

BSD GREENWAY ELEMENTARY SCHOOL: 2022 RE-ROOF

AHJ: BEAVERTON, OR

BEAVERTON SCHOOL DISTRICT

16550 SW MERLO ROAD
BEAVERTON, OR 97003
(T): (503) 356-4318
CONTACT: MEGAN FINCH

OWNER

TBD

STREET ADDRESS
CITY, STATE, ZIP
(T): (555) 555-5555
(F): (555) 555-5555
CONTACT: --

CONTRACTOR

CCB #:-----

CIDA, INC.

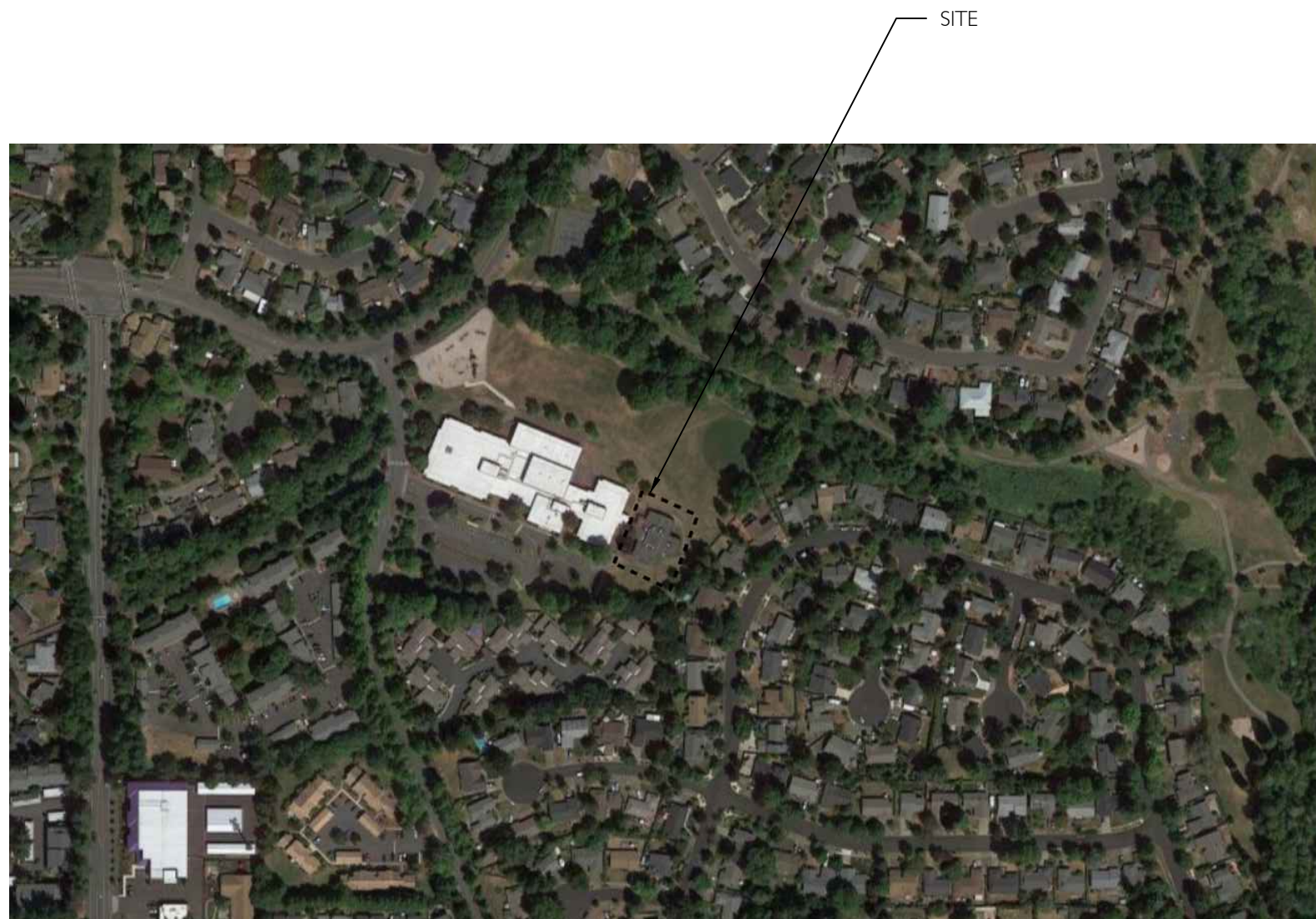
15895 SW 72ND AVE, SUITE 200
PORTLAND, OREGON 97224
(T): (503) 226-1285
(F): (503) 226-1670
CONTACT: DUSTIN JOHNSON

ARCHITECT/ STRUCTURAL ENGINEER

RWDI USA LLC

421 SW 6TH AVE, SUITE 450
PORTLAND, OR 97205
(T): (503) 243-2556
CONTACT: JASHA KISTLER

ROOFING CONSULTANT



LEGAL DESCRIPTION

TAX LOT: 00100
TAX MAP: 15127CB

BUILDING CODE INFORMATION

DESIGN CODE:	2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
OCCUPANCY:	E (EDUCATION)
CONSTRUCTION TYPE:	TYPE V-A NON SPRINKLERED (MAIN BUILDING) -- FULLY SPRINKLERED (MAIN ADDITION)
BUILDING AREA:	
MAIN BUILDING:	52,000 SF
MAIN ADDITION:	6,100 SF
<u>TOTAL BUILDING AREA:</u>	<u>58,100 SF</u>

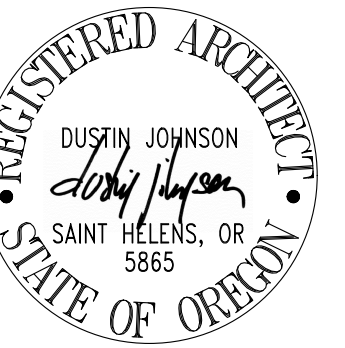
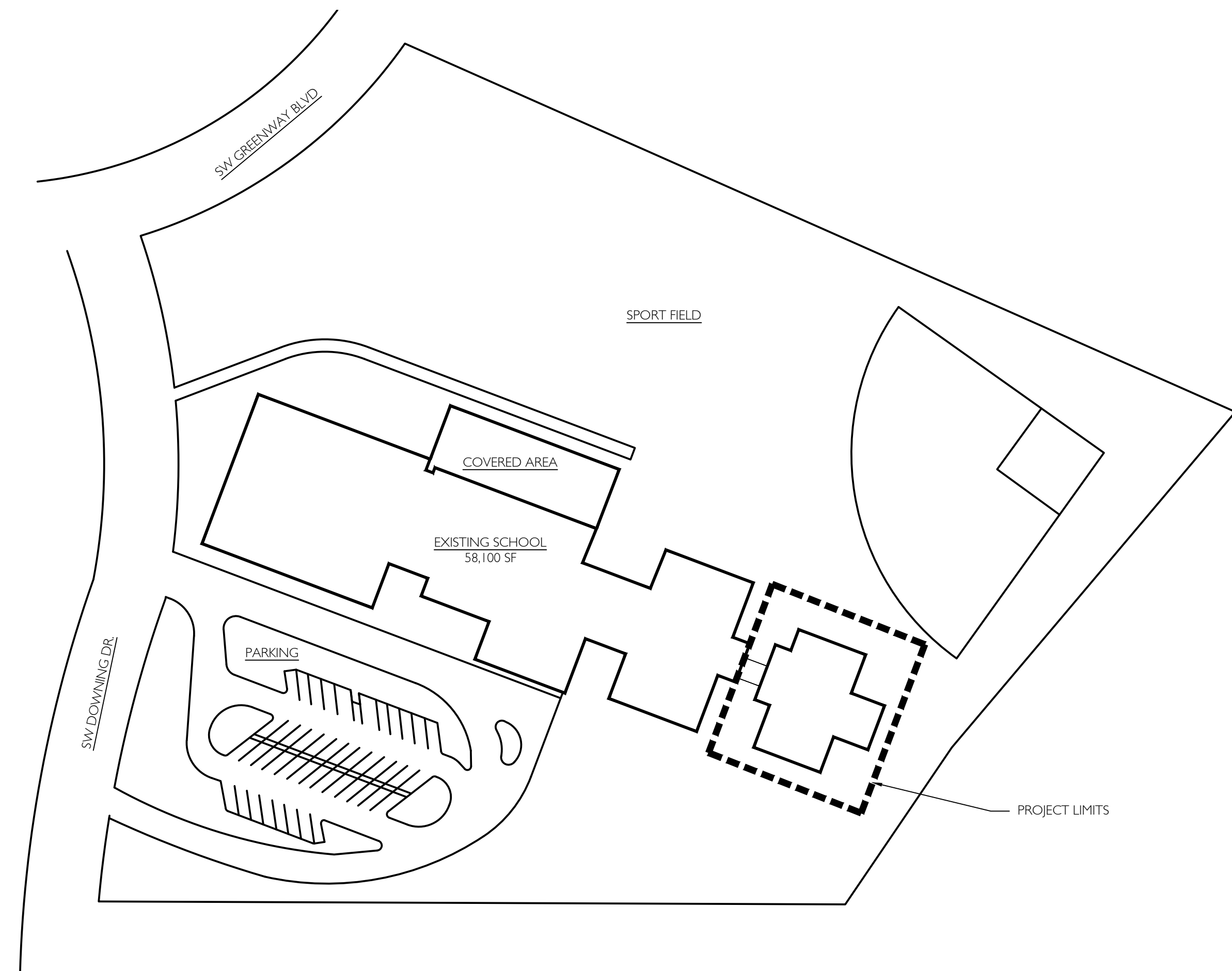
PROJECT DESCRIPTION

THIS PROJECT IS A 6,100 SF ROOFING SYSTEM OVERLAY OVER AN EXISTING BUILT UP ROOFING SYSTEM. NO NEW INSULATION OR ROOF SHEATHING IS PROPOSED OTHER THAN TO REPLACE SATURATED MATERIALS IF ENCOUNTERED DURING CONSTRUCTION. NEW OVERLAY SYSTEM IS A 25-YEAR SINGLE-PLY TPO MEMBRANE OVER NEW COVERBOARD INCLUDING NEW TAPERED CRICKETS, FLASHING, PITCH POCKETS AND EXPANSION JOINTS. SEE PLANS AND SPECIFICATIONS FOR ADDITIONAL INFO. EXISTING CURB-MOUNTED MECHANICAL EQUIPMENT WILL BE TEMPORARILY RELOCATED AS NEEDED TO ACCOMMODATE ROOFING SCOPE.

NO NEW ROOF INSULATION PROPOSED UNDER THIS PERMIT.

DEFERRED SUBMITTALS

MECHANICAL

[illegible]

1	CD SET 10.15.21
2	BID SET 11.05.21



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BSD GREENWAY ELEMENTARY RE-ROOF 2022

9130 SW DOWNING DR
BEAVERTON, OR 97008

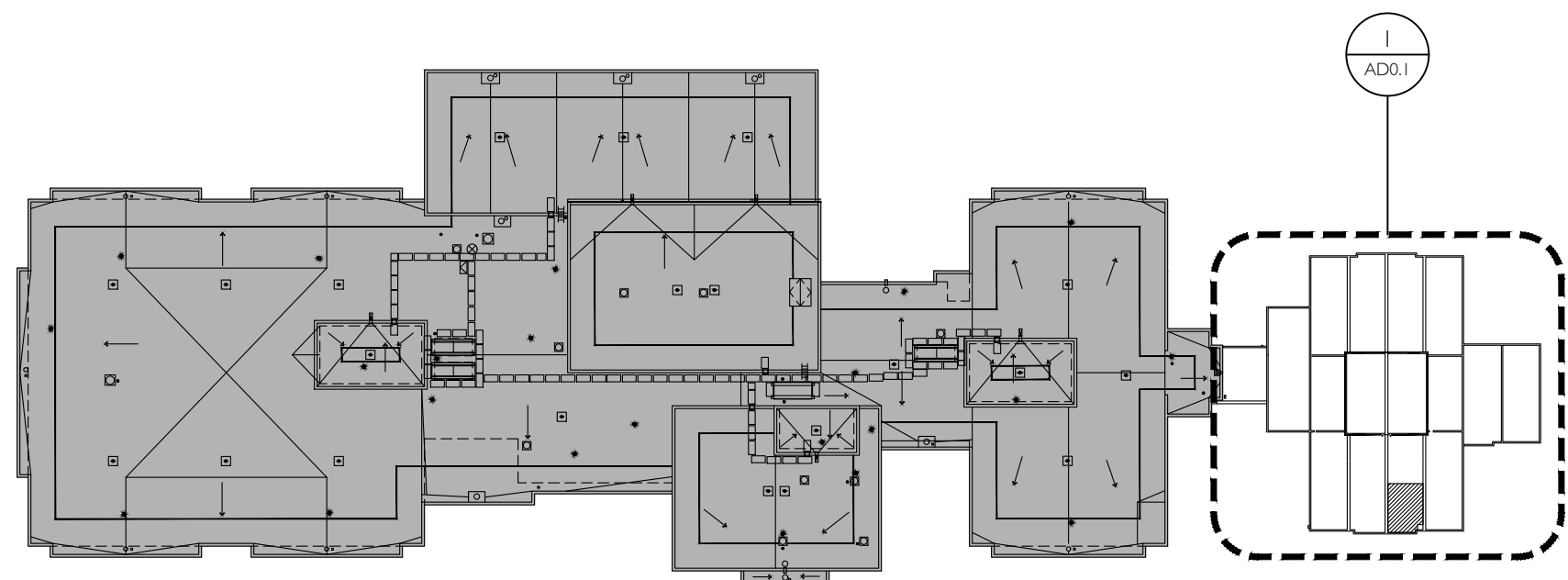
PARTIAL ROOF RE-COVER FOR:

