

WESTPORT BOARD OF EDUCATION

AGENDA*

(Agenda Subject to Modification in Accordance with Law)

PUBLIC CALL TO ORDER

7:00 p.m., Staples High School, Cafeteria B (Room 301)

ANNOUNCEMENTS FROM BOARD AND ADMINISTRATION

PUBLIC QUESTIONS/COMMENTS ON NON-AGENDA ITEMS (15 MINUTES)

MINUTES: June 14; July 13 and 27; August 2 and 23, 2021

DISCUSSION

- | | | |
|--|---------|--|
| 1. Health Update | | Ms. Suzanne Levasseur |
| 2. Staples High School Roof Project, <i>pages 3-17</i> | (Encl.) | Mr. Elio Longo
Mr. Charles Warrington |
| 3. Class Size Report, <i>pages 18-22</i> | (Encl.) | Mr. John Bayers |
| 4. Reassignment of Westport Police Department Patrols to Westport Public Schools | | Mr. Thomas Scarice
Cpt. Ryan Paulsson |
| 5. 2021-2022 Board Goals | | Ms. Candice Savin |
| 6. Policy Committee Update | | Ms. Karen Kleine |

ADJOURNMENT

*A 2/3 vote is required to go to executive session, to add a topic to the agenda of a regular meeting, or to start a new topic after 10:30 p.m.
The meeting can also be viewed on Cablevision on channel 78; Frontier channel 6021 and by video stream @www.westportps.org

PUBLIC PARTICIPATION WELCOME USING THE FOLLOWING GUIDELINES:

- Comment on non-agenda topics will occur during the first 15 minutes *except* when staff or guest presentations are scheduled.
- Board will not engage in dialogue on non-agenda items.
- Public may speak as agenda topics come up for discussion or information.
- Speakers on non-agenda items are limited to 2 minutes each, except by prior arrangement with chair.
- Speakers on agenda items are limited to 3 minutes each, except by prior arrangement with chair.
- Speakers must give name and use microphone.
- Responses to questions may be deferred if answers not immediately available.
- Public comment is normally not invited for topics listed for action after having been publicly discussed at one or more meetings.



WESTPORT PUBLIC SCHOOLS

THOMAS SCARICE

Superintendent of Schools

110 Myrtle Avenue
Westport, Connecticut 06880
Telephone: (203) 341-1025
Fax: (203) 341-1029
tscarice@westportps.org

To: Westport Board of Education Members
From: Thomas Scarice, Superintendent of Schools
Re: August 30, 2021 Board of Education Meeting
Date: August 27, 2021

Provided below for Board consideration is an overview of the meeting agenda items for August 30, 2021. The meeting will be held in-person.

Discussion

1. Health and Reopening Update

Health Services Supervisor, Sue Levasseur, and I will share the latest information related to virus transmission levels and trends in the region, the most recent guidance provided by the Connecticut Department of Public Health and Department of Education, and the most updated status of the mitigating measures the district will employ at the start of the school year. As with last year, changes in policy and guidance from the state level have shifted continuously, most recently with clarifications to the vaccination mandate in the form of a FAQ document on Wednesday August 25. As we maintain as much normalcy for students as possible, we will continue the approach of layered mitigation in which measures will be added or removed as conditions warrant. Sue and I will cover these measures and discuss any potential adjustments as we approach the year as we did last year, generally in 4-6 week increments.

2. Staples High School Roof Project

The Board's priority in maintaining its facilities is evident in the long-term capital maintenance plan. In collaboration with our partners from Colliers, International, The Board will be presented with a review of the partial roof replacement project for Staples High School, an owners design review, and an updated milestone schedule.

The milestone schedule, developed by Charles Warrington of Colliers, outlines the key steps in this project, along with the required formal resolutions among the town boards. The next step involves a review of the project to the Board Monday evening with an action item scheduled for the Board on September 8. Following Board action, the project will then proceed to the Board of Finance for two meetings in October, RTM Education and Finance Committees thereafter, before final approval of the full RTM on November 2. This timeline enables the Board to promptly begin the grant application process with the state Office of School Construction Grants and Review (OSCGR) to apply for any eligible reimbursements. Further, this timeline would offer the Board the best opportunity to secure bids and establish some measure of cost certainty in the acquisition of materials and supplies.

This item is scheduled for discussion only for August 30 with the expectation that the Board will take action to advance this project on September 8. The milestone timeline has been included in the Board packet.

3. Class Size Report

Given the volatility of enrollment numbers over the past two years, there have been adjustments to class sizes, and in some cases, additional teachers have been added over the summer as the newly enrolled students have pushed class sizes past the Board's guidelines "tipping point" warranting the addition of sections. I have asked John Bayers, Assistant Superintendent for Human Resources and General Administration, to provide a K-5 class size report to the Board illustrating the individual class sizes in each section for each grade in all five elementary schools. In addition, John will provide information related to the difference between what was budgeted, based on projections, and what has transpired since the spring with 88 additional K-5 students than projected (as of Friday morning August 27). The two schools impacted the most are Long Lots Elementary School (+40 over projection) and Saugatuck Elementary School (+30 over projection).

This item is informational only for the Board and community.

4. Reassignment of Westport Police Department Patrols to Westport Public Schools

The Board approved a School Resource Officer (SRO) program at Staples High School for the 2018 school year. During the consolidation of Bedford and Coleytown Middle Schools, for the purposes of renovating Coleytown Middle School,

Interim Superintendent, Dr. David Abbey, worked to establish the presence of an extra officer on the Bedford Middle School campus while the two schools cohabitated during the 2019-2020 school year. The officer was assigned to the perimeter, but also entered the school, in and around the main office area, intermittently interacting with the school community. Additionally, the officer provided some other assistance, such as helping evaluate the performance of emergency response drills. This position sunsetted at the conclusion of the 2019-2020 school year.

Recently I informed the Board that Westport Police Chief Foti Koskinas offered to reassign his daily patrols to include a patrol assignment that would cover the seven schools that are not serviced daily by our SRO (i.e. all schools except Staples High School). There are over 6,000 total people on our campuses during school hours, representing a significant percentage of the Westport population on any given day. This patrol assignment would not require funding by the Board of Education.

The purpose of this assignment would be to monitor and patrol the perimeter, to cover the campuses with a consistent presence when there is a car accident on campus or a complaint from a school that elicits a police response, and to foster positive relations between the schools and the police department. Although these are the primary roles, when the right person is selected for such a role, I also see value in a police officer acting as a positive role model in our schools, intermittently and informally interacting with our younger students (i.e. K-8), administration, and staff to develop positive relationships.

When the principals were informed of this, they shared their support for this opportunity. In fact, some offered a space in their schools to welcome this patrol officer so that the officer would have a location to complete basic tasks such as checking email, following up on any necessary business, etc. We are fortunate in Westport to have a police chief that prioritizes a community-focused approach, and positive relations with the schools. I fully support this partnership and have complete confidence that this offer on behalf of Chief Koskinas is a welcomed addition to the various supports and resources we provide our students and staff.

Although this is not an action item, it was appropriately requested to be discussed at the Board meeting Monday evening to transparently share with the community the intention of this role. As always, the Board can add an action item to its agenda if decided by a majority of its members.

5. 2021-2022 Board Goals

The Board has discussed “Board Goals” for the 2021-2022 school year at recent meetings. Although this topic remains open-ended, it was requested to put this item on the agenda as a discussion item. There is some agreement on the goals of developing and initiating a district strategic plan, and developing a plan for the onboarding of new board members. This can be explored further at the meeting. In addition, two other areas of interest for goal development are the establishment of by-laws for Board committees, and a goal related to the development and presentation of the Board’s budget.

This is a discussion item for the Board. If there is agreement, an action item related to Board goals can be added to the September 8 agenda. If not, this topic can perhaps be deferred.

6. Policy Committee Update

The Policy Committee met on Friday August 27 and would like to provide the Board with an update only. There are no action items for the Board. The updates include information on the booster club policy draft and the possibility of conducting a Title IX audit of the district booster clubs as part of this work.

August 26, 2021

Mr. Elio Longo
Chief Financial Officer
Westport Public Schools
110 Myrtle Avenue
Westport, CT 06880

**Subject: *Westport Public Schools
Staples High School Roof Replacement
Construction Documents***

Dear Mr. Longo:

Enclosed for transmission to the Board of Education members are the construction documents (plans and project manual), construction estimate prepared by Silver Petrucelli + Associates (SPA), and design review prepared by Colliers. SPA is currently reviewing this document and incorporating the appropriate changes. This review includes comments provided by the Facilities Director, Ted Hunyadi.

The construction budget for this project was established at \$5,278,000. SPA's estimate for the construction cost is \$4,978,920. This equates to a construction cost per square foot of \$24.05. The Saugatuck bid cost was \$20.22 per square foot however there are expected increases in material costs that will increase this amount which may bring it closer to the Staples cost.

Please note that SPA included their design fees (\$59,700) in their estimate and a recommended contingency of 5%. Collier's current proposal to provide architect selection and design phase services \$16,000. As of August 20, 2021, Collier's has expended approximately \$8,530.00 in fee plus any reimbursable expenses. Our services will continue through the bidding phase in January, 2022.

The project is scheduled to proceed through board of education, board of finance and RTM approvals by November 9, 2021. We are scheduled to submit the grant application to the Office of School Construction Grants and Review on November 10, 2021 and ultimately meet with that office in early December to request permission to bid. Upon receiving permission to bid, the project will be advertised immediately with bids scheduled to be received in mid-January, 2022. Construction is schedule to commence immediately after graduation in June 2022 but is subject to material availability.

As we are aware, reports of 5-to-6-month lead times are currently in effect for roofing materials, specifically roof insulation, fasteners and adhesives. We will be monitoring this issue consistently

through the bid date to ascertain any schedule risks. We strongly recommend advertising the project as soon as possible to procure materials prior to June 2022. As of this date, the supply of these materials is unknown. There is extremely high demand nationally so your project will be in competition with other projects thus the need to advertise as early as possible.

In closing, Colliers recommends that the Board of Education approve the plans, specifications and estimate. Both Colliers and SPA representatives will be at the August 30, 2022 meeting to present these materials and answer any questions regarding the project. Should you have any questions feel free to contact me directly at (860) 235-5313.

Sincerely,

A handwritten signature in blue ink, appearing to read "Charles E. Warrington, Jr.".

Charles E. Warrington, Jr., P.E.
Director, Project Management

Enclosure

cc: Paul Jorgensen, Silver Petrucelli & Associates, Inc.

