

LODI UNIFIED SCHOOL DISTRICT

**Lunch Shelter Project
at
Morada Middle School
Project Number: 0944-8244
DSA #:02-118353
and
Heritage Elementary School
Project Number: 0916-8216
DSA # 02-118354**

ADDENDUM NO. 1

October 21, 2021

Owner: Lodi Unified School District
1305 E. Vine Street
Lodi, CA 95240

Architect : Rainforth Grau Architects
2101 Capitol Avenue, Suite 100
Sacramento, CA 95816

Project Manager: Capital Program Management, Inc.
1851 Heritage Lane, Suite 210
Sacramento, CA 95815

This Addendum has been prepared to clarify, modify, delete, or add to the drawings and/or specifications for the above referenced project, and revisions to items listed here shall supersede description thereof prior to the above stated date. All conditions not specifically referenced here shall remain the same. It is the obligation of the Prime Contractor to make subcontractors aware of any items herein that may affect submitted bids.

Acknowledge receipt of this addendum by inserting its number and date in the bidding documents. Failure to do so may subject bidder to disqualification.

All addenda items refer to the plans and specifications unless specifically noted otherwise.

TOTAL PAGES IN THIS ADDENDUM (including attachments): 21

LODI UNIFIED SCHOOL DISTRICT

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PART A - BIDDING AND CONTRACT REQUIREMENTS

- 1.1 The bid date has **not** changed. Bids are due Tuesday, October 26, 2021 by 2:00:00 p.m. at the District Facility Office, 880 N. Guild Avenue, Lodi, California, 95240.
- 1.2 Bidders are required to be pre-qualified prior to the bid opening. Any bid submitted by a bidder who is not prequalified shall be non-responsive and returned unopened to the bidder. Contractors can apply for pre-qualification via the District PQBids website at <https://pqbids.com/lodi>.

PART B - TECHNICAL REQUIREMENTS

- 1.3 Within the Technical Specifications, REPLACE any reference to "Appendix B" with "Division 0" at all locations where this occurs.
- 1.4 Contractor shall provide underground utility locating survey for areas called to receive new shade structure.
- 1.5 ADD Specification Section 09 9100 Painting – ADDENDUM 01 included with this addendum.
- 1.6 Specification Section 32 3119 Decorative Metal Fences and Gates: DELETE this section in its entirety.

PART C - DRAWINGS

- 1.7 Sheet A1.1.0B, Site Plan and Code Information, Sheet Notes: REVISE SN.11 to read, "Existing 4'-0" x 7'-0" chain link gate per DSA application #02-118112."
- 1.8 Sheet A1.1.2B, Lunch Shelter – Enlarged Site Plan and Section: REVISE per the attached AD1.01.
- 1.9 Sheet A1.1.2C, Lunch Shelter – Enlarged Site Plan and Section: REVISE per the attached AD1.02.
- 1.10 Sheet A2.1.1C, Enlarged Floor Plans: REVISE per the attached AD1.03.

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PART D – RESPONSES TO CONTRACTOR QUESTIONS

- 1.11 **Question:** We do not see a Division 9 in the plans calling for painting the underside of the deck and any unfinished factory finish items? Please advise.
Response: Specification Section and clarification notes have been added per this addendum.
- 1.12 **Question:** On Plan Sheet A1.1.0B, sheet note SN11 indicates 4'-0" W x 7'-0" H chain link gate per application #02-118112. Where is #02-118112 located in the plans? There are no specifications for the chain link gate, please provide one for the chain link gate. Will this gate require panic hardware?
Response: This gate is existing to remain. Please see modification to verbiage above.
- 1.13 **Question:** On Plan Sheet A1.1.0C and in the spec section Decorative Metal Fence and Gates, neither in the plans or specs does it specify the height of the decorative metal fence. Please verify the height. The plans are a bit unclear indicating the new fence line and what is the existing on site. Please verify where the decorative metal fence is to be installed in a drawing.
Response: No new ornamental metal fencing is indicated on Sheet A1.1.0C. There is no new ornamental metal fencing in the project.
- 1.14 **Question:** The project specification does not indicate the subcontractor's insurance requirements or if there is any testing required for subcontractor employees prior to working on this project. Please provide insurance, testing information and any other requirements for subcontractors that is needed for this project.
Response: Please refer to the general conditions section 13.1.3 of Document 00 72 13 -34 for information regarding subcontractor's insurance. There are no COVID testing requirements required and DOJ clearance to be certified with the General Contractor.

PART E – List of Attachments

- 1.15 Pre-bid Conference & Site Visit Agenda (1 Page)
- 1.16 Pre-Bid Conference & Site Visit - Sign-In Sheet (2 Pages)
- 1.17 Specification Section 09 9100 Painting – ADDENDUM 01 (12 pages)
- 1.18 AD1.01 (1 page)
- 1.19 AD1.02 (1 page)
- 1.20 AD1.03 (1 page)

End of Addendum

**Lodi Unified School District Lunch Shelter Projects
Morada Middle School and Heritage Elementary School
Project No. 0944-8244 & 0916-8216
PRE-BID CONFERENCE & SITE VISIT AGENDA**

Date: Wednesday, October 6, 2021 **Time:** 1:00 p.m.
Schools: Morada Middle School and Heritage Elementary School
Bid Date: **Tuesday, October 26th, 2021 by 2:00:00 p.m. at the LUSD Maintenance & Operations Building at 880 N. Guild Ave. Lodi CA. 95240.**

- I. Meeting Called to Order**
- II. Introduction of Project Team**
 - A. District Representative, Vicki Brum and Joe Patty - Planning & Facilities
 - B. Capital Program Management, Sharon Thomas and Mark Rosson
 - C. RGA, Architect Jennifer Huang,
- III. Bidding Documents:** Available from District <https://www.lodiUSD.net/district/departments/business-services/facilities-and-planning>. Also available at the Valley Builder's Exchange.
- IV. Contracting Format:** (1) Prime Contract
- V. Scope of Work Description(s):** Document 01 11 00 Part 1.02 Summary of Work and Drawings
- VI. Engineer's Estimated Budget:** Morada MS: **\$560,000**, Heritage ES: **\$495,000**
- VII. Bidding and Contract Award Requirements:**
 - A. License requirement(s): A or B
 - B. Bid Bond or Certified Check, 10% of bid
 - C. Prevailing Wages - certified payrolls, payroll records and other documents shall be required along with your progress billings: www.dir.ca.gov/dlsr/DPreWageDetermination.htm
 - D. DIR Registration of Contractor & Subcontractors (See General Conditions, Section 00 72 13)
 - E. Disabled Veterans Business Enterprise (DVBE – Section 00 45 46.02)
 - F. Bond and Insurance Requirements (See General Conditions, Section 00 72 13)
 - G. Bid Form (See Bid Form, Section 00 41 13):
 1. Completed Forms
 2. Iran Contracting Act Document required (Document 00 45 19.01)
 3. No faxes, phone or email bids
 4. Bids good for 90 days
 - H. Pre-Qualified Bid Requirements - <https://pqbids.com/lodi/>
- VIII. Inspection Procedures:** DSA Project Inspector: TBD
- IX. Project Schedule:** See Document 00 01 20 List of Schedules. Start date of Construction is June 4, 2024 with a completion date of July 23, 2022.
- X. Department of Justice (DOJ) Clearance, Badges and Security:** District Protocols. DOJ clearance for Supervisors and Safety Vest and Hard Hats to be worn at all times for work crew. No badge issuance for these projects.
- XI. Site Information:**
 - A. Contact: Sharon Thomas; 916-213-8846
 - B. Site access, temporary facilities, staging areas and parking
 - C. Conduct on school premises: No dialogue or contact with students, no smoking or tobacco and all employees on site are to conduct themselves professionally.
 - D. Contractor's working hours: 7:00 am - 3:30 pm Monday through Friday. Saturday work may be required to meet the schedule.
 - E. Contractor's supervision: The designated Superintendent must be present at all times when subcontractors or self-performance work is taking place.
- XII. Owner Meetings:** Weekly date, time and location TBD.
- XIII. Questions**
- XIV. Adjournment**

Important note: Responses to inquiries and discussions occurring at this pre-bid walk-through shall in no way change or modify the bid documents. The bid documents will be affected only by addenda issued prior to the bid date.

Send written inquiries by EOB October 15, 2021 to: Sharon Thomas email: sharont@capitalpm.com.

**Lodi Unified School District
SIGN-IN SHEET FOR LUNCH SHELTER
Morada MS 0944-8244 and Heritage ES 0916-8216**

Wednesday, October 6, 2021
1:00 P.M.

Company Name & Representative	Company Street Address	Phone #	E-Mail	INITIAL		
				Heritage ES Check In	Morada MS Check In	
Park Planet	415 Elm Street	530-852-1363	misha@parkplanet.com	MH	MH	x
BURKE construction	15115 TORREY PINES CIR	559-232-6181	JBURKE@BURKECONSTRUCTION.COM	JB	JB	x
Burke Construction	15115 Torrey Pines Cir	916 764 1268	jkochlersteel@aol.com	JK	OK	x
RBH CONSTRUCTION INC	2795 E. Bidwell St	916	Rich@RBHCONSTRUCTION.NET	RBH	RBH	x
RICH HARTMAN PROBUILDERS	Fulson CA 95630	835-8642				
ROBERT LEWIS	7030 DRYWOOD WY ORANGEVALE 95662	916 225 0373	ROBERT@SACPROBUILDERS.COM	RL	RL	x
BRCO Constructors MATT ROTH	3650 Cincinnati Ave Rocklin, CA 95875	916 253 9373	mroth@goBRCO.com	MR	MR	x
AM Stephens Construction Steve Pritchard	1717 S. Stockton St. Lodi, CA	916-768-6710	sr@amstephens.net	SP	SP	x
STEVE ADAMS ^{BEE LINE}	1094 SANGUINETTI LN STOCKTON	209 914 9882	STEVE.ADAMS@BEE LINE CONCRETE.COM	SA	SA	x
DieDe Construction Jake DieDe		209-365-8255	Estimating@DieDeConstruction.com	JD	JD	x
	12393 N. HWY 99 Frontage RD Lodi, CA 95240					

Sheet 1 of 2

Lodi Unified School District
SIGN-IN SHEET FOR LUNCH SHELTER
Morada MS 0944-8244 and Heritage ES 0916-8216

Wednesday, October 6, 2021
1:00 P.M.