OVER SHEET

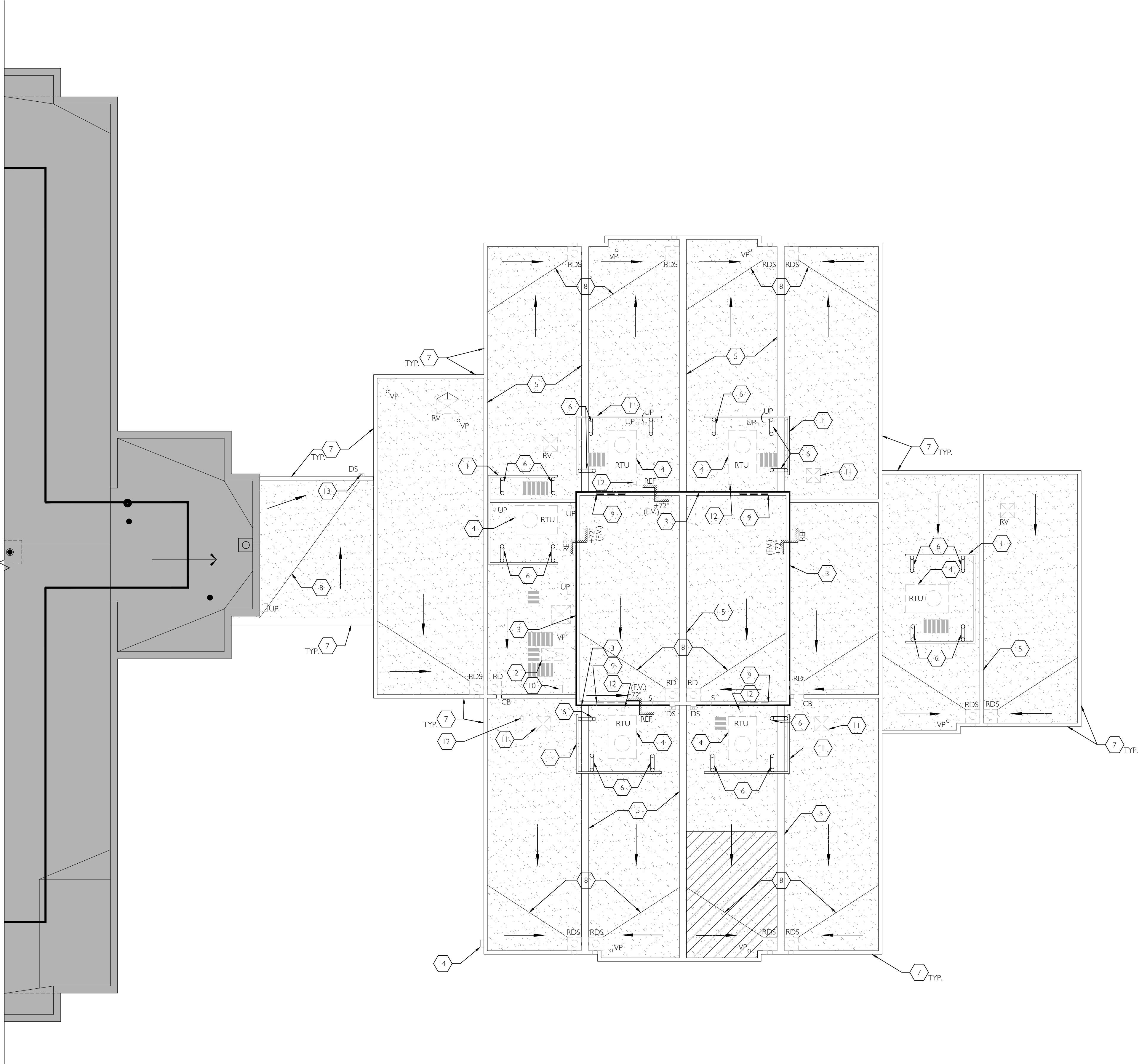
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Excluded: 1/10/2021 / BSD Greenway & 1st Green Rd / BSD Greenway / Current / CAD 11 / Aug. Nov 10, 2021 - 10pm



1 DEMO ROOF PLAN
1/8" = 1'-0"

DEMO ROOF PLAN GENERAL NOTES

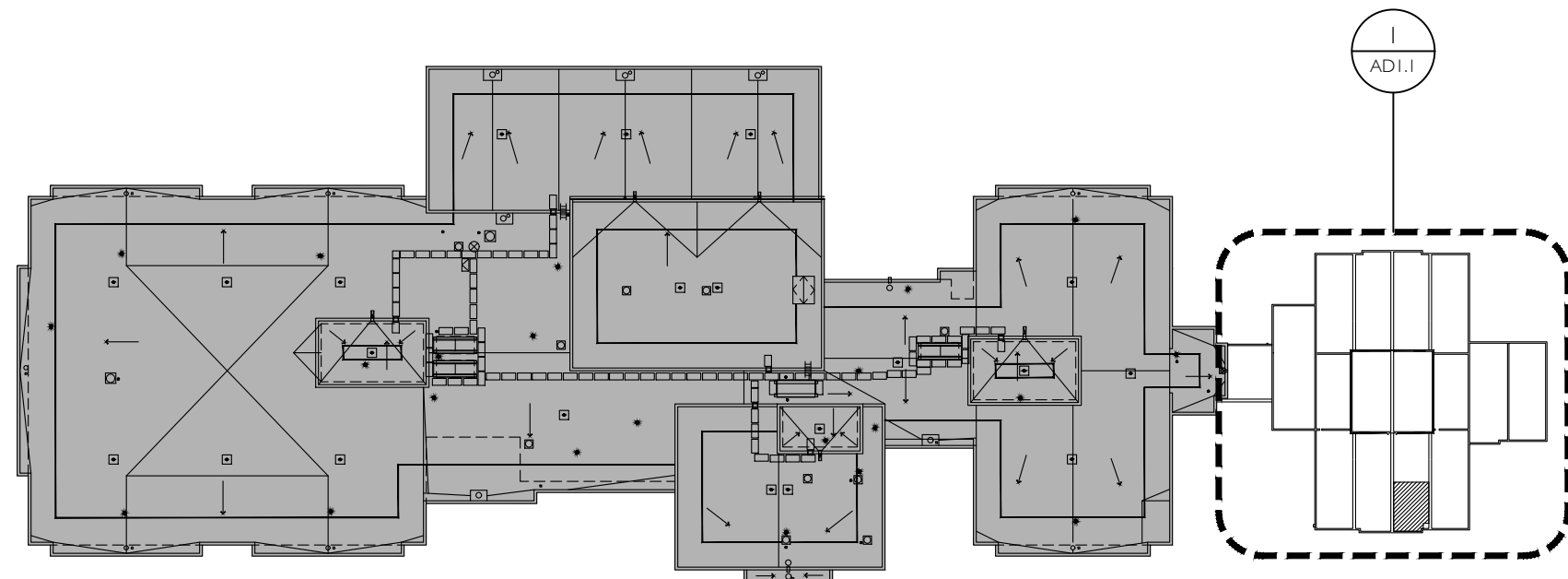
- CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY A/E OF ANY DISCREPANCIES.
- APPLICABLE CODES. ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. ALL CODE REFERENCES IN THE DRAWINGS AND SPECIFICATIONS SHALL MEAN, AND ARE INTENDED TO BE THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCED STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
- EXISTING EQUIPMENT CURBS, CRICKETS AND ROOF PENETRATIONS AT SMALL EQUIPMENT ARE NOT SHOWN FOR DRAWING CLARITY. REFER TO LEGEND AND KEYNOTES FOR INDICATION OF CURBED VERSUS NON-CURBED CONDITION.
- SEE ROOFING SPECIFICATION IN PROJECT MANUAL FOR ALL EXISTING ROOFING COMPONENTS AND ACCESSORIES TO BE REMOVED AND FOR OTHER PROCEDURES REQUIRED IN PREPARATION OF INSTALLING NEW ROOFING SYSTEM.
- UNLESS OTHERWISE NOTED, ROOF CURBS AT EQUIPMENT INDICATED TO BE TEMPORARILY REMOVED SHALL REMAIN IN PLACE.
- ALL SHEET METAL GUTTERS AND DOWNSPOUTS SHALL BE TEMPORARILY REMOVED AND STORED FOR REINSTALLATION UNLESS DAMAGED OR OTHERWISE DEEMED UNFIT FOR CONTINUED USE.
- CONTRACTOR TO FIELD VERIFY EXISTING VAPOR BARRIER IS PRESENT ALONG ROOF PERIMETER AND PROPERLY TIED INTO BASE OF EXISTING INTERNAL AND PERIMETER PARAPETS -- NOTIFY A/E OF DISCREPANCY.
- SEE ASBESTOS REPORT BY TRC DATED 11/05/21 IN SPECS FOR ASBESTOS SUMMARY.
- SEE ROOF MOISTURE STUDY BY RWDI IN SPECS FOR EXISTING ROOF CONDITIONS AND RECOMMENDATIONS.

DEMO ROOF PLAN LEGEND

	-(E) CURB MOUNTED ROOF VENT TO BE TEMPORARILY RELOCATED		-(E) WALL BELOW
	-(E) VENT PIPE PENETRATION TO REMAIN -- REMOVE (E) FLASHINGS		-(E) AREA OUTSIDE SCOPE OF WORK
	-(E) UTILITY PENETRATION TO REMAIN -- REMOVE (E) FLASHINGS AND/OR PITCH POCKETS		-(E) PEA GRAVEL BUILT-UP - ROOFING SYSTEM TO REMAIN -- REMOVE GRAVEL BALLAST AND DECOMMISSION MEMBRANE PER SPEC
	-(E) SCUPPER TO BE REMOVED-- DOWNSPOUT AND CONDUCTOR HEAD TO BE TEMPORARILY REMOVED AND STORED FOR REINSTALLATION		-(AREA OF (E) BUILT-UP ROOFING SYSTEM TO BE REMOVED TO SHEATHING - PREP SHEATHING PER SPEC FOR INSTALLATION OF NEW ROOFING SYSTEM, REPLACE COMPROMISED SHEATHING AS NEEDED
	-(E) ROOF DRAIN -- REMOVE STRAINER -- DRAIN BOWL ASSEMBLY TO REMAIN UNLESS DAMAGED		-(E) DIRECTION OF DRAINAGE
	-(E) SCUPPER-- REMOVE SCUPPER ASSEMBLY	ABBREVIATIONS	
	-(E) ROOF DRAIN WITH SCUPPER OVERFLOW -- REMOVE SCUPPER AND ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO SCHEDULE OF UNIT PRICES IN SECTION 012200 OF SPEC.	(E) -EXISTING	UP -UTILITY PENETRATION
	-(E) ROOF TOP UNIT TO BE TEMPORARILY RELOCATED	(N) -NEW	RDO -ROOF DRAIN OVERFLOW
	-(E) CURB BREAK OVERFLOW TO REMAIN -- REMOVE (E) FLASHINGS	TYP. -TYPICAL	RDS -ROOF DRAIN SCUPPER
	-(E) WALK PAD TO BE REMOVED	RTU -ROOFTOP UNIT	CB -CURB BREAK
		VP -VENT PIPE	F.V. -FIELD VERIFY
		DS -DOWNSPOUT	REF. -REFERENCE PLANE VERTICAL EDGE ELEVATION RELATIVE TO REFERENCE PLANE
		RV -ROOF VENT	VERTICAL ELEVATION CHANGE

DEMO ROOF PLAN KEYNOTES

- (E) METAL SCREEN -- TO REMAIN
- (E) ROOF HATCH -- TEMPORARILY REMOVE AND STORE FOR REINSTALLATION
- (E) SIDE WALL WITH METAL SIDING TO REMAIN
- (E) CURB-MOUNTED MECHANICAL EQUIPMENT -- TEMPORARILY REMOVE AND STORE FOR REINSTALLATION
- (E) ROOF CURB TO REMAIN -- REMOVE (E) SHEET METAL CAP
- (E) STEEL PIPE SCREEN SUPPORTS -- TO REMAIN -- REMOVE (E) FLASHINGS
- (E) PARAPET -- REMOVE SHEET METAL COPING AND COUNTER FLASHING
- (E) CRICKET TO REMAIN
- (E) CLERESTORY WINDOW BELOW TO REMAIN
- (E) PHOTO CELL AND UTILITY PENETRATION -- TO BE REMOVED BY BSD MAINTENANCE TEAM
- (E) ABANDONED EQUIPMENT CURB WITH SHEET METAL COVER TO BE REMOVED. PATCH ROOF PENETRATION WITH 2X6 FRAMING AND SHEATH WITH 1/2" EXT. PLYWOOD DECK
- (E) ABANDONED UTILITY PENETRATION TO BE REMOVED -- STUB AND CAP CONDUIT BENEATH NEW ROOFING SYSTEM
- (E) THROUGH WALL SCUPPER TO BE MODIFIED -- WIDEN THROUGH-WALL PENETRATION TO ACCOMMODATE 8"W SCUPPER ASSEMBLY -- DEMO (E) CONDUCTOR HEAD
- WALL-MOUNTED FLOOD LIGHT TO REMAIN



2 KEY PLAN
1/64" = 1'-0"



1 CD SET 10.15.21
2 BID SET 11.05.21



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PARTIAL ROOF RECOVER FOR:
BSD GREENWAY ELEMENTARY RE-ROOF 2022
9150 SW DOWNING DR
BEAVERTON, OR 97008

