



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 **TOWN PLANNER'S OFFICE** FAX (860) 870-3122

**INLAND WETLANDS AGENCY
REGULAR MEETING AGENDA
MONDAY, OCTOBER 18, 2021, 7:00 P.M.
TOWN HALL ANNEX MEETING ROOM, 57 MAIN STREET, ELLINGTON, CT**

REMOTE ATTENDANCE VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING(S):

1. William & Maureen Keohane, owner/applicant, request for a permit to conduct regulated activity for the demolition and reconstruction of a single family home and associated site improvements at 2 East Shore Road, APN 149-093-0000.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the September 20, 2021 Regular Meeting Minutes.
2. Correspondence/Discussion:

VII. ADJOURNMENT:

Remote attendance for this meeting is available using the online video conferencing provider Zoom Meeting. Instructions to attend online are provided below and the agenda is posted on the Town of Ellington's webpage (www.ellington-ct.gov) under Agenda & Minutes, Inland Wetlands Agency. For questions and assistance please contact the Ellington Planning Department at 860-870-3120.

Join Zoom Meeting:
<https://us06web.zoom.us/j/83216767939>
Meeting ID: 832 1676 7939
Password: 271545

Dial by your location:
+1 646 558 8656 US (New York)
Meeting ID: 832 1676 7939
Password: 271545

Town of Ellington Inland Wetlands and Watercourses Agency Application

Application # IW 202111
Date Submitted 9-21

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Mrs. Maureen A. Keohane & Life Estate - William Keohane
Mailing Address: 39 Windshire Drive
Ellington, CT 06029
Email: makeohane1@gmail.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-716-6610

Secondary Contact Phone #: 860-798-6501

Owner's Signature: Maureen A. Keohane Date: 9/3/21

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: Mrs. Maureen A. Keohane
Mailing Address: 39 Windshire Drive
Ellington, CT 06029
Email: makeohane1@gmail.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-716-6610 Maureen

Secondary Contact Phone #: 860-798-6501 William

Applicant's Signature: Maureen A. Keohane Date: 9/2/21

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

RECEIVED

SEP - 8 2021

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Street Address: 2 East Shore Road

Assessor's Parcel Number (APN): 149 - 093 - 0000

Proposed upland review area affected in square feet: 7227 SF

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): 0 acres

Total area of wetlands/watercourses on parcel in square feet or acres: 0 acres

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? Yes No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

Owner proposes to demolish existing house and exterior walls and stairs and construct new house, concrete stairs, retaining walls, pervious pavement, stormwater BMP's and utilities.

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. Yes No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. Yes No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. Yes No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. Yes No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f), notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. (See Agency requirements Section 8.4)

Type of Project: (check one)

Commercial/Industrial Residential Mixed Use Timber Agricultural

Other, explain: _____

Type of Application: (check one)

- Notification for Non-Regulated Use (Section 4.2)
- Notification of Permitted Use as of Right (Section 4.1)
- Administrative Permit (Section 6.4)
- Agency Permit (TWELVE COPIES REQUIRED)
- Permit Modification
- Permit Extension
- Regulation Amendment
- Map Amendment
- Appeal of Administrative Permit

Application Submittals:

- Completed Application Form (Section 7.4a)
- Application Fee (Section 7.4b)
- Abutters List (Section 7.4c)
- N/A Certification as to Adjacent Towns (See above)
- N/A Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
- N/A Notification Narrative and Supporting Documentation (If applicable, Appendix D)
- Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
- Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
- Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)



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SEP - 8 2021

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Project Narrative
Inland Wetlands and Watercourse Agency Application
2 East Shore Road
September 1, 2021

Project Overview

The applicant/owner of 2 East Shore Road proposes to demolish the existing house and construct a year-round residence with new exterior stairs, walks, pervious pavement, retaining walls, stormwater collection system, and utilities. The property is located on the shore of Crystal Lake. Construction will occur within the 100' Regulated Upland Review Area from the edge of Crystal Lake. 7,227 square feet (0.17 acres \pm) of Upland Review area will be affected. No direct impacts to wetlands or watercourses are proposed with this plan. The overall (aggregate) area affected for construction is a total of 9,100 square feet (0.21 acres \pm). Construction is expected to start in the Fall of 2021 and continue through the next year. All proposed impacts from construction will cease at this point.

The Regulated Upland Review Area currently has an existing house, stairs, retaining walls and wood deck. East Shore Drive also extends into the property. Existing trees and vegetation are present along the shoreline on the property and also on the east side of the property. The existing vegetation will be preserved as much as possible during construction.

The new house proposed by the application will be a multi-level structure. The property has steep slopes which lend themselves to a multi-level house with a walk-out basement. The existing houses to the north and south of the property are similar multi-level construction.

Construction Erosion and Sedimentation Controls

Erosion and sedimentation control measures include silt fence at the bottom of slopes and erosion control blankets where needed. All disturbed areas that are not covered by pavement or structures shall be seeded as noted on the site plan. A detailed construction sequence narrative has been provided on the site plans.

Proposed Stormwater BMP's and Permanent Stabilization Measures

The portion of East Shore Drive within the property boundary is proposed to be replaced with permeable pavers to offset the proposed increase in lot coverage and promote infiltration. The pavers will be pitched to send runoff away from the house, ultimately to be collected in a slotted

drainpipe proposed along the eastern edge of the pavers. Stormwater that does not infiltrate into paver area will be collected by this drain. Two yard drains, one of which is an existing yard drain to be replaced, are also proposed. The two yard drains will work with the slotted drainpipe to convey collected stormwater runoff around the north and south sides of the house. Both outlets will discharge to proposed permanent armored areas at the edge of the lake. Due to the steep slope across the property both storm pipe runs from the yard drains are expected to be installed at slopes over 30%. To slow the conveyed flows down from these two runs, both pipes will enter an intermediate manhole where stormwater will be allowed to drop and dissipate flow velocity within it. Flows would then exit out to the armored areas through drainpipes proposed with a more gradual slope. Proposed armoring was selected and sized per recommendations made in the 2002 Connecticut Guidelines for Soil Erosion and Sedimentation Control. An additional permanent erosion control blanket is also proposed on the north side of the house. This is proposed to reinforce soil during ground cover establishment and serve as a long-term soft armoring measure providing additional slope stability.

Stormwater Analysis and Calculations

The stormwater design for the site focused on determining peak stormwater flows to the proposed stormwater collection system to assess flow velocities and to size pipe outlet protection measures. Watersheds for both yard drains were delineated to evaluate these conditions for each. A drainage area map showing watershed boundaries is included as an attachment to this statement. Autodesk's Hydraflow Hydrographs computer modeling software was used to model watershed conditions. Permanent stabilization measures were designed for the 10-yr, 24-hour storm as recommended by the 2002 CT E&S Guidelines. Model results are included as an attachment to this statement. Sizing calculations for both proposed armoring measures are also included as an attachment to this statement.

Prudent and Feasible Alternatives Considered and Final Statements

Regarding prudent and feasible alternatives to the proposed regulated activity, the applicant did consider a no-build option where the existing house would remain. This would have no impact to the regulated area but would leave the applicants with a property that would not accommodate their needs. The applicant's private driveway also serves as a turnaround for vehicles traversing East Shore Road, unaware that there is no connection to Aborn Road as most GPS software indicates. Therefore, it is important for the applicant to have in the preferred alternative, an attached garage to keep their vehicles off the driveway. This will allow on most occasions, the ability for vehicles and package delivery vans, to turn around and exit the narrow street, rather than backing up a considerable distance at great risk to pedestrians. The existing house unfortunately does not have an attached garage to provide the applicant a safe place to park their vehicles. East Shore Road is essentially a private drive,

The property also has very challenging topography with approximately 72 feet of grade change across its approximately 150 feet of depth. The architecture of the proposed house was designed to


embrace the property's steep slope and minimize disturbance to the maximum extent practicable for the proposed lot improvements. The proposed house will contain an elevator serving both upper levels and walk-out basement for the long-term mobility of its residents, one of whom is already a senior citizen. The existing house did not provide this accommodation to the applicant.

The applicant's need for an attached garage and need for an elevator in the house is what drove the current proposed plan. It is our professional opinion that this plan as proposed will provide the applicant with the most efficient and safest use of their property while still providing protection of Crystal Lake.

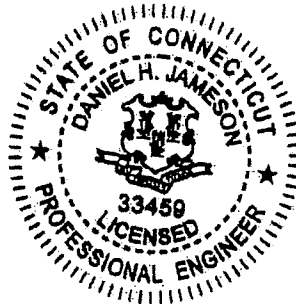
There is no expectation that other state or Army Corps permits will be required for this proposed activity. The proposed site is located on a private drive and the disturbance is less than a 1/2 acre.

Feel free to contact us if you have any questions.

Regards,



Daniel H. Jameson, PE
Project Manager
Design Professionals, Inc.



List of Attachments

- A – Drainage Area Map
- B – Hydraflow Catchment model results
- C – Riprap sizing calculations

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020

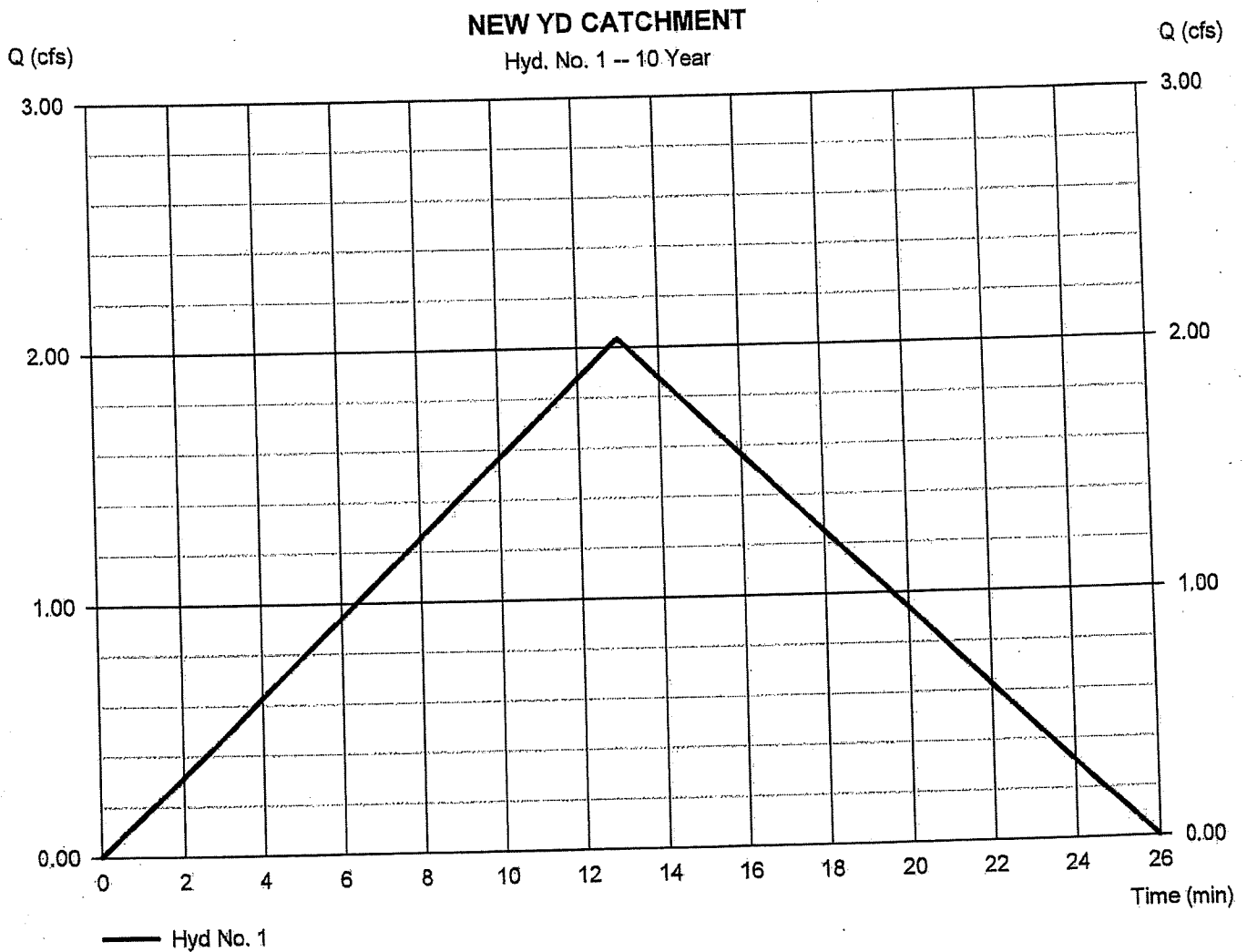
Tuesday, 08 / 17 / 2021

Hyd. No. 1

NEW YD CATCHMENT

Hydrograph type	= Rational	Peak discharge	= 2.032 cfs
Storm frequency	= 10 yrs	Time to peak	= 13 min
Time interval	= 1 min	Hyd. volume	= 1,585 cuft
Drainage area	= 1.790 ac	Runoff coeff.	= 0.25*
Intensity	= 4.540 in/hr	Tc by TR55	= 13.00 min
IDF Curve	= SampleFHA.idf	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = $[(1.370 \times 0.15) + (0.220 \times 0.25) + (0.200 \times 0.90)] / 1.790$