Company Name & Representative	Company Street Address	Phone #	E-Mail	INITIAL	
				Heritage ES Check In	Morada MS Check In
American River Construction, Inc. Melissa Walker	5465 Merchant Circle Suite #1 Placerville, CA 95667	530-621-1785	arc arcids@sbcglobal.net	MW	MW
B.2 Const Robert Fehl	2204 Fairview Dr Colton, CA 95327	209-531-1252	Robert@B-2 Const. com	RF	RF
United Pavement Maintenance Inc. Xavier Ruvalcaba	7017 Hughson Ave Hughson, CA 95326	(209) 380-9847	Xavier@asphaltPavingPros.net	JK	JK
Jared Williams Sinclair General	P.O. Box 1453	209 847-6100	cbutler@sinclairconstructioninc.com	JW	JW
CARLOS DELEON All American Const.	2048 PASEO ROAD LIVE OAK CA.	530 617-5111	AERICK@All-American Construction Inc. com	DS	DS
Joe Patty; LUSD Facilities				✓	✓
Marc Karm; LUSD M&O				✓	✓
Jeff Culbertson; LUSD M&O				✓	✓
Sharon Thomas Capital Prog. Mgmt.			sharont@capitalpm.com	✓	✓
Jennifer Huang Rainforth Grau Architects				✓	✓

Sheet 2 of 2

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes: Painting and painter's finish on all exposed exterior and interior surfaces, except prefinished items and unless otherwise noted, as required to complete finishing of the Work. The Work includes, but is not necessarily limited to, the following specific items:
 - 1. Paint, stain or otherwise finish all new surfaces.
 - 2. Back priming of concealed surfaces, except as otherwise specified.
 - 3. Paint, repaint or finish of existing painted surfaces altered, defaced or damaged as a result of work of this Contract.
 - 4. Paint site items which are not prefinished, including posts, screens, panels, bollards, supports, rails and other similar improvements.
 - 5. Mechanical and plumbing vents on roof.
 - 6. Unpainted or unfinished exposed building components, pipes and conduit, including sprinkler piping, and metal ductwork, which run exposed across finished or painted surfaces.
- B. Surface treatment, priming and coats of paint specified in this Section are in addition to shop priming and surface treatment specified under other Sections unless otherwise noted.
- C. Items Not Included in This Section:
 - 1. Factory and shop-prefinished items as specified in various Sections.
 - 2. Painting specified elsewhere and included in respective Sections, including but not necessarily limited to shop priming.

1.2 WORK NOT TO BE PAINTED UNLESS OTHERWISE INDICATED

- A. Exposed exterior concrete and concrete slab surfaces, except as noted.
- B. Unfinished masonry, except where noted.
- C. Suspended acoustical ceilings and acoustical tile, except as noted.
- D. Pre-finished casework and other factory and shop-prefinished items as specified in various Sections.
- E. Finish hardware except prime coated items.
- F. Items typically not to be painted including, but not limited to, the following:

PAINTING
SECTION 09 9100
20-1421

Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01

1. Glass.
 2. Ceramic tile.
 3. Membrane roofing.
 4. Safety nosings.
 5. Resilient floor covering and base.
 6. Carpet.
 7. Pre-finished paneling.
 8. Plastic laminate.
 9. Porcelain enamel.
 10. Vinyl wallcovering, except where noted.
- G. Aluminum doors, windows, frames and railings.
- H. Metal or plastic toilet partitions.
- I. Items of chromium, copper, nickel, brass, bronze or stainless steel.
- J. Surfaces in concealed areas such as furred spaces.
- K. Tops of gravel stop flanges (including priming) where roofing material will be adhered to.
- L. Wall areas concealed by cases, counters, cabinets, chalkboards, tackboards (prime coat only required).
- M. Piping or conduit including brackets and similar items therewith running on or across unpainted or otherwise unfinished walls or ceilings.
- N. Galvanized gratings, recessed foot grilles, and thresholds.
- O. Structural steel scheduled to receive fireproofing.

1.3 RELATED REQUIREMENTS

- A. Section 01 6116, Volatile Organic Compound (VOC) Restrictions; for VOC limits pertaining to adhesives, sealants, fillers, primers, and coatings.
- B. Section 13 3411, Pre-Engineered Shade Structures.

1.4 REFERENCES AND STANDARDS

- A. California Building Code (CBC), edition as noted on the Drawings.
- B. California Green Building Standards Code, edition as noted on the Drawings.
- C. ASTM International (ASTM):

**Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01**

1. D523: Standard Test Method for Specular Gloss.
2. D4263: Standard Test Method for Indicating Moisture in Concrete by the Plastic Sheet Method.

D. Master Painters Institute (MPI):

1. Architectural Painting Manual Guide Specification.

1.5 ADMINISTRATIVE REQUIREMENTS

A. Submittal Procedures:

1. Action Submittals and Informational Submittals shall be submitted in accordance with Section 01 3300, Submittal Procedures.
2. Closeout Submittals shall be submitted in accordance with Section 01 7700, Closeout Procedures.
3. Sustainable Design Submittals shall comply with the additional requirement of Section 01 8113, Sustainable Design Requirements.

1.6 ACTION SUBMITTALS

A. Product Data: Submit list and complete descriptive data of products proposed for use. Include manufacturer's specifications, published warranty or guarantee, and application instructions. Cross-reference to paint system and locations of application areas.

B. Samples:

1. Appropriately label and identify each sample, including location and application. Include Architect's number as scheduled on the Drawings, manufacturer's name, color number, and gloss units.
2. Prepare on 8 inch x 10 inch card stock for selected colors and finishes.
3. Submit sufficiently ahead of work progress to allow for color board assembly and distribution.
4. Resubmit as requested until required sheen, color, and texture are approved.

C. Sustainable Design:

1. Product Data – VOC Limits: For adhesives, sealants, fillers and primers, documentation including printed statement of VOC contents to verify compliance with limits specified in Section 01 6116.

1.7 INFORMATIONAL SUBMITTALS

A. Statement of applicator qualifications.

**Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01**

1.8 CLOSEOUT SUBMITTALS

- A. Guarantee: Submit executed guarantee and Subcontractor's guarantee.
- B. Maintenance materials as specified.

1.9 MAINTENANCE SUBMITTALS

- A. At completion of the Work, deliver to Owner extra stock of paint of each color used in each coating material used.
- B. Containers shall be full, tightly sealed, and clearly marked.
- C. Provide the following quantities:
 - 1. Each paint color: 1 one-gallon container.

1.10 QUALITY ASSURANCE

- A. Use only new materials and products.
- B. Materials, components, assemblies, workmanship and installation are to be observed by the Owner's Project Inspector. Work not so inspected is subject to uncovering and replacement.
- C. Materials and application procedures shall comply with local, state and federal air pollution control regulations.
- D. Source Quality Control: Material shall be best grade products of type specified and listed below as regularly manufactured by these manufacturers. Materials not bearing manufacturer's identification as standard "best grade product" of their regular line will not be considered for use.
- E. Single-Source Responsibility:
 - 1. To the maximum extent practicable, select a single manufacturer to provide all materials required by this Section, using additional manufacturers to provide systems not offered by the selected principal manufacturer.
 - 2. For each individual system:
 - a. Provide primer and other undercoat paint produced by same manufacturer as finish coat.
 - b. Use thinner within manufacturer's recommended limits.
- F. Manufacturer's representative from coating supplier shall visit the site prior to application to review and approve the specified systems. Discrepancies or recommended changes shall be submitted to the Architect for consideration prior to finalization of submittal.

**Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01**

1.11 DELIVERY, STORAGE AND HANDLING

- A. Deliver undamaged products to job in manufacturer's sealed containers and/or original bundles with tags and labels intact.
- B. Store materials in protected, dry conditions off of ground and in areas which will not interfere with the progress of the work.
- C. Transport, store and handle in strict accord with the manufacturer's written recommendations and as specified below.
- D. Take precautions to prevent fire. Remove paint-soiled rags and waste from premises at end of each day's work or store in metal containers with metal covers.
- E. Store paint at site in separate structure not less than 60 feet from any other building or structure. Remove empty containers and soiled rags as they accumulate. At completion, remove structure, cleanup area, and leave in original condition.

1.12 FIELD CONDITIONS

- A. Do not apply paints and coatings under conditions which jeopardize quality or appearance of painting or finishing.
- B. Cover or otherwise protect finished work of other trades and surfaces not being painted concurrently or not to be painted.
- C. Exterior:
 - 1. Comply with manufacturer's recommendations as to environmental conditions under which coatings and coating systems can be stored and applied.
 - 2. Do not apply exterior paint when air or surface temperature is under 50 degrees F or when air or surface temperature will be below 50 degrees F for 48 hours after painting.
 - 3. Do not apply immediately following snow, rain, dew or during foggy weather.
 - 4. Do not apply when temperature is over 85 degrees F except in protected or shaded areas.
- D. Use moisture meter for determining proper moisture levels of surfaces for painting.
- E. Report to Architect in writing upon discovery of any prime coat painting specified in other Sections of Specifications that would prevent proper application of specified finish.
- F. Furnish, erect and remove scaffolding and planks required for work under this Section. Conform to state and local codes, rules and regulations.

**Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01**

1.13 GUARANTEE

- A. Contractor: In addition to its standard Guarantee under the Contract, Contractor shall guarantee that paint colors shall be substantially unchanged and finishes shall maintain their original adherence without showing blisters, flaking, peeling, scaling, staining or unusual deterioration or other defects.

PART 2 - PRODUCTS

2.1 DESIGN AND PERFORMANCE CRITERIA

- A. Sustainable Design:
 - 1. VOC Limits for field-applied fillers, coatings and primers shall comply with limits specified in Section 01 6116.

2.2 MANUFACTURERS AND COATING PRODUCTS

- A. Products are specified under "Paint Systems" in Part 3 below and are manufactured by Kelly-Moore and Tnemec as indicated. Equivalent products manufactured by PPG Glidden Professional, Benjamin Moore & Co., Sherwin-Williams, Dunn-Edwards, Vista, or equal are acceptable.
- B. Materials selected for coating systems for each type surface shall be the product of a single manufacturer or shall be acceptable to manufacturer of finish coating for system.
- C. If more than one quality level of product type is marketed, use material of highest quality.