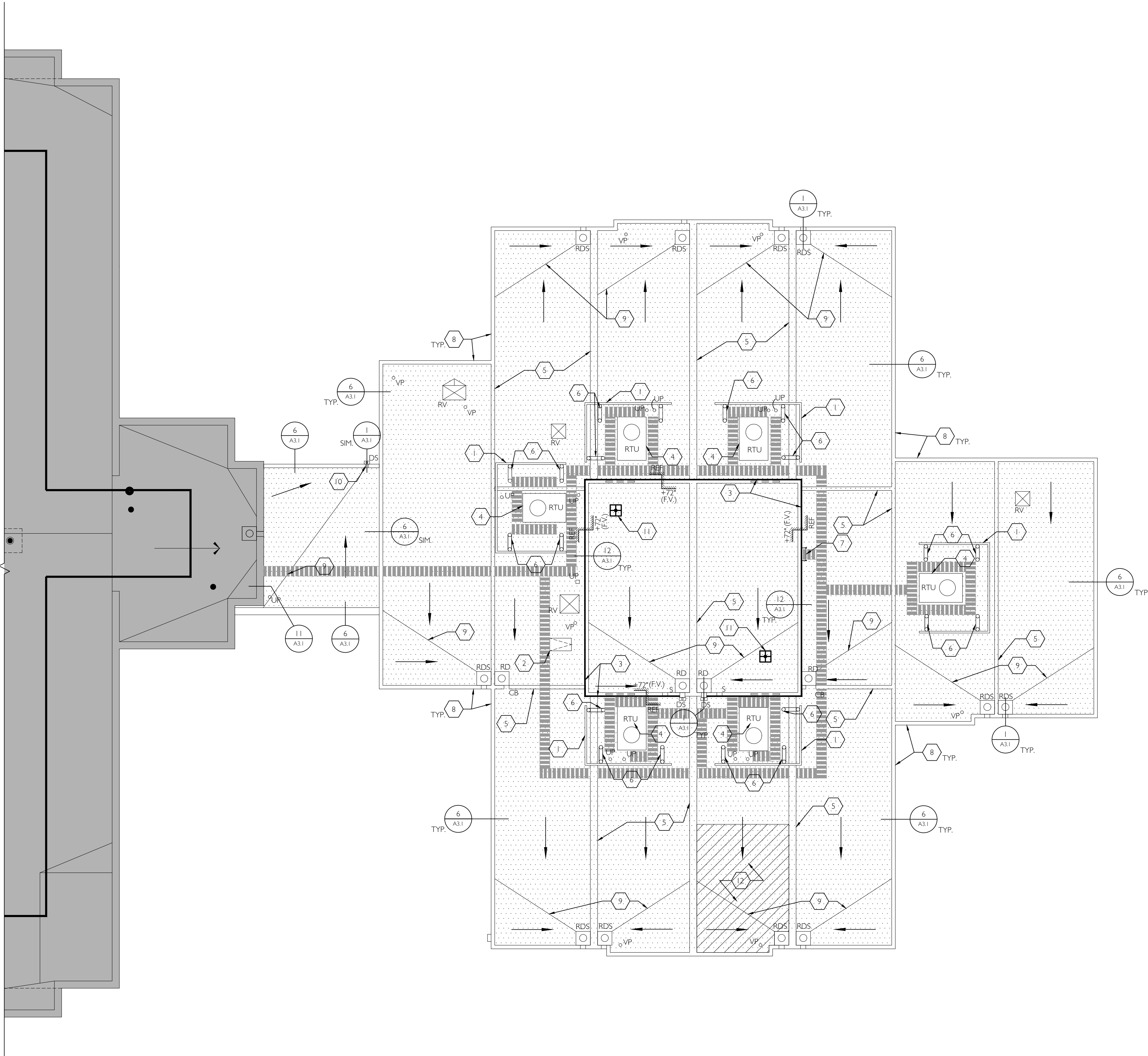
DEMO ROOF PLAN

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Excluded: 1/10/2021 BSD Greenway & 1st Greenway/Elementary/Current/CADA 1 - Aug. Nov.05, 2021 - 2:30pm



1 ROOF PLAN
1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

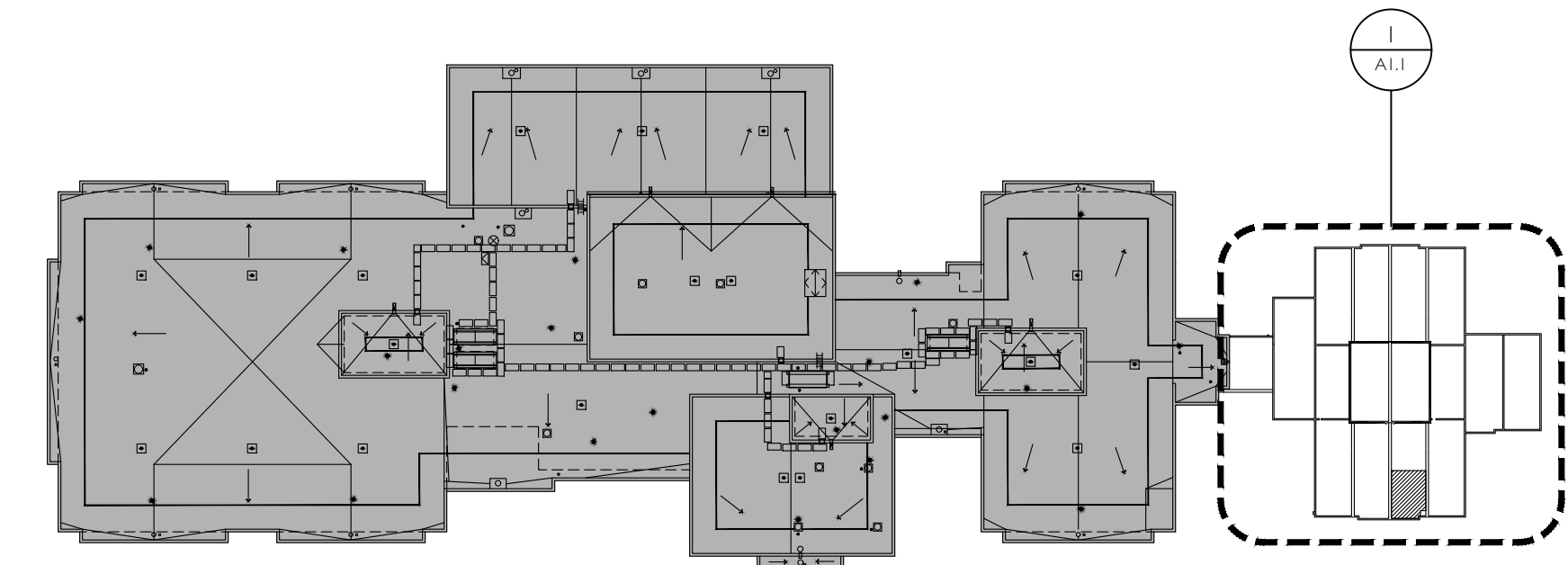
- CONTRACTOR TO VERIFY (E) CONDITIONS SHOWN OR IMPLIED AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING LOCATION OF FINAL ROOF PENETRATIONS TO AVOID CONFLICT WITH EXISTING STRUCTURE AND BUILDING SYSTEMS.
- WHERE PATCH AND REPAIR WORK IS INDICATED, CONTRACTOR SHALL PATCH AFFECTED AREAS TO MATCH ADJACENT FINISHES AND CONDITIONS FOR 'LIKE NEW' APPEARANCE UNLESS OTHERWISE NOTED. SEE SPECIFICATION SECTION 017329 'CUTTING AND PATCHING' FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO MAINTAIN SURFACE DRAINAGE PATTERNS OF EXISTING ROOF WITH SLOPE OF NOT LESS THAN 2 PERCENT SLOPE.
- CONTRACTOR TO PROVIDE CRICKETING AT MECH EQUIPMENT CURBS, PARAPETS, ROOF DRAINS AND OTHER LOCATIONS AS REQUIRED TO MAINTAIN POSITIVE SLOPE TO POINT OF ROOF DRAINAGE.
- CONTRACTOR TO CONNECT ALL NEW AND RE-INSTALLED EQUIPMENT TO SUPPORTING UTILITIES (NATURAL GAS, ELECTRICAL, LOW VOLTAGE, ETC.).
- FOR INSIDE AND OUTSIDE CORNER REINFORCEMENT SEE DETAILS - 98/10/A3.1
- CONTRACTOR TO SUBMIT WEATHER PROTECTION PLAN FOR A/E & DISTRICT APPROVAL. PER SPEC DIVISION 7.
- ALL SHEET METAL GUTTERS AND DOWNSPOUTS SHALL BE TEMPORARILY REMOVED AND STORED FOR RE-INSTALLATION UNLESS DEEMED UNFIT FOR CONTINUED USE OR AS OTHERWISE NOTED.

ROOF PLAN LEGEND

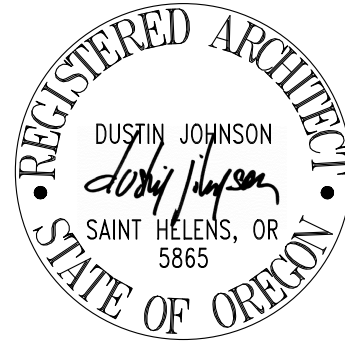
	- REINSTALL CURB MOUNTED ROOF VENT		- (E) WALL BELOW
	- (E) VENT PIPE PENETRATION -- SEE DETAIL 7/A3.1		- AREA OUTSIDE SCOPE OF WORK
	- (E) UTILITY PENETRATION -- SEE DETAIL 1/A3.2		- DIRECTION OF DRAINAGE
	- (N) SCUPPER ASSEMBLY -- SEE 1/A3.1		- AREA OF (N) TPO OVERLAY ROOFING SYSTEM
	- (N) SCUPPER-- REINSTALL DOWNSPOUT AND GUTTER SEE 1/A3.1		- AREA OF FULL TEAR-OFF AND (N) TPO ROOFING SYSTEM -- PROVIDE CONTINUOUS ABOVE DECK INSULATION TO MATCH R-VALUE AND THICKNESS OF EXISTING -- APPROX. 220 SQ FT -- SEE UNIT PRICING IN SPECS
	- (E) ROOF DRAIN -- NEW ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- SEE DETAIL 2/A3.1	ABBREVIATIONS	
	- ROOF DRAIN WITH SCUPPER OVERFLOW -- NEW SCUPPER AND ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- SEE 2&8/A3.1	(E)	- EXISTING
	- (N) WALK PAD -- SEE DETAIL 3/A3.1	(N)	- NEW
	- (E) CURB BREAK OVERFLOW	TYP.	- TYPICAL
		RTU	- ROOFTOP UNIT
		VP	- VENT PIPE
		DS	- DOWNSPOUT
		DP	- DUCT
		PENETRATION	- CURB BREAK
		RV	- ROOF VENT
		F.V.	- FIELD VERIFY
		REF.	- REFERENCE PLANE
		+32"	- ELEVATION RELATIVE TO REFERENCE PLANE
			VERTICAL ELEVATION CHANGE

ROOF PLAN KEYNOTES

- (E) MECHANICAL SCREEN
- REINSTALL (E) CURB MOUNTED ROOF HATCH -- SEE DETAIL 4/A3.1 FOR CURB FLASHING
- (E) SIDE WALL WITH METAL SIDING
- REINSTALL (E) CURB-MOUNTED MECHANICAL EQUIPMENT -- SEE DETAIL 4/A3.1 FOR CURB FLASHING
- ROOF CURB -- SEE DETAIL 2/A3.2
- STEEL PIPE SCREEN SUPPORTS -- SEE DETAIL 1/A3.2
- (N) STEEL LADDER -- SEE DETAIL 4/A2.1
- (E) PARAPET -- INSTALL NEW SUBSTRATE BOARD, COPING AND FLASHINGS PER 6/A3.1
- (E) CRICKET TO REMAIN
- INSTALL (N) SCUPPER ASSEMBLY AT ENLARGED THROUGH-WALL PENETRATION. INCLUDE NEW SHEET METAL CONDUCTOR HEAD
- FALL PROTECTION ANCHOR
- CONTRACTOR TO COORDINATE TEAR OFF WITH A/E ROOFING CONSULTANT -- ROOFING CONSULTANT TO BE ON-SITE TO CONFIRM LIMITS OF TEAR-OFF.



