

October 21, 2021

SOLICITATION ADDENDUM NO. 1
ITB 21-0009
Montclair Roof Replacement

THE FOLLOWING CHANGES/ADDITIONS TO THE ABOVE CITED SOLICITATION ARE ANNOUNCED:

This Addendum modifies the Invitation to Bid (ITB) document(s) only to the extent indicated herein. All other areas not changed or otherwise modified by this Addendum shall remain in full force and effect. This Addendum is hereby made an integral part of the ITB document. Bidder must be responsive to any requirements of this Addendum as if the requirements were set forth in the ITB. Failure to do so may result in Bid rejection. See the ITB regarding requests for clarification or change and protests of this Addendum, and the deadlines for the foregoing.

This addendum is to be acknowledged in the space provided on the Bidder Certification form supplied in the solicitation document. Failure to acknowledge receipt of this addendum may be cause to reject your offer.

The closing date **REMAINS UNCHANGED:**
November 4, 2021 at 2:00 PM Pacific Time

CLARIFICATIONS:

Please see the revised Bid Schedule Attached

The following is a brief description of the revised sheets:

- Sheet AD1.1: Keynote 11 revised to indicate gym RTU to be *temporarily* removed. Keynotes 26 and 27 added to address demo work at existing sidewall penetration.
- Sheet A1.1: Keynote 24 added to address duct re-route. Keynote 9 revised to incorporate Add Alt #1.
- Sheet A3.2: Detail 7/A3.2 was correct to show field TPO membrane.
- Sheet M1.1: Duct re-route at sidewall penetration indicated. Sheet Note 1 revised to incorporate Add Alt #1.
- Sheet M1.2: Details 4 & 5 added to address duct re-route at sidewall.

QUESTIONS:

QUESTION: What is the existing make, model, and serial numbers for AC-5 on M1.1?

ANSWER: **See the Attached RFI and Response**

QUESTION: Is the unit on M1.1 a true multi-zone with a hot deck, econ deck, and a discharge head with zone dampers?

ANSWER: **See the Attached RFI and Response**

QUESTION: Due to volatile market conditions and supply chain issues, manufacturers will not provide quotes over 30 days. In every case, with every supplier and manufacturer, the contractor is being told the price for materials is what the price is on the ship date, not the quote. Essentially, materials are "market price." Will the school district cover the escalation costs of the materials on the ship date?

ANSWER: **The district will not entertain escalation claims once the contract is fully executed, we will consider paying for material once it arrives locally. Confirmation of materials and insurance certificates will have to be provided.**

QUESTION: Projected material delivery dates are 10-12 months out if the materials were ordered today (10/18/21). It is more than likely the insulation and/or plates & screws will remain unavailable until August 2022, or later. Will the project be allowed to move forward during normal working hours even if school is back in session?

ANSWER: **The roof must be substantially complete, recovered and watertight, by August 12, 2022. Sheet metal and detail work may be completed after school starts on swing shift only.**

QUESTION: The large RTU unit over the gym is over 12 months out after order date, possibly longer. Could this be an add alternate in lieu of included in the base bid? If not, will this item be subject to liquidated damages?

ANSWER: **Yes, we can revise the bid schedule to list the RTU replacement as an add alternate, with installation to be scheduled on a non-student day or weekend following the substantial completion date listed above. The contractor must ensure the existing unit remains in service and is in working order by August 12, 2022.**

QUESTION: How many zone dampers are there on the existing unit, and what are the sizes of the zones?

ANSWER: **Please see the Attached RFI and Response.**

SUBSTITUTION REQUESTS:

Approved:

Rejected:

Rooftop Unit- AC-5 Replacement rooftop multizone- Engineered Air-DJX100/M/O/R/MV

BID SCHEDULE

TOTAL BASE BID: including the Work as defined in the Project Manual, Drawings and Addenda (if any), the TOTAL SUM OF:

_____ DOLLARS (\$ _____)

Please review plans and specifications for more information

Alternate 1:

Furnish and install new Gym RTU _____ DOLLARS (\$ _____)

Please review Specification Section 01 22 00 for more information

A. Roof Sheathing Replacement:

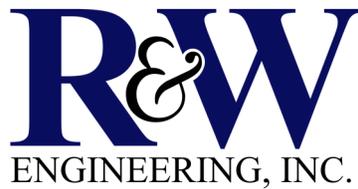
_____ Cost per square foot _____ DOLLARS (\$ _____)

B. Interior Roof Drain Replacement:

_____ Replacement of entire roof drain assembly cost per each _____ DOLLARS (\$ _____)

NOTE: Contractor will be required to develop a schedule of values for payment and accounting purposes prior to the initial request for payment in a form acceptable to the District.

***** Add additional sheets if you would like additional information added.**



9615 SW Allen Boulevard, Suite 107 ▪ Beaverton, OR 97005
(877) 9RW.ENGR ▪ www.rweng.com ▪ Phone: 503.292.6000 ▪ Fax: 503.726.3326

MEMORANDUM

DATE: October 21, 2021 382.120.003
TO: CIDA
ATTN: Dustin Johnson, Kelly Douglass
FROM: Ed Carlisle, P.E. E-mail: ecarlisle@rweng.com
SUBJECT: Montclair Gym Unit [21-0009] – Zones RFI

Below is a summary of the RFI request received by R&W and our response-

RFI

Email from Elizabeth Smith on Monday, October 18th, 2021, forwarded by Megan Finch to Dustin Johnson and Kelly Douglass at CIDA.

“How many zone dampers are there on the existing unit, and what are the sizes of the zones?”

R&W Response

Per the BSD archived drawing set dated 1969, sheet M5 (“HTG & AIR COND’G” [sic]) shows the gym unit AC-5 as covering three zones in the gymnasium area: the gym floor, the stage and adjacent storage rooms, and the locker/shower rooms (boys/girls, as well as custodian and storage rooms).