2.3 MIXING AND TINTING

- A. Deliver paints and stains ready mixed to jobsite. On-site color mixing or tinting will not be allowed.
- B. Each kind of coating for paint finishes shall be factory-mixed to match approved samples, colors, ready for immediate application.
- C. Mix proprietary products in strict accordance with manufacturer's printed directions
- D. Thinning, if permitted by manufacturer for a specific coating, shall be in accordance with manufacturer's instructions. Thinning of other products shall be in accordance with standard practice.

2.4 COLORS

- A. Architect will prepare a color schedule with samples for guidance of painter and reserves right to select, allocate, and vary colors on different surfaces throughout building.

PAINTING
SECTION 09 9100
20-1421

Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01

1. Colors selected by Architect may be from manufacturer's full range standard palette or be custom mixed.
 2. Unless otherwise indicated on the Drawings, different colors will be selected for different materials such as walls, trim, and doors.
- B. Colors to be selected by the Architect, or where scheduled on the Drawings, are solely for the purpose of conveying color information and do not imply manufacturer's approval or waiver of the requirement that all coatings be from the same manufacturer, unless a specific system is not available from the primary manufacturer.]

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Prior to the work of this Section, carefully inspect and verify that the installed work of all other trades is complete to the point where this work may properly commence.
- B. Verify that painting may be performed in accordance with the approved design.
- C. In the event of discrepancy, immediately notify Architect. Do not proceed in discrepant areas until discrepancies have been fully resolved.

3.2 PREPARATION

- A. General:
 1. Surface preparation and product application shall be in accordance with manufacturer's printed instructions.
 2. In addition to prime coats indicated (primer, sealer, filler, undercoat), use two (2) finish coats minimum, and additional coats as required for complete coverage and good appearance of scheduled finish coat.
 3. Surfaces to receive new finish shall be properly prepared prior to application of finish coatings.
 4. Do not apply paint, enamel, stains or varnishes to wet, damp, dusty, finger-marked, rough, unfinished, or defective surfaces until such defects have been corrected.
- B. Metals:
 1. On metal work, only such sanding will be required as is necessary to provide for complete bonding of coats.
 2. Steel and ironwork shall be scraped clean of scale, and rust and any grease shall be entirely removed.
 3. Touch-up scratched and damaged places on metal priming coats.
 4. Galvanized or zinc-coated metal shall be given an approved acid treatment 48 hours before paint is applied.

PAINTING
SECTION 09 9100
20-1421

Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01

5. Prep and prime coat factory or shop primed metal products, including metal doors and frames, exposed framing, and other exposed metal if material was not shop primed.
 6. Metal surfaces receiving epoxy coatings shall have stripe coat applied at all welds, edges, joints, etc., with epoxy primer prior to application of primer.
- C. Surfaces that cannot be prepared or painted as specified, or to level required by the coating manufacturer, shall be immediately brought to the attention of the Architect, in writing.
1. Starting of work without such notification will be considered acceptance by the Contractor of surfaces involved.
 2. Replace unsatisfactory work caused by improper or defective surfaces, as directed by Architect.

3.3 CAULKING

- A. Caulk all cracks in finished surfaces.
- B. Seal around any wall openings where original sealant is not fully sealing.
- C. Provide 3/8-inch sealant around all round steel columns at concrete base prior to painting.
- D. Provide sealant at material transitions and intersections as required.

3.4 PROTECTION

- A. Hardware, fixture canopies, outlet covers, switch plates and other such items shall be removed or loosened and replaced after completing work as required for painting and finishing. Protect items until reinstalled.
- B. Protect work and work of others during progress against damage. Leave such work clean and whole. Correct damage by cleaning, repairing, replacing or repainting as directed.
- C. Provide necessary drop cloths for protection of work. Cover finished surfaces adjacent to work.

3.5 APPLICATION

- A. General:
 1. Do not apply initial coating until moisture content of surface is within limitations recommended by paint manufacturer.
 2. Apply coatings in accordance with manufacturer's recommendations.

PAINTING
SECTION 09 9100
20-1421

Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01

3. Flow coat on evenly and well brushed in. Should dead spots occur, touch-up before next coat is applied. Should spots or cracks burn through after final coat is applied, apply additional coats to entire surface as necessary to remedy defects.
 4. Rate of application shall be within limits recommended by paint manufacturer for surface involved.
- B. Thicknesses: Rate of application shall be within limits recommended by paint manufacturer for surface involved and comply with the following.
1. Paint materials shall be applied in manner to average 1.5 to 3 Dry Mils in thickness for the total number of coats scheduled.
 2. Provide Tooke Dry Mill Coating Inspection Gauge manufactured by Micro Metrics Company to the Project Inspector for inspection of finished coating systems if requested.
- C. Refinish whole area where portion of finish is not acceptable.
- D. Adjust natural finishes as necessary to obtain identical appearance on veneers and solid stock.
- E. Equipment adjacent to walls shall be disconnected, using workers skilled in appropriate trades, and moved to permit wall surfaces to be painted. Following completion of painting, they shall be expertly replaced and reconnected.
- F. Top and bottom edges of all doors shall receive same paint system finish required for door faces.
- G. Do not paint over fire-rating labels, fusible links, or sprinkler heads.

3.6 DEFECTIVE WORK

- A. Painter shall be responsible for damage or unsuitable work, including that caused by improperly prepared surfaces. Refinishing shall be at no cost to the Owner. Repair work damaged during construction; touch-up or refinish as necessary any abraded, stained or otherwise damaged surfaces.

3.7 CLEANING AND PROTECTION

- A. Thoroughly clean any drips, splatters, spills, splashes, etc., from walls, floor or other surfaces, with no damage to those surfaces.
- B. Protect work and materials of this Section prior to and during installation, and protect the installed work and materials of other trades.
- C. In the event of damage, make all repairs and replacements necessary to the approval of the Architect at no additional cost to the Owner.

**Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01**

3.8 PAINT SYSTEMS

A. General:

1. Only major areas are scheduled, but miscellaneous and similar items and areas within room or space shall be treated with suitable system.
2. This Specification shall serve as guide and is meant to establish procedure and quality. Confer with the Architect to determine exact finish desired.
3. Number of coats scheduled is minimum. Additional coats shall be applied at no additional cost as required to hide base material completely, produce uniform color, and provide required and satisfactory finish.

- B. Gloss and Sheen Ratings: Paint gloss shall be defined as the sheen rating of applied paint, in accordance with the following limits in conformance with Master Painters Institute, Inc. (MPI) Standards according to ASTM D 523. Not all of the Gloss Levels are necessarily scheduled or used on this Project.

Gloss Level	Description	Units @ 60 degrees	Units @ 85 degrees
G1	Matte or Flat finish	0 to 5	10 max.
G2	Velvet finish	0 to 10	10 to 35
G3	Eggshell finish	10 to 25	10 to 35
G4	Satin finish	20 to 35	35 min.
G5	Semi-Gloss finish	35 to 70	
G6	Gloss finish	70 to 85	
G7	High-Gloss finish	> 85	

C. Clarification of System Terminology:

1. Interior paint Systems are specified and identified herein by initial letters "INT."
2. Exterior paint Systems are specified and identified herein by initial letters "EXT."
3. The numbers following "INT" and "EXT" for each System identifies the substrate to be coated.
4. The letter following substrate number identifies the general finish coat chemistry summarized as follows:

CODE	DESCRIPTION
A	Standard acrylic
B	Non-bridging vinyl acrylic
C	Epoxy-like acrylic
D	Semi-transparent stain
E	Elastomeric
F	High performance epoxy-like acrylic
G	Lacquer

Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01

CODE	DESCRIPTION
H	Aliphatic urethane
I	Fire Retardant Intumescent
J	Acrylic Urethane
M	Premium performance acrylic polymer

5. Initial numbers for each System identify the substrate to be coated summarized as follows with further clarification included with the System description:

CODE	DESCRIPTION
3.1	Concrete
3.2	Cement Plaster
4	Masonry
5	Metal
6	Wood
9	Gypsum Board

6. Hyphenated suffix identifies the topcoat gloss level.

3.9 EXTERIOR PAINTING SYSTEMS

EXT 5.1A-5

Acrylic over Unprimed Steel - Gloss Level 5

1 coat	5725 DTM	Metal Primer
2 coats	1215 Premium Professional	100% Acrylic Semi-Gloss

EXT 5.2A-5

Acrylic over Shop Primed Metal Doors and Frames, Steel Frame, Mechanical and Electrical Equipment, and Panels - Gloss Level 5

2 coats	5885 DTM	100% Acrylic Semi-Gloss
---------	----------	-------------------------

EXT 5.2A-6

Acrylic Urethane over Epoxy on Shop Primed Steel – Gloss Level 6

1 coat	Rust-Oleum “ROC Prime”	Single component waterborne epoxy primer
1 coat	Rust-Oleum “Metalmax Plus DTM”	Single Component Acrylic Urethane Gloss

Note: Provide additional topcoat if required to achieve manufacturer’s recommended total DFT (primer plus finish coats), or to achieve complete hiding for selected color.

PAINTING
SECTION 09 9100
20-1421

Lodi Unified School District – Lunch Shelter Project
Morada MS and Heritage ES
ADDENDUM 01

EXT 5.2H-5

High Performance Urethane over Epoxy on Shop Primed Steel – Gloss Level 5

1 coat	Devoe Bar-Rust 235V	Two-component, epoxy tinted to match color of topcoat
1 coat	Devoe Devthane 378H	Two-component aliphatic urethane

Note: Provide additional topcoat if required to achieve manufacturer's recommended total DFT (primer plus finish coats), or to achieve complete hiding for selected color.