2 KEY PLAN
1/64" = 1'-0"



1 CD SET 10.15.21
2 BID SET 11.05.21



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PARTIAL ROOF RECOVER FOR:
BSD GREENWAY ELEMENTARY RE-ROOF 2022
9150 SW DOWNING DR
BEAVERTON, OR 97008

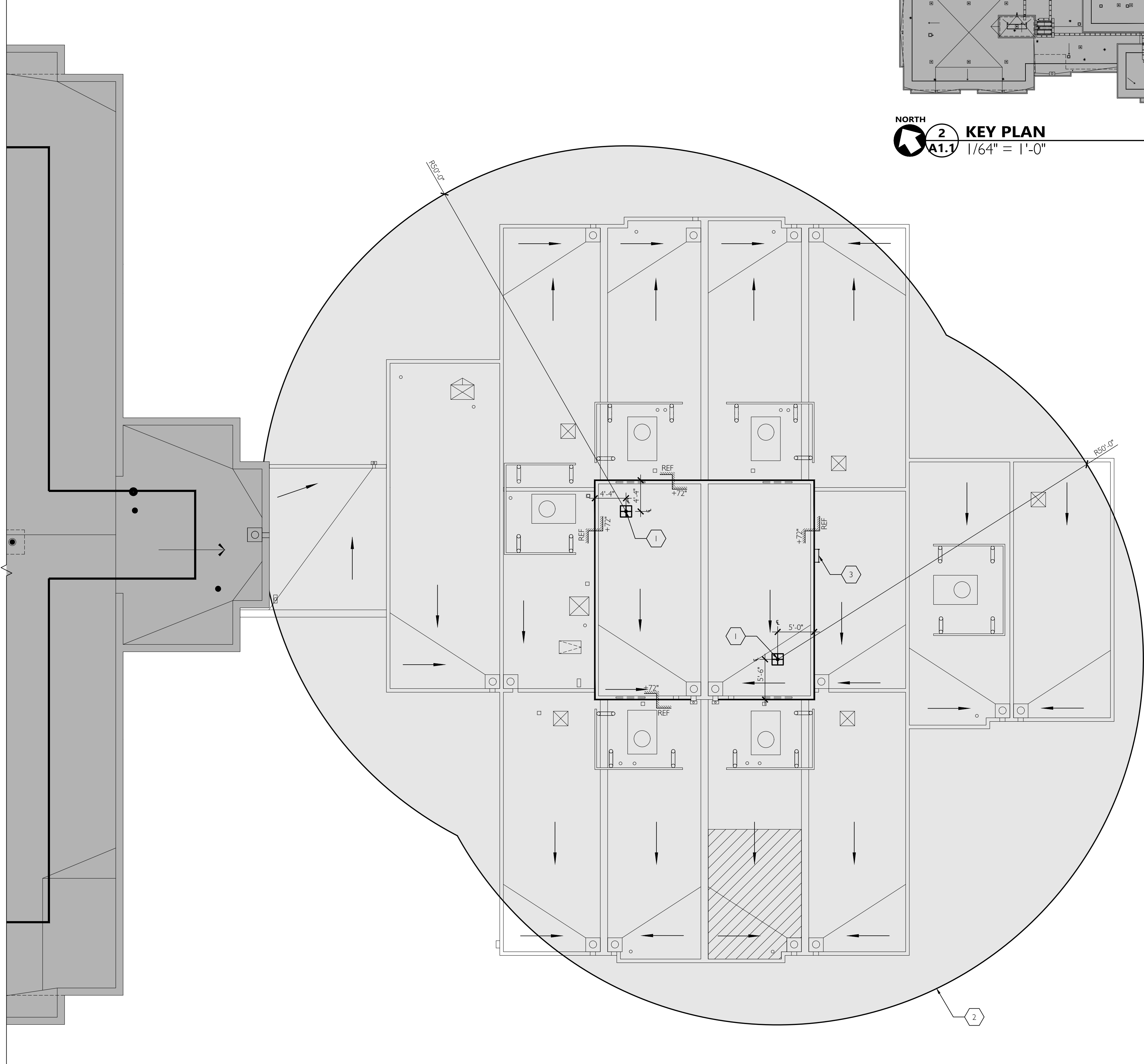
ROOF PLAN

A1.1

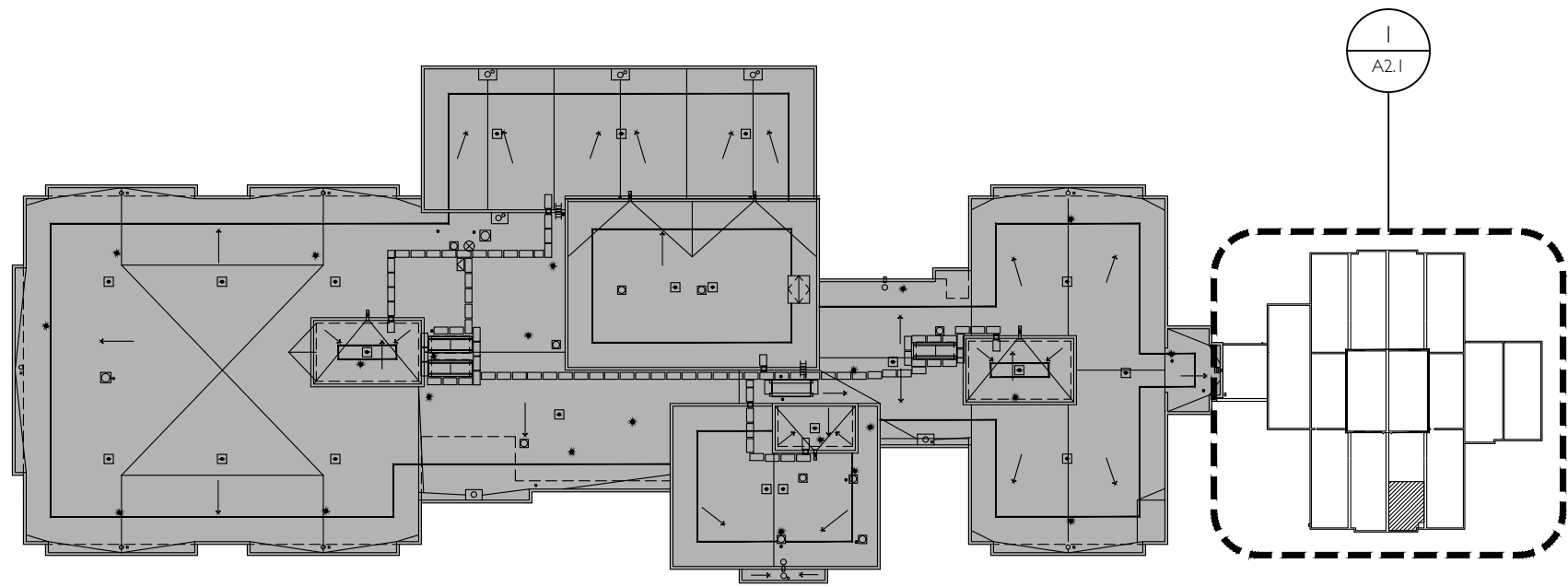
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Excluded: 1/13/2021 1:50:01 PM BSD Greenway & 15 Green Rd Beaverton, Oregon 97008
1/13/2021 1:50:01 PM BSD Greenway & 15 Green Rd Beaverton, Oregon 97008

1
A2.1 **ROOF PLAN- FALL PROTECTION**
1/8" = 1'-0"




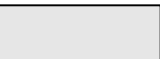

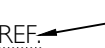
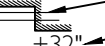

2
A1.1 **KEY PLAN**
1/64" = 1'-0"



FALL PROTECTION GENERAL NOTES

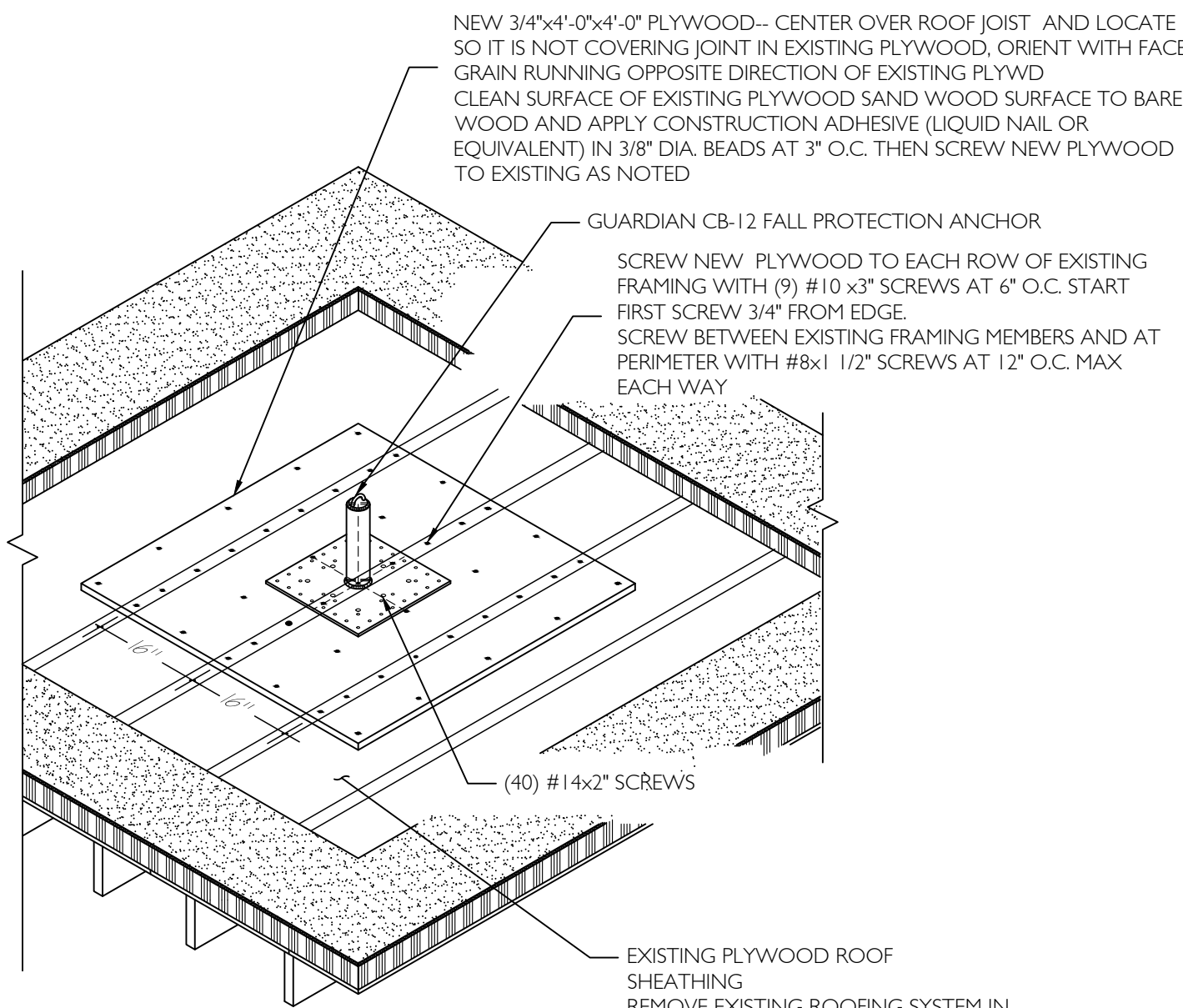
1. FALL PROTECTION INDICATED IS BASED ON 'FALL RESTRAINT SAFETY' METHOD.

FALL PROTECTION LEGEND

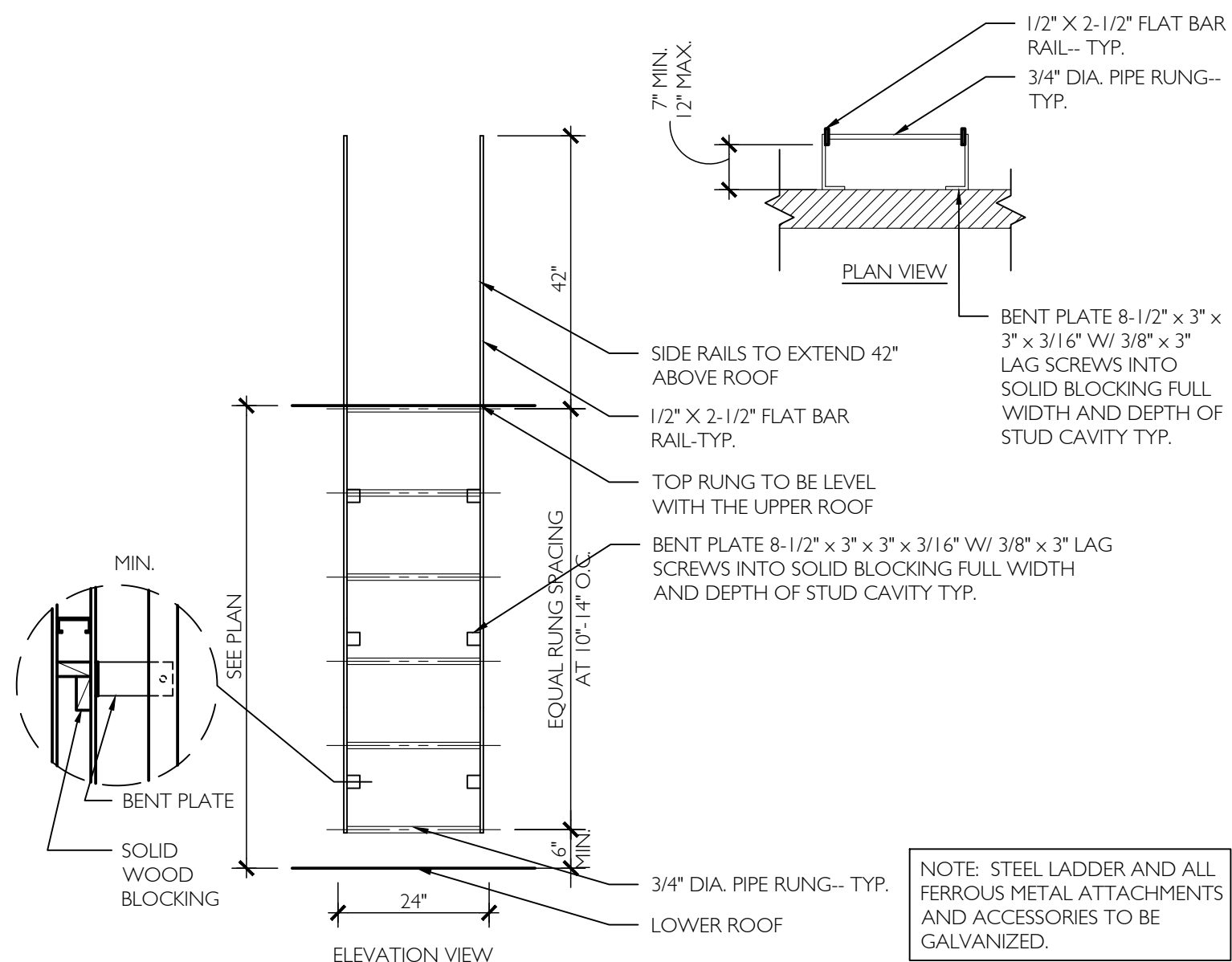
-  (N) GUARDIAN CB-12 FALL PROTECTION ANCHOR -- SEE 3/A2.1 FOR ANCHORAGE TO ROOF
-  AREA WITHIN ROOF COVERAGE (BASED ON 50' LANYARD)
-  AREA OUTSIDE SCOPE OF WORK
-  REFERENCE PLANE
VERTICAL EDGE
-  ELEVATION RELATIVE TO REFERENCE PLANE
-  VERTICAL ELEVATION CHANGE