Based on the scanned drawings, our area takeoffs of the space come out to the approximate values, rounded to the nearest 5 sq ft.:

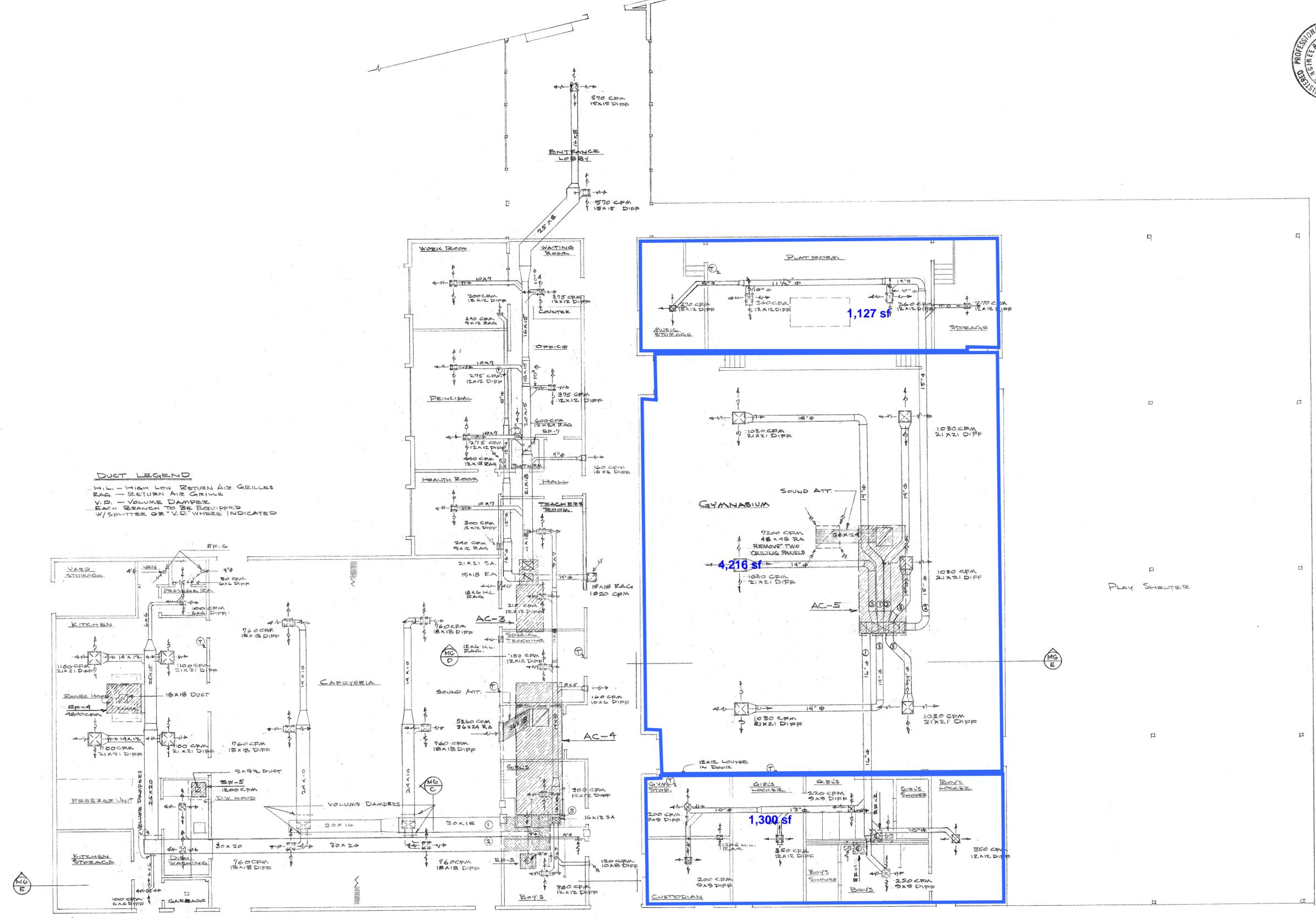
- 1) Gym stage and storage rooms- 1,130 sq ft.
- 2) Main gymnasium floor – 4,220 sq ft.
- 3) Locker/shower rooms, custodian, and storage – 1,300 sq ft.

See attached PDF “Page M5...” for zone outlines and area takeoffs.

END OF MEMORANDUM



DUCT LEGEND
 H.L. - HIGH LOW RETURN AIR GRILLES
 R.A.G. - RETURN AIR GRILLE
 V.D. - VOLUME DAMPER
 EACH BRANCH TO BE EQUIPPED
 W/ SPLITTER OR V.D. WHERE INDICATED



M5 HT'G & AIR COND'G 200
 SCALE 1/8" = 1'-0"

HEATING & AIR CONDITIONING - 200
 WILLIAMS & EHMANN - ARCHITECTS
 3777 S. E. MILWAUKIE AVE. - PORTLAND 2, OREGON
 M. F. P. WILLIAMS A-1-A - RICHARD C. EHMANN A-1-A - C-8-1
 PHONE 233-1188



ELEMENTARY SCHOOL - SCHOOL DISTRICT 48
 BEAVERTON WASHINGTON COUNTY OREGON

| | | |
|--------------|-----------|-----|
| DATE | FILE | 26 |
| | COMM NO | |
| | DRAWN | JFG |
| | CHECKED | DM |
| | DATE | |
| NO. REVISION | SHEET NO | |
| | M5 | |
| | OF 6 | |

1. What is the existing make, model, and serial numbers for AC-5 on M1.1?
2. Is this unit a true multi-zone with a hot deck, econ deck, and a discharge head with zone dampers?

1. See schedule information below, with site photos of unit.

| | |
|-------------|---|
| <u>AC-5</u> | <p>LENNOX D/ASI-275 HEATING ONLY 9000 CFM @ 1" SP 4 1/2 HP 208 V 60 CY 30 HEATING GX2-30-37-500 500 BTUH/HR INPUT WT</p> |
|-------------|---|



2. Yes, existing unit is a heating-only true multi-zone unit. It serves three zones in gymnasium area.

DEMO ROOF PLAN GENERAL NOTES

- CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY A/E OF ANY DISCREPANCIES.
- SEE ROOF INSPECTION REPORT BY A-TECH INC. DATED 03/16/2020 (LOCATED IN PROJECT MANUAL) FOR ADDITIONAL INFORMATION REGARDING EXISTING CONDITIONS WHICH MAY NOT BE REFLECTED ON THIS PLAN.
- APPLICABLE CODES: ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. ALL CODE REFERENCES IN THE DRAWINGS AND SPECIFICATIONS SHALL MEAN, AND ARE INTENDED TO BE, THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCED STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
- SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL EQUIPMENT TO BE REMOVED AND FOR SIZES OF NEW OR REVISED CEILING PENETRATIONS.
- FOR EXISTING EQUIPMENT INDICATED TO BE TEMPORARILY REMOVED, CONTRACTOR TO STORE ON-SITE IN A WEATHER TIGHT LOCATION APPROVED BY THE DISTRICT. SEE SPEC SECTION -- FOR ADDITIONAL STORAGE REQUIREMENTS.
- EXISTING ROOF PENETRATIONS AND CURBS INDICATED BENEATH MECH. EQUIPMENT ARE DIAGRAMMATIC ONLY -- CONTRACTOR TO FIELD VERIFY ACTUAL PLACEMENT BENEATH UNIT.
- EXISTING EQUIPMENT CURBS, CRICKETS AND ROOF PENETRATIONS AT SMALL EQUIPMENT ARE NOT SHOWN FOR DRAWING CLARITY. REFER TO LEGEND AND KEYNOTES FOR INDICATION OF CURBED VERSUS NON-CURBED CONDITION.
- SEE ROOFING SPECIFICATION IN PROJECT MANUAL FOR ALL EXISTING ROOFING COMPONENTS AND ACCESSORIES TO BE REMOVED AND FOR OTHER PROCEDURES REQUIRED IN PREPARATION OF INSTALLING NEW ROOFING SYSTEM.
- CONTRACTOR TO REMOVE AND REPLACE EXISTING STRUCTURAL ROOF DECKING WHERE OBSERVED TO BE COMPROMISED -- SEE 'SCHEDULE OF UNIT PRICES' IN SPECIFICATION SECTION 012200 'UNIT PRICES' FOR ADDITIONAL INFORMATION.
- UNLESS OTHERWISE NOTED, ROOF CURBS AT EQUIPMENT INDICATED TO BE TEMPORARILY REMOVED SHALL REMAIN IN PLACE.
- CONTRACTOR TO SCHEDULE ON-SITE OBSERVATION WITH A/E AND DISTRICT UPON REMOVAL OF EXISTING ROOFING SYSTEM AND EXPOSURE OF EXISTING STRUCTURAL DECK.
- ALL SHEET METAL GUTTERS AND DOWNSPOUTS SHALL BE TEMPORARILY REMOVED AND STORED FOR REINSTALLATION UNLESS DEEMED UNIT FOR CONTINUED USE.