EXT 5.3A-5

Acrylic over Waterborne Primer on Galvanized Metal – Gloss Level 5

Pretreatment	SSPC SP-1	Heavy-duty cleaner
1 coat	5725 DTM	Acrylic Primer
2 coats	1215 Premium Professional	100% Acrylic Semi-Gloss

Note: Provide pretreatment and primer if preparation and primer not applied in shop

EXT 5.3A-6

Premium Acrylic over Waterborne Primer on Galvanized Metal – Gloss Level 5

Pretreatment	SSPC SP-1	Heavy-duty cleaner
1 coat	5725 DTM	Acrylic Primer
2 coats	1250 AcryShield™	100% Acrylic Semi-Gloss

Note: Provide pretreatment and primer if preparation and primer not applied in shop

EXT 5.3H-5

High-Performance Urethane over Epoxy on Galvanized Steel – Gloss Level 5

Pretreatment	SSPC SP-1	Heavy-duty cleaner
1 coat	Tru-Glaze-WB 4030	Two-component waterborne epoxy tinted to match color of topcoat
1 coat	Devthane 378H	Two-component aliphatic urethane

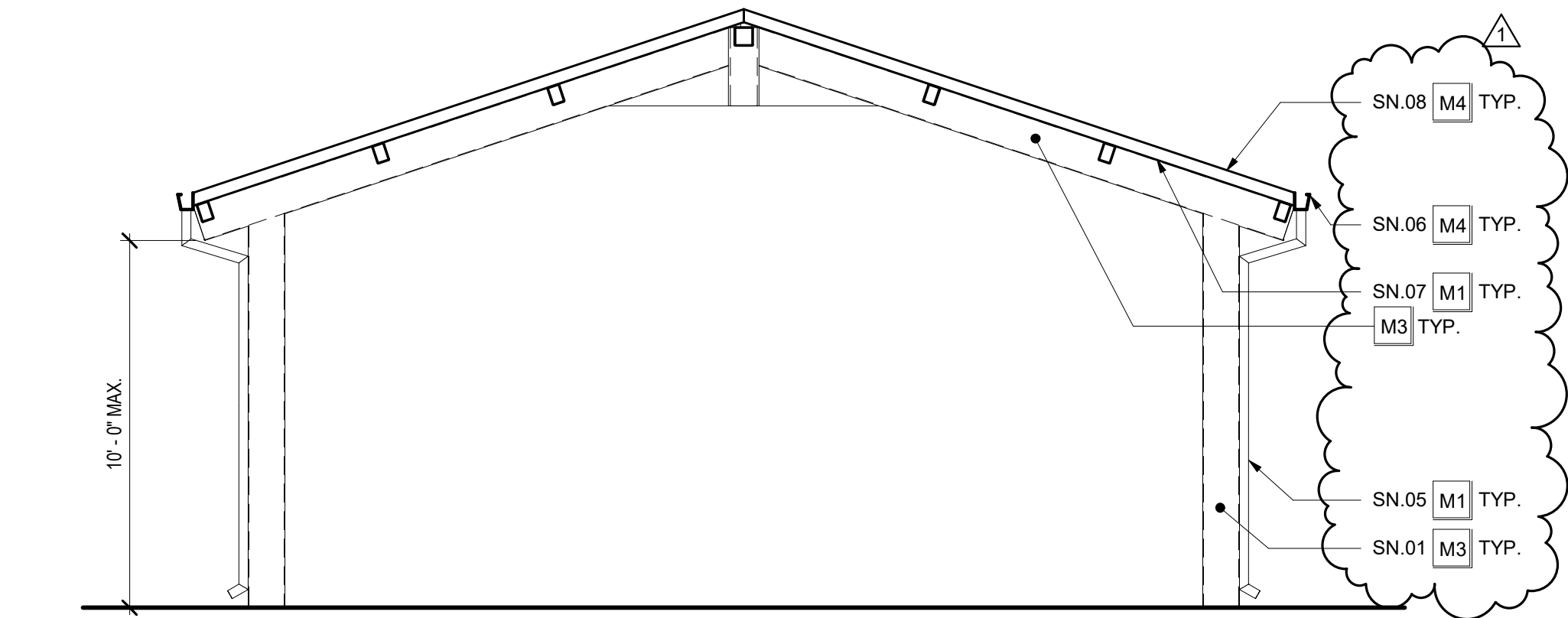
Note: Provide additional topcoat if required to achieve manufacturer's recommended total DFT (primer plus finish coats), or to achieve complete hiding for selected color.

3.10 MISCELLANEOUS PAINTING

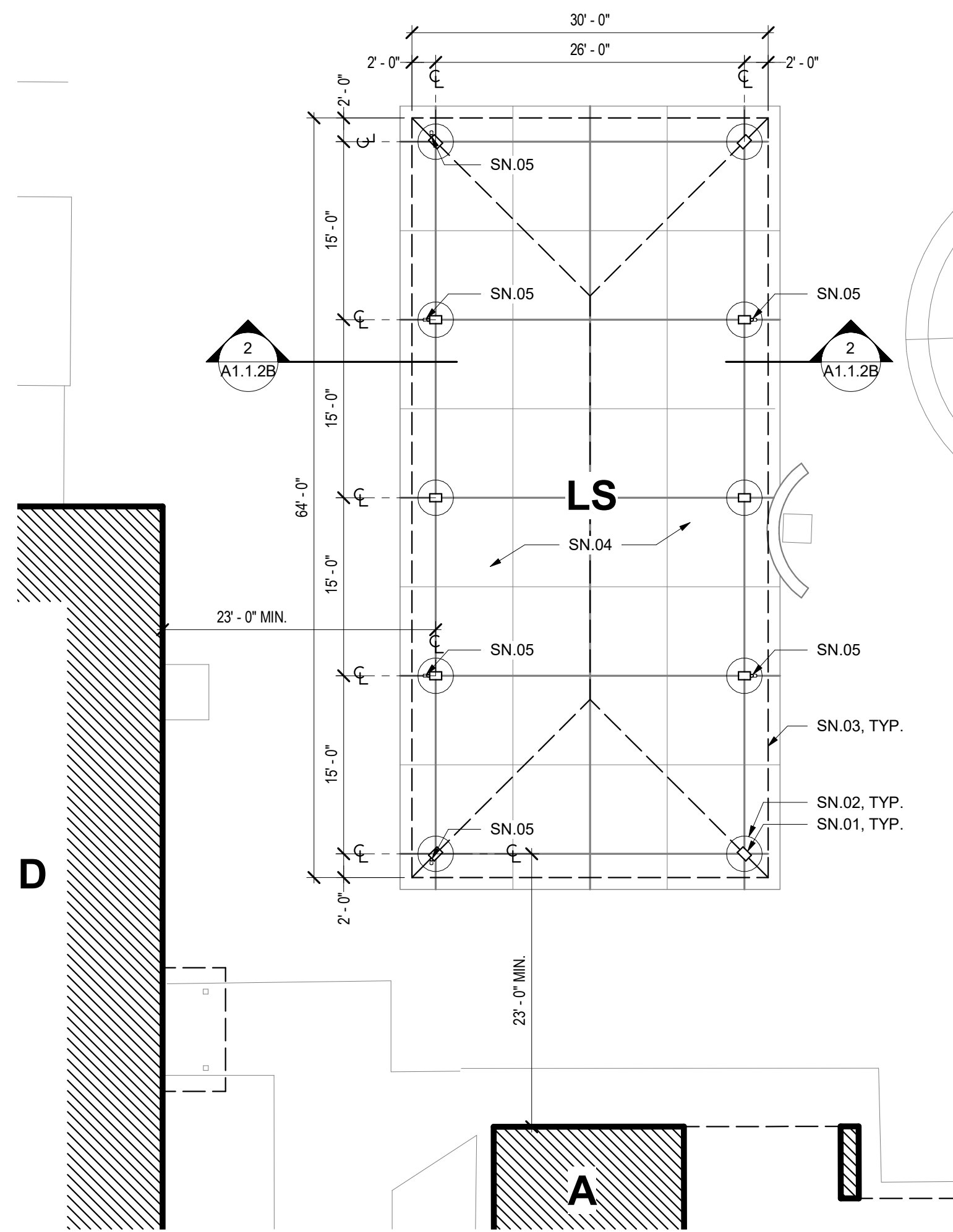
- A. Mechanical and Electrical Equipment, Conduits and Piping: Paint exposed items as scheduled using appropriate system for material and whether or not item has been factory-primed.
- B. Material Visible through Grilles, Screens, Louvers, Vents and Screens and Exposed Hardware Cloth Screening: Painted flat black to make them as unnoticeable as possible.

END OF SECTION

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2 LUNCH SHELTER - SECTION
1/4" = 1'-0"

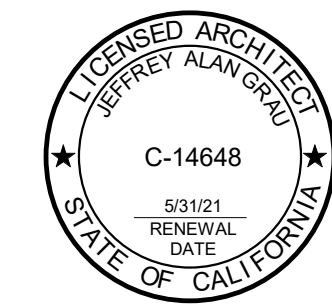


1 ENLARGED SITE PLAN - LUNCH SHELTER
1" = 10'-0"

EXTERIOR COLOR SCHEDULE		
	MATERIAL	COLOR
M1	METAL	PAINT COLOR 1 (1) (2)
M2	METAL	PAINT COLOR 2 (1) (2)
M3	METAL	PREFINISHED COLOR 1
M4	METAL	PREFINISHED COLOR 2
(1) CUSTOM COLORS TO BE SUBMITTED PER SPECIFICATIONS.		
(2) CLEAN, PREP AND PAINT ALL SURFACES NOT PREFINISHED.		

SHEET NOTES

SN.01 HSS COLUMN
SN.02 DRILLED PIER FOOTING
SN.03 ROOF OVERHANG ABOVE
SN.04 SITE WORK PER INCREMENT 1 THIS APPLICATION
SN.05 3" DIAMETER SCHEDULE 40 STEEL DOWNSPOUT, PAINTED
SN.06 PREFINISHED GUTTER AND FLASHING
SN.07 PAINT DECK UNDERSIDE
SN.08 PREFINISHED STANDING SEAM ROOF



LODI LUNCH SHELTERS - HERITAGE
ELEMENTARY SCHOOL - INCREMENT 2

LODI UNIFIED SCHOOL DISTRICT
LODI, CA

Revision		
1	Addendum 01	10/21/21

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**LUNCH SHELTER -
ENLARGED SITE PLAN
AND SECTION**

PROJECT NO.	20-1421
DATE:	5/21/2020
SHEET	A1.1.2B

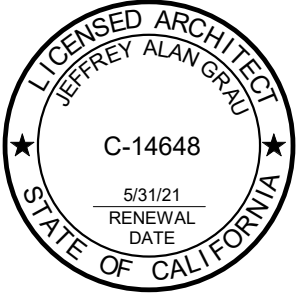
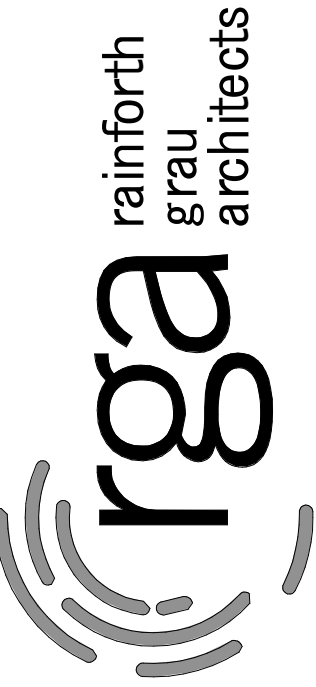
EXTERIOR
COLOR SCHEDULE

	MATERIAL	COLOR
M1	METAL	PAINT COLOR 1 (1) (2)
M2	METAL	PAINT COLOR 2 (1) (2)
M3	METAL	PREFINISHED COLOR 1
M4	METAL	PREFINISHED COLOR 2

(1) CUSTOM COLORS TO BE SUBMITTED PER SPECIFICATIONS.
(2) CLEAN, PREP AND PAINT ALL SURFACES NOT PREFINISHED.