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020

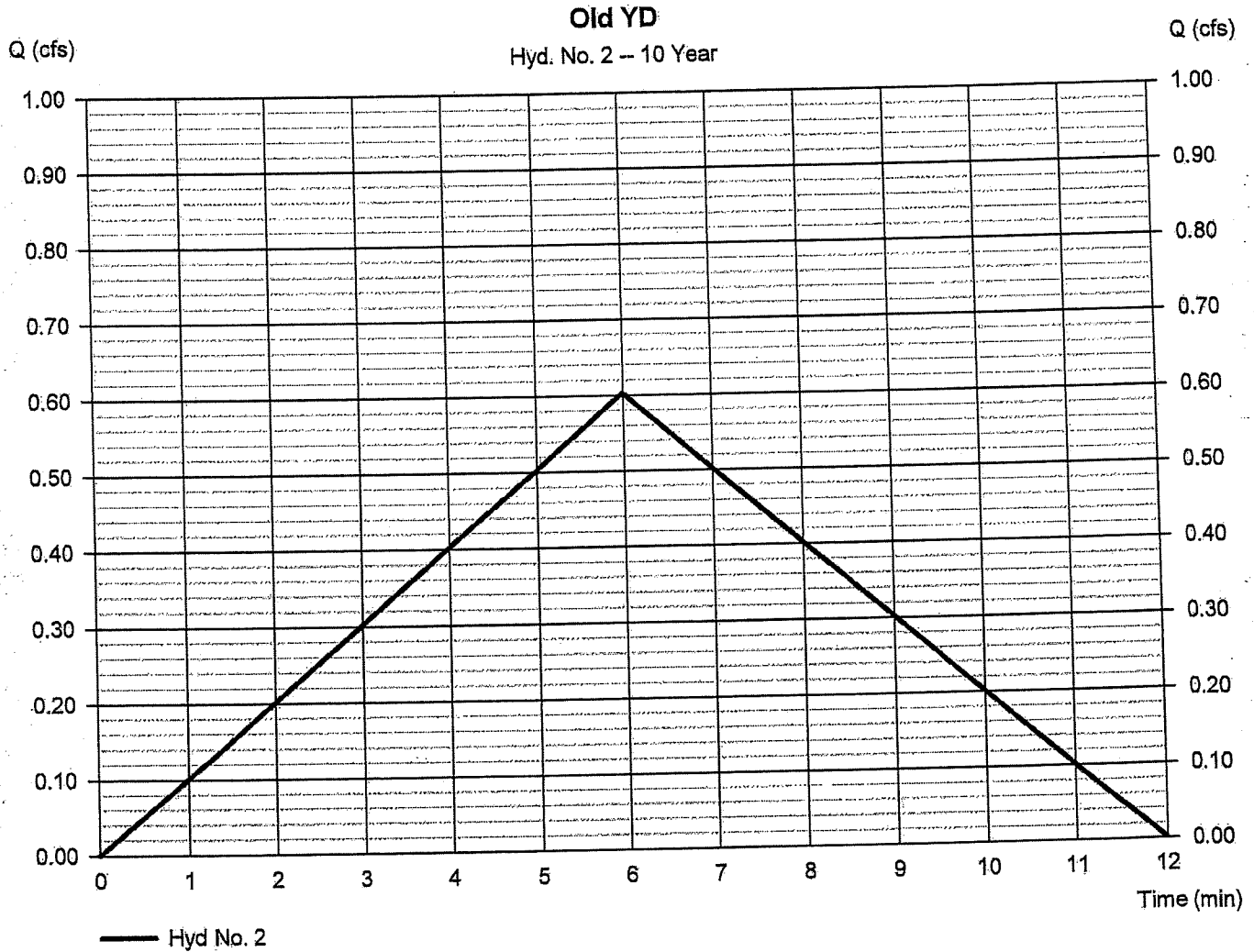
Wednesday, 08 / 18 / 2021

Hyd. No. 2

Old YD

Hydrograph type	= Rational	Peak discharge	= 0.602 cfs
Storm frequency	= 10 yrs	Time to peak	= 6 min
Time interval	= 1 min	Hyd. volume	= 217 cuft
Drainage area	= 0.250 ac	Runoff coeff.	= 0.36*
Intensity	= 6.692 in/hr	Tc by User	= 6.00 min
IDF Curve	= SampleFHA.idf	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = $[(0.070 \times 0.90) + (0.180 \times 0.15)] / 0.250$



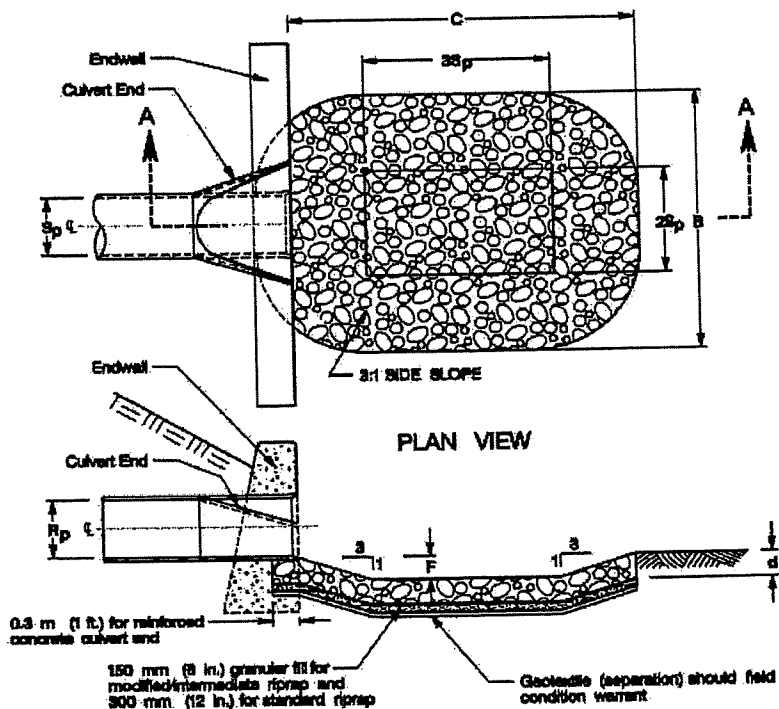
FE-2 DOT Scour Pad Design Parameters

Inside Culvert Diameter (FT) (or max rise)	1
Design Flow (CFS) - 10YR STORM	2
Tail Water (height above invert - FT)	0.1
*TW = 0.1 * (Inside Diameter)	

*Minimum apron width should be at least three times the culvert diameter

Type 1		Type 2	
Rip-Rap d50 requirements (FT)	0.16	Rip-Rap d50 requirements (FT)	0.09
*Max Stone sized: d50 x 1.5			
C	6	C	9
B	5	B	8
F	0.5	F	1

Rip Rap Specification	d50 Range (FT)
Modified	0-0.42
Intermediate	0.42-0.67
Standard	0.67-1.25
Special Design	1.25+



SECTION A-A

LEGEND

s_p	=	Max. inside pipe span (non-circular sections) inside pipe diameter (circular sections)
R_p	=	Max. inside pipe rise (non-circular sections) inside pipe diameter (circular sections)
d	=	300 mm (12 in.) Modified Riprap 450 mm (18 in.) Intermediate Riprap 900 mm (36 in.) Standard Riprap
Type 1	F =	0.5 R_p
Type 2	F =	R_p
	C =	$28p + 6F$
	B =	$28p + 6F$

Figure 11-15 Preformed Scour Hole Type 1 and Type 2

FE-1 Level Spreader Design

Inside Culvert Diameter (FT) 0.833
 Design Flow (CFS) 0.8
 Tail Water (height above invert - FT) 0.1
 Velocity (FPS) 1.47 (Per mannings equation for 10" HDPE (n=0.012) @ 1.0%)
 *TW = 0.1 * (Inside Diameter)

CT DOT Drainage Manual Design Parameters

	TYPE A (Tw < 0.5 Rp)		TYPE B (Tw > 0.5 Rp)	
Required Length (FT)	0.06	Required Length (FT)	-6.57	
Required Width 1 (UPSTREAM - FT)	2.50	Required Width 1 (UPSTREAM - FT)	2.50	
Required Width 2 (DOWNSTREAM - FT)	2.54	Required Width 2 (DOWNSTREAM - FT)	-0.13	

*Minimum apron width should be at least three times the culvert diameter

Allowable Rip-Rap

Velocity (FPS)	Rip Rap Specification
0-8	Modified
8-10	Intermediate
10-14	Standard

Type A - No Tailwater Condition

Type B - High Tailwater Condition

Type C - Discharge to Well Defined Channel

(SEE DOT MANUAL)

2002 CT E&S Guideline Swale

Required Length - La (FT)	8.45	Required Width (FT)	5.88
Required Width - W (FT)	10.95		

*Tail Water < Elevation of Center of Culvert

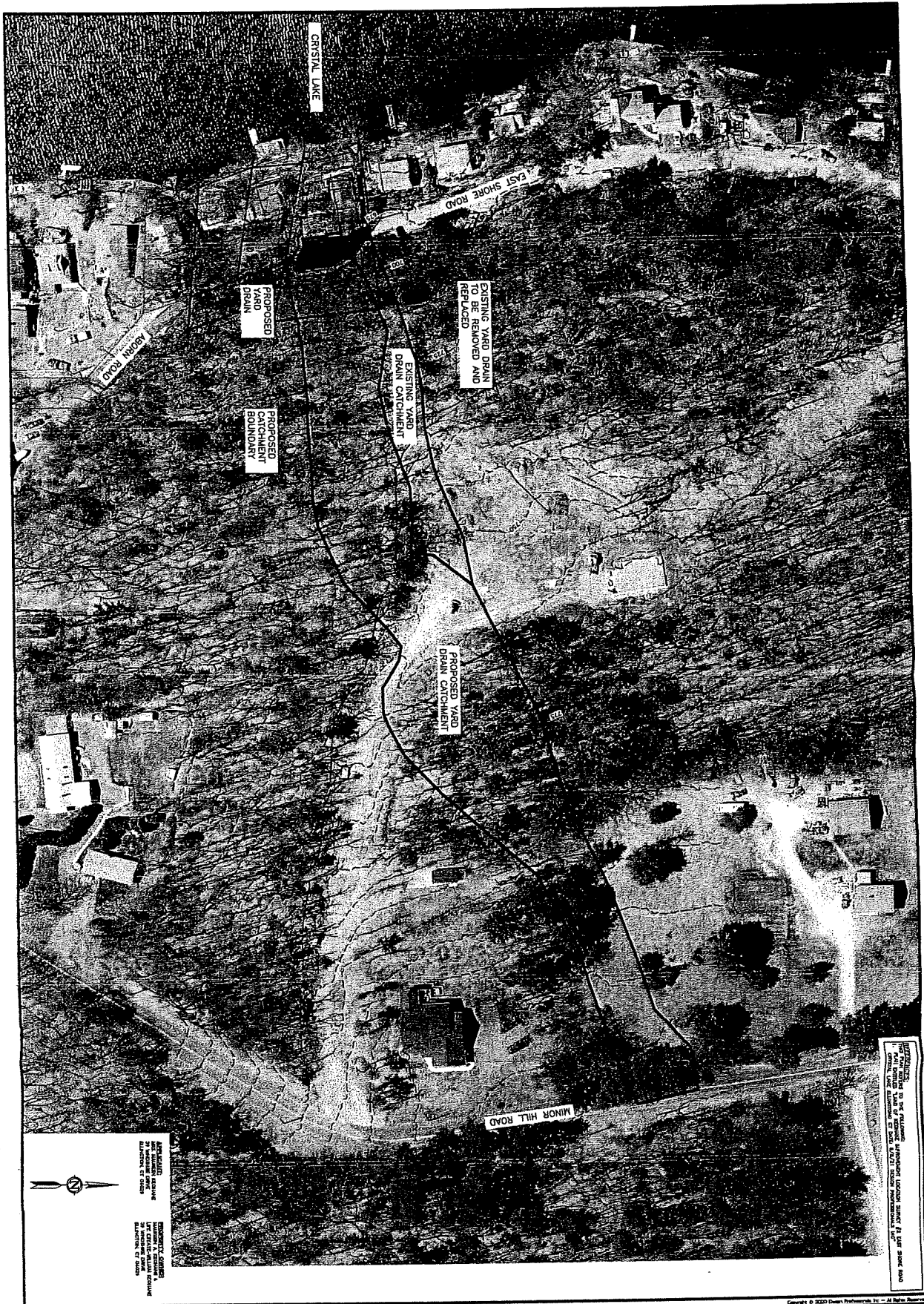
*Tail Water > Elevation of Center of Culvert

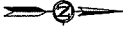
*Minimum apron width should be at least three times the culvert diameter

Rip-Rap d50 requirements (INCHES) 2.27 0.19

*Max Stone sized: d50 x 1.5

Rip Rap Specification	d50 Range (FT)
Modified	0-0.42
Intermediate	0.42-0.67
Standard	0.67-1.25
Special Design	1.25+





 ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

 PROPERTY BOUNDARIES ARE BASED ON THE RECORD DEEDS AND SURVEYS ON FILE AT THE CLERK OF SUPERIOR COURT, SOUTHWINDSOR, CONNECTICUT.

 THE CLIENT HAS REPRESENTED THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT.

 THIS PLAN IS FOR THE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.

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 THE CLIENT HAS REPRESENTED THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT.

C-DAT1 Sheet 1 of 1	CATCHMENT AREA MAPS	NO.	DATE	REVISIONS	BY
	SCALE: 1" = 40'				

PLOT PLAN
MAUREEN KEOHANE
 2 EAST SHORE ROAD
 ELLINGTON, CONNECTICUT 06029

PREPARED FOR:
MRS. MAUREEN KEOHANE
 39 WINDSOR DRIVE
 SOUTH WINDSOR, CT
 06074
 860-798-8501

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Barbra Galovich

From: Dana Steele <dstele@jrrusso.com>
Sent: Tuesday, October 12, 2021 11:48 AM
To: John Colonese
Cc: Lisa Houlihan; Barbra Galovich
Subject: IW202111 - Keohane, 2 East Shore Rd

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John,

I've reviewed the plans and calculations for IW202111, 2 East Shore Rd prepared by Design Professionals including 3 plan sheets dated 9/10/21 and a Project Narrative with stormwater calculations dated 9/1/21. My comments are as follows:

1. The "level spreader design" sizing the CT E&S Guidelines assumes a level apron but the proposed riprap apron is on a steep slope. I recommend grouting the riprap with concrete to protect against erosion and extending the apron beyond the toe of the slope while minimizing disturbance of established vegetation.
2. The drainage areas to YD-1 and YD-2 are not consistent with the grading plan. The watershed area appears to be more evenly distributed between the two structure than what is calculated. This may impact the required size of the riser and outlet pipe from YD-1. The watershed analysis should also take into consideration the recent development of the upstream abutter. If you provide the engineer with a copy of the as-built that would be helpful.
3. The detail references on sheet C-SP1 refer to incorrect sheets or sheets not included in the plan set. These references should be updated.
4. The plans should include a line type and symbols legend.

These comments could be incorporated as conditions of approval. Let me know if you have any questions.

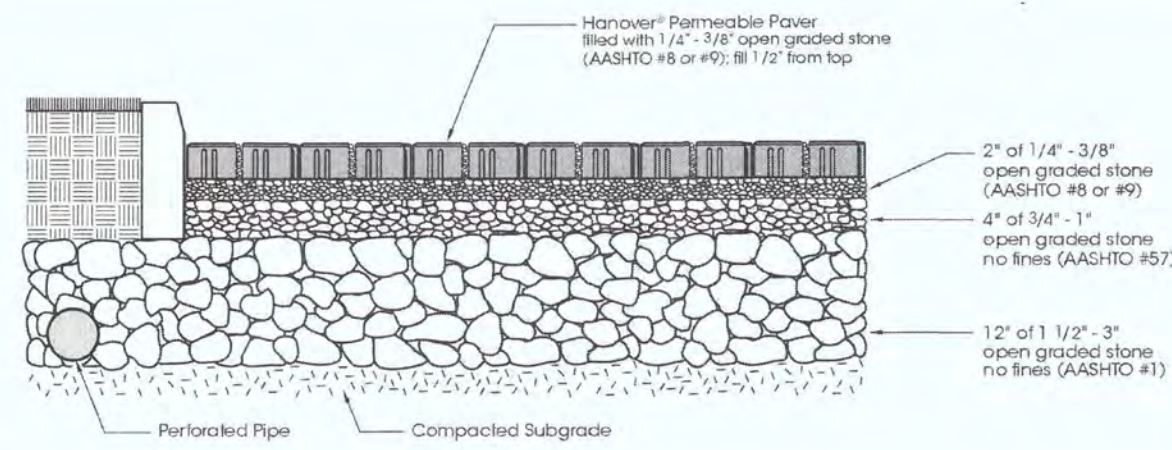
Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dstele@jrrusso.com | www.jrrusso.com

SEEDING NOTES:

- SEEDING MIXTURE TYPE I (LAWN AREAS):
 BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
 CHEWINGS RED FESCUE 30% OF MIXTURE
 PERENNIAL RYEGRASS 20% OF MIXTURE
 APPLICATION RATE: 4.5 LBS. PER 1,000 S.F.
 SEEDING MIXTURE TYPE II (SLOPES WHERE NOTED ON PLAN)
 FLAT PEA/PERENNIAL PEA MIX - ERNMX-112
 BY Aron Conservation Seeds, 8006 Mercer Pike, Meadville, PA 16335 (800) 873-3321
 APPLICATION RATE: 1.50 LBS PER 1,000 S.F. OR 25 LBS PER ACRE.
- SEEDING OF SLOPES (SEEDING MIXTURE TYPE II) SHALL BE BY HYDROSEEDING AND HYDRO-MULCHING. ADD AN ADDITIONAL 15% TO SEEDING MIXTURE WHEN HYDRO-SEEDING IS USED. HYDROMULCH SHALL BE EQUAL TO COMBED 2000 AND APPLIED AT THE RATE OF 1,400 LBS. PER ACRE.
 CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDED AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.