Westport Public Schools

Staples High School Partial Roof Replacement

70 North Avenue
Westport, Connecticut 06880



DRAWING LIST:

	Cover Sheet
C1	Code Information Legend
A1	Overall Roof Plan
A2	Roof Plan Part #1
A3	Roof Plan Part #2
A4	Roof Plan Part #3
A5	Roof Details
HBM-01	Hazardous Building Materials Abatement Plan



SILVER / PETRUCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340

One Post Hill Place, New London, CT 06320

Tel. 203 230 9007 Fax. 203 230 8247

silverpetrucelli.com

TOWN OF WESTPORT OFFICIALS:

Building Inspector:

Fire Marshal:

Sanitarian/Health Inspector:

ADA/504 Coordinator:

State Project # RR

August 13, 2021

CODE INFORMATION

DATE OF ORIGINAL CONSTRUCTION

1937

DATE OF ADDITION

1. GROUP CLASSIFICATION (Chapter 3)

(Primary)

E-EDUCATIONAL

(Incidental)

A3-ASSEMBLY

2. CONSTRUCTION TYPE (Chapter 6)

Minimum Type Required

2B

Actual Type Provided (existing)

--

(new)

2B

3. BUILDING HEIGHT (Chapter 5)

Allowable Height (story/feet)

3/75'-0"

Actual Height (story/feet)

1/30'-0"

(Stories Above Grade)

2

4. BUILDING AREA (Chapter 5)

a) Building Area (first)

Existing construction

N/A

sq.ft.

New construction

0

sq.ft.

Total floor

N/A

sq.ft.

b) Building Area (second)

Existing construction

sq.ft.

New construction

0

sq.ft.

Total floor

N/A

sq.ft.

TOTAL (ALL FLOORS)

N/A

sq.ft.

5. AREA MODIFICATIONS TO TABLE 503 (for each separate building as defined by fire walls and/or exterior walls)

NA

6. CASE 1 – SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1)

(Allowable Area 506.4)

NA

7. CASE 2 – MIXED OCCUPANCY SEPARATED USES (302.3.2)

(Allowable Area 506.4)

NA

8. FIRE-RESISTANCE RATED REQUIREMENTS FOR BUILDING ELEMENTS

(Table 601, See Code Plans for specific designations)

1 Structural frame: including columns, girders, trusses

0

Hr(s)

2 Bearing walls: Exterior (Table 602)

0/1

Hr(s)

Interior

0

Hr(s)

3 Nonbearing walls & partitions Exterior (Table 602)

0/1

Hr(s)

Interior

0

Hr(s)

4 Nonbearing walls & partitions

0

Hr(s)

5 Floor Construction (including supporting beams & joists)

0

Hr(s)

6 Roof Construction (including supporting beams & joists)

0

Hr(s)

9. OCCUPANCY LOAD

Design Total for Basement

NA

Total Exit Capacity for Basement

NA

Design Total for First Floor

NA

Total Exit Capacity for First Floor

NA

Design Total for Building

NA

Total Exit Capacity for Building

NA

10. MODIFICATIONS

Approved

Not Approved

Approved

Not Approved

Approved

Not Approved

Approved

Not Approved

11. ACCESSIBLE BUILDING

X

Designated

Non Designated

12. MINIMUM PLUMBING FIXTURE COUNT (I.P.C. Chapter 4)

For each type of occupancy per entire facility

Group "A3" occupancy (Design Load = NA)

Required

Provided

W/C Male

NA

NA

W/C Female

NA

NA

Lavs

NA

NA

D/F

NA

NA

W/C Unisex

NA

NA

Lavs Unisex

NA

NA

Group "E" occupancy. (Design Load = NA)

W/C

NA

NA

Lavs

NA

NA

D/F

NA

NA

(Total Design Load for entire facility = NA)

Yes

No

13. ENTIRE BUILDINGS SPRINKLERED

X

Yes

No

14. THRESHOLD BUILDING CONDITIONS

X

15. CODES TO WHICH THIS PROJECT WAS DESIGNED

State Building Code

2012 IBC/2016 CT AMENDMENTS

State Mechanical Code

2012 ICC/2016 CT AMENDMENTS

State Plumbing Code

2012 ICC/2016 CT AMENDMENTS

State Energy Conservation Code

2012 ICC/2016 CT AMENDMENTS

State Electrical Code

2014 NFPA 70/2016 CT AMEND.

State Health Code

MOST CURRENT

OSHA

MOST CURRENT

Section 504

CURRENT

ADA

2010

ANSI 117.1

2009

16. BUILDING AREAS FOR GRANT CALCULATION (ENTIRE FACILITY)

(measured to inside face of exterior walls)

Existing unrenovated construction

0

sq.ft.

Existing renovated construction

0

sq.ft.

Existing being demolished

0

sq.ft.

Total existing construction

N/A

sq.ft.

Total new construction

0

sq.ft.

Total facility

N/A

sq.ft.

Open Areas (not included in total facility)

NA

NA

sq.ft.

17. TOTAL CONSTRUCTED BUILDING AREA (outside face of exterior walls including open areas above)

NA

sq.ft.

FIRE SAFETY CODE DATA:

1. CLASSIFICATION OF OCCUPANCY

EDUCATIONAL/ASSEMBLY

2. MINIMUM CONSTRUCTION REQUIRED

5B

ACTUAL CONSTRUCTION PROVIDED

5B

3. NOTIFICATION / ALARMS

YES

X

NO

(CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)

4. DETECTION

YES

X

NO

(CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)

5. EXTINGUISHMENT REQUIREMENTS

YES

X

NO

(NFPA 13, 2002)

MEANS OF EGRESS

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

IBC TABLE 1004.1.2

USE

FLOOR AREA IN S.F. PER OCCUPANT

1. CLASSROOMS

20 S.F. NET

2. SHOPS & VOCATIONAL

50 S.F. NET

3. ASSEMBLY

WITHOUT FIXED SEATS

7 S.F. NET

TABLES AND CHAIRS

15 S.F. NET

4. PLATFORMS

15 S.F. NET

5. LIBRARY

READING ROOMS

50 S.F. NET

STACK AREA

100 S.F. GROSS

6. LOCKER ROOMS

50 S.F. GROSS

7. MECHANICAL AREAS

300 S.F. GROSS

8. STORAGE

300 S.F. GROSS

9. BUSINESS AREAS

100 S.F. GROSS

10. Courtyards

15 S.F. NET

MAXIMUM LENGTH OF EXIT TRAVEL

1. I.B.C. TABLE 1015.1

250 FEET

SYMBOL LEGEND

- PLAN, SECTION, DETAIL OR ELEVATION NUMBER - SHEET NUMBER.

- EXISTING OUTLINE OF BUILDING.

- INDICATES SLOPE DIRECTION OF TAPERED INSULATION AT 1/4"FT. MIN.

- TAPERED INSULATION CRICKET SLOPED @ 1/4"FT.

- CONTRACTOR TO VERIFY DIMENSION IN FIELD.

- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.

- INDICATES HIGH POINT OF INSULATION.

- EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.

- ROOF DRAIN & SUMP TO BE INSTALLED. SEE DETAIL A/A5.

- OVERFLOW EMERGENCY DRAIN IN EXIST LOCATION. SEE DETAIL A/A5

- HORIZONTAL ROOF DRAIN LEADER. SEE CONSTRUCTION NOTE #5.

- EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A5.

- METAL COLLECTION BOX. SEE DETAIL R/A5.

- METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3.

- EXIST. VENT STACK. SEE DETAIL B/A5.

- PITCH POCKET DETAIL. SEE DETAIL D/A5.

- EXIST. ROOF TOP FAN UNIT. SEE DETAIL C/A5.

- EXIST. MECHANICAL UNIT. SEE DETAIL U/A5.

- EXIST. ROOF TOP MECH. UNIT. SEE DETAIL E/A5.

- WALKWAY PADS. SEE CONSTRUCTION NOTE #2.

- SKYLIGHT. SEE DETAIL J/A5.

- METAL LADDER TO REMAIN.

- EXIST. CHIMNEY. SEE DETAIL H/A5.

- EXPANSION JOINT. SEE DETAIL T/A5.

- ROOF HATCH. SEE DETAIL F/A5.

- EXIST. MECH UNIT DUCTWORK TO REMAIN. SEE DETAIL

- EXIST. METAL STAIRCASE TO REMAIN.

- ROOF DIVIDER. SEE DETAIL X/A5

- NEW METAL LADDER. SEE DETAIL N/A5

- EXIST SMOKE HATCH TO REMAIN. SEE DETAIL Y/A5

DEMOLITION NOTES

1. REMOVE ALL EXISTING EPDM ROOFING & INSULATION.

2. REMOVE ALL INDICATED EXISTING WOOD BLOCKING.

3. REMOVE ALL INDICATED EXISTING METAL FLASHING.

4. REMOVE EXISTING SKYLIGHTS.

5. REMOVE EXISTING ROOF DRAINS & SUMP.

GENERAL NOTES

1. ALL FLAT ROOFS TO RECEIVE 1/4" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.

2. FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.

3. ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED 'EXISTING'.

4. ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED. (P.T.)

5. ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.

6. ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8". (VERTICAL OR HORIZONTAL)

7. CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.

8. CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PERCED OR DAMAGED.

9. CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.

10. SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDED AS REQUIRED TO MATCH ADJACENT CONDITIONS.

11. CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.

12. SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.

13. ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.

14. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.

15. SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE

16. ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.

17. NEW ROOF INSULATION TO BE A MINIMUM OF 4" AT ALL NEW ROOF DRAINS & LOW POINTS OF THE ROOF AREAS

18. ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

ROOF AREAS

ROOF 1" 43,419 SF.	ROOF 16" 3,284 SF.
ROOF 2" 15,000 SF.	ROOF 17" 103 SF.
ROOF 3" 608 SF.	ROOF 18" 22,748 SF.
ROOF 4" 689 SF.	ROOF 19" 3,836 SF.
ROOF 5" 1,618 SF.	ROOF 20" 3,820 SF.
ROOF 16" 12,252 SF.	ROOF 21" 8,122 SF.
ROOF 17" 14,799 SF.	ROOF 22" 1,741 SF.
ROOF 18" 2,244 SF.	ROOF 23" 763 SF.
ROOF 19" 16,528 SF.	ROOF 24" 2,080 SF.
ROOF 40" 5,793 SF.	ROOF 25" 5,051 SF.
ROOF 41" 4,261 SF.	ROOF 26" 4,765 SF.
ROOF 42" 2,169 SF.	ROOF 27" 16,049 SF.
ROOF 43" 5,053 SF.	ROOF 28" 3,267 SF.
ROOF 44" 2,352 SF.	ROOF 29" 20,281 SF.
ROOF 45" 103 SF.	

TOTAL FLAT ROOFS: 206,998 SF.
THIS AREA IS APPROXIMATE- V.I.F.