DEMO ROOF PLAN LEGEND

| | | | |
|--|--|--|--|
| | (E) CURB MOUNTED ROOF VENT TO BE TEMPORARILY REMOVED | | (E) ROOFTOP MECH. UNIT TO REMAIN IN PLACE DURING RE-ROOF |
| | (E) VENT PIPE PENETRATION TO REMAIN | | (E) DUCT TO BE REMOVED AND REROUTED -- PREP SIDEWALL PENETRATION FOR INFILL |
| | (E) DOWNSPOUT TO BE TEMPORARILY REMOVED AND STORED FOR REINSTALLATION | | (E) VENT STACK TO REMAIN |
| | (E) VENT STACK TO REMAIN | | (E) GAS PIPE PENETRATION TO REMAIN |
| | (E) GAS PIPE PENETRATION TO REMAIN | | (E) ROOF DRAIN-- REMOVE ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO 'SCHEDULE OF UNIT PRICES' IN SECTION 012200 OF SPEC. |
| | (E) ROOF DRAIN-- REMOVE ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO 'SCHEDULE OF UNIT PRICES' IN SECTION 012200 OF SPEC. | | (E) ROOF DRAIN AND PIPED OVERFLOW-- REMOVE ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO 'SCHEDULE OF UNIT PRICES' IN SECTION 012200 OF SPEC. |
| | (E) ROOF DRAIN AND PIPED OVERFLOW-- REMOVE ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO 'SCHEDULE OF UNIT PRICES' IN SECTION 012200 OF SPEC. | | (E) ROOF DRAIN WITH SCUPPER OVERFLOW-- REMOVE SCUPPER AND ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO 'SCHEDULE OF UNIT PRICES' IN SECTION 012200 OF SPEC. |
| | (E) ROOF DRAIN WITH SCUPPER OVERFLOW-- REMOVE SCUPPER AND ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO 'SCHEDULE OF UNIT PRICES' IN SECTION 012200 OF SPEC. | | - AREA OUTSIDE SCOPE OF WORK - AREA OF (E) PEA GRAVEL BUILT-UP ROOFING SYSTEM TO BE REMOVED -- PREP SHEATHING PER SPEC FOR INSTALLATION OF NEW ROOFING SYSTEM, INCLUDING REPLACEMENT OF COMPROMISED SHEATHING |

| | |
|--|----------------------|
| | (E) WALL BELOW |
| | (E) NATURAL GAS LINE |
| | (E) ELECTRICAL LINE |

| | |
|--|---------------------------------------|
| | REFERENCE PLANE VERTICAL EDGE |
| | ELEVATION RELATIVE TO REFERENCE PLANE |
| | VERTICAL ELEVATION CHANGE |
| | DIRECTION OF DRAINAGE |