NOTES:

- DETAIL TAKEN FROM HANOVER ARCHITECTURAL PRODUCTS. SHOWN FOR ILLUSTRATIVE PURPOSES. CONTRACTOR CAN USE SIMILAR PRODUCT WITH APPROVAL FROM ENGINEER.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- TIE PERFORATED PIPE INTO NEAREST CATCH BASIN UNDERGROUND.

PERMEABLE PAVERS

N.T.S.

ZONING TABLE

ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF MIN.	13,619± SF.*	13,619± SF.*
LOT COVERAGE	25% MAX	22±%	17.58%**
FRONT YARD	35' MIN.	24±'	0
SIDE YARD	10' MIN.	4.1±'	6.0'
REAR YARD	25' MIN	25±'	32±'
BUILDING HEIGHT	38 FT. MAX.	19±'	31±'

ZONING TABLE DOES NOT INCLUDE WOODEN PLATFORM IN EXISTING OR PROPOSED DATA

- * NONCONFORMING DUE TO EXISTING CONDITION
- ** PROPOSED PAVERS ARE NOT INCLUDED IN LOT COVERAGE

CRYSTAL LAKE

EXISTING HOUSE
 0.5'± OFF EASE - 32'± OFF EDGE OF WATER
 EXISTING DECK IS 6.5'± INTO EASEMENT, 25' OFF EDGE OF WATER

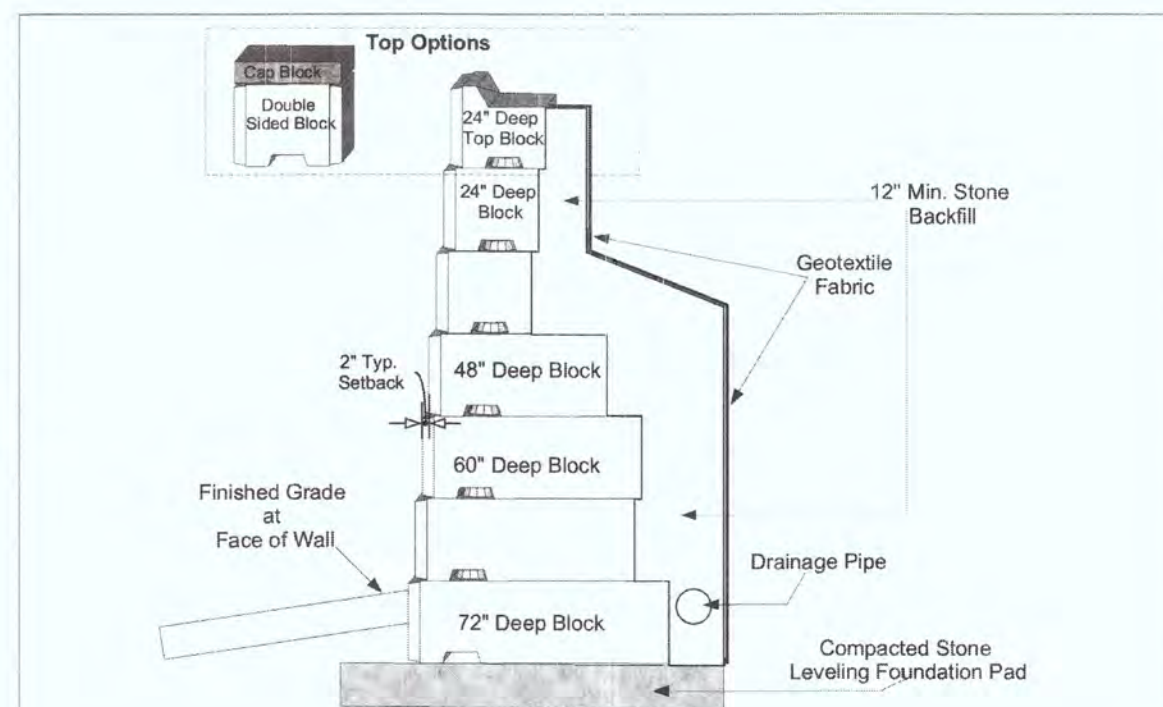
PROPOSED HOUSE
 4.3' OFF EASE - 36'± OFF EDGE OF WATER
 PROPOSED DECK 1' OFF EASEMENT, 32' OFF EDGE OF WATER

REFERENCES:

- PLAN ENTITLED "LAND OF KEOHANE IMPROVEMENT LOCATION SURVEY #2 EAST SHORE ROAD CRYSTAL LAKE ELLINGTON CT DATE: 8/8/21 DESIGN PROFESSIONALS INC"

SITE PLAN AND GRADING NOTES:

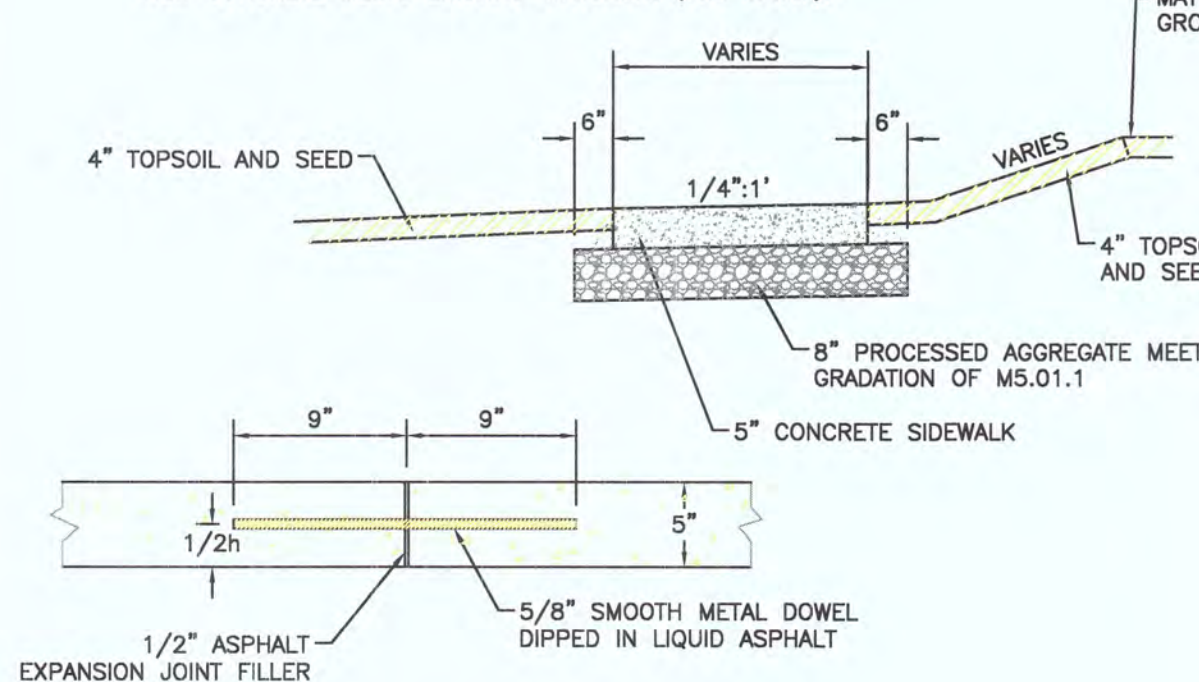
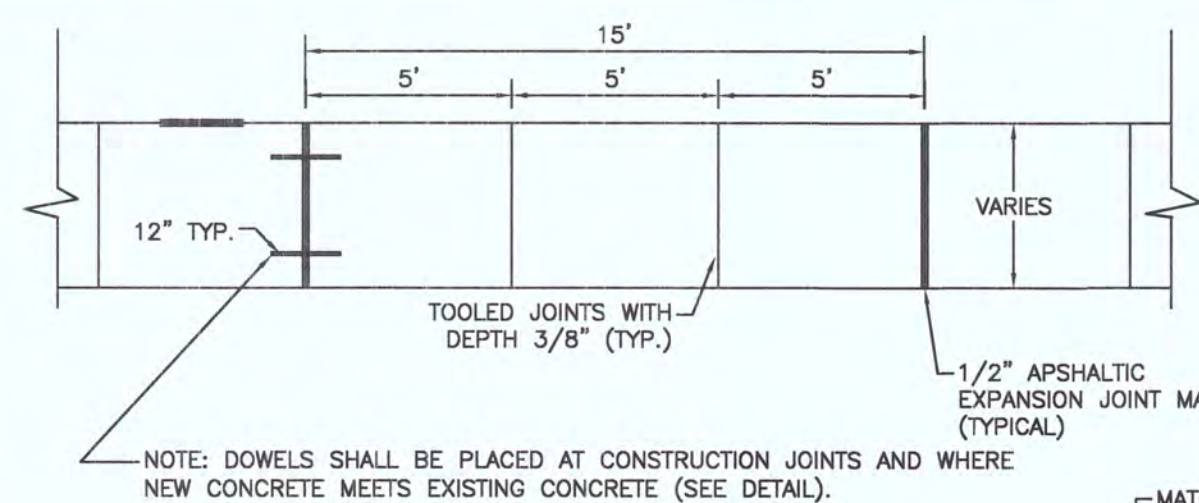
- "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES, CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- THIS PLAN SHALL BE USED FOR SITE LAYOUT AND GRADING PURPOSES ONLY.
- PRIOR TO CONSTRUCTION, THE ELEVATION OF THE SANITARY FORCE MAIN SHALL BE DETERMINED. TOWN RECORDS DEPICT THE DEPTH TO BE APPROXIMATELY 4' DEEP. IF THE CONTRACTOR SHALL CONFIRM A MINIMUM SEPARATION DISTANCE OF 6" IS PROVIDED BETWEEN THE EXISTING FORCE MAIN AND PROPOSED STORM PIPE, PRIOR TO INSTALLATION. IF THE ELEVATION VARIES FROM THOSE DEPICTED ON THIS PLAN, THE DESIGN ENGINEER SHALL BE CONTACTED TO DETERMINE IF DESIGN CHANGES ARE REQUIRED.



ATLAS CONCRETE PRODUCTS
 www.atlasconcrete.com
 800-774-1112
 65 Summit St.
 New Britain CT 06053
 860-224-2344
 860-224-2255 Fax

CONCRETE BLOCK RETAINING WALL

N.T.S.



NOTES:

- ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS 'F'. MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 817.
- CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.
- EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.
- PROVIDE BROOMED FINISH PERPENDICULAR TO TRAVEL PATH

CONCRETE SIDEWALK

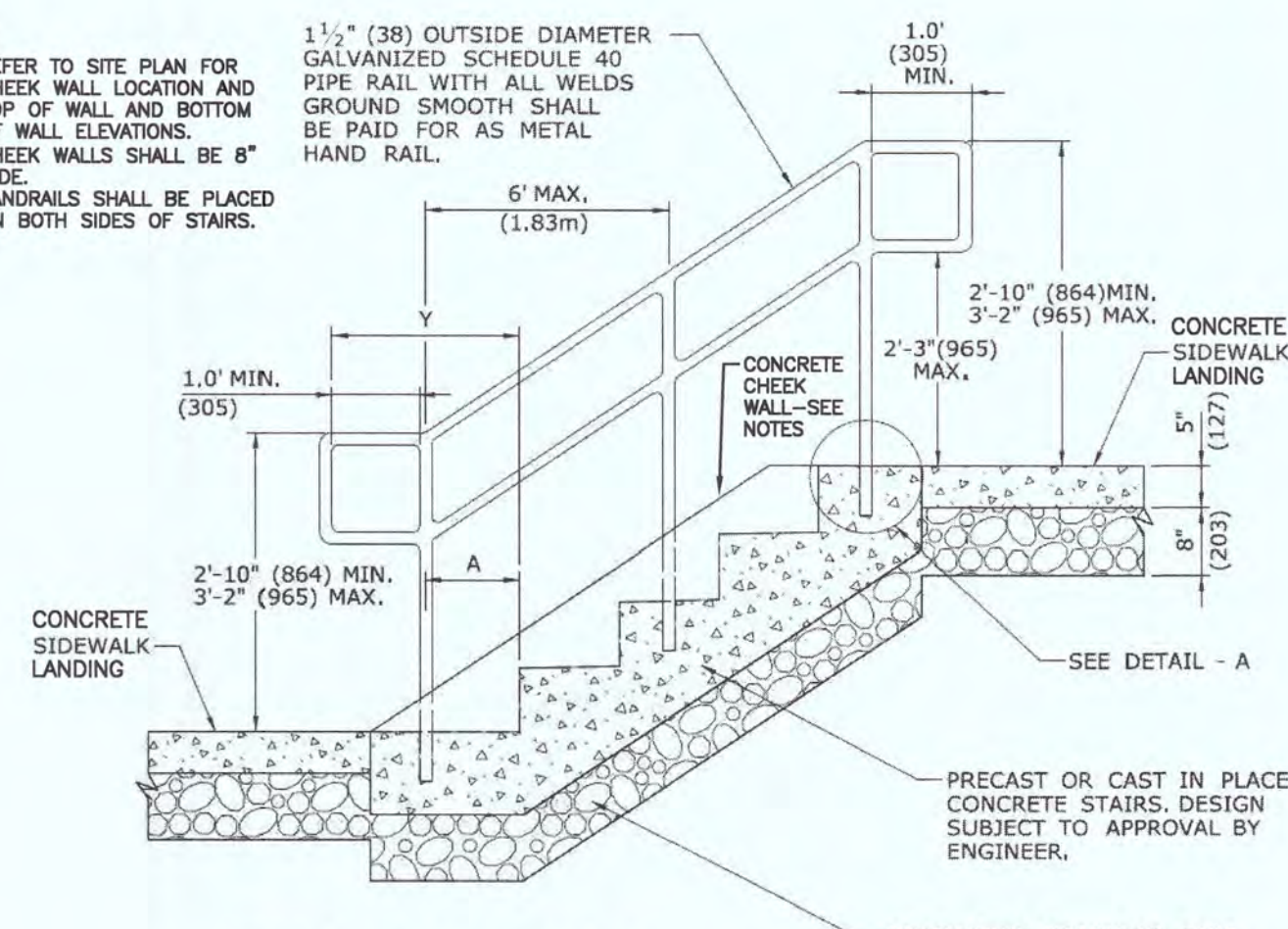
N.T.S.