SHEET NOTES

SN.01 HSS COLUMN
SN.02 DRILLED PIER FOOTING
SN.03 ROOF OVERHANG ABOVE
SN.04 SITE WORK PER INCREMENT 1 THIS APPLICATION
SN.05 4" DIAMETER SCHEDULE 40 STEEL DOWNSPOUT, PAINTED
SN.06 PREFINISHED GUTTER AND FLASHING
SN.07 PAINT DECK UNDERSIDE
SN.08 PREFINISHED STANDING SEAM ROOF
SN.09 CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING IRRIGATION AS REQUIRED BY NEW WORK. CONTRACTOR SHALL REMOVE AND CAP IRRIGATION UNDERNEATH CONCRETE PAD AND REROUTE IRRIGATION AS REQUIRED TO PROVIDE COMPLETE COVERAGE TO REMAINING LANDSCAPE AREAS. CONTRACTOR SHALL RESTORE LANDSCAPE AREAS TO ORIGINAL CONDITION.



LODI LUNCH SHELTERS - MORADA
MIDDLE SCHOOL - INCREMENT 2

LODI UNIFIED SCHOOL DISTRICT
STOCKTON, CA

Revision		
1	Addendum 01	10/21/21

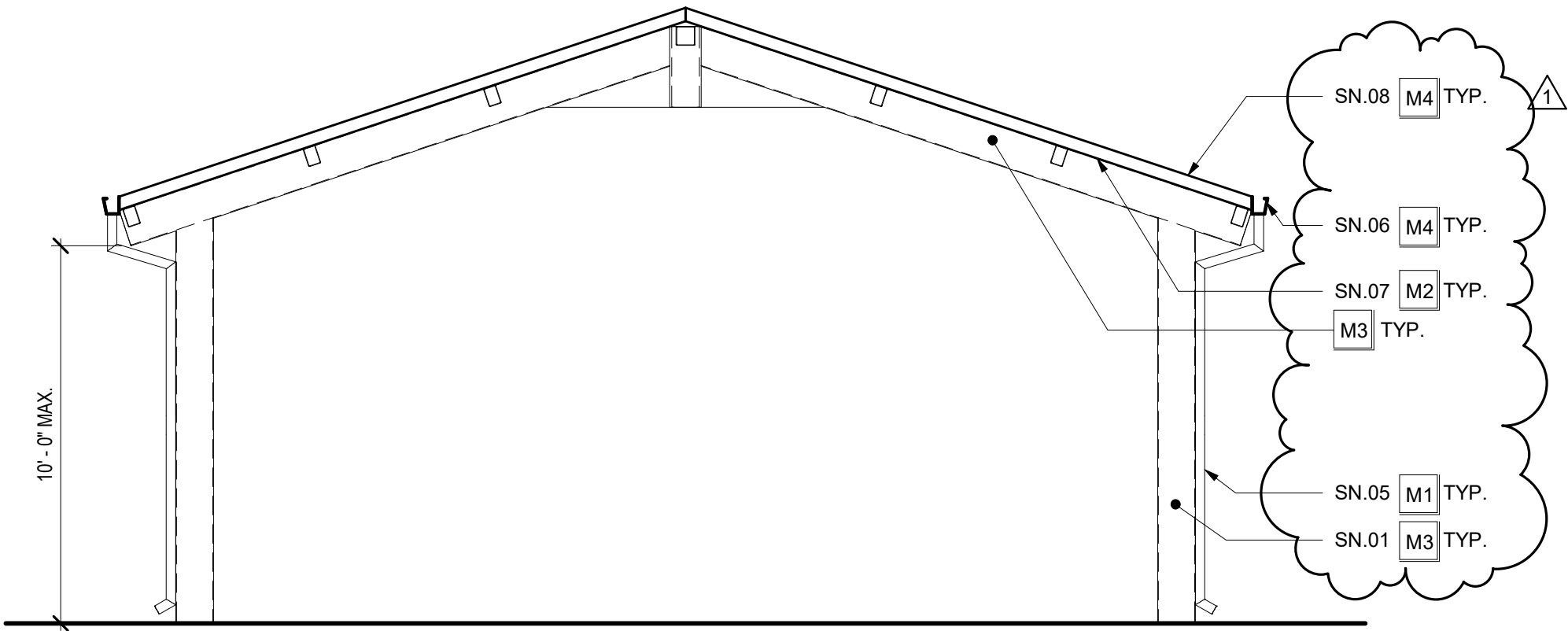
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LUNCH SHELTER -
ENLARGED SITE PLAN
AND SECTION

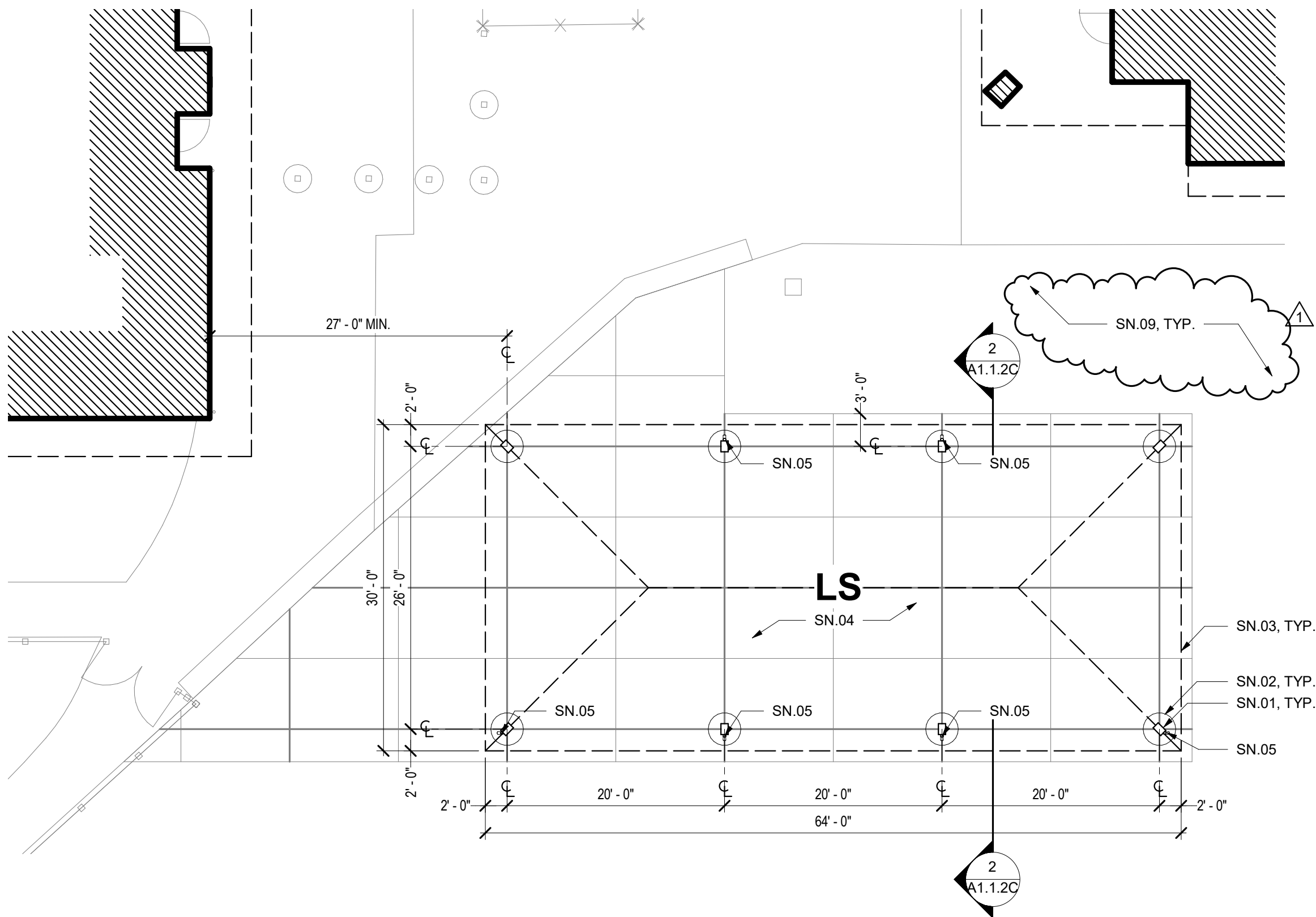
PROJECT NO.	20-1421
DATE:	5/7/2020
SHEET	

