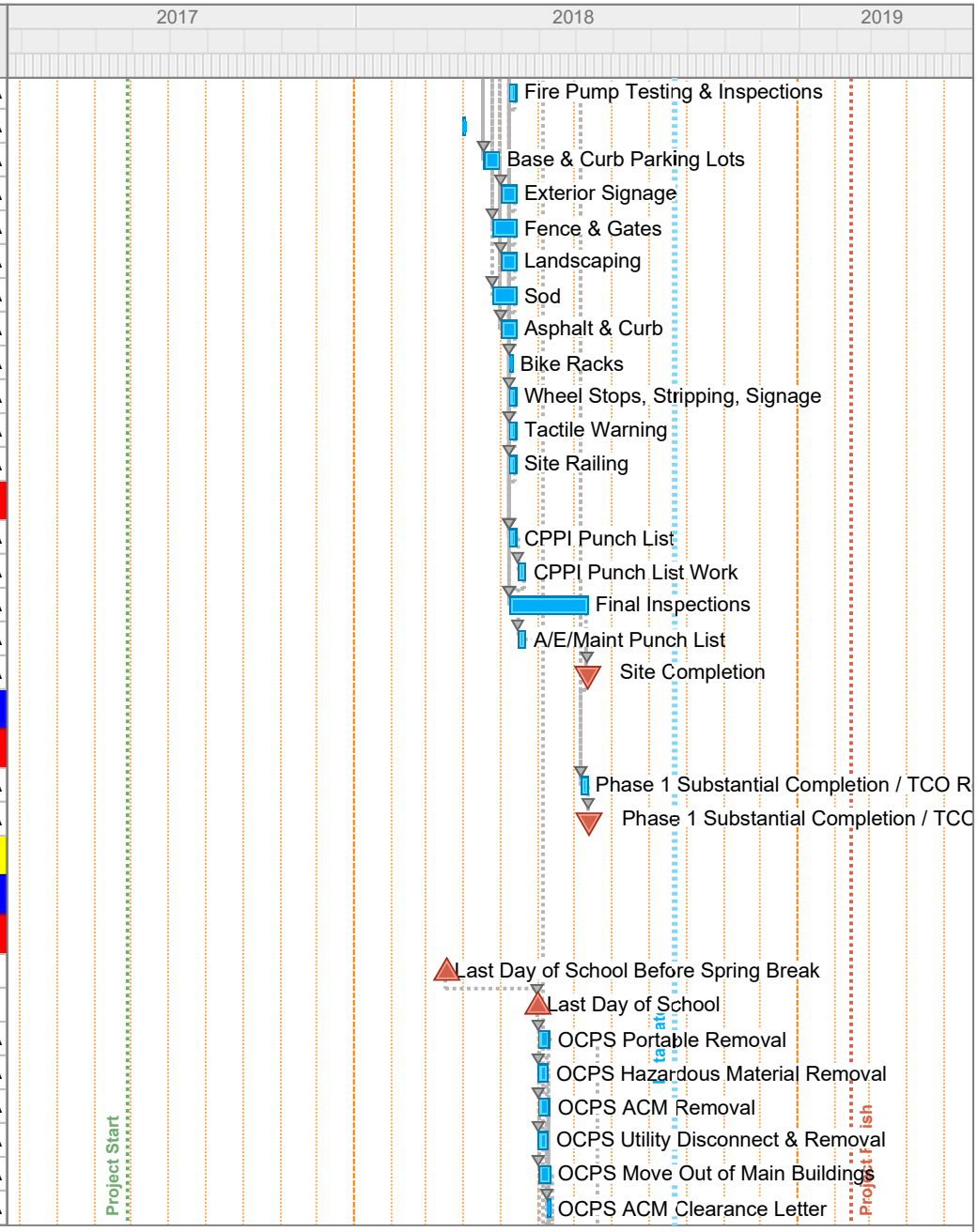
ID	Description	Original Duration	Start	Finish
5660	Fire Pump Testing & Inspections	5	05/07/18A	05/11/18A
5665		1	03/30/18A	03/30/18A
5670	Base & Curb Parking Lots	10	04/16/18A	04/27/18A
5680	Exterior Signage	10	04/30/18A	05/11/18A
5690	Fence & Gates	15	04/23/18A	05/11/18A
5700	Landscaping	10	04/30/18A	05/11/18A
5710	Sod	15	04/23/18A	05/11/18A
5720	Asphalt & Curb	10	04/30/18A	05/11/18A
5730	Bike Racks	2	05/07/18A	05/08/18A
5740	Wheel Stops, Stripping, Signage	5	05/07/18A	05/11/18A
5750	Tactile Warning	5	05/07/18A	05/11/18A
5760	Site Railing	5	05/07/18A	05/11/18A
Site Completion				
5800	CPPI Punch List	5	05/07/18A	05/11/18A
5810	CPPI Punch List Work	5	05/14/18A	05/18/18A
5820	Final Inspections	10	05/07/18A	07/09/18A
5830	A/E/Maint Punch List	5	05/14/18A	05/18/18A
5840	Site Completion	0		07/09/18A
Completion				
Completion				
5900	Phase 1 Substantial Completion / TCO Request	4	07/05/18A	07/09/18A
5910	Phase 1 Substantial Completion / TCO	0		07/10/18A
Phase 2A - ESE Bus Loop				
Construction				
Site Preperation				
6000	Last Day of School Before Spring Break	0	03/16/18A	
6002	Last Day of School	0	05/30/18A	
6004	OCPS Portable Removal	5	05/31/18A	06/07/18A
6006	OCPS Hazardous Material Removal	5	05/31/18A	06/06/18A
6008	OCPS ACM Removal	5	05/31/18A	06/07/18A
6010	OCPS Utility Disconnect & Removal	5	05/31/18A	06/06/18A
6012	OCPS Move Out of Main Buildings	7	05/31/18A	06/08/18A
6014	OCPS ACM Clearance Letter	2	06/07/18A	06/08/18A



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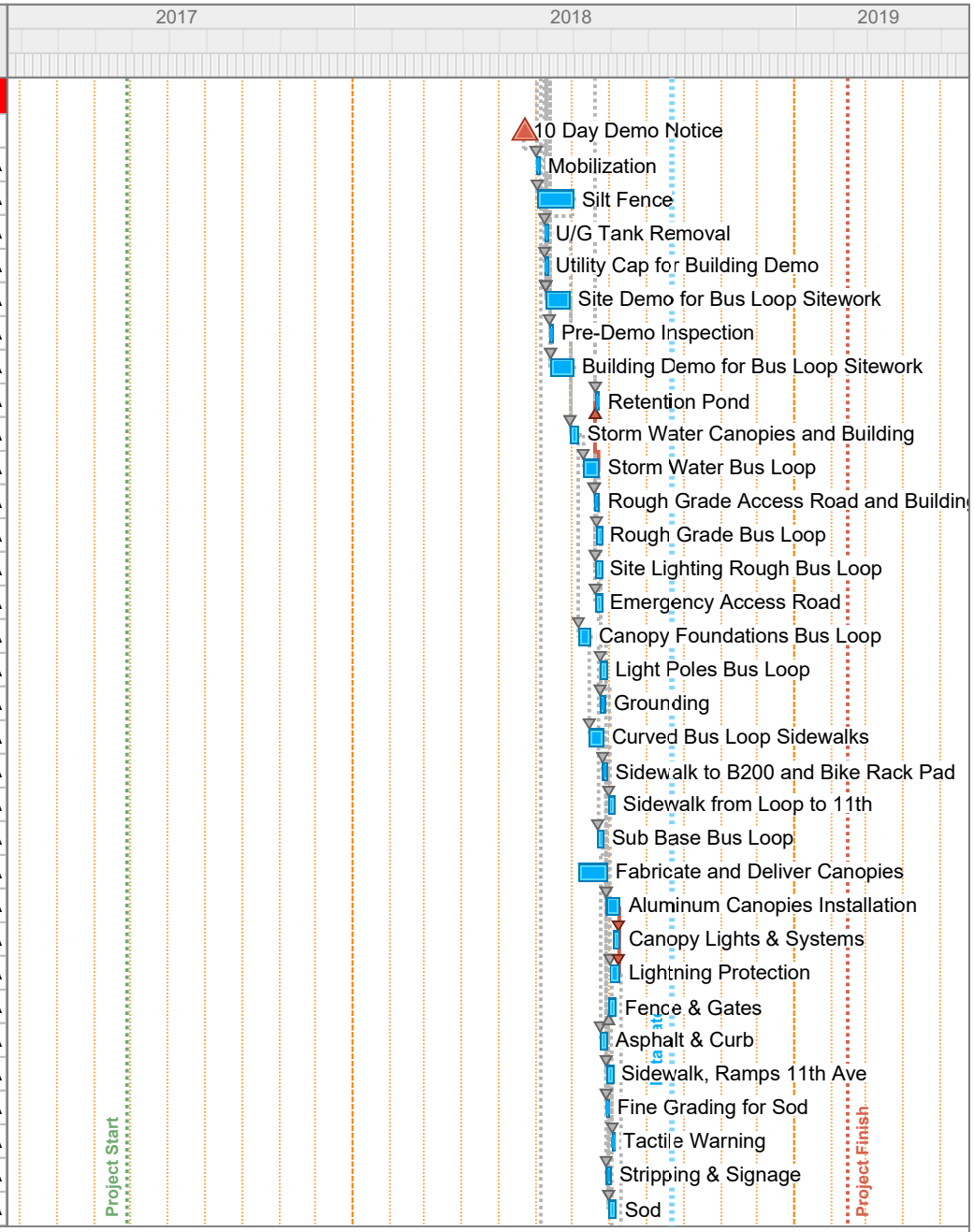
CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
Site				
6016	10 Day Demo Notice	0	05/21/18A	
6020	Mobilization	1	05/31/18A	06/01/18A
6030	Silt Fence	4	06/01/18A	06/29/18A
6040	U/G Tank Removal	2	06/07/18A	06/08/18A
6042	Utility Cap for Building Demo	2	06/07/18A	06/08/18A
6050	Site Demo for Bus Loop Sitework	5	06/08/18A	06/26/18A
6052	Pre-Demo Inspection	1	06/11/18A	06/12/18A
6056	Building Demo for Bus Loop Sitework	4	06/12/18A	06/29/18A
6060	Retention Pond	5	07/19/18A	07/20/18A
6070	Storm Water Canopies and Building	10	06/28/18A	07/03/18A
6075	Storm Water Bus Loop	5	07/09/18A	07/20/18A
6080	Rough Grade Access Road and Buildings	5	07/18/18A	07/20/18A
6085	Rough Grade Bus Loop	3	07/20/18A	07/23/18A
6090	Site Lighting Rough Bus Loop	5	07/19/18A	07/23/18A
6100	Emergency Access Road	5	07/19/18A	07/23/18A
6110	Canopy Foundations Bus Loop	7	07/05/18A	07/13/18A
6120	Light Poles Bus Loop	5	07/23/18A	07/27/18A
6130	Grounding	3	07/23/18A	07/25/18A
6140	Curved Bus Loop Sidewalks	6	07/14/18A	07/24/18A
6145	Sidewalk to B200 and Bike Rack Pad	3	07/25/18A	07/27/18A
6147	Sidewalk from Loop to 11th	4	07/30/18A	08/02/18A
6150	Sub Base Bus Loop	5	07/21/18A	07/24/18A
6155	Fabricate and Deliver Canopies	17	07/05/18A	07/27/18A
6160	Aluminum Canopies Installation	5	07/28/18A	08/06/18A
6280	Canopy Lights & Systems	3	08/03/18A	08/06/18A
6300	Lightning Protection	5	07/31/18A	08/06/18A
6310	Fence & Gates	5	07/30/18A	08/03/18A
6320	Asphalt & Curb	5	07/23/18A	07/27/18A
6330	Sidewalk, Ramps 11th Ave	5	07/28/18A	08/01/18A
6340	Fine Grading for Sod	1	07/28/18A	07/28/18A
6380	Tactile Warning	1	08/02/18A	08/02/18A
6390	Stripping & Signage	5	07/28/18A	07/30/18A
6400	Sod	5	07/30/18A	08/03/18A



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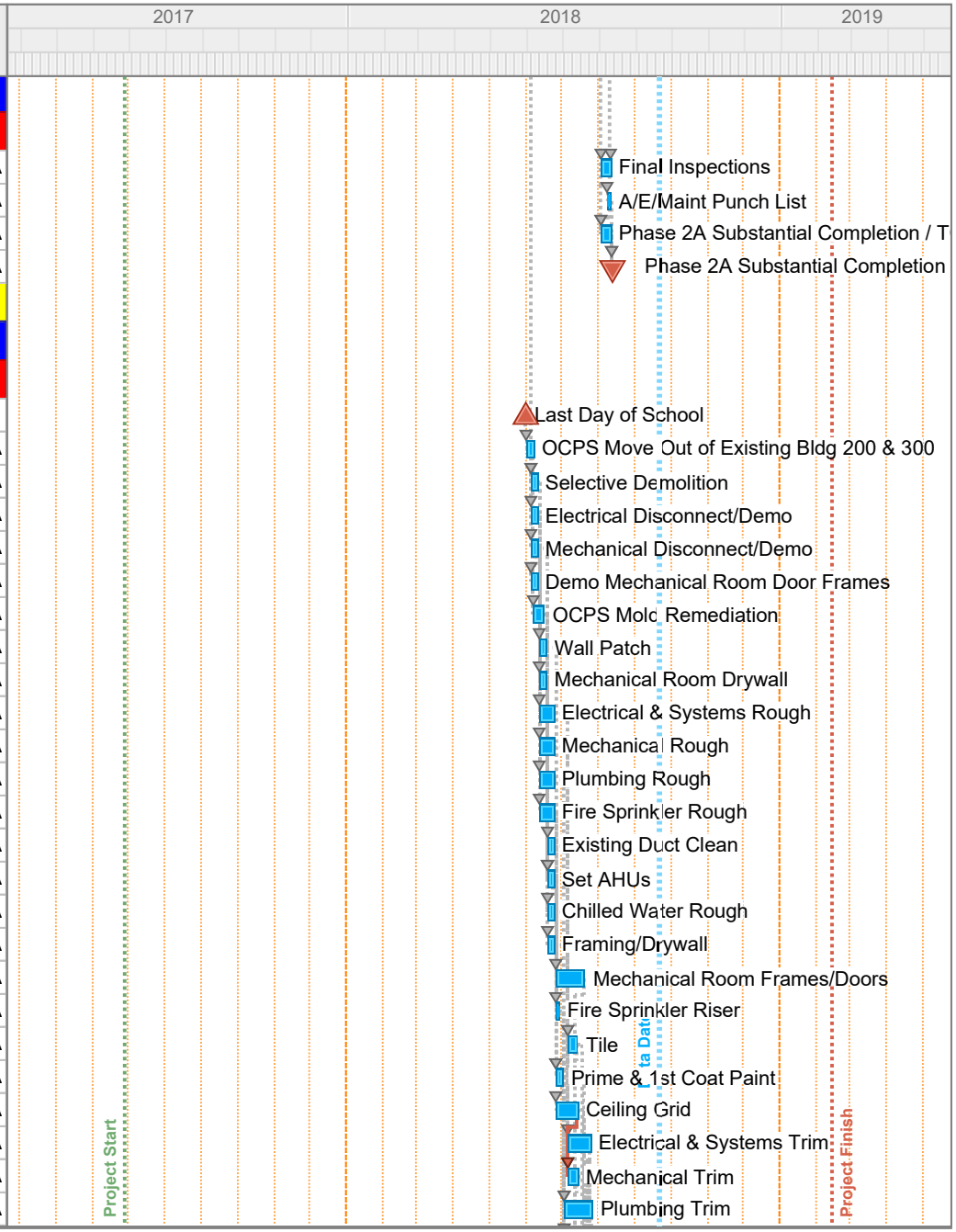
CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
Completion				
ESE Bus Loop Completion				
6520	Final Inspections	5	08/02/18A	08/09/18A
6530	A/E/Maint Punch List	5	08/07/18A	08/08/18A
6540	Phase 2A Substantial Completion / TCO Request	1	08/02/18A	08/09/18A
6550	Phase 2A Substantial Completion / TCO	0		08/10/18A
Phase 2 - Existing Building Renovation				
Construction				
Building 200 and 300				
7000	Last Day of School	0	05/30/18A	
7010	OCPS Move Out of Existing Bldg 200 & 300	4	05/31/18A	06/05/18A
7020	Selective Demolition	5	06/04/18A	06/08/18A
7030	Electrical Disconnect/Demo	5	06/04/18A	06/08/18A
7040	Mechanical Disconnect/Demo	5	06/04/18A	06/08/18A
7050	Demo Mechanical Room Door Frames	5	06/04/18A	06/08/18A
7055	OCPS Mold Remediation	6	06/06/18A	06/13/18A
7060	Wall Patch	5	06/11/18A	06/15/18A
7070	Mechanical Room Drywall	5	06/11/18A	06/15/18A
7090	Electrical & Systems Rough	10	06/11/18A	06/22/18A
7100	Mechanical Rough	10	06/11/18A	06/22/18A
7110	Plumbing Rough	10	06/11/18A	06/22/18A
7120	Fire Sprinkler Rough	10	06/11/18A	06/22/18A
7125	Existing Duct Clean	5	06/18/18A	06/22/18A
7130	Set AHUs	5	06/18/18A	06/22/18A
7140	Chilled Water Rough	5	06/18/18A	06/22/18A
7150	Framing/Drywall	5	06/18/18A	06/22/18A
7160	Mechanical Room Frames/Doors	5	06/25/18A	07/17/18A
7170	Fire Sprinkler Riser	5	06/25/18A	06/26/18A
7180	Tile	5	07/05/18A	07/11/18A
7190	Prime & 1st Coat Paint	5	06/25/18A	06/29/18A
7200	Ceiling Grid	5	06/25/18A	07/12/18A
7210	Electrical & Systems Trim	5	07/05/18A	07/23/18A
7220	Mechanical Trim	5	07/05/18A	07/12/18A
7230	Plumbing Trim	5	07/02/18A	07/24/18A