ENERGY CONSERVATION

IECC CODE REQUIREMENT R-VALUE TOTAL
CONNECTICUT ZONE 5A
CBSC REQUIREMENT: R-30 = U .0383

CODE INFORMATION

USE GROUP : E
CONSTRUCTION CLASS: 2B
BASIC WIND SPEED: 110 MPH
RISK CATEGORY #3: 134 MPH
FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM), ROOF ASSEMBLY
CLASSIFICATION OF NON-COMBUSTIBLE
CONSTRUCTION, WIND UPLIFT REQUIREMENT OF
H-60 FOR FIELD, H-90 FOR PERIMETER AND H-120
FOR CORNERS, IN ACCORDANCE WITH FM
PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

ROOF ASSEMBLY

OUTSIDE AIR	0.17
EPDM	0.33
COVER BOARD	2.20
5" POLYISO INSUL.	29.5
EXISTING DECK	1.23
INSIDE AIR	0.61
R TOTAL:	34.22

Project Title:

Westport Public Schools
Staples High School Partial Roof Replacement
70 North Avenue
Westport, Connecticut 06880

SILVER / PETRUCCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340

One Post Hill Place, New London, CT 06320

Tel. 203 230 9007 Fax. 203 230 8247

silverpetrucci.com

Revised:

Description:

Date:

Revised By:

Drawing Title:

Code Information

STATE PROJECT # RR

Date:

AUGUST 13, 2021

Scale:

NONE

Drawn By:

K. LINSLEY

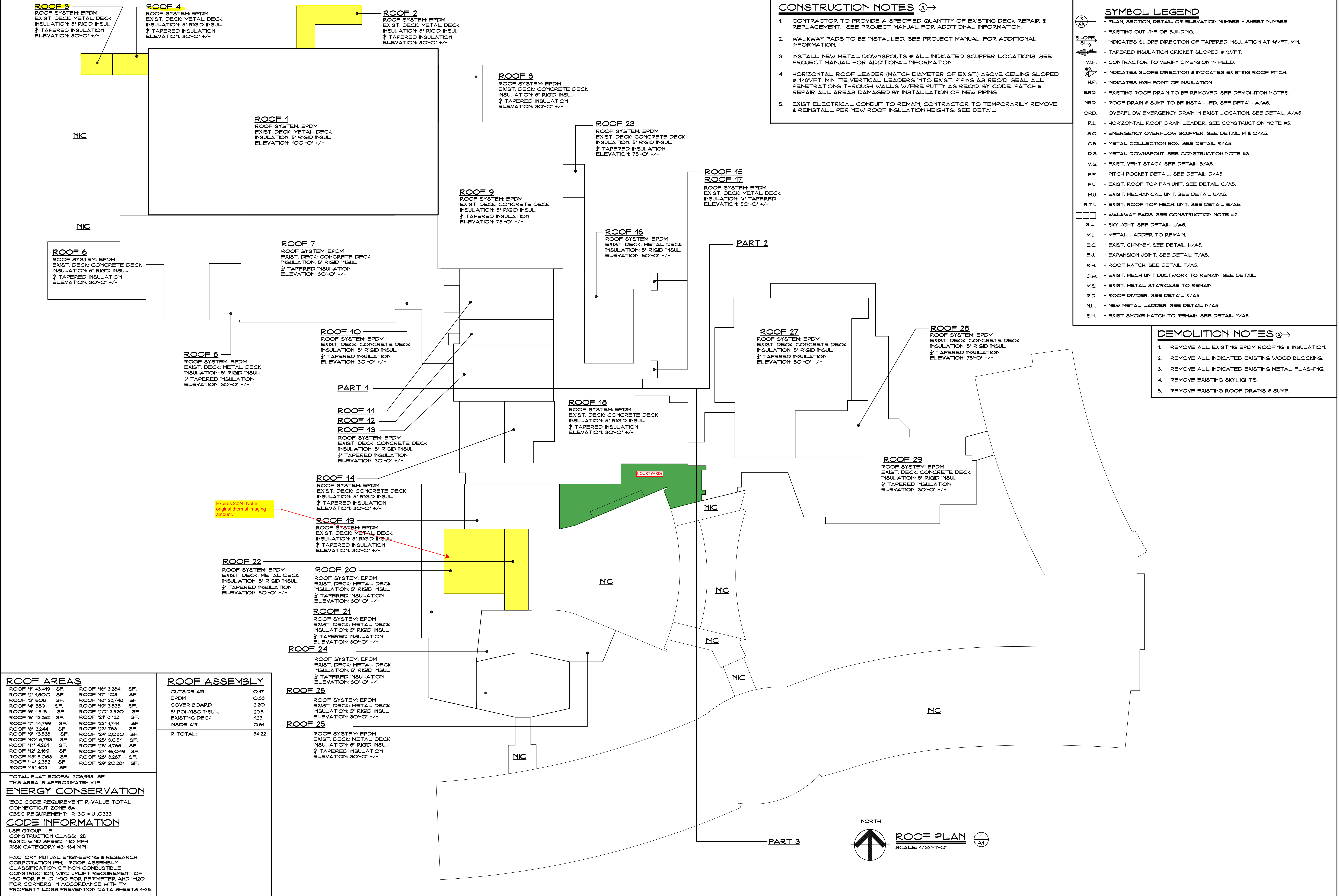
Project Number:

21.132

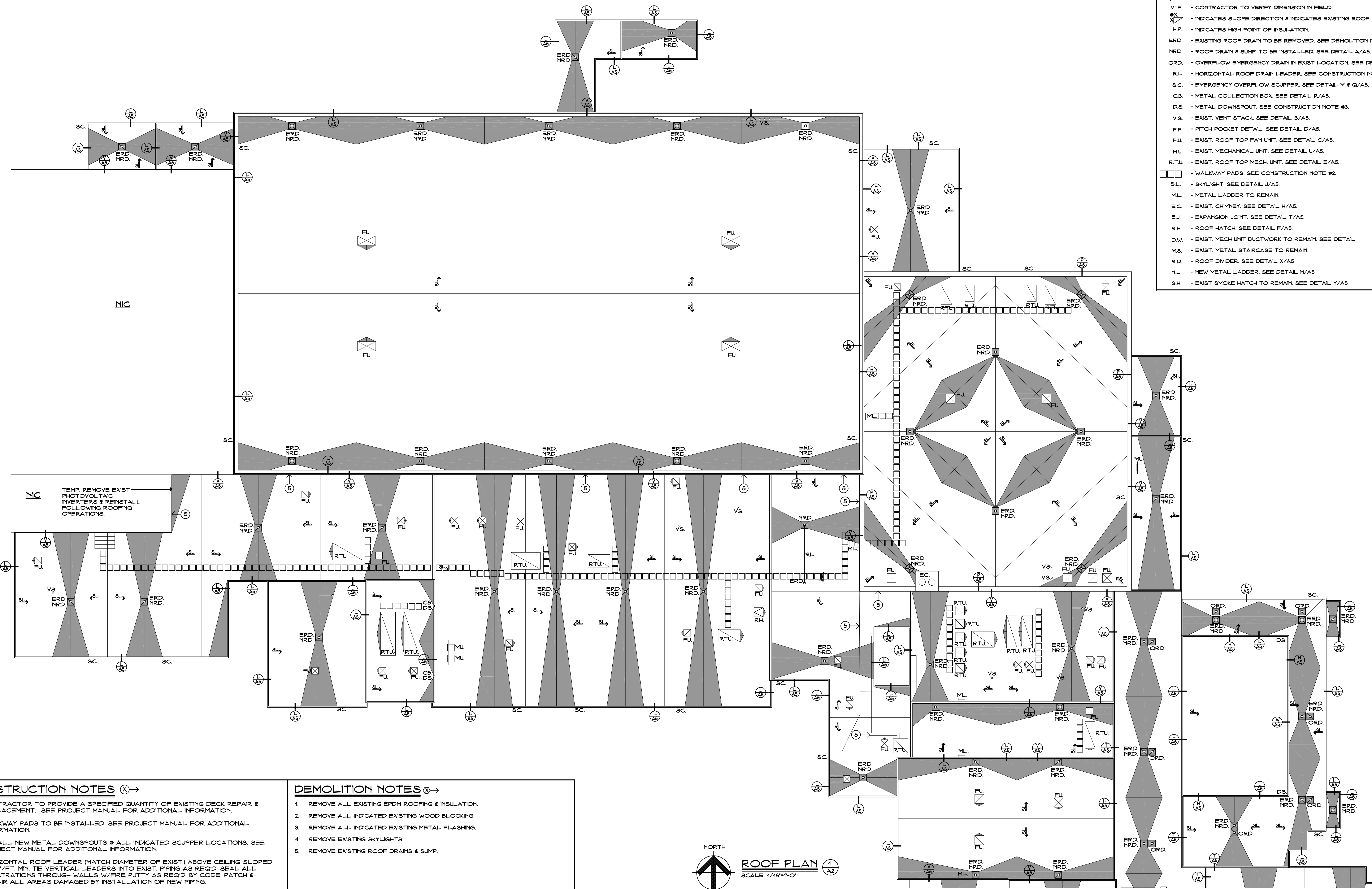
Drawing Number:

C1

August 30, 2021 Page 6



SYMBOL LEGEND	
	- PLAN, SECTION, DETAIL OR ELEVATION NUMBER - SHEET NUMBER.
	- EXISTING OUTLINE OF BUILDING.
	- INDICATES SLOPE DIRECTION OF TAPERED INSULATION AT 1/4" FT. MIN.
	- TAPERED INSULATION CRICKET SLOPED 1/4" FT.
	- CONTRACTOR TO VERIFY DIMENSION IN FIELD.
	- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
	- INDICATES HIGH POINT OF INSULATION.
	- EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
	- ROOF DRAIN & SUMP TO BE INSTALLED. SEE DETAIL A/A5.
	- OVERFLOW EMERGENCY DRAIN IN EXIST LOCATION. SEE DETAIL A/A5.
	- HORIZONTAL ROOF DRAIN LEADER. SEE CONSTRUCTION NOTE #5.
	- EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A5.
	- METAL COLLECTION BOX. SEE DETAIL R/A5.
	- METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3.
	- EXIST. VENT STACK. SEE DETAIL B/A5.
	- PITCH POCKET DETAIL. SEE DETAIL D/A5.
	- EXIST. ROOF TOP FAN UNIT. SEE DETAIL C/A5.
	- EXIST. MECHANICAL UNIT. SEE DETAIL U/A5.
	- EXIST. ROOF TOP MECH. UNIT. SEE DETAIL E/A5.
	- WALKWAY PADS. SEE CONSTRUCTION NOTE #2.
	- SKYLIGHT. SEE DETAIL J/A5.
	- METAL LADDER TO REMAIN.
	- EXIST. CHIMNEY. SEE DETAIL H/A5.
	- EXPANSION JOINT. SEE DETAIL T/A5.
	- ROOF HATCH. SEE DETAIL F/A5.
	- EXIST. MECH UNIT DUCTWORK TO REMAIN. SEE DETAIL.
	- EXIST. METAL STAIRCASE TO REMAIN.
	- ROOF DIVIDER. SEE DETAIL X/A5.
	- NEW METAL LADDER. SEE DETAIL N/A5.
	- EXIST SMOKE HATCH TO REMAIN. SEE DETAIL Y/A5.



- CONSTRUCTION NOTES** (X)→
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - WALKWAY PADS TO BE INSTALLED. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - INSTALL NEW METAL DOWNSPOUTS @ ALL INDICATED SCUPPER LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/8" FT. MIN. TIE VERTICAL LEADERS INTO EXIST. PIPING AS REQ'D. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQ'D. BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING.
 - EXIST ELECTRICAL CONDUIT TO REMAIN. CONTRACTOR TO TEMPORARILY REMOVE & REINSTALL PER NEW ROOF INSULATION HEIGHTS. SEE DETAIL.

- DEMOLITION NOTES** (X)→
- REMOVE ALL EXISTING EPDM ROOFING & INSULATION.
 - REMOVE ALL INDICATED EXISTING WOOD BLOCKING.
 - REMOVE ALL INDICATED EXISTING METAL FLASHING.
 - REMOVE EXISTING SKYLIGHTS.
 - REMOVE EXISTING ROOF DRAINS & SUMP.