FALL PROTECTION KEYNOTES

- 1** (N) GUARDIAN CB-12 FALL PROTECTION ANCHOR -- SEE 2/A2.1 FOR BLOCKING AND ANCHORAGE REQUIREMENTS -- INSTALL BLOCKING FROM INTERIOR SIDE AND PATCH/REPAIR CEILING TO MATCH EXISTING CONDITION AND FINISH, AND PER SPECIFICATION.
- 2** ROOF COVERAGE -- BASED ON 50' LANYARD.
- 3** NEW STEEL PIPE LADDER -- CONTRACTOR TO FIELD VERIFY HEIGHT, TYP. -- SEE DETAIL 4/A2.1



3
A2.1 **FALL PROTECTION ANCHOR AT PLYWOOD SHEATHING**
1/2" = 1'-0"



4
A2.1 **ROOF LADDER**
1/2" = 1'-0"



1 CD SET 10.15.21
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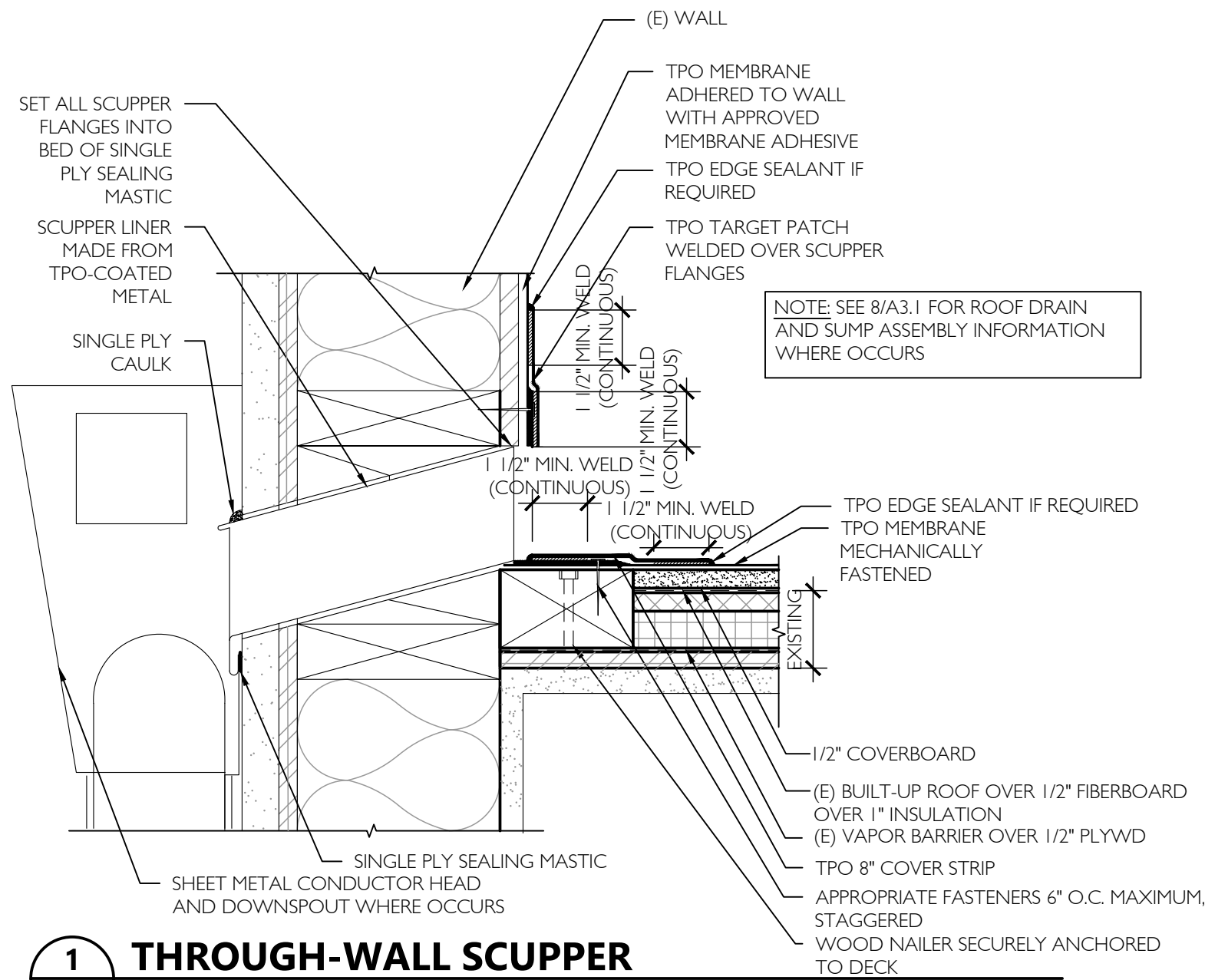
BSD GREENWAY ELEMENTARY RE-ROOF 2022
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BEAVERTON, OR 97008

ROOF PLAN- FALL PROTECTION

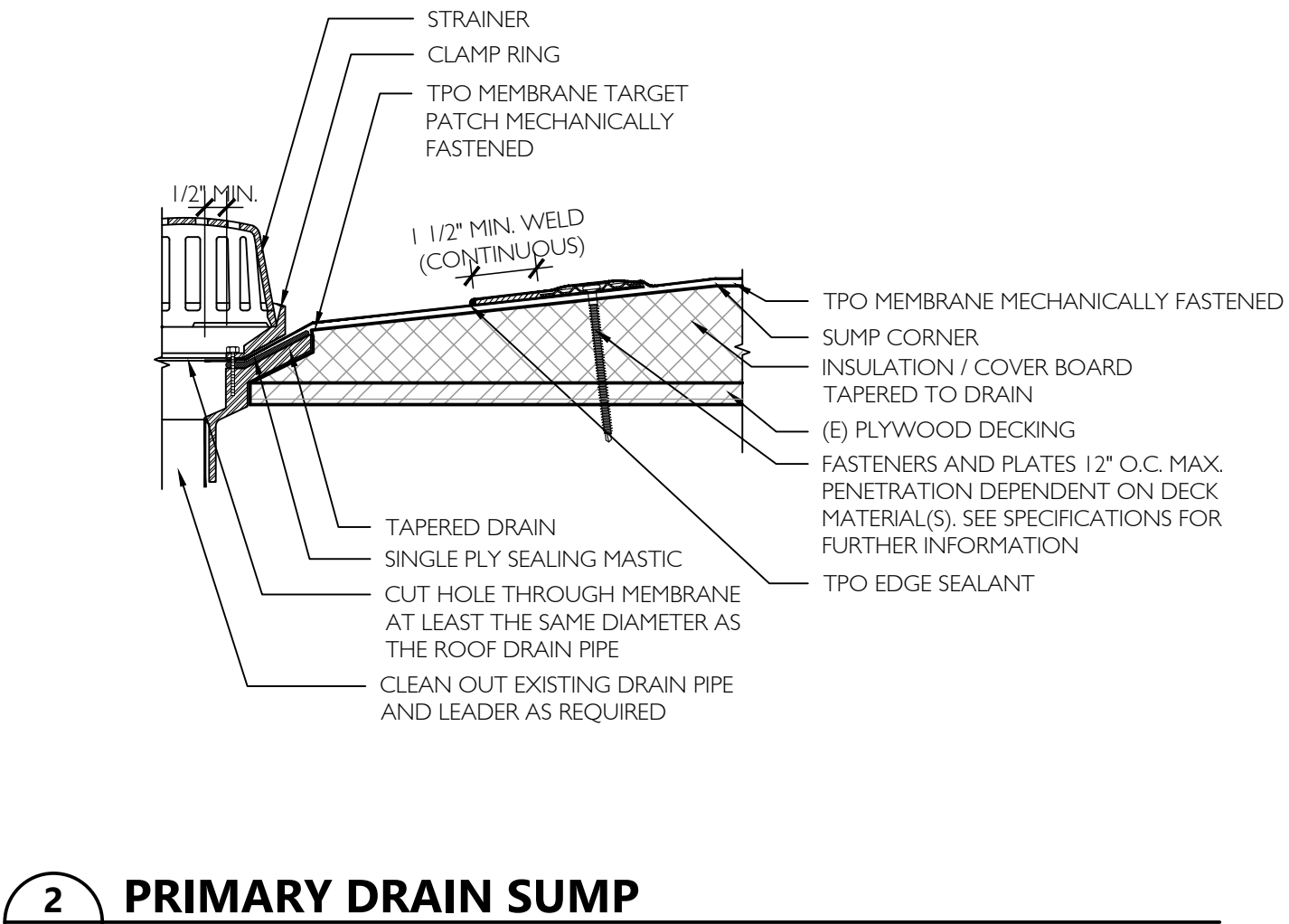
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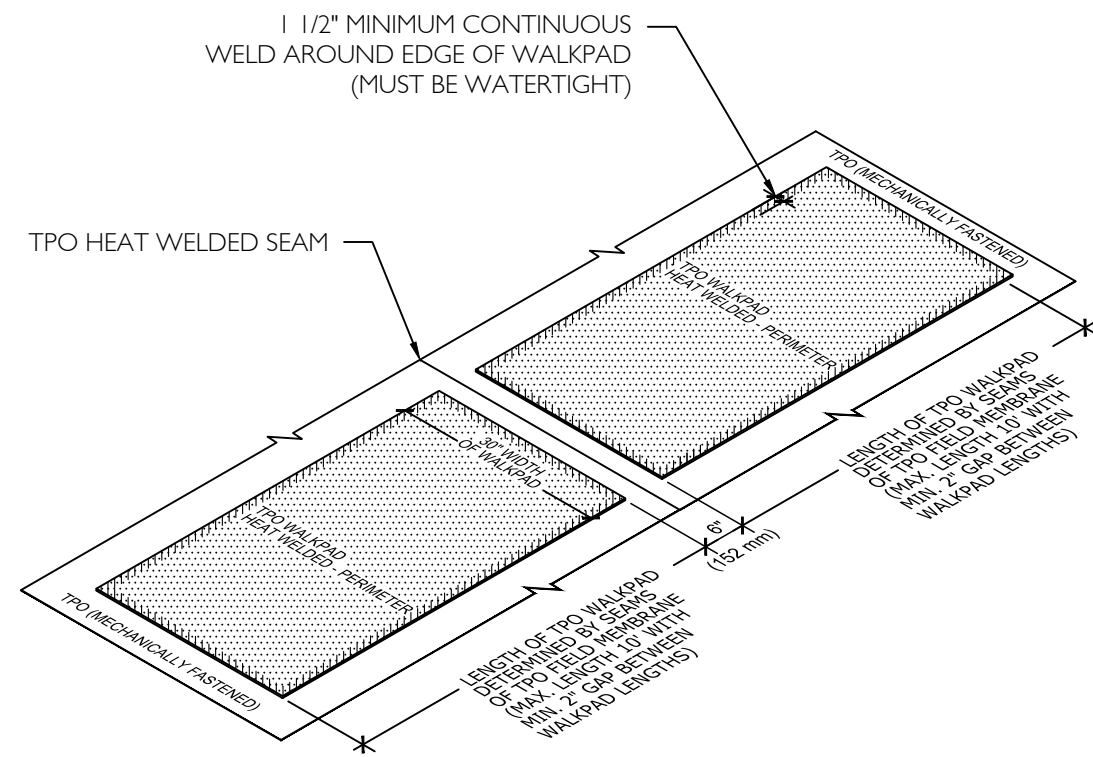
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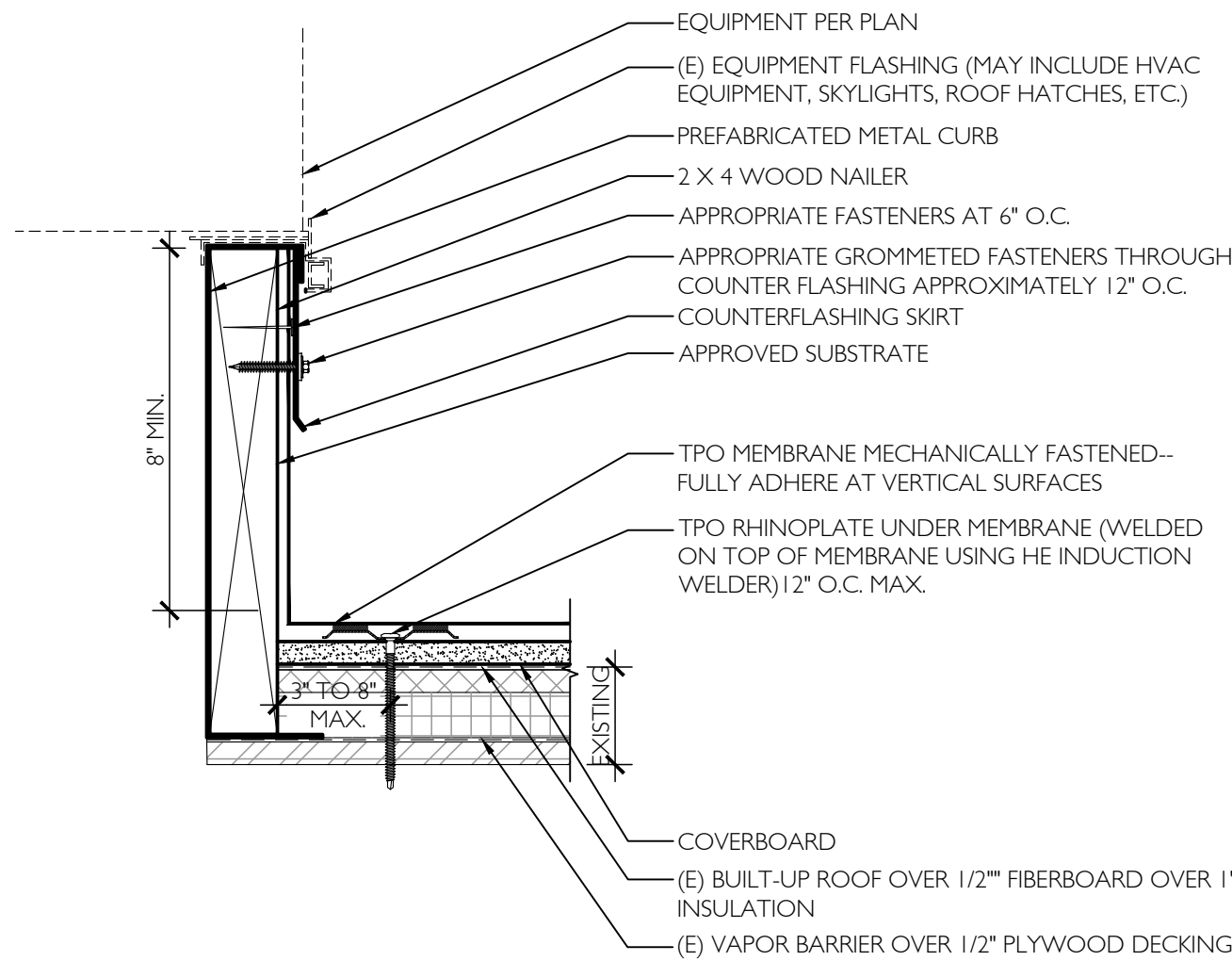
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A3.1 **THROUGH-WALL SCUPPER**
3" = 1'-0"