A1.1.2C

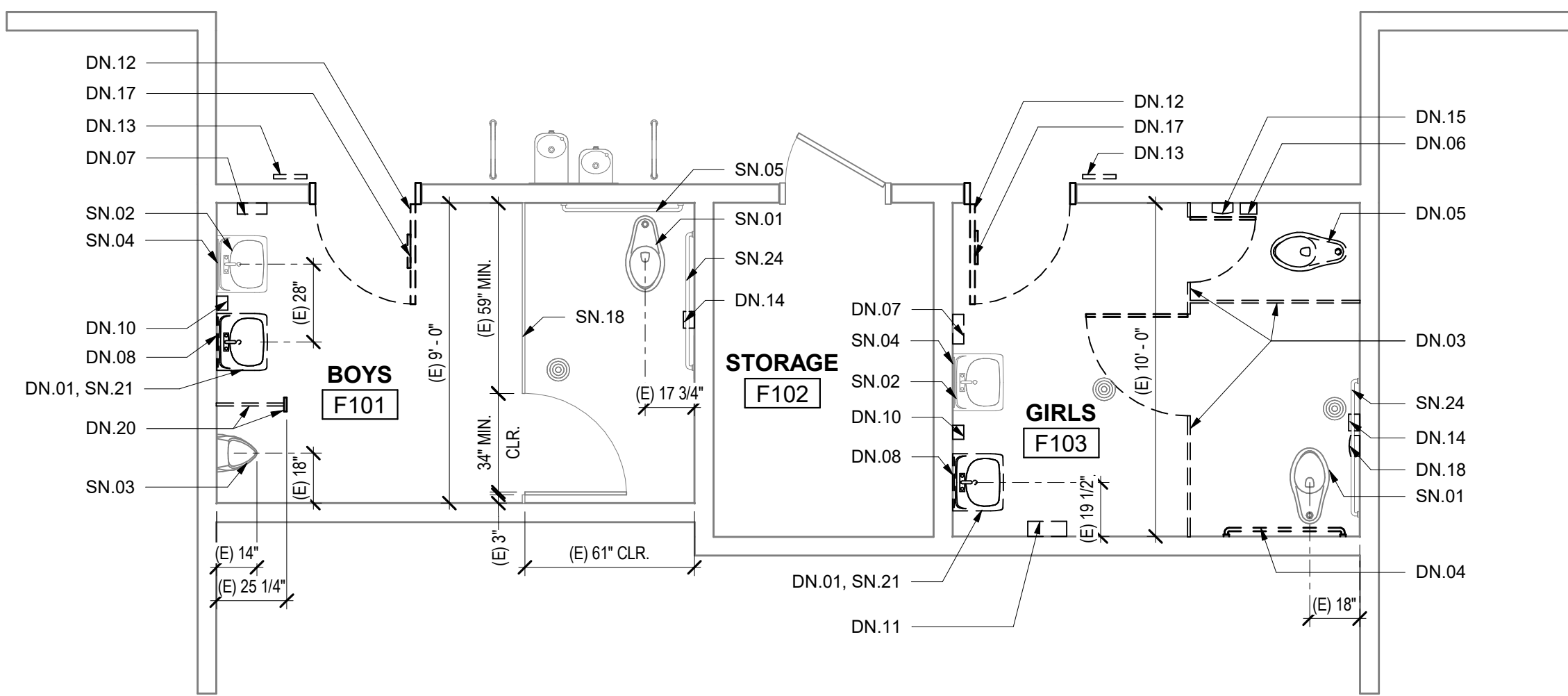
AD1.02



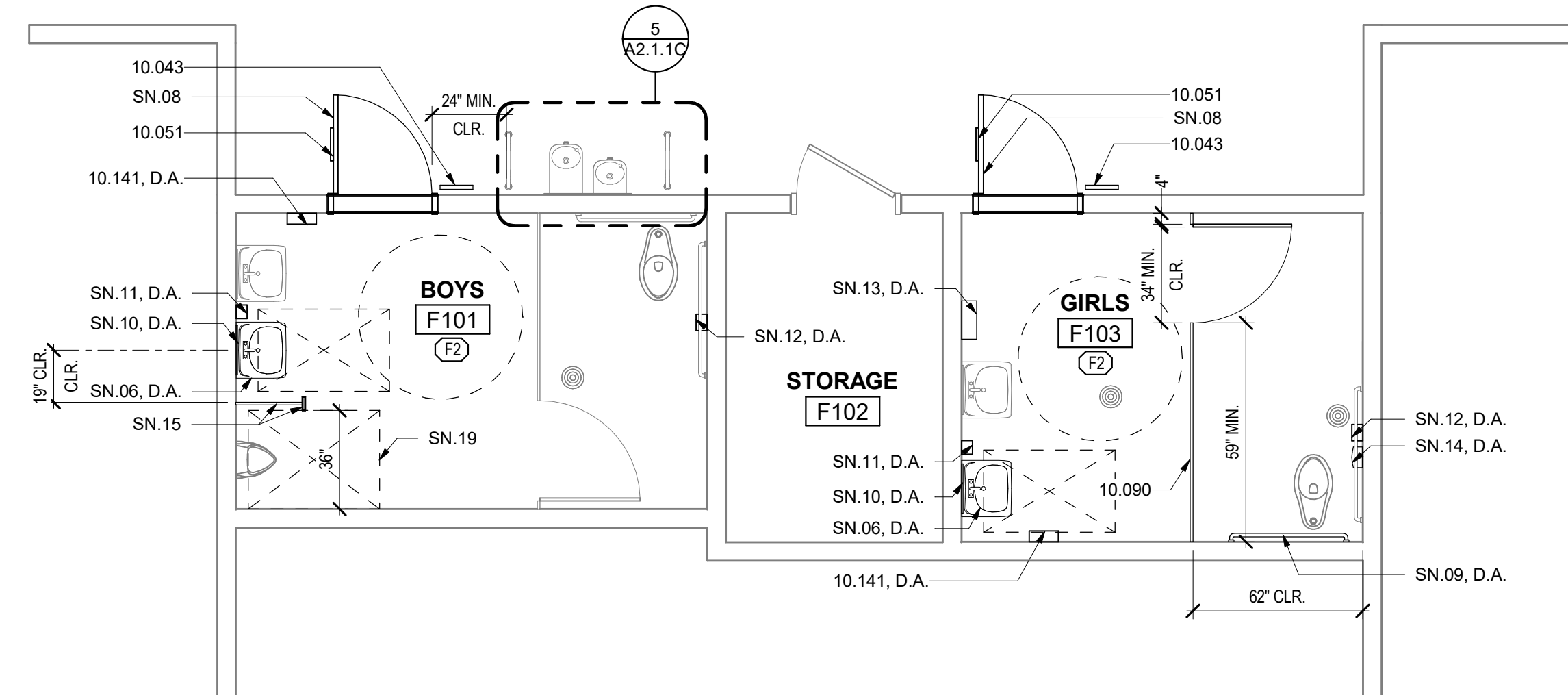
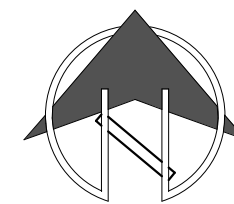
2 LUNCH SHELTER - SECTION
1/4" = 1'-0"



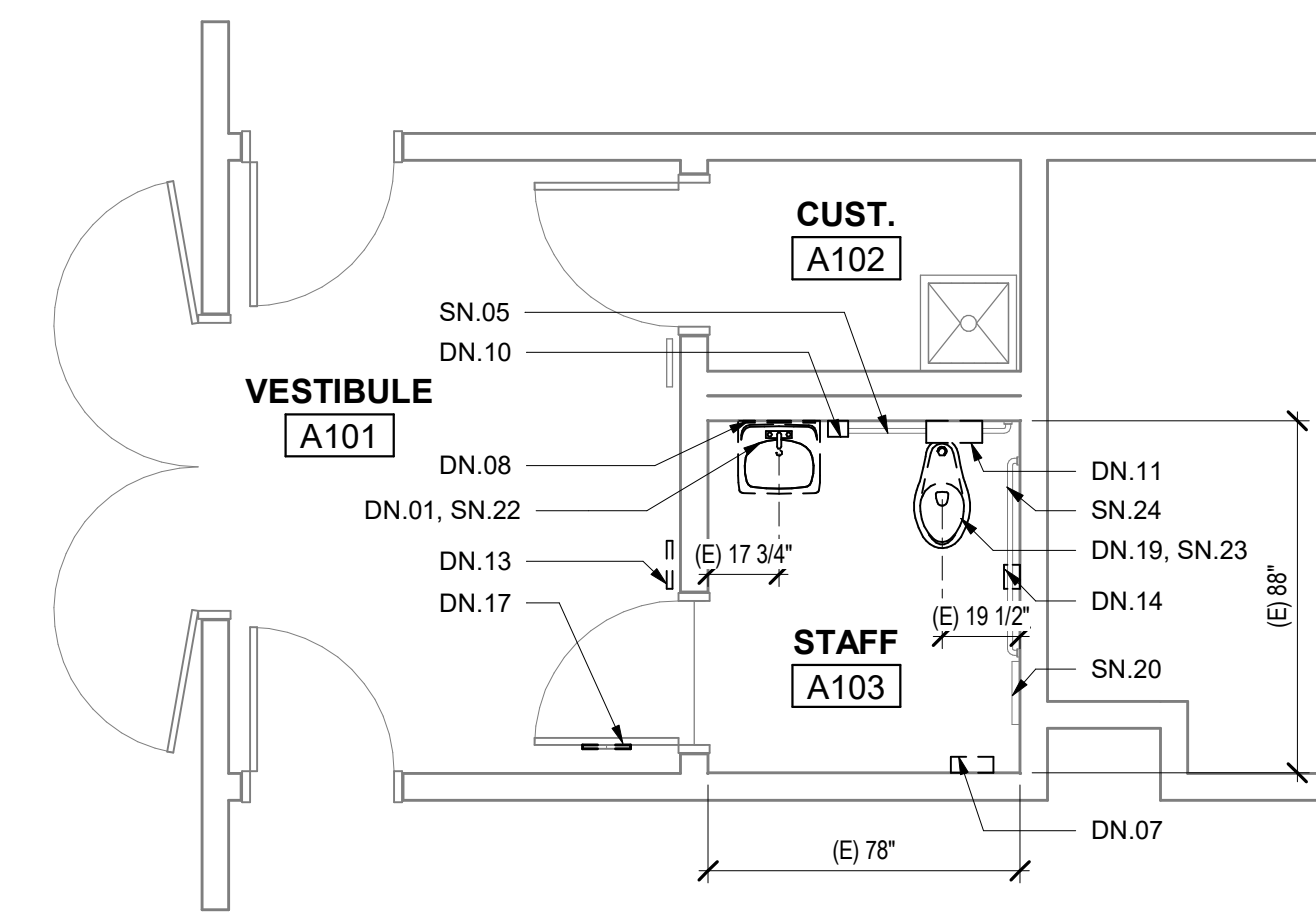
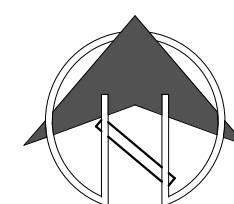
1 ENLARGED SITE PLAN - LUNCH SHELTER
1" = 10'-0"