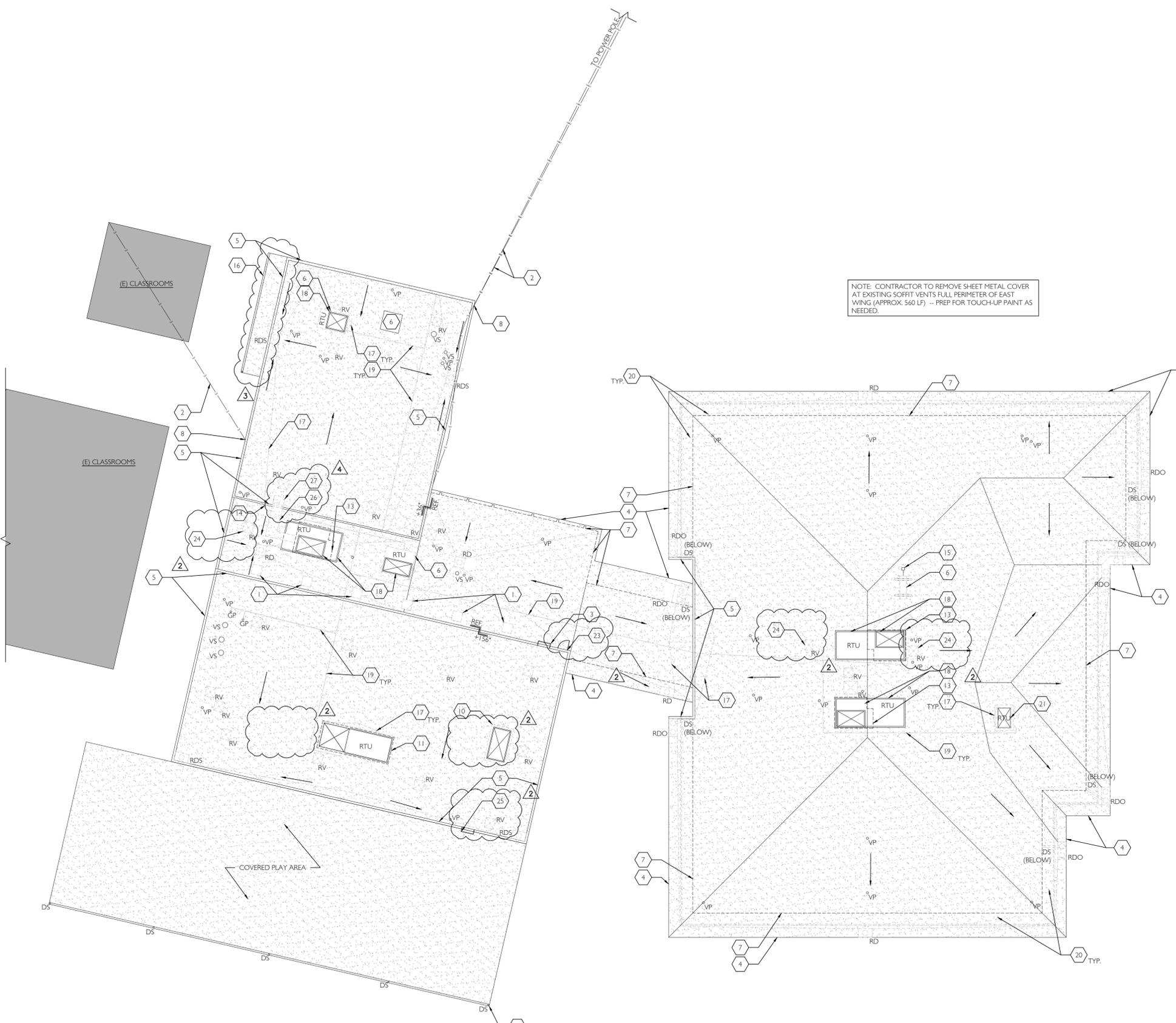
DEMO ROOF PLAN KEYNOTES

- (E) CURBED SKYLIGHT TO BE REMOVED--PATCH AND REPAIR TO MATCH ADJACENT ROOF CONDITION-- SEE STRUCTURAL FOR INFILL
- (E) OVERHEAD ELECTRICAL LINE -- PROVIDE TEMPORARY SUPPORT TO ACCOMMODATE CONTINUITY OF SERVICE DURING WORK -- COORDINATE WITH UTILITY
- (E) FIXED LADDER TO REMAIN -- REMOVE LADDER SIDERAILS (AND BOTTOM RUNG) TO A POINT 1" MINIMUM ABOVE NEW ROOFING SYSTEM SURFACE -- FINISH CUT ENDS WITH (2) COATS ZINC PAINT
- (E) DRIP EDGE-- REMOVE SHEET METAL GRAVEL STOP AND DRIP EDGE FLASHING
- (E) PARAPET-- REMOVE SHEET METAL COPING CAP, COUNTER FLASHING AND BASE FLASHING, TYP.
- (E) CURB-MOUNTED MECH. EQUIPMENT-- TEMPORARILY REMOVE AND STORE FOR NEW ROOFING INSTALLATION
- LINE OF (E) EXTERIOR WALL BELOW, TYP.
- PARAPET-MOUNTED GUY ANCHOR TO REMAIN TO BE REMOVED AND REPLACED
- NOT USED
- (E) SMOKE HATCH ASSEMBLY AND INTEGRATED ROOF CURB TO BE TEMPORARILY REMOVED -- PREP AREA TO RESERVE NEW CURB PENETRATION -- SEE A1.1 FOR MORE INFO
- (E) ROOF TOP UNIT TO BE TEMPORARILY REMOVED -- RAISE CURB AS NEEDED TO ACCOMMODATE DEPTH OF NEW INSULATION.
- NOT USED
- (E) ROOFTOP MECH. UNIT TO REMAIN IN PLACE DURING RE-ROOF
- (E) SHEET METAL CAP AT ABANDONED SIDEWALL PENETRATION TO BE REMOVED-- PREP OPENING FOR INFILL
- (E) PITCH POCKET TO BE REMOVED AND REPLACED.
- (E) CANOPY BELOW
- (E) CRICKET TO BE REMOVED
- (E) CURB TO REMAIN
- (E) ABOVE-ROOF GAS LINE TO BE REMOVED AND STUBBED FOR POST-RE-ROOF TIE-IN
- REMOVE (E) PLYWOOD CRICKET AND 4X BLOCKING
- (E) TRANE RTU-- TEMPORARILY REMOVE AND STORE FOR REINSTALLATION -- LIFT UNIT AS NECESSARY FOR ROOFING TO BE COMPLETED. USE ONLY MANUFACTURER SUPPLIED LIFTING LUGS FOR LIFTING. ONCE THE UNIT IS RESET AND BEFORE STARTING THE UNIT PROVIDE THE SERVICES OF TRANE FACTORY AUTHORIZED SERVICE TECHNICIAN OR REVIEW THE UNIT, ESPECIALLY THE HEATING BURNER, TO ASSURE ALL ARE IN PROPER WORKING ORDER AND SAFE TO OPERATE
- (E) SHEET METAL GUTTER AND EDGE FLASHING TO BE REMOVED
- EXISTING DOOR ASSEMBLY TO BE REMOVED. DOOR OPENING TO BE ENLARGED BY REMOVAL OF 2 BRICK COURSES DIRECTLY ABOVE EXISTING OPENING. SEE STRUCTURAL FOR REINFORCING REQUIREMENTS.
- REMOVE EXISTING ELECTRICAL BOX CONNECTED TO EQUIPMENT CURB -- SEE A1.1 FOR MORE INFO.
- (E) FIXED LADDER TO REMAIN
- (E) DUCT TO BE REMOVED AND REROUTED -- PREP SIDEWALL PENETRATION FOR INFILL
- PREPARE ROOF FOR NEW DUCT PENETRATION -- SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFO.

NORTH

AD1.1 DEMO ROOF PLAN
 1/16" = 1'-0"

NOTE: CONTRACTOR TO REMOVE SHEET METAL COVER AT EXISTING SCOFFIT VENTS FULL PERIMETER OF EAST WING (APPROX. 560 LF) -- PREP FOR TOUCH-UP PAINT AS NEEDED.



ISSUED DATE
 2 DD SET 09.18.2020
 3 80% CONST. DOCS 10.07.2020
 4 BID SET RELEASE 10.28.2020
 5 RESPONSE TO PLAN CHECK COMMENTS 02.18.2021
 6 OWNER CHECKLIST 09.27.21
 7 BID SET RELEASE 10.04.21
 8 ADDENDUM 1 10.21.21