GENERAL NOTES

- Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
- Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
- The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
- The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

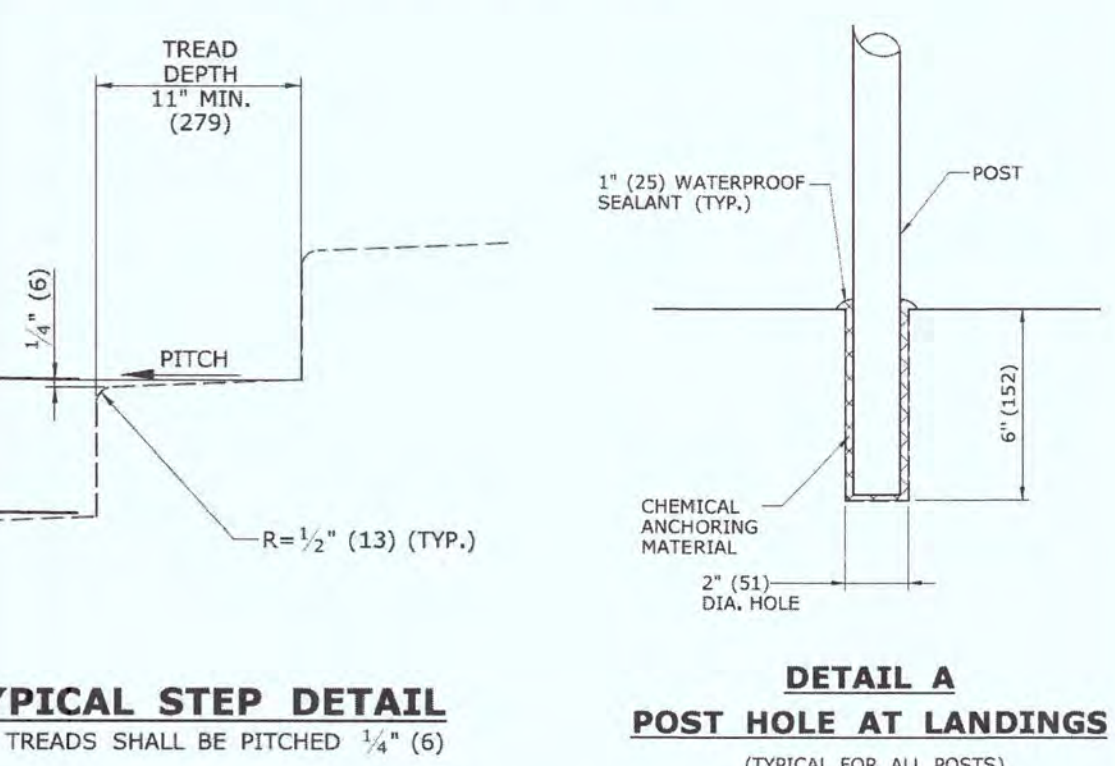
NOTES:

- REFER TO SITE PLAN FOR CHEEK WALL LOCATION AND TOP OF WALL AND BOTTOM OF WALL ELEVATIONS.
- CHEEK WALLS SHALL BE 8" WIDE.
- HANDRAILS SHALL BE PLACED ON BOTH SIDES OF STAIRS.



HAND RAIL DETAIL

A = WIDTH OF ONE TREAD REQUIRED AT EACH BOTTOM RISER.
 Y = THE MINIMUM HANDRAIL EXTENSION OF 1'-0" (305) + A.



TYPICAL STEP DETAIL

ALL TREADS SHALL BE PITCHED 1/4" (6)

DETAIL A

POST HOLE AT LANDINGS
 (TYPICAL FOR ALL POSTS)

CONCRETE STAIRS AND HAND RAIL DETAIL

N.T.S.

APPLICANT:
 MRS. MAUREEN KEOHANE
 39 WINDSHIRE DRIVE
 ELLINGTON, CT 06029

PROPERTY OWNER
 MAUREEN A. KEOHANE &
 LIFE ESTATE-WILLIAM KEOHANE
 39 WINDSHIRE DRIVE
 ELLINGTON, CT 06029

SURVEY NOTES:

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.
- THIS IS AN IMPROVEMENT LOCATION SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING AND PROPOSED CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS AN INDEPENDENT RESURVEY BASED ON THE REFERENCED MAPS.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS T-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

BARRY D. CLARKE, L.S.
 16766
 LIC. NO.



design professionals
 CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
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PREPARED FOR
 MRS. MAUREEN KEOHANE
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 860-798-6501

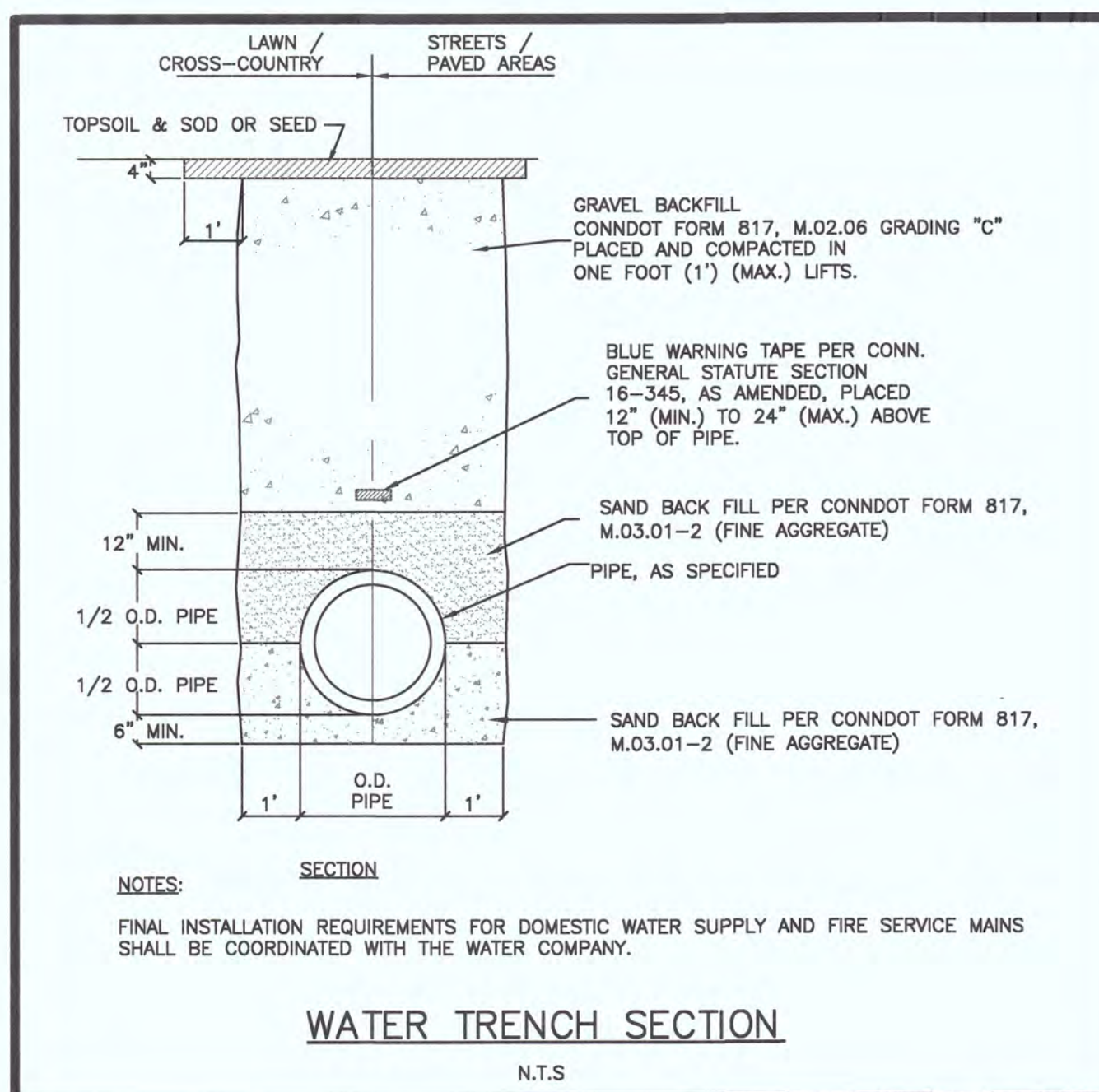
DATE: 9/07/21
 DRAWN BY: DHI
 CHECKED BY: CHM
 IN CHARGE BY: BDC