NORTH

ROOF PLAN 1/A2
 SCALE: 1/16"=1'-0"

Project Title:
 Westport Public Schools
Staples High School Partial Roof Replacement
 70 North Avenue
 Westport, Connecticut 06880



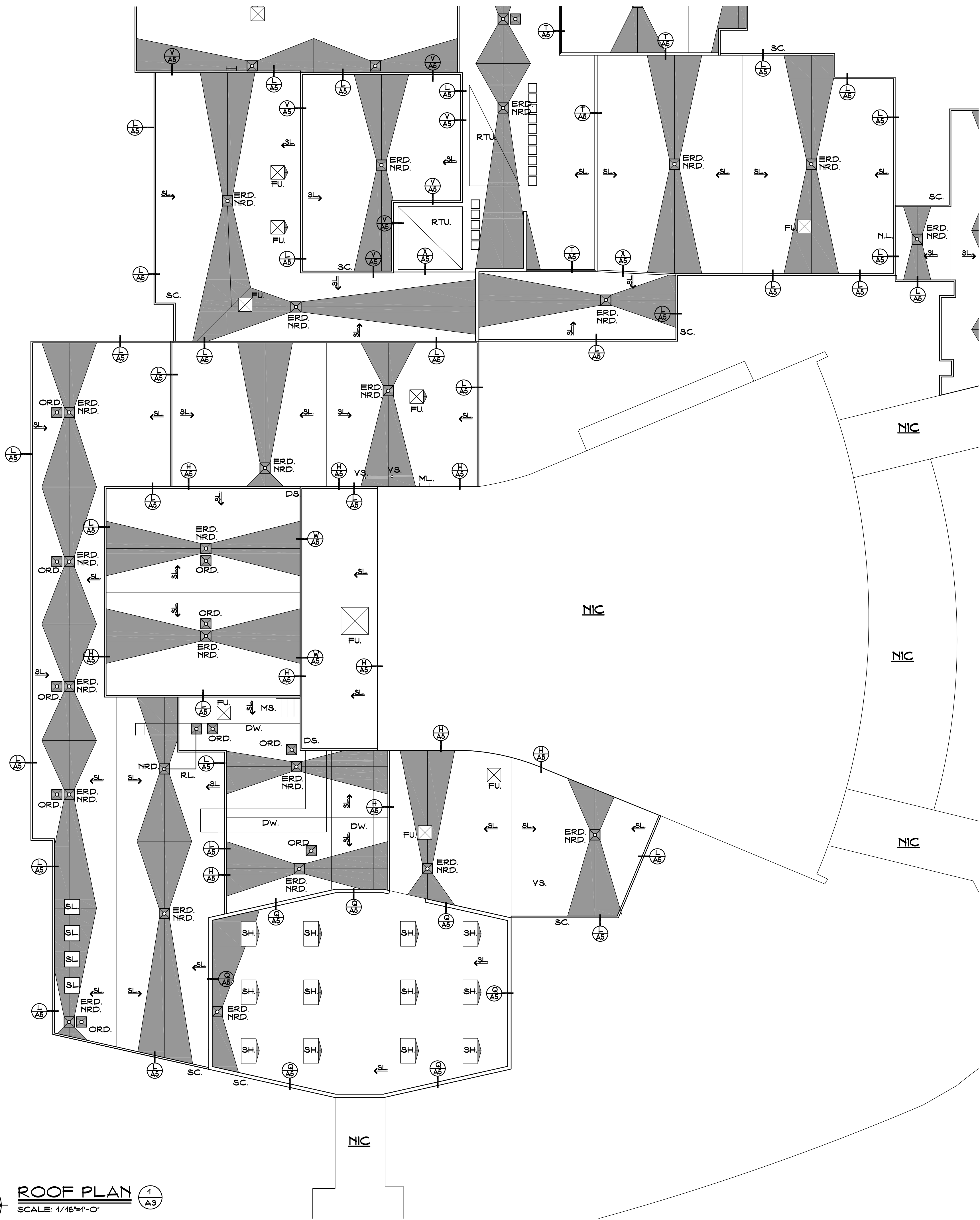
SILVER / PETRUCCELLI + ASSOCIATES
 Architects / Engineers / Interior Designers
 3190 Whitney Avenue, Hamden, CT 06518-2340
 One Post Hill Place, New London, CT 06320
 Tel. 203 230 9007 Fax. 203 230 8247
 silverpetrucci.com

Revision:	Description:	Date:	Revised By:

Drawing Title:
Roof Plan Part 1
 STATE PROJECT # RR

Date:
AUGUST 13, 2021
 Scale:
 1/16"=1'-0"
 Drawn By:
K. LINSLEY
 Project Number:
 21.132

Drawing Number:
A2



- SYMBOL LEGEND**
- PLAN, SECTION, DETAIL OR ELEVATION NUMBER - SHEET NUMBER.
 - EXISTING OUTLINE OF BUILDING.
 - INDICATES SLOPE DIRECTION OF TAPERED INSULATION AT 1/4" FT. MIN.
 - TAPERED INSULATION CRICKET SLOPED @ 1/4" FT.
 - CONTRACTOR TO VERIFY DIMENSION IN FIELD.
 - INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
 - INDICATES HIGH POINT OF INSULATION.
 - EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
 - ROOF DRAIN & SUMP TO BE INSTALLED. SEE DETAIL A/A5.
 - OVERFLOW EMERGENCY DRAIN IN EXIST LOCATION. SEE DETAIL A/A5.
 - HORIZONTAL ROOF DRAIN LEADER. SEE CONSTRUCTION NOTE #5.
 - EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A5.
 - METAL COLLECTION BOX. SEE DETAIL R/A5.
 - METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3.
 - EXIST. VENT STACK. SEE DETAIL B/A5.
 - PITCH POCKET DETAIL. SEE DETAIL D/A5.
 - EXIST. ROOF TOP FAN UNIT. SEE DETAIL C/A5.
 - EXIST. MECHANICAL UNIT. SEE DETAIL U/A5.
 - EXIST. ROOF TOP MECH. UNIT. SEE DETAIL E/A5.
 - WALKWAY PADS. SEE CONSTRUCTION NOTE #2.
 - SKYLIGHT. SEE DETAIL J/A5.
 - METAL LADDER TO REMAIN.
 - EXIST. CHIMNEY. SEE DETAIL H/A5.
 - EXPANSION JOINT. SEE DETAIL T/A5.
 - ROOF HATCH. SEE DETAIL F/A5.
 - EXIST. MECH UNIT DUCTWORK TO REMAIN. SEE DETAIL.
 - EXIST. METAL STAIRCASE TO REMAIN.
 - ROOF DIVIDER. SEE DETAIL X/A5.
 - NEW METAL LADDER. SEE DETAIL N/A5.
 - EXIST SMOKE HATCH TO REMAIN. SEE DETAIL Y/A5.

- CONSTRUCTION NOTES**
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - WALKWAY PADS TO BE INSTALLED. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - INSTALL NEW METAL DOWNSPOUTS @ ALL INDICATED SCUPPER LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/8" FT. MIN. TIE VERTICAL LEADERS INTO EXIST. PIPING AS REQ'D. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQ'D. BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING.
 - EXIST ELECTRICAL CONDUIT TO REMAIN, CONTRACTOR TO TEMPORARILY REMOVE & REINSTALL PER NEW ROOF INSULATION HEIGHTS. SEE DETAIL.

- DEMOLITION NOTES**
- REMOVE ALL EXISTING EPDM ROOFING & INSULATION.
 - REMOVE ALL INDICATED EXISTING WOOD BLOCKING.
 - REMOVE ALL INDICATED EXISTING METAL FLASHING.
 - REMOVE EXISTING SKYLIGHTS.
 - REMOVE EXISTING ROOF DRAINS & SUMP.

ROOF AREAS	
ROOF '1' 43,419 SF	ROOF '16' 3,284 SF
ROOF '2' 1,500 SF	ROOF '17' 103 SF
ROOF '3' 608 SF	ROOF '18' 22,748 SF
ROOF '4' 589 SF	ROOF '19' 3,836 SF
ROOF '5' 1,618 SF	ROOF '20' 3,820 SF
ROOF '6' 12,252 SF	ROOF '21' 8,122 SF
ROOF '7' 14,799 SF	ROOF '22' 1,741 SF
ROOF '8' 2,244 SF	ROOF '23' 763 SF
ROOF '9' 16,528 SF	ROOF '24' 2,080 SF
ROOF '10' 5,793 SF	ROOF '25' 3,061 SF
ROOF '11' 4,261 SF	ROOF '26' 4,765 SF
ROOF '12' 2,169 SF	ROOF '27' 15,049 SF
ROOF '13' 5,053 SF	ROOF '28' 3,267 SF
ROOF '14' 2,352 SF	ROOF '29' 20,281 SF
ROOF '15' 103 SF	

ROOF ASSEMBLY	
OUTSIDE AIR	0.17
EPDM	0.33
COVER BOARD	2.20
5' POLYISO INSUL.	29.5
EXISTING DECK	1.23
INSIDE AIR	0.61
R TOTAL:	34.22

TOTAL FLAT ROOFS: 206,998 SF.
THIS AREA IS APPROXIMATE - V.I.F.

ENERGY CONSERVATION

IECC CODE REQUIREMENT R-VALUE TOTAL CONNECTICUT ZONE 5A
CBCS REQUIREMENT: R-30 = U .0333

CODE INFORMATION

USE GROUP : E
CONSTRUCTION CLASS: 2B
BASIC WIND SPEED: 110 MPH
RISK CATEGORY #3: 134 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION WIND UPLIFT REQUIREMENT OF 1-60 FOR FIELD, 1-90 FOR PERIMETER AND 1-120 FOR CORNERS, IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

Project Title:
Westport Public Schools
Staples High School Partial Roof Replacement
70 North Avenue
Westport, Connecticut 06880