ROOF REPLACEMENT FOR
BSD MONTCLAIR ELEM. SCHOOL
 7250 SW VERMONT ST.
 PORTLAND, OR 97223

DEMO ROOF PLAN
AD1.1
 JOB NO. 20Y082.02
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ROOF PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY (E) CONDITIONS SHOWN OR IMPLIED AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
- SEE ROOF INSPECTION REPORT BY A-TECH/NW INC. DATED 03/16/2020 (LOCATED IN PROJECT MANUAL) FOR ADDITIONAL INFORMATION REGARDING EXISTING CONDITIONS WHICH MAY NOT BE REFLECTED ON THIS PLAN.
- ALL ROOFING REPAIR WORK TO BE PERFORMED BY ROOFING CONTRACTOR CERTIFIED BY ROOFING MANUFACTURER AND AS REQUIRED TO MEET INSTALLATION REQUIREMENTS OF SPECIFIED ROOFING SYSTEM WARRANTY.
- ALL ROOFING REPAIR WORK IS SUBJECT TO INSPECTION AND APPROVAL BY ROOFING MANUFACTURER FIELD REPRESENTATIVE. CONTRACTOR TO SCHEDULE ROOFING INSPECTION AT INTERVALS DETERMINED BY MANUFACTURER FOR ROOFING SYSTEM WARRANTY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING LOCATION OF NEW ROOF PENETRATIONS TO AVOID CONFLICT WITH EXISTING STRUCTURE AND BUILDING SYSTEMS.
- CONTRACTOR TO CONFIRM ROOF PENETRATION SIZES AND EQUIPMENT CURB DIMENSIONS WITH MECHANICAL DRAWINGS.
- WHERE PATCH AND REPAIR WORK IS INDICATED, CONTRACTOR SHALL PATCH AFFECTED AREAS TO MATCH ADJACENT FINISHES AND CONDITIONS FOR 'LIKE NEW' APPEARANCE UNLESS OTHERWISE NOTED. SEE SPECIFICATION SECTION 017329 'CUTTING AND PATCHING' FOR ADDITIONAL INFORMATION.
- SEE STRUCTURAL DRAWINGS FOR BRACING REQUIREMENTS AT NEW ROOF OR MECHANICAL EQUIPMENT.
- CONTRACTOR TO MAINTAIN EXISTING SURFACE DRAINAGE PATTERNS OF ROOF WITH SLOPE OF NOT LESS THAN 2 PERCENT UNLESS LIMITED BY EXISTING BUILT CONDITIONS. IF LIMITED, SLOPE SHALL NOT BE REDUCED FROM EXISTING SLOPE.
- CONTRACTOR TO PROVIDE OPENINGS AT NEIGHBORING CURB WALLS, ROOF DRAINS AND OTHER LOCATIONS AS REQUIRED TO MAINTAIN POSITIVE SLOPE TO POINT OF ROOF DRAINAGE.
- CONTRACTOR TO CONNECT ALL NEW AND USED EQUIPMENT TO SUPPORTING UTILITIES (NATURAL GAS, ELECTRICAL, LOW VOLTAGE, ETC.).
- TAPERED INSULATION SHOWN IS DIAGRAMMATIC ONLY AND IS CONSIDERED A DELEGATED DESIGN SYSTEM -- CONTRACTOR IS RESPONSIBLE FOR SUBMITTING TAPERED INSULATION SHOP DRAWINGS PREPARED BY QUALIFIED TAPERED INSULATION DESIGNER FOR A/E REVIEW, PER SPEC.
- CONTRACTOR TO SUBMIT WEATHER PROTECTION PLAN FOR A/E & DISTRICT APPROVAL, PER SPEC DIVISION 7.
- ALL SHEET METAL GUTTERS AND DOWNSPOUTS SHALL BE TEMPORARILY REMOVED AND STORED FOR REINSTALLATION UNLESS DEEMED UNFIT FOR CONTINUED USE.

ROOF PLAN LEGEND

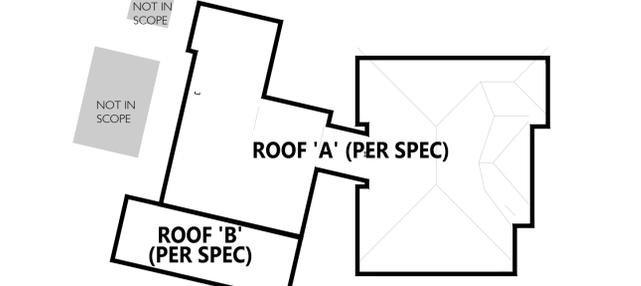
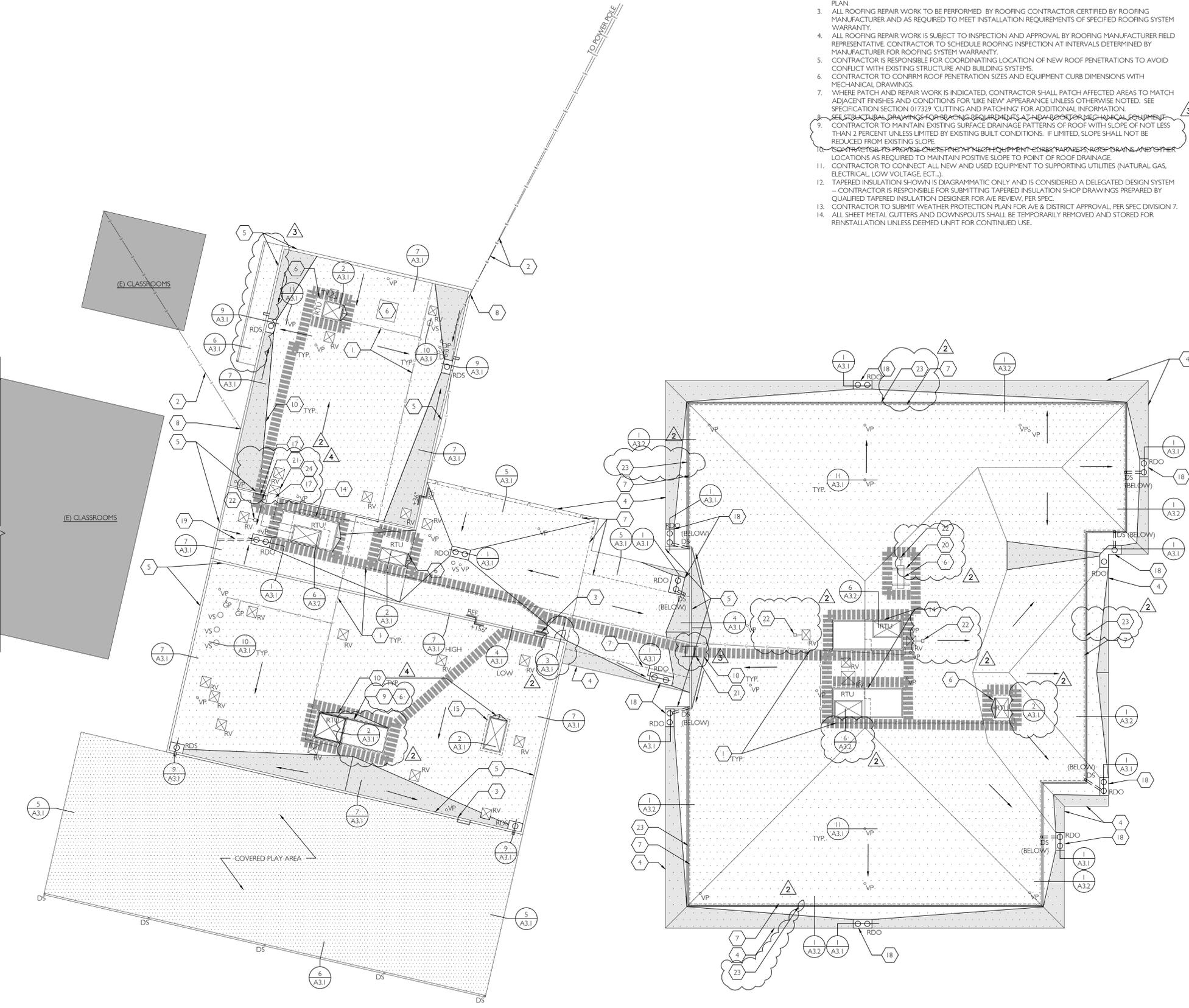
| | | | |
|-----|--|----------------|-----------------------|
| RV | - REINSTALL CURB MOUNTED ROOF VENT -- SEE DETAIL 2/A3.1 | (E) - EXISTING | (N) - NEW |
| VP | - (E) VENT PIPE PENETRATION EXTEND PIPE AS NEEDED TO FLASH -- SEE DETAIL 11/A3.1 | TYP. - TYPICAL | RTU - ROOFTOP UNIT |
| DS | - REINSTALLED DOWNSPOUT | VP | - VENT PIPE |
| VS | - (E) VENT STACK -- SEE DETAIL 10/A3.1 | DS | - DOWNSPOUT |
| GP | - (E) GAS PIPE PENETRATION -- SEE DETAIL 11/A3.1 | S | - SCUPPER |
| RD | - ROOF DRAIN -- NEW ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO 'SCHEDULE OF UNIT PRICES' IN SECTION 012200 OF SPEC. | VS | - VENT STACK |
| RDO | - ROOF DRAIN AND PIPED OVERFLOW -- NEW ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO 'SCHEDULE OF UNIT PRICES' IN SECTION 012200 OF SPEC. | RV | - ROOF VENT |
| RDS | - ROOF DRAIN WITH SCUPPER OVERFLOW -- NEW SCUPPER AND ROOF DRAIN ASSEMBLY (DRAIN BOWL TO REMAIN UNLESS DAMAGED) -- REFER TO 'SCHEDULE OF UNIT PRICES' IN SECTION 012200 OF SPEC. | RD | - ROOF DRAIN |
| | | RDO | - ROOF DRAIN OVERFLOW |
| | | RDS | - ROOF DRAIN SCUPPER |
| | | GP | - GAS PIPE |