PLOT PLAN
MAUREEN KEOHANE
 2 EAST SHORE ROAD
 ELLINGTON, CONNECTICUT 06029

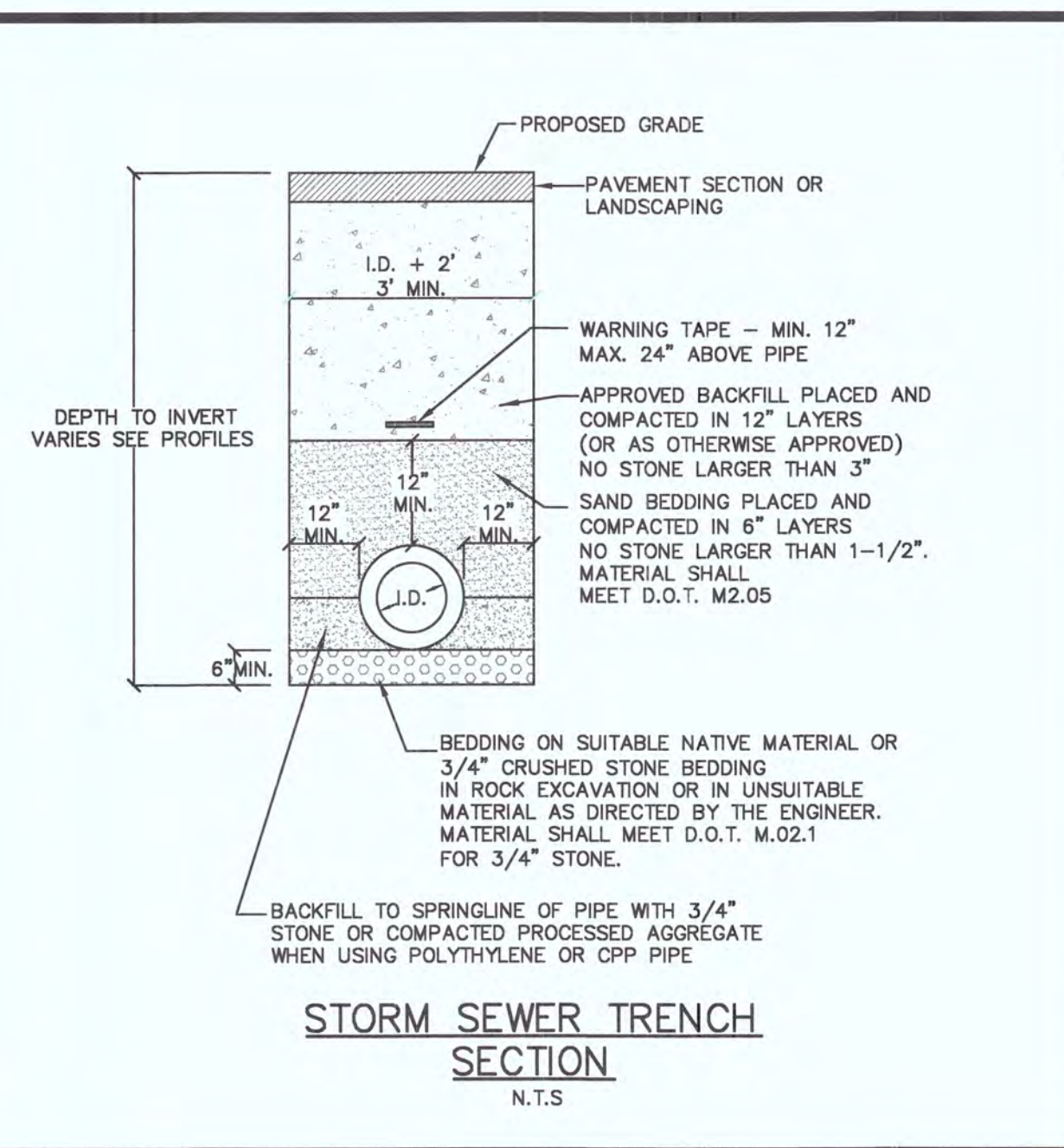
REVISIONS

NO.	DATE	DESCRIPTION

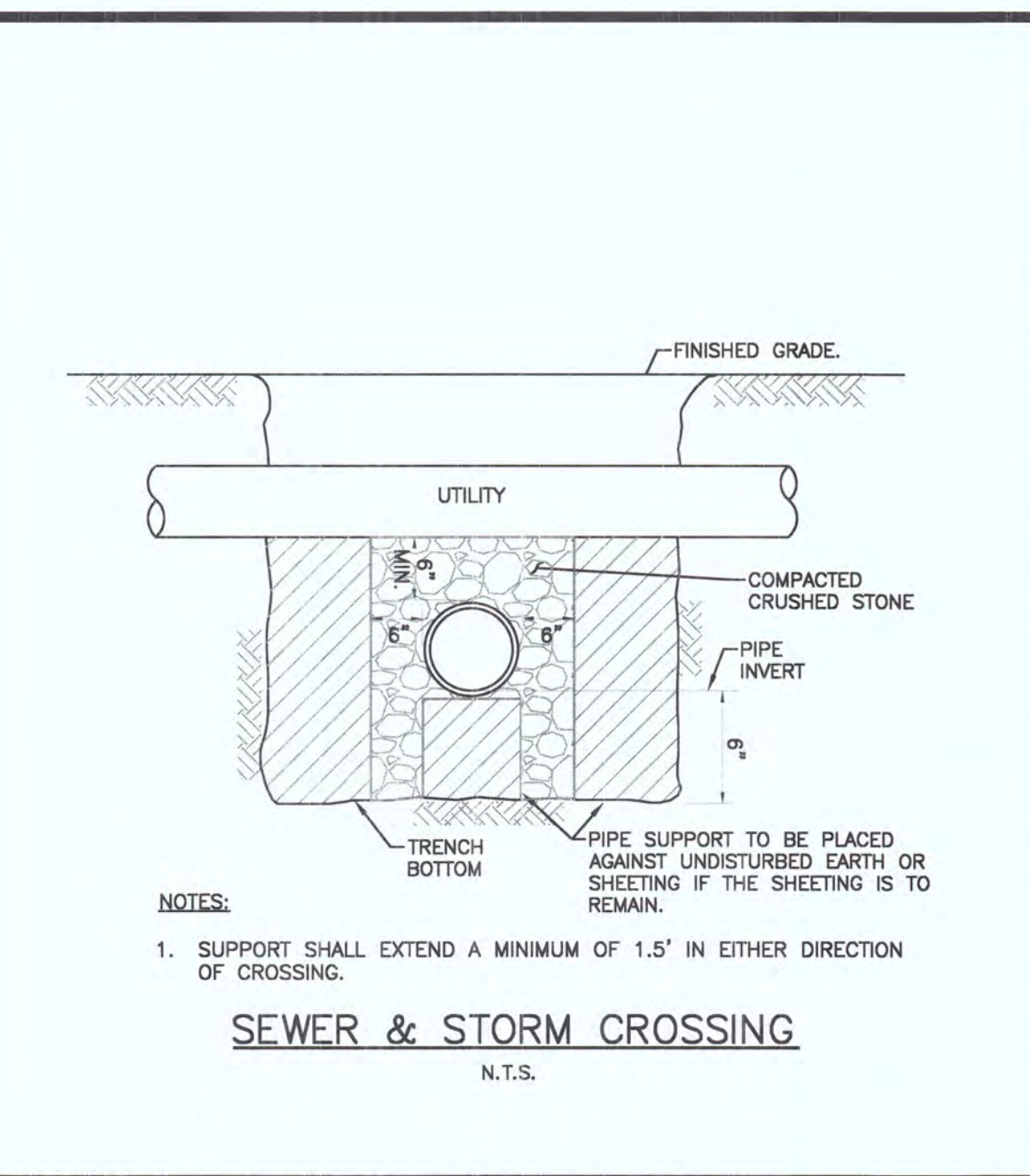
SCALE: 1" = 10'
 SHEET 1 OF 3
C-SP1



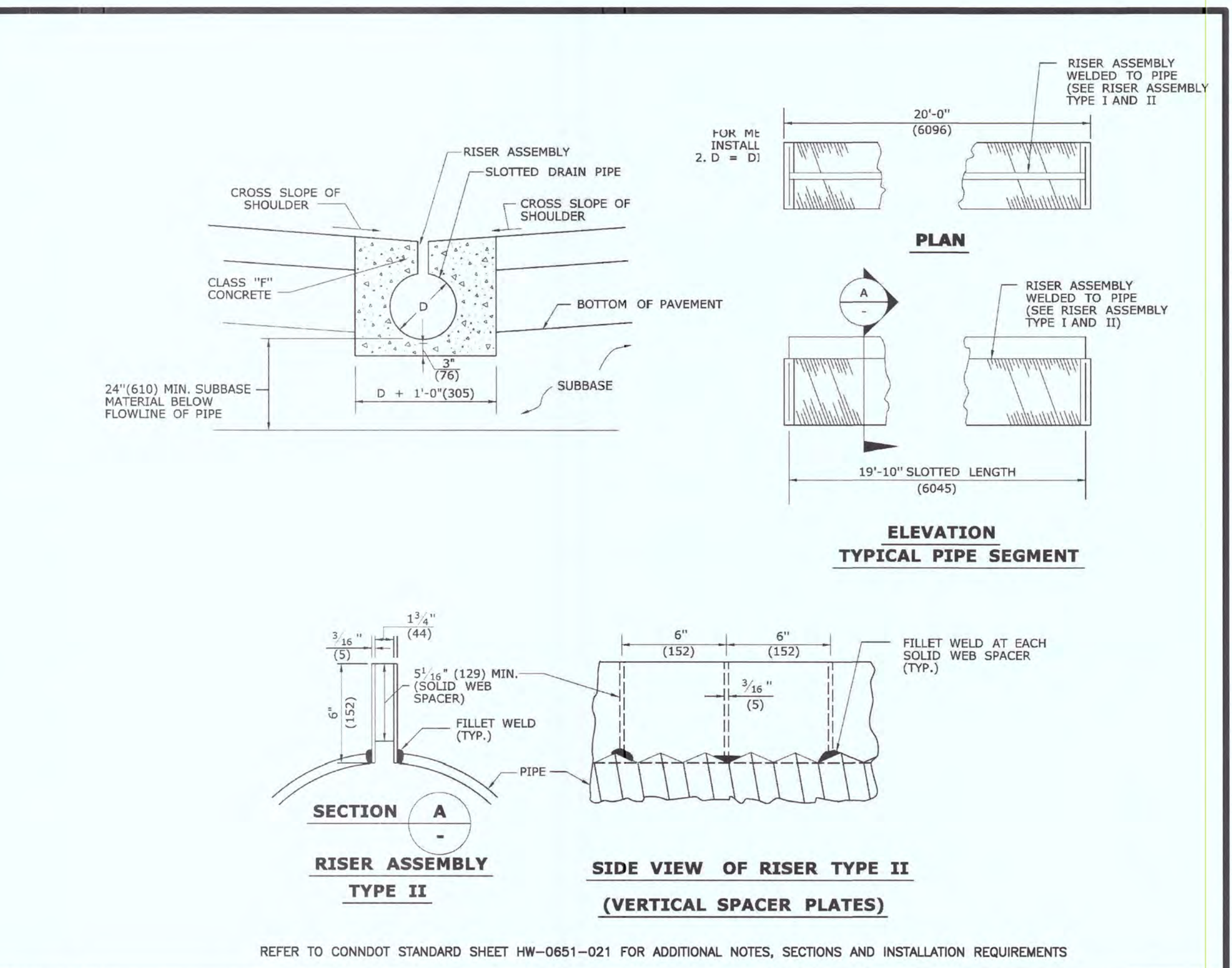
WATER TRENCH SECTION
N.T.S.



STORM SEWER TRENCH SECTION
N.T.S.

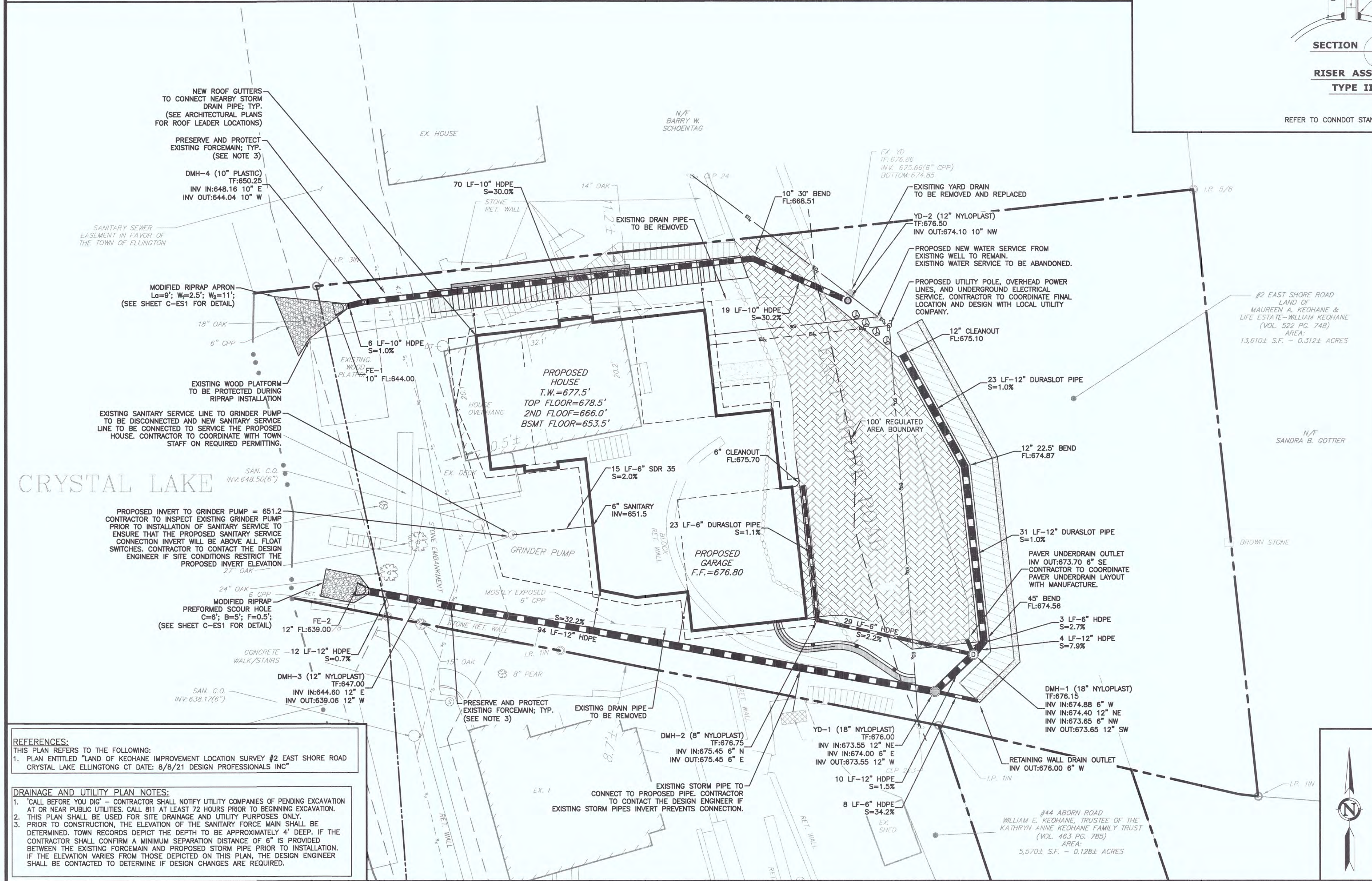


SEWER & STORM CROSSING
N.T.S.



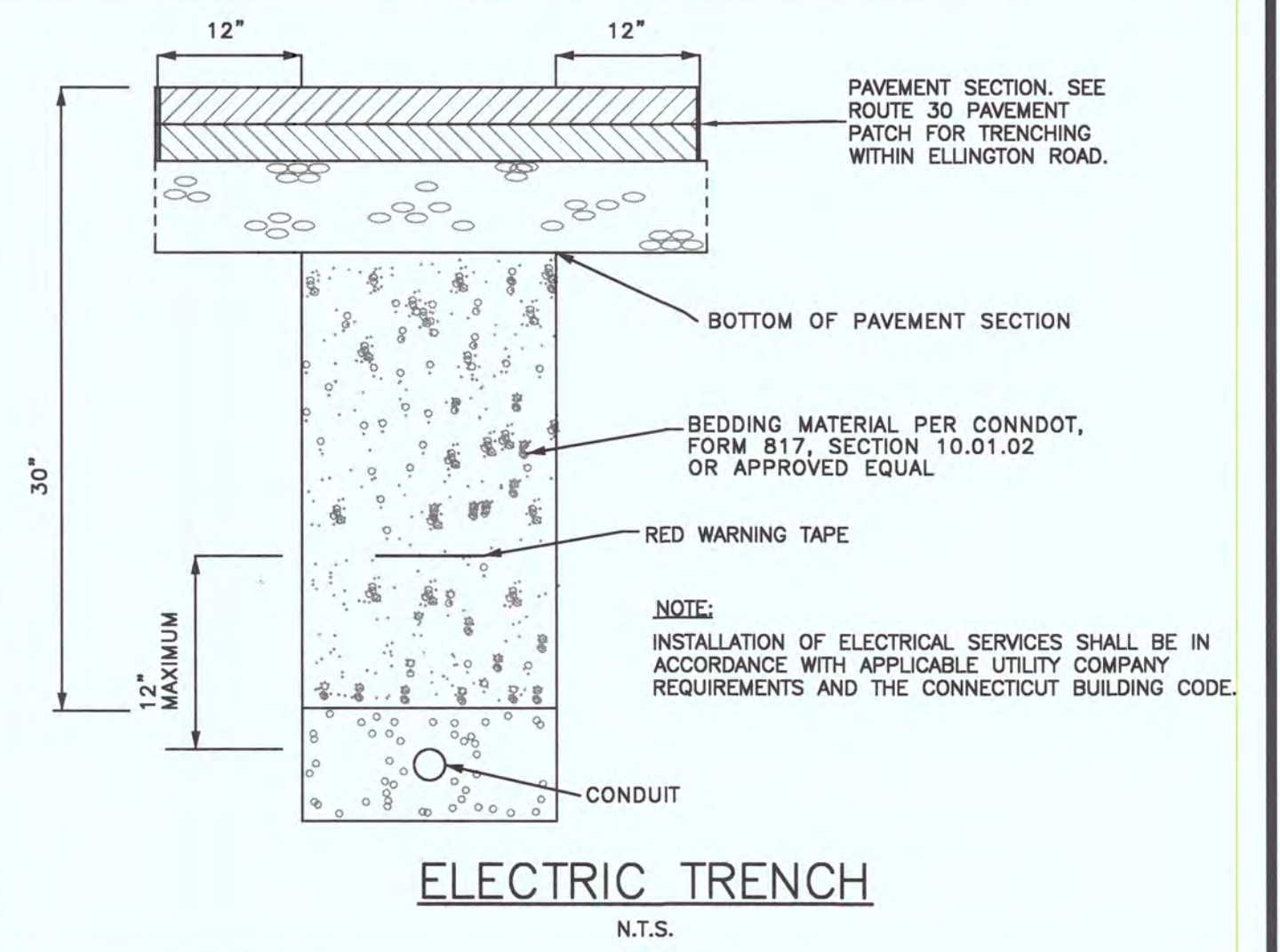
RISER ASSEMBLY TYPE II
SIDE VIEW OF RISER TYPE II (VERTICAL SPACER PLATES)

REFER TO CONNDOT STANDARD SHEET HW-0651-021 FOR ADDITIONAL NOTES, SECTIONS AND INSTALLATION REQUIREMENTS



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "LAND OF KEOHANE IMPROVEMENT LOCATION SURVEY #2 EAST SHORE ROAD CRYSTAL LAKE ELLINGTON CT DATE: 6/8/21 DESIGN PROFESSIONALS INC"

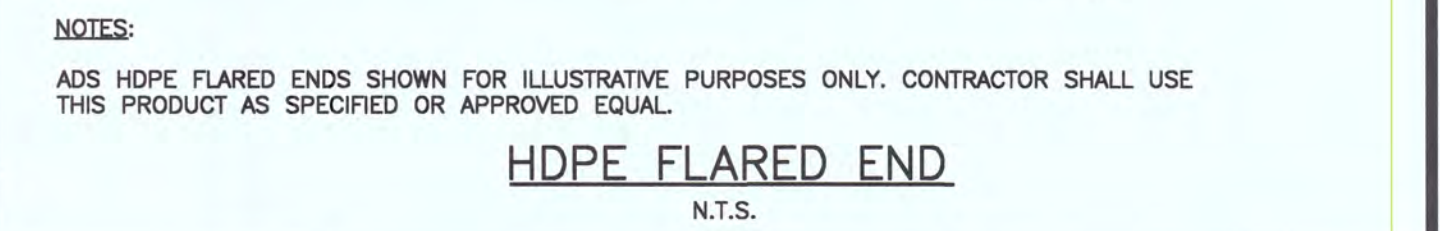
DRAINAGE AND UTILITY PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE DRAINAGE AND UTILITY PURPOSES ONLY.
3. PRIOR TO CONSTRUCTION, THE ELEVATION OF THE SANITARY FORCE MAIN SHALL BE DETERMINED. TOWN RECORDS DEPICT THE DEPTH TO BE APPROXIMATELY 4' DEEP. IF THE CONTRACTOR SHALL CONFIRM A MINIMUM SEPARATION DISTANCE OF 6\"/>



ELECTRIC TRENCH
N.T.S.

Diameter	PIPE DIAMETER, in (mm)					
	12 (305)	15 (375)	18 (450)	24 (600)	30 (750)	36 (900)
A	6.5 (165)	6.5 (165)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)
B (max)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)
H	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)
L	25.0 (635)	25.0 (635)	25.0 (635)	25.0 (635)	25.0 (635)	25.0 (635)
W	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)

Product detail may differ slightly from actual product appearance



NOTES:
ADS HDPE FLARED ENDS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL USE THIS PRODUCT AS SPECIFIED OR APPROVED EQUAL.