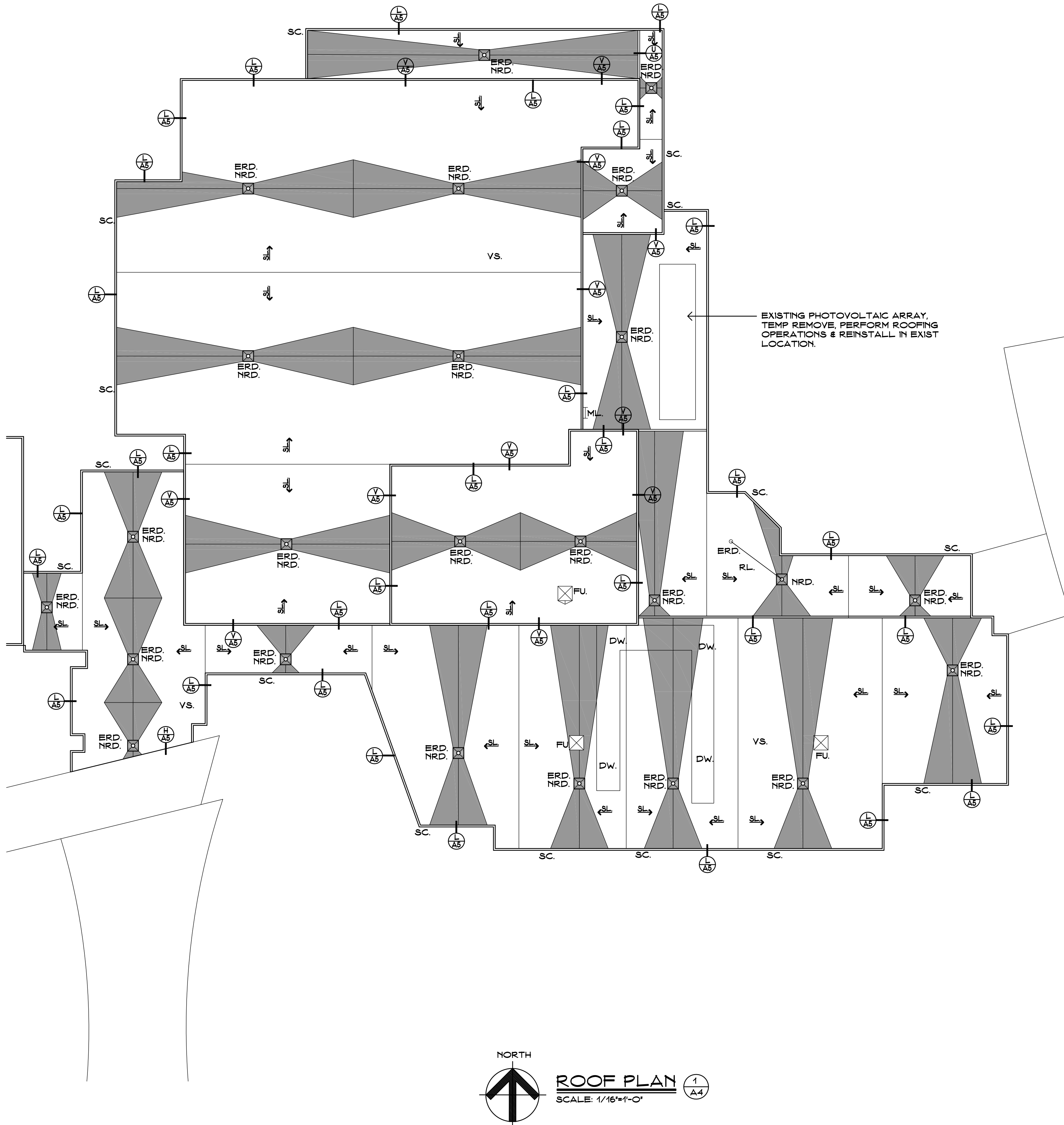
SILVER / PETRUCCI + ASSOCIATES
Architects / Engineers / Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
One Post Hill Place, New London, CT 06320
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucci.com

Revision: Description: Date: Revised By:

Drawing Title:
Roof Plan Part 2
STATE PROJECT # RR

Date:
AUGUST 13, 2021
Scale:
1/16"=1'-0"
Drawn By:
K. LINSLEY
Project Number:
21432

Drawing Number:
A3



- SYMBOL LEGEND**
- PLAN, SECTION, DETAIL OR ELEVATION NUMBER - SHEET NUMBER.
 - EXISTING OUTLINE OF BUILDING.
 - INDICATES SLOPE DIRECTION OF TAPERED INSULATION AT 1/4" FT. MIN.
 - TAPERED INSULATION CRICKET SLOPED @ 1/2" FT.
 - CONTRACTOR TO VERIFY DIMENSION IN FIELD.
 - INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
 - INDICATES HIGH POINT OF INSULATION.
 - EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
 - ROOF DRAIN & SUMP TO BE INSTALLED. SEE DETAIL A/A5.
 - OVERFLOW EMERGENCY DRAIN IN EXIST LOCATION. SEE DETAIL A/A5.
 - HORIZONTAL ROOF DRAIN LEADER. SEE CONSTRUCTION NOTE #5.
 - EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A5.
 - METAL COLLECTION BOX. SEE DETAIL R/A5.
 - METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3.
 - EXIST. VENT STACK. SEE DETAIL B/A5.
 - PITCH POCKET DETAIL. SEE DETAIL D/A5.
 - EXIST. ROOF TOP FAN UNIT. SEE DETAIL C/A5.
 - EXIST. MECHANICAL UNIT. SEE DETAIL U/A5.
 - EXIST. ROOF TOP MECH. UNIT. SEE DETAIL E/A5.
 - WALKWAY PADS. SEE CONSTRUCTION NOTE #2.
 - SKYLIGHT. SEE DETAIL J/A5.
 - METAL LADDER TO REMAIN.
 - EXIST. CHIMNEY. SEE DETAIL H/A5.
 - EXPANSION JOINT. SEE DETAIL T/A5.
 - ROOF HATCH. SEE DETAIL F/A5.
 - EXIST. MECH UNIT DUCTWORK TO REMAIN. SEE DETAIL.
 - EXIST. METAL STAIRCASE TO REMAIN.
 - ROOF DIVIDER. SEE DETAIL X/A5.
 - NEW METAL LADDER. SEE DETAIL N/A5.
 - EXIST SMOKE HATCH TO REMAIN. SEE DETAIL Y/A5.

- CONSTRUCTION NOTES**
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - WALKWAY PADS TO BE INSTALLED. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - INSTALL NEW METAL DOWNSPOUTS @ ALL INDICATED SCUPPER LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/8" FT. MIN. TIE VERTICAL LEADERS INTO EXIST. PIPING AS REQ'D. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQ'D. BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING.
 - EXIST ELECTRICAL CONDUIT TO REMAIN, CONTRACTOR TO TEMPORARILY REMOVE & REINSTALL PER NEW ROOF INSULATION HEIGHTS. SEE DETAIL.

- DEMOLITION NOTES**
- REMOVE ALL EXISTING EPDM ROOFING & INSULATION.
 - REMOVE ALL INDICATED EXISTING WOOD BLOCKING.
 - REMOVE ALL INDICATED EXISTING METAL FLASHING.
 - REMOVE EXISTING SKYLIGHTS.
 - REMOVE EXISTING ROOF DRAINS & SUMP.

ROOF AREAS	
ROOF 1' 43,419 SF.	ROOF 16' 3,284 SF.
ROOF 12' 1,500 SF.	ROOF 17' 103 SF.
ROOF 13' 608 SF.	ROOF 18' 22,748 SF.
ROOF 14' 589 SF.	ROOF 19' 3,836 SF.
ROOF 15' 1,616 SF.	ROOF 20' 3,820 SF.
ROOF 16' 12,252 SF.	ROOF 21' 8,122 SF.
ROOF 17' 14,799 SF.	ROOF 22' 1,741 SF.
ROOF 18' 2,244 SF.	ROOF 23' 763 SF.
ROOF 19' 16,528 SF.	ROOF 24' 2,080 SF.
ROOF 20' 5,793 SF.	ROOF 25' 3,061 SF.
ROOF 21' 4,261 SF.	ROOF 26' 4,765 SF.
ROOF 22' 2,169 SF.	ROOF 27' 15,049 SF.
ROOF 23' 5,053 SF.	ROOF 28' 3,267 SF.
ROOF 24' 2,352 SF.	ROOF 29' 20,281 SF.
ROOF 25' 103 SF.	

ROOF ASSEMBLY	
OUTSIDE AIR	0.17
EPDM	0.33
COVER BOARD	2.20
5' POLYISO INSUL.	29.5
EXISTING DECK	1.23
INSIDE AIR	0.61
R TOTAL:	34.22

TOTAL FLAT ROOFS: 206,998 SF.
THIS AREA IS APPROXIMATE - V.I.F.

ENERGY CONSERVATION

IECC CODE REQUIREMENT R-VALUE TOTAL CONNECTICUT ZONE 5A
CBSC REQUIREMENT: R-30 = U .0333

CODE INFORMATION

USE GROUP : E
CONSTRUCTION CLASS: 2B
BASIC WIND SPEED: 110 MPH
RISK CATEGORY #3: 134 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION WIND UPLIFT REQUIREMENT OF 1-60 FOR FIELD, 1-90 FOR PERIMETER AND 1-120 FOR CORNERS, IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

Project Title:
Westport Public Schools
Staples High School Partial Roof Replacement
70 North Avenue
Westport, Connecticut 06880



SILVER / PETRUCCELLI + ASSOCIATES
Architects / Engineers / Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
One Post Hill Place, New London, CT 06320
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucci.com