| | |
|----------------------------------|--|
| ----- | - (E) WALL BELOW |
| --- | - (N) NATURAL GAS LINE--ROUTE SAME AS EXISTING-- INSTALL ON PIPE SUPPORTS -- SEE DETAIL 3/A3.2 |
| --- | - ELECTRICAL LINE -- RE-ATTACH TO PARAPET ANCHORS AND REMOVE TEMPORARY SUPPORT |
| REF | - REFERENCE PLANE |
| + | - VERTICAL EDGE |
| +32 | - ELEVATION RELATIVE TO REFERENCE PLANE |
| VERTICAL ELEVATION CHANGE | |
| | - (N) WALK PADS |
| --- | - DIRECTION OF DRAINAGE |

| | |
|-----------|---|
| [Pattern] | - AREA OUTSIDE SCOPE OF WORK |
| [Pattern] | - APPROXIMATE AREA OF TAPERED INSULATION -- SEE GENERAL NOTES THIS SHEET FOR TAPERED INSULATION DESIGN REQUIREMENTS |
| [Pattern] | - AREA OF (N) TPO MEMBRANE (RHINO BOND) OVER 1/2" COVERBOARD OVER R-30 INSULATION BOARD OVER VAPOR BARRIER MEMBRANE (39.510 SF) -- ROOF 'A' PER SPEC. |
| [Pattern] | - AREA OF (N) FULLY ADHERED TPO ROOFING SYSTEM OVER 1/2" COVERBOARD (7,164 SF) -- ROOF 'B' PER SPEC. |

ROOF PLAN KEYNOTES

- INSTALL NEW NATURAL GAS LINE ON SUPPORTS PER DETAIL 3/A3.2
- (E) OVERHEAD ELECTRICAL LINE -- ATTACH TO PARAPET-MOUNTED GUY ANCHOR.
- (E) FIXED LADDER
- DRIP EDGE WITH GRAVEL STOP
- (E) PARAPET-- INSTALL NEW SHEET METAL COPING CAP AND COUNTER FLASHING PER SPEC -- SEE DETAIL 7/A3.1
- (E) CURB-MOUNTED EQUIPMENT -- REINSTALL AT SAME LOCATION
- LINE OF (E) EXTERIOR WALL BELOW, TYP.
- (N) PARAPET-MOUNTED GUY ANCHOR.
- ADD ALT. #1:** (N) ROOF TOP UNIT PER MECHANICAL DRAWINGS -- INSTALL ROOF CURB ADAPTOR AS NEEDED
- (N) CRICKET.
- NOT USED.
- NOT USED.
- NOT USED.
- (E) MECHANICAL UNITS.
- RE-INSTALL (E) SMOKE VENT -- SEE DETAIL 5/A3.2
- NOT USED
- (E) ABANDONED SIDEWALL DUCT PENETRATION -- INFILL WITH 2X6 STUD FRAMING AND FINISH TO MATCH ADJACENT CONDITION
- ROUTE NEW OVERFLOW THROUGH SOFFIT -- TERMINATE 1" BELOW FINISHED SOFFIT TO MATCH EXISTING
- ROUTE NEW OVERFLOW TIGHT TO EXTERIOR WALL -- TERMINATE THROUGH WALL WITH BRASS COV TONGUE 18" ABOVE FINISHED GRADE -- COORDINATE ROUTE WITH EXISTING STRUCTURE AND OPENINGS -- FINAL ROUTE SUBJECT TO DISTRICT ARCHITECT APPROVAL -- SEE DETAIL 4/A3.2
- EQUIPMENT CURB TO BE RAISED OR REPLACED IN ORDER TO ACCOMMODATE NEW ROOFING ASSEMBLY UPON INSTALLATION
- (N) STEEL PIPE LADDER -- CONTRACTOR TO FIELD VERIFY HEIGHT, TYP. -- SEE DETAIL 3/A2.1
- (N) UTILITY PENETRATION PER DETAIL 7/A3.2
- CANTED EDGE OF (N) ABOVE-DECK ROOF INSULATION
- (N) DUCT TO BE ROUTED OVER THE PARAPET AND PENETRATE THE ROOF VERTICALLY PER MECHANICAL DRAWINGS -- LOCATION OF ROOF PENETRATION SHOWN IS DIAGRAMMATIC ONLY -- CONTRACTOR TO FIELD VERIFY ACTUAL LOCATION AND COORDINATE WITH EXISTING CONDITIONS -- FLASH DUCT PENETRATION PER 7/A3.2 (SIM).