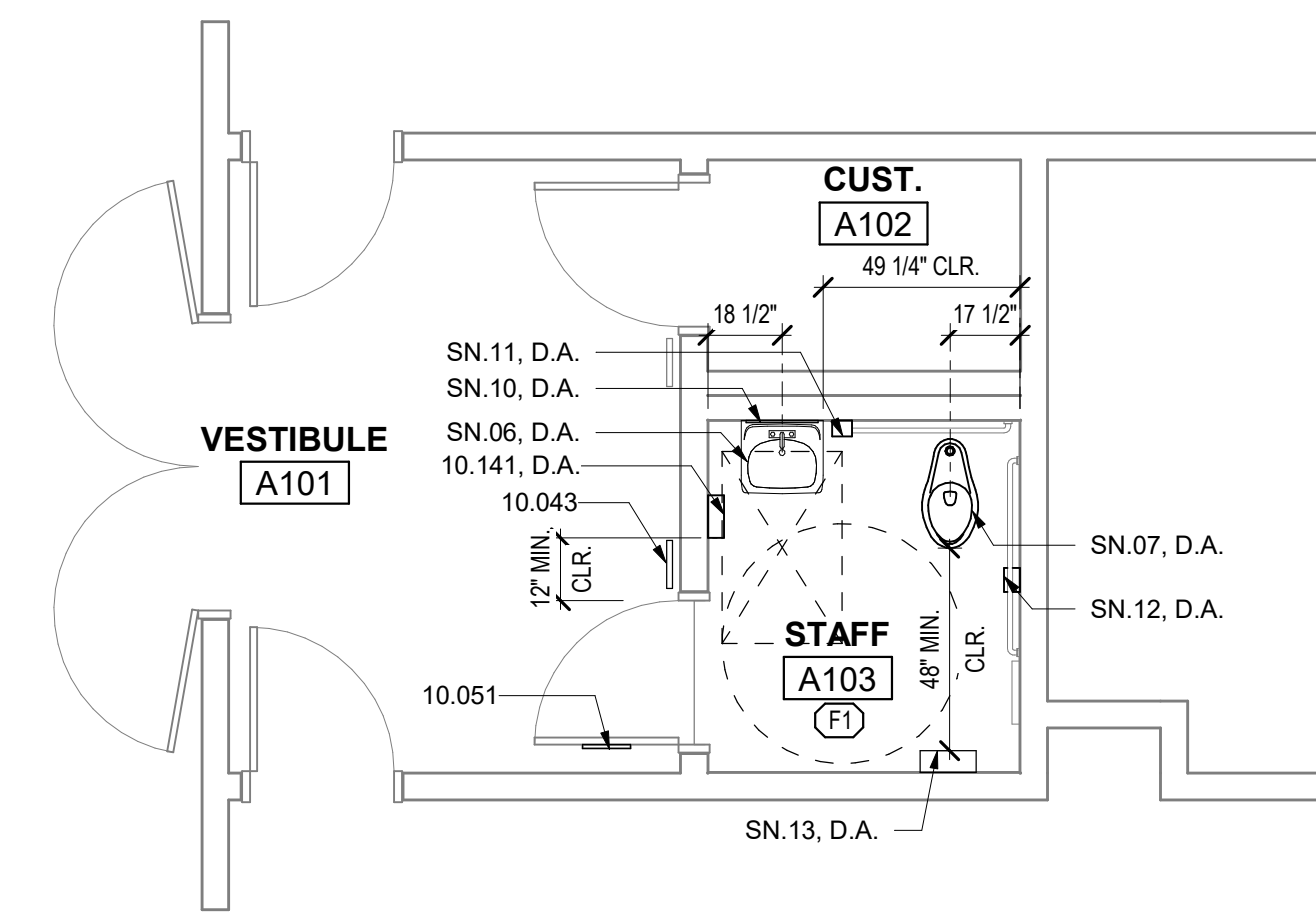
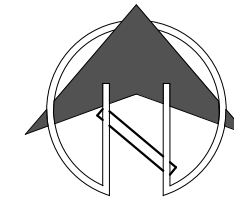
1 BOYS AND GIRLS DEMOLITION
1/4" = 1'-0"



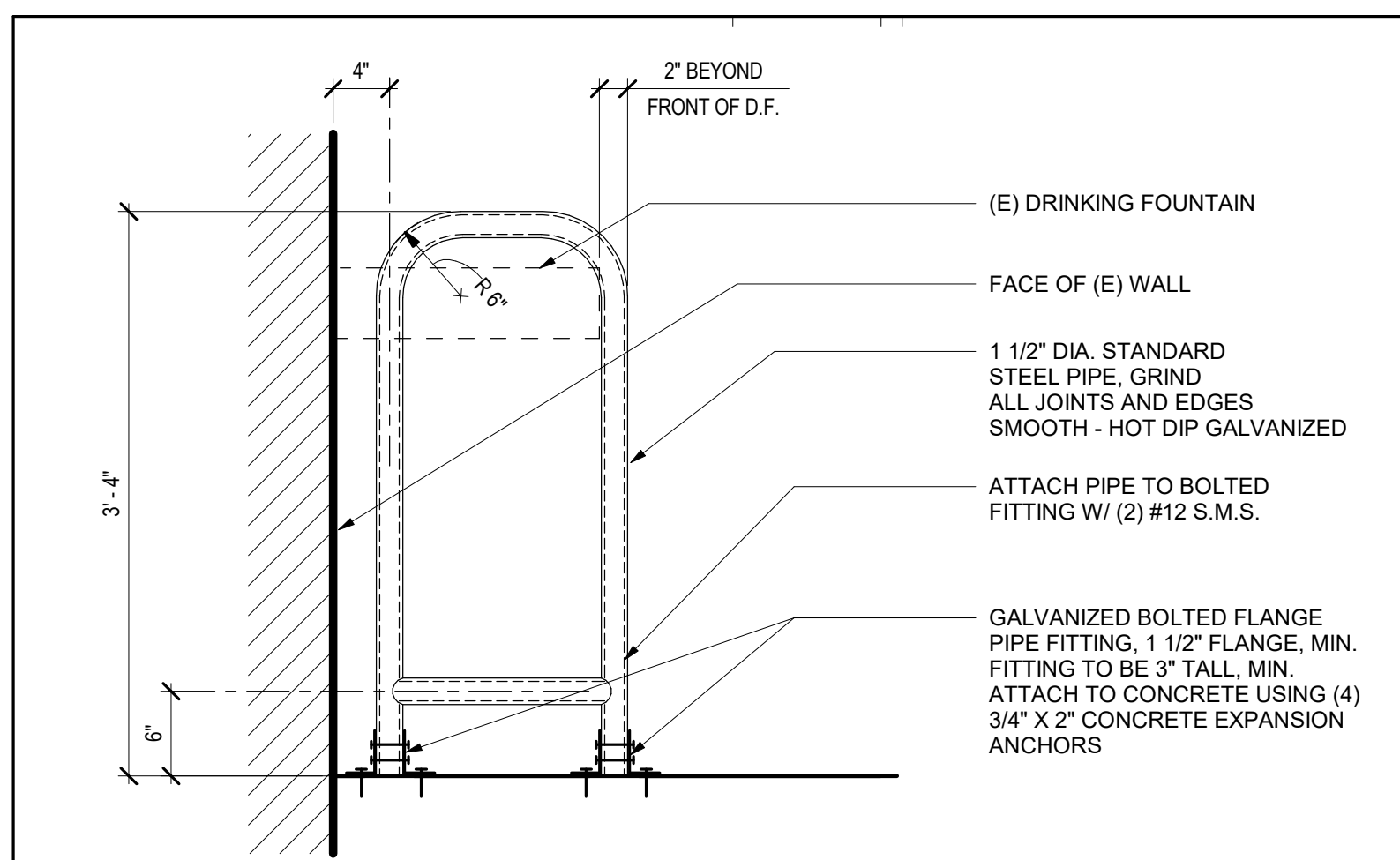
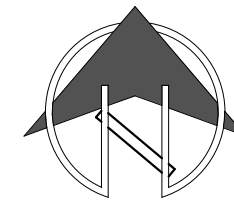
2 BOYS AND GIRLS IMPROVEMENT
1/4" = 1'-0"