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CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
7240	Fire Sprinkler Trim	5	07/02/18A	07/11/18A
7250	Visual Display Boards	3	07/18/18A	07/20/18A
7260	Misc Specialties	5	07/17/18A	07/24/18A
7270	HVAC Startup	0		07/10/18A
7280	Above Ceiling Inspections	5	07/11/18A	07/20/18A
7290	Final Paint	5	07/25/18A	07/31/18A
7300	IDF Clean Environment	5	07/19/18A	07/23/18A
7310	Exterior Patch	1	07/23/18A	07/24/18A
7320	Exterior Final Paint	3	07/23/18A	07/25/18A
7330	Ceiling Tile	5	07/19/18A	07/24/18A
7340	Technology Equipment	5	07/17/18A	07/27/18A
7350	Signage	2	07/25/18A	07/26/18A
7360	VCT & Carpet	10	07/16/18A	07/27/18A
7380	Test & Balance	3	07/30/18A	08/01/18A
7390	Systems Testing	1	07/30/18A	07/30/18A
7400	Window Treatment	2	07/26/18A	07/27/18A
Completion				
Building 200 and 300 Completion				
7500	CPPI Punch List	1	07/30/18A	07/30/18A
7510	Final Cleaning & Waxing	3	07/27/18A	07/31/18A
7520	CPPI Punch List Work	5	07/31/18A	08/06/18A
7530	Final Inspections	5	07/30/18A	08/09/18A
7540	A/E/Maint Punch List	3	08/01/18A	08/03/18A
7550	Permanent Cores	2	08/02/18A	08/03/18A
7560	Phase 2 Substantial Completion / TCO Request	1	08/02/18A	08/09/18A
7570	Phase 2 Substantial Completion / TCO	0		08/10/18A
Phase 3 - Demo and Covered Play				
Construction				
Site Preperation				
8000	Last Day of School	0	05/30/18A	
8010	OCPS Hazardous Material Removal	5	05/31/18A	06/06/18A
8020	OCPS ACM Removal	5	05/31/18A	06/06/18A
8030	OCPS Utility Disconnect and Demo	5	05/31/18A	06/06/18A
8040	OCPS Move Out of Main Buildings	7	05/31/18A	06/08/18A

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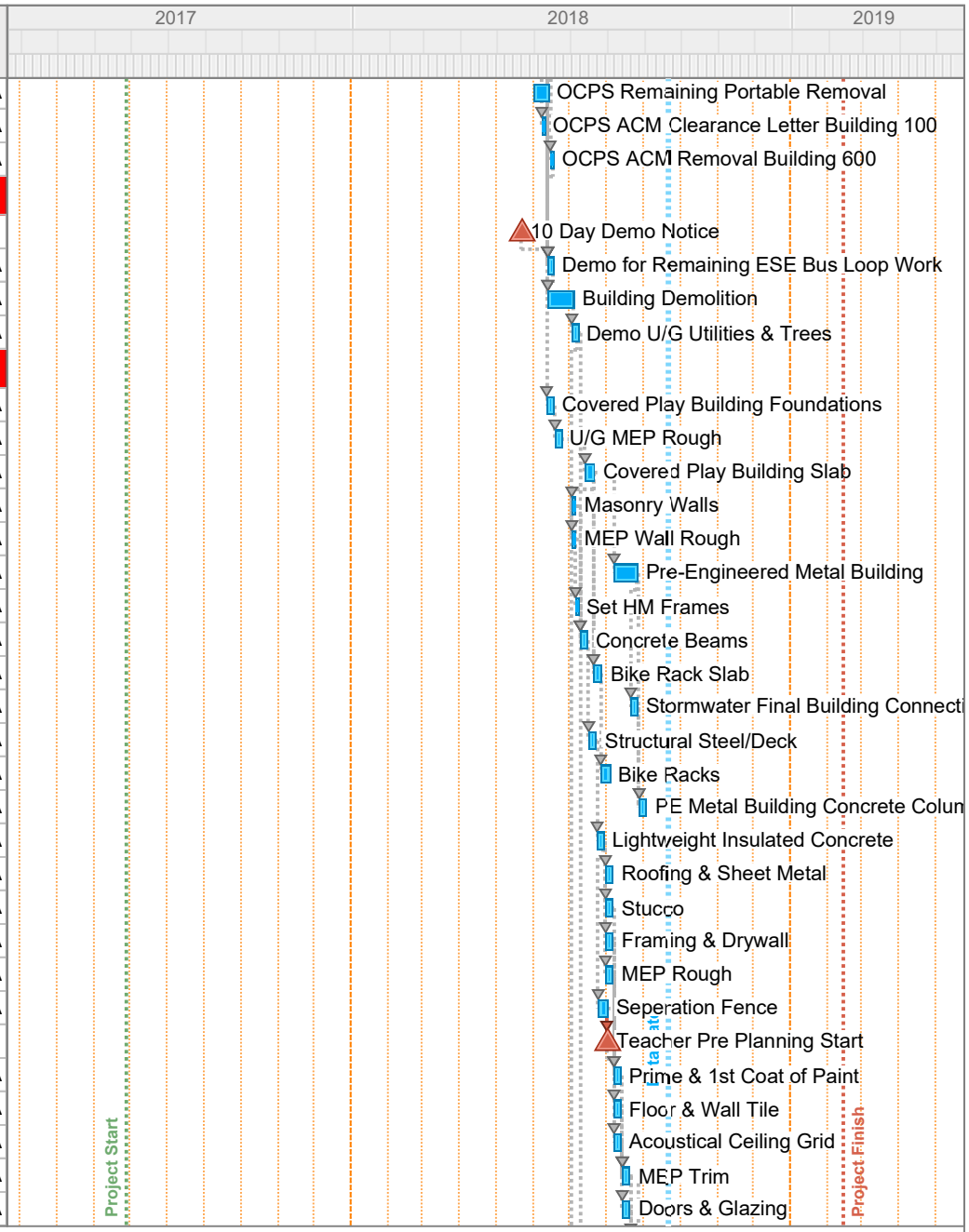
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
8050	OCPS Remaining Portable Removal	8	05/31/18A	06/11/18A
8054	OCPS ACM Clearance Letter Building 100	2	06/07/18A	06/08/18A
8056	OCPS ACM Removal Building 600	2	06/14/18A	06/15/18A
Demo				
8058	10 Day Demo Notice	0	05/21/18A	
8060	Demo for Remaining ESE Bus Loop Work	4	06/12/18A	06/15/18A
8070	Building Demolition	15	06/12/18A	07/02/18A
8080	Demo U/G Utilities & Trees	5	07/02/18A	07/06/18A
Covered Play Building				
8090	Covered Play Building Foundations	5	06/11/18A	06/15/18A
8100	U/G MEP Rough	5	06/18/18A	06/22/18A
8110	Covered Play Building Slab	5	07/13/18A	07/19/18A
8120	Masonry Walls	10	07/02/18A	07/03/18A
8130	MEP Wall Rough	10	07/02/18A	07/03/18A
8135	Pre-Engineered Metal Building	15	08/06/18A	08/24/18A
8140	Set HM Frames	2	07/05/18A	07/06/18A
8150	Concrete Beams	5	07/09/18A	07/13/18A
8153	Bike Rack Slab	4	07/20/18A	07/25/18A
8156	Stormwater Final Building Connections	5	08/20/18A	08/24/18A
8160	Structural Steel/Deck	5	07/16/18A	07/20/18A
8163	Bike Racks	5	07/26/18A	08/01/18A
8166	PE Metal Building Concrete Columns	2	08/27/18A	08/31/18A
8170	Lightweight Insulated Concrete	2	07/23/18A	07/27/18A
8180	Roofing & Sheet Metal	5	07/30/18A	08/03/18A
8190	Stucco	5	07/30/18A	08/03/18A
8200	Framing & Drywall	5	07/30/18A	08/03/18A
8210	MEP Rough	5	07/30/18A	08/03/18A
8215	Seperation Fence	5	07/24/18A	07/30/18A
8217	Teacher Pre Planning Start	0	07/31/18A	
8220	Prime & 1st Coat of Paint	5	08/06/18A	08/10/18A
8230	Floor & Wall Tile	5	08/06/18A	08/10/18A
8240	Acoustical Ceiling Grid	5	08/06/18A	08/10/18A
8260	MEP Trim	7	08/13/18A	08/17/18A
8270	Doors & Glazing	5	08/13/18A	08/17/18A



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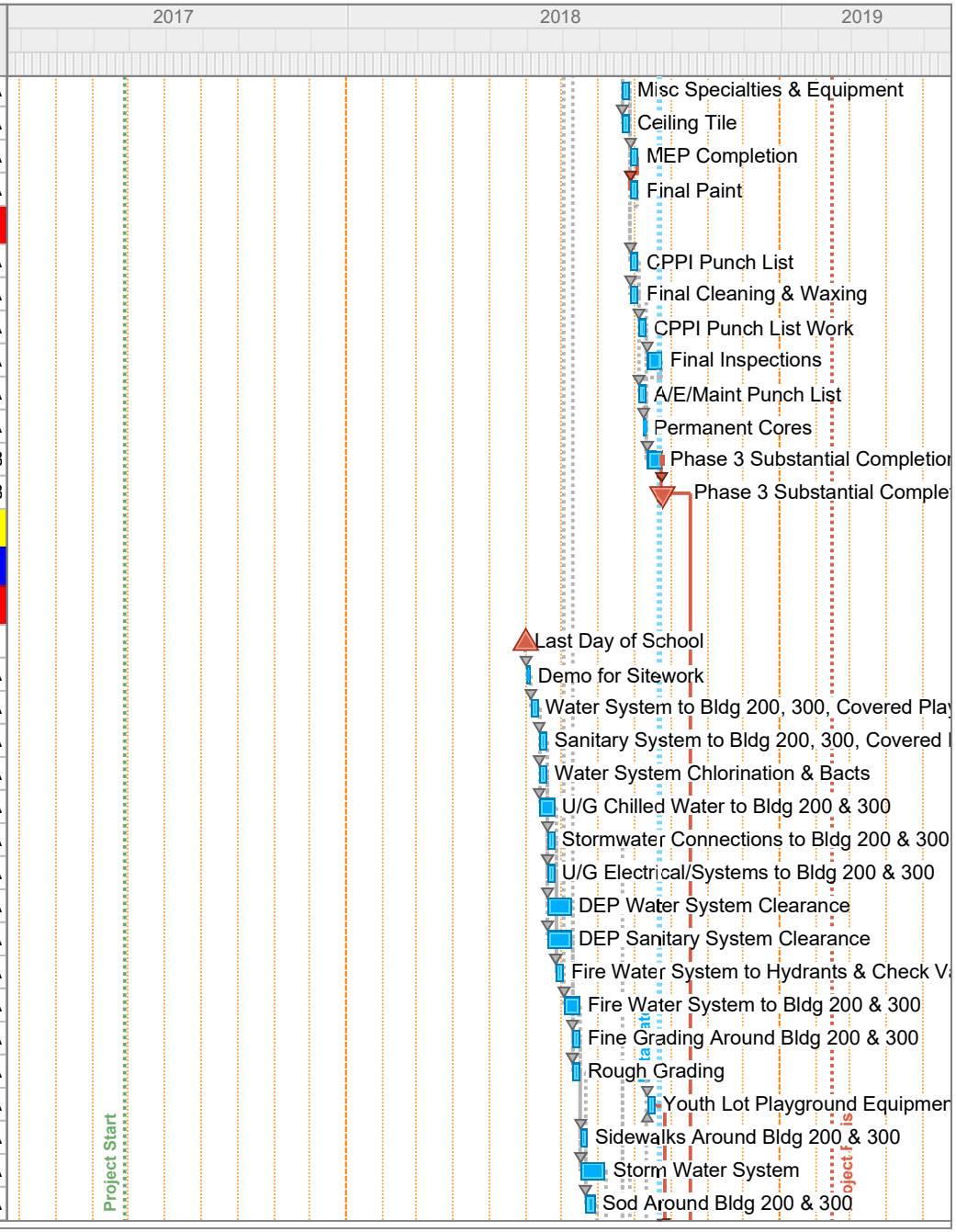
CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
8280	Misc Specialties & Equipment	5	08/20/18A	08/24/18A
8290	Ceiling Tile	5	08/20/18A	08/24/18A
8320	MEP Completion	5	08/27/18A	08/31/18A
8330	Final Paint	5	08/27/18A	08/31/18A
Covered Play Building Completion				
8400	CPPI Punch List	5	08/27/18A	08/31/18A
8410	Final Cleaning & Waxing	5	08/27/18A	08/31/18A
8420	CPPI Punch List Work	5	09/03/18A	09/07/18A
8430	Final Inspections	5	09/10/18A	09/20/18A
8440	A/E/Maint Punch List	5	09/03/18A	09/07/18A
8450	Permanent Cores	1	09/07/18A	09/07/18A
8460	Phase 3 Substantial Completion / TCO Request	2	09/10/18A	09/21/18
8470	Phase 3 Substantial Completion / TCO	0		09/21/18
Phae 4 - Sitework and Playfields				
Construction				
Site				
8500	Last Day of School	0	05/30/18A	
8510	Demo for Sitework	2	05/31/18A	06/01/18A
8520	Water System to Bldg 200, 300, Covered Play	5	06/04/18A	06/08/18A
8530	Sanitary System to Bldg 200, 300, Covered Play	5	06/11/18A	06/15/18A
8540	Water System Chlorination & Bacts	5	06/11/18A	06/15/18A
8550	U/G Chilled Water to Bldg 200 & 300	10	06/11/18A	06/22/18A
8560	Stormwater Connections to Bldg 200 & 300	5	06/18/18A	06/22/18A
8570	U/G Electrical/Systems to Bldg 200 & 300	5	06/18/18A	06/22/18A
8580	DEP Water System Clearance	15	06/18/18A	07/06/18A
8590	DEP Sanitary System Clearance	15	06/18/18A	07/06/18A
8600	Fire Water System to Hydrants & Check Valves	5	06/25/18A	06/29/18A
8610	Fire Water System to Bldg 200 & 300	10	07/02/18A	07/13/18A
8620	Fine Grading Around Bldg 200 & 300	5	07/09/18A	07/13/18A
8630	Rough Grading	5	07/09/18A	07/13/18A
8635	Youth Lot Playground Equipment	5	09/10/18A	09/14/18A
8640	Sidewalks Around Bldg 200 & 300	5	07/16/18A	07/19/18A
8650	Storm Water System	15	07/16/18A	08/03/18A
8660	Sod Around Bldg 200 & 300	5	07/20/18A	07/26/18A



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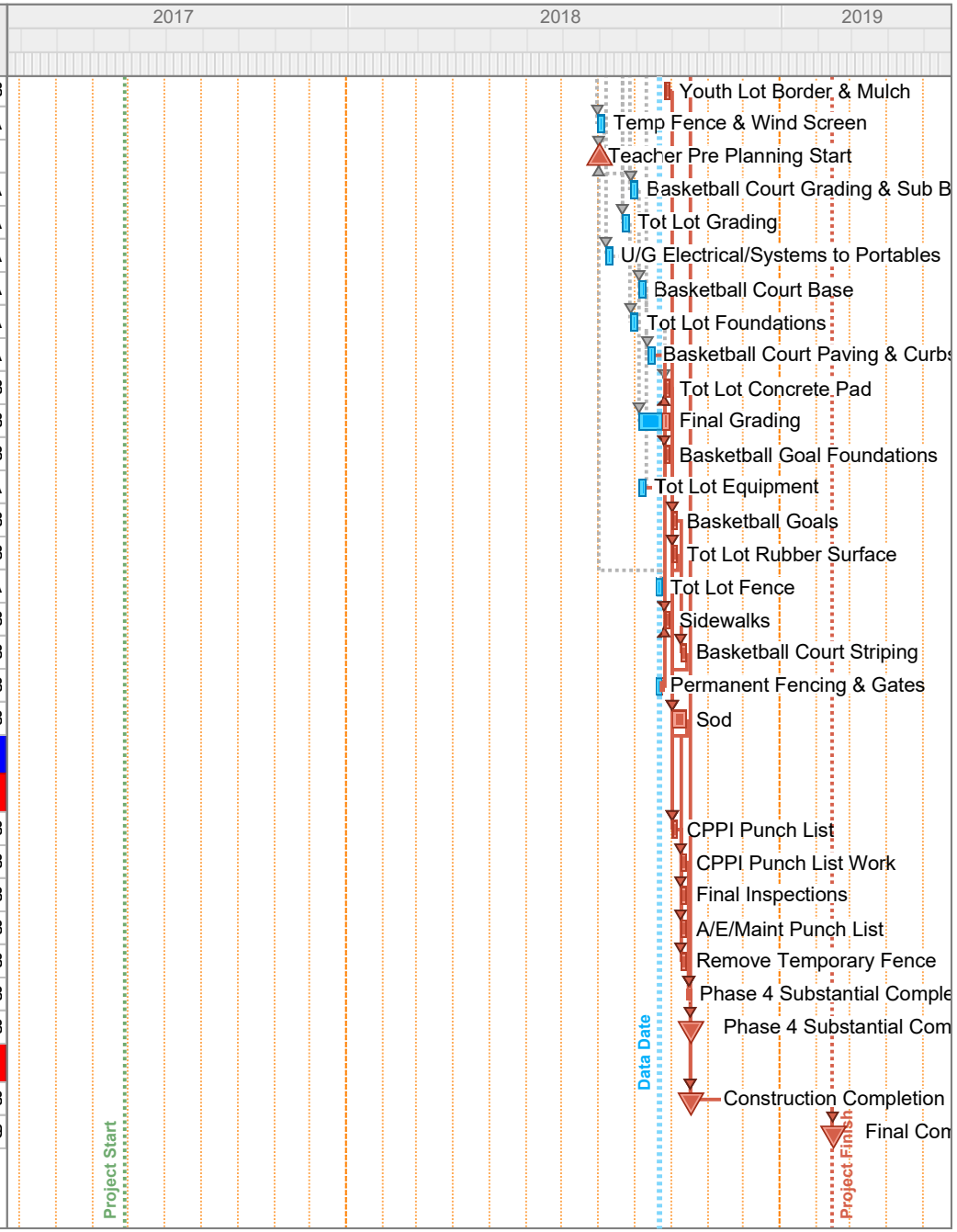
CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
8665	Youth Lot Border & Mulch	5	09/24/18	09/28/18
8670	Temp Fence & Wind Screen	5	07/30/18A	08/03/18A
8675	Teacher Pre Planning Start	0	07/31/18A	
8680	Basketball Court Grading & Sub Base	5	08/27/18A	08/31/18A
8690	Tot Lot Grading	5	08/20/18A	08/24/18A
8700	U/G Electrical/Systems to Portables	5	08/06/18A	08/10/18A
8710	Basketball Court Base	5	09/03/18A	09/07/18A
8720	Tot Lot Foundations	5	08/27/18A	08/31/18A
8730	Basketball Court Paving & Curbs	5	09/10/18A	09/14/18A
8740	Tot Lot Concrete Pad	5	09/24/18	09/28/18
8750	Final Grading	10	09/03/18A	09/28/18
8760	Basketball Goal Foundations	5	09/24/18	09/28/18
8770	Tot Lot Equipment	5	09/03/18A	09/07/18A
8780	Basketball Goals	5	10/01/18	10/05/18
8790	Tot Lot Rubber Surface	5	10/01/18	10/05/18
8800	Tot Lot Fence	4	09/17/18A	09/20/18A
8810	Sidewalks	5	09/24/18	09/28/18
8820	Basketball Court Striping	5	10/08/18	10/12/18
8830	Permanent Fencing & Gates	5	09/17/18A	09/21/18
8850	Sod	10	10/01/18	10/12/18
Completion				
Site Completion				
9000	CPPI Punch List	5	10/01/18	10/05/18
9010	CPPI Punch List Work	5	10/08/18	10/12/18
9020	Final Inspections	5	10/08/18	10/12/18
9030	A/E/Maint Punch List	5	10/08/18	10/12/18
9040	Remove Temporary Fence	5	10/08/18	10/12/18
9050	Phase 4 Substantial Completion / TCO Request	1	10/15/18	10/15/18
9060	Phase 4 Substantial Completion / TCO	0		10/15/18
Completion				
9800	Construction Completion	0		10/15/18
9900	Final Completion	0		02/12/19