1 ROOF PLAN
1/16" = 1'-0"

2 KEY PLAN
N.T.S.



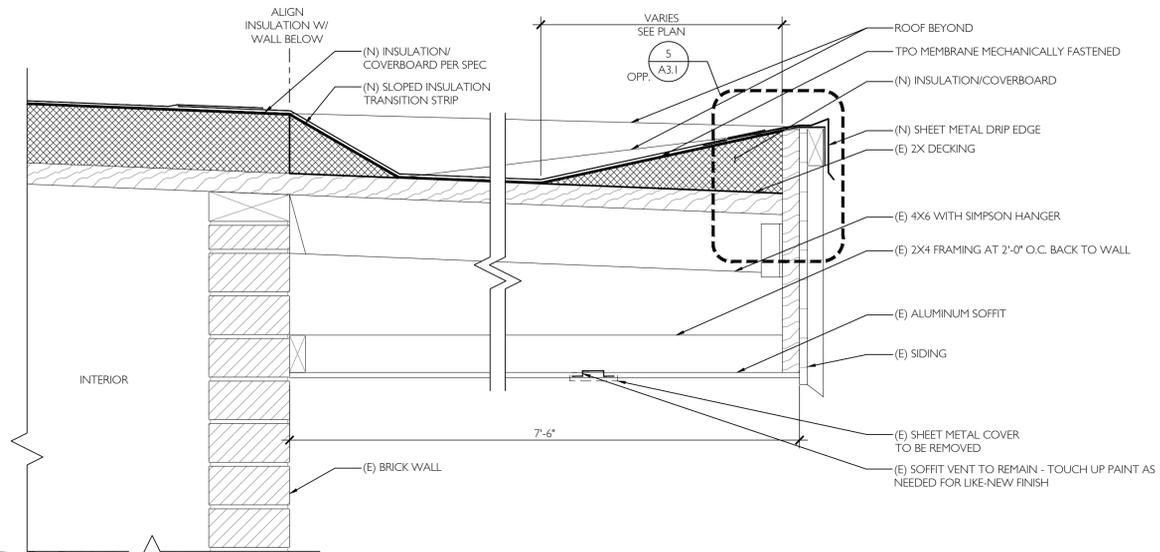
19/08/20 DATE
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 8 ADDENDUM 1 10.21.21



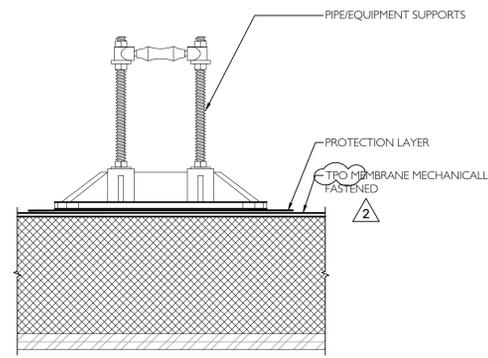
ROOF REPLACEMENT FOR
BSD MONTCLAIR ELEM. SCHOOL
 7250 SW VERMONT ST.
 PORTLAND, OR 97223

ROOF PLAN
A1.1
 JOB NO. 20Y082.02
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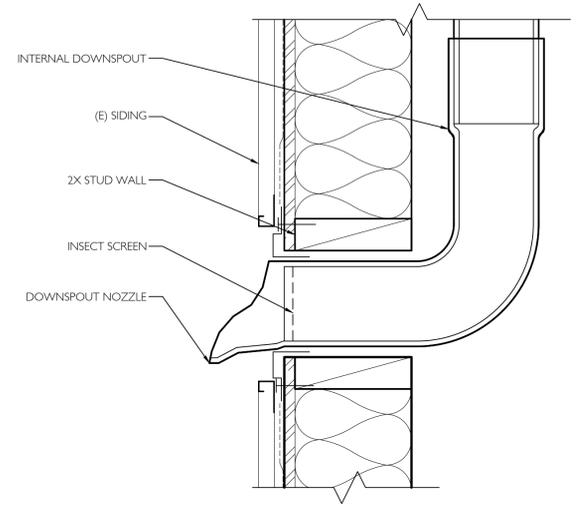
E:\dustin\2019\2021\180\2021\Roofing\Projects\18025\BSD-2021\Roof\RoofPlan\Current\CADA1.1.dwg, Oct 21, 2021, 2:46pm



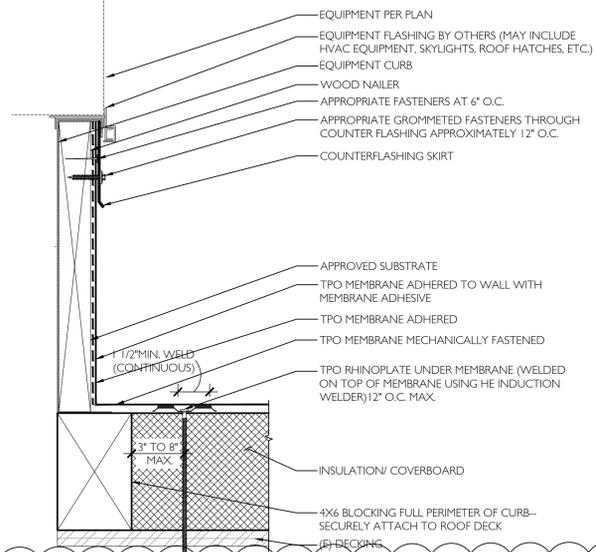
1 PERIMETER TROUGH AT EAST WING
A3.2 1 1/2" = 1'-0"



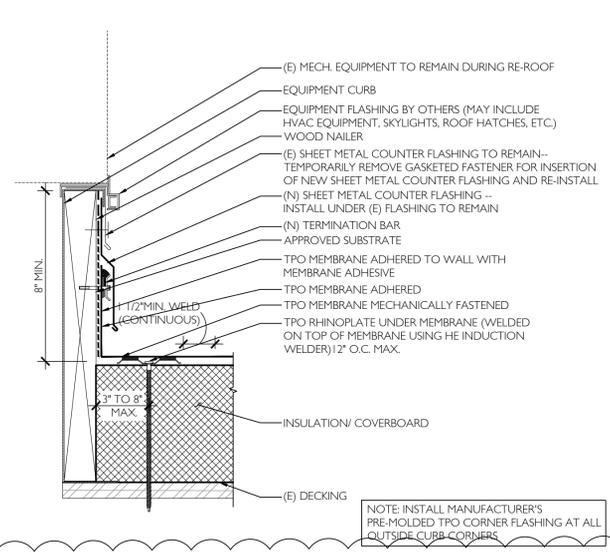
3 GAS LINE SUPPORTS
A3.2 3" = 1'-0"