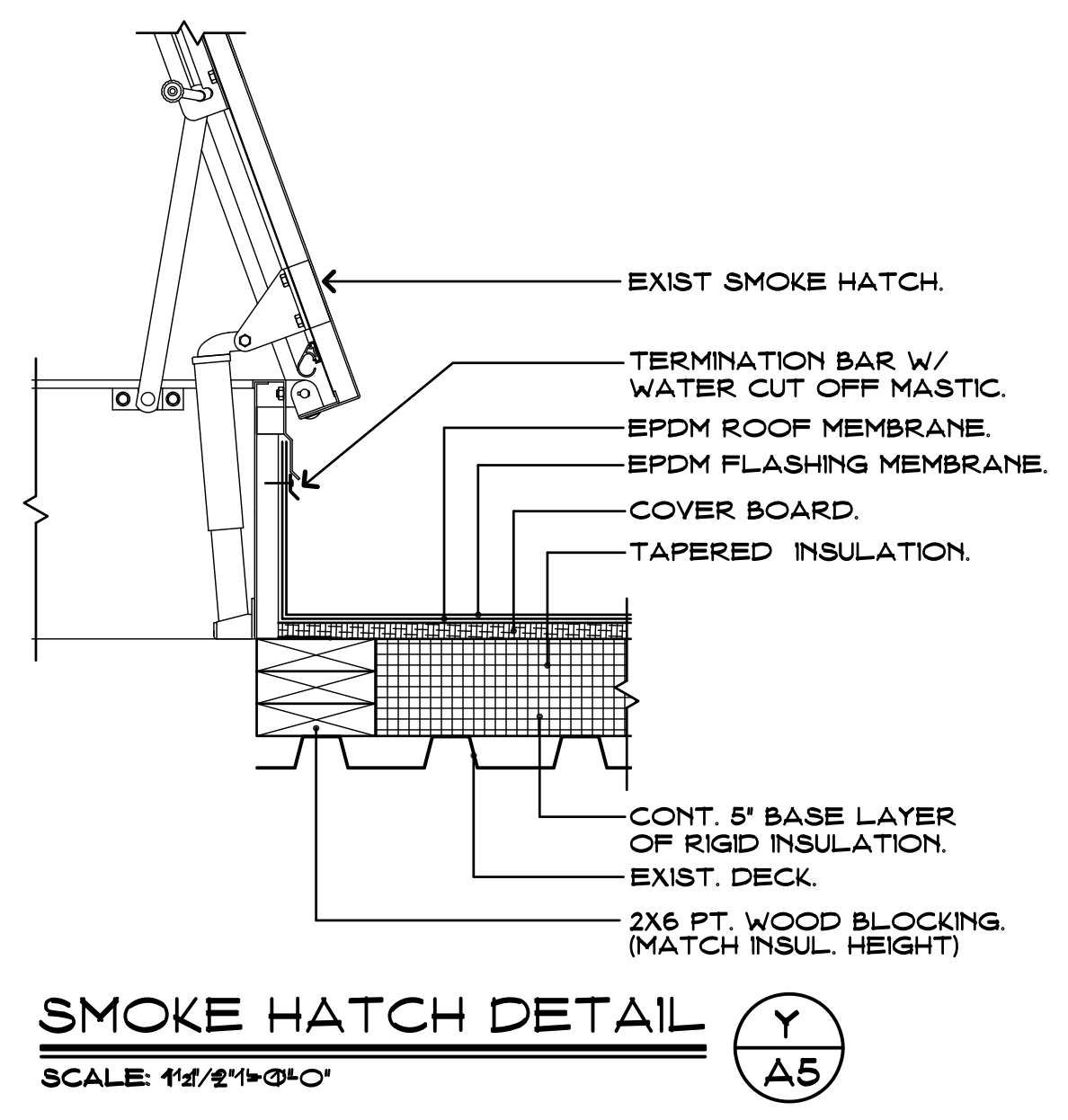
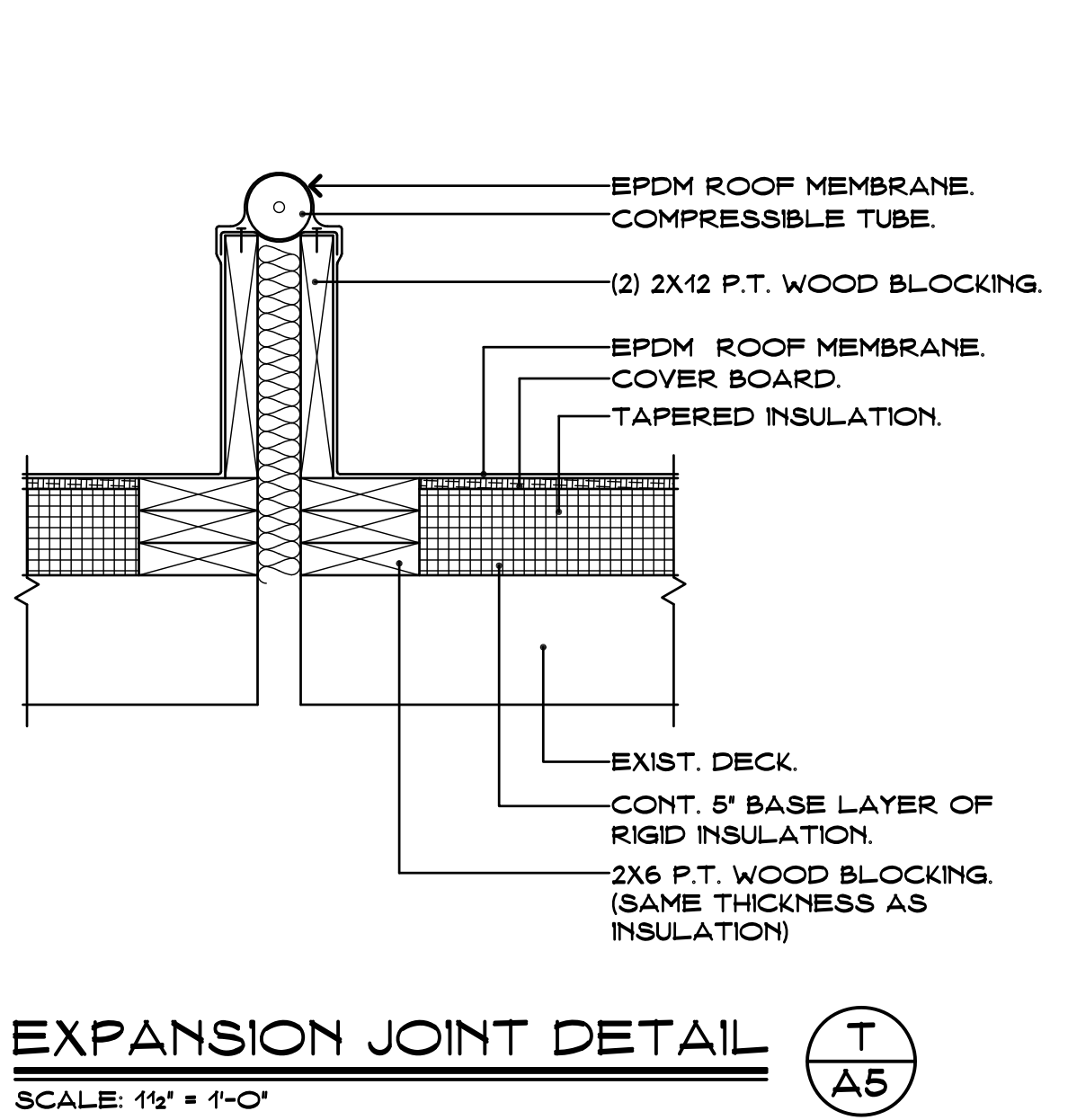
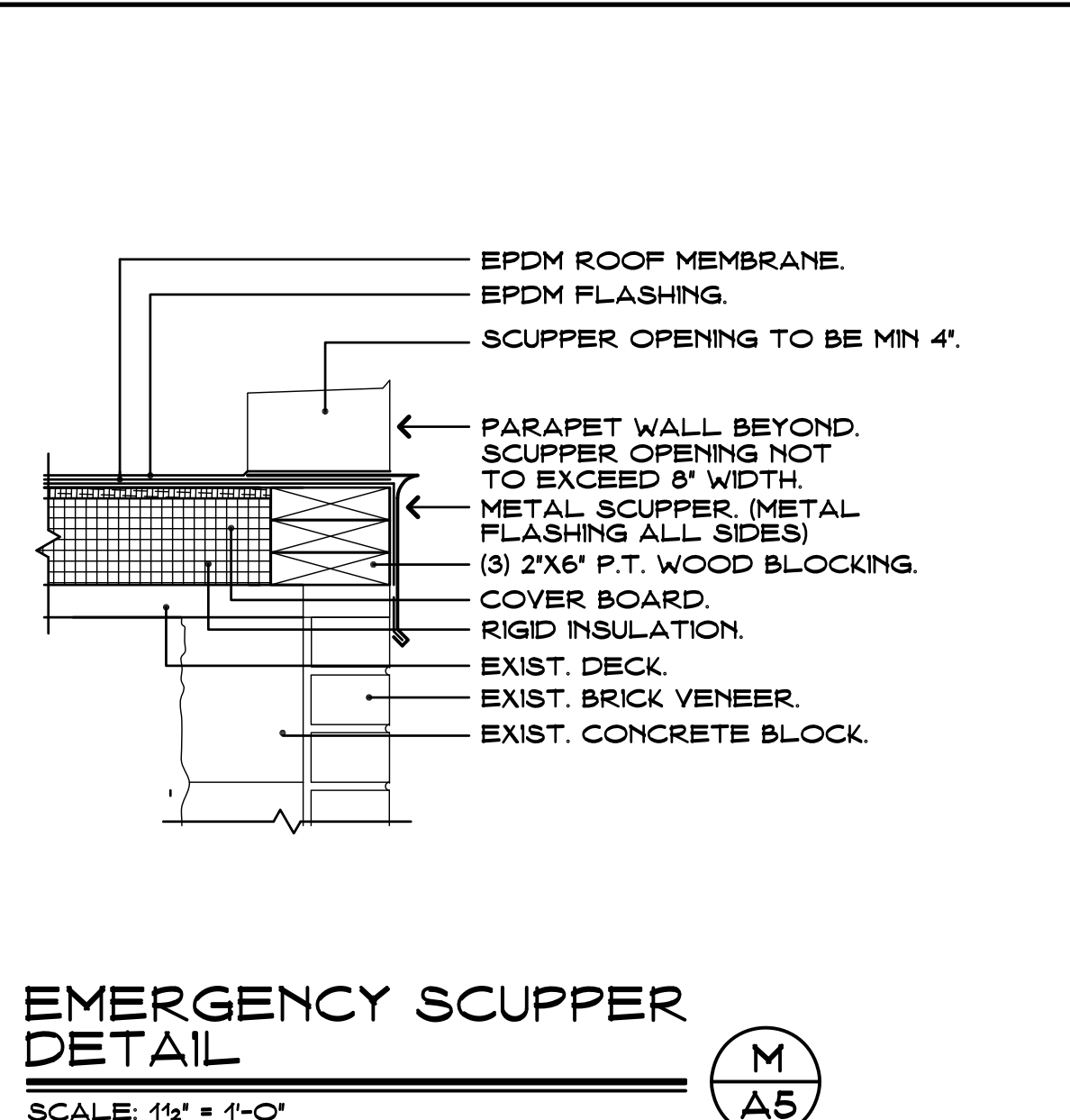
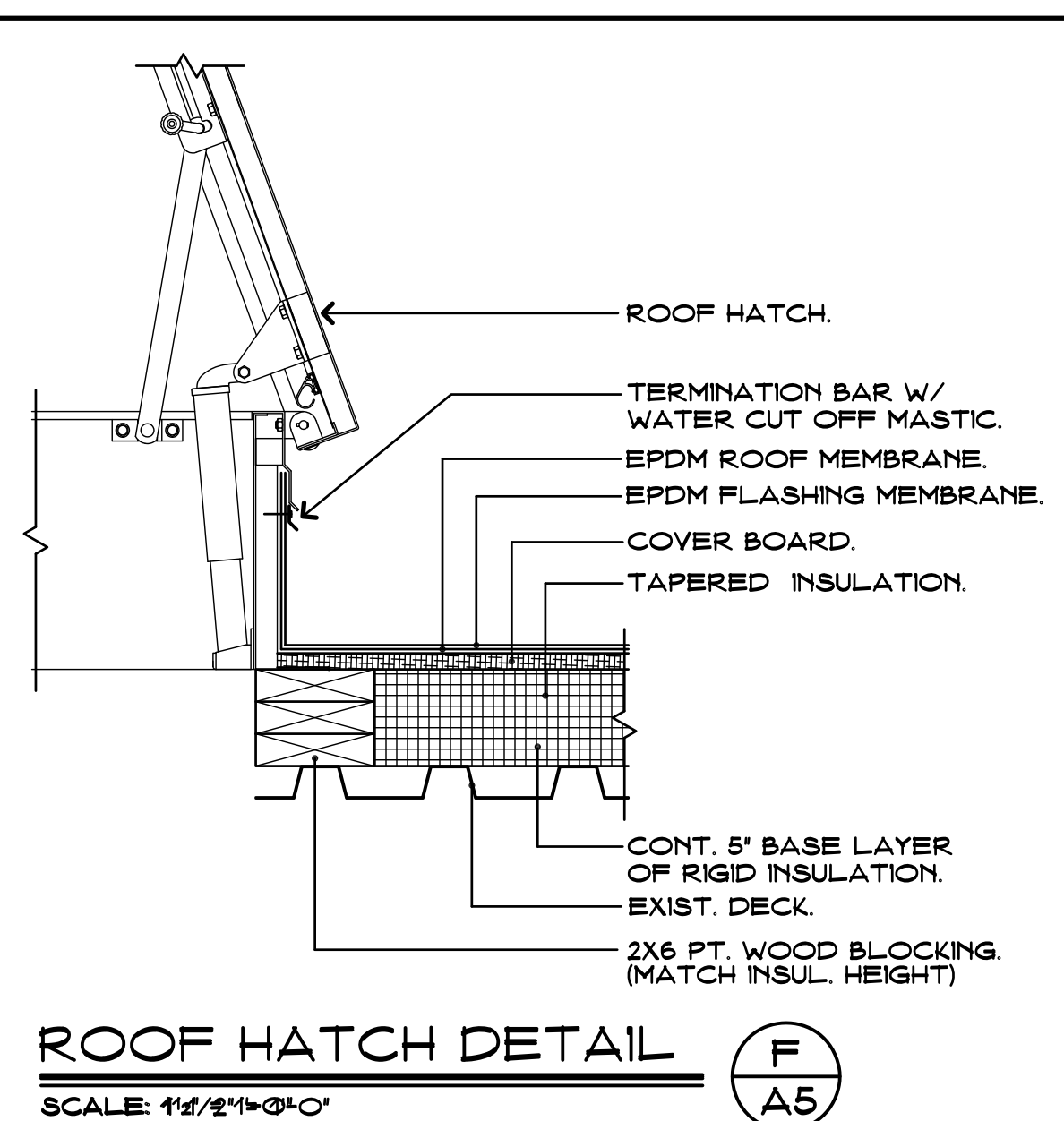
Revision:	Description:	Date:	Revised By:

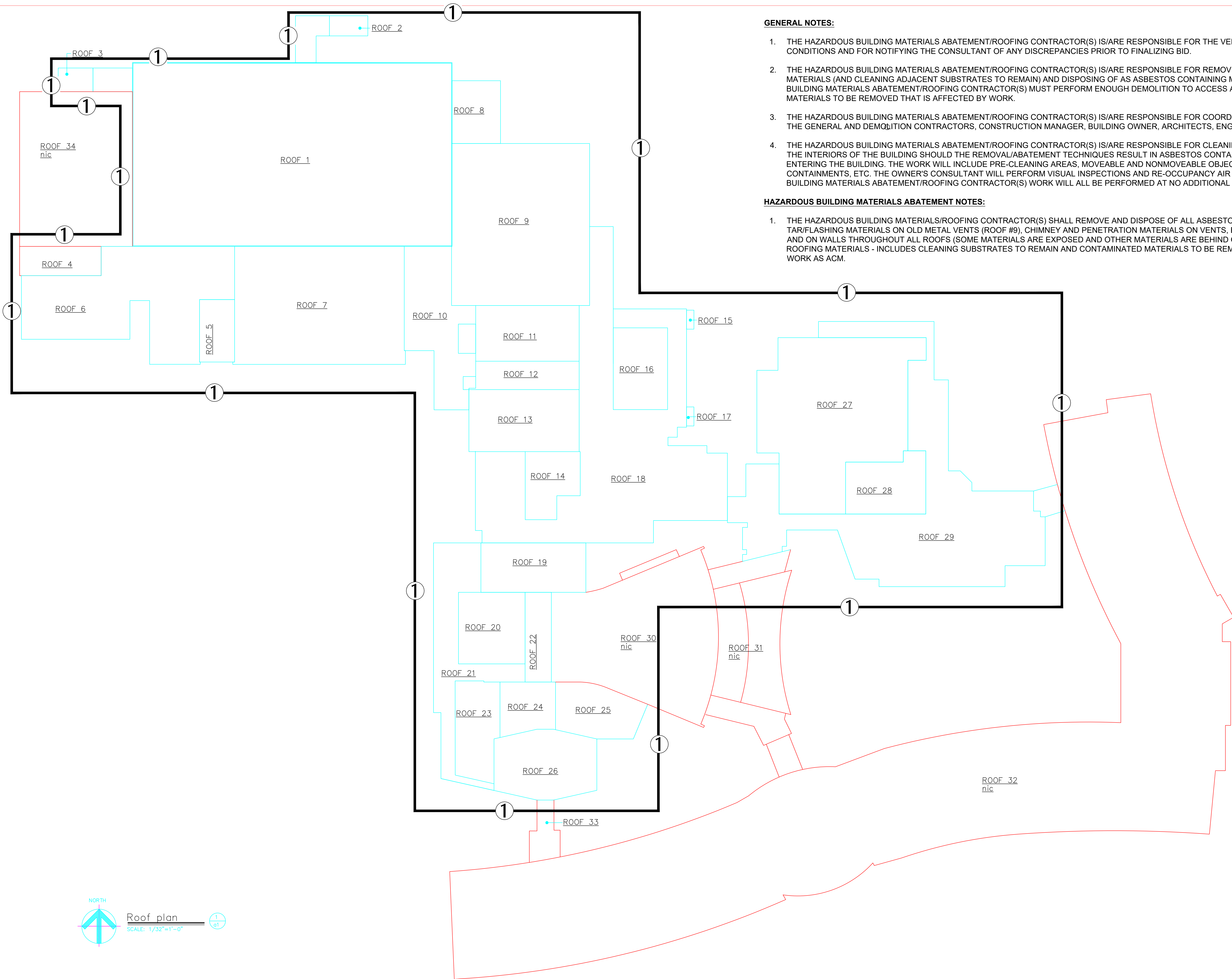
Drawing Title:
Roof Plan Part 3
STATE PROJECT # RR

Date:
AUGUST 13, 2021
Scale:
1/16"=1'-0"
Drawn By:
K. LINSLEY
Project Number:
21.132

Drawing Number:

A4



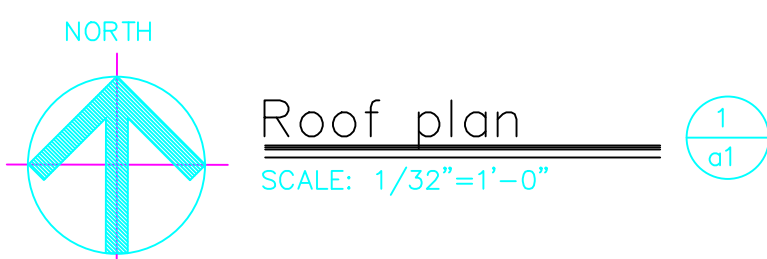


GENERAL NOTES:

1. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.
2. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR REMOVING ALL LAYERS OF ROOFING MATERIALS (AND CLEANING ADJACENT SUBSTRATES TO REMAIN) AND DISPOSING OF AS ASBESTOS CONTAINING MATERIALS. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) MUST PERFORM ENOUGH DEMOLITION TO ACCESS ALL ASBESTOS CONTAINING MATERIALS TO BE REMOVED THAT IS AFFECTED BY WORK.
3. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR COORDINATING ABATEMENT WORK WITH THE GENERAL AND DEMOLITION CONTRACTORS, CONSTRUCTION MANAGER, BUILDING OWNER, ARCHITECTS, ENGINEERS AND CONSULTANTS.
4. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR CLEANING/DECONTAMINATING/ABATING THE INTERIORS OF THE BUILDING SHOULD THE REMOVAL/ABATEMENT TECHNIQUES RESULT IN ASBESTOS CONTAINING MATERIALS/WASTE ENTERING THE BUILDING. THE WORK WILL INCLUDE PRE-CLEANING AREAS, MOVEABLE AND NONMOVEABLE OBJECTS, CONSTRUCTING CONTAINMENTS, ETC. THE OWNER'S CONSULTANT WILL PERFORM VISUAL INSPECTIONS AND RE-OCCUPANCY AIR TESTING. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) WORK WILL ALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.

HAZARDOUS BUILDING MATERIALS ABATEMENT NOTES:

1. THE HAZARDOUS BUILDING MATERIALS/ROOFING CONTRACTOR(S) SHALL REMOVE AND DISPOSE OF ALL ASBESTOS-CONTAINING "OLDER" TAR/FLASHING MATERIALS ON OLD METAL VENTS (ROOF #9), CHIMNEY AND PENETRATION MATERIALS ON VENTS, EXHAUSTS, HVAC COMPONENTS AND ON WALLS THROUGHOUT ALL ROOFS (SOME MATERIALS ARE EXPOSED AND OTHER MATERIALS ARE BEHIND OTHER MATERIALS/NEWER ROOFING MATERIALS - INCLUDES CLEANING SUBSTRATES TO REMAIN AND CONTAMINATED MATERIALS TO BE REMOVED) THAT WILL BE AFFECTED BY WORK AS ACM.



Project Title:

Westport Public Schools
Staples High School Partial Roof Replacement
70 North Avenue
Westport, Connecticut 06880



SILVER / PETRUCELLI + ASSOCIATES
Architects / Engineers / Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
One Post Hill Place, New London, CT 06320
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucelli.com

Revision:

Description:

Date:

Revised By:

Drawing Title:

Hazardous Building
Materials Abatement Plan

project # 140238101

Date:

August 13, 2021

Scale:

NTS

Drawn By:

E. Schwendy

Project Number:

19.006

Drawing Number:

HBM-01

OWNERS DESIGN REVIEW

Westport Public Schools Staples High School

Construction Documents

CPL Review Comments

Review Date: 8/18/2021
Reviewer Name: John Koplas

Designer Response Comments

Date of Designer Response: Enter Date
Date of Documents: 8/13/2021

COMMENT #	DWGS / SPECS	REVIEW COMMENTS	PHASE / DATE	SOURCE	DESIGN TEAM RESPONSE	DATE	STATUS
1	General	Need to provide sight plan using a google map image showing where the laydown area for materials should be. Utilize image on the cover sheet.	CD	JK:CPL			
2		North arrows are incorrect. Review building layout on Google Maps. Correct legends (typ.)	CD	JK:CPL			
3		Confirm if any of the rooftop units, photovoltaic arrays or ductwork will be required to be disconnected and lifted in order to install the new roofing/flashing. Appears that photovoltaic arrays are adequately addressed.	CD	JK:CPL			
4		With the change in insulation levels because of code upgrades, review the need for more rooftop drains to be installed based on changes in pitch.	CD	TH:WPS			
5		Review existing roof conditions for upgrades to the current ladders (ie. safety cages) and/or need for additional ladders over existing low parapet walls for safety reasons.	CD	TH:WPS			
6		Review new roof areas for additional pitch boxes to be installed for future use of solar power or other roof top items. If possible, locate new pitch boxes as close to Mechanical Rooms or space below with the best access for trades.	CD	TH:WPS			
7	C1	Insert site plan showing proposed lay down areas	CD	JK:CPL			
8		Construction Note #2-verify that an allowance is addressed within the spec for additional roof pads.	CD	JK:CPL			
9		Correct "R.L." reference note under Symbol Legend. Should be Note #4, not #5. Typical sheets C1-A4.	CD	JK:CPL			
10	A1	Place note in area of (3) courtyards below.	CD	JK:CPL			
11		General Note: Confirm that guards are not required on the roofs per OSHA requirements.	CD	JK:CPL			
12	A2	Relocate "SL" note off of walk pads for clarity	CD	JK:CPL			
13		Has SPA confirmed the above ceiling condition for the proposed new roof leader in Roof '10'? Typical of all new roof leaders.	CD	JK:CPL			
14		Verify that the Owner is good with proposed locations of walk pads and quantities-typical.	CD	JK:CPL			
15		Review if walk pads area required on opposite side of RTU's at Roof "5".	CD	JK:CPL			
16		Verify if railings/guards are required at edge of roof near (4) RTU's for Roof "9"	CD	JK:CPL			
17		Provide walking pad at base of all existing and proposed ladders.	CD	JK:CPL			
18		Verify edge detail between elevational difference at Roof '2'	CD	JK:CPL			
19		Verify edge detail between elevational difference at Roofs '23' and '16'	CD	JK:CPL			
20	A3	Provide walking pad at base of all existing and proposed ladders.	CD	JK:CPL			