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CPPI
CHARLES PERRY PARTNERS, INC

Sally Ride Elementary School

10.17.18

Orange County Public Schools
C0085 Cypress Park Elementary School
Monthly Report
October 2018

200 East Palm Valley Drive, Suite 1040
Orlando, Florida 32765
(407) 977-2353

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C0085 Cypress Park Elementary School

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- Punch List Ongoing

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- Punch List Ongoing

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-

Section 2 – Construction Staff
C0085 Cypress Park Elementary School

On-Site Staff

Dale Wicker
Project Superintendent
Dale is responsible for the day to day operations of the site which include coordination of subcontractors, safety, quality control, and coordination.

Brian Walker
Project Manager
Brian is responsible for contract compliance and finance functions related to the project.

Kyle Twardoski
Assistant Project Manager
Tyler is responsible for closeouts, submittals, RFI's, and document management.

Robert Torres
Assistant Superintendent
Robert is responsible for field coordination of subcontractors, safety, quality control and coordination of all inspections.

200 E. Palm Valley Dr., Suite 1040A
Orlando, FL 32765
www.cppi.com
Phone: 407.977.2353
Fax: 407.977.2354

CPPI Project Staff Contact List
C0085 Cypress Park Elementary School
9601 11th Ave., Taft, FL 32824

Dale Wicker
Superintendent
352-536-0158
Dale.Wicker@CPPI.com

Robert Torres
Assistant Superintendent
407-312-3336

Kyle Twardoski
Assistant Project Manager
407-235-8155
Kyle.twardoski@CPPI.com

Brian Walker
Project Manager
352-359-2249
Brian.Walker@CPPI.com

Jason Morgan
Executive Regional Manager
407-977-2353

Emergency Contact

Dale Wicker
352-536-0158

EMERGENCY TELEPHONE NUMBERS

Project:	Cypress Park Elementary School
Location (street address):	9601 11th Avenue, Taft, FL 32824
Emergency Rescue/Ambulance:	911
Hospital:	Orlando Regional Medical Center (321) 841-5111
Doctor:	Sand Lake Central Care (407) 851-6478
Police/Sheriff:	Orlando Police Department (321) 235-5300
Fire Department:	Orlando Fire Station 13 (407) 246-3473
Other Important Contacts:	CPPI Orlando Office (407) 977-2353
	CPPI Executive Vice President: Jason Morgan

OSHA

In the event of a FATAL ACCIDENT or where 3 or more employees are seriously Injured and hospitalized, OSHA must be notified within 8 HOURS:

National OSHA Accident Reporting Hotline:	800-321-6742
OSHA Regional Office (Region IV):	404-347-3573
OSHA Area Office (Jacksonville):	904-232-2895
OSHA Area Office (Tampa):	813-626-1117
OSHA Area Office (Plantation):	305-424-0242
OSHA Area Office (Savannah, GA):	912-652-4393
OSHA (Smyrna, GA):	770-984-8700
OSHA (Tucker, GA):	770-493-6644

Company:	**Emergency Telephone Numbers**
Project Superintendent: Dale Wicker	Work: _____ Home: _____ Mobile: 352-536-0158
Project Manager: Brian Walker	Work: _____ Home: _____ Mobile: 352-359-2249
Project Team: Robert Torres	Work: _____ Home: _____ Mobile: 407-312-3336
Asst. Project Manager: Kyle Twardoski	Work: _____ Home: _____ Mobile: 407-235-8155

PRIMARY CONTACT LIST
BY ROLE

DATE: 3/1/2018

Company	Contact ID	Role	Contact	City	State	Phone	Fax	Email
-								
A.G. Mauro Co. of Florida	AGM		Charles Copley	Lake Mary	FL	407-333-0500		Charles.Copley@agmaurofla.com
Acousti Engineering Company	AEC		Lee Bagley	Orlando	FL	407-425-3467		
All-Rite Fence Services, Inc.	ARF		Don Stripling	Orlando	FL	407-295-7093	407-292-8550	
Architectural Aluminum Techniques	AAT		Brad Young	Orlando	FL	407-857-9237		
Architectural Building Specialties,	ABS		Bob Boote	Ormond Beach	FL	386-676-2095	386-676-2295	
Barfield Group	BG		Wayne Barfield	Gainesville	FL	352-258-6916	866-310-6389	pete@thebarfieldgroup.net
Central Florida Waterproofing, Inc.	CFW		Michelle Braun	Longwood	FL			michelle@cfw-fl.com
Charles Perry Partners, Inc.	CPPI		Brian Walker	Oviedo	FL			
Chem Clean, Inc.	CCI		Naz Kahn	Orlando	FL	407-965-7197		chemcleaninc@yahoo.com
Clark Associates Inc.	CAI		Curt Casciano	Bradenton	FL			
Concepts in Greenery	CIG		Chris Poe	Orlando	FL			
Florida Visual Display Products, Inc	FVDP		William C. Haines	Apopka	FL	727-944-4905	727-944-2904	sales@floridachalkboard.com
Freedom Installations, Inc.	FI		Chase Kramer	Apopka	FL	321-277-0296		
Hartford South, LLC.	HS		Donny Cammenga	Orlando	FL	407-859-2740		
Hile's Curtain Specialties, Inc.	HCS		Clayton Hile	Odessa	FL	727-753-0600		hilescurtains@hilescurtains.com
Kovacs Construction Services	KCS		Steve Kovacs	Cocoa	FL	321-863-7131		kovacs1@bellsouth.net
Leading Edge	LE		Jeffrey Hofius	Orlando	FL	407-351-6730		
Miller Recreation Equipmen Inc	MILLER R		Joe Miller	Bradenton	FL	941-792-4580		
Module X Solutions	MOD X		Jim Phillips	Shreveport	LA			
OCPS	OCPS		Robert Stagliano					
Peachtree Protective Covers, Inc.	PPC		Bill Wittenbrook	Lithia Springs	GA	770-439-2120		
Precision Balance, Inc.	PB		Tracy Maloney	Orlando	FL	407-876-4112		
Rivera Tile And Stone Inc	RTAS		Geni Huggins					
SJS Painting and Waterproofing	SJS		Steve Stutsman	Winter Garden	FL	321-262-5501		
Safway Services, LLC	SWS		John Dumont	Orlando	FL	615-872-0811		
Sequel Developers, Inc.	SDI		Winston Brown	Orlando	FL	407-690-7125	877-312-3056	winston@sequeldevelopers.com
Sign Design of Florida, Inc.	SD		Richard Hayes	Lessburg	FL	352-787-8986	352-787-9427	
Sika Sarnafil	SIKA		Michael Tate					
Song + Associates	S+A		John Quattrone	Orlando	FL	407-454-3625		jquattron@songandassociates.com
Southeastern Surfaces & Equipment	SSE		Tracie Ward	New Smyrna Beach	FL	800-644-8875	386-428-8767	
Southern Acoustics Inc	SA		Donald Corsi	Casselberry	FL	407-696-4448	407-696-5290	
Space Coast Fire and Safety, Inc.	SCFS		Marcus Kinsey	Merritt Island	FL	321-783-1040		marcus@spacecoastfire.com
Sun Kraft Electrical Contractors	SKE		Kevin Issacs	Cocoa	FL	321-632-7169		
T&T Construction of Central Florida	TT		Jose De La Torre	Casselberry	FL	407-718-4089	407-831-5531	jose.delatorre@ttcfl.com
Tharp Plumbing Systems, Inc.	THP		Mike Williamson	Orlando	FL	407-295-2370		
ThyssenKrupp Elevator Americas	TK		Jonathan Davis	Orlando	FL	407-926-7655		jonathan.davis@thyssenkrupp.com
Trident Building Systems Inc.	TBSI		Bill Wright					
Westbrook Service Corp.	WSC		John Ufland	Orlando	FL			
White's Site Development, Inc	WSD		Melani Quigley					
OTH - Other								
Fidelity Security Agency, LLC	FSA	OTH	Michael Williams			407-542-1529		fidelitysecurityagency@gmail.com

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PRIMARY CONTACT LIST
BY ROLE

DATE: 3/15/2018

Company	Contact ID	Role	Contact	City	State	Phone	Fax	Email
SUB - Subcontractor								
Crom LLC	CROM	SUB	Cody Galloway	Gainesville	FL	352-372-3436	352-372-6209	cgalloway@cromcrop.com
Industrial Steel	IS	SUB	Fred Wilson III					fwilson@industrial-steel.com
Safway Services, LLC.	SAF	SUB	John Dumont	Orlando	FL	407-859-2060		john.dumont@safway.com

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CYPRESS PARK ELEMENTARY SCHOOL CONTACT LIST

Cypress Park Elementary School
9601 11th Ave.
Taft, FL 32824

Architect
Song + Associates, Inc.
1545 Centrepark Dr. North
West Palm Beach, FL 33401
561-655-2423
Contacts: Jeanne Martin – jmartin@songandassociates.com
Perry Douglass, Architect – pdouglass@songandassociates.com
John Quattrone, VP – jquattrone@songandassociates.com

MEP Engineer
SGM Engineering Inc.
935 Lake Baldwin Lane
Orlando, FL 32814
407-767-5188
Contact: Mark Escott – mark@sgmengineering.com

Structural Engineer
BBM Structural Engineers
1912 Boothe Circle, Suite 100
Longwood, FL 32750
321-203-4945
Contact: Mark Matzinger – mmatzinger@bbmstructural.com

Envelope Consultant
Gale Associates, Inc.
160 N Westmonte Dr, Suite 1200
Altamonte Springs, FL 32714
407-599-7031
Contact: Engy Magdy – em@gainc.com

1 – Final Cleaning

Chem Clean, Inc.
7405 High Lake Dr.
Orlando, FL 32818
407-965-7197
Contacts: Naz Kahn – chemcleaninc@yahoo.com

3A – Concrete with Reinforcing
T&T Construction of Central Florida
Casselberry, FL 32707
407-718-4089
Contact: Jose De La Torre – jose.delatorre@ttcfl.com

5A – Structural Steel and Metal Deck
Industrial Steel, Inc.
3561 Industrial Rd.
Titusville, FL 32796
321-267-2341
Contact: Fred Wilson, PM – fwilson@industrial-steel.com

7A – Waterproofing
Central Florida Waterproofing
2290 N Ronald Reagan Blvd
Longwood, FL 32750
407-696-8188
Contact: Michelle Braun – michelle@cfw-fl.com

7B – Roofing System
Hartford South, LLC.
7326 South Orange Avenue
Orlando, FL 32809
407-859-2740
Contact: Donny Cammenga – dcam@hartfordsouth.com

8A – Doors, Frames, & Hardware
A.G. Mauro Co. of Florida
1105 Sand Pond Road
Lake Mary, FL 32746

407-333-0500
Contact: Anthony Mauro – anthony.mauro@agmaurofla.com

8B – Glass & Glazing Systems
Architectural Aluminum Techniques
9195 Boggy Creek Road, Suite 1
Orlando, FL 32824
407-857-9237
Contact: Sunil Tarneja – starneja@aatctw.net

9 – Drywall
SJS Drywall & Texture, LLC
13360 West Colonial Drive, Suite 460
Winter Garden, FL 34787
321-262-5501
Contact: Kevin Tillman – ktillman@sjsdrywall.com

9C – Acoustical Ceilings
Southern Acoustics Inc
1211 Seminola Blvd #101
Casselberry, FL 32707
407-696-4448
Contact: Don Corsi – don@soacoustics.com

9D – Paint
SJS Painting & Waterproofing
13360 West Colonial Drive, Suite 460
Winter Garden, FL 34787
321-262-5501
Contact: Steve Stutsman – sjspainting@cfl.rr.com

9E – Carpet, VCT Flooring
Acousti Engineering Company of Florida
4656 34th St SW
Orlando, FL 32811
407-425-3467
Contact: Lee Bagley – leebagley@acousti.com

9F – Tile Flooring

Rivera Tile and Stone

804 S Chickasaw Trail

Orlando, FL 32825

407-275-0571

Contact: Geni Huggins - rivera@riveratileandstone.com

10D – Aluminum Walkway Cover

Peachtree Protective Covers, Inc.

1477 Rosedale Drive

Hiram, GA 30141

770-439-2120

Contact: Bill Wittenbrook, PM – bwittenbrook@peachtreecovers.com

10N – Miscellaneous Specialties

Architectural Building Specialties, Inc.

320 Division Ave, Unit D

Ormond Beach, FL 32174

386-676-2095

Contact: Bob Boote, PM – abs1977@cfl.rr.com

11A – Food Service Equipment

Clark Food Service

4610 18th Street E.

Bradenton, FL 34203

941-962-2767

Contact: Will Schwartz – wschwartz@cfse.biz

11B – Appliances

Sequel Developers, Inc.

8719 The Esplanada 9

Orlando, FL 32836

678-438-4535

Contact: Winston Brown – winston@sequeldevelopers.com

11C – Stage Curtains

Hiles Curtain Specialties, Inc.

2701 Success Dr

Odessa, FL 33556

727-753-0600

Contact: Clayton Hile – hilescurtains@hilescurtains.com

11D – Athletic Equipment

Southeastern Surfaces & Equipment

PO Box 602

New Smyrna Beach, FL 32170

800-644-8875

Contact: Heather Nighman – hnighman@sseteam.com

11I – Playground Equipment

Miller Recreation Equipment Inc

2017 91st St NW

Bradenton, FL 34209

941-792-4580

Contact: Joe Miller, PM – mrecjm@tampabay.rr.com

12A – Casework

The Barfield Group, LLC.

6512 NW 39th Ave

Gainesville, FL 32606

352-505-6197

Contact: Pete Johnson – pete@thebarfieldgroup.net

13 – Pre-Engineered Metal Building

Trident Building Systems, Inc.

2812 Tallevast Road

Sarasota, FL 34243

941-755-7073

Contact: Bill Wright – bwright@tridentbuildingsystems.com

13B – Storage Tank

Crom, LLC

250 SW 36th Terrace

Gainesville, FL 32607

352-372-3436

Contact: Cody Galloway - cgalloway@cromcorp.com

14 – Elevator

ThyssenKrupp Elevator Americas

4317 35th Street

Orlando, FL 32811

407-926-7655

Contact: Jonathan Davis – johnathan.davis@thyssenkrupp.com

21A – Fire Protection

Space Coast Fire and Safety, Inc.

420 Manor Drive

Merritt Island, FL 32952

321-783-1040

Contact: Marcus Kinsey – marcus@spacecoastfire.com

22 – Plumbing

Tharp Plumbing Systems, Inc.

625 Wilmer Ave.

Orlando, FL 32808

407-295-2370

Contact: Mike Williamson – mwilliamson@tharpplumbing.com

23 – Mechanical

Westbrook Service Corporation

1411 Orange Blossom Trail

Orlando, FL 32805

407-841-3310

Contact: John Ufland – jufland@westbrookfl.com

23B – Test and Balance

Precision Balance, Inc.