2
A3.1 **PRIMARY DRAIN SUMP**
3" = 1'-0"

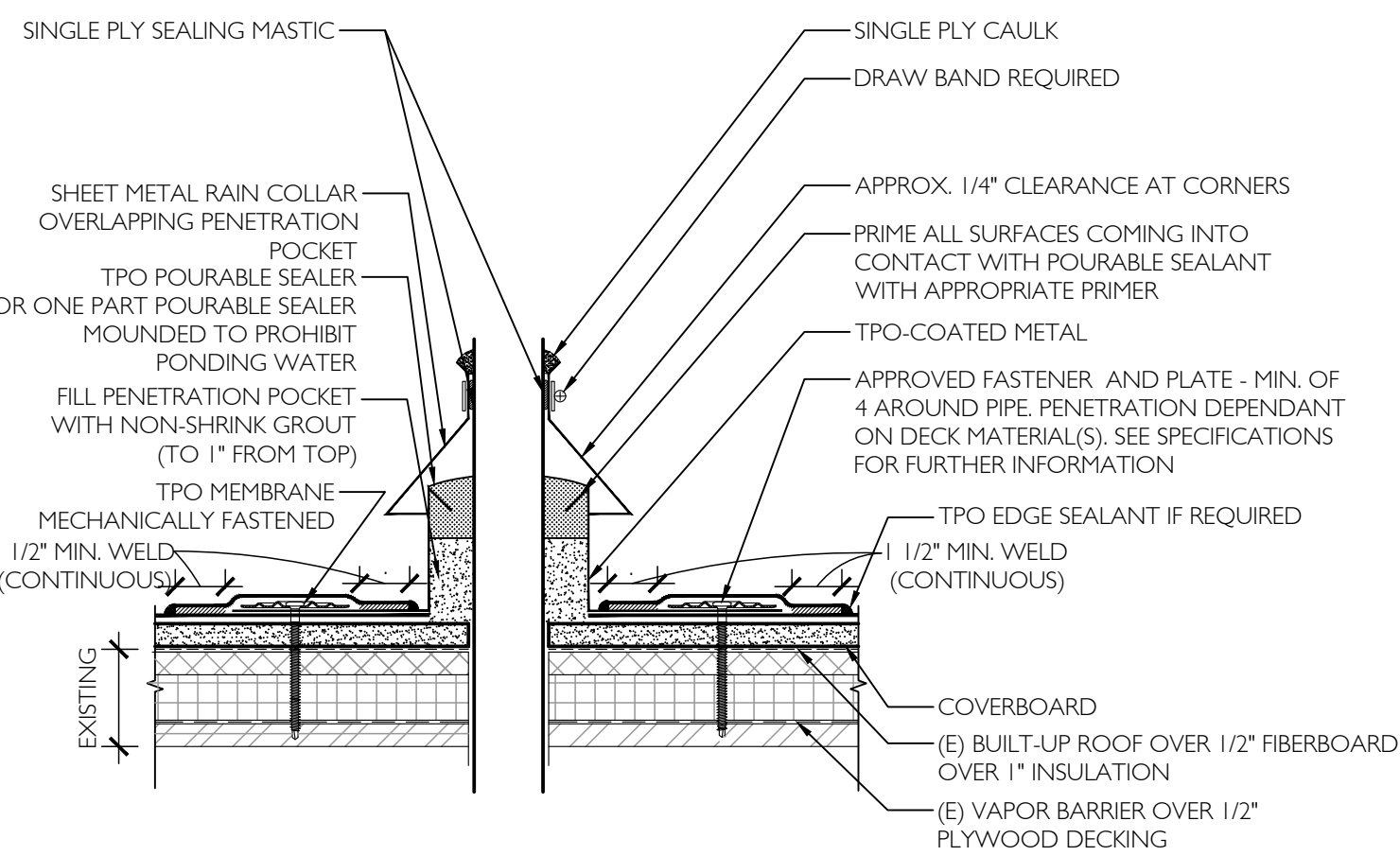


3
A3.1 **TPO WALKPADS**
N.T.S.

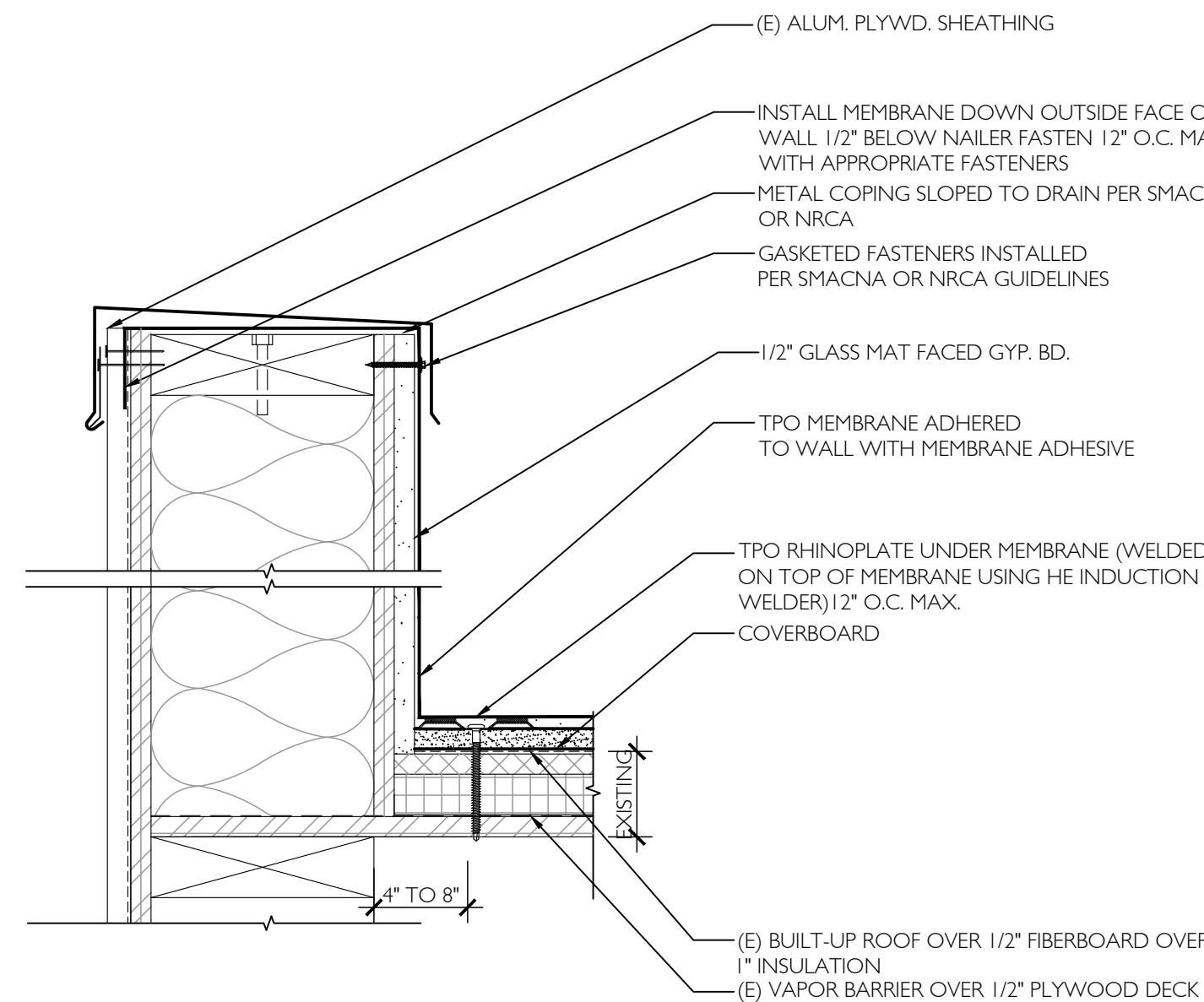


4
A3.1 **EQUIPMENT CURB**
3" = 1'-0"

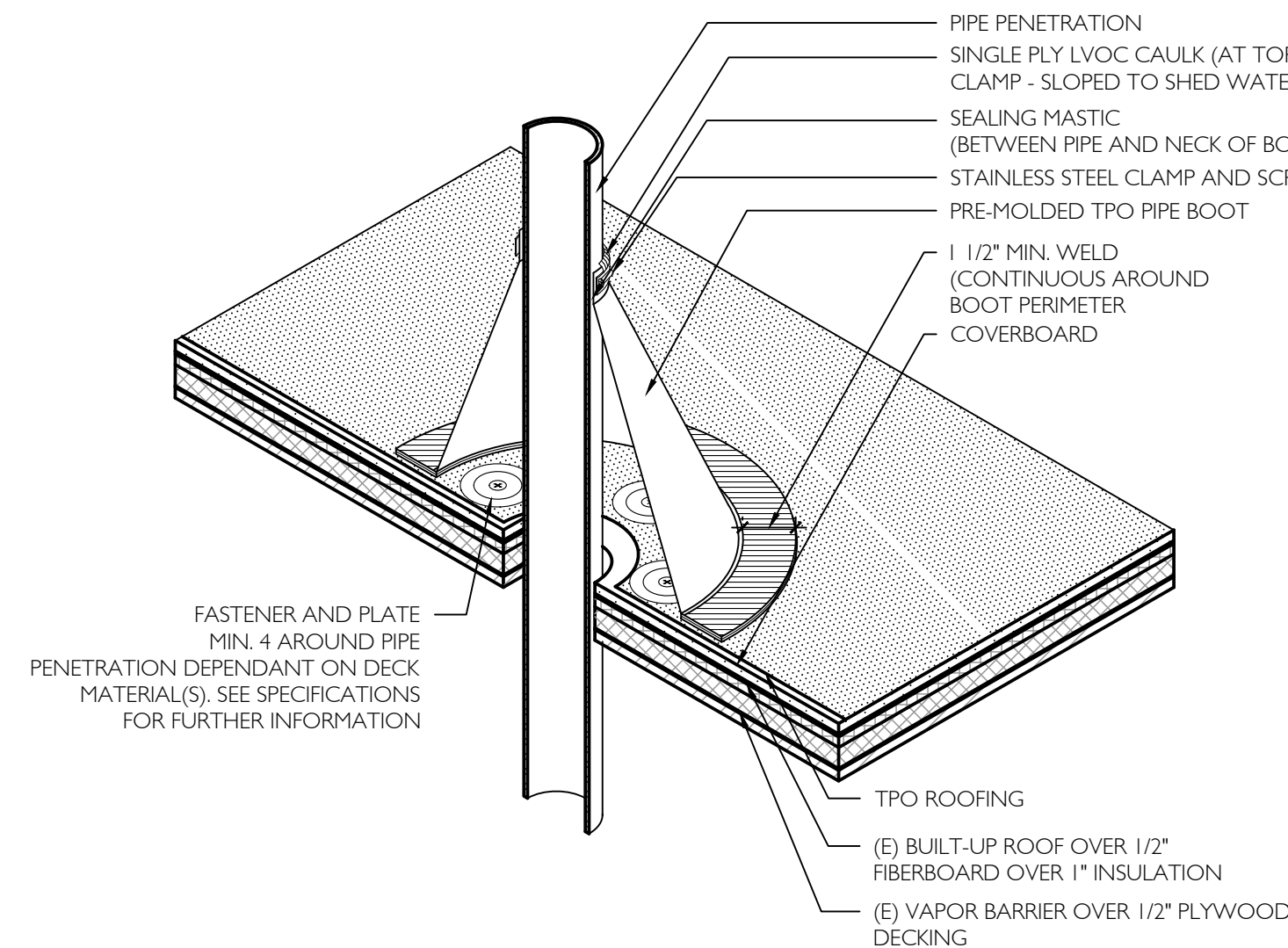
NOTE: AT CONTRACTOR'S OPTION WHERE CONDITION PERMITS & WHERE SPECIFIED WARRANTY CAN BE MAINTAINED, CONTRACTOR MAY SUBSTITUTE THIS DETAIL FOR 11/A3.1