RECEIVED
SEP - 8 2021
TOWN OF ELLINGTON PLANNING DEPARTMENT

APPLICANT:
MRS. MAUREEN KEOHANE
39 WINDSHIRE DRIVE
ELLINGTON, CT 06029

PROPERTY OWNER:
MAUREEN A. KEOHANE &
LIFE ESTATE-WILLIAM KEOHANE
39 WINDSHIRE DRIVE
ELLINGTON, CT 06029

REVISIONS

DRAINAGE AND UTILITIES PLAN

C-DU1
SHEET 2 OF 3

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PREPARED FOR:
MRS. MAUREEN KEOHANE
39 WINDSHIRE DRIVE
SOUTH WINDSOR, CT
06074
860-798-6501

PROJECT NO:
23624

DATE:
9/07/21

DESIGN BY:
DMM

CHECK BY:
DMM

SCALE:
1" = 10'

PLOT PLAN
MAUREEN KEOHANE
2 EAST SHORE ROAD
ELLINGTON, CONNECTICUT 06029

- CONSTRUCTION SEQUENCE:**
1. INSTALL CONSTRUCTION EXIT AT DRIVEWAY AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ADJACENT PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
 2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
 3. REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.
 4. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
 5. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
 6. PUMPED DISCHARGE FOR ANY DENATURING ACTIVITIES MUST UTILIZE SILT-SAC OR APPROVED EQUAL MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
 7. INSTALL DRIVEWAYS, PROPOSED SITE UTILITIES, TOPSOIL, GRASS SEED, AND MULCH.
 8. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
 9. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

EROSION & SEDIMENTATION CONTROL NARRATIVE

1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
2. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY CORRECTIVE CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
3. CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEPED CLEAN AT ALL TIMES.
5. AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, SHALL BE STABILIZATION WITH FINAL VEGETATION WITHIN 7 DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDING WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE. WINTER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIED AT THE SAME RATE WITH A TACKIFIER PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
6. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:

MULCH:	RATE:
STRAW	90# / 1000 S.F.
TEMPORARY SEEDING:	RATE:
PERENNIAL RYEGRASS	1.0# / 1000 S.F.

7. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
8. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.
9. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST, APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE

10. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
11. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
12. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
13. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERTFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
14. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
15. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
16. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

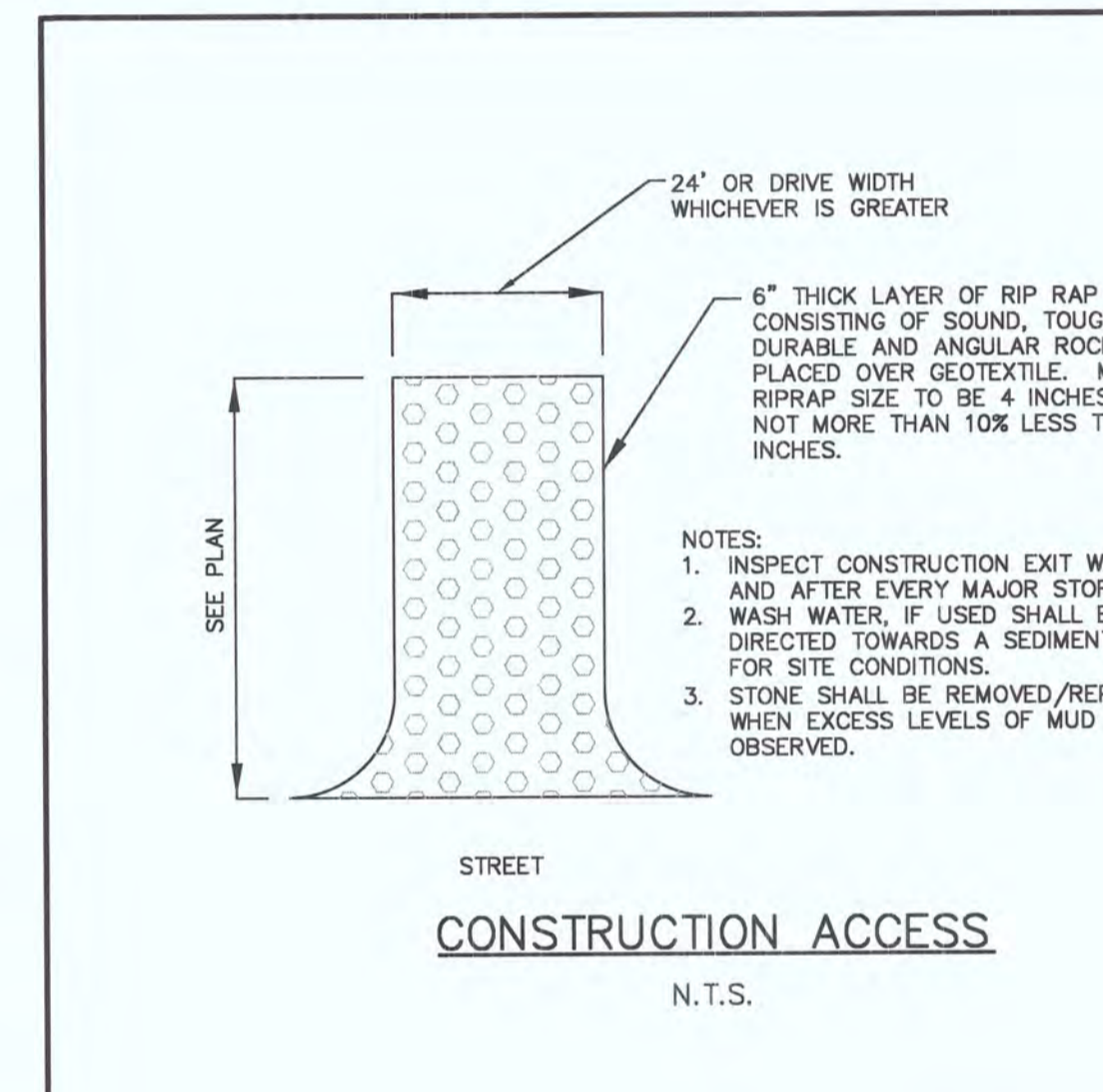
ESTIMATED CONSTRUCTION START DATE - FALL 2021
ESTIMATED COMPLETION DATE - FALL 2022

CONSTRUCTION DUST CONTROL NOTES

- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT, ON UNPAVED TRAVELWAYS AND TEMPORARY HAIL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, POND AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES, GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOIL'S PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF THE APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WETLANDS, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.

- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SAW CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE COMPLEX SURFACTANT, COPOLYMERS OR HIGH GRADE LATEX ACRYLICS. THE SOLUTIONS SHALL BE NONASPHALTIC, NONTOXIC TO HUMAN, ANIMAL AND PLANT LIFE, NONCORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.

PROJECT CONTACT INFO:
MAUREEN KEOHANE
[860-716-6610]

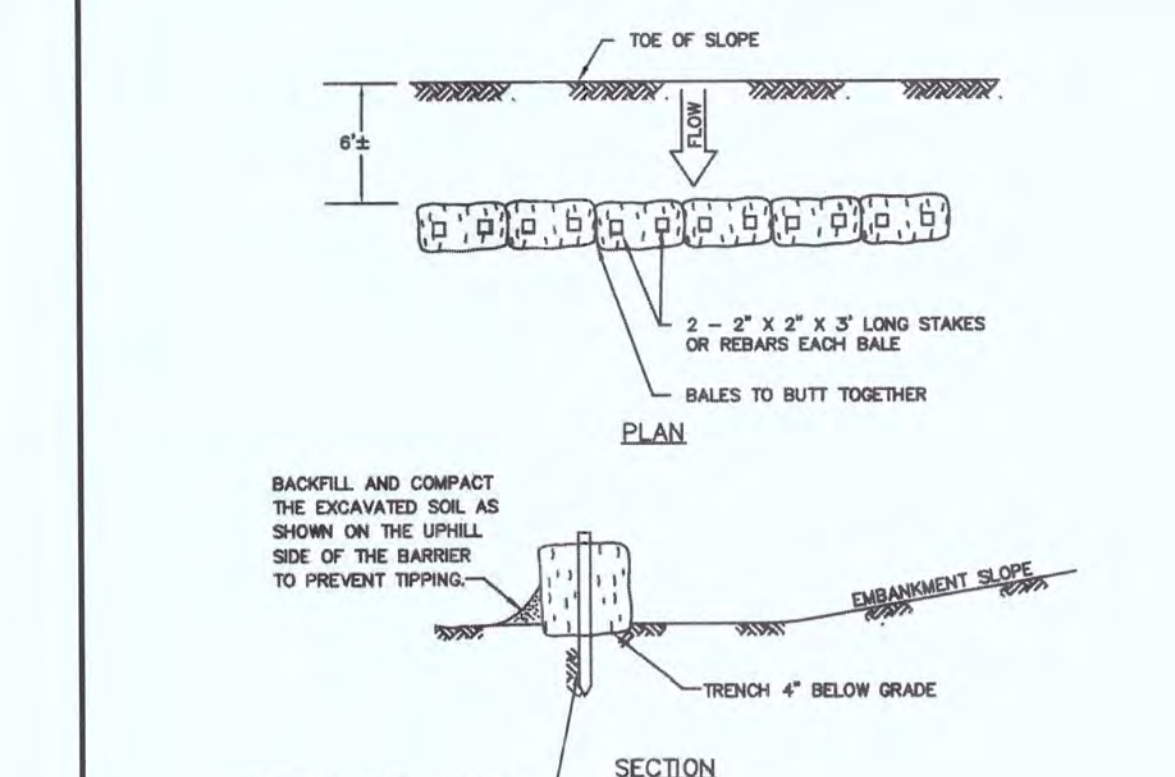
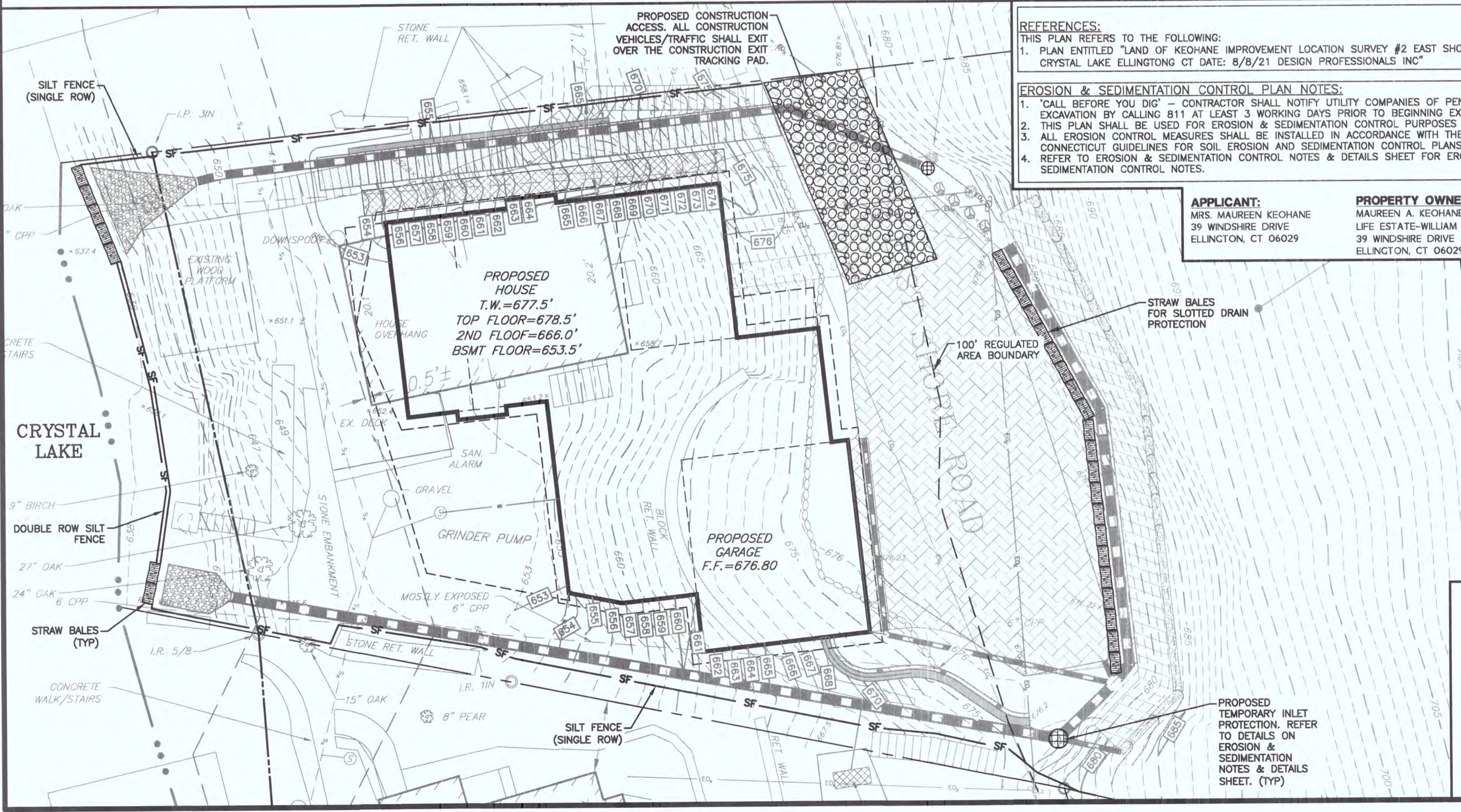


REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "LAND OF KEOHANE IMPROVEMENT LOCATION SURVEY #2 EAST SHORE ROAD CRYSTAL LAKE ELLINGTON CT DATE: 8/8/21 DESIGN PROFESSIONALS INC"

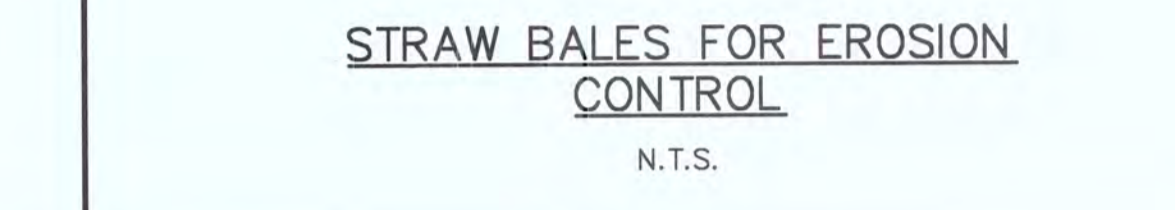
- EROSION & SEDIMENTATION CONTROL PLAN NOTES:**
1. CALL BEFORE YOU DIG - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
 2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
 3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
 4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