8815 Conroy-Windermere Rd, Box 319
Orlando, FL 32835
407-876-4112
Contact: Tracy Maloney – precisionbal@aol.com

26 – Electrical
Sun Kraft Electrical Contractors, Inc.
644 Clearlake Road
Cocoa, FL 32922
321-632-7169
Contact: Jim Isaacs – jim@sunkraft.us

31A – Earthwork, Site Improvements
White's Site Development, Inc.
4000 Nyahwhite Cove
Orland, FL 32771
407-302-8252
Contact: Robert White – Owner

32A – Fencing
All-Rite Fence Services, Inc.
5115 Old Winter Garden Road
Orlando, FL 32811
407-295-7093
Contact: Don Striping – don@allritefence.com

32B – Irrigation/Landscape
Concepts in Greenery
16366 Old Cheney Hwy
Orlando, FL 32833
407-568-2000
Contact: Chris Poe – chris@conceptsingreenery.com

1. **Drawing Revisions-** See Attached Drawing Revision Log

2. **RFI Log-** See Attached RFI Log

3. **Submittal Log-** See Attached Submittal Log

4. **Deficiency Log-** See Attached Deficiency Log

DRAWING LOG
BY BID PACKAGE
LATEST REVISION

DATE: 5/2/2018

Bid Package	Drawing Number	Latest Rev	Title	Area	Phase	Discipline	Percent Progress	Received	Designer
	ASI 01	000	ASI 01 Jockey Pump				0	06/08/17	S+A
	ASI 02	002	ASI 02R2 Misc Revisions				0	12/22/17	S+A
	ASI 03	000	ASI 03 Missing ASI 02 Sheets				0	08/16/17	S+A
	ASI 04 + BULLETIN 06	001	ASI 04 + Bulletin 06 R1 FF&E Changes				0	02/05/18	S+A
	ASI 05	000	ASI 05 Duke Conduit				0	11/22/17	S+A
	ASI 06	001	ASI 06R1 Life Safety				0	01/09/18	S+A
	BUL 08	000	Bulletin 8 - Temporary Canopy				0	04/26/18	S+A
	BULLETIN 01	001	Bulletin 01 Addendum 06				0	01/08/18	S+A
	BULLETIN 02	000	Bulletin 02 Pre-Bid RFIs				0	10/27/17	S+A
	BULLETIN 03	000	Bulletin 03 Toilet Accessories				0	10/27/17	S+A
	BULLETIN 04	002	Bulletin 04 Site Modifications				0	04/13/18	S+A
	BULLETIN 07	000	Bulletin 07 Door Actuators				0	04/10/18	S+A
	BULLETIN 5	000	Bulletin 5 - LED Marquee Sign				0	04/25/18	S+A

REPORT: R_DRAWING_06_RTF

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REQUEST AND ANSWER LOG

DATE: 10/25/2018

Type	To	From	Number	Issue	Title	Status	Dated	Responded	Required
RFI	S+A	CPPI	00084		Itinerant Office 303B	NEW	09/18/18		09/21/18
	Request: Itinerant office 303B the drawings indicate an existing 2 port data outlet. This outlet does not exist. Does this need to be added?				Answer:				
RFI	S+A	CPPI	00085		Kitchen Re-Therm Cabinets	NEW	10/08/18		10/11/18
	Request: Please confirm if the (2) Re-therm in the kitchen are to have water lines provided. If this is the case, please provide plumbing detail for water source.				Answer:				

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PERMIT LOG

Charles Perry Partners, Inc

C0085 Cypress Park Elementary School

Permit Log

Item	Permit Number	Permit Description	Application Date	Approval Date	Completion Date	Status
1	FL-BDPN-170628-01459	OCPS BCCO Master Bulding Permit	6/27/2017	7/6/2017		Approved
1.01	PLPN-170714-1568	Trailer Plumbing Permit	7/12/2017	7/20/2017	8/9/2017	Approved
1.02	ELPN-170731-1748	Trailer Electrical Permit	7/31/2017	8/4/2017	8/15/2017	Approved
1.03	RFPN-171103-2295	Roof Permit	11/3/2017	11/3/2017		Approved
1.04	CAPN-171221-2600	Canopy Permit	12/21/2017	1/3/2018		Approved
1.05		Sign Permit				
1.06	PGPN-180108-0031	Playground Permit	1/8/2018	1/10/2018		Approved
1.07	KHSN-180131-0184	Kitchen Hood Permit	1/31/2018	2/1/2018		Approved
1.08	MEPN-180206-0227	Refrigeration Permit	2/6/2018	2/13/2018		Approved
1.09	FSPN-170901-1966	Fire Sprinkler Permit	9/1/2017	12/5/2017		Approved
1.10	PLPN-170713-1558	Plumbing Permit	7/13/2017	7/20/2017		Approved
1.11	MEPN-170712-1523	Mechanical Permit	7/12/2017	7/20/2017		Approved
1.12	ELPN-171120-2402	HVAC Controls Low Voltage Permit	11/20/2017	11/21/2017		Approved
1.13	ELPN-170712-1533	Electrical Permit	7/12/2017	7/20/2017		Approved
1.14	LVPN-180111-0058	Audio Enhancement Low Voltage Permit	1/11/2018	1/12/2018		Approved
1.15	LVPN-171129-2433	Intercom Low Voltage Permit	11/29/2017	12/5/2017		Approved
1.16	LVPN-170714-1566	Data Low Voltage permit	7/14/2017	7/20/2017		Approved
1.17	LPPN-170714-1562	Lightning Protection Permit	7/14/2017	7/20/2017		Approved
1.18	FAPN-180306-0436	Fire Alarm Permit	3/6/2018	3/20/2018		Approved
1.19	STPN-170810-1836	Site Permit	8/10/2017	8/16/2017		Approved
1.20	FSUN-170822-1890	Fire Site Permit	8/22/2017	10/25/2017		Approved
1.21	FNPN-180329-0631	Fence Permit	3/29/2018	3/30/2018		Approved
1.22	IGPN-180502-1092	Irrigation Permit		5/2/2018		Approved
2	DMPN-180510-1168	BCCO Demoltion Permit		5/11/2018		Approved
3		10-Day Notice of Demolition	5/10/2018			
4		FDEP Demolition Notice				
5	0027044-002-DWC/CG	FDEP Wastewater Permit	8/11/2017	8/11/2017		
6		FDEP Wastewater Clearance				
7	0130140-014-DSGP	FDEP Water Permit	8/30/2017	8/30/2017		
8		FDEP Water Clearance				
9	FLR20BL98-001	FDEP Stormwater Permit	6/27/2017	6/30/2017		
10	48-01269-P	South Florida Water Mangement District ERP	9/27/2016	9/27/2016		
11		South Florida Water Management Final Clearance				
11.01	18-RU-0477	Orange County ROW Permit				
11.02	17-E-014	Orange County E-Permit		3/20/2018		Approved
12.00	18-RU-0477	Orange County ROW Permit (Utilities Only)		3/30/2018		Approved
13		Agreements with Developers				
14		Construction Easements				
15		Joint Use Agreements				
16		Abandonment of Property				

WEEKLY ENVIRONMENTAL SITE INSPECTION

Project Name / Number: S0085 Cypress Park Elementary School

Address: 9601 11th Ave., Orlando, FL 32824

Date of Inspection: OAC Meeting Date

Attendees (circle all present): PM, Architect, Civil Engineer, CM/GC

Rain Event Since Last Inspection? Refer to SWPPP Inspection Log

Notice(s) Received Since Last Inspection? None

1. **Proper Documentation**
   a. NOI and Generic Construction Permit **(Y / N)**
   b. SWPP (site map, locations of BMPs, locations of stormwater exits) **(Y / N)**
   c. Log of inspections (every 7 days, and/or after every ½" rain event) **(Y / N)**
   d. Dewatering permit & turbidity readings **(Y / N / NA)**
   e. 10-day notice for abatement/demolition/renovation **(Y / N / NA)**
   f. NESHAP survey (for demo) **(Y / N / NA)**
   g. Lead-based paint survey (for demo) **(Y / N / NA)**
   h. Petroleum storage tanks >550 gallons are registered, insured, and inspected monthly **(Y / N / NA)**
   i. For Ground Water Well and/or Septic System: **(Y / N / NA)**
      i. Orange County Health Department Well Installation and Abandonment Permit **(Y / N / NA)**
      ii. Consumptive Use Permit **(Y / N / NA)**

2. **Proper Storage**
   a. Paint, adhesives, sealers, fuel, aerosol cans, lubricants, chemicals, pest control, cleaners **(Y / N / NA)**
   b. Petroleum storage tanks are labeled, are not impacting adjacent soils **(Y / N / NA)**
   c. Secondary containment is provided (if needed) **(Y / N / NA)**
   d. Storage is covered, secured, and located away from perimeters and stormwater systems **(Y / N / NA)**
   e. Drums and buckets are covered, and do not pose spill hazard **(Y / N / NA)**

3. **Proper Discard** (Visual Inspection of Dumpsters)
   a. Paints, solvents **(Y / N / NA)**
   b. Glues, mastics **(Y / N / NA)**
   c. Aerosol cans **(Y / N / NA)**
   d. Mercury-containing wastes, ballasts, fluorescent lamps, batteries **(Y / N / NA)**
   e. Oil filters, hydraulic fluid, used oil **(Y / N / NA)**

4. **Maintenance of Stormwater BMP**
   a. Silt fence, hay bales, turbidity barriers installed properly **(Y / N)**
   b. Buffer zones and berms vegetated **(Y / N)**
   c. Protection of stormwater inlets and grates **(Y / N)**
   d. Containment of dust and sand (no evidence of off-site tracking) **(Y / N)**
   e. Stabilize entrances (aggregate, gravel, rock) with geo-fabric underlay **(Y / N)**
   f. Street sweeping occurring daily **(Y / N)**
   g. Truck rinse available **(Y / N)**
   h. Portable restrooms and septic tank located away from storm inlets, ponds, canals, wetlands **(Y / N)**
   i. Dewatering discharge is clean/clear **(Y / N)** NA
   j. No evidence of turbid water escaping site perimeter **(Y / N)**
   k. No rinsing paint or caulk into inlets and grates **(Y / N)**
   l. No trash or debris in storm system **(Y / N)**

Construction Deficiency LOG

Charles Perry Partners, Inc

Project: C0085 Cypress Park Elementary School

Item Number	Deficiency Description	Room Number or Location	Date Item Discovered	Date Item Corrected	Correction
1					
2					
3					
4					
5					
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7					
8					
9					
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26					
27					
28					

Section 4 – Financial Report
C0085 Cypress Park Elementary School

1. **Owner Direct Purchases –** See attached ODP log

2. **Change Orders-** See Attached Change Order Log

3. **Contingency Status-** See Attached Contingency Log

4. **Potential Changes-** See Attached PCO Log

5. **Subcontractor Commitment Report-** Commitment Log Attached

6. **Pay Application Status-** Pay Application Executive Summary Attached

Owner Direct Purchase Program

C0085 Cypress Park Elementary School

Owner Direct Purchase (ODP) Material Recap

ODP #	Request Date	OWNER PO #	PO Iss. Date	ODP Status	Subcontractor Supplier/ Sub-Supplier	Sub CO	Original P.O. Amount	Total Sales Tax on Orig. P.O.	Subcontract Deduct	Submitted Invoices	Balance to Complete	Pct Inv.
					T&T Concrete							
1	8/23/2017	4518008345	9/20/2017	Approved	R&R Rebar Fabricators, Inc.	1	$ 29,195.00	$ 1,776.70	$ 30,971.70	$ 29,195.00	$ -	100.00%
2	8/29/2017	4518008335	9/20/2017	Approved	Argos USA LLC	2	$ 178,748.75	$ 10,749.93	$ 189,498.68	$ 155,528.25	$ 23,220.50	87.01%
							$ 207,943.75	$ 12,526.63	$ 220,470.38	$ 184,723.25	$ 23,220.50	88.83%
					AAT							
3	8/30/2017	4518008332	9/20/2017	Approved	YKK AP America, Inc.	1	$ 30,800.00	$ 1,873.00	$ 32,673.00	$ 27,413.00	$ 3,387.00	89.00%
4r1	9/19/2017	4518009705	10/4/2017	Approved	C.T. Windows	2	$ 73,490.86	$ 4,434.45	$ 77,925.31	$ 73,490.86	$ -	100.00%
							$ 104,290.86	$ 6,307.45	$ 110,598.31	$ 100,903.86	$ 3,387.00	96.75%
					Sunkraft							
5	8/31/2017	4518008336	9/20/2017	Approved	Audio Enhancements	1	$ 63,791.50	$ 3,822.49	$ 67,613.99	$ 63,791.50	$ -	100.00%
6	8/31/2017	4518008343	9/20/2017	Approved	McLean	2	$ 16,326.50	$ 1,004.59	$ 17,331.09	$ 16,326.50	$ -	100.00%
7	8/31/2017	4518008341	9/20/2017	Approved	Power Logics (Fixtures)	3	$ 193,241.24	$ 11,619.47	$ 204,860.71	$ 184,650.44	$ 8,590.80	95.55%
8	8/31/2017	4518008338	9/20/2017	Approved	Power Logics (Switchgear)	4	$ 133,957.74	$ 8,062.46	$ 142,020.20	$ 125,316.54	$ 8,641.20	93.55%
9	9/5/2017	4518009720	10/4/2017	Approved	ProPlus	5	$ 48,241.57	$ 2,919.49	$ 51,161.06	$ 47,812.91	$ 428.66	99.11%
10	8/31/2017	4518009177	9/27/2017	Approved	Zabatt	6	$ 32,003.00	$ 1,945.18	$ 33,948.18	$ 32,003.00	$ -	100.00%
11r1	9/27/2017	4518011081	10/12/2017	Approved	Dynafire	7	$ 50,055.00	$ 3,028.30	$ 53,083.30	$ 50,055.00	$ -	100.00%
							$ 537,616.55	$ 32,401.99	$ 570,018.54	$ 519,955.89	$ 17,660.66	96.72%
					Industrial Steel, Inc.							
12r1	9/19/2017	4518009706	10/4/2017	Approved	Industrial Steel, Inc.	1	$ 204,270.53	$ 12,281.23	$ 216,551.76	$ 204,270.53	$ -	100.00%
							$ 204,270.53	$ 12,281.23	$ 216,551.76	$ 204,270.53	$ -	100.00%
					White's Site Development							
13	9/15/2017	4518009178	9/27/2017	Approved	Ferguson Waterworks	1	$ 185,762.50	$ 11,170.75	$ 196,933.25	$ 181,214.50	$ 4,548.00	97.55%
14	9/15/2017	4518009179	9/27/2017	Approved	County Materials Corporation	2	$ 14,857.76	$ 916.47	$ 15,774.23	$ 14,857.76	$ -	100.00%
15	9/28/2017	4518011078	10/12/2017	Approved	Mack Concrete Industries, Inc.	3	$ 57,167.00	$ 3,455.02	$ 60,622.02	$ 57,167.00	$ -	100.00%
							$ 257,787.26	$ 15,542.24	$ 273,329.50	$ 253,239.26	$ 4,548.00	98.24%
					Tharp							
16	9/28/2017	4518011076	10/12/2017	Approved	Winsupply of Orlando	1	$ 13,969.73	$ 863.18	$ 14,832.91	$ 6,124.66	$ 7,845.07	43.84%
25	12/7/2017	4518018483	12/18/2017	Approved	Hughes Supply	2	$ 63,686.38	$ 3,846.18	$ 67,532.56	$ 63,025.10	$ 661.28	98.96%
							$ 77,656.11	$ 4,709.37	$ 82,365.48	$ 69,149.76	$ 8,506.35	89.05%
					AG Mauro							
17	9/28/2017	4518011075	10/12/2017	Approved	AG Mauro Company of Florida, Inc.		$ 263,730.00	$ 15,848.80	$ 279,578.80	$ 258,965.00	$ 4,765.00	98.19%
							$ 263,730.00	$ 15,848.80	$ 279,578.80	$ 258,965.00	$ 4,765.00	98.19%
					Westbrook							
18	9/28/2017	4518011074	10/12/2017	Approved	ADE Engineered Solutions of Florida, Inc.	1	$ 12,075.00	$ 749.50	$ 12,824.50	$ 12,075.00	$ -	100.00%
19	9/28/2017	4518011080	10/12/2017	Approved	Florida Hydronics	2	$ 11,664.00	$ 724.84	$ 12,388.84	$ 10,244.00	$ 1,420.00	87.83%
20	9/28/2017	4518011079	10/12/2017	Approved	Stan Weaver & Co.	3	$ 57,838.50	$ 3,495.31	$ 61,333.81	$ 57,838.50	$ -	100.00%
21	9/28/2017	4518011077	10/12/2017	Approved	Trane	4	$ 330,000.00	$ 19,825.00	$ 349,825.00	$ 330,000.00	$ -	100.00%
24	10/23/2017	4518013672	11/2/2017	Approved	Hughes	5	$ 12,477.47	$ 773.65	$ 13,251.12	$ 12,477.47	$ -	100.00%
34	12/13/2017	4518019658	1/4/2018	Approved	Metal Mart Systems Inc.	6	$ 77,671.00	$ 4,685.26	$ 82,356.26	$ 77,671.00	$ -	100.00%
							$ 501,725.97	$ 30,253.56	$ 531,979.53	$ 500,305.97	$ 1,420.00	99.72%
					Hartford South							
22	10/9/2017	4518011990	10/19/2017	Approved	Lehigh Cement Company	1	$ 18,526.00	$ 1,136.56	$ 19,662.56	$ 18,526.00	$ -	100.00%
23	10/9/2017	4518013552	11/2/2017	Approved	Sika Sarnafil	2	$ 101,599.22	$ 6,120.95	$ 107,720.17	$ 91,834.38	$ 9,764.84	90.39%