Westport Public Schools
Staples High School



Designer Response Comments

Date of Designer Response: [Enter Date](#)
Date of Documents: [8/13/2021](#)

[illegible]

Westport Public Schools
Staples High School



Designer Response Comments

Date of Designer Response: [Enter Date](#)
Date of Documents: [8/13/2021](#)

[illegible]

MILESTONE SCHEDULE

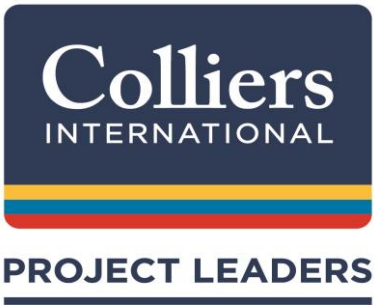
Town of Westport
Staples HS Roof Replacement
Date: 8/19/2021

- Owner Meeting
◆ Major Milestone

DRAFT

I.	Architect Selection & Grant Application Process		April 13, 2021 to June 7, 2021	Comments
	Provide draft Architect RFP and Review with Team	○	Tuesday, April 13, 2021	Review RFP for Architect Selection
	Advertise the Architect RFP (Request for Proposal)		Friday, April 16, 2021	
	Virtual Site Visit for Architects (via Zoom hosted by Colliers)		Tuesday, April 27, 2021	
	Addenda Questions Due		Wednesday, May 5, 2021	
	Addenda Posted		Friday, May 7, 2021	
	Proposals due from Architects		Thursday, May 13, 2021	Due by 11:00 p.m. (confirm time with Elio)
	Interview 2 low architects		Monday, May 17, 2021	
	Meet with Team (Elio, Ted, CPL) to review proposals and submit with BOE packet	○	Friday, May 21, 2021	
	BOE Meeting	○	Monday, June 7, 2021	Award of Design Services subject to contract negotiations. (Go to Design Phase Below) Approval of Total Project Budget
II.	Design Phase		May 25, 2021 to December 15, 2021	Comments
	Design Kickoff Meeting		Tuesday, May 25, 2021	
	Working Group		Thursday, June 3, 2021	
	Working Group		Thursday, June 17, 2021	
	LAST DAY OF SCHOOL		Thursday, June 17, 2021	
	Field Investigations		6/21-6/30	Complete all test cuts, inspections, etc. prior of July 4th holiday
	Issue 100% Construction Documents		Friday, July 9, 2021	
	100% CD Review Meeting		Thursday, July 15, 2021	Review at working group. Review CD estimate by architect also.
	Submit Final Contract Documents to Local BO for Code Review		Thursday, July 29, 2021	
	Receive Code Sign-off required by OSCGR		Monday, August 30, 2021	
	BOE Meeting - Approve Plans and Specs. Have Ed Specs ready also to approve those.	○	Monday, August 30, 2021	
	BOE Meeting - Approve Plans and Specs. Have Ed Specs ready also to approve those.	○	Wednesday, September 8, 2021	Follow up meeting to approve the plans and estimate. 7 p.m.
	BOE Meeting	○	Monday, September 20, 2021	
	BOF Meeting: First Presentation	○	Wednesday, October 6, 2021	
	BOF Meeting to Approve Funding	○	TBD	Final Approval
	Board of Selectmen	○	Wednesday, October 13, 2021	Approve Three Resolutions
	Present to RTM subcommittees	○	TBD	October
	Representative Town Meeting	○	Tuesday, November 2, 2021	Approve Funding
	Procure certified copies of approval by RTM		Friday, November 5, 2021	
	Submit Grant Application to the State (deadline is 10th of each month)		Monday, November 8, 2021	
	PCR Meeting with OSCGR	○	Wednesday, December 1, 2021	Rough date, TBD
	Receive Permission to bid from OSCGR		Wednesday, December 8, 2021	
	Advertise Construction Documents for Bidding		Wednesday, December 15, 2021	
III.	Bidding		December 15, 2021 to March 3, 2022	Comments
	Post Construction Documents for Bidding		Wednesday, December 15, 2021	
	Virtual Site Visit		Monday, December 20, 2021	
	Addenda Questions due		Thursday, January 6, 2022	
	Post Addenda		Wednesday, January 12, 2022	
	Bids Due		Thursday, January 20, 2022	
	Scope review apparent low bidder		Monday, January 24, 2022	
	Issue Notice of Intent to Award (subject to providing bonds, BOE, BOF and RTM approval)		Monday, January 24, 2022	
	Submit bid recommendation to BOE		Tuesday, January 25, 2022	
	BOE Meeting	○	Monday, February 7, 2022	
	Special Board of Finance Meeting	○	Tuesday, February 22, 2022	
	Representative Town Meeting	○	Wednesday, March 2, 2022	
	Issuance of Purchase Order/Contract		Thursday, March 3, 2022	
	Submission of shop drawings, etc.		3/7/22-3-28/22	
IV.	Construction		June 10, 2022 to August 31, 2022	Comments
	Pre-Construction Meeting		Friday, June 10, 2022	Pre-con with BO, WPS, etc.
	Last Day of School		Thursday, June 16, 2022	Per 21-22 Academic Calendar
	Contractor to Mobilize to the site		Monday, June 20, 2022	

MILESTONE SCHEDULE



Town of Westport
Staples HS Roof Replacement

- Owner Meeting
- ◆ Major Milestone

	Substantial Completion		Friday, August 19, 2022	
	Final Punch list complete		Friday, August 26, 2022	
V.	Project Closeout		September 1, 2022 to October 31, 2022	Comments

Elementary Sections/Class Sizes/Enrollment 21-22

Coleytown Elementary School		
Grade	Term	Enrollment
Grade 1	21-22	20
Grade 1	21-22	19
Grade 1	21-22	18
Grade 1	21-22	19
Grade 2	21-22	20
Grade 2	21-22	18
Grade 2	21-22	19
Grade 2	21-22	20
Grade 3	21-22	19
Grade 3	21-22	20
Grade 3	21-22	17
Grade 3	21-22	19
Grade 4	21-22	20
Grade 4	21-22	20
Grade 4	21-22	20
Grade 4	21-22	19
Grade 5	21-22	22
Grade 5	21-22	21
Grade 5	21-22	21
K	21-22	19
K	21-22	19
K	21-22	18
K	21-22	19
Total Sections		Total Enrollment
23		446

Budgeted Sections	Projected Enrollment
22	435

Difference	Difference
1	11

As of 8/27/21

Elementary Sections/Class Sizes/Enrollment 21-22

Greens Farms Elementary School		
Grade	Term	Enrollment
Grade 1	21-22	21
Grade 1	21-22	21
Grade 1	21-22	20
Grade 1	21-22	21
Grade 2	21-22	18
Grade 2	21-22	17
Grade 2	21-22	18
Grade 2	21-22	18
Grade 3	21-22	24
Grade 3	21-22	23
Grade 3	21-22	24
Grade 4	21-22	23
Grade 4	21-22	22
Grade 4	21-22	23
Grade 5	21-22	22
Grade 5	21-22	22
Grade 5	21-22	22
Grade K	21-22	19
Grade K	21-22	19
Grade K	21-22	19
Grade K	21-22	20
Total Sections		Total Enrollment
21		436

Budgeted Sections	Projected Enrollment
20	426

Difference	Difference
1	10

As of 8/27/21

Elementary Sections/Class Sizes/Enrollment 21-22

Kings Highway Elementary School		
Grade	Term	Enrollment
Grade 1	21-22	16
Grade 1	21-22	16
Grade 1	21-22	16
Grade 1	21-22	16
Grade 2	21-22	17
Grade 2	21-22	18
Grade 2	21-22	17
Grade 2	21-22	18
Grade 3	21-22	21
Grade 3	21-22	21
Grade 3	21-22	21
Grade 3	21-22	20
Grade 4	21-22	18
Grade 4	21-22	17
Grade 4	21-22	17
Grade 4	21-22	18
Grade 5	21-22	22
Grade 5	21-22	22
Grade 5	21-22	21
Grade 5	21-22	21
Grade K	21-22	19
Grade K	21-22	19
Grade K	21-22	19
Grade K	21-22	17
Total Sections		Total Enrollment
24		447

Budgeted Sections	Projected Enrollment
23	450

Difference	Difference
1	-3

As of 8/27/21

Elementary Sections/Class Sizes/Enrollment 21-22

Long Lots Elementary School		
Grade	Term	Enrollment
Grade 1	21-22	20
Grade 1	21-22	19
Grade 1	21-22	19
Grade 1	21-22	19
Grade 1	21-22	19
Grade 2	21-22	19
Grade 2	21-22	18
Grade 2	21-22	18
Grade 2	21-22	18
Grade 2	21-22	18
Grade 3	21-22	23
Grade 3	21-22	22
Grade 3	21-22	23
Grade 3	21-22	22
Grade 4	21-22	23
Grade 4	21-22	23
Grade 4	21-22	23
Grade 4	21-22	23
Grade 4	21-22	23
Grade K	21-22	21
Grade 5	21-22	21
Grade 5	21-22	21
Grade 5	21-22	21
Grade 5	21-22	22
Grade K	21-22	21
Grade K	21-22	21
Grade K	21-22	21
Grade K	21-22	20
Total Sections		Total Enrollment
28		581

Budgeted Sections	Projected Enrollment
27	541

Difference	Difference
1	40

As of 8/27/21

Elementary Sections/Class Sizes/Enrollment 21-22

Saugatuck Elementary School		
Grade	Term	Enrollment
Grade 1	21-22	18
Grade 1	21-22	18
Grade 1	21-22	18
Grade 1	21-22	18
Grade 2	21-22	17
Grade 2	21-22	16
Grade 2	21-22	17
Grade 2	21-22	16
Grade 3	21-22	23
Grade 3	21-22	24
Grade 3	21-22	24
Grade 4	21-22	21
Grade 4	21-22	21
Grade 4	21-22	20
Grade 4	21-22	21
Grade 5	21-22	22
Grade 5	21-22	22
Grade 5	21-22	22
Grade K	21-22	17
Grade K	21-22	17
Grade K	21-22	16
Grade K	21-22	17
Total Sections		Total Enrollment
22		425

Budgeted Sections	Projected Enrollment
20	395

Difference	Difference
2	30

As of 8/27/21