3 STAFF DEMOLITION
1/4" = 1'-0"

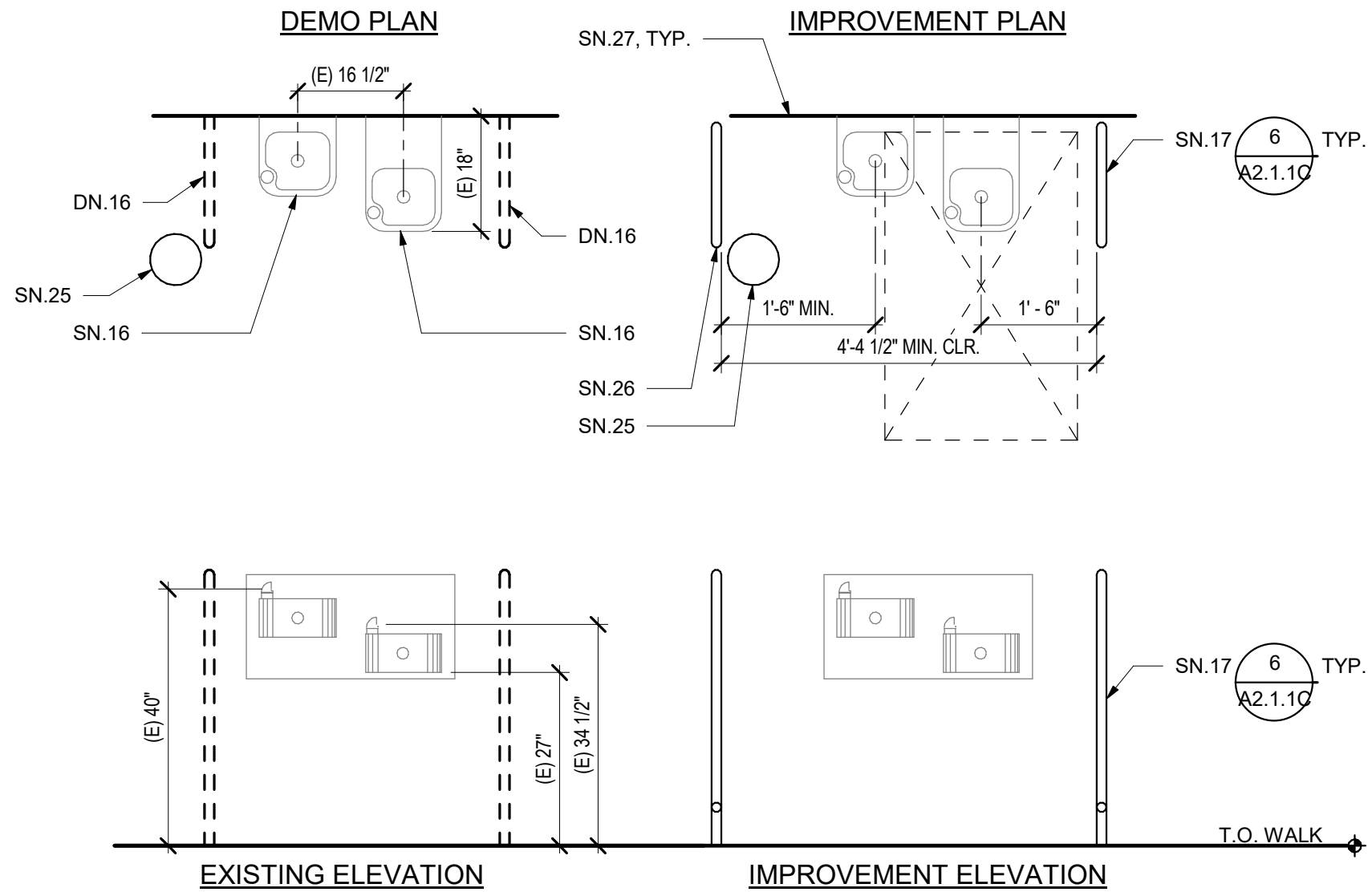


4 STAFF IMPROVEMENT
1/4" = 1'-0"



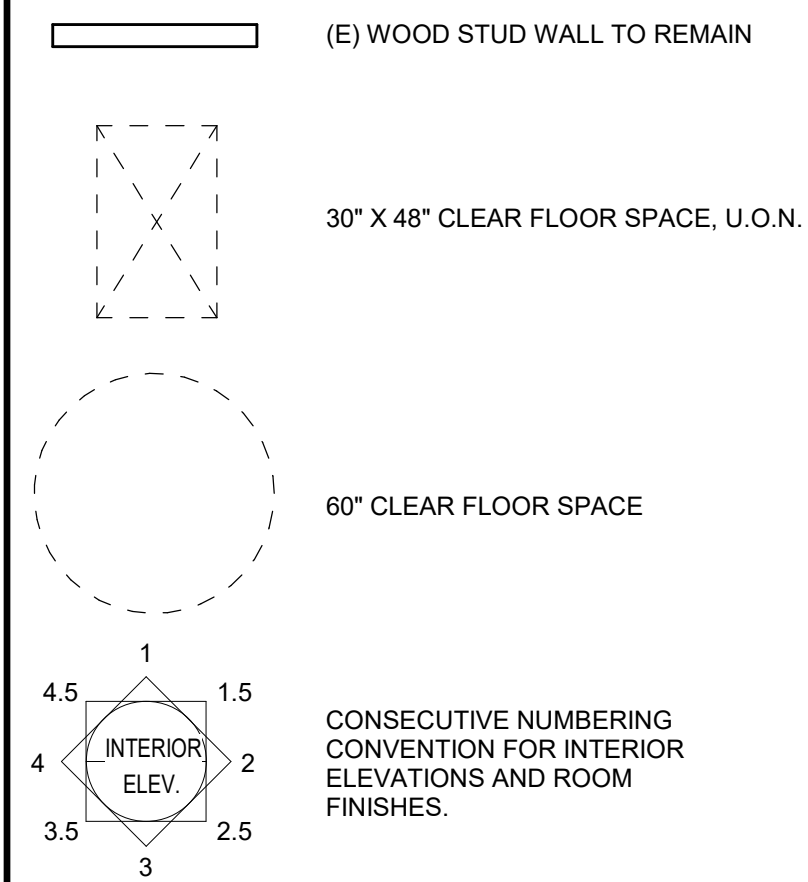
6 DRINKING FOUNTAIN GUARDRAIL
1" = 1'-0"

05051



5 DRINKING FOUNTAIN DEMO & IMPROVEMENT
1/2" = 1'-0"

LEGEND



GENERAL NOTES

- SEE A0.2 FOR TYPICAL MOUNTING HEIGHTS, DIMENSIONS AND DETAILS NOT SHOWN ON THIS SHEET. NEW TOILET ACCESSORIES AND SIGNAGE SHALL BE INSTALLED PER A0.2.
- NEATLY CUT (E) FINISHES FOR INSTALLATION OF RECESSED ACCESSORIES. NEATLY PATCH TO MATCH ADJACENT SURFACE.
- PROTECT ALL ADJACENT SURFACES. ITEMS AND FINISHES NOT NOTED TO BE DEMOLISHED.
- EQUIPMENT/FIXTURES NOTED AS "EXISTING TO BE REINSTALLED" WILL BE REMOVED AND STORED BY THE CONTRACTOR PRIOR TO START OF DEMOLITION. THESE EQUIPMENT/FIXTURES SHALL BE REINSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT.
- REMOVE ALL ITEMS SCHEDULED TO BE REMOVED, INCLUDING MOUNTING HARDWARE.
- CAP ALL ABANDONED UTILITIES BEHIND FINISHES. WHERE EXISTING FINISHES ARE TO REMAIN, INSTALL BLANK COVER PLATES AND PATCH EXISTING SURFACE TO MATCH AND PAINT ADJACENT.
- D.A. INDICATES DISABLED ACCESSIBLE

DEMOLITION NOTES

- REMOVE (E) LAV. AND SALVAGE FOR REINSTALLATION
- NOT USED
- REMOVE (E) TOILET PARTITION
- REMOVE (E) 42" GRAB BAR AND SALVAGE FOR REINSTALLATION
- REMOVE (E) WATER CLOSET
- REMOVE (E) TOILET PAPER DISPENSER
- REMOVE (E) PAPER TOWEL DISPENSER
- REMOVE (E) MIRROR AND SALVAGE FOR REINSTALLATION
- NOT USED
- REMOVE (E) SOAP DISPENSER AND SALVAGE FOR REINSTALLATION
- REMOVE (E) SANITARY NAPKIN DISPENSER AND SALVAGE FOR REINSTALLATION
- REMOVE (E) DOOR AND SALVAGE FOR REINSTALLATION
- REMOVE (E) TOILET ROOM I.D. SIGN
- REMOVE (E) TOILET PAPER DISPENSER AND SALVAGE FOR REINSTALLATION
- REMOVE (E) SANITARY NAPKIN DISPOSAL
- REMOVE (E) GUARDRAILS AND RETURN TO OWNER
- REMOVE (E) TOILET ROOM DOOR SYMBOL SIGN
- REMOVE (E) SANITARY NAPKIN DISPOSAL AND SALVAGE FOR REINSTALLATION
- REMOVE (E) WATER CLOSET AND SALVAGE FOR REINSTALLATION
- REMOVE (E) URINAL PARTITION AND FULL HEIGHT POST AND SALVAGE FOR REINSTALLATION

SHEET NOTES

- (E) WATER CLOSET TO REMAIN
- (E) LAV. TO REMAIN
- (E) URINAL TO REMAIN
- (E) MIRROR TO REMAIN
- (E) 42" GRAB BAR TO REMAIN
- REINSTALL (E) SALVAGED LAV. TO COMPLY w/ A0.2. ADJUST (E) WATER CARRIER AS REQUIRED FOR RECONNECTION TO LAV. RECONNECT TO (E) WATER LINE, WASTE LINE AND VENT.
- REINSTALL (E) SALVAGED WATER CLOSET TO COMPLY w/ A0.2. ADJUST (E) WATER CARRIER AS REQUIRED FOR RECONNECTION WITH WATER CLOSET. RECONNECT TO (E) WATER LINE, WASTE LINE AND VENT.
- REINSTALL (E) SALVAGED DOOR AT (E) FRAME
- REINSTALL (E) SALVAGED 42" GRAB BAR. TO COMPLY w/ A0.2. WITH STAINLESS STEEL PLATE PER A0.2
- REINSTALL (E) SALVAGED MIRROR TO COMPLY w/ A0.2
- REINSTALL (E) SALVAGED SOAP DISPENSER TO COMPLY w/ A0.2
- REINSTALL (E) SALVAGED TOILET PAPER DISPENSER TO COMPLY w/ A0.2
- REINSTALL (E) SALVAGED SANITARY NAPKIN DISPENSER TO COMPLY w/ A0.2
- REINSTALL (E) SALVAGED SANITARY NAPKIN DISPOSAL TO COMPLY w/ A0.2
- REINSTALL (E) SALVAGED URINAL PARTITION AND FULL HEIGHT POST TO COMPLY w/ A0.2
- (E) DRINKING FOUNTAIN TO REMAIN
- INSTALL DRINKING FOUNTAIN GUARDRAIL
- (E) TOILET PARTITION TO REMAIN
- 36" X 48" CLEAR FLOOR SPACE
- (E) TOILET SEAT COVER DISPENSER TO REMAIN
- ADJUST HEIGHT AND DISTANCE FROM WALL OR PARTITION
- ADJUST DISTANCE FROM WALL
- (E) 48" GRAB BAR TO REMAIN
- (E) SEWER CLEANOUT TO REMAIN
- INSTALL GUARDRAIL SO AS TO BE CLEAR OF SEWER CLEANOUT AND ANY RELATED UTILITIES
- PATCH AND PAINT PLASTER AS REQUIRED AFTER REMOVAL OF GUARDRAILS

KEYNOTES

- 10.043 SIGNAGE: TOILET ROOM IDENTIFICATION
- 10.051 SIGNAGE: TOILET ROOM DOOR SYMBOL
- 10.090 COMPOSITE TOILET COMPARTMENT
- 10.141 TOILET ACCESSORY: PAPER TOWEL DISPENSER

FINISHES

- FLOOR
- F1 (E) RESILIENT FLOORING: SHEET VINYL
- F2 (E) CERAMIC TILE

LODI LUNCH SHELTERS - MORADA
MIDDLE SCHOOL - INCREMENT 1

LODI UNIFIED SCHOOL DISTRICT
STOCKTON, CA

Revision	
1	Addendum 01 10/21/21

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ENLARGED FLOOR PLANS

PROJECT NO. 20-1421
DATE: 5/7/2020
SHEET

A2.1.1C

AD1.03