Owner Direct Purchase Program

C0085 Cypress Park Elementary School

Owner Direct Purchase (ODP) Material Recap

ODP #	Request Date	OWNER PO #	PO Iss. Date	ODP Status	Subcontractor Supplier/ Sub-Supplier	Sub CO	Original P.O. Amount	Total Sales Tax on Orig. P.O.	Subcontract Deduct	Submitted Invoices	Balance to Complete	Pct Inv.
							$ 120,125.22	$ 7,257.51	$ 127,382.73	$ 110,360.38	$ 9,764.84	91.87%
					The Barfield Group, LLC							
26	11/17/2017	4518018484	12/18/2017	Approved	Mitnet LLC dba FCC Cabinets	1	$ 76,300.00	$ 4,525.00	$ 80,825.00	$ 76,300.00	$ -	100.00%
							$ 76,300.00	$ 4,525.00	$ 80,825.00	$ 76,300.00	$ -	100.00%
					Florida Visual Display Products Inc dba Florida Chalkboard Company							
27	11/17/2017	4518016471	12/5/2017	Approved	Florida Visual Display Products Inc dba Florida Chalkboard		$ 25,000.00	$ 1,441.90	$ 26,441.90	$ 25,000.00	$ -	100.00%
							$ 25,000.00	$ 1,441.90	$ 26,441.90	$ 25,000.00	$ -	100.00%
					Southern Acoustics, Inc.							
28	11/20/2017	4518018485	12/18/2017	Approved	L&W Supply	1	$ 49,801.02	$ 3,013.06	$ 52,814.08	$ 44,134.49	$ 5,666.53	88.62%
							$ 49,801.02	$ 3,013.06	$ 52,814.08	$ 44,134.49	$ 5,666.53	88.62%
					SJS - Framing & Drywall							
29	11/21/2017	4518019655	1/4/2018	Approved	Foundation Building Materials	1	$ 197,271.20	$ 11,860.37	$ 209,131.57	$ 197,271.16	$ 0.04	100.00%
							$ 197,271.20	$ 11,860.37	$ 209,131.57	$ 197,271.16	$ 0.04	100.00%
					SJS - Painting							
30	11/21/2017	4518018486	12/19/2017	Approved	Sherwin Williams	1	$ 16,839.75	$ 1,035.39	$ 17,875.14	$ 16,786.45	$ 53.30	99.68%
							$ 16,839.75	$ 1,035.39	$ 17,875.14	$ 16,786.45	$ 53.30	99.68%
					Miller Recreation							
31	12/13/2017	4518019656	1/4/2018	Approved	Miller Recreation	1	$ 83,681.63	$ 4,782.76	$ 88,464.39	$ -	$ 83,681.63	0.00%
							$ 83,681.63	$ 4,782.76	$ 88,464.39	$ -	$ 83,681.63	0.00%
					Safway Services							
32	12/13/2017	4518019657	1/4/2018	Approved	Isolatek International	1	$ 22,565.00	$ 1,159.90	$ 23,724.90	$ 22,565.00	$ -	100.00%
							$ 22,565.00	$ 1,159.90	$ 23,724.90	$ 22,565.00	$ -	100.00%
					Rivera Tile & Stone							
33	12/13/2017	4518019659	1/4/2018	Approved	Dal Tile	1	$ 54,220.41	$ 3,278.22	$ 57,498.63	$ 54,220.41	$ -	100.00%
							$ 54,220.41	$ 3,278.22	$ 57,498.63	$ 54,220.41	$ -	100.00%
					Acousti							
35	12/15/2017	4518019697	1/4/2018	Approved	Centerhill Building Products, LLC	1	$ 86,653.26	$ 5,224.20	$ 91,877.46	$ 86,653.26	$ -	100.00%
							$ 86,653.26	$ 5,224.20	$ 91,877.46	$ 86,653.26	$ -	100.00%
					Clark Food Service Equipment							
36	1/8/2018	4518021525	1/24/2018	Approved	Clark Food Service Equipment	1	$ 273,892.45	$ 16,458.55	$ 290,351.00	$ 238,392.45	$ 35,500.00	87.04%
							$ 273,892.45	$ 16,458.55	$ 290,351.00	$ 238,392.45	$ 35,500.00	87.04%
					Architectural Building Specialties							
37	1/9/2018	4518020702	1/18/2018	Approved	Architectural Building Specialties	1	$ 64,306.00	$ 3,883.36	$ 68,189.36	$ 64,306.00	$ -	100.00%
							$ 64,306.00	$ 3,883.36	$ 68,189.36	$ 64,306.00	$ -	100.00%

Owner Direct Purchase Program

C0085 Cypress Park Elementary School

Owner Direct Purchase (ODP) Material Recap

ODP #	Request Date	OWNER PO #	PO Iss. Date	ODP Status	Subcontractor Supplier/ Sub-Supplier	Sub CO	Original P.O. Amount	Total Sales Tax on Orig. P.O.	Subcontract Deduct	Submitted Invoices	Balance to Complete	Pct Inv.
					Space Coast Fire & Safety							
38	1/16/2018	4518022129	1/29/2018	Approved	The Pipe and Nipple Supply CO, INC	1	$ 41,230.07	$ 2,498.80	$ 43,728.87	$ 38,516.65	$ 2,713.42	93.42%
41	2/27/2018	4518027099	3/9/2018	Approved	Murray Equipment Sales	2	$ 45,635.00	$ 2,763.10	$ 48,398.10	$ 45,635.00	$ -	100.00%
							$ 86,865.07	$ 5,261.90	$ 92,126.97	$ 84,151.65	$ 2,713.42	96.88%
					Crom, LLC							
39	2/26/2018	4518026498	3/1/2018	Approved	Argos Ready Mix, LLC	1	$ 21,254.00	$ 1,300.24	$ 22,554.24	$ 21,254.00	$ -	100.00%
40	2/26/2018	4518028961	3/15/2018	Approved	Southwestern Suppliers, Inc.	2	$ 6,666.00	$ 424.96	$ 7,090.96	$ 6,666.00	$ -	100.00%
							$ 27,920.00	$ 1,725.20	$ 29,645.20	$ 27,920.00	$ -	100.00%
					Peachtree Protective Covers, Inc.							
42	3/15/2018	4518029997	4/2/2018	Approved	Peachtree Protective Covers, Inc.	1	$ 100,778.17	$ 6,071.69	$ 106,849.86	$ 100,778.17	$ -	100.00%
							$ 100,778.17	$ 6,071.69	$ 106,849.86	$ 100,778.17	$ -	100.00%
					All-Rite Fence Services, Inc.							
43	3/27/2018	4518030880	4/6/2018	Approved	All-Rite Fence Services, Inc.	1	$ 42,247.77	$ 2,559.87	$ 44,807.64	$ 32,665.61	$ 9,582.16	77.32%
							$ 42,247.77	$ 2,559.87	$ 44,807.64	$ 32,665.61	$ 9,582.16	77.32%
					Concepts in Greenery							
44	4/9/2018	4518032990	4/20/2018	Approved	SiteOne Landscape Supply		$ 5,582.02	$ 359.92	$ 5,941.94	$ -	$ 5,582.02	0.00%
							$ 5,582.02	$ 359.92	$ 5,941.94	$ -	$ 5,582.02	0.00%
					Sign Design of Florida, Inc.							
45	4/23/2018			Submitted	Sign Design of Florida, inc.		$ 21,571.19	$ 1,319.27	$ 22,890.46	$ 21,571.19	$ -	100.00%
							$ 21,571.19	$ 1,319.27	$ 22,890.46	$ 21,571.19	$ -	100.00%
					Total		**$ 3,510,641.19**	**$ 211,089.33**	**$ 3,721,730.52**	**$ 3,294,589.74**	**$ 216,051.45**	93.85%
	7/18/2017			Submitted	Owner CO #01 Deduct				$ (3,916,000.00)			
					Total Owner CO Deduct				$ (3,916,000.00)			
					Total ODP Percentage of GMP Current				23.76%			
					Total ODP Percentage of GMP Projection				25.00%			

Request for Change Order

FACILITIES SERVICES

CHANGE ORDER LOG

School/Name:	Cypress Park Elementary School	Original Contract	15,663,493.00
Project No.:	C0085	Current Contract	11,976,712.56

No.	Date	Description	This Change Order	Current Contract Amount	Status	Approval	Reason
01	7/18/2017	ODP Deduct	(3,916,000.00)	11,747,493.00	Approved	Y	ODP Deduct
02	7/20/2017	Time Extension	0.00	11,747,493.00	Approved	Y	NTP Delay
03R2	4/18/2018	CCD 02 Bulletin 04	229,219.56	11,976,712.56	Approved	Y	Owner Request
04	4/3/2018	Canopy Phasing	0.00	11,976,712.56	Approved	Y	Canopy Delay
05	9/27/2018	CCD 03 B4 Acceleration Reconcile	49,813.37	12,026,525.93	Submitted		Bulletin 4 Acceleration

PCO Log

Cypress Park Elementary School

School/Name: Cypress Park Elementary School

Project No.: C0085

No.	Date	Description	Origin	ROM	Change Vehicle	Submitted	Approval	Reason
01	8/21/2017	(VOID) Phase 1 Acceleration	VOID	VOID	CCD 01	8/21/2017	N	VOID
02	8/22/2017	2 Stage Jack for Elevator	Architect	7,500.00	CR 08	11/15/2017		Design Revision
03	9/19/2017	(VOID) Credit for UG Electrical Conduit	VOID	VOID	CR 01	VOID	N	VOID
04	10/24/2017	(VOID) PR01 Duke Underground Conduit	VOID	VOID	CRD 01	VOID	N	VOID
05	10/31/2017	RFI 19 Revised Door Schedule	Architect	1,638.53	CR 14	7/9/2018		Design Revision
06	10/31/2017	(VOID) RFI 34 Revised Floor and Wall Tile	OCPS	VOID	VOID	VOID	N	VOID
07	10/31/2017	Bulletin 01 Addendum 06	Architect					Design Revision
08	10/31/2017	Bulletin 02 Prebid RFIs not included in GMP	Architect					Design Revision
09	10/31/2017	Bulletin 03 Rev Docs from ASI 02 Not in GMP	Architect					Design Revision
10	10/24/2017	(VOID) PR01 Duke Underground Conduit	VOID	VOID	CR 02	VOID	N	VOID
11	11/28/2017	CCD 02 Bulletin 04 Bus Car Loops	OCPS	206,027.16	CO 03	2/23/2018		Owner Request
12	12/12/2017	RFI 46 Kitchen Cord Reels	OCPS	(1,900.76)	CR 07	1/11/2018	Y	Owner Request
13	12/12/2017	Taft Water Meters	OCPS	VOID	CR03	VOID		VOID
14	12/19/2017	PR 02 LED Sign	OCPS	24,026.20	CR 04	1/11/2018	Y	Owner Request
15	12/19/2017	RFI 15 Add Floor Drains	Architect	2,996.00	CR 17	7/10/2018		Design Revision
16	12/19/2017	RFI 20 Add Fire Dampers	Architect					Design Revision
17	12/19/2017	RFI 38 Second Floor Windows	Architect	4,743.75	CR 15	7/9/2018		Design Revision
18	12/19/2017	RFI 40 Shower Revision	Architect	2,613.00	CR 06	1/11/2018	N	Design Revision
19	12/19/2017	RFI 43 Add Kitchen Office Casework	OCPS	2,245.00	CR 05	1/11/2018		Owner Request
20	12/19/2017	RFI 51 Second Floor Plumbing Revision	Architect					Design Revision
21	1/11/2018	RFI 39 Tiltwall Extension	Architect					Design Revision
22	1/11/2018	RFI 54 Parapet Wall Counter Flashing	Consultant					Design Revision
23	2/13/2018	RFI 56 Science Lab Relocation	Architect					Design Revision
24	2/13/2018	RFI 57 Kitchen Exhaust Fan Electrical Change	Architect	1,135.33	CR 16	7/10/2018		Design Revision
25	2/13/2018	RFI 59 Lobby Ceiling Height	Architect					Design Revision
26	2/13/2018	Bulletin 6/ASI 4 FFE, Elec & Systems Changes	Architect					Design Revision
27	3/30/2018	Bulletin 04 ESE Bus Loop Acceleration	OCPS	49,813.37	CCD 03	3/30/2018		Owner Request
28	4/2/2018	Window Glazing Replacement	CPPI	1,454.00	CR 09	4/2/2018	Y	Vandalism
29	4/2/2018	RFI 64 VICs	OCPS	739.78	CR 10	4/2/2018	Y	Owner Request
30	5/14/2018	RCDD Commissioning Report	OCPS	5,000.00	CRD 02	5/14/2018		Scope Requirement
31	76/26/18	Auto Openers	Architect					A/E Omission

GMP CONTINGENCY LOG

School/Name:	Cypress Park Elementary School	Starting Balance	100,000.00	200,000.00
Project No.:	C0085	Balance Remaining	95,820.39	99,494.06

No.	Date	Description	Cost	CM Contingency Balance	Owner Contingency Balance	Approval	Reason
CR 01	9/19/2017	(VOID) Credit for UG Electrical Conduit	VOID	100,000.00	200,000.00	N	Owner Request
CR 02	11/27/2017	(VOID) PR01 Duke Underground Conduit	VOID	100,000.00	200,000.00	N	Owner Request
CR 03	12/12/2017	(VOID) Taft Water Meters	VOID	100,000.00	200,000.00	N	Owner Request
CR 04	1/11/2018	PR 02 LED Sign	0.00	100,000.00	200,000.00		Owner Request
CR 04r1	3/20/2018	PR 02 LED Sign	0.00	100,000.00	200,000.00		Owner Request
CR 04r2	4/17/2018	PR 02 LED Sign	22,619.07	100,000.00	177,380.93	Y	Owner Request
CR 05	1/11/2018	RFI 43 Kitchen Office Casework	2,245.00	100,000.00	175,135.93	Y	A/E Omission
CR 06	1/11/2018	RFI 40 Shower Revision	Rejected	100,000.00	175,135.93	N	Scope Requirement
CR 07	1/11/2018	RFI 46 Kitchen Cord Reels	(1,900.76)	100,000.00	177,036.69	Y	Owner Request
CR 08	2/13/2018	RFI 07 - 2-Stage Elevator Jack	VOID	100,000.00	177,036.69	N	A/E Error
CR 09	3/28/2018	Broken Window Replacement	0.00	100,000.00	177,036.69		Vandalism
CR 09r1	4/19/2018	Broken Window Replacement	0.00	100,000.00	177,036.69		Vandalism
CR 09r2	6/20/2018	Broken Window Replacement	1,681.61	98,318.39	177,036.69	Y	Scope Requirement
CR 10	4/2/2018	RFI 64 Card Readers at VICs	0.00	98,318.39	177,036.69	Y	Owner Request
CR 10r1	6/20/2018	RFI 64 Card Readers at VICs	1,047.74	98,318.39	175,988.95	Y	Scope Requirement
CR 11	5/14/2018	RFI 51 Second Floor Plumbing Revision	0.00	98,318.39	175,988.95		Owner Request
CR 11r1	6/22/2018	RFI 51 Second Floor Plumbing Revision	2,498.00	95,820.39	175,988.95		A/E Omission
CR 12	5/14/2018	RFI 39 Tiltwall Extension	VOID	95,820.39	175,988.95		Owner Request
CRD 02	5/14/2018	RCDD Commissioning Report	5,000.00	95,820.39	170,988.95		Scope Requirement
CR 13	6/11/2018	RFI 44 & Bul 3 - Toilet Accessory Revision	(3,543.00)	95,820.39	174,531.95	Y	Owner Request
CR 14	7/9/2018	RFI 19 Updated Door Schedule	VOID	95,820.39	174,531.95		A/E Error
CR 15	7/9/2018	RFI 38 Second Floor Windows	VOID	95,820.39	174,531.95		A/E Error
CR 16	7/10/2018	RFI 57 Kitchen Exhaust Fan	$23,672.43	95,820.39	174,531.95		A/E Error
CR 17	7/10/2018	RFI 15 Restroom Floor Drains	VOID	95,820.39	174,531.95		A/E Omission
CRD 04	7/19/2018	Underground LPG Tank Removal & Disposal	0.00	95,820.39	174,531.95	Y	Owner Request
CR 18	9/17/2018	CRD 03 RCDD Commissioning Report	1,535.50	95,820.39	172,996.45		Owner Request
CR 19	9/17/2018	CR18 ASI 2 and ASI 3	70,267.73	95,820.39	102,728.72		Owner Request
CR 20	9/25/2018	RFI 59 Lobby Soffit	3,234.66	95,820.39	99,494.06		A/E Error
CR 21	9/25/2018	Bulletin 6/ASI 4R1 FFE Changes & Clarifications	5,895.85	95,820.39	93,598.21		Owner Request
CR 21r1	10/23/2018	Bulletin 6/ASI 4R1 FFE Changes & Clarifications	5,931.54	95,820.39	87,666.67		Owner Request
CR 22	10/19/2018	Additional Sidewalk at Bikerack	6,851.07	95,820.39	86,747.14		Owner Request
CR 23	10/19/2018	Reconcile CRD 04 Underground Tank	16,384.41	95,820.39	70,362.73		Owner Request
CR 24	10/19/2018	Bulletin 7 ADA Door Operators	18,764.01	95,820.39	51,598.72		Owner Request
CR 25	10/19/2018	Bldg 200/300 Drywall Repair for Mold	2,339.49	95,820.39	49,259.23		Scope Requirement
CR 26	10/19/2018	Adjust Water Closet Heights	0.00	95,820.39	49,259.23		A/E Error
CR 26r1	10/25/2018	Adjust Water Closet Heights	2,553.00	95,820.39	46,706.23		A/E Error
CR 27	10/19/2018	RFI 77 Bldg 200 Sinks	2,691.00	93,129.39	46,706.23		A/E Error
CR 28	10/19/2018	Additional Gates and Fence	3,208.00	93,129.39	43,498.23		A/E Omission
CR 29	10/22/18	Additional Parapet	11,112.00	93,129.39	32,386.23		A/E Omission

Buyout Log

Cypress Park Elementary School

School/Name:	Cypress Park Elementary School	39,979.00	Starting Balance
Project No.:	C0085	34,557.00	Balance Remaining

No.	Date	Description	Amount	Pay App Line Transfer From	Pay App Line Transfer To	Approved
1	4/10/2018	2 Stage Elevator Jack	5,422.00	60100	14000	Yes
2	5/25/2018	Temp Canopy	11,520.00	5000	10225	Yes