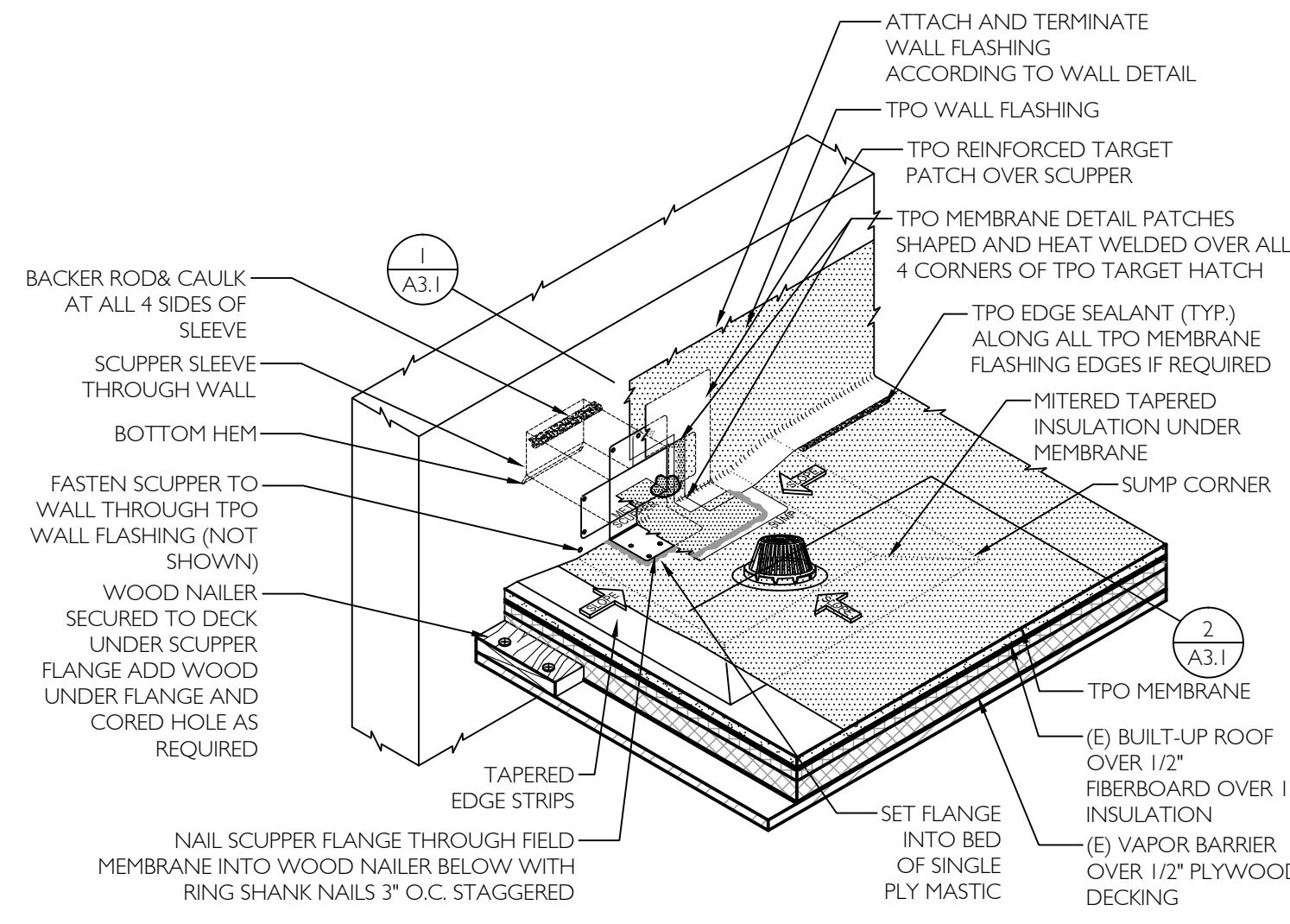
5
A3.1 **METAL PENETRATION POCKET**
3" = 1'-0"



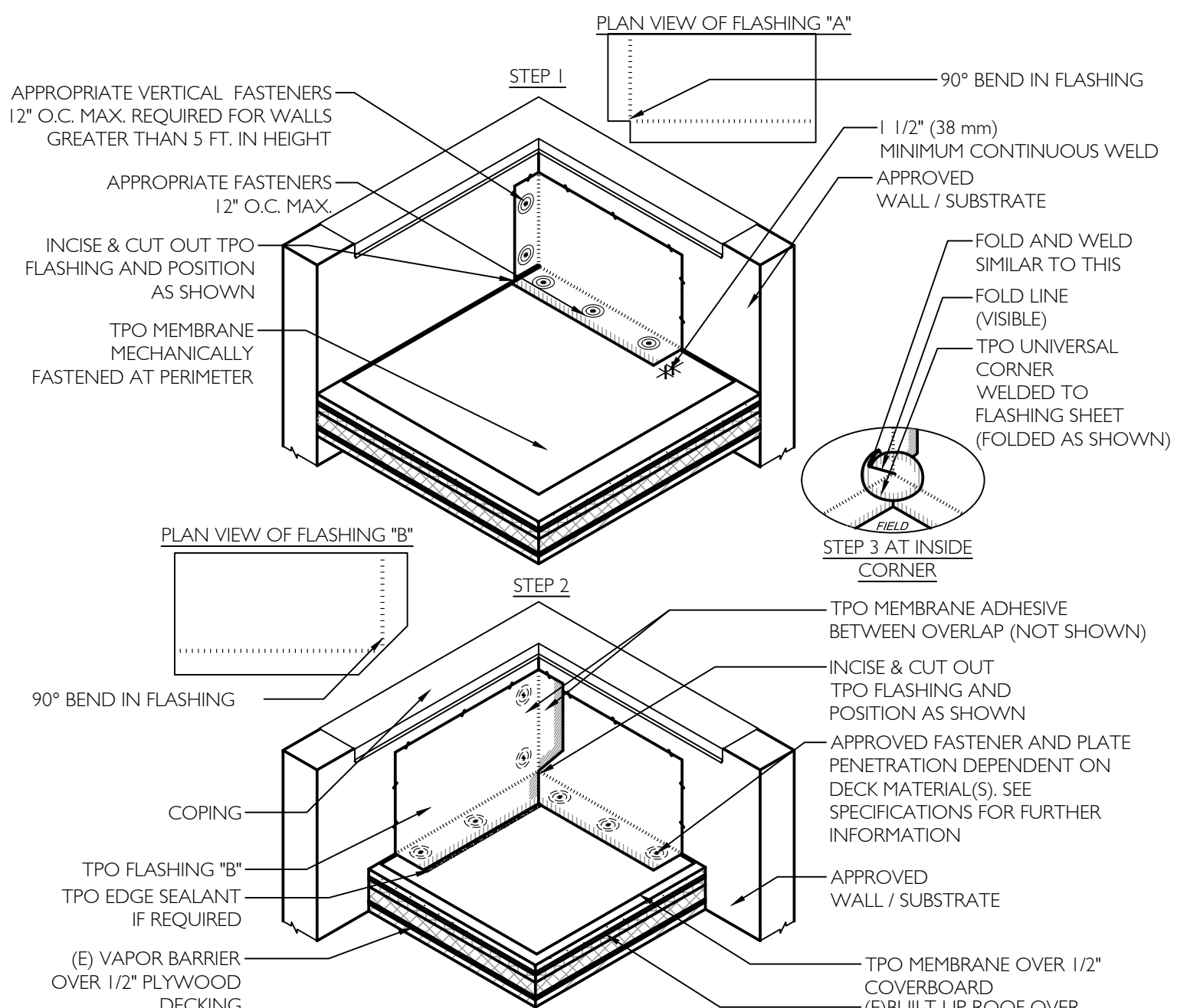
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A3.1 **PARAPET**
3" = 1'-0"



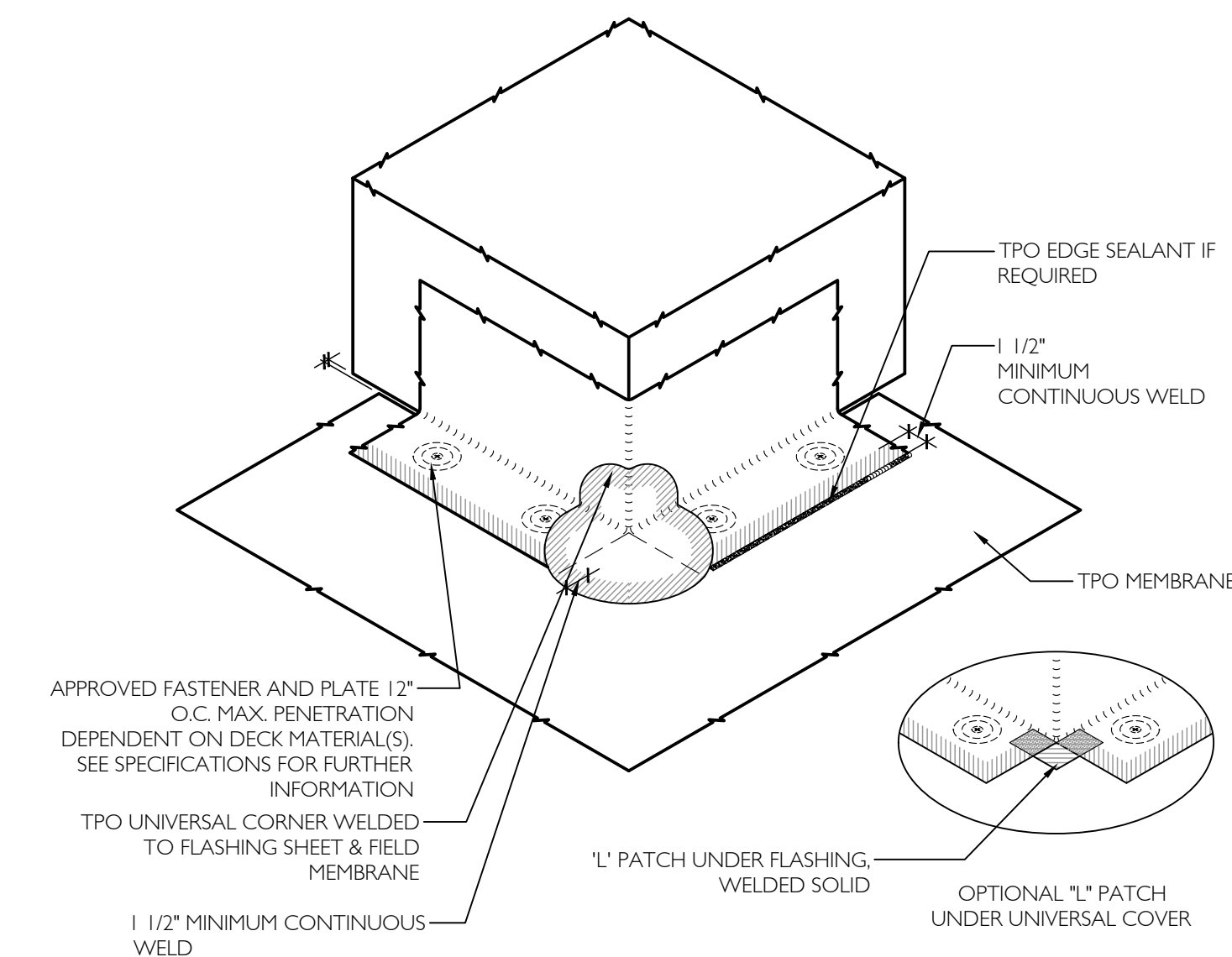
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A3.1 **VENT PIPE**
N.T.S.



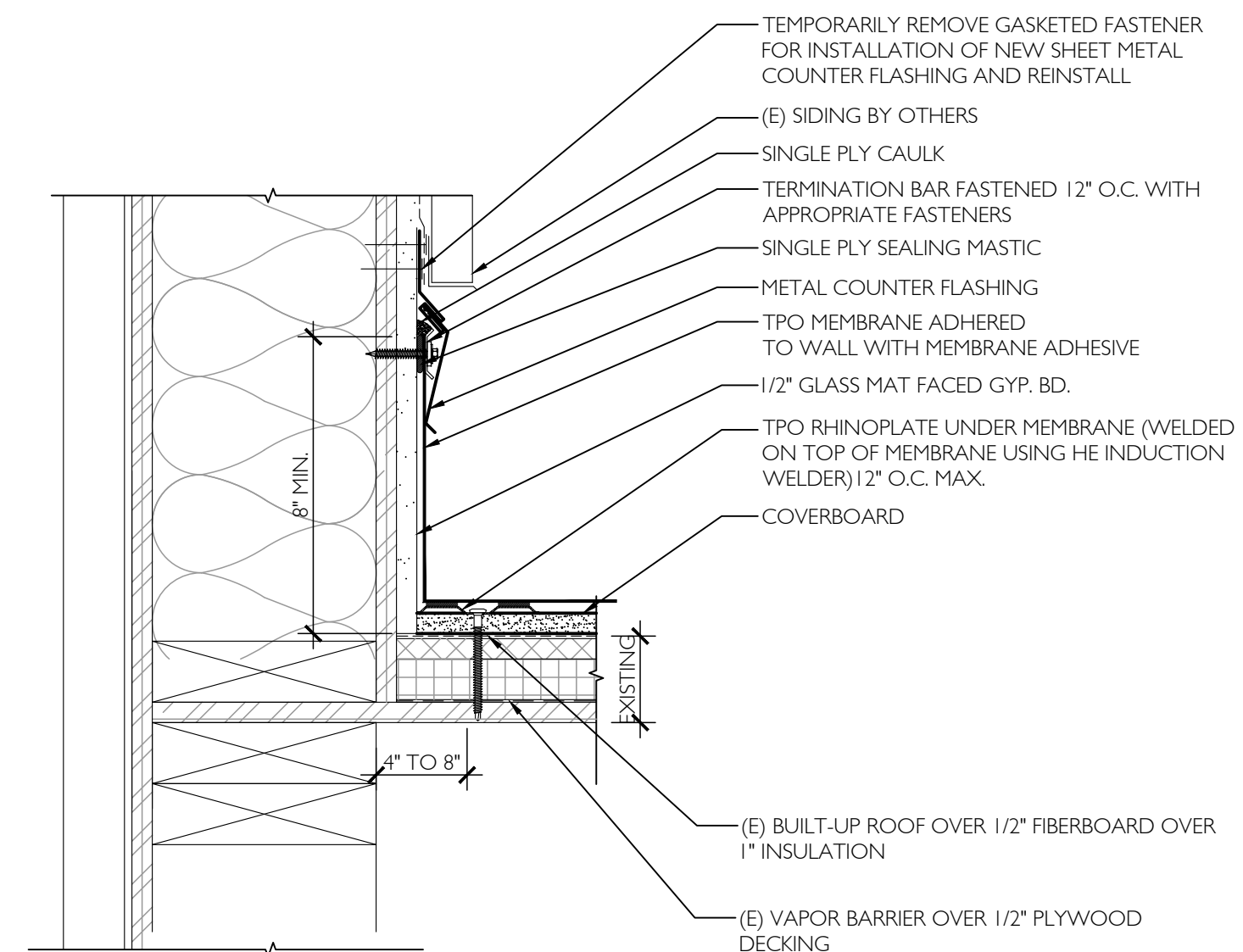
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A3.1 **DRAIN AND OVERFLOW SCUPPER**
6" = 1'-0"