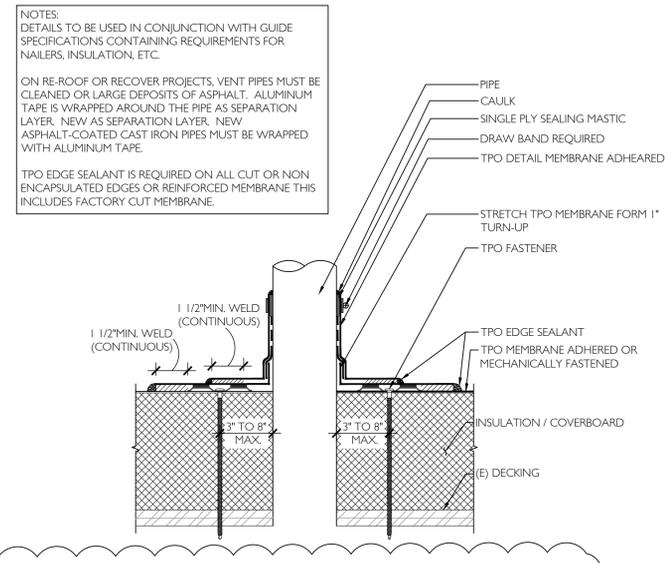
4 ROOF DRAIN AT GROUND CONDITION
A3.2 3" = 1'-0"



5 ROOF CURB EXTENSION AT EXISTING SMOKE VENT
A3.2 3" = 1'-0"



6 EQUIPMENT CURB @ EQUIPMENT TO REMAIN
A3.2 3" = 1'-0"



7 FIELD FABRICATED PIPE PENETRATION
A3.2 3" = 1'-0"



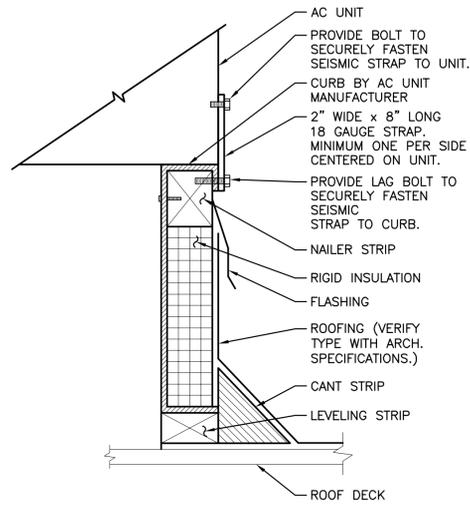
ISSUED DATE

| | | |
|---|---------------------------------|------------|
| 2 | DD SET | 09.16.2020 |
| 3 | 80% CONST. DOCS | 10.07.2020 |
| 4 | BID SET RELEASE | 10.28.2020 |
| 5 | RESPONSE TO PLAN CHECK COMMENTS | 02.18.2021 |
| 6 | OWNER CHECKLIST | 09.27.21 |
| 7 | BID SET RELEASE | 10.04.21 |
| 8 | ADDENDUM 1 | 10.21.21 |

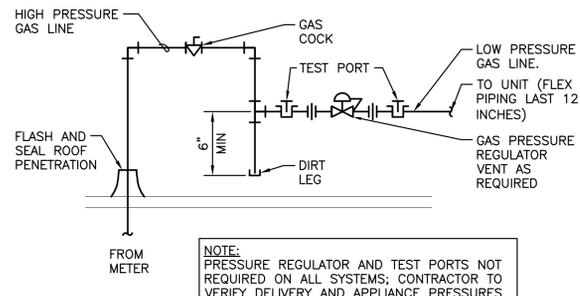


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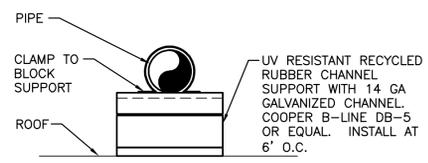
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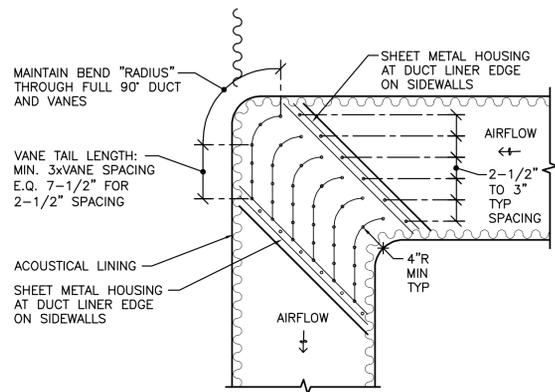
1 ROOF CURB DETAIL
 M1.2 NOT TO SCALE



2 GAS CONNECTION DETAIL (THROUGH ROOF)
 M1.2 NOT TO SCALE



3 PIPE SUPPORT DETAIL
 M1.2 NOT TO SCALE



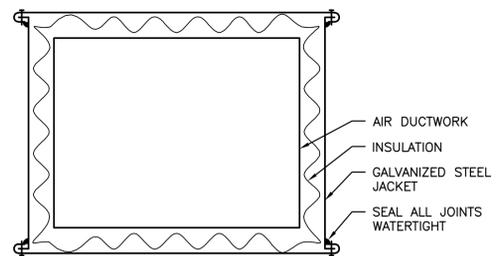
DUCT SILENCER APPLICATION:

- IF A DUCT SILENCER FOLLOWS ELBOW DOWNSTREAM WITHIN TWO DUCT DIAMETERS, SILENCER SHALL BE ARRANGED WITH BAFFLES PARALLEL TO THE PLANE OF THE ELBOW TURN.
- SILENCER ARRANGEMENTS RESULTING IN HORIZONTAL BAFFLES SHALL INCORPORATE ADDITIONAL SUPPORT OR REINFORCEMENT FOR ANY BAFFLE WIDER THAN 24".

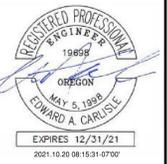
NOTES:

- VANES FABRICATED OF MINIMUM GAUGE METAL AS THAT USED FOR FABRICATING DUCT, OR ELBOW, WHICHEVER IS GREATER.
- SPOT ATTACH EACH VANE IN MINIMUM OF SIX LOCATIONS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH SMACNA DUCT STANDARDS.

4 TURNING VANE DETAIL
 M1.2 NOT TO SCALE
 MHV-TURN-VANE-01



5 EXTERIOR DUCT DETAIL
 M1.2 NOT TO SCALE
 MHV-DUCT-EXTR-01



- ISSUED DATE
- DD SET 09.16.2020
 - 80% CONST. DOCS. 10/07/2020
 - BID SET RELEASE 10/22/2020
 - ADDENDUM 1 10/21/2021

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DETAILS - MECHANICAL
M1.2
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