CONTRACT AND PURCHASE ORDER LOG
BY TO COMPANY

DATE: 3/15/2018

To	Type	From	Contract	Date	Description	Spec Section	Total Cost	Approved Changes	Pending Changes	Revised Contract Sum
A.G. Mauro Co. of Florida										
AGM	PO	CPPI	7T.08.71.60	08/28/17	CPES AG Mauro Door Supply		279,579.00	0.00	-279,578.80	279,579.00
Acousti Engineering Company										
AEC	CON	CPPI	7T.09.60.05	11/28/17	09E - Carpet and Resilient Flooring		219,850.00	0.00	-91,877.46	219,850.00
All-Rite Fence Services, Inc.										
ARF	CON	CPPI	7T.32.18.20	08/29/17	32A - Fencing, Gates		146,677.00	0.00	0.00	146,677.00
Architectural Aluminum Techniques										
AAT	CON	CPPI	7T.08.52.10	09/21/17	08B - Storefront, Curtainwall, Glass		265,296.00	0.00	-110,598.31	265,296.00
Architectural Building Specialties,										
ABS	CON	CPPI	7T.10.10.02	10/27/17	10N - Miscellaneous Specialties		103,580.00	0.00	0.00	103,580.00
Barfield Group										
BG	CON	CPPI	7T.06.41.04	01/11/18	12A - Casework		117,765.00	0.00	-80,825.00	117,765.00
Central Florida Waterproofing, Inc.										
CFW	CON	CPPI	7T.07.91.20	08/29/17	07A - Dampproofing, Waterproofing		30,300.00	0.00	0.00	30,300.00
Chem Clean, Inc.										
CCI	CON	CPPI	5F.01.80.35	01/15/18	01F - Final Cleaning		22,550.00	0.00	0.00	22,550.00
Clark Associates Inc.										
CAI	CON	CPPI	7T.11.30.04	08/28/17	11A - Food Service Equipment		318,030.00	0.00	0.00	318,030.00
Concepts in Greenery										
CIG	CON	CPPI	5F.32.80.05	01/15/18	32B - Landscaping, Irrigation		103,486.00	0.00	0.00	103,486.00
Fidelity Security Agency, LLC										
FSA	CON	CPPI	5F.01.81.15	01/16/18	01P - Security Agency		59,184.00	0.00	0.00	59,184.00
Florida Visual Display Products, Inc										
FVDP	CON	CPPI	7T.23.10.06	09/21/17	10M - Visual Display Boards		37,500.00	0.00	0.00	37,500.00
Freedom Installations, Inc.										
FI	CON	CPPI	7T.08.71.10	10/05/17	06D - Doors/Hardware Installation		41,450.00	0.00	0.00	41,450.00
Hartford South, LLC.										
HS	CON	CPPI	7T.07.51.20	08/29/17	07B - Roofing System		388,250.00	-127,382.73	0.00	260,867.27
Hile's Curtain Specialties, Inc.										

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CONTRACT AND PURCHASE ORDER LOG
BY TO COMPANY

DATE: 3/15/2018

To	Type	From	Contract	Date	Description	Spec Section	Total Cost	Approved Changes	Pending Changes	Revised Contract Sum
HCS	CON	CPPI	7T.11.30.22	11/10/17	11C - Stage Curtains, Equipment		5,163.00	0.00	0.00	5,163.00
Industrial Steel										
IS	CON	CPPI	7T.05.12.02	08/29/17	05A - Structural & Misc. Steel Package		495,300.00	0.00	-216,551.76	495,300.00
Leading Edge										
LE	CON	CPPI	5F.01.81.20	08/29/17	01E - Survey		5,000.00	0.00	0.00	5,000.00
Miller Recreation Equipmen Inc										
MILLER R	CON	CPPI	7T.11.30.30	10/05/17	11I - Playground Equipment		121,257.00	0.00	-88,464.39	121,257.00
Module X Solutions										
MOD X	PO	CPPI	7T.03.40.10	02/09/18	Precast Concrete Bldg		75,620.00	0.00	0.00	75,620.00
Peachtree Protective Covers, Inc.										
PPC	CON	CPPI	7T.10.10.70	10/27/17	10E - Walkway Canopies		238,280.00	6,603.00	11,000.00	244,883.00
Precision Balance, Inc.										
PB	CON	CPPI	7T.23.10.15	10/23/17	23B - Test & Balance		27,740.00	0.00	0.00	27,740.00
Rivera Tile And Stone Inc										
RTAS	CON	CPPI	7T.09.30.10	10/27/17	09F - Tile Flooring		215,676.00	0.00	0.00	215,676.00
SJS Painting and Waterproofing										
SJS	CON	CPPI	7T.09.21.05	10/05/17	09A - Drywall, Framing		788,280.00	0.00	-209,116.57	788,280.00
SJS	CON	CPPI	7T.09.99.10	10/05/17	09D - Paintings, Coatings, Wallcoverings		140,897.00	0.00	-17,875.14	140,897.00
Safway Services, LLC.										
SAF	CON	CPPI	7T.07.81.10	01/10/18	07D - Spray-On Fireproofing	07250	84,400.00	0.00	-23,724.90	84,400.00
Sequel Developers, Inc.										
SDI	CON	CPPI	7T.11.30.02	11/07/17	11J - Miscellaneous Equipment		40,689.00	0.00	0.00	40,689.00
Sign Design of Florida, Inc.										
SD	CON	CPPI	7T.10.10.16	09/27/17	10C - Signage		41,900.00	0.00	0.00	41,900.00
Southeastern Surfaces & Equipment										
SSE	CON	CPPI	7T.11.30.34	11/07/17	11D - Athletic Equipment		20,675.00	0.00	0.00	20,675.00
Southern Acoustics Inc										
SA	CON	CPPI	7T.09.51.10	10/10/17	09C - Acoustical Ceilings, Treatments		135,600.00	0.00	0.00	135,600.00

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CONTRACT AND PURCHASE ORDER LOG
BY TO COMPANY

DATE: 3/15/2018

To	Type	From	Contract	Date	Description	Spec Section	Total Cost	Approved Changes	Pending Changes	Revised Contract Sum
Space Coast Fire and Safety, Inc.										
SCFS	CON	CPPI	7T.21.13.10	10/05/17	21A - Fire Protection		258,297.00	0.00	0.00	258,297.00
Sun Kraft Electrical Contractors										
SKE	CON	CPPI	7T.26.30.05	08/29/17	26A - Electrical		1,998,104.00	-570,018.53	0.00	1,428,085.47
T&T Construction of Central Florida										
TT	CON	CPPI	7T.03.40.05	09/22/17	03A - Cast In Place Concrete	03300	1,299,989.00	-220,470.38	0.00	1,079,518.62
Tharp Plumbing Systems, Inc.										
THP	CON	CPPI	7T.22.10.10	09/21/17	22A - Plumbing		759,976.00	0.00	-82,365.47	759,976.00
ThyssenKrupp Elevator Americas										
TK	CON	CPPI	7T.14.10.10	11/08/17	14A - Elevators		63,443.00	5,422.00	0.00	68,865.00
Trident Building Systems Inc.										
TBSI	CON	CPPI	7T.13.20.28	10/10/17	13A - Pre-Engineered Metal Buildings		42,311.00	0.00	0.00	42,311.00
Westbrook Service Corp.										
WSC	CON	CPPI	7T.23.10.05	10/10/17	23A - HVAC		1,968,080.00	-449,623.27	-82,356.26	1,518,456.73
White's Site Development, Inc										
WSD	CON	CPPI	7T.31.10.02	10/24/17	31A - Earthwork, Site Improvements		1,763,505.00	0.00	-273,329.50	1,763,505.00

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C0085
Cypress Park Elementary School

Pay Application Executive Summary

Period to: **9/30/2018**

Application #: **10 rev**

Original Contract Sum	15,663,493.00
Change Orders	(3,916,000.00)
Contract Sum to Date	11,747,493.00
Total Completed and Stored to Date	11,203,780.71
Retainage	859,379.88
Total Earned Less Retainage	10,344,400.83
Less Previous Certificates for Payment	10,302,300.35
Current Payment Due	**42,100.48**
Balance to Finish Plus Retainage	1,403,092.17
% Complete	95.37%

General Conditions	810,711.00
Management Fee	649,523.00

Owner Payments

1	9/25/17	1,175,578.55
2	10/25/17	717,878.27
3	12/25/17	1,293,865.37
4	2/28/18	1,687,216.67
5	3/31/18	986,230.53
6	5/25/18	2,584,245.19
7	6/25/18	684,764.79
8	7/25/18	1,010,770.61
9	8/25/18	459,574.66

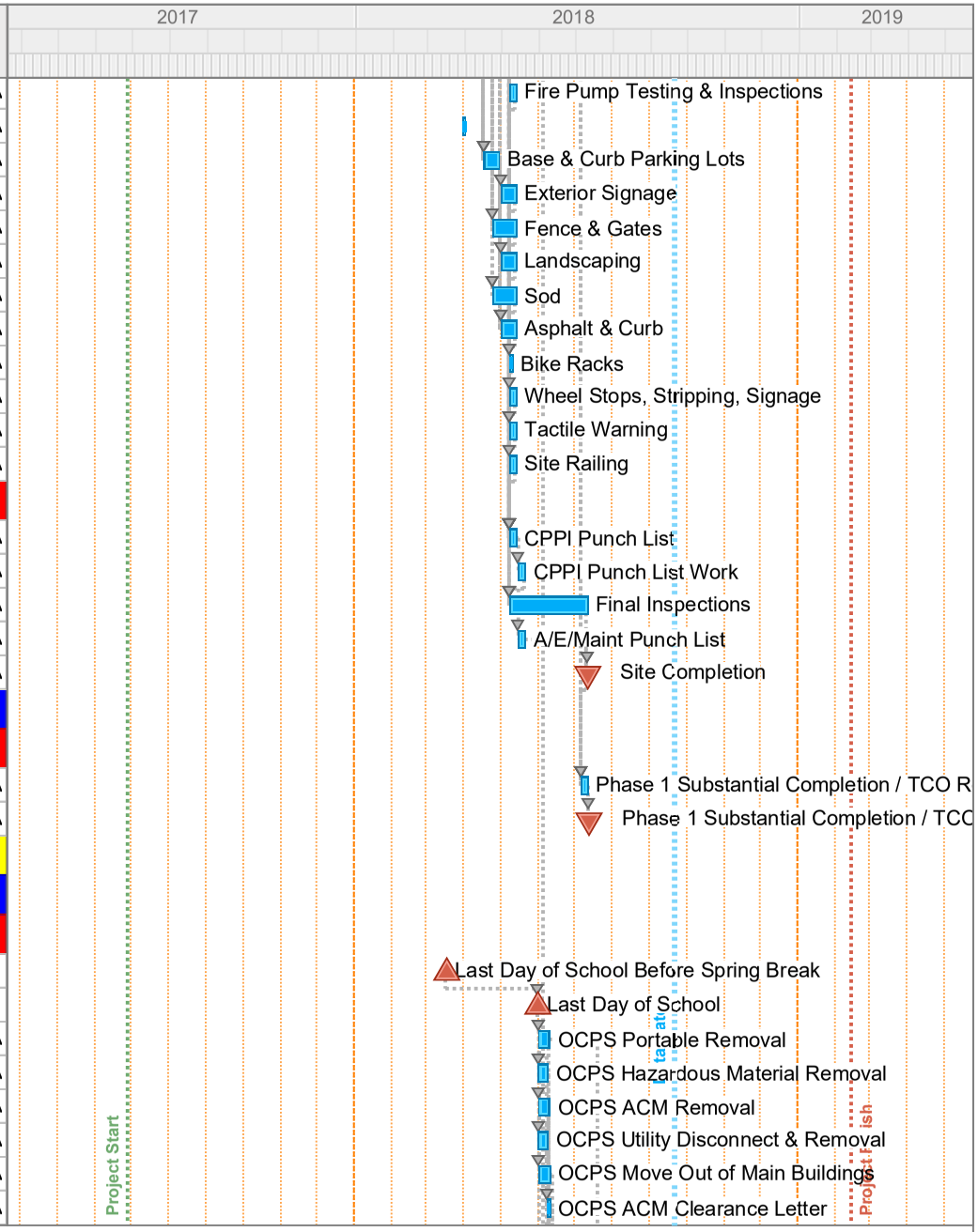
PTD **10,600,124.64**

Section 5 – Schedule Overview and Current Status
C0085 Cypress Park Elementary School

1. **Project Schedule** – Project Schedule Attached

2. **Delay Log –** Delay Log Attached

ID	Description	Original Duration	Start	Finish
5660	Fire Pump Testing & Inspections	5	05/07/18A	05/11/18A
5665		1	03/30/18A	03/30/18A
5670	Base & Curb Parking Lots	10	04/16/18A	04/27/18A
5680	Exterior Signage	10	04/30/18A	05/11/18A
5690	Fence & Gates	15	04/23/18A	05/11/18A
5700	Landscaping	10	04/30/18A	05/11/18A
5710	Sod	15	04/23/18A	05/11/18A
5720	Asphalt & Curb	10	04/30/18A	05/11/18A
5730	Bike Racks	2	05/07/18A	05/08/18A
5740	Wheel Stops, Stripping, Signage	5	05/07/18A	05/11/18A
5750	Tactile Warning	5	05/07/18A	05/11/18A
5760	Site Railing	5	05/07/18A	05/11/18A
Site Completion				
5800	CPPI Punch List	5	05/07/18A	05/11/18A
5810	CPPI Punch List Work	5	05/14/18A	05/18/18A
5820	Final Inspections	10	05/07/18A	07/09/18A
5830	A/E/Maint Punch List	5	05/14/18A	05/18/18A
5840	Site Completion	0		07/09/18A
Completion				
Completion				
5900	Phase 1 Substantial Completion / TCO Request	4	07/05/18A	07/09/18A
5910	Phase 1 Substantial Completion / TCO	0		07/10/18A
Phase 2A - ESE Bus Loop				
Construction				
Site Preperation				
6000	Last Day of School Before Spring Break	0	03/16/18A	
6002	Last Day of School	0	05/30/18A	
6004	OCPS Portable Removal	5	05/31/18A	06/07/18A
6006	OCPS Hazardous Material Removal	5	05/31/18A	06/06/18A
6008	OCPS ACM Removal	5	05/31/18A	06/07/18A
6010	OCPS Utility Disconnect & Removal	5	05/31/18A	06/06/18A
6012	OCPS Move Out of Main Buildings	7	05/31/18A	06/08/18A
6014	OCPS ACM Clearance Letter	2	06/07/18A	06/08/18A



Start Date: 06/28/17
Finish Date: 02/12/19
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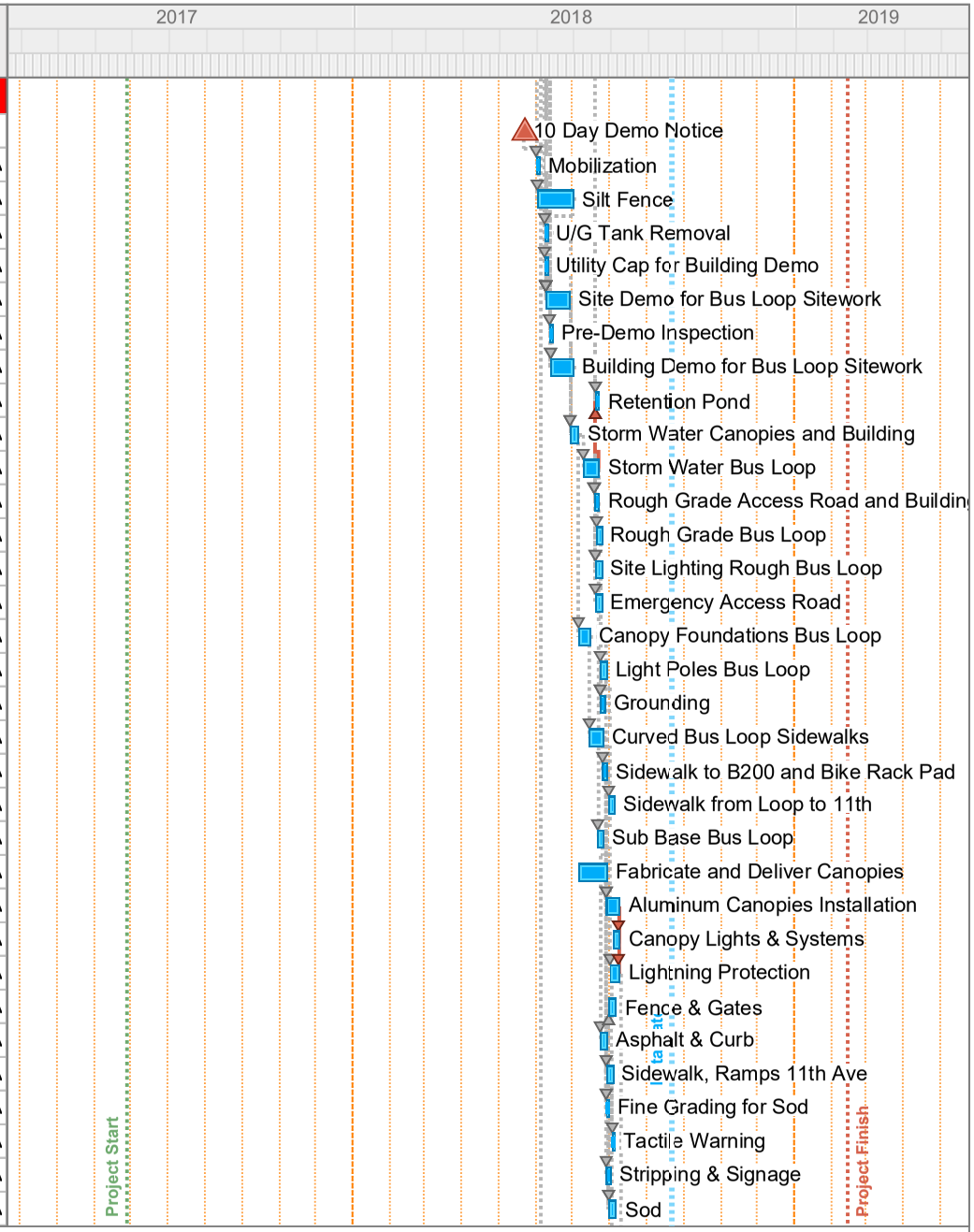
C0085
Cypress Park Elementary School
Schedule Update 9/21/2018

CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
Site				
6016	10 Day Demo Notice	0	05/21/18A	
6020	Mobilization	1	05/31/18A	06/01/18A
6030	Silt Fence	4	06/01/18A	06/29/18A
6040	U/G Tank Removal	2	06/07/18A	06/08/18A
6042	Utility Cap for Building Demo	2	06/07/18A	06/08/18A
6050	Site Demo for Bus Loop Sitework	5	06/08/18A	06/26/18A
6052	Pre-Demo Inspection	1	06/11/18A	06/12/18A
6056	Building Demo for Bus Loop Sitework	4	06/12/18A	06/29/18A
6060	Retention Pond	5	07/19/18A	07/20/18A
6070	Storm Water Canopies and Building	10	06/28/18A	07/03/18A
6075	Storm Water Bus Loop	5	07/09/18A	07/20/18A
6080	Rough Grade Access Road and Buildings	5	07/18/18A	07/20/18A
6085	Rough Grade Bus Loop	3	07/20/18A	07/23/18A
6090	Site Lighting Rough Bus Loop	5	07/19/18A	07/23/18A
6100	Emergency Access Road	5	07/19/18A	07/23/18A
6110	Canopy Foundations Bus Loop	7	07/05/18A	07/13/18A
6120	Light Poles Bus Loop	5	07/23/18A	07/27/18A
6130	Grounding	3	07/23/18A	07/25/18A
6140	Curved Bus Loop Sidewalks	6	07/14/18A	07/24/18A
6145	Sidewalk to B200 and Bike Rack Pad	3	07/25/18A	07/27/18A
6147	Sidewalk from Loop to 11th	4	07/30/18A	08/02/18A
6150	Sub Base Bus Loop	5	07/21/18A	07/24/18A
6155	Fabricate and Deliver Canopies	17	07/05/18A	07/27/18A
6160	Aluminum Canopies Installation	5	07/28/18A	08/06/18A
6280	Canopy Lights & Systems	3	08/03/18A	08/06/18A
6300	Lightning Protection	5	07/31/18A	08/06/18A
6310	Fence & Gates	5	07/30/18A	08/03/18A
6320	Asphalt & Curb	5	07/23/18A	07/27/18A
6330	Sidewalk, Ramps 11th Ave	5	07/28/18A	08/01/18A
6340	Fine Grading for Sod	1	07/28/18A	07/28/18A
6380	Tactile Warning	1	08/02/18A	08/02/18A
6390	Stripping & Signage	5	07/28/18A	07/30/18A
6400	Sod	5	07/30/18A	08/03/18A



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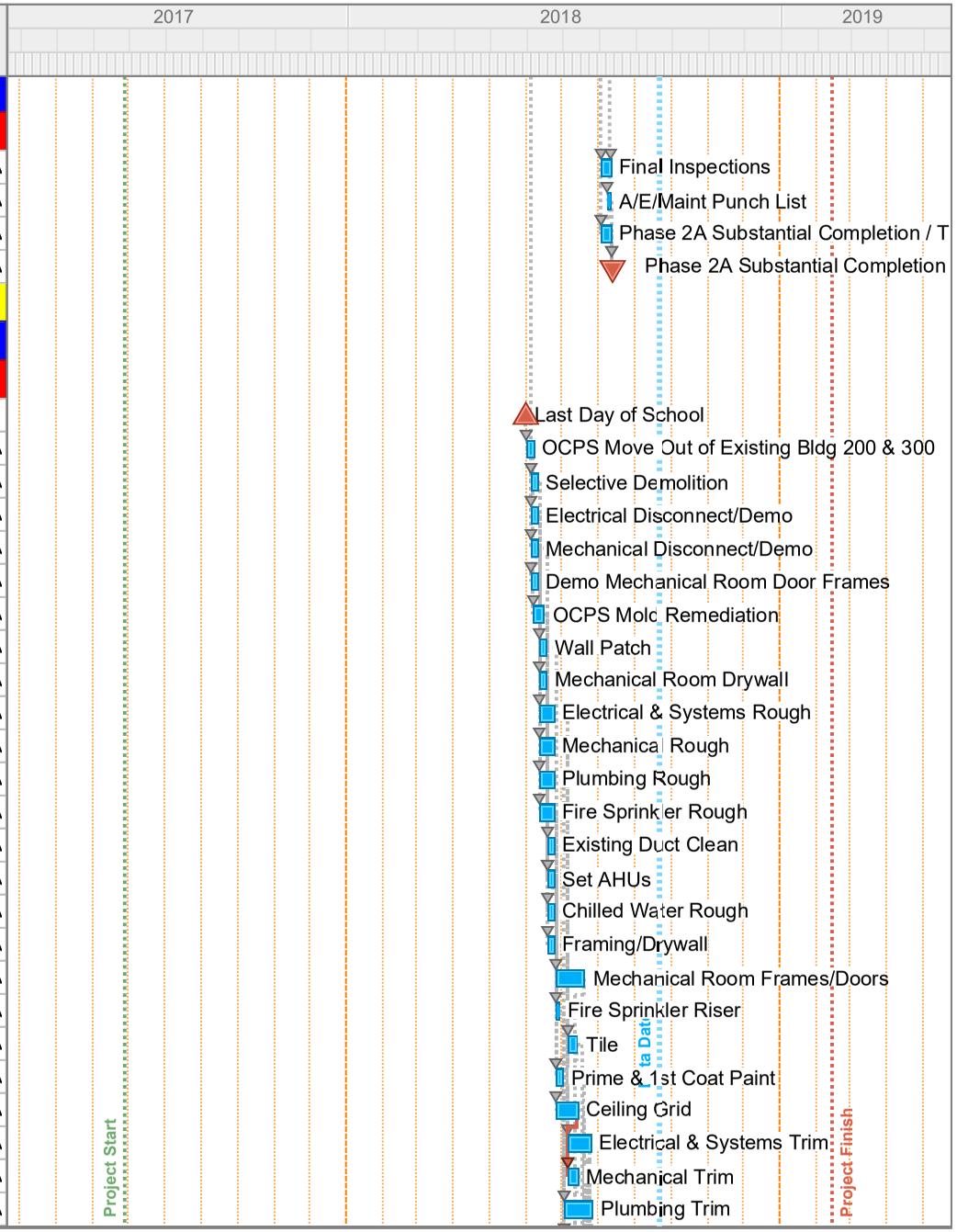
C0085
Cypress Park Elementary School
Schedule Update 9/21/2018

CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
Completion				
ESE Bus Loop Completion				
6520	Final Inspections	5	08/02/18A	08/09/18A
6530	A/E/Maint Punch List	5	08/07/18A	08/08/18A
6540	Phase 2A Substantial Completion / TCO Request	1	08/02/18A	08/09/18A
6550	Phase 2A Substantial Completion / TCO	0		08/10/18A
Phase 2 - Existing Building Renovation				
Construction				
Building 200 and 300				
7000	Last Day of School	0	05/30/18A	
7010	OCPS Move Out of Existing Bldg 200 & 300	4	05/31/18A	06/05/18A
7020	Selective Demolition	5	06/04/18A	06/08/18A
7030	Electrical Disconnect/Demo	5	06/04/18A	06/08/18A
7040	Mechanical Disconnect/Demo	5	06/04/18A	06/08/18A
7050	Demo Mechanical Room Door Frames	5	06/04/18A	06/08/18A
7055	OCPS Mold Remediation	6	06/06/18A	06/13/18A
7060	Wall Patch	5	06/11/18A	06/15/18A
7070	Mechanical Room Drywall	5	06/11/18A	06/15/18A
7090	Electrical & Systems Rough	10	06/11/18A	06/22/18A
7100	Mechanical Rough	10	06/11/18A	06/22/18A
7110	Plumbing Rough	10	06/11/18A	06/22/18A
7120	Fire Sprinkler Rough	10	06/11/18A	06/22/18A
7125	Existing Duct Clean	5	06/18/18A	06/22/18A
7130	Set AHUs	5	06/18/18A	06/22/18A
7140	Chilled Water Rough	5	06/18/18A	06/22/18A
7150	Framing/Drywall	5	06/18/18A	06/22/18A
7160	Mechanical Room Frames/Doors	5	06/25/18A	07/17/18A
7170	Fire Sprinkler Riser	5	06/25/18A	06/26/18A
7180	Tile	5	07/05/18A	07/11/18A
7190	Prime & 1st Coat Paint	5	06/25/18A	06/29/18A
7200	Ceiling Grid	5	06/25/18A	07/12/18A
7210	Electrical & Systems Trim	5	07/05/18A	07/23/18A
7220	Mechanical Trim	5	07/05/18A	07/12/18A
7230	Plumbing Trim	5	07/02/18A	07/24/18A



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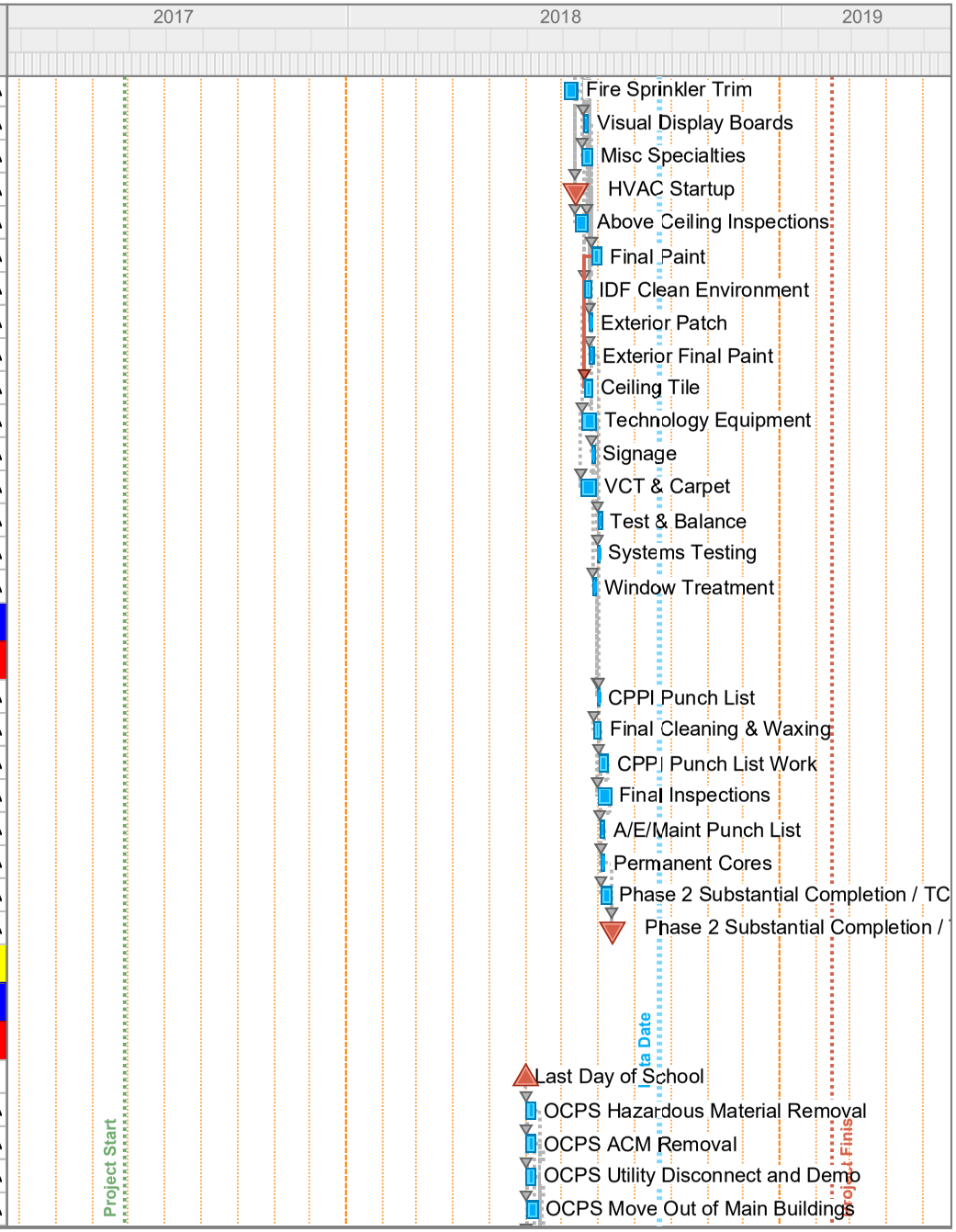
C0085
Cypress Park Elementary School
Schedule Update 9/21/2018

CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
7240	Fire Sprinkler Trim	5	07/02/18A	07/11/18A
7250	Visual Display Boards	3	07/18/18A	07/20/18A
7260	Misc Specialties	5	07/17/18A	07/24/18A
7270	HVAC Startup	0		07/10/18A
7280	Above Ceiling Inspections	5	07/11/18A	07/20/18A
7290	Final Paint	5	07/25/18A	07/31/18A
7300	IDF Clean Environment	5	07/19/18A	07/23/18A
7310	Exterior Patch	1	07/23/18A	07/24/18A
7320	Exterior Final Paint	3	07/23/18A	07/25/18A
7330	Ceiling Tile	5	07/19/18A	07/24/18A
7340	Technology Equipment	5	07/17/18A	07/27/18A
7350	Signage	2	07/25/18A	07/26/18A
7360	VCT & Carpet	10	07/16/18A	07/27/18A
7380	Test & Balance	3	07/30/18A	08/01/18A
7390	Systems Testing	1	07/30/18A	07/30/18A
7400	Window Treatment	2	07/26/18A	07/27/18A
Completion				
Building 200 and 300 Completion				
7500	CPPI Punch List	1	07/30/18A	07/30/18A
7510	Final Cleaning & Waxing	3	07/27/18A	07/31/18A
7520	CPPI Punch List Work	5	07/31/18A	08/06/18A
7530	Final Inspections	5	07/30/18A	08/09/18A
7540	A/E/Maint Punch List	3	08/01/18A	08/03/18A
7550	Permanent Cores	2	08/02/18A	08/03/18A
7560	Phase 2 Substantial Completion / TCO Request	1	08/02/18A	08/09/18A
7570	Phase 2 Substantial Completion / TCO	0		08/10/18A
Phase 3 - Demo and Covered Play				
Construction				
Site Preperation				
8000	Last Day of School	0	05/30/18A	
8010	OCPS Hazardous Material Removal	5	05/31/18A	06/06/18A
8020	OCPS ACM Removal	5	05/31/18A	06/06/18A
8030	OCPS Utility Disconnect and Demo	5	05/31/18A	06/06/18A
8040	OCPS Move Out of Main Buildings	7	05/31/18A	06/08/18A



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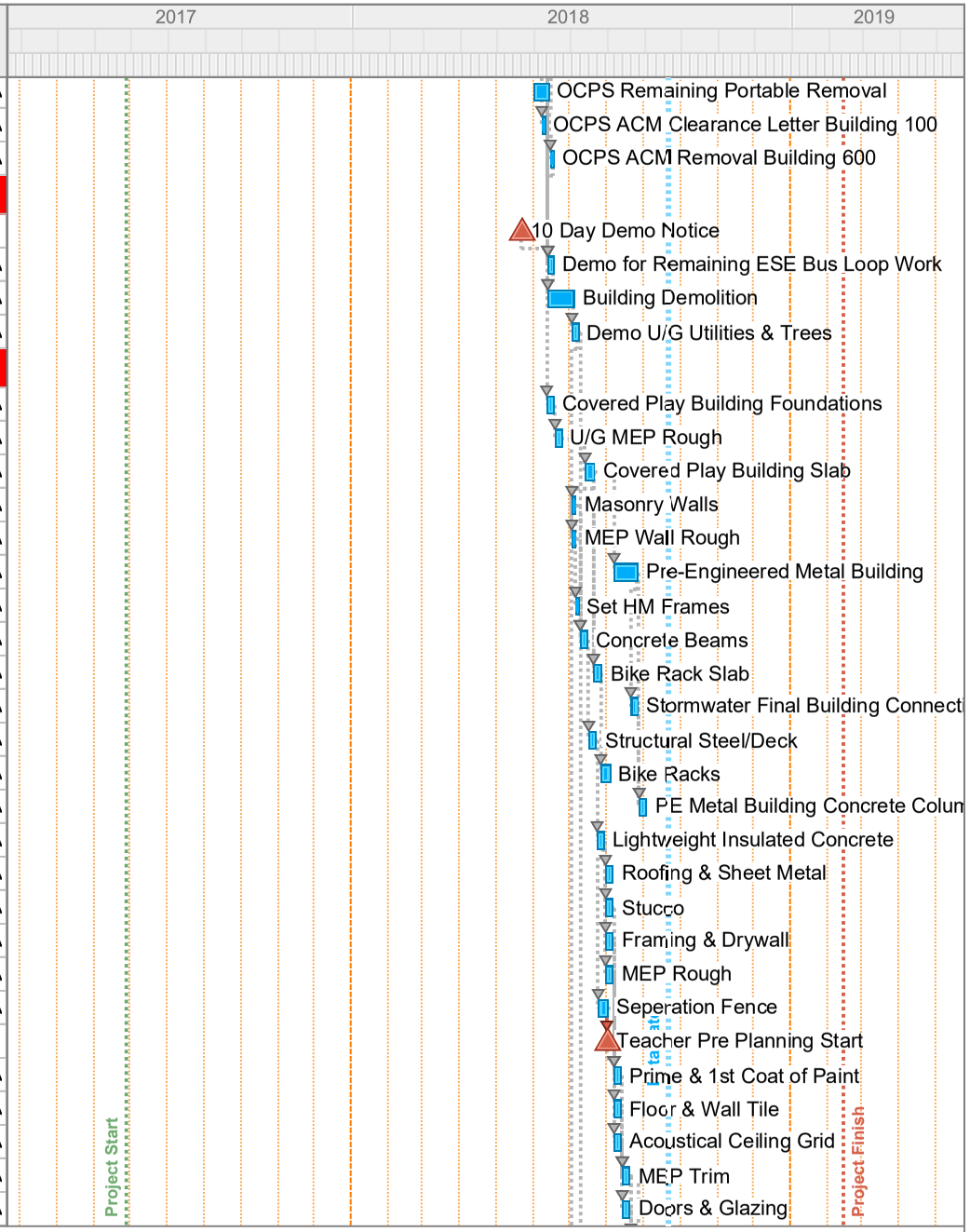
C0085
Cypress Park Elementary School
Schedule Update 9/21/2018

CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
8050	OCPS Remaining Portable Removal	8	05/31/18A	06/11/18A
8054	OCPS ACM Clearance Letter Building 100	2	06/07/18A	06/08/18A
8056	OCPS ACM Removal Building 600	2	06/14/18A	06/15/18A
Demo				
8058	10 Day Demo Notice	0	05/21/18A	
8060	Demo for Remaining ESE Bus Loop Work	4	06/12/18A	06/15/18A
8070	Building Demolition	15	06/12/18A	07/02/18A
8080	Demo U/G Utilities & Trees	5	07/02/18A	07/06/18A
Covered Play Building				
8090	Covered Play Building Foundations	5	06/11/18A	06/15/18A
8100	U/G MEP Rough	5	06/18/18A	06/22/18A
8110	Covered Play Building Slab	5	07/13/18A	07/19/18A
8120	Masonry Walls	10	07/02/18A	07/03/18A
8130	MEP Wall Rough	10	07/02/18A	07/03/18A
8135	Pre-Engineered Metal Building	15	08/06/18A	08/24/18A
8140	Set HM Frames	2	07/05/18A	07/06/18A
8150	Concrete Beams	5	07/09/18A	07/13/18A
8153	Bike Rack Slab	4	07/20/18A	07/25/18A
8156	Stormwater Final Building Connections	5	08/20/18A	08/24/18A
8160	Structural Steel/Deck	5	07/16/18A	07/20/18A
8163	Bike Racks	5	07/26/18A	08/01/18A
8166	PE Metal Building Concrete Columns	2	08/27/18A	08/31/18A
8170	Lightweight Insulated Concrete	2	07/23/18A	07/27/18A
8180	Roofing & Sheet Metal	5	07/30/18A	08/03/18A
8190	Stucco	5	07/30/18A	08/03/18A
8200	Framing & Drywall	5	07/30/18A	08/03/18A
8210	MEP Rough	5	07/30/18A	08/03/18A
8215	Seperation Fence	5	07/24/18A	07/30/18A
8217	Teacher Pre Planning Start	0	07/31/18A	
8220	Prime & 1st Coat of Paint	5	08/06/18A	08/10/18A
8230	Floor & Wall Tile	5	08/06/18A	08/10/18A
8240	Acoustical Ceiling Grid	5	08/06/18A	08/10/18A
8260	MEP Trim	7	08/13/18A	08/17/18A
8270	Doors & Glazing	5	08/13/18A	08/17/18A



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C0085
Cypress Park Elementary School
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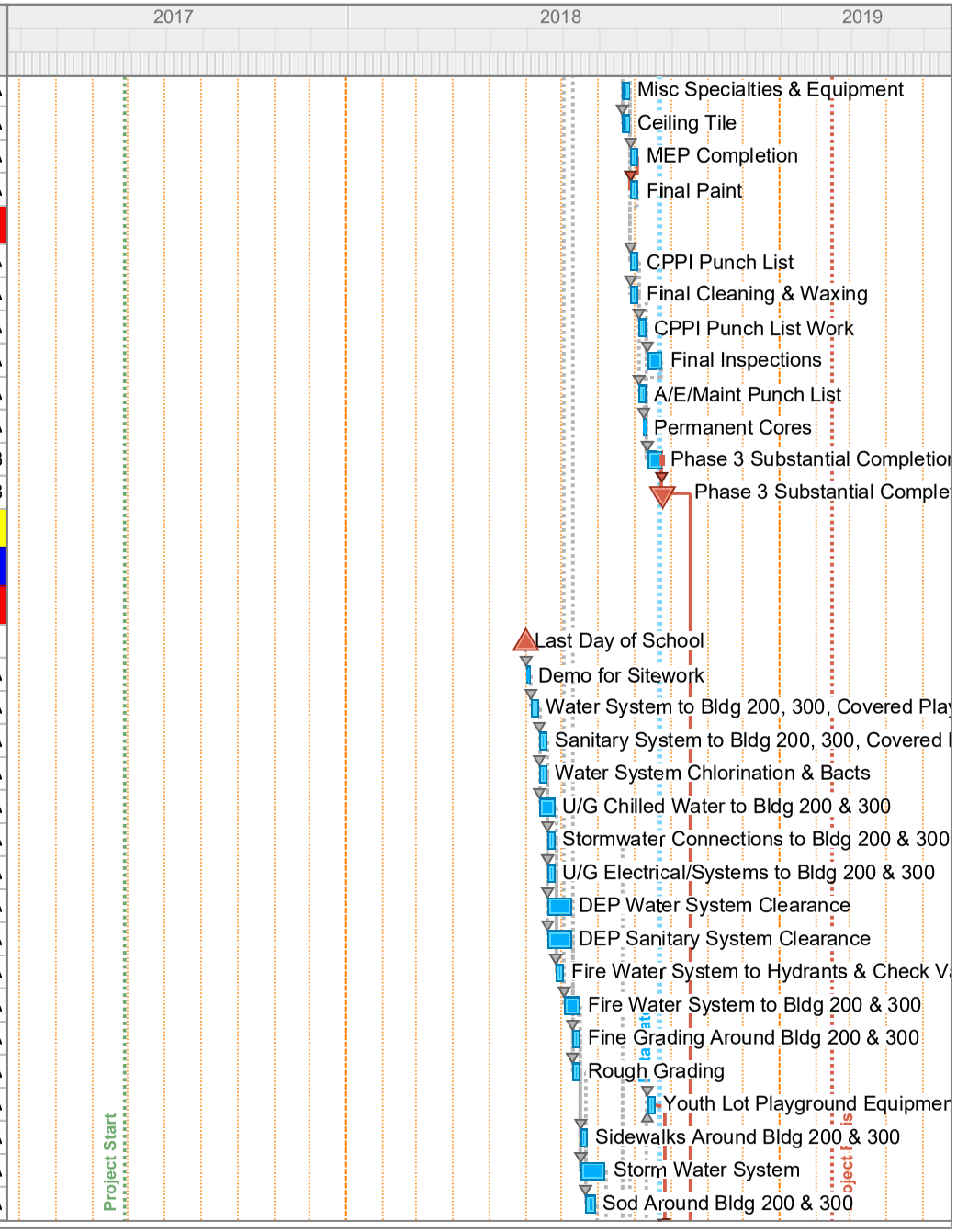
CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
8280	Misc Specialties & Equipment	5	08/20/18A	08/24/18A
8290	Ceiling Tile	5	08/20/18A	08/24/18A
8320	MEP Completion	5	08/27/18A	08/31/18A
8330	Final Paint	5	08/27/18A	08/31/18A
Covered Play Building Completion				
8400	CPPI Punch List	5	08/27/18A	08/31/18A
8410	Final Cleaning & Waxing	5	08/27/18A	08/31/18A
8420	CPPI Punch List Work	5	09/03/18A	09/07/18A
8430	Final Inspections	5	09/10/18A	09/20/18A
8440	A/E/Maint Punch List	5	09/03/18A	09/07/18A
8450	Permanent Cores	1	09/07/18A	09/07/18A
8460	Phase 3 Substantial Completion / TCO Request	2	09/10/18A	09/21/18
8470	Phase 3 Substantial Completion / TCO	0		09/21/18
Phae 4 - Sitework and Playfields				
Construction				
Site				
8500	Last Day of School	0	05/30/18A	
8510	Demo for Sitework	2	05/31/18A	06/01/18A
8520	Water System to Bldg 200, 300, Covered Play	5	06/04/18A	06/08/18A
8530	Sanitary System to Bldg 200, 300, Covered Play	5	06/11/18A	06/15/18A
8540	Water System Chlorination & Bacts	5	06/11/18A	06/15/18A
8550	U/G Chilled Water to Bldg 200 & 300	10	06/11/18A	06/22/18A
8560	Stormwater Connections to Bldg 200 & 300	5	06/18/18A	06/22/18A
8570	U/G Electrical/Systems to Bldg 200 & 300	5	06/18/18A	06/22/18A
8580	DEP Water System Clearance	15	06/18/18A	07/06/18A
8590	DEP Sanitary System Clearance	15	06/18/18A	07/06/18A
8600	Fire Water System to Hydrants & Check Valves	5	06/25/18A	06/29/18A
8610	Fire Water System to Bldg 200 & 300	10	07/02/18A	07/13/18A
8620	Fine Grading Around Bldg 200 & 300	5	07/09/18A	07/13/18A
8630	Rough Grading	5	07/09/18A	07/13/18A
8635	Youth Lot Playground Equipment	5	09/10/18A	09/14/18A
8640	Sidewalks Around Bldg 200 & 300	5	07/16/18A	07/19/18A
8650	Storm Water System	15	07/16/18A	08/03/18A
8660	Sod Around Bldg 200 & 300	5	07/20/18A	07/26/18A



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C0085
Cypress Park Elementary School
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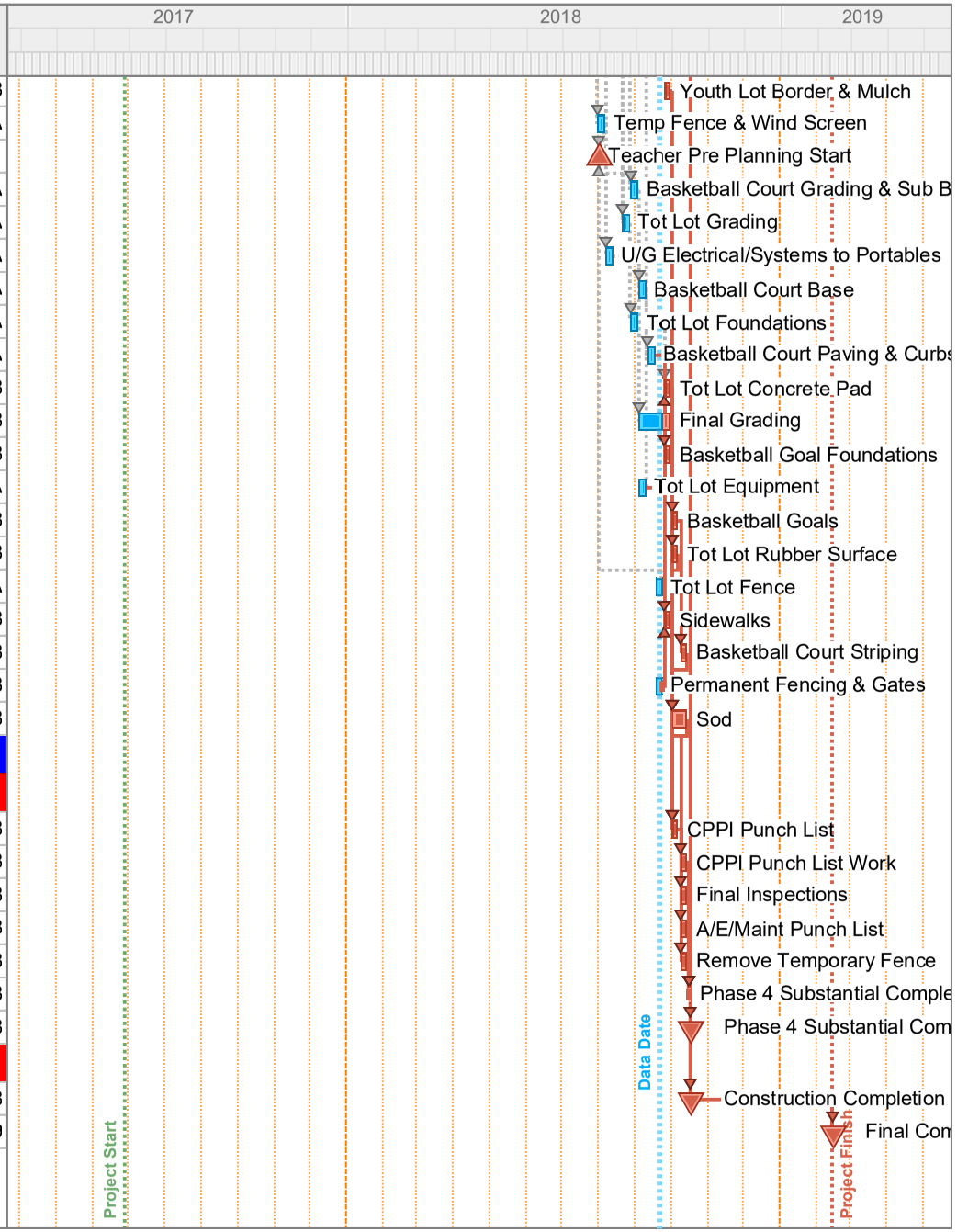
CPPI
CHARLES PERRY PARTNERS, INC

ID	Description	Original Duration	Start	Finish
8665	Youth Lot Border & Mulch	5	09/24/18	09/28/18
8670	Temp Fence & Wind Screen	5	07/30/18A	08/03/18A
8675	Teacher Pre Planning Start	0	07/31/18A	
8680	Basketball Court Grading & Sub Base	5	08/27/18A	08/31/18A
8690	Tot Lot Grading	5	08/20/18A	08/24/18A
8700	U/G Electrical/Systems to Portables	5	08/06/18A	08/10/18A
8710	Basketball Court Base	5	09/03/18A	09/07/18A
8720	Tot Lot Foundations	5	08/27/18A	08/31/18A
8730	Basketball Court Paving & Curbs	5	09/10/18A	09/14/18A
8740	Tot Lot Concrete Pad	5	09/24/18	09/28/18
8750	Final Grading	10	09/03/18A	09/28/18
8760	Basketball Goal Foundations	5	09/24/18	09/28/18
8770	Tot Lot Equipment	5	09/03/18A	09/07/18A
8780	Basketball Goals	5	10/01/18	10/05/18
8790	Tot Lot Rubber Surface	5	10/01/18	10/05/18
8800	Tot Lot Fence	4	09/17/18A	09/20/18A
8810	Sidewalks	5	09/24/18	09/28/18
8820	Basketball Court Striping	5	10/08/18	10/12/18
8830	Permanent Fencing & Gates	5	09/17/18A	09/21/18
8850	Sod	10	10/01/18	10/12/18
Completion				
Site Completion				
9000	CPPI Punch List	5	10/01/18	10/05/18
9010	CPPI Punch List Work	5	10/08/18	10/12/18
9020	Final Inspections	5	10/08/18	10/12/18
9030	A/E/Maint Punch List	5	10/08/18	10/12/18
9040	Remove Temporary Fence	5	10/08/18	10/12/18
9050	Phase 4 Substantial Completion / TCO Request	1	10/15/18	10/15/18
9060	Phase 4 Substantial Completion / TCO	0		10/15/18
Completion				
9800	Construction Completion	0		10/15/18
9900	Final Completion	0		02/12/19



Start Date: 06/28/17
Finish Date: 02/12/19
Data Date: 09/21/18

C0085
Cypress Park Elementary School
Schedule Update 9/21/2018

CPPI
CHARLES PERRY PARTNERS, INC

PROJECT DELAY LOG

Charles Perry Partners, Inc

Project: C0085 Cypress Park Elementary

Item Number	Detailed Description of the Delay including RFI, Directive, Plan Revision Number, etc.	Room Number or Location	Date Added To Log	Date Item Discovered	Calendar Days Delayed	Calendar Days Approved	CPPI Related Change Order # if Applicable	Notes/ Comments
1	Notice to Proceed Issued 7/18/17	Project	7/18/2017	6/28/2017	20	20	CO02	CO 02 Time Extension Submitted 7/20/17
2	Hurrican Irma	Project	9/15/2017	9/7/2017	8			Delay Notice Submitted 9/15/17
3	ODP PO Release	Project	9/15/2017	9/15/2017	TBD			Delay Notice Submitted 9/15/17
4	Canopy Revisions	Canopy	4/3/2018		53		CO04	CO 04 Time Extension Submitted 4/3/18
5	Permanent Power	Project	4/3/2018	4/3/2018	41			Delay Notice Submitted 4/3/18
6	ROW work and Utility Connections	Project	4/3/2018	4/3/2018	40			Delay Notice Submitted 4/3/18
7	Exterior Signage	Project	4/3/2018	4/3/2018	TBD			Delay Notice Submitted 4/3/18
8	Water Tank	Project	4/3/2018	4/3/2018	TBD			Delay Notice Submitted 4/3/18
9	Door Actuators	Bldg 100, 200, 300	4/3/2018	4/3/2018	TBD			Delay Notice Submitted 4/3/18
10	Underground LPG Tank	Phase 2	7/19/2018	7/19/2018	Minimum 3			Delay Notice Submitted 7/19/18
11								
12								
13								
14								
15								
16								
17								
18								
19								
20								
21								
Total					**162**	**20**		

Section 7 – Photos
C0085 Cypress Park Elementary School

Aerial Photos – See attached photos

CPPI
CHARLES PERRY PARTNERS, INC

Sally Ride Elementary School

10.04.18

aerial Innovations

CPPI
CHARLES PERRY PARTNERS, INC

Sally Ride Elementary School

10.04.18

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Sally Ride Elementary School

10.17.18

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