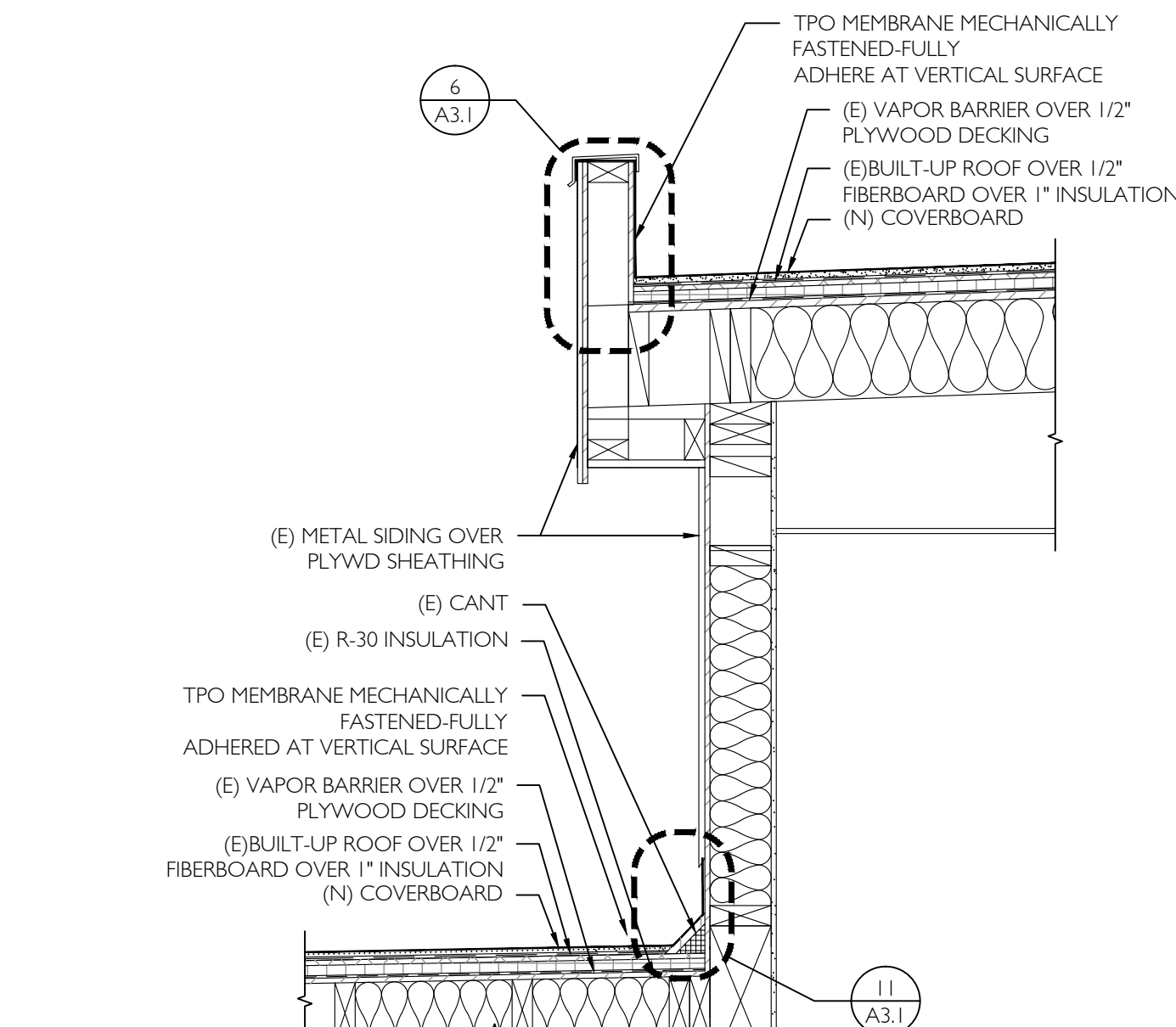
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A3.1 **INSIDE CORNER**
N.T.S.



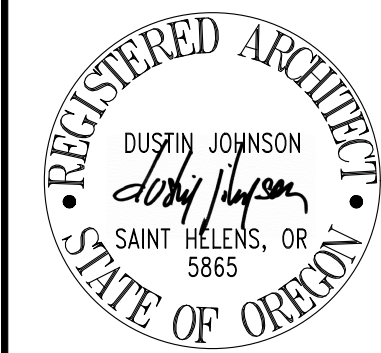
10
A3.1 **OUTSIDE CORNER**
N.T.S.



11
A3.1 **WALL BASE FLASHING AT SIDEWALL**
N.T.S.



12
A3.1 **FASCIA @ CLERESTORY**
3/4" = 1'-0"



ISSUED DATE:
1 CD SET 10.15.21
2 BID SET 11.05.21



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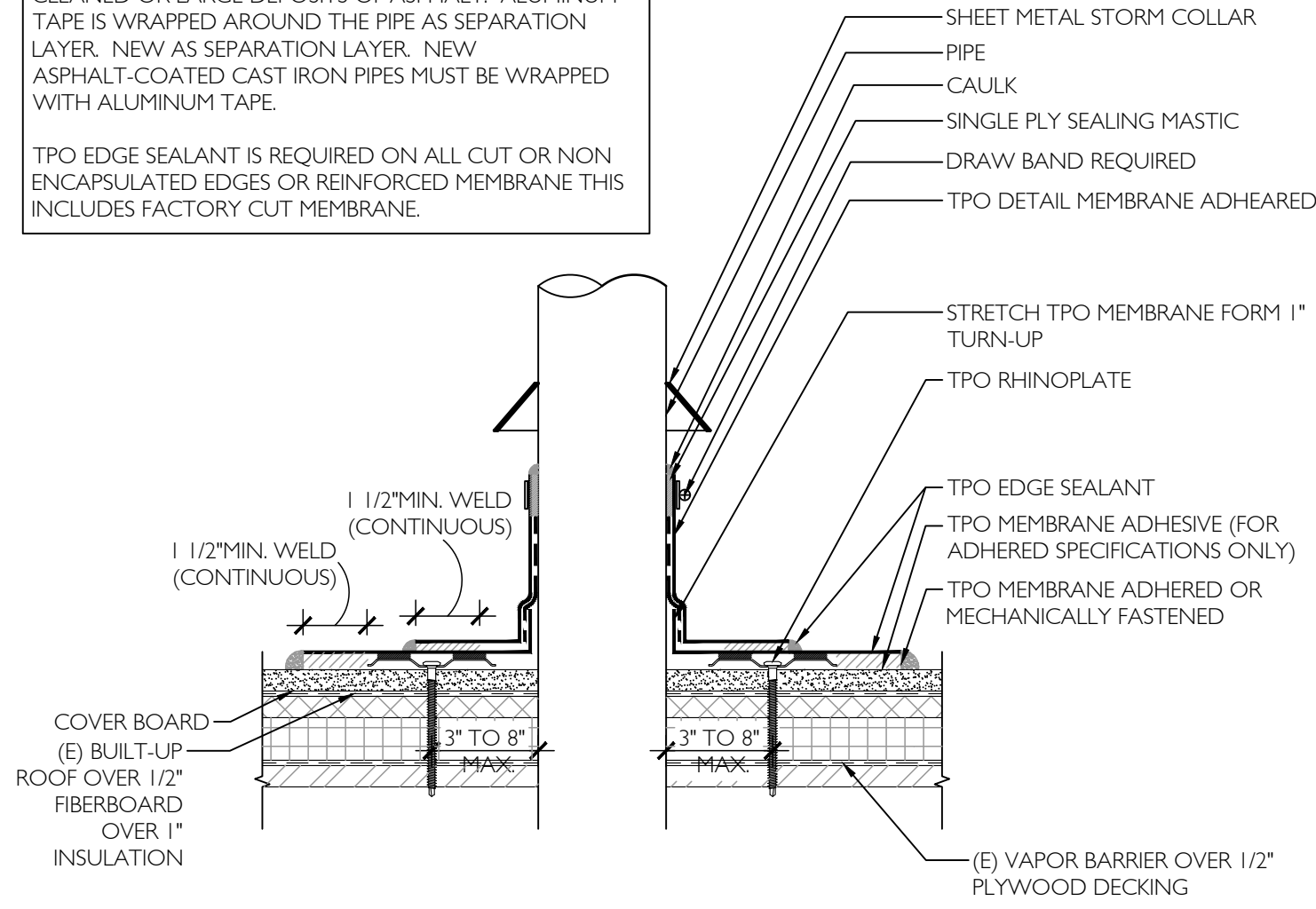
PARTIAL ROOF RE-COVER FOR:
BSD GREENWAY ELEMENTARY RE-ROOF 2022
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BEAVERTON, OR 97008

DETAILS

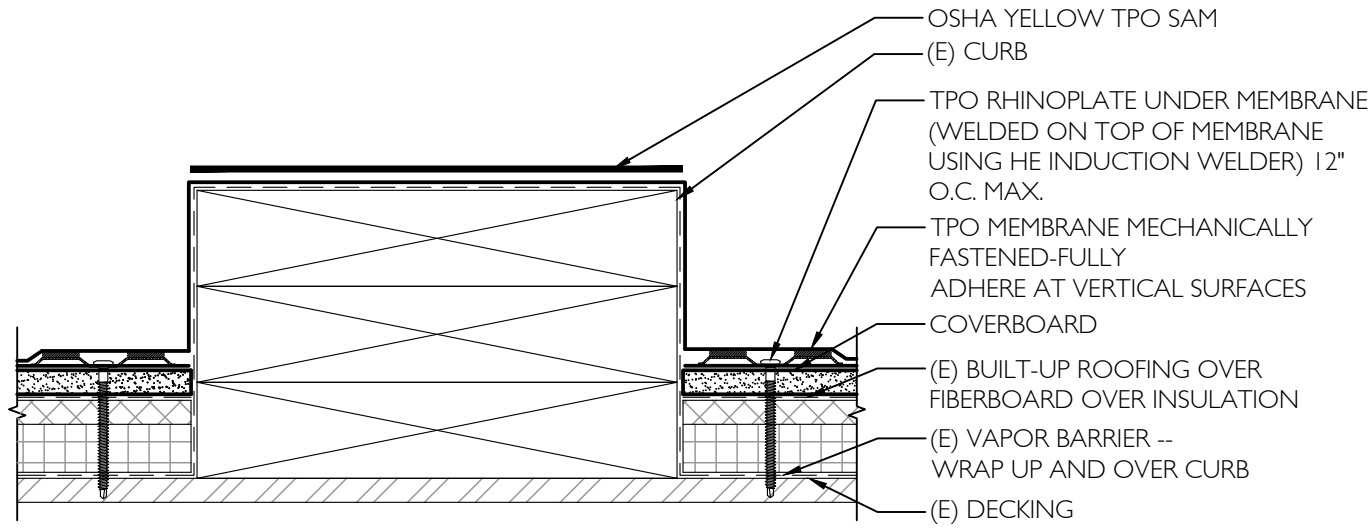
A3.1

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NOTES:
DETAILS TO BE USED IN CONJUNCTION WITH GUIDE SPECIFICATIONS CONTAINING REQUIREMENTS FOR NAILERS, INSULATION, ETC.
ON RE-ROOF OR RECOVER PROJECTS, VENT PIPES MUST BE CLEANED OR LARGE DEPOSITS OF ASPHALT, ALUMINUM TAPE IS WRAPPED AROUND THE PIPE AS SEPARATION LAYER. NEW AS SEPARATION LAYER. NEW ASPHALT-COATED CAST IRON PIPES MUST BE WRAPPED WITH ALUMINUM TAPE.
TPO EDGE SEALANT IS REQUIRED ON ALL CUT OR NON ENCAPSULATED EDGES OR REINFORCED MEMBRANE THIS INCLUDES FACTORY CUT MEMBRANE.



1
A3.2 **FIELD FABRICATED PIPE PENETRATION**
3" = 1'-0"



2
A3.2 **EXPANSION JOINT CURB**
3" = 1'-0"



ISSUED DATE:
1. CD SET 10.15.21
2. BID SET 11.05.21



15895 SW 72ND AVE SUITE 200
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PARTIAL ROOF RE-COVER FOR:
BSD GREENWAY ELEMENTARY RE-ROOF 2022
9150 SW DOWNING DR
BEAVERTON, OR 97008

DETAILS

A3.2

210307.01