APPLICANT:
MRS. MAUREEN KEOHANE
39 WINDSHIRE DRIVE
ELLINGTON, CT 06029

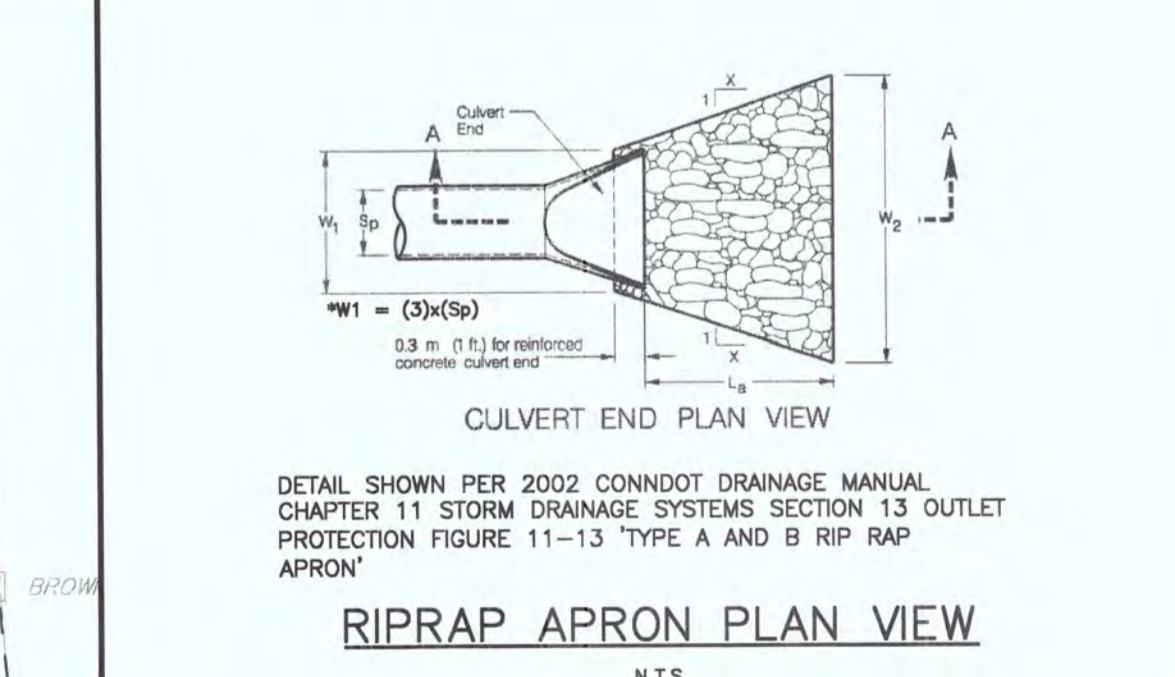
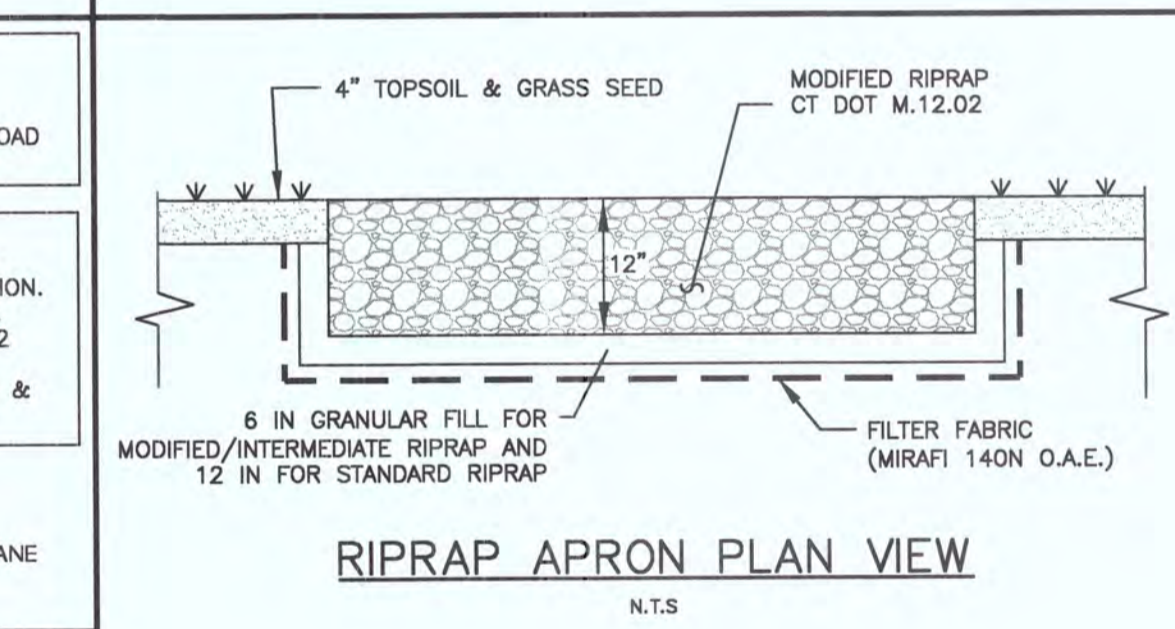
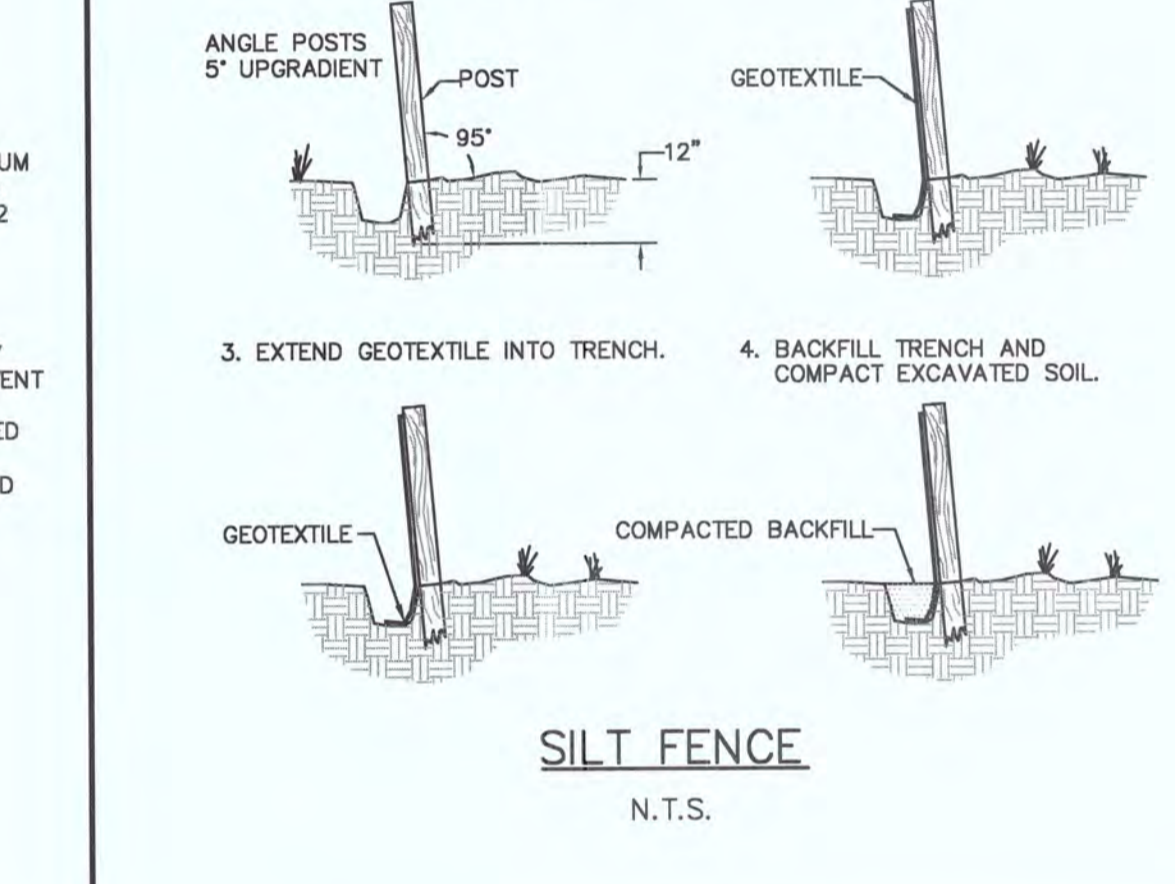
PROPERTY OWNER:
MAUREEN A. KEOHANE &
LIFE ESTATE-WILLIAM KEOHANE
39 WINDSHIRE DRIVE
ELLINGTON, CT 06029



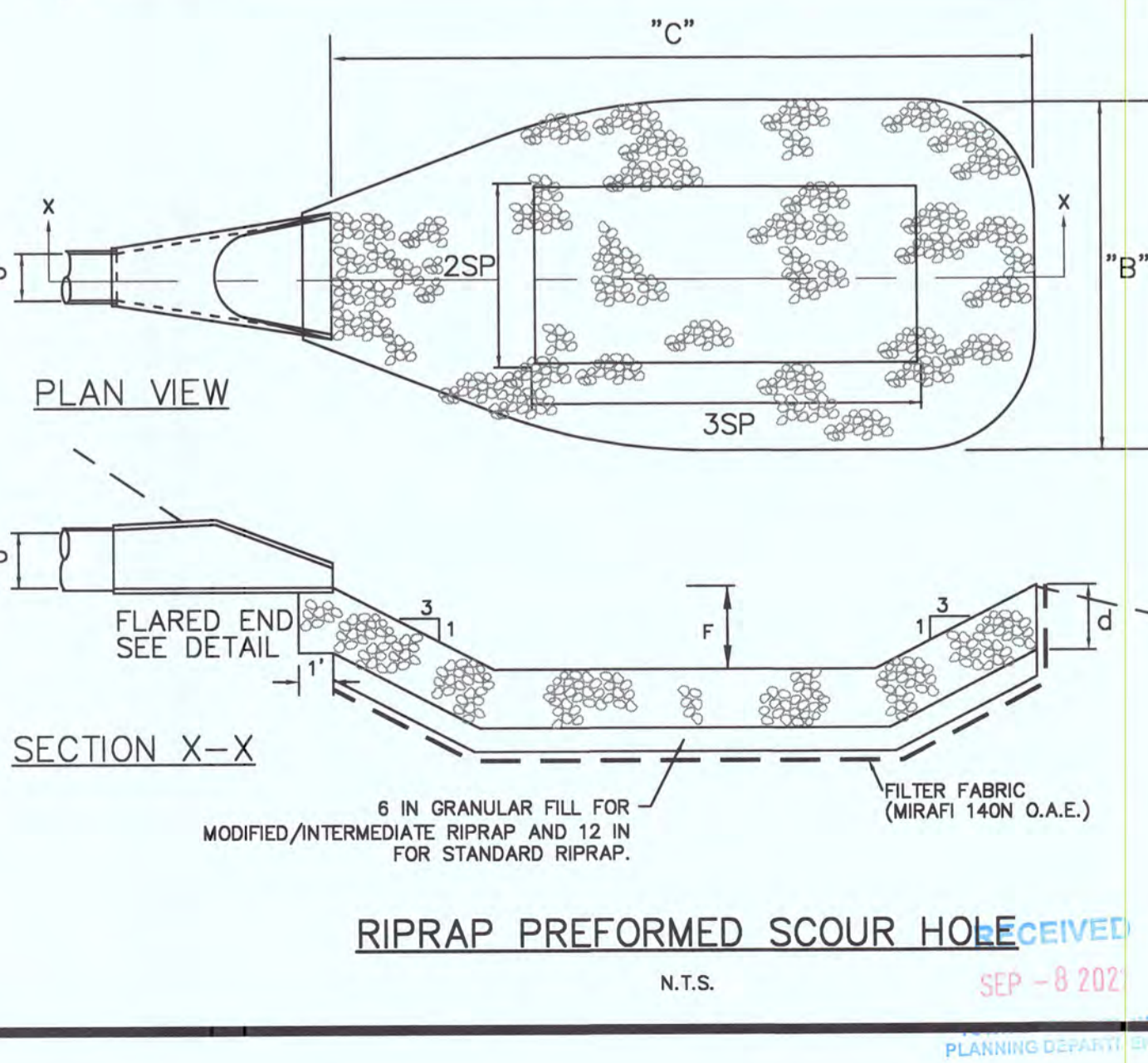
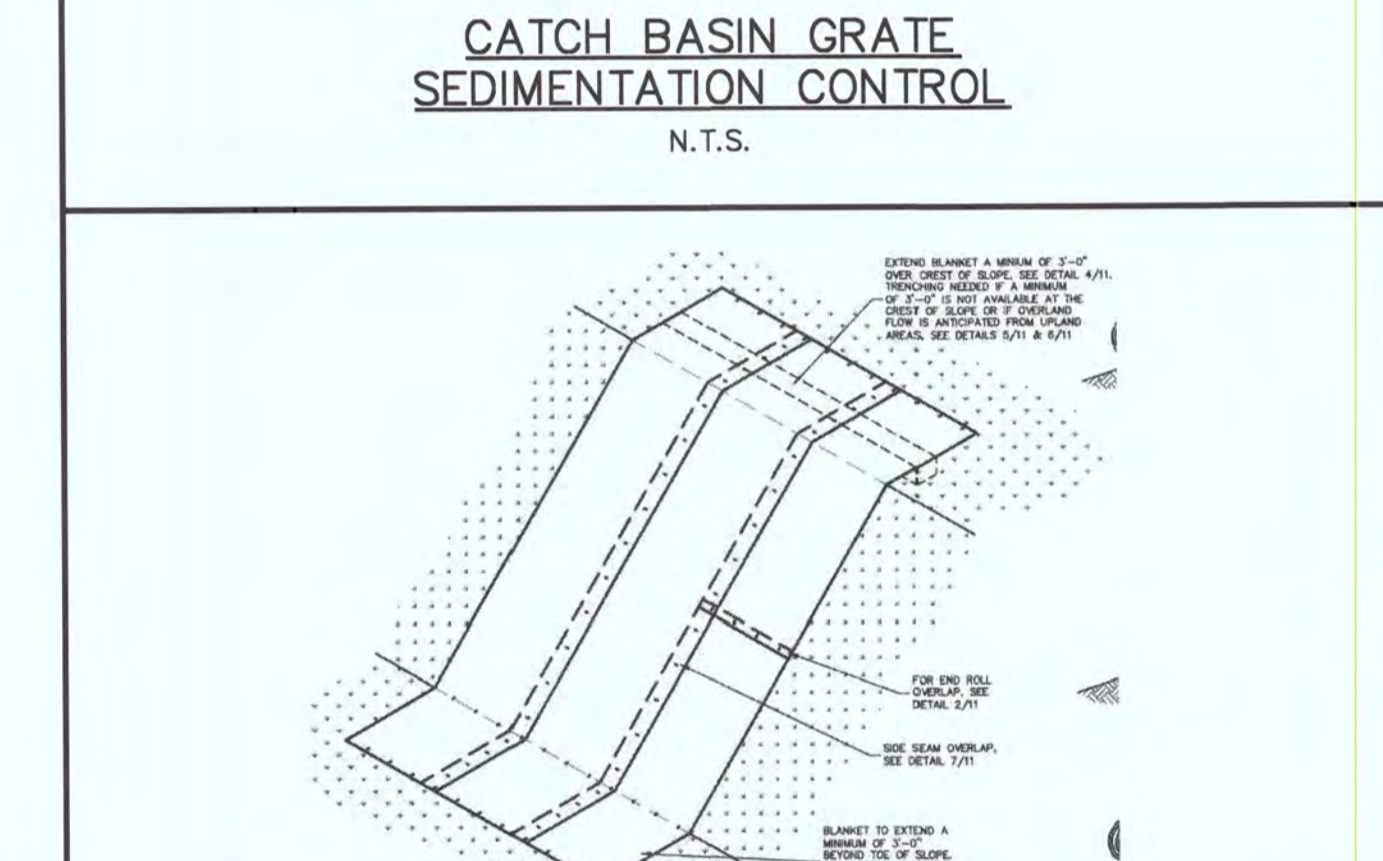
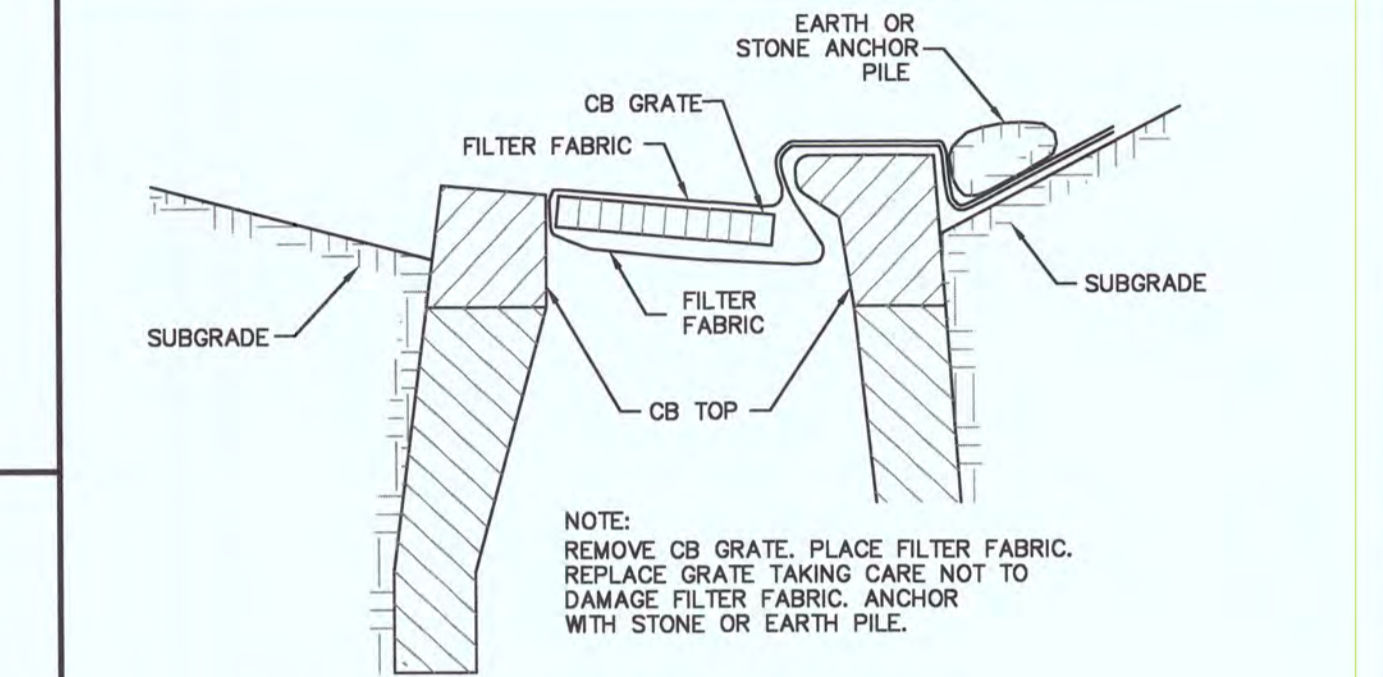
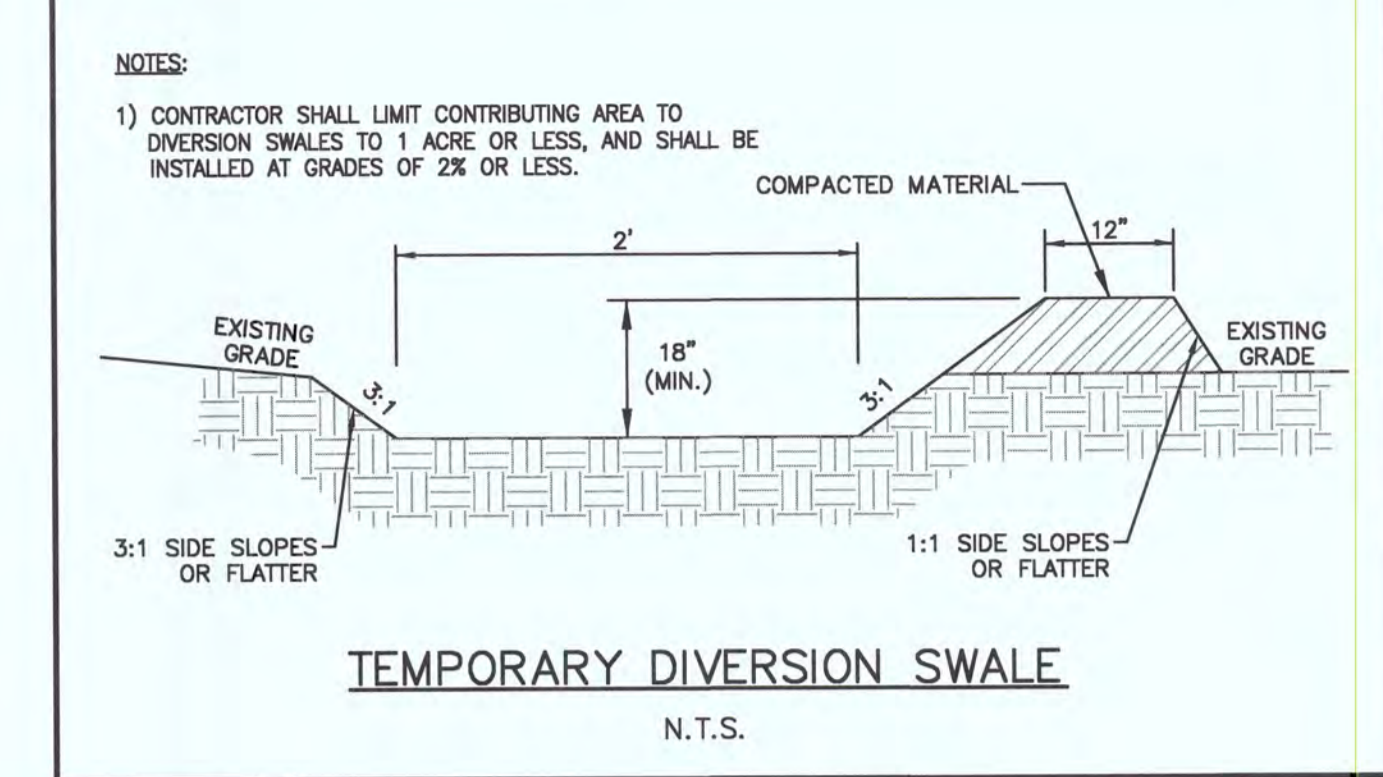
- NOTES:**
- 1) CONTRACTOR SHALL LIMIT CONTRIBUTING AREA TO DIVERSION SWALES TO 1 ACRE OR LESS, AND SHALL BE INSTALLED AT GRADES OF 2% OR LESS.



- NOTES:**
1. HAYBALES SHALL BE MAINTAINED AND/OR REPLACED AS REQUIRED OR AS DIRECTED BY THE ENGINEER.
 2. PLACE HAYBALES SUCH THAT TRIM OR BINDING WIRE IS PARALLEL TO THE EXISTING GROUND.



- RIPRAP PREFORMED SCOUR HOLE & APRON NOTES:**
- 1) d = 12 IN (WHEN MODIFIED RIPRAP SPECIFIED)
18 IN (WHEN INTERMEDIATE RIPRAP SPECIFIED)
36 IN (WHEN STANDARD RIPRAP SPECIFIED)
 - 2) RIPRAP GRADATIONS SHALL MEET CT DOT FORM 816 SECTION M.12.02
 - 3) FILTER FABRIC SHALL BE NONWOVEN AND SHALL MEET AASHTO M288-00, CLASS 2



design professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS / PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
MRS. MAUREEN KEOHANE
39 WINDSHIRE DRIVE
SOUTH WINDSOR, CT 06074
860-798-6501

DATE: 9/20/21
DESIGN BY: [Signature]
CHECKED BY: [Signature]
SCALE: N.T.S.

PLOT PLAN
MAUREEN KEOHANE
2 EAST SHORE ROAD
ELLINGTON, CONNECTICUT 06029

EROSION & SEDIMENTATION CONTROL PLAN

C-ES1
SHEET 3 OF 3



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
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**INLAND WETLANDS AGENCY
REGULAR MEETING MINUTES
MONDAY, SEPTEMBER 20, 2021, 7:00 P.M.
TOWN HALL ANNEX MEETING ROOM, 57 MAIN ST, ELLINGTON, CT**

REMOTE MEETING ATTENDANCE PROVIDED WITH ZOOM MEETING

PRESENT: In Person: Chairman Ken Braga, Vice Chairman Ron Brown, Katherine Heminway, Jean Burns, Hocine Baouche and Steve Hoffman

ABSENT: Art Aube and Alternate Francis Hann

STAFF

PRESENT: In Person: John Colonese, Assistant Town Planner/Wetland Enforcement Officer and Barbra Galovich, Land Use Assistant/Recording Clerk

I. CALL TO ORDER: Chairman Ken Braga called the Ellington Inland Wetlands Agency meeting to order at 7:00 pm.

II. PUBLIC COMMENTS (on non-agenda items): None

III. PUBLIC HEARING(S):

1. IW202110 – Juliano Family One LLC, owner / Brian Juliano, applicant request for a permit to conduct regulated activity to expand the pavement for a parking area at 100 Windermere Avenue, APN 018-021-0000.

Time: 7:01 pm

Seated: Braga, Brown, Heminway, Burns, Baouche and Hoffman

Brian Juliano, Juliano Pools, 321 Talcott Road, Vernon, CT attended in person and James DiMeo, Juliano Associates, LLC, 405 Main Street, Yalesville, CT attended via Zoom to represent the application.

Mr. DiMeo stated the plan is to expand parking southwest of the existing parking area on the Windermere Avenue side of the building and expand parking to the northeast of the existing parking on the Lower Butcher Road side of the building. Existing impervious lot coverage is 43% and the plan proposes the 60% allowed within an Industrial Park zone upon completion of project. Mr. DiMeo added that Mr. Juliano recently purchased a piece of land to the east of 100 Windermere Avenue which will be combined into one lot.

Vice Chairman Brown asked about the detention structures. Mr. DiMeo reviewed the underground detention structures on the Windermere Avenue side of the property and the detention basin on the Lower Butcher Road side. Mr. DiMeo stated the Town Engineer had some concerns about the detention basin, therefore they are proposing to expand the footprint of the detention basin to create more separation between the bottom of the basin and the underground water table.

Chairman Braga asked about the two dumpsters shown in the basin area on the plan. Mr. Juliano explained the 10 yard dumpster will be located near the loading bay area and the 20 yard dumpster will be moved to the southern side of the detention basin.

Chairman Braga asked if the email comments by the Town Engineer dated September 16, 2021 could be met. Mr. DiMeo noted they will be able to address all of the Town Engineer's comments.

Mr. Colonese said the plan indicates that the Wetlands delineation was completed on September 20, 2006 as part of a wetlands permit granted on December 11, 2006 for an access driveway to the rear of the building. He said the Town Engineer email comments dated 9/16/2021 could be added as a condition of approval. He noted the Planning & Zoning Commission may want to consider additional screening of the storage and parking areas to the rear of the building facing Lower Butcher Road, therefore planting of trees and shrubs may be needed within the wetlands area in order to provide sufficient screening. This area appears to be currently used for growing corn. The Agency was agreeable to allowing plantings for screening within the wetlands in this area, and to allow staff to approve the plantings.

Commissioner Hoffman asked about the FEMA 100-year flood elevation. Mr. DiMeo said that the elevation for the 100-year storm is 226.5 based on the datum used on the plan.

Commissioner Baouche raised concerns about potential oil and other leaks from trucks. Mr. Juliano responded that he intends to properly maintain all his vehicles and has them sent offsite for most repairs, and added that the property would not be used as a repair facility. Mr. Juliano also agreed that since there is no tree line denoting the wetlands limits, he will install wetland placards on posts along the wetlands line.

MOVED (BURNS) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO MAKE A DETERMINATION OF A NONSIGNIFICANT ACTIVITY FOR IW202110.

MOVED (HOFFMAN) SECONDED (BAOUCHE) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR IW202110.

MOVED (HEMINWAY) SECONDED (BAOUCHE) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITIONS IW202110 – Juliano Family One LLC, owner / Brian Juliano, applicant request for a permit to conduct regulated activity to expand the pavement for a parking area at 100 Windermere Avenue, APN 018-021-0000.

Conditions of Approval:

- 1) Shall comply with Town Engineer comments dated September 16, 2021 prior to construction.
- 2) Erosion and sediment bond to be posted prior to issuance of Wetlands Permit.
- 3) Detention basin may be increased in size outside of the wetlands area to address comments of Town Engineer.
- 4) Plantings to be allowed within the wetlands area for screening purposes with Planning Department staff approval.
- 5) Limit of wetlands shall be marked in the field with wetland placards every 50 feet or as advised by Planning Department staff beginning at Lower Butcher Road and ending at the southern portion of the building prior to completion of construction. Placards to be attached to posts.
- 6) Silt fence shall be installed then inspected by the wetlands agent prior to activity, and remain fully operational until the site is stabilized.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. John & Mary Lou Prange, owner/applicant, request for a permit to conduct regulated activity for the construction of a patio and walkways to the rear of the house at 31 Manhattan Road, APN 149-018-0000.

Mr. Colonese stated the owners of 31 Manhattan Road are seeking to have their application delegated to the wetlands agent for review. The plan is to add a patio on the lake side of the house at the existing grade and walkways. Since the parcel is a smaller non-conforming lot, the applicants plan to use pervious pavers for the project.

MOVED (BURNS) SECONDED (BAOUCHE) AND PASSED UNANIMOUSLY TO DELEGATE AUTHORITY TO THE WETLANDS AGENT FOR – John & Mary Lou Prange, owner/applicant, request for a permit to conduct regulated activity for the construction of a patio and walkways to the rear of the house at 31 Manhattan Road, APN 149-018-0000.

2. IW202111 - William & Maureen Keohane, owner/applicant, request for a permit to conduct regulated activity for the demolition and reconstruction of a single family home and associated site improvements at 2 East Shore Road, APN 149-093-0000.

BY CONSENSUS, THE AGENCY DECIDED TO RECEIVE AND SCHEDULE A PUBLIC HEARING FOR THE NEXT REGULAR MEETING ON THE OCTOBER 18, 2021 FOR IW202111 - William & Maureen Keohane, owner/applicant, request for a permit to conduct regulated activity for the demolition and reconstruction of a single family home and associated site improvements at 2 East Shore Road, APN 149-093-0000.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the August 9, 2021 Regular Meeting Minutes.

MOVED (HEMINWAY) SECONDED (BAOUCHE) AND PASSED UNANIMOUSLY TO APPROVE THE AUGUST 9, 2021 MEETING MINUTES AS WRITTEN.

2. Correspondence/Discussion:

- a. 84 Snipsic Lake Road – Repair of yard from rainstorm, property abuts Marsh Brook.

Mr. Colonese stated he and Chairman Braga visited the property after the owner contacted the Planning Department in order to conduct some repairs to their yard due to the damage from the recent rainstorms. Chairman Braga and Mr. Colonese advised the owner to install some sediment and control measures until the area is seeded and stabilized. The owner expects the repair work to be complete by the second week of October.

- b. 59 Pinney Street (Pinney Street Fields) – Possible dog park behind existing shed.

The Agency discussed the proposal of a dog park behind the existing shed on site and did not like the location due to the proposal being within the wetlands. They questioned if other locations on the property would work for a dog park outside of the wetlands. Mr. Colonese said he would share their comments with the Department of Public Works.

VII. ADJOURNMENT:

MOVED (BURNS) SECONDED (HOFFMAN) AND PASSED UNANIMOUSLY TO ADJOURN THE SEPTEMBER 20, 2021 REGULAR MEETING OF THE INLAND WETLANDS AGENCY AT 7:52 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk