

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Meeting Notice
Thursday, September 2, 2021 7:30 PM
Town Hall
14 Park Place, 3rd Floor
Council Chambers*
Vernon, CT

AGENDA

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #7 "Other Business" requires Commission vote
 - 2.3 Approval of the Minutes from the **August 19, 2021**.
3. **New Application(s) for receipt, if any:**

3.1 PZ 2021-10, An application of Karamelai Shafique for a Special Permit to allow a Home Business of Major-Type 2, pursuant to Section 4.3.4.8 of the Zoning Regulations, for a tax and accounting office at 330 Vernon Ave. (Tax map 26-065B-00029), in the R-22 zoning district.
4. **Public Hearing(s) and Action on Applications**

4.1 PZ 2021-08 is an application of A. Vets Real Estate, LLC requesting a modification to an approved site plan and a special permit pursuant to section 4.10.4.11.6 to permit lot coverage in excess of 40% for a 1.19-acre parcel located at 965 Hartford Tpke (Assessor ID 26, Block 72, Parcel 0031H) and a .43-acre portion of a parcel located at 933 Hartford Tpke (Assessor ID 26, Block 72, Parcel 0031J).
5. **8-24 Referrals, If any**
6. **Other Business/Discussion**
 - 6.1 Municipal Zoning Regulations for Cannabis Establishments
7. **Adjournment**

Roland Klee, Chairman
Planning & Zoning Commission

*Note: This meeting is scheduled to be an in-person, public meeting; no virtual or hybrid participation option is available.

DRAFT MINUTES

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Thursday, August 19, 2021 7:30 PM
Council Chambers

DRAFT MINUTES

1. **Call to Order & Roll Call by Roland Klee, Chairman at 7:34 PM**

- Regular members present: Roland Klee, Robin Lockwood, Mike Mitchell, and Jesse Schoolnik
- Alternate Member: Mike Baum, sitting for Joseph Miller
- Absent Members: - Joseph Miller, Iris Mullan, Susan Reudgen, Carl Bard (alternate)
- Staff present: George McGregor, Town Planner and Shaun Gately, EDC
- Recording secretary: Jill Rocco

2. **Administrative Actions/Requests**

- 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #7 "Other Business" requires Commission vote

Robin Lockwood **MOVED** to **ADOPT** the agenda as is. Jesse Schoolnik seconded and the motion carried unanimously.

- 2.3 Approval of the Minutes from the **July 15, 2021**.

Robin Lockwood **MOVED** to **APPROVE** the minutes from July 15, 2021. Jesse Schoolnik seconded and the motion carried unanimously.

3. **New Application(s) for receipt, if any:**

PZ 2021-08 An Application of Vernon Bottle Return for Special Permit to operate a Redemption center for used beverages pursuant to Section 4.10.4.8 at 77 Industrial Park Rd (Tax Map 28-0133-0005H). The Property is zone industrial.

Robin Lockwood **MOVED** to **RECEIVE** application PZ 2021-09 an Application of Vernon Bottle Return for Special Permit at the September 16, 2021 meeting. Jesse Schoolnik seconded and the motion carried unanimously and place it on the September 16, 2021 agenda for public hearing.

4. **Public Hearing(s) and Action on Applications**

None

5. **8-24 Referrals, If any**

None

6. **Other Business/Discussion**

6.1 Municipal Zoning Regulations for Cannabis Establishments

George McGregor, Town Planner gave a detailed presentation
Louis Spadaccini, Town Attorney was introduced
Discussion ensued

Roland Klee, Chairman **MOVED** that the Planning Department shall develop alternatives to regulating various marijuana businesses as stipulated by the general statutes in respect to distance requirements, location, hours of operation and other factors. Jesse Schoolnik seconded and the motion carried unanimously.

7. Adjournment

Robin Lockwood **MOVED** to **ADJOURN** at 9:03 PM. Mike Mitchell seconded and the motion carried unanimously.

Jill Rocco
Recording Secretary

APPLICATION
For Receipt

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)**APPLICATION**

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Karamelahi Shafique

Title: Owner

Company: _____

Address: 330 Vernon Ave
Vernon, CT 06066

Telephone: 8608053359 Fax: N/A

E-mail: Kamilshafique@gmail.com

II. PROPERTY OWNER (S):

Name: Karamelahi Shafique

Title: Owner

Company: _____

Address: 330 Vernon Ave
Vernon, CT 06066

Telephone: 8608053359 Fax: N/A

E-mail: Kamilshafique@gmail.com

RECEIVED

AUG 24 2021

TOWN PLANNERS OFFICE

III. PROPERTY

Address: 330 Vernon Ave, Vernon CT 06066

Assessor's ID Code: Map # ___ Block # ___ Lot/Parcel # 26065 Boo 29

Land Record Reference to Deed Description: Volume: 2337 Page 271

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☒ No ☐ Yes

☐ No work will be done in regulated area
☐ Work will be done in the regulated area

☐ IWC application has been submitted
☐ IWC application has not been submitted

Zoning District _____

Is this property located within five hundred (500) feet of a municipal boundary?

☒ No
☐ Yes:

☐ Bolton
☐ Coventry
☐ Ellington
☐ Manchester
☐ South Windsor
☐ Tolland

Check if Historic Status Applies:

☐ Located in historic district:

☐ Rockville
☐ Talcottville

☐ Individual historic property

IV. PROJECT

Project Name: _____

Project Contact Person:

Name: Karamelahi Shafique

Title: Owner

Company: _____

Address: 330 Vernon Ave
Vernon, CT 06066

Telephone: 8608053359 Fax: N/A

E-mail: Kamilshafique@gmail.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Special permit for Professional office

General Activities: Tax and Accounting work
meetings with clients, records drop-off
and pick up

VI. APPROVAL (S) REQUESTED

☐ Subdivision or Resubdivision

- ☐ Subdivision (Sub. Sec. 4, 5, 6)
- ☐ Resubdivision (Sub. Sec. 4, 5, 6)
- ☐ Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- ☐ Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- ☐ Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

☐ Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

☐ Site Plan of Development (POD) (ZR Sec. 14)

- ☐ POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- ☐ Modification of an approved POD (ZR Sec. 14.1.1.1)
- ☐ Minor modification of a site POD (ZR Sec. 14.1.1.2)

☒ Special Permit(s) (ZR Section 17.3)

- ☐ Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- ☐ Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- ☐ Special Permit for use in a district (ZR Sec. 1.2 & 4)
- ☐ Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- ☐ Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- ☐ Special Permit for parking (ZR Sec. 4; 12; 21.4)
- ☐ Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- ☐ Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- ☐ Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- ☐ Special Permit for massage (ZR Sec. 2.76-78; 4)
- ☐ Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- ☐ Special Permit for dumps and/or incinerators (ZR Section 8)

☒ Other Special Permit(s). Cite ZR Section and describe activity:

section 4.3.4.1 &/or 4.3.4.2
Professional office - CPA, Tax, Accounting

☐ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

☐ **Zoning:**

☐ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

☐ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

☐ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

☐ Dealer or Repairer License (location approval for DMV)

VII. APPLICATION CONDITIONS / STIPULATIONS

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.

APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

Richard Sharfkey
Signature

8/24/21
Date

Signature

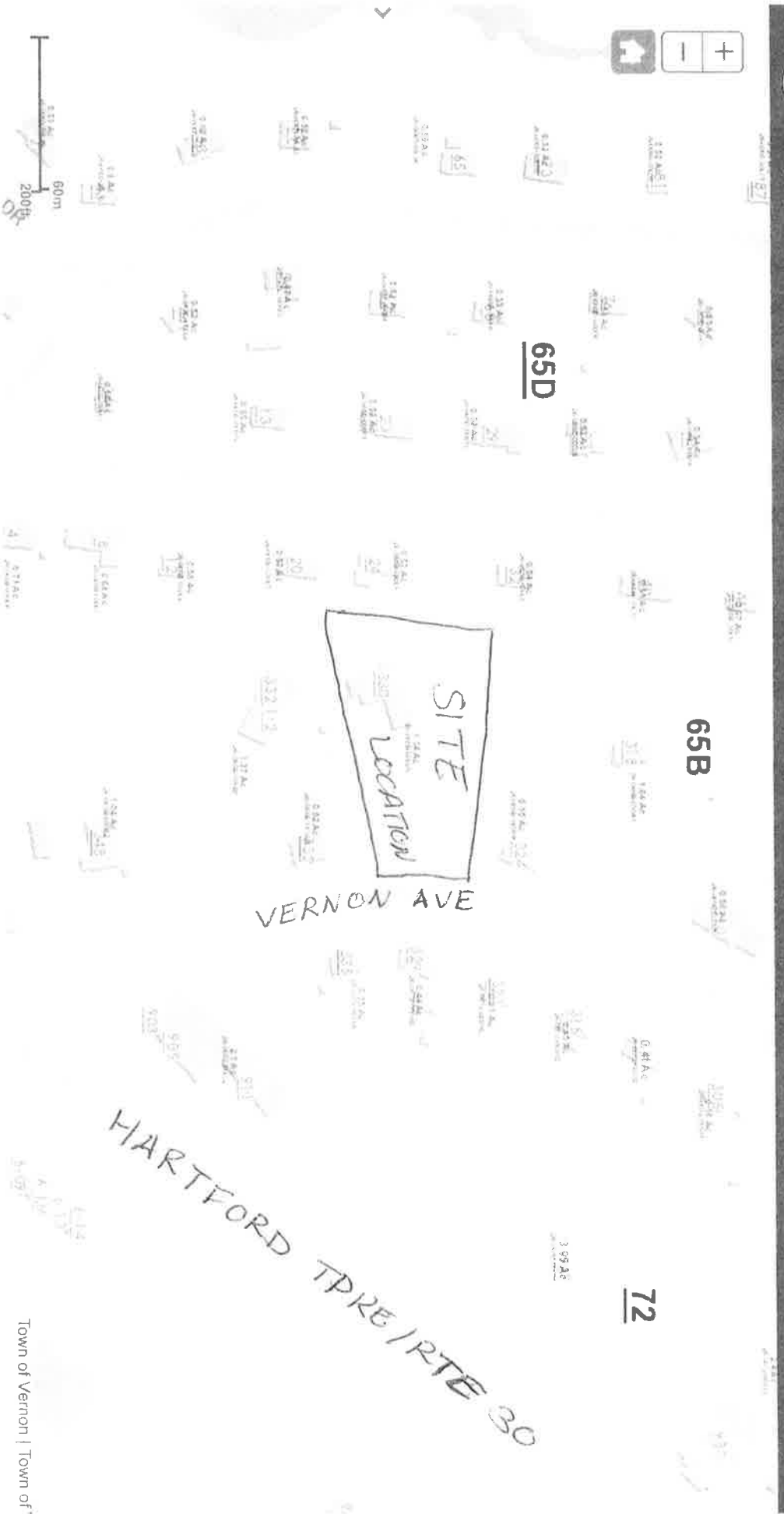
Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____



THE UNIVERSITY OF CHICAGO

12345678910111213141516171819202122232425262728293031323334353637383940414243444546474849505152535455565758596061626364656667686970717273747576777879808182838485868788899091929394959697989910010110210310410510610710810911011111211311411511611711811912012112212312412512612712812913013113213313413513613713813914014114214314414514614714814915015115215315415515615715815916016116216316416516616716816917017117217317417517617717817918018118218318418518618718818919019119219319419519619719819920020120220320420520620720820921021121221321421521621721821922022122222322422522622722822923023123223323423523623723823924024124224324424524624724824925025125225325425525625725825926026126226326426526626726826927027127227327427527627727827928028128228328428528628728828929029129229329429529629729829930030130230330430530630730830931031131231331431531631731831932032132232332432532632732832933033133233333433533633733833934034134234334434534634734834935035135235335435535635735835936036136236336436536636736836937037137237337437537637737837938038138238338438538638738838939039139239339439539639739839940040140240340440540640740840941041141241341441541641741841942042142242342442542642742842943043143243343443543643743843944044144244344444544644744844945045145245345445545645745845946046146246346446546646746846947047147247347447547647747847948048148248348448548648748848949049149249349449549649749849950050150250350450550650750850951051151251351451551651751851952052152252352452552652752852953053153253353453553653753853954054154254354454554654754854955055155255355455555655755855956056156256356456556656756856957057157257357457557657757857958058158258358458558658758858959059159259359459559659759859960060160260360460560660760860961061161261361461561661761861962062162262362462562662762862963063163263363463563663763863964064164264364464564664764864965065165265365465565665765865966066166266366466566666766866967067167267367467567667767867968068168268368468568668768868969069169269369469569669769869970070170270370470570670770870971071171271371471571671771871972072172272372472572672772872973073173273373473573673773873974074174274374474574674774874975075175275375475575675775875976076176276376476576676776876977077177277377477577677777877978078178278378478578678778878979079179279379479579679779879980080180280380480580680780880981081181281381481581681781881982082182282382482582682782882983083183283383483583683783883984084184284384484584684784884985085185285385485585685785885986086186286386486586686786886987087187287387487587687787887988088188288388488588688788888989089189289389489589689789889990090190290390490590690790890991091191291391491591691791891992092192292392492592692792892993093193293393493593693793893994094194294394494594694794894995095195295395495595695795895996096196296396496596696796896997097197297397497597697797897998098198298398498598698798898999099199299399499599699799899910001001100210031004100510061007100810091010101110121013101410151016101710181019102010211022102310241025102610271028102910301031103210331034103510361037103810391040104110421043104410451046104710481049105010511052105310541055105610571058105910601061106210631064106510661067106810691070107110721073107410751076107710781079108010811082108310841085108610871088108910901091109210931094109510961097109810991100110111021103110411051106110711081109111011111112111311141115111611171118111911201121112211231124112511261127112811291130113111321133113411351136113711381139114011411142114311441145114611471148114911501151115211531154115511561157115811591160116111621163116411651166116711681169117011711172117311741175117611771178117911801181118211831184118511861187118811891190119111921193119411951196119711981199120012011202120312041205120612071208120912101211121212131214121512161217121812191220122112221223122412251226122712281229123012311232123312341235123612371238123912401241124212431244124512461247124812491250125112521253125412551256125712581259126012611262126312641265126612671268126912701271127212731274127512761277127812791280128112821283128412851286128712881289129012911292129312941295129612971298129913001

ATLANTA - CONSUMERS ADVISORY
350 VERNON AVE
VERNON, CT 06066
Karonelahi
CENSUS TRACT: 530.00

Transfer of Ownership

Transfer of Ownership

Owner

Consideration	Transfer	Date	Deed Book/Page	Deed Type

ZHIGAILO MARTI	234000	10/26/2009	2078	217	W
FEDERAL HOME LOAN MORTGAGE COR	0	10/28/1996	1079	112	W
DIGGINS LINDA S	0	05/19/1995	1019	37	W
KAVECKAS MICHAEL E &	0	08/06/1993	941	2	Q
RANCOURT RONALD J&	171000	10/14/1988	722	186	W
ANA	0	01/01/1900	36	400	

Registered Number
0500

Product Name
Description

XING DISTRICT INFORMATION

Case	Jurisdiction Name	Town of Vernon
116		
170		

Valuation Record

Assessment Year	2011	2016	2018
Reason for Change	2011 REVL	2016 Reval	2018 ASNT
Market			
L	72190	65040	65040
I	149220	147560	147560
T	221410	212600	212600
L	50530	45530	45530
I	104450	103290	103290
T	154980	148820	148820
70% Assessed/Use			

Site Description

Topography:
high
Public Utilities
Sewer, Electric
Street or Road
Paved
Neighborhood

11-11-22
 11-11-22
 11-11-22

Land Size

Square Feet
- or -
Effective
Depth

Acreage
- or -
Effective
Frontage

Square Feet
- of -
Effective
Depth

Influence Factor

Zoning 4.3 - RESIDENTIAL 22—SINGLE-FAMILY RESIDENTIAL

▶ 4.3.1 - Area and Yard Requirements:

- 4.3.1.1 Minimum lot area: 22,000 square feet
- 4.3.1.2 Minimum lot width: 125 feet
- 4.3.1.3 Minimum front yard: 30 feet
- 4.3.1.4 Minimum side yard: 10 feet
- 4.3.1.5 Minimum rear yard: 20 feet
- 4.3.1.6 Minimum floor area 1,000 square feet
- 4.3.1.7 Maximum building height 35 feet (2 ½ stories)
- 4.3.1.8 Maximum lot coverage when not in an aquifer protection zone: 25%

4.3.1.8.1 When in an aquifer protection zone, a Special Permit for increased lot coverage shall be required for any lot coverage exceeding 25% and subject to [Section 20.5](#)

4.3.2 - Permitted Uses:

- 4.3.2.1 Single-family dwellings
- 4.3.2.2 Two-family dwellings
- 4.3.2.3 Accessory uses customarily incidental to the above permitted uses, provided that such accessory use shall not include any activities conducted for gain.
- 4.3.2.4 Signs subject to [Section 16](#).

4.3.3. - Special Exceptions:

The following uses may be permitted when granted a Special Exception by the Vernon Zoning Board of Appeals.

- 4.3.3.1 Private non-profit clubs.

4.3.4 - Special Permits:

The following uses may be permitted when granted a Special Permit by the Planning and Zoning Commission.

- 4.3.4.1 Professional office when located in the same building as a private residence. Not more than two (2) persons shall be engaged in such activity.

Zoning

Such offices shall not alter the essential residential character of the property. In the case of conversion of existing residential structures, said conversion shall not alter the residential character of the exterior of the building or increase the existing floor area of the building.

4.3.4.2 Convalescent homes or nursing homes and assisted living facilities when connected to public water and sanitary sewer.

4.3.4.3 Boarding houses.

4.3.4.4 Funeral homes.

4.3.4.5 Hospitals, church buildings, schools, public libraries, public utility structures, cemeteries, golf courses, country clubs and governmental buildings, municipal non-profit recreational facilities and telecommunication towers.

4.3.4.6 Lot coverage exceeding 25%, subject to the provision of [Section 20.5](#).

4.3.4.7 Bed & Breakfast.

4.3.4.8 Home based businesses of Major—Type 2.

4.3.4.9 Radio and television masts and towers in residential zones. Any mast or tower in excess of 50 feet in height in a residential zone or any mast or tower permitted by variance or pre-existing use to be operated for financial gain in a residential zone.

4.3.5 - Use Variances:

Under no circumstances shall the Zoning Board of Appeals grant a variance to allow a use in this zoning district that is specifically allowed by the Planning and Zoning Commission under [Section 4.3.4](#).

< 4.2.5 - Use Variances:

4.4 - RESIDENTIAL 27—SINGLE-FAMILY RESIDENTIAL >

Karamelahi Shafique - Narrative Report

This narrative report is prepared as required by Vernon Planning and Zoning Commission, VII. Application Conditions/Stipulations. I am submitting the application seeking for a special permit to run a professional CPA office in my house at 330 Vernon Ave, Vernon CT 06066. I will be using this office to prepare tax returns and accounting/bookkeeping for my clients. As needed I will have meetings at the location to discuss and advise clients on their tax and compliance issues however, most of the time clients will drop off the records and then pick them up when the project is completed.

My house is on a busy road and there are also busy intersections, 0.1 miles to Hartford Turnpike and about 1 mile to South Street. The impact on the traffic will be minimal resulting in a maximum of 50 to 100 more trips per year. This is also helped by the fact that there is no street parking and I have a long driveway of at least 100 feet.

Physical Characteristics

Accommodation	6
Finished Rooms	3
Bedrooms	1
Formal Dining Rooms	
HEATING AND AIR CONDITIONING	
Primary Heat: Hot Water - Gas	
Lower Full Part	
/Bsmt 1 Upper Upper	
Plumbing	
TF	
3 Flt., Baths	2
Kit Sink	1
Water Heat	1
TOTAL	
REMODELING AND MODERNIZATION	
Amount	
Date	

ACCOMMODATION		TF	REMODELING AND MODERNIZATION	
			Amount	Date
6	Finished Rooms	6		
3	Bedrooms	1		
1	Formal Dining Rooms	1		
HEATING AND AIR CONDITIONING				
Primary Heat: Hot Water - gas				
	Lower			
	/Bsmt	1		
	Upper			
	Upper			
PLUMBING				
	3 Fixt., Baths	2		
	Kit Sink	1		
	Water Heat	1		
	TOTAL	3		

OFFICE

Special Features

Description
D : Fireplace - Masonry

Summary of Improvements

ID	USE	Story Height	Const Type	Grade	Year Cons	Eff Year	Cond	Size or Area
D	DWELL	0.00		Avg	1959	1981	AV	2234
C1	2000GAR	0.00	1					576

APPLICATION

1

GARDNER & PETERSON ASSOCIATES, LLC

PROFESSIONAL ENGINEERS • LAND SURVEYORS

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT 06084

KENNETH R. PETERSON, L.S.
ERIC R. PETERSON, P.E., L.S.
MARK A. PETERSON, P.E.

TELEPHONE: (860) 871-0808

info@GardnerPeterson.com
www.GardnerPeterson.com

Project Narrative:

A.Vets Real Estate, LLC is seeking a Site Plan approval for American Vets Abatement Experts, LLC (the owners of which are the same) for site modifications at 965 Hartford Turnpike and across a portion of land to be acquired from JAJL, LLC at 933 Hartford Turnpike. They would like to remove the existing storage garage and construct a new, larger garage with associated parking and stormwater management.

Traffic Statement

The proposed Site Plan will not increase the volume of traffic entering/exiting the site. The proposed improvements are for staff use and the business has minimal customers visiting the site.

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: A. Vets Real Estate, LLC

Title: c/o Mark Peterson

Company: Gardner & Peterson Associates, LLC

Address: 178 Hartford Turnpike
Tolland, CT 06084

Telephone: 860-871-0808 Fax: _____

E-mail: mpeterson@gardnerpeterson.com

II. PROPERTY OWNER (S): - Property #1

965 Hartford Tpke.

Name: A. Vets Real Estate, LLC

Title: Attn: Ana Ciotto

Company: _____

Address: 965 Hartford Turnpike
Vernon, CT 06066

Telephone: 860-922-9724 Fax: _____

E-mail: ana@american-vets.com

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

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Provide all the information requested:

I. APPLICANT:

Name: _____

Title: _____

Company: _____

Address: _____

Telephone: _____ Fax: _____

E-mail: _____

II. PROPERTY OWNER (S): - Property #2

Name: JAJL, LLC NE Portion of
965 Hartford Tpke.

Title: c/o Attorney John P. McHugh

Company: Cranmore, Fitzgerald & Meaney

Address: 1010 Wethersfield Ave., Suite 206

Hartford, CT 06114

Telephone: 860-522-9100 Fax 860-522-3379

E-mail: jmchugh@cfmlawfirm.com

III. PROPERTY

Address: 965 Hartford Turnpike

Assessor's ID Code: Map # ____ Block # ____ Lot/Parcel # ____ Tax ID# 26-0072-0031H

Land Record Reference to Deed Description: Volume: ²³⁹⁶____ Page 101

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☒ No

☐ Yes

☐ No work will be done in regulated area

☐ Work will be done in the regulated area

☐ IWC application has been submitted

☐ IWC application has not been submitted

Zoning District Industrial

Is this property located within five hundred (500) feet of a municipal boundary?

☒ No

☐ Yes:

- ☐ Bolton
- ☐ Coventry
- ☐ Ellington
- ☐ Manchester
- ☐ South Windsor
- ☐ Tolland

Check if Historic Status Applies: N/A

☐ Located in historic district:

- ☐ Rockville
- ☐ Talcottville

☐ Individual historic property

III. PROPERTY - #2

Northeasterly Portion

Address: 933 Hartford Turnpike

Assessor's ID Code: Map # ____ Block # ____ Lot/Parcel # ____ Tax ID# 26-0072-0031J

Land Record Reference to Deed Description: Volume: ¹³⁸⁶____ Page 327

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☐ No

☒ Yes

☐ No work will be done in regulated area

☒ Work will be done in the regulated area

IWC Application

Previously Approved

7/27/2021

☒ IWC application has been submitted

☐ IWC application has not been submitted

Zoning District Industrial

Is this property located within five hundred (500) feet of a municipal boundary?

☒ No

☐ Yes:

☐ Bolton
☐ Coventry
☐ Ellington
☐ Manchester
☐ South Windsor
☐ Tolland

Check if Historic Status Applies: N/A

☐ Located in historic district:

☐ Rockville
☐ Talcottville

☐ Individual historic property

IV. PROJECT

Project Name: A. Vets Real Estate, LLC

Project Contact Person:

Name: Mark Peterson

Title: _____

Company: Gardner & Peterson Associates, LLC

Address: 178 Hartford Turnpike

Tolland, CT 06084

Telephone: 860-871-0808 Fax: _____

E-mail: mpeterson@gardnerpeterson.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Provide additional indoor storage of vehicles & equipment

General Activities: Removal of existing garage and
construction of larger garage and designated
parking areas.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6. 8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 X Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

 X Site Plan of Development (POD) (ZR Sec. 14)

- X POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
- X Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

____ Other Special Permit(s). Cite ZR Section and describe activity:

____ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

____ **Zoning:**

____ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

____ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

____ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

____ Dealer or Repairer License (location approval for DMV)

For Commission Form (Form 2000) Section 4.10. If an application submitted to the Planning & Zoning Commission (PZC) contains any activity or use regulated under the wetlands statute, the application for the activity must be filed with the Natural Wetlands Commission (NWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (PZC Sec. 1.12)

Any activity Sec. 4.10. If the proposed activity is to take place within a watershed of a Water Company, the applicant is required to file a copy of the application with the Water Company no earlier and no later than 10 days of the date of the application. (PZC Sec. 1.12)

The applicant, undersigned, has reviewed the "Terms of Future Planning and Zoning Regulations and Natural Wetlands and Watershed Regulations" and has prepared this application with complete and accurate information.

Property Owner, Applicant, or Applicant's Agent


Signature


Date

Signature

Date

TO BE FILED IN AT THE PLANNING DEPARTMENT

Date Application Received _____

Date Application Reviewed by Commission _____

PZC File _____

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:



Signature

8/02/2021

Date

Signature

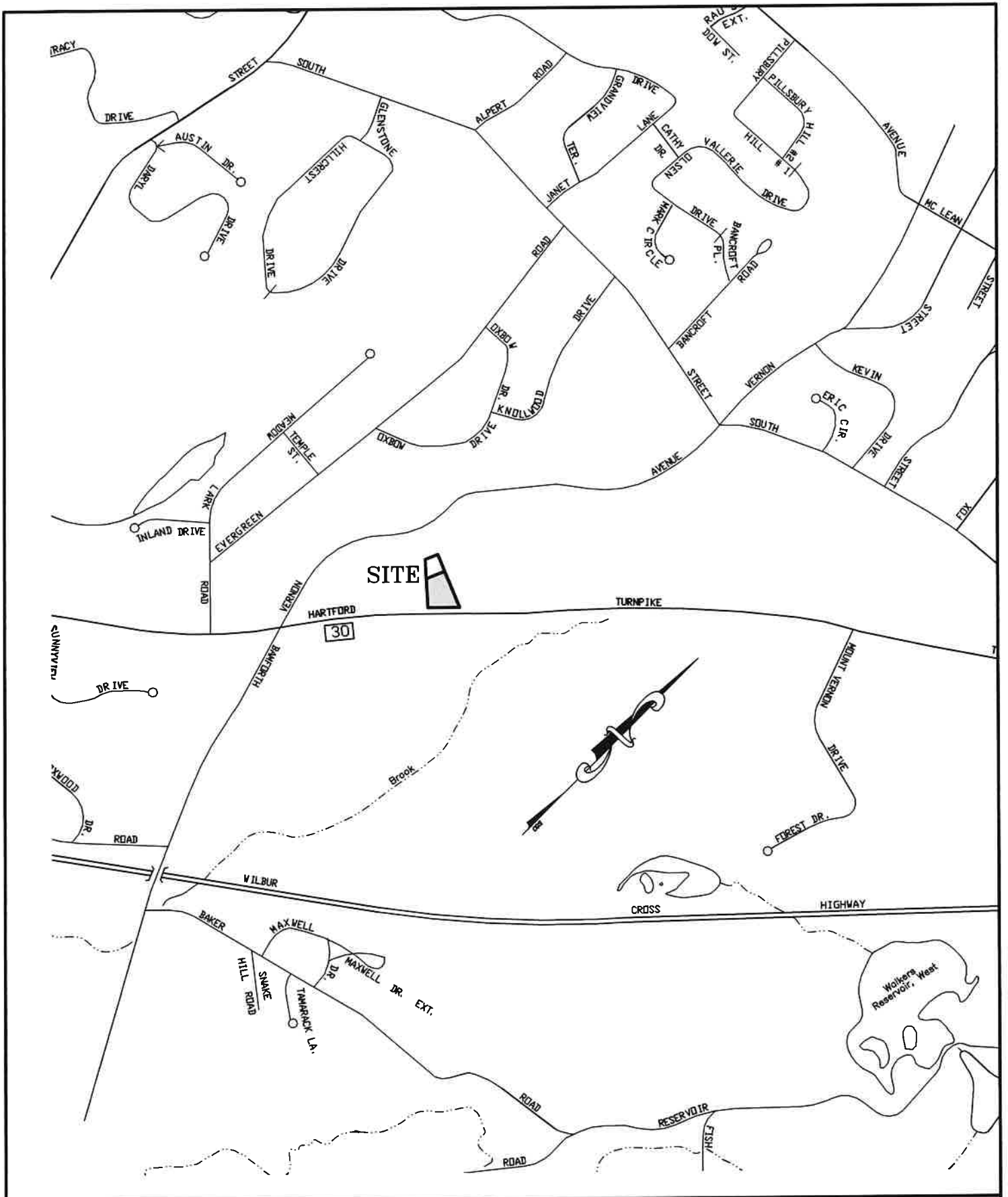
Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____



KEY MAP

SCALE: 1" = 1000'

965 Hartford Turnpike

Schedule "A"

A piece or parcel of land known as Parcel "A" on a map entitled Property of William B and Helen M. Kania, Vernon, Connecticut, Scale 1" = 50', July 8, 1987, Revised August 4, 1997 To Delimits Parcel "A", Revised October 3, 1997 Parcel "A", Stanley W. Szeszowski, 623 Talpoctville Road, Vernon, Connecticut, which map of plan is on file or to be filed in the office of Vernon Town Clerk which piece or parcel is more particularly described as follows

Beginning at a point in the Westerly line of Connecticut Route 30 (Hartford Turnpike) which point is marked by an iron pin marking the Northeast corner of the parcel herein conveyed, thence running S 56° 18' 03" W along the Westerly line of Hartford Turnpike a distance of Two Hundred Fifty (250.00') feet to a point, which point is located Forty-three and 28/100 (43.28') feet from a CHD monument in the Westerly line of Hartford Turnpike, thence turning and running N 36° 27' 00" W along land now or formerly of the Grantors a distance of Two Hundred Twenty-six (226.00') feet to a point, thence turning and running N 35° 34' 20" E along land now or formerly of the Grantors a distance of One Hundred Fifty-five and 41/100 (155.41') feet to a point marking the Northwest corner of the parcel herein conveyed, thence turning and running S 36° 01' 50" E along land now or formerly of Belscak, a distance of Three Hundred Four (304.00') feet to the point or place of beginning

Said parcel conveyed herein contains One and 19/100 (1.19) acres

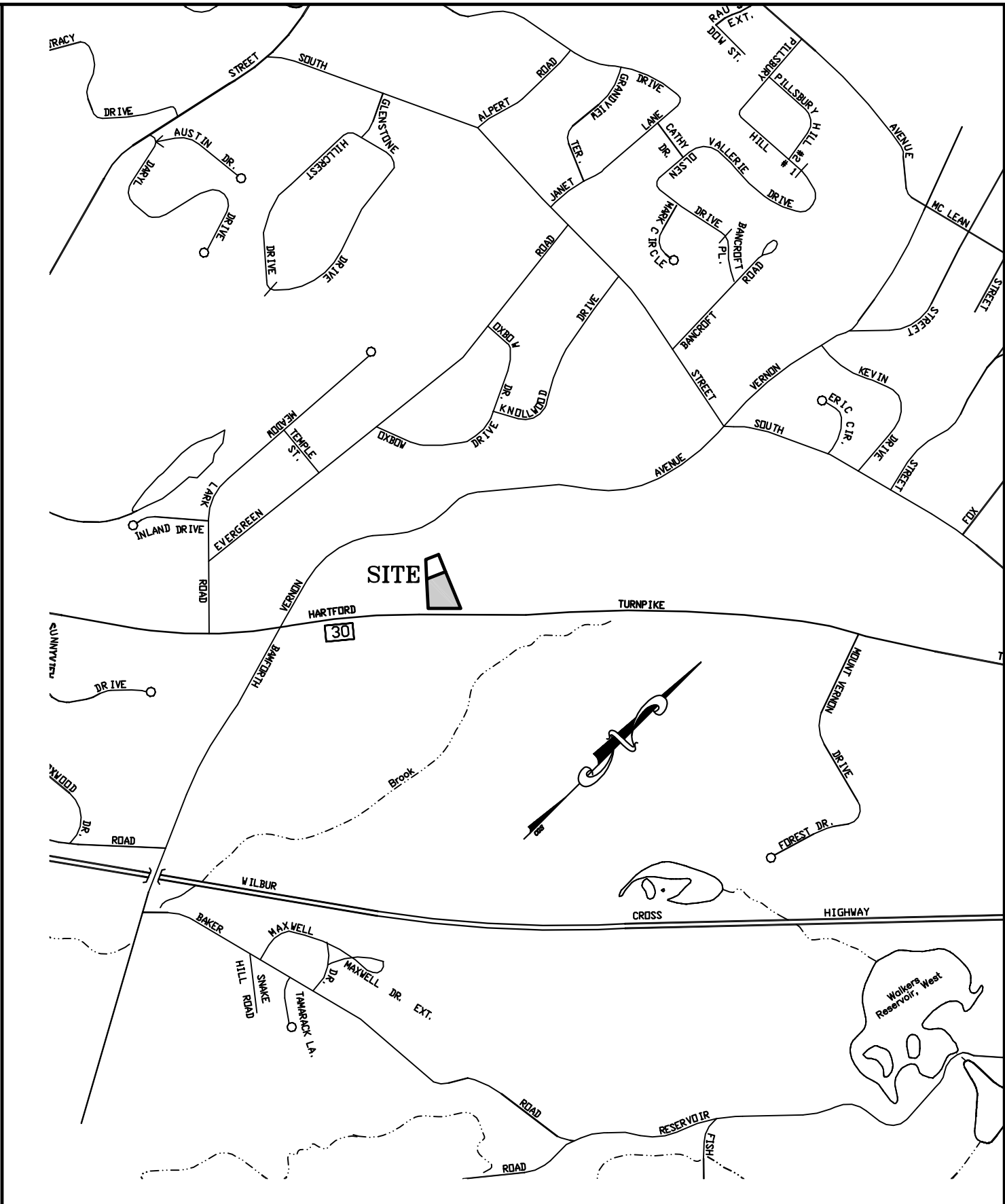
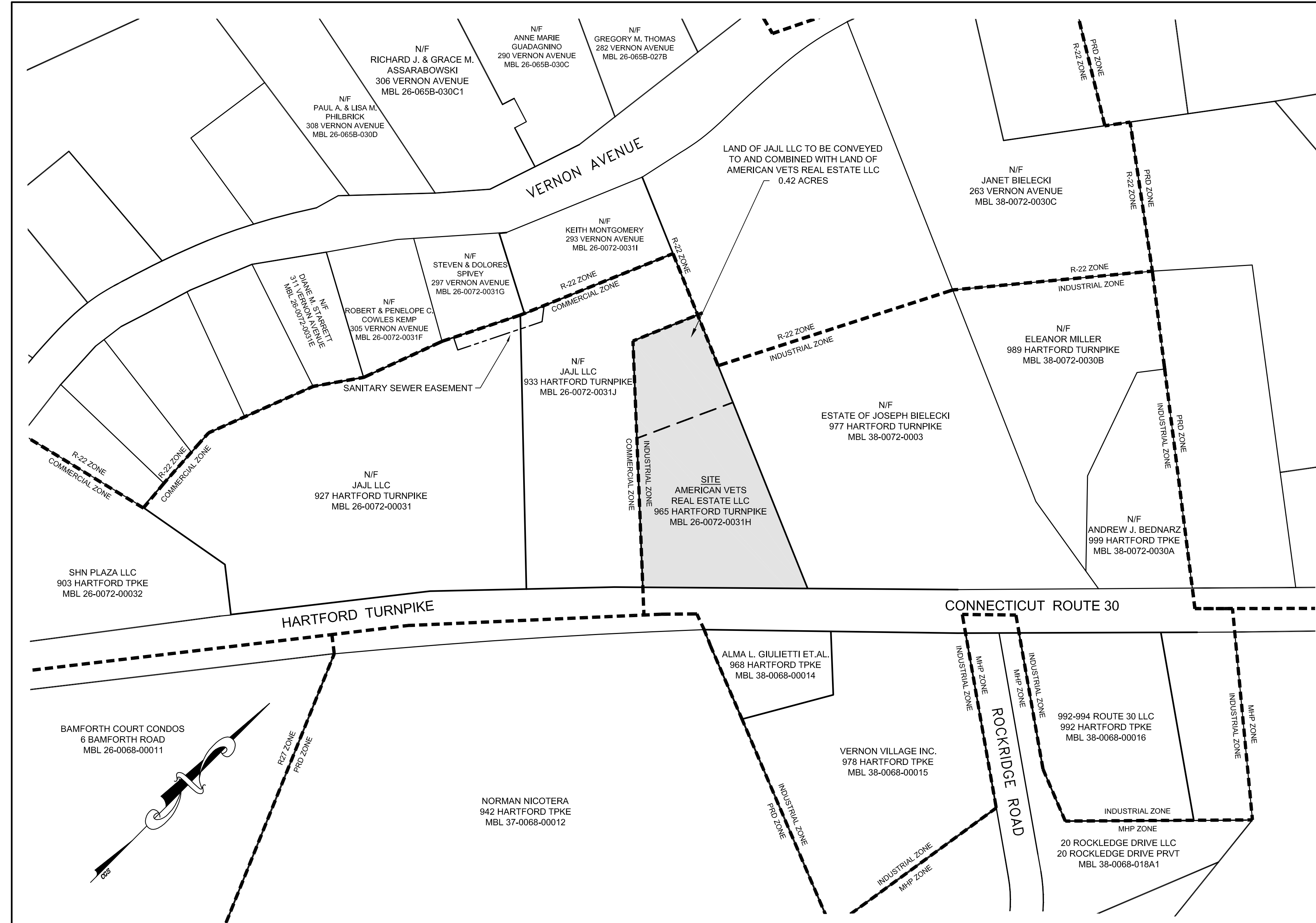
This parcel is conveyed along with the right to drain storm water as it exists at the time of this conveyance

RECORDED IN
VERNON LAND RECORDS
Barnes K. Dixon
VERNON TOWN CLERK
ON APR 23, 2015 AT 10:26A

Portion of 933 Hartford Turnpike

The piece or parcel of land shown as "Land of JAJL LLC To Be Conveyed To And Combined With Land of A. Vets Real Estate LLC 0.42" on a map or plan entitled, "Data Accumulation Plan Zone Change Map From Commercial To Industrial Zone Prepared For A.Vets Real Estate LLC 933 & 965 Hartford Turnpike Vernon, Connecticut Gardner & Peterson, LLC Tolland, Connecticut Date 4-15-2020 Sheet No. 1 of 1."

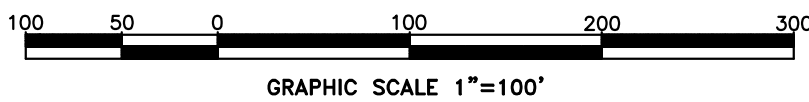
The premises is a portion of the property shown on the Fiduciary's Deed recorded at Volume 1386, Page 327 of the Vernon Land Records.



KEY MAP SCALE: 1" = 1000'

APPROVED BY TOWN OF VERNON
PLANNING & ZONING COMMISSION


_____, Chairmam Date: _____
_____, Secretary Date: _____



NOTES:

- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY BASED UPON A DEPENDANT RESURVEY, CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS 1-2.
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
A. "PROPERTY OF WILLIAM B. & HELEN M. KANIA VERNON, CONNECTICUT SCALE: 1"=50' JULY 8, 1987 REVISED TO AUGUST 4, 1997 TO DELINEATE PARCEL "A" BY: STANLEY W. SZESTOWICKI AND RECORDED IN THE TOWN OF VERNON LAND RECORDS OCT. 10, 1997."
B. "DATA ACCUMULATION PLAN ZONE CHANGE MAP PREPARED FOR AMERICAN VETS 933 & 965 HARTFORD TURNPIKE VERNON, CONNECTICUT BY: GARDNER & PETERSON ASSOCIATES, LLC SCALE: 1"=100', DATE 04-15-2020, SHEET NO. 1 OF 1, MAP NO. 107112"
- THE AREA OF 965 HARTFORD TURNPIKE IS 1.19 ACRES. 0.42 ACRES OF LAND TO THE NORTH CURRENTLY OWNED BY JAII LLC IS UNDER CONTRACT TO BE PURCHASED BY THE APPLICANT.
- PROPOSED LOT COVERAGE: 43% (INCLUDES ALL BITUMINOUS & CONCRETE SURFACES, ROOFS, DECK AND PAVERS)

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.


KENNETH R. PETERSON L.S. 10839
REGISTRATION NO.

LEGEND

- BOUNDARY _____
SITE _____
EXISTING ZONE BOUNDARY - - - - -

IMPROVEMENT LOCATION SURVEY

**SITE PLAN
PREPARED FOR
A. VETS REAL ESTATE, LLC
965 HARTFORD TURNPIKE
VERNON, CONNECTICUT**

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

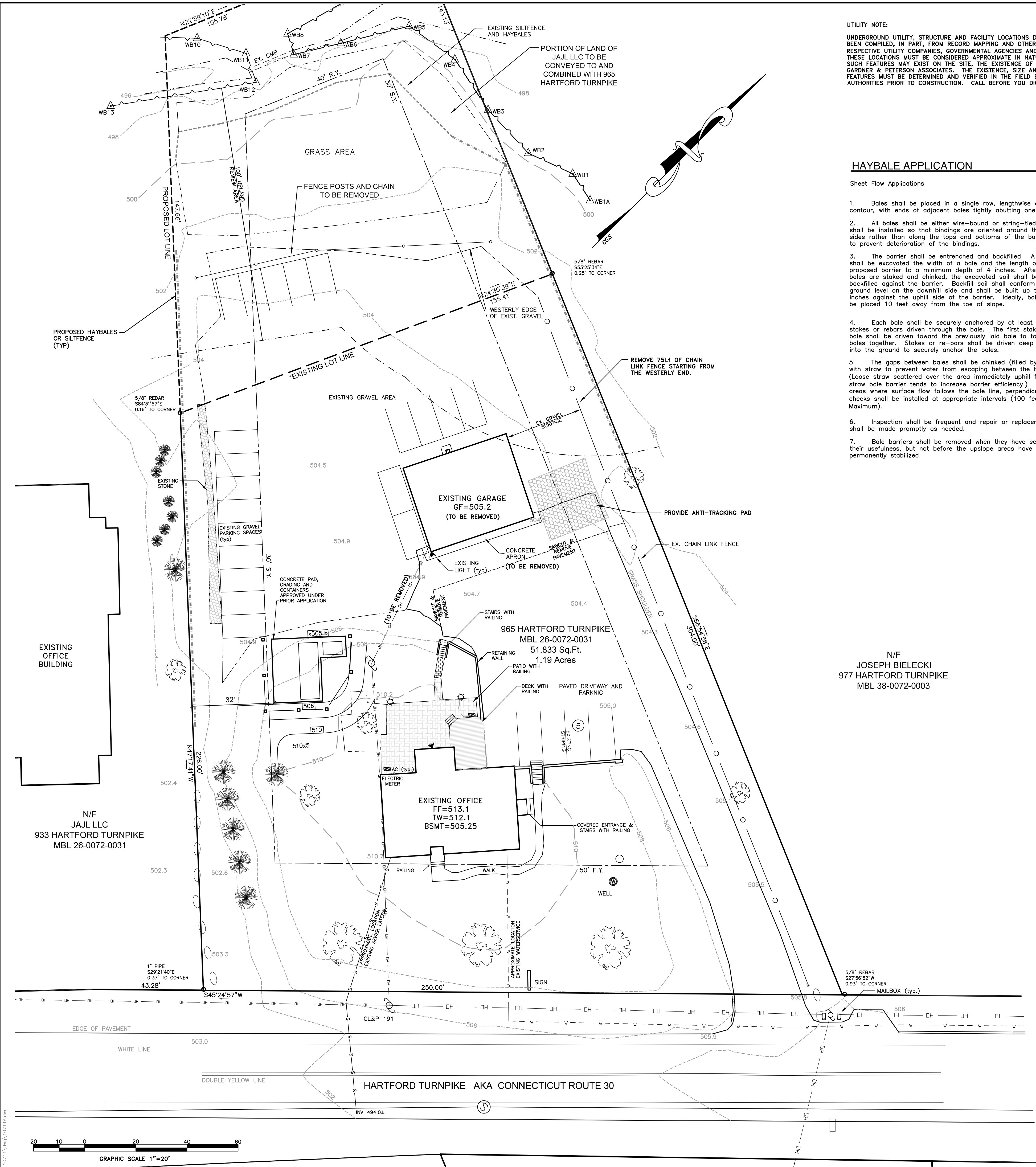
PROFESSIONAL ENGINEERS

LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=100'	06-15-2021	1 OF 3	10711S

REVISIONS

07-19-2021 STAFF COMMENTS
07-28-2021 IWC CONDITIONS



UTILITY NOTE:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

HAYBALE APPLICATION

Sheet Flow Applications

- Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
- All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides rather than along the tops and bottoms of the bales to prevent deterioration of the bindings.
- The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier. Ideally, bales should be placed 10 feet away from the toe of slope.
- Each bale shall be securely anchored by at least two stakes or rebars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
- The gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between the bales. (Loose straw scattered over the area immediately uphill from a straw bale barrier tends to increase barrier efficiency.) In sloping areas where surface flow follows the bale line, perpendicular bale checks shall be installed at appropriate intervals (100 feet Maximum).
- Inspection shall be frequent and repair or replacement shall be made promptly as needed.
- Bale barriers shall be removed when they have served their usefulness, but not before the upslope areas have been permanently stabilized.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDING SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS./ACRE	LBS./1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-6/15

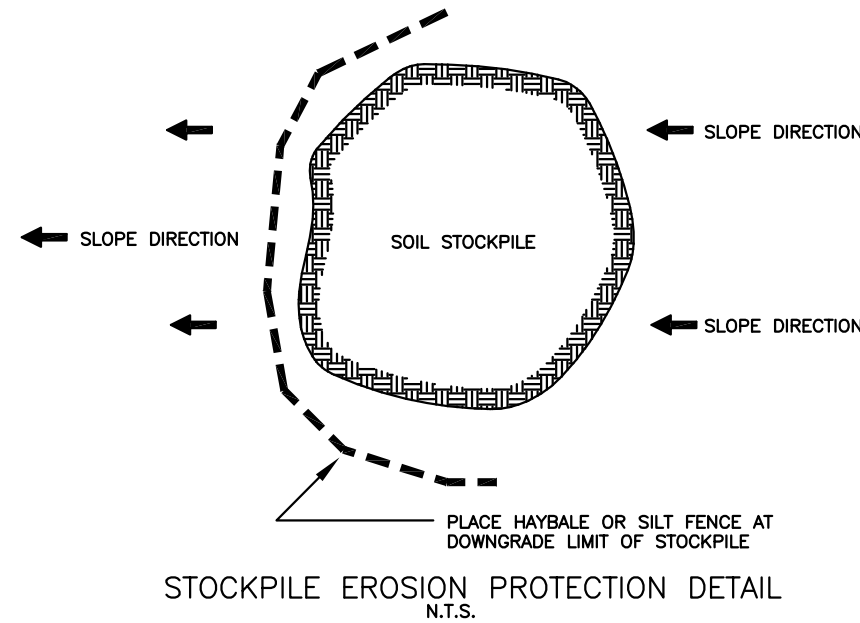
TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDBED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE. 70 TO 80 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS./ACRE	LBS./1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	



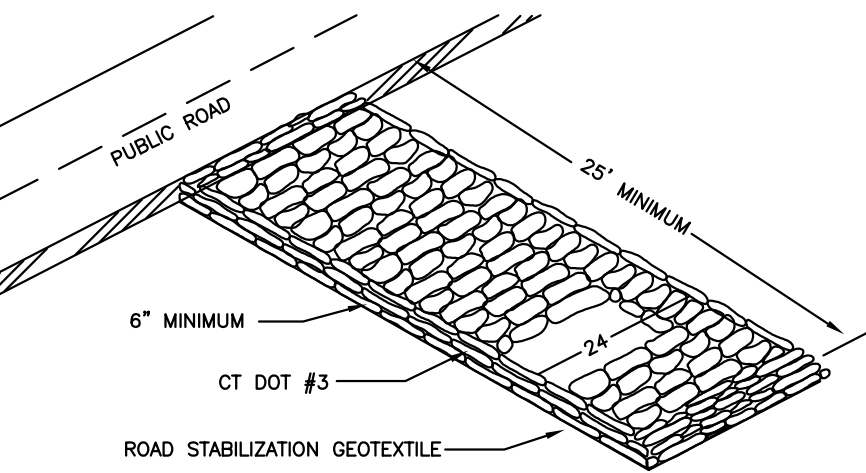
CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: A. VETS REAL ESTATE, LLC
LOCATION: 965 HARTFORD TURNPIKE VERNON
PROJECT DESCRIPTION: PROPOSED DRIVEWAY, BUILDING AND PARKING
PARCEL AREA 1.5+ ACRES
RESPONSIBLE PERSONNEL: SITE CONTRACTOR, TO BE DETERMINED

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CONTRACTOR TO OBTAIN ENCROACHMENT PERMIT			
CONTRACTOR TO CONTACT CALL BEFORE YOU DIG			
INSTALL ANTI-TRACKING PAD			
CLEAR TREES/BRUSH			
INSTALL EROSION CONTROL			
REMOVE STUMPS			
CONSTRUCT STORMWATER BASIN TO ACT AS TEMPORARY SEDIMENT BASIN. SHED DISTURBED AREA TO BASIN.			
ROUGH GRADE SITE			
CONSTRUCT BUILDING & DRIVE			
PAVE DRIVEWAY			
FINAL GRADE SITE			
LOAM AND SEED ALL DISTURBED AREAS			
REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED			

PROJECT DATES:
DATE OF CONSTRUCTION START: APPROXIMATELY SEPTEMBER 2021
DATE OF CONSTRUCTION COMPLETION: ONE YEAR FROM START OF WORK

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.



CONSTRUCTION ENTRANCE

LEGEND

SIGN	
UTILITY POLE	
WELL	
STONE WALL	
REMAINS OF STONE WALL	
LIMIT OF WETLANDS	
WETLAND FLAG	
100' UPLAND REVIEW AREA	
PROPOSED SILTFENCE	
OVERHEAD WIRES	
PROPERTY LINE	
EXISTING IRON ROD OR PIN	
WIRE FENCE	
EXISTING SILTFENCE	
LOT LINE TO BE REMOVED	
PROPOSED BOUNDARY LINE	
EXISTING CONTOUR	
EXISTING SPOT ELEVATION	
EXISTING GRAVEL	
EDGE SEASONAL WATERCOURSE	
EXISTING LAMP POST	

IMPROVEMENT LOCATION SURVEY

EROSION & SEDIMENT CONTROL PLAN
PREPARED FOR
A. VETS REAL ESTATE, LLC
965 HARTFORD TURNPIKE
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS

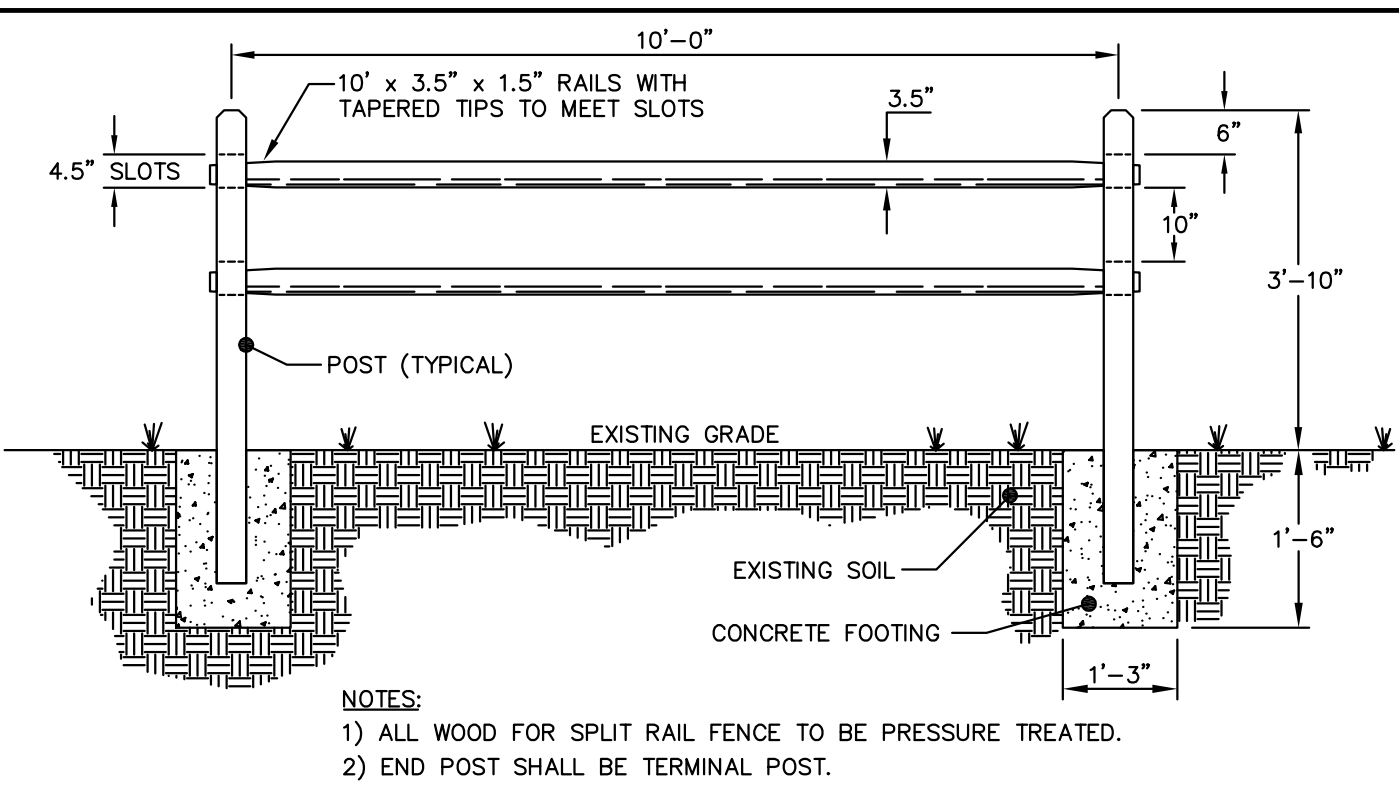
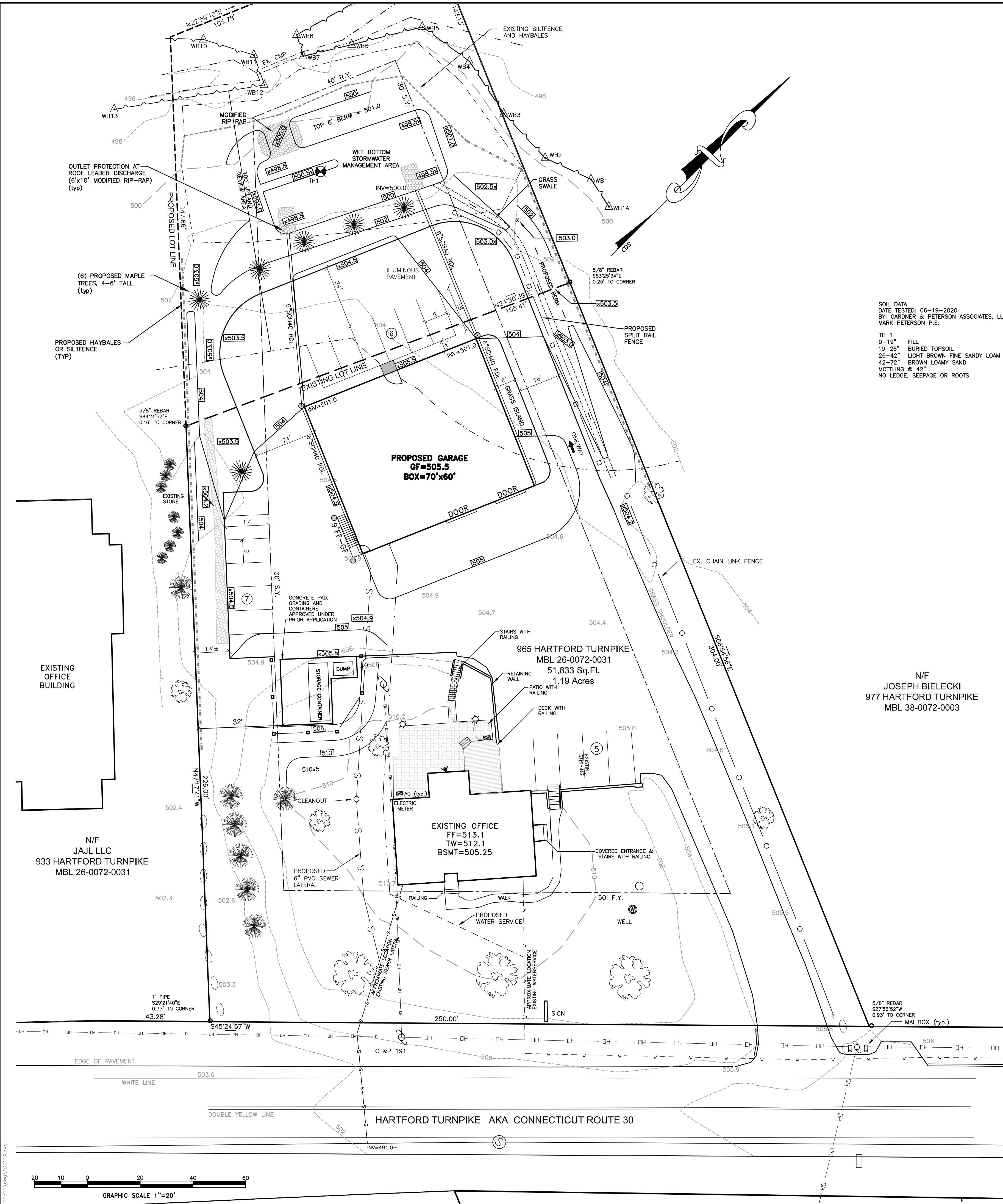
LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"= 20'	06-15-2021	2 OF 3	10711S

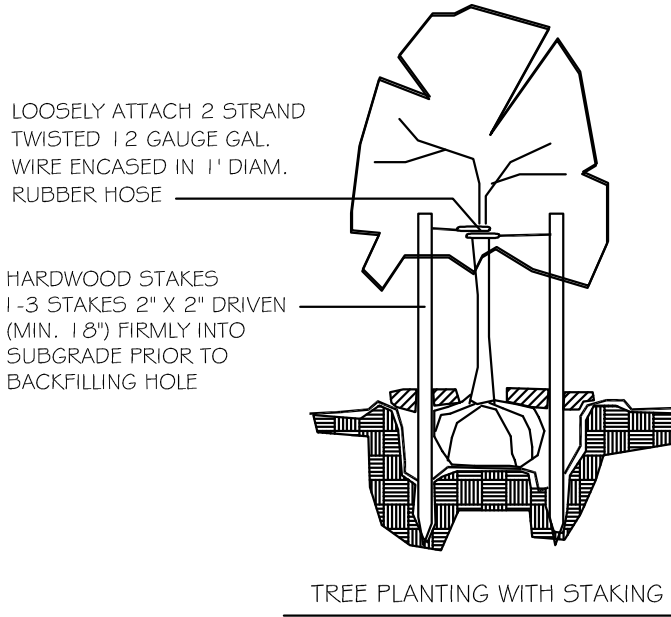
REVISIONS
07-19-2021 STAFF COMMENTS
07-28-2021 IWC CONDITIONS

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

RICHARD ZULICK C.S.S.

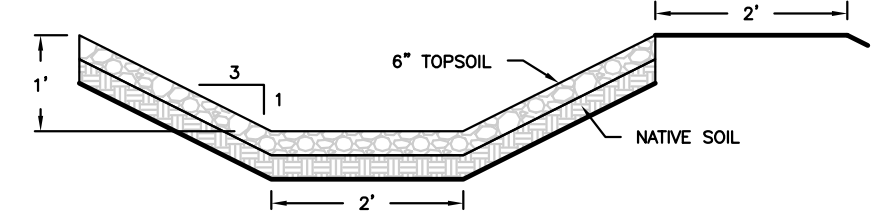


TIMBER SPLIT RAIL FENCE DETAIL



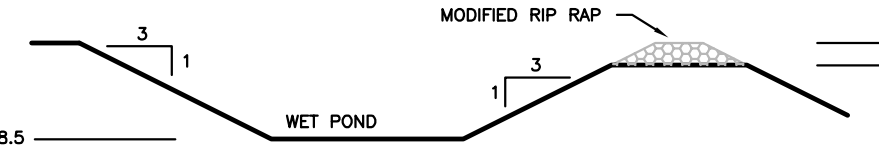
PLANTING DETAILS

N.T.S.



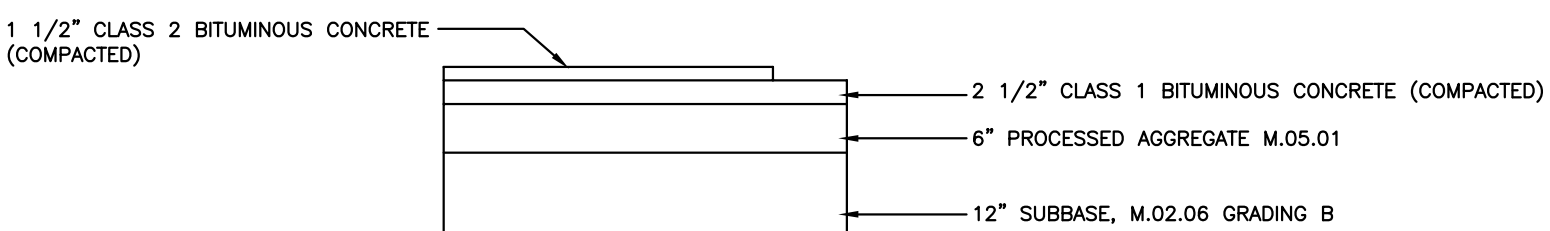
GRASS LINED SWALE

N.T.S.



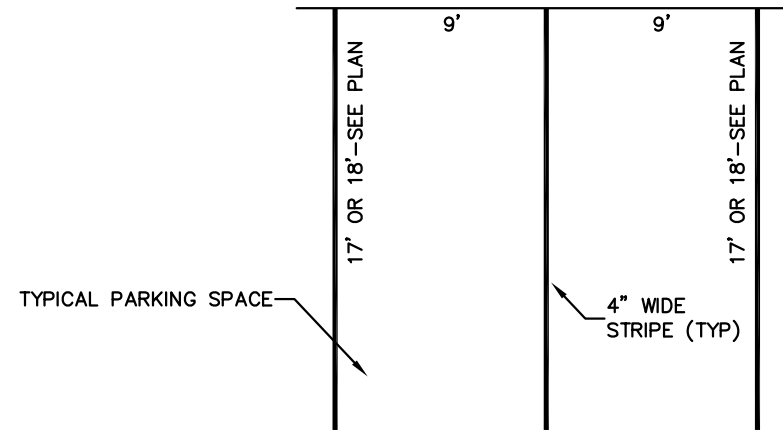
WET POND DETAIL

N.T.S.



HEAVY DUTY PAVEMENT SECTION

N.T.S.

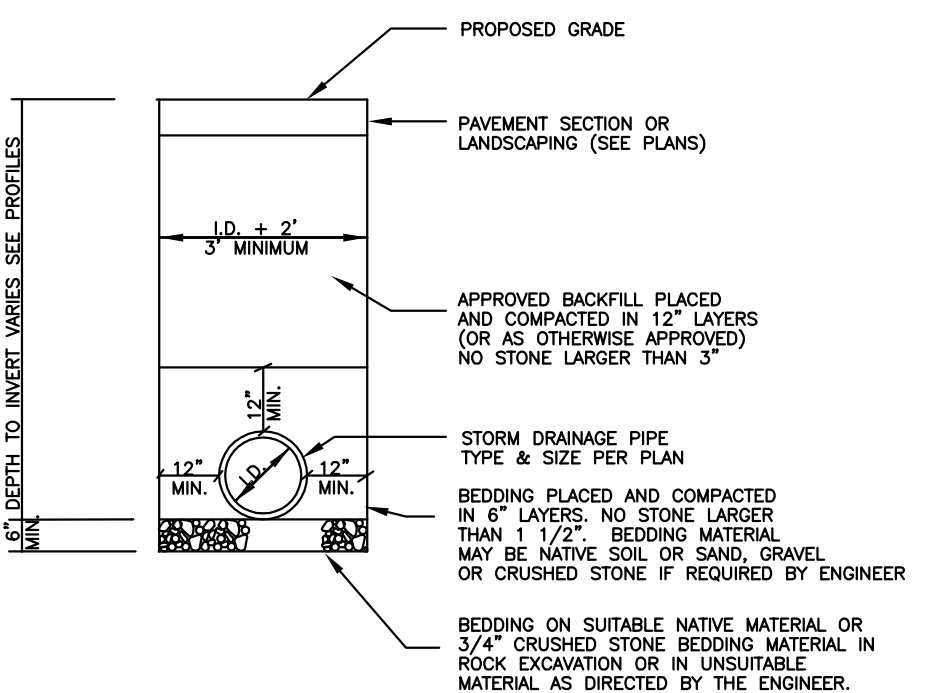


PAINTED PARKING STALL DETAIL

PAVEMENT MARKING NOTES:
1. All work to conform to Form 816, Section 12.09 and the manufacturer's instructions and recommendations for application.
2. Lines shall be four (4) inches wide, except as noted, and 15 mils thick, colored white, except as noted.
3. Point shall be either white or tinted ready-mixed paint conforming to AASHTO M70, Type 1.
4. Epoxy Resins shall conform to Form 816 and project requirements for layout of crosswalks. Install glass beads by free fall method.
5. Prior to painting, sweep pavement with power broom supplemented with hand brooms to eliminate loose material and dust.
6. After applying paint, erect suitable barriers to prevent tracking of paint before drying. Retouch and paint all markings which become smeared, discolored, worn, or otherwise marred before final acceptance of the project. Remove any evidence of smearing of paint.

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

RICHARD ZULICK C.S.S.



STORM DRAIN TRENCH DETAIL

N.T.S.

Maintenance Item	Frequency	Maintenance
Grass Swale	Monthly	• Maintain grass at a height of 4 to 6 inches during the growing season
	Semi-Annually	• Remove debris/sediment in swale
	Semi-Annually	• Check for evidence of water overflowing swale.
Stormwater Basin	Semi-Annually	• Repair eroded areas.
		• Clean/remove sediment and debris.
		• Monitor sediment accumulation and remove when pool volume is reduced significantly.
		• Mow side slopes

The stormwater basin and associated swales allow for the conveyance, treatment and control of the stormwater runoff from the rear of the site. These elements shall be maintained accordingly and used only for their intended purpose. Storage of material, equipment and/or snow is not allowed in these areas to allow them to function as designed.

Maintenance Schedule

LEGEND

SIGN	—
UTILITY POLE	—
WELL	—
STONE WALL	—
REMAINS OF STONE WALL	—
LIMIT OF WETLANDS	—
WETLAND FLAG	—
100' UPLAND REVIEW AREA	—
PROPOSED SILTFENCE	—
OVERHEAD WIRES	—
PROPERTY LINE	—
EXISTING IRON ROD OR PIN	—
WIRE FENCE	—
EXISTING SILTFENCE	—
LOT LINE TO BE REMOVED	—
PROPOSED BOUNDARY LINE	—
EXISTING CONTOUR	—
EXISTING SPOT ELEVATION	—
EXISTING GRAVEL	—
EDGE SEASONAL WATERCOURSE	—
EXISTING LAMP POST	—
PROPOSED CONTOUR	—
PROPOSED SPOT ELEVATION	—
PROPOSED SPLIT RAIL FENCE	—
PROPOSED TREE	—

SITE PLAN/DETAIL SHEET

PREPARED FOR

A. VETS REAL ESTATE, LLC

965 HARTFORD TURNPIKE

VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE

TOLLAND, CONNECTICUT

REVISIONS

07-19-2021 STAFF COMMENTS

07-28-2021 IWC CONDITIONS

PROFESSIONAL ENGINEERS

LAND SURVEYORS

BY

M.A.P.

SCALE

1"= 20'

DATE

06-15-2021

SHEET NO.

3 OF 3

MAP NO.

10711S



D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

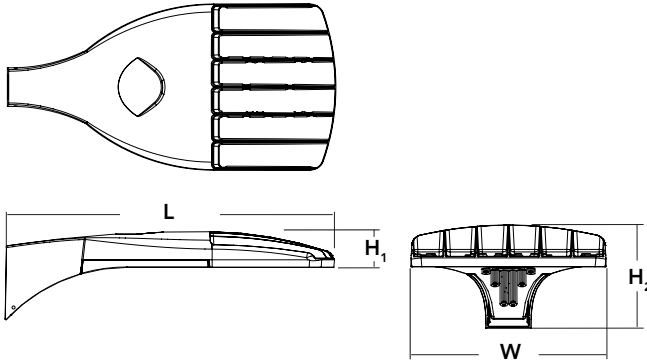
Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height ₁ :	3" (7.62 cm)
Height ₂ :	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED					
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 ¹ P4 ¹ Rotated optics P10 ² P12 ² P11 ² P13 ^{1,2}	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short ³	T5S Type V short ³ T5M Type V medium ³ T5W Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT (120V-277V) ^{5,6} XVOLT (277V-480V) ^{7,8,9} 120 ⁶ 208 ⁶ 240 ⁶ 277 ⁶ 347 ⁶ 480 ⁶
				Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²	

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{13,14} PIRHN Network, high/low motion/ambient sensor ¹⁵ PER NEMA twist-lock receptacle only (control ordered separate) ¹⁶ PER5 Five-pin receptacle only (control ordered separate) ^{16,17} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{16,17} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁸	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{19,20} PIRHN High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{19,20} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{19,20} PIRHN1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{19,20} FAO Field adjustable output ²¹	Shipped installed HS House-side shield ²² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ² R90 Right rotated optics ² DDL Diffused drop lens ²² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²³ EGS External glare shield
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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DSX0-LED
Rev. 07/19/21
Page 1 of 8

Ordering Information

Accessories

Ordered and shipped separately.

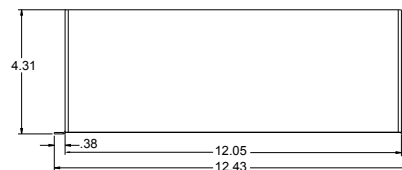
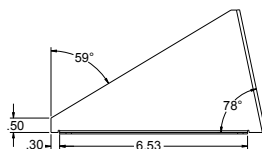
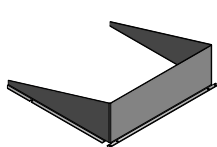
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁴
DSHORT SBK U	Shorting cap ²⁴
DSX0HS 20C U	House-side shield for P1,P2,P3 and P4 ²²
DSX0HS 30C U	House-side shield for P10,P11,P12 and P13 ²²
DSX0HS 40C U	House-side shield for P5,P6 and P7 ²²
DSX0DDL U	Diffused drop lens (polycarbonate) ²²
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ²⁵
KMA8 DDBXD U	Master arm mounting bracket adaptor (specify finish) ¹²
DSX0EGS (FINISH) U	External glare shield

For more control options, visit [DTL](#) and [ROAM](#) online.
Link to [nLight Air 2](#)

NOTES

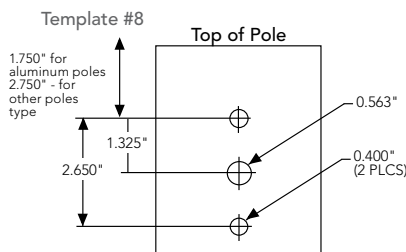
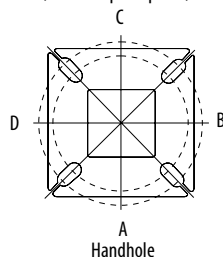
- HA not available with P4, P7, and P13.
- P10, P11, P12 and P13 and rotated options (L90 or R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS or DDL.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).
- XVOLT only suitable for use with P4, P7 and P13.
- XVOLT operates with any voltage between 277V and 480V.
- XVOLT not available with fusing (SF or DF) and not available with PIR, PIRH, PIR1FC3V, PIRH1FC3V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting brackets intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN.
- Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- Reference Controls Options table on page 4.
- Reference Motion Sensor Default Table on page 4 to see functionality.
- Not available with other dimming controls options.
- Not available with BLC, LCCO and RCCO distribution.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8

EGS – External Glare Shield



Drilling

HANDHOLE ORIENTATION (from top of pole)



Tenon Mounting Slipfitter

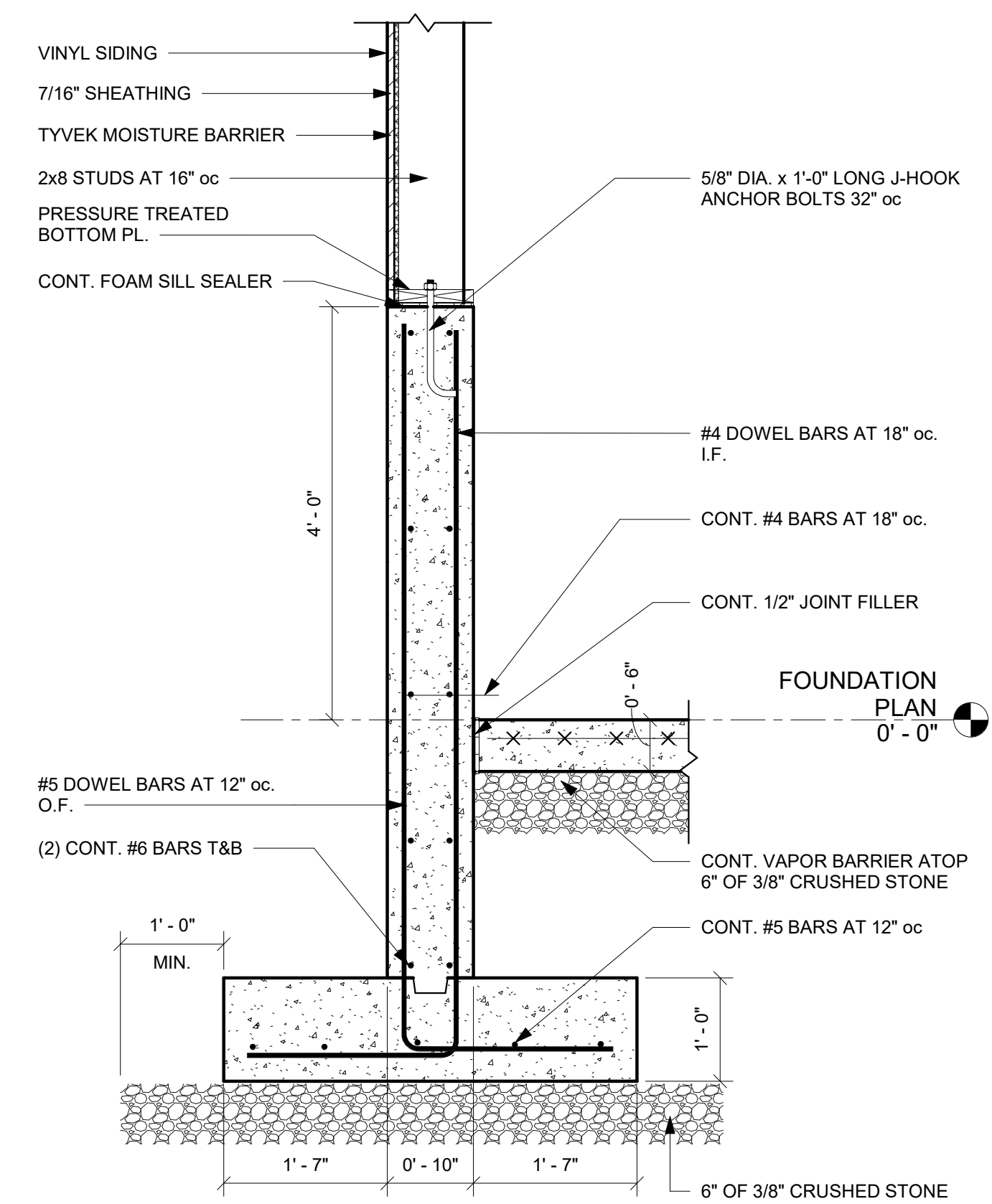
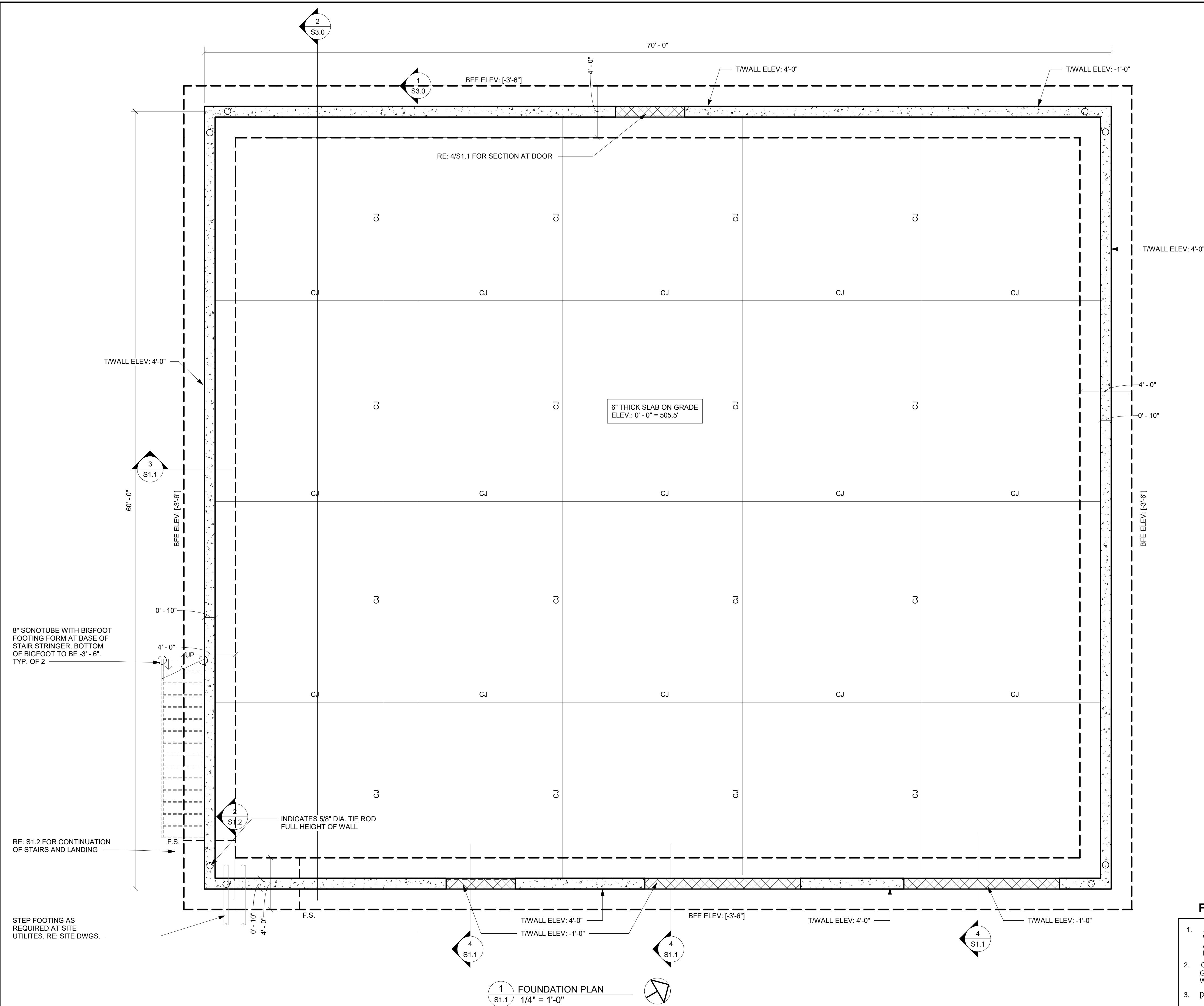
Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"		3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"		4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

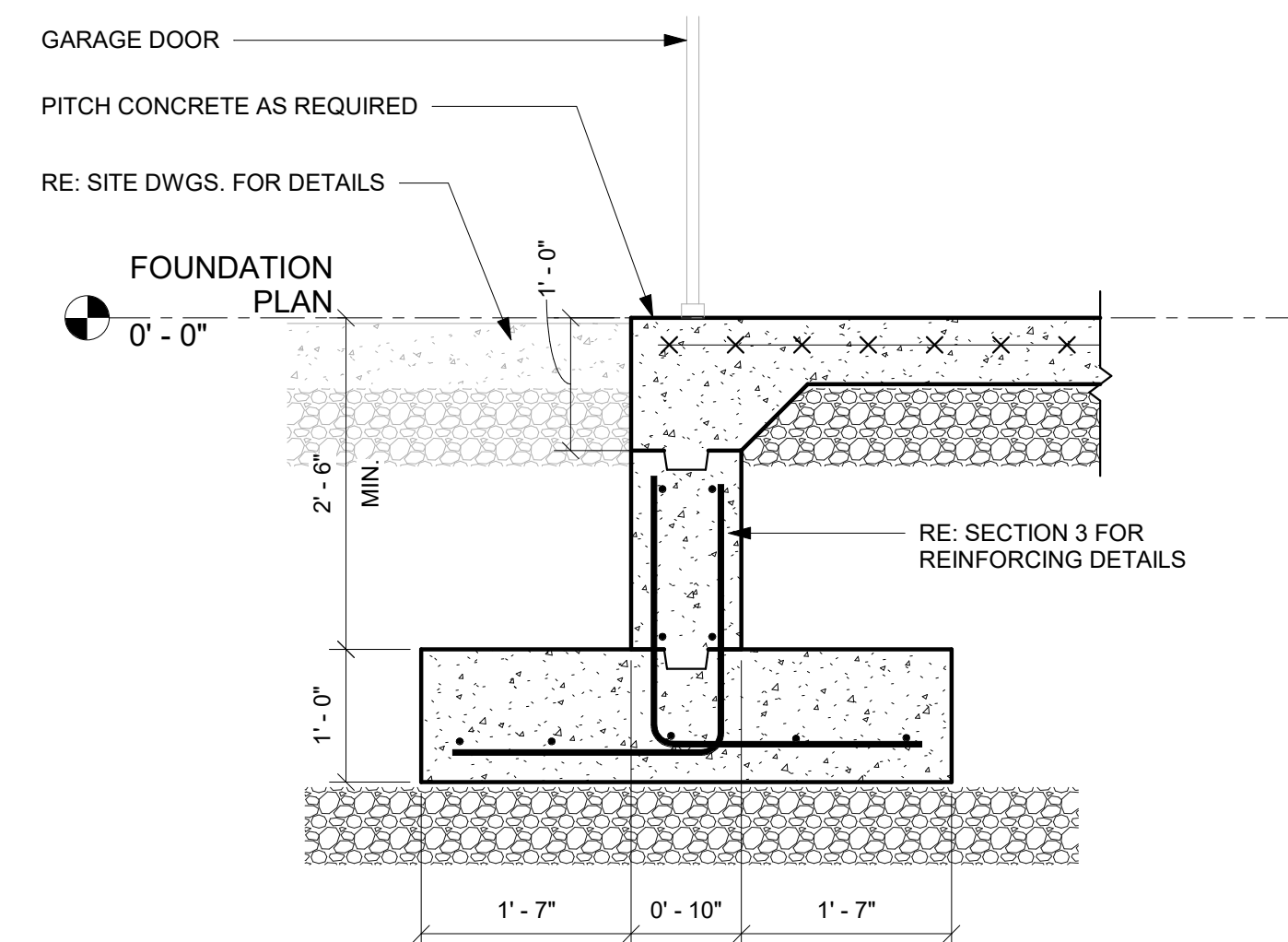
DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 LED	0.950	1.900	1.830	2.850	2.850	3.544



3 TYPICAL WALL REINFORCING
S1.1 3/4" = 1'-0"

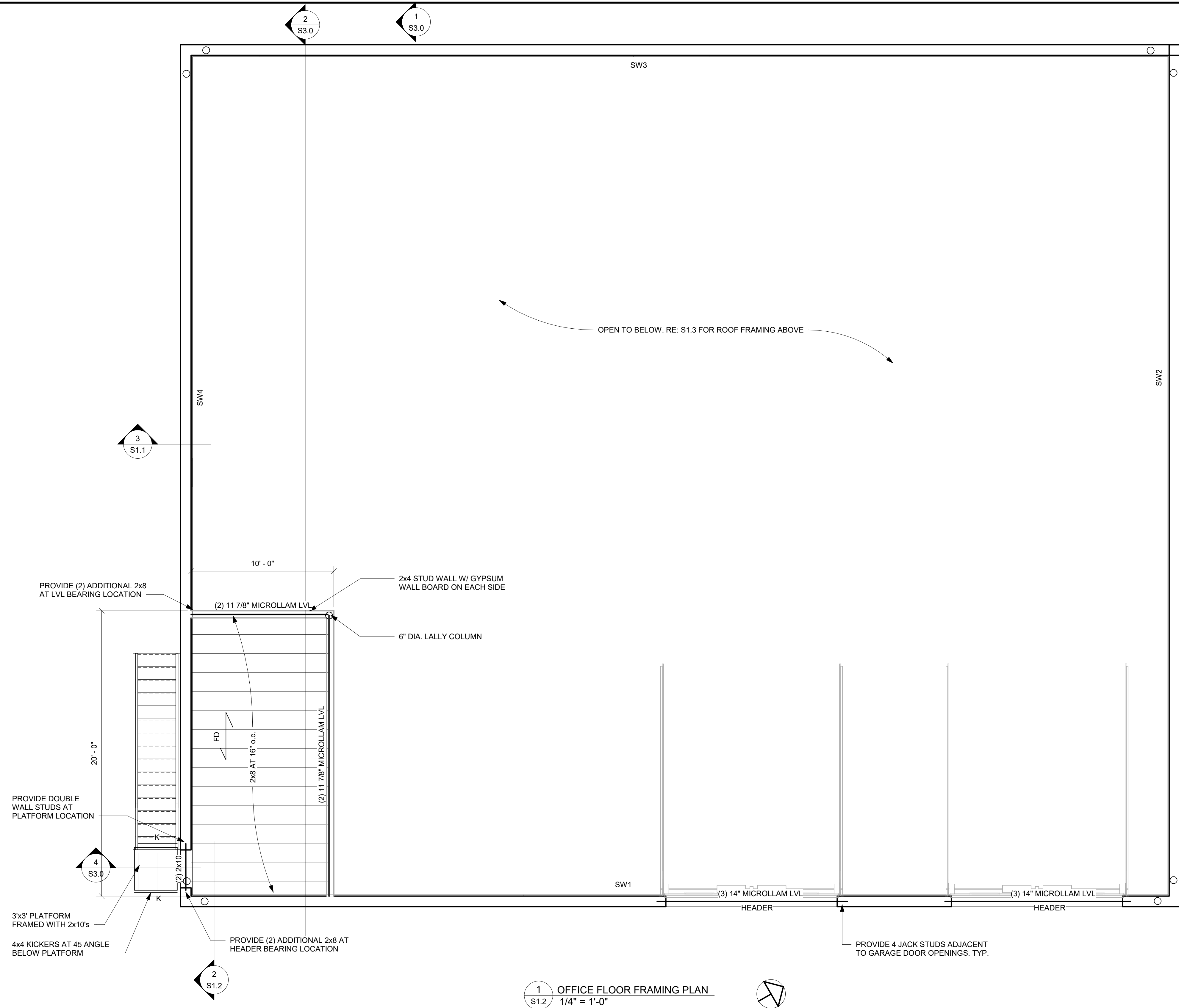


4 SECTION AT DOOR
S1.1 $\frac{3}{4}" = 1'-0"$

FOUNDATION NOTES:

- | | | | |
|----|---|----|--|
| 1. | ALL SLABS ON GRADE ARE 6" THICK UNO. REINFORCE ALL SLABS WITH 6 X 6 X W14xw14 WWF. SEE PLANS FOR LOCATIONS AND GENERAL NOTES DRAWING FOR ADDITIONAL REINFORCING REQUIREMENTS. | 6. | PROVIDE SLEEVES AT ALL WALL PENETRATIONS. SEE GENERAL NOTES FOR REINFORCING REQUIREMENTS. |
| 2. | CJ - INDICATES CONTROL JOINT. SEE PLAN FOR LOCATION AND GENERAL NOTE DRAWING FOR DETAILS. COORDINATE LOCATIONS WITH ARCH DRAWINGS. | 7. | NO ON-SITE MATERIAL MAY BE USED AS CONTROLLED FILL BENEATH THE BUILDINGS OR BACKFILL FOR WALLS. |
| 3. | [X'-X"] - INDICATES BOTTOM OF FOOTING ELEVATION. | 8. | COORDINATE THE LOCATION AND ELEVATION OF ALL UTILITIES ENTERING THE BUILDING WITH SITE AND MEP DRAWINGS. UTILITIES SHALL NOT BE PLACED BELOW FOOTINGS WITHOUT APPROVAL OF THE ENGINEER. STEP FOOTINGS AS REQUIRED. |
| 4. | TYPICAL SLABS ON GRADE SHALL BE PLACED OVER A 6 MIL. VAPOR BARRIER. | 9. | EXISTING SUBGRADES SHALL BE COMPACTED 95% OF THE MODIFIED PROCTOR DENSITY PRIOR TO PLACING SLAB OR FOUNDATIONS. |
| 5. | ALL FOUNDATIONS AROUND BUILDING PERIMETER SHALL BE A MINIMUM OF 3'-6" BELOW GRADE. | | |

drawing title FOUNDATION PLAN			drawing prepared by MACCHI ENGINEERS, LLC 44 Gilett Street Hartford, CT. 06105		date 10/9/2020	
REVISIONS			project NEW GARAGE BUILDING AMERICAN VETS ABATEMENT EXPERTS 965 Hartford Turnpike Vernon, CT 06066		scale As indicated	
mark	date	description			drawing by JA'H	
			CAD no,		approved by MRP	
			project no.		drawing no. \$1.1	

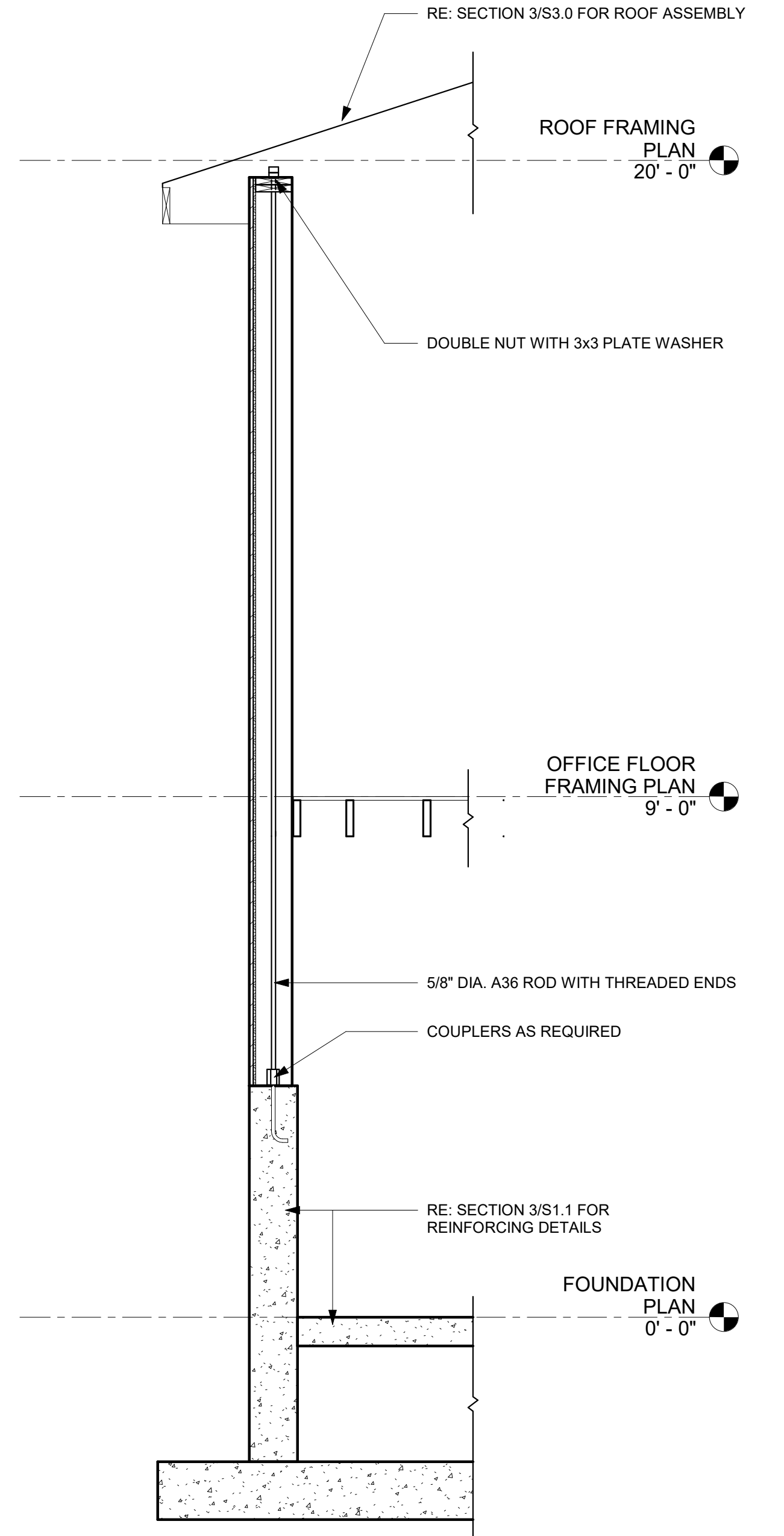


1
S1.2

OFFICE FLOOR FRAMING PLAN
1/4" = 1'-0"

SHEAR WALL SCHEDULE						
SHEAR WALL	WALL FRAMING		SHEATHING FASTENING			CHORD SIZE
	STUDS	WALL SHEATHING	NAILS	FIELD SPACING	EDGE SPACING	
SW1	2X8	7/16" PLYWOOD (1 SIDE)	10d	12" oc	6" oc	4 - 2X8
SW2	2X8	7/16" PLYWOOD (1 SIDE)	10d	12" oc	6" oc	4 - 2X8
SW3	2X8	7/16" PLYWOOD (1 SIDE)	10d	12" oc	6" oc	4 - 2X8
SW4	2X8	7/16" PLYWOOD (1 SIDE)	10d	12" oc	6" oc	4 - 2X8

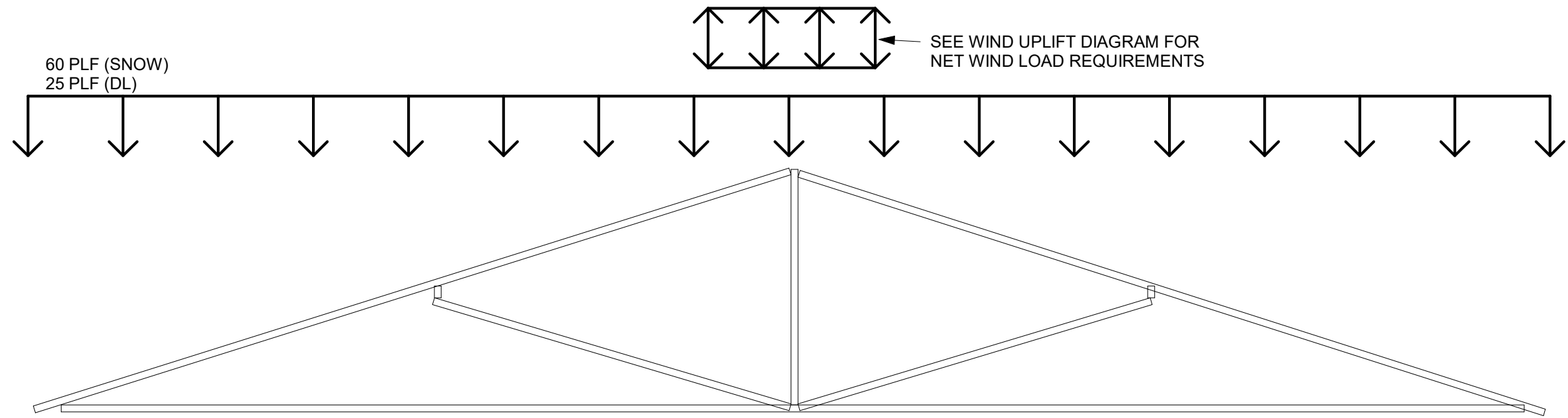
RE: OFFICE FLOOR FRAMING PLAN FOR SHEAR WALL LOCATIONS



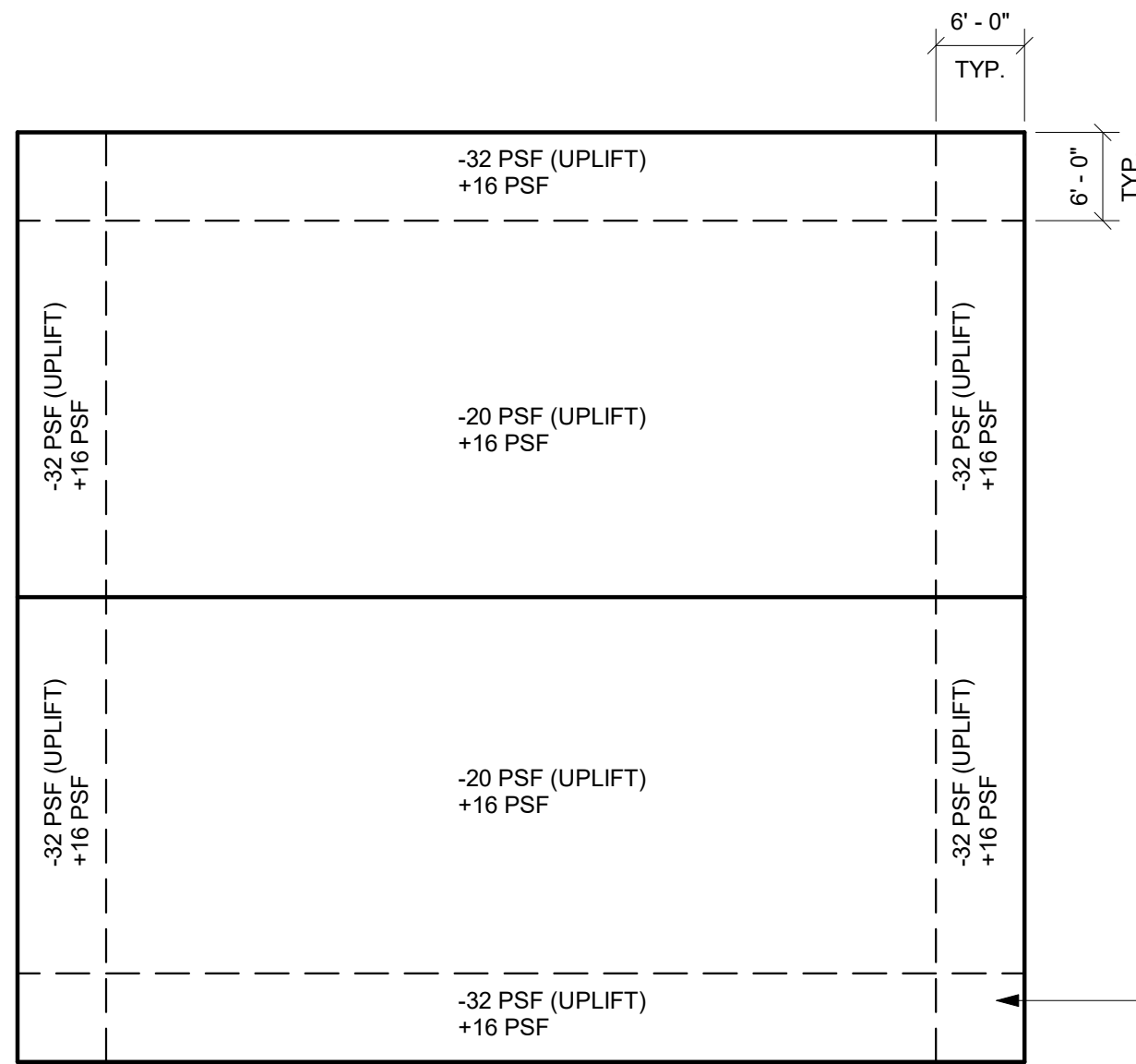
2
S1.2

SECTION AT LATERAL TIE DOWN
1/2" = 1'-0"

drawing title OFFICE FLOOR FRAMING PLAN			drawing prepared by MACCHI ENGINEERS, LLC 44 Gillett Street Hartford, CT. 06105		date 10/9/2020
REVISIONS			project NEW GARAGE BUILDING AMERICAN VETS ABATEMENT EXPERTS 965 Hartford Turnpike Vernon, CT 06066		scale As Indicated
mark	date	description	CAD no.		drawn by Author
			project no.		approved by Approver
					drawing no. S1.2



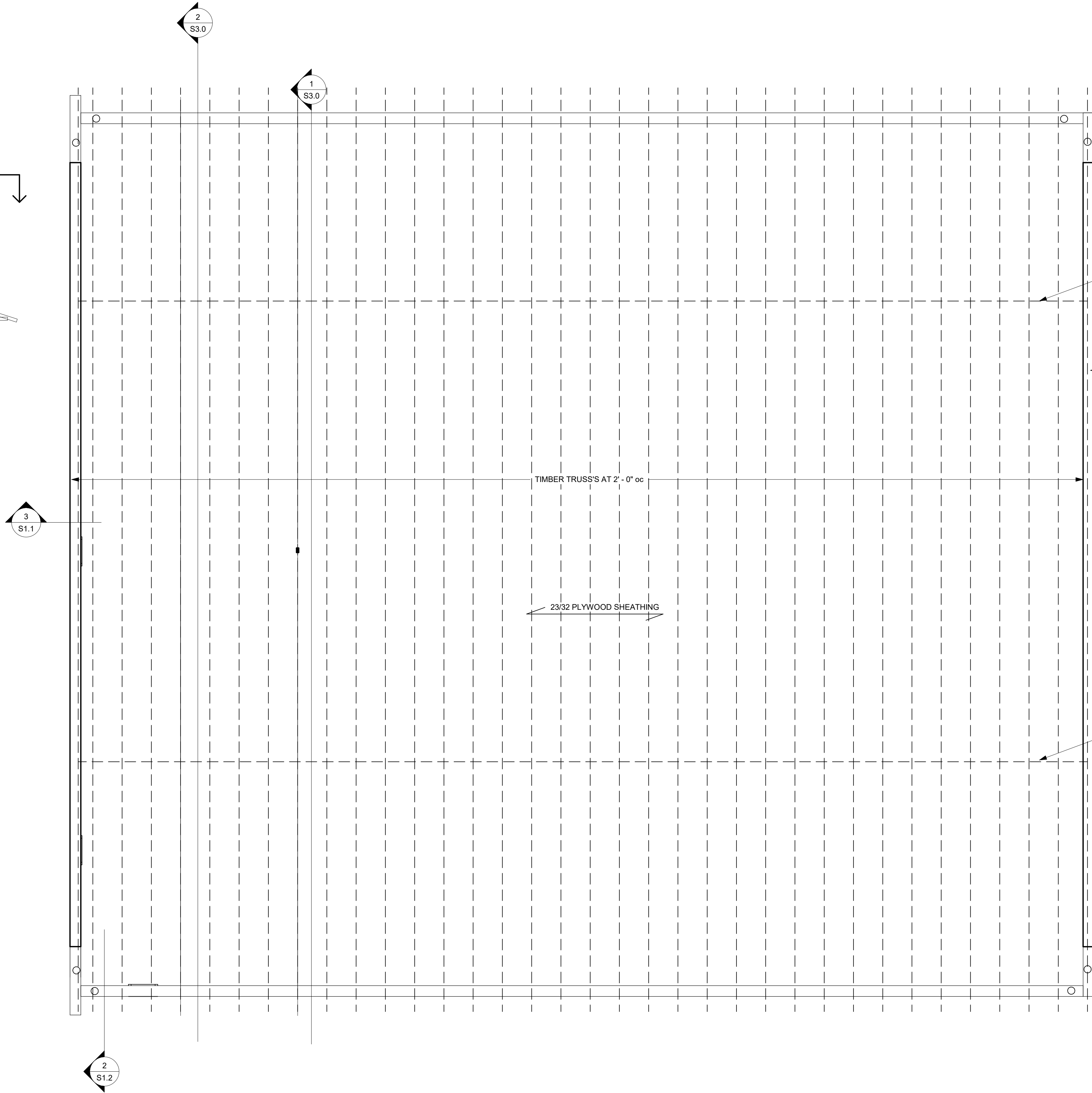
2 TRUSS LOADING DIAGRAM
S1.3 3/16" = 1'-0"



3 NET WIND UPLIFT DIAGRAM
S1.3 3/4" = 1'-0"

TYPICAL JOIST DESIGN NOTES:

1. VALUES ARE NET ULTIMATE WIND PRESSURES
2. JOIST DESIGNER SHALL USE LOADS INDICATED IN NET WIND UPLIFT DIAGRAM ABOVE IN COMBINATION WITH JOIST LOAD DIAGRAM TO FIND LOADING PER LINEAR FOOT APPLIED TO JOISTS.
3. JOIST DESIGNER SHALL INDICATE BRIDGING/BRACING AS REQUIRED. IF ANY BRIDGING/BRACING IS TO BE INTERRUPTED BY MEP EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD PRIOR TO MAKING ANY MODIFICATIONS TO THE JOIST COMPONENTS.
4. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



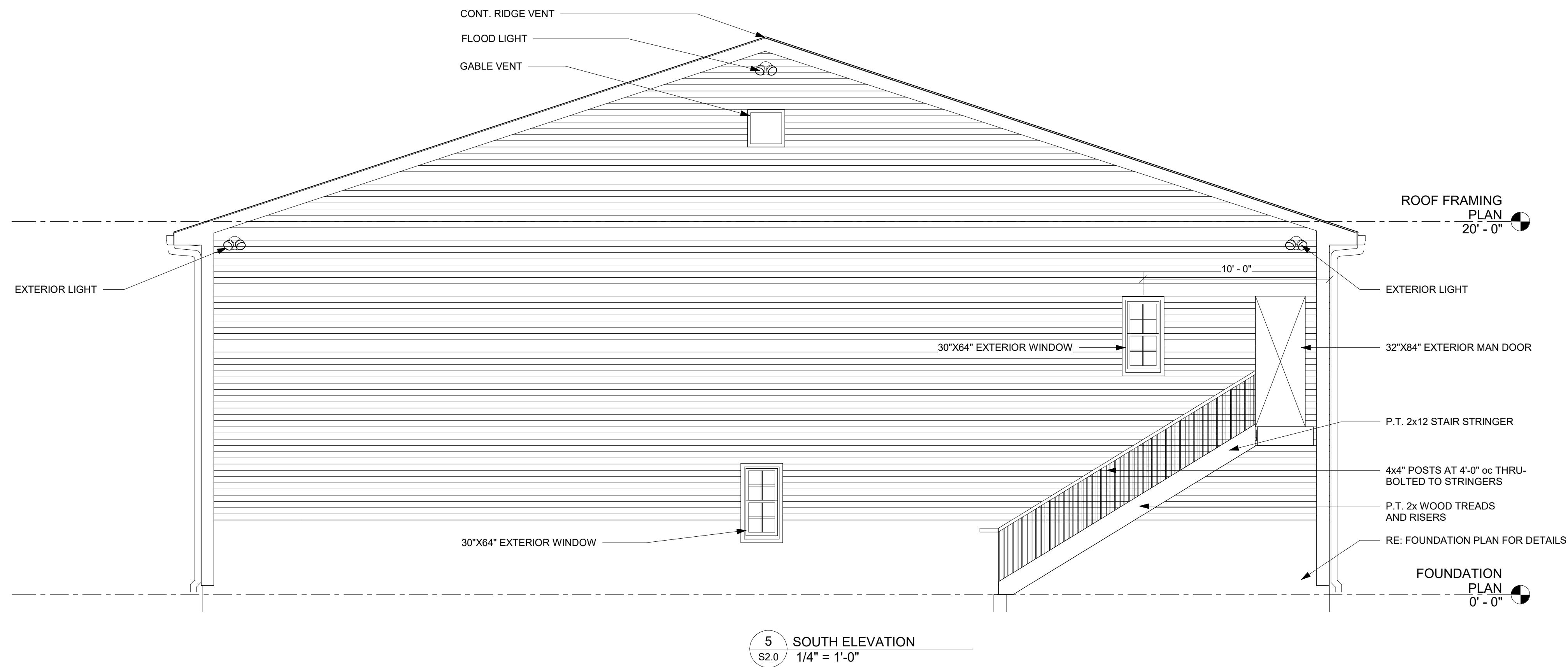
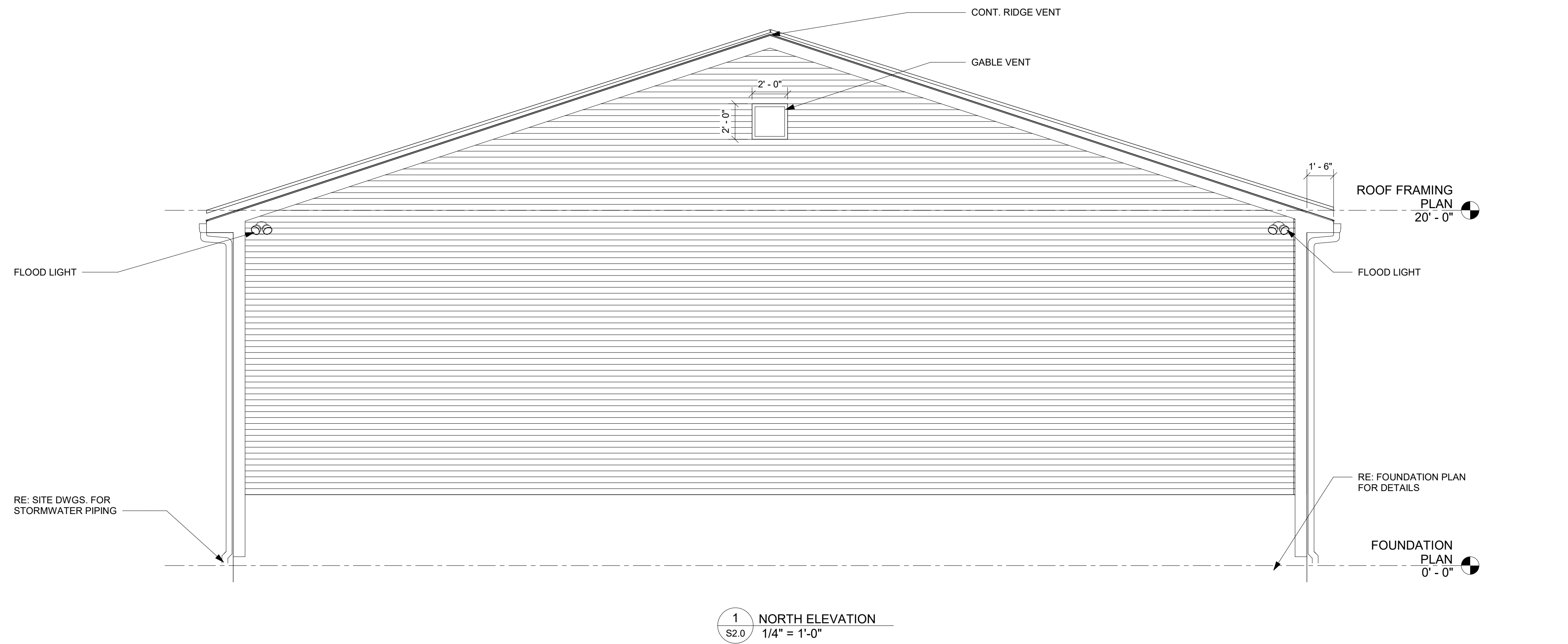
1 ROOF FRAMING PLAN
S1.3 1/4" = 1'-0"

TOP AND BOTTOM CHORD
BRIDGING BY TRUSS DESIGNER

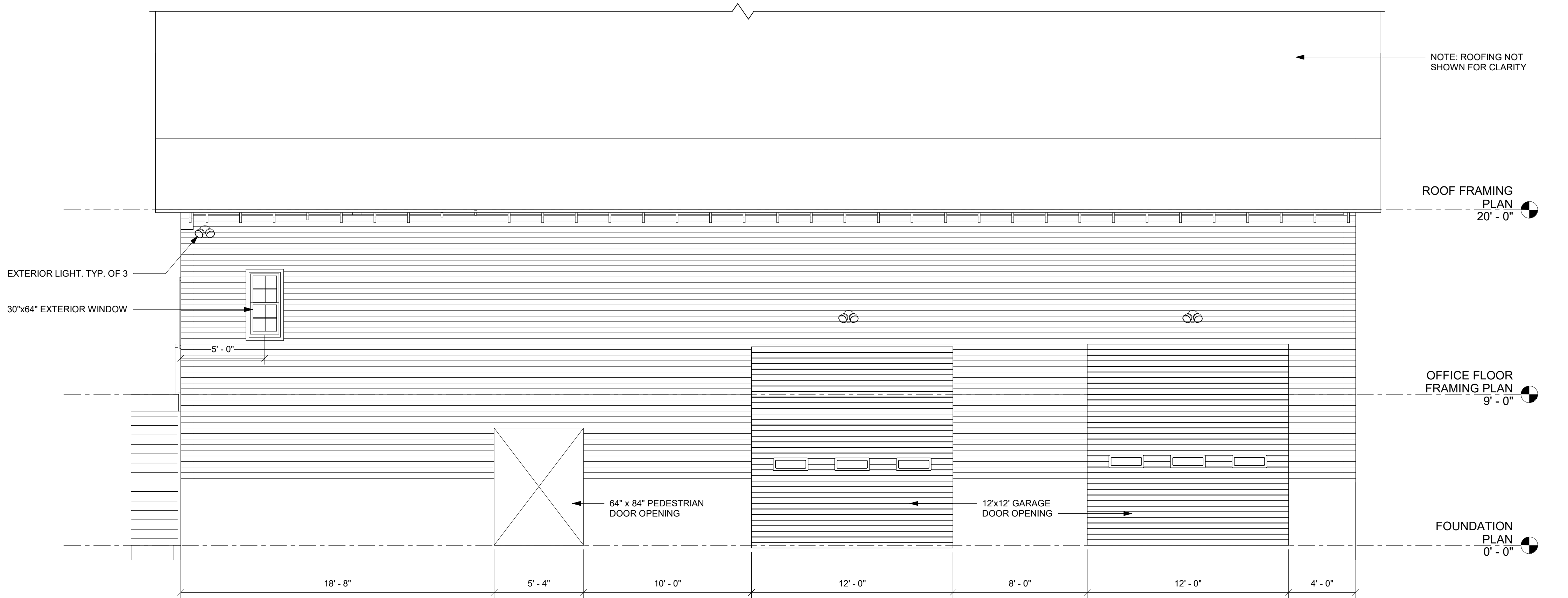
EXTERIOR WALL BELOW

TOP AND BOTTOM CHORD
BRIDGING BY TRUSS DESIGNER

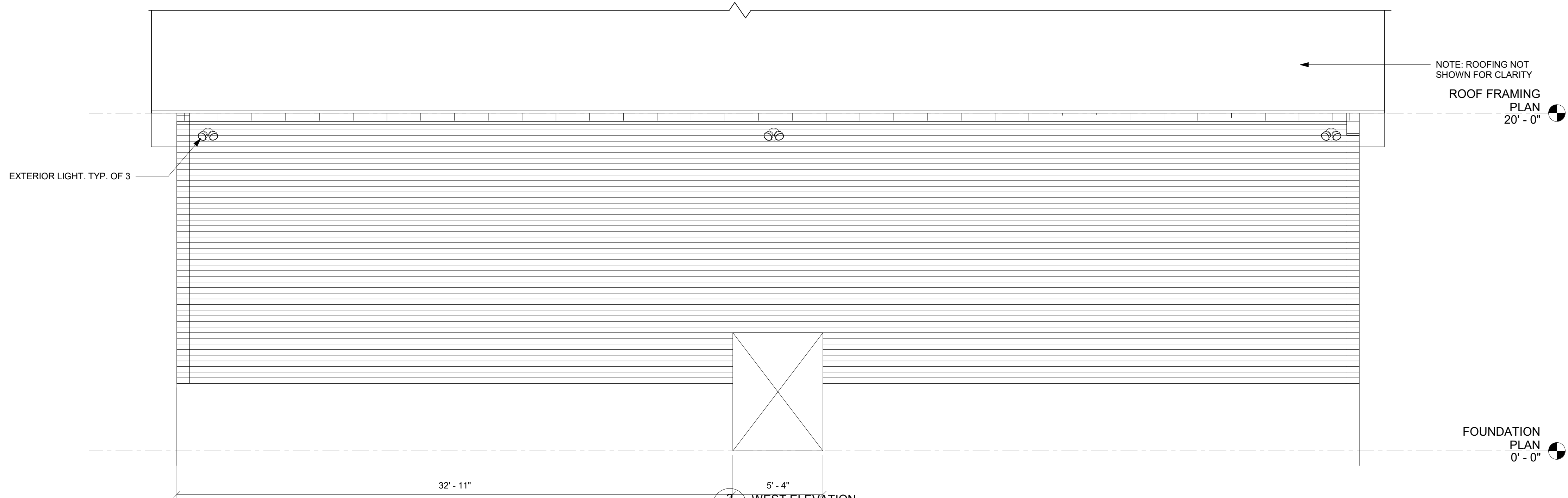
drawing title ROOF FRAMING PLAN			drawing prepared by MACCHI ENGINEERS, LLC 44 Gillett Street Hartford, CT. 06105		date 10/9/2020
REVISIONS			project NEW GARAGE BUILDING AMERICAN VETS ABATEMENT EXPERTS 965 Hartford Turnpike Vernon, CT 06066		scale As Indicated
mark	date	description	CAD no.		drawn by Author
			project no.		approved by Approver
					drawing no. S1.3



drawing title			drawing prepared by		date
EXTERIOR ELEVATIONS			MACCHI ENGINEERS, LLC		10/9/2020
REVISIONS			44 Gillett Street		scale
mark			Hartford, CT. 06105		1/4" = 1'-0"
date			project		drawn by
description			NEW GARAGE BUILDING		Author
			AMERICAN VETS ABATEMENT EXPERTS		approved by
			965 Hartford Turnpike		Approver
			Vernon, CT 06066		drawing no.
			CAD no.	project no.	S2.0

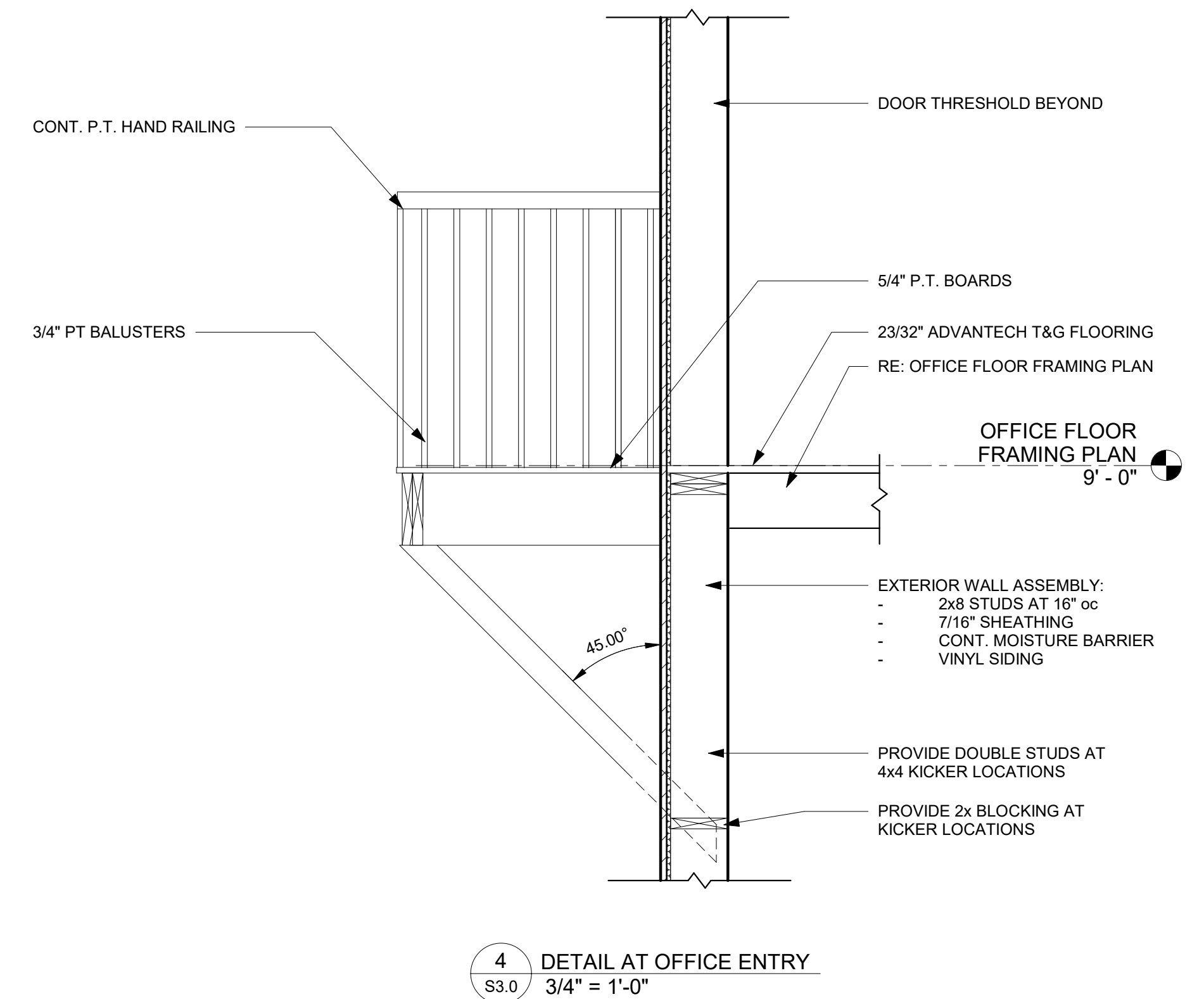
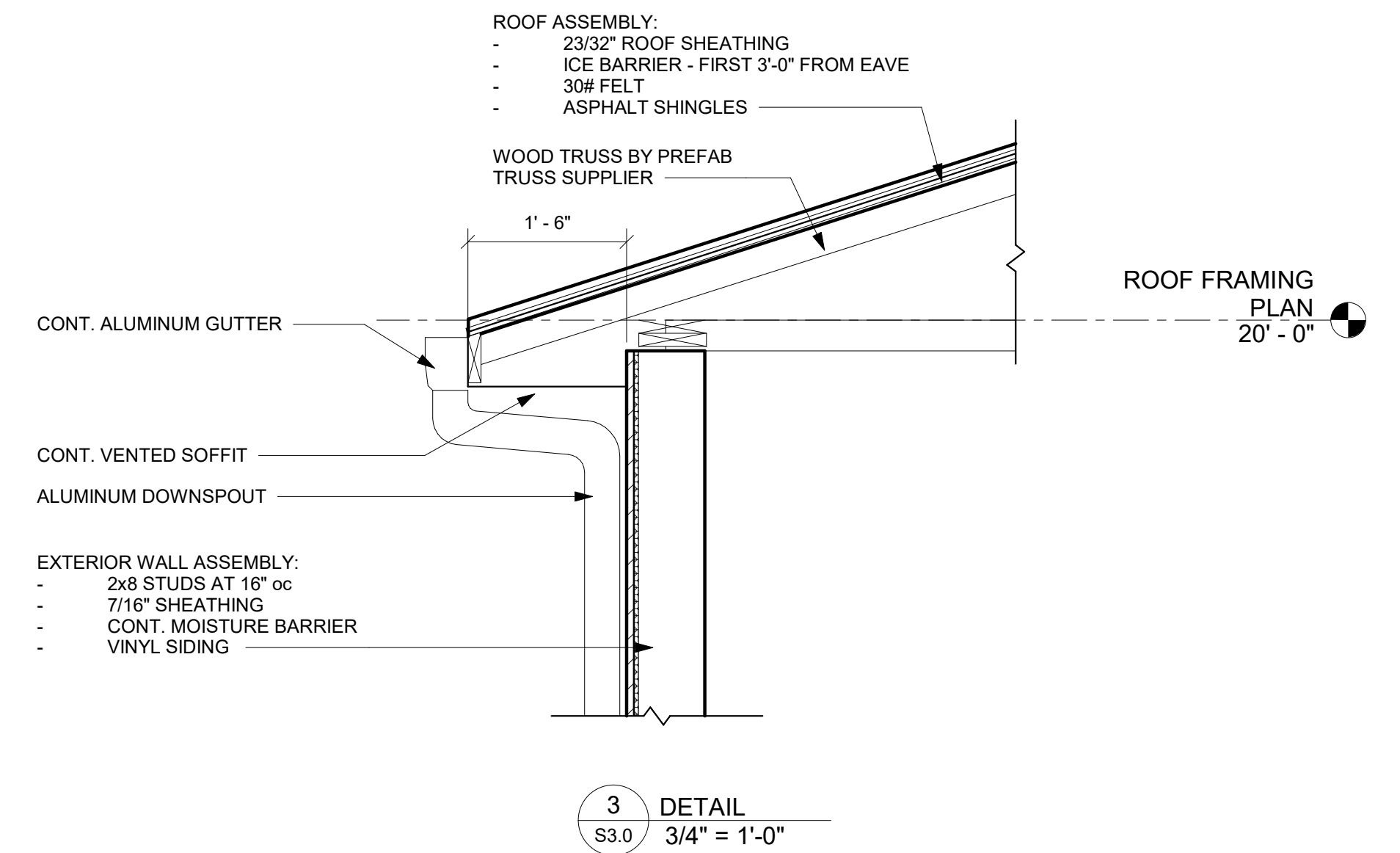
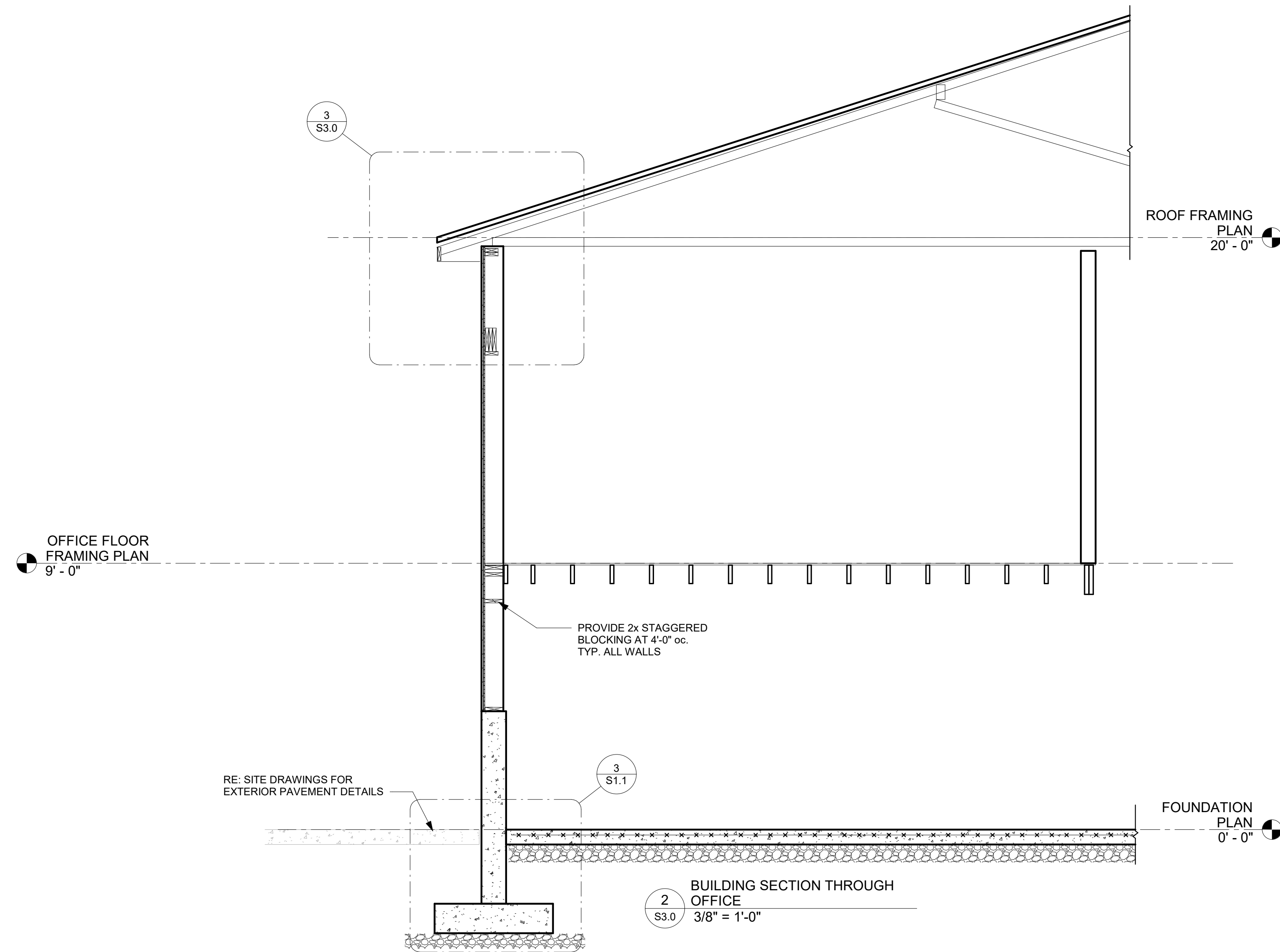
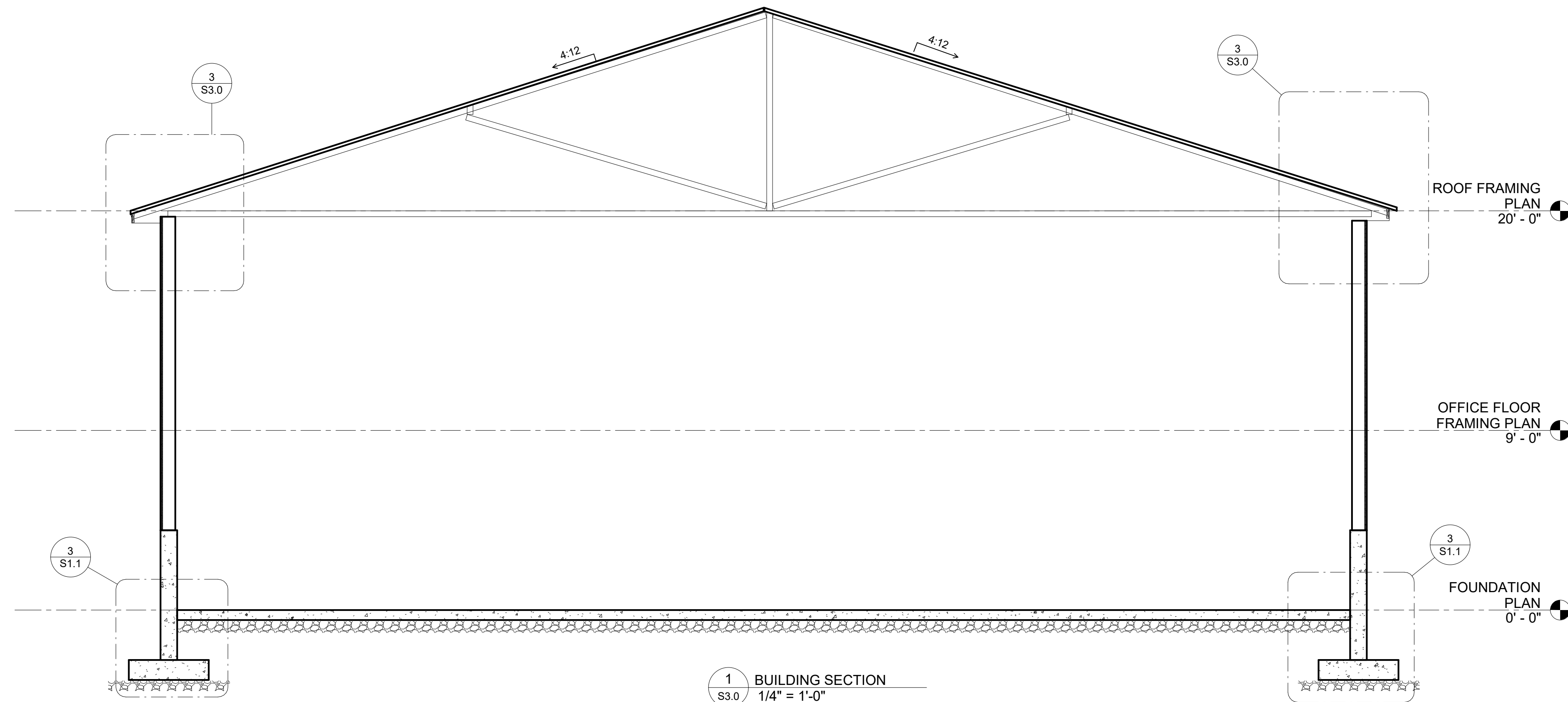


1 EAST ELEVATION
S2.1 1/4" = 1'-0"

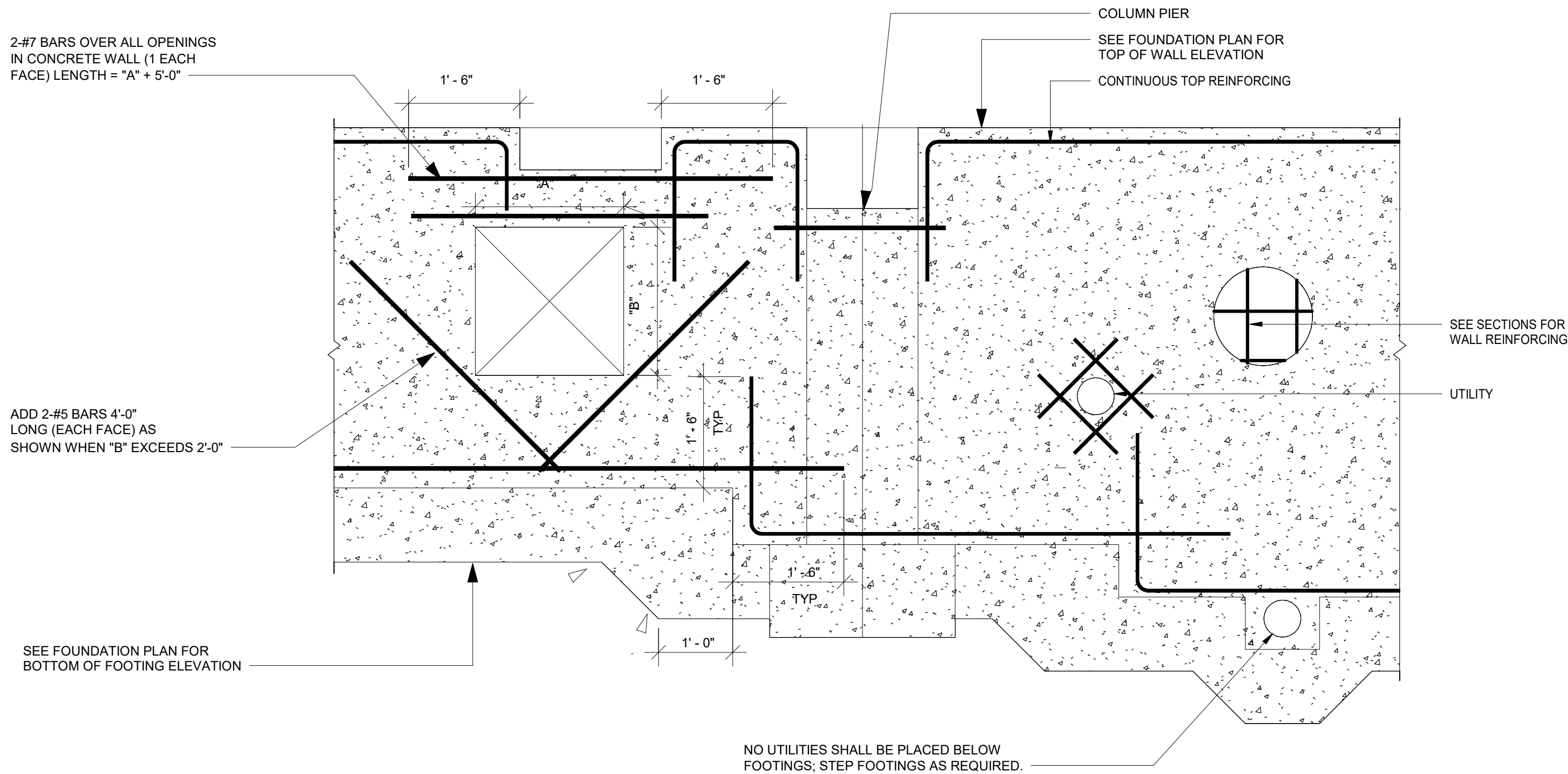


2 WEST ELEVATION
S2.1 1/4" = 1'-0"

drawing title EXTERIOR ELEVATIONS			drawing prepared by MACCHI ENGINEERS, LLC 44 Gillett Street Hartford, CT. 06105		date 10/9/2020
REVISIONS			project NEW GARAGE BUILDING AMERICAN VETS ABATEMENT EXPERTS 965 Hartford Turnpike Vernon, CT 06066		scale 1/4" = 1'-0"
mark	date	description		CAD no.	drawn by Author
				project no.	approved by Approver
					drawing no. S2.1

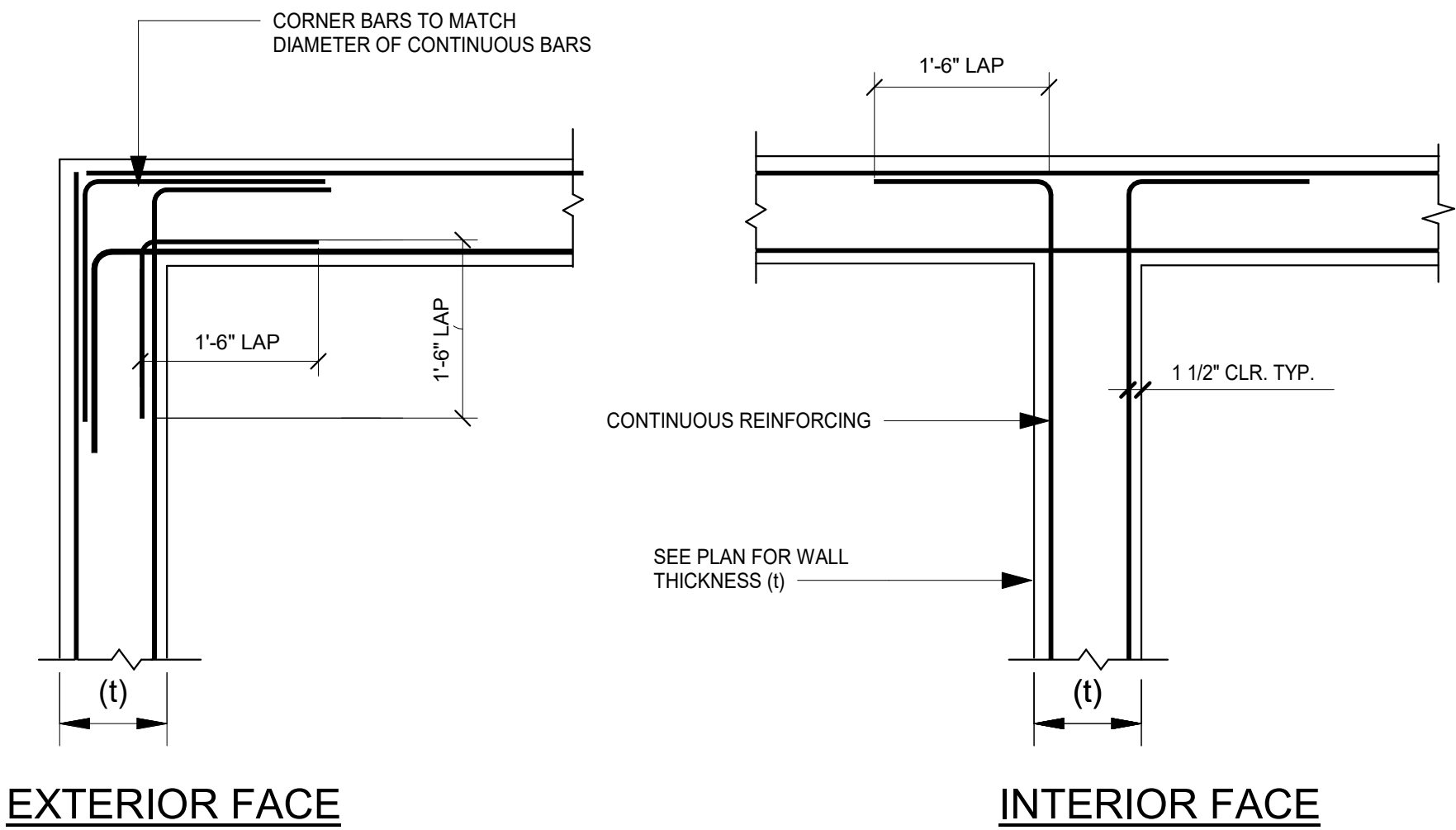


drawing title WALL SECTIONS			drawing prepared by MACCHI ENGINEERS, LLC 44 Gillett Street Hartford, CT. 06105		date 10/9/2020
REVISIONS			project NEW GARAGE BUILDING AMERICAN VETS ABATEMENT EXPERTS 965 Hartford Turnpike Vernon, CT 06066		scale As indicated
mark	date	description	CAD no.		drawn by Author
			project no.		approved by Approver
					drawing no. S3.0



TYPICAL FOUNDATION WALL REINFORCING DETAIL

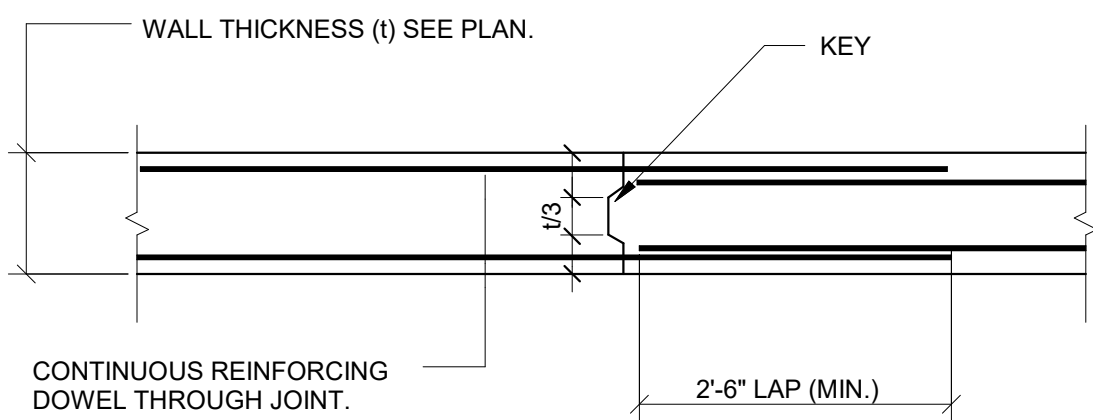
NOT TO SCALE



NOTE LAP DETAILS APPLY TO ALL REINFORCING CALLED OUT AS CONTINUOUS (CONT.) ON THE PLANS AND DETAILS.

TYPICAL WALL REINFORCING DETAIL

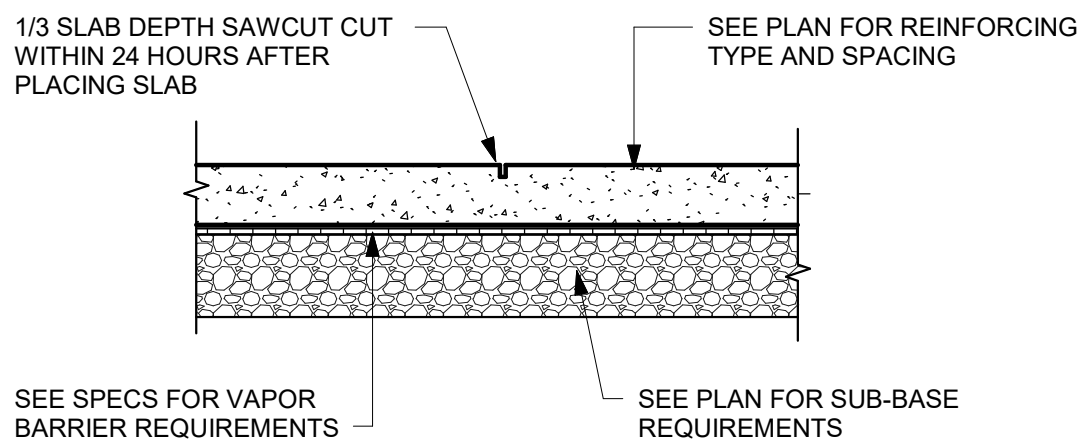
NOT TO SCALE



TYPICAL WALL CONSTRUCTION JOINT DETAIL

NOT TO SCALE

NOTE: LOCATION OF WALL CONSTRUCTION JOINTS IS TO BE COORDINATED WITH THE ENGINEER.



TYPICAL SLAB ON GRADE CONTROL JOINT DETAIL

NOT TO SCALE

(COORDINATE LOCATIONS WITH FOUNDATION PLAN)

GENERAL NOTES

A. FILL AND BACKFILL

- ALL AREAS WITHIN THE STRUCTURE WILL BE STRIPPED OF EXISTING MATERIALS BEFORE FILLING TO REQUIRED GRADES. FILL WILL BE PLACED IN 8" MAX LAYERS AND COMPACTED WITH MECHANICAL VIBRATORS TO A MINIMUM OF 95% PROCTOR DENSITY AS DEFINED BY ASTM D698.
- SEE FOUNDATION PLANS FOR GRAVEL FILL REQUIREMENTS.
- NO WALLS ARE TO BE BACKFILLED UNTIL CONCRETE HAS BEEN IN PLACE A MINIMUM OF 7 DAYS UNLESS DIRECTED BY THE ENGINEER.
- SEE SPECIFICATONS AND DRAWING S1.1 FOR ADDITIONAL SUBGRADE REQUIREMENTS.

B. CONCRETE

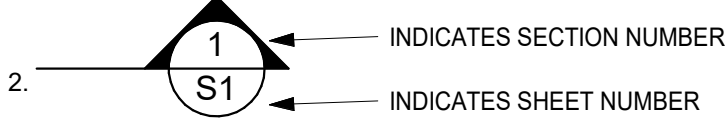
- CONCRETE STRENGTH AT 28 DAYS SHALL BE AS INDICATED IN DESIGN DATA.
- PROTECTIVE COVER, SPLICE LAP AND EMBEDMENT FOR REINFORCING STEEL SHALL BE PER ACI SPECIFICATION.
- CONTINUOUS WALL POURS SHALL NOT EXCEED 40 FEET IN ONE DIRECTION. SEE TYPICAL DETAIL.
- SLABS ON GRADE WILL BE PLACED ON A VAPOR BARRIER. CONTROL JOINTS TO BE LOCATED AS SHOWN ON PLANS.
- ALL CONCRETE WALLS ARE TO BE REINFORCED. IF NOT SHOWN, PROVIDE 2-#6 BARS TOP AND BOTTOM CONTINUOUS AND #4 BARS AT 18" ON CENTER BOTH WAYS, BOTH FACES.

C. FOOTINGS

- ELEVATION OF BOTTOM OF FOOTINGS TO BE VERIFIED WITH FIELD CONDITIONS. ALL FOOTINGS SHALL BE PLACED A MINIMUM OF 3'-6" BELOW FINAL GRADES.
- ALL FOOTINGS TO BEAR ON FIRM, UNDISTURBED SOIL OR CONTROLLED FILLS HAVING A SAFE BEARING BEARING CAPACITY INDICATED IN THE DESIGN DATA. SEE DRAWING S-111 AND GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- ALL WALL FOOTINGS ARE TO BE 1'-0" DEEP AND EXTEND 6" BEYOND EACH FACE OF WALL UNLESS NOTED OTHERWISE.
- FOOTINGS ARE NOT TO BE PLACED ON TOP OF UTILITIES. STEP FOOTINGS AS REQUIRED. COORDINATE LOCATION AND ELEVATION WITH SITE, CIVIL, AND MEP DRAWINGS.

D. GENERAL

- NO STORAGE OF MATERIALS SHALL BE ALLOWED ON ROOF MEMBERS DURING CONSTRUCTION.



DESIGN DATA

CODES AND STANDARDS USED:

2018 CONNECTICUT BUILDING CODE
2015 INTERNATIONAL BUILDING CODE
AMERICAN CONCRETE INSTITUTE BUILDING CODE (ACI-318-14)

ALLOWABLE STRESSES: SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION

REINFORCING STEEL - ASTM A-615, GRADE 60 AND ASTM A-185
CONCRETE - f_c AT 28 DAYS
4,500 PSI FOR ALL FOOTINGS AND WALLS
4,000 PSI FOR ALL SLABS ON GRADE
ALLOWABLE SOIL BEARING STRESS:
2,000 psf - (ASSUMED)

WOOD DECK PROPERTIES

FLOOR DECK (FD) - 23/32" ADVANTECH SUB-FLOORING
ROOF DECK (RD) - 23/32" PLYWOOD SHEATHING

BASIC LATERAL STRUCTURAL SYSTEMS:

TIMBER SHEAR WALLS

WIND LOAD REQUIREMENTS: (IBC SECTION 1609)

WIND LOAD ANALYSIS DESIGN PROCEDURE - METHOD 1 SIMPLIFIED PROCEDURE
ULTIMATE DESIGN WIND SPEED V_{ult} = 135 MPH (VERNON)
NOMINAL DESIGN WIND SPEED V_{asd} = 105 MPH (VERNON)
RISK CATEGORY III (IBC 1604.5)
EXPOSURE CATEGORY B (IBC 1609.4)

EARTHQUAKE REQUIREMENTS: (IBC SECTION 1613)

RISK CATEGORY III
SEISMIC IMPORTANCE FACTOR, I_e = 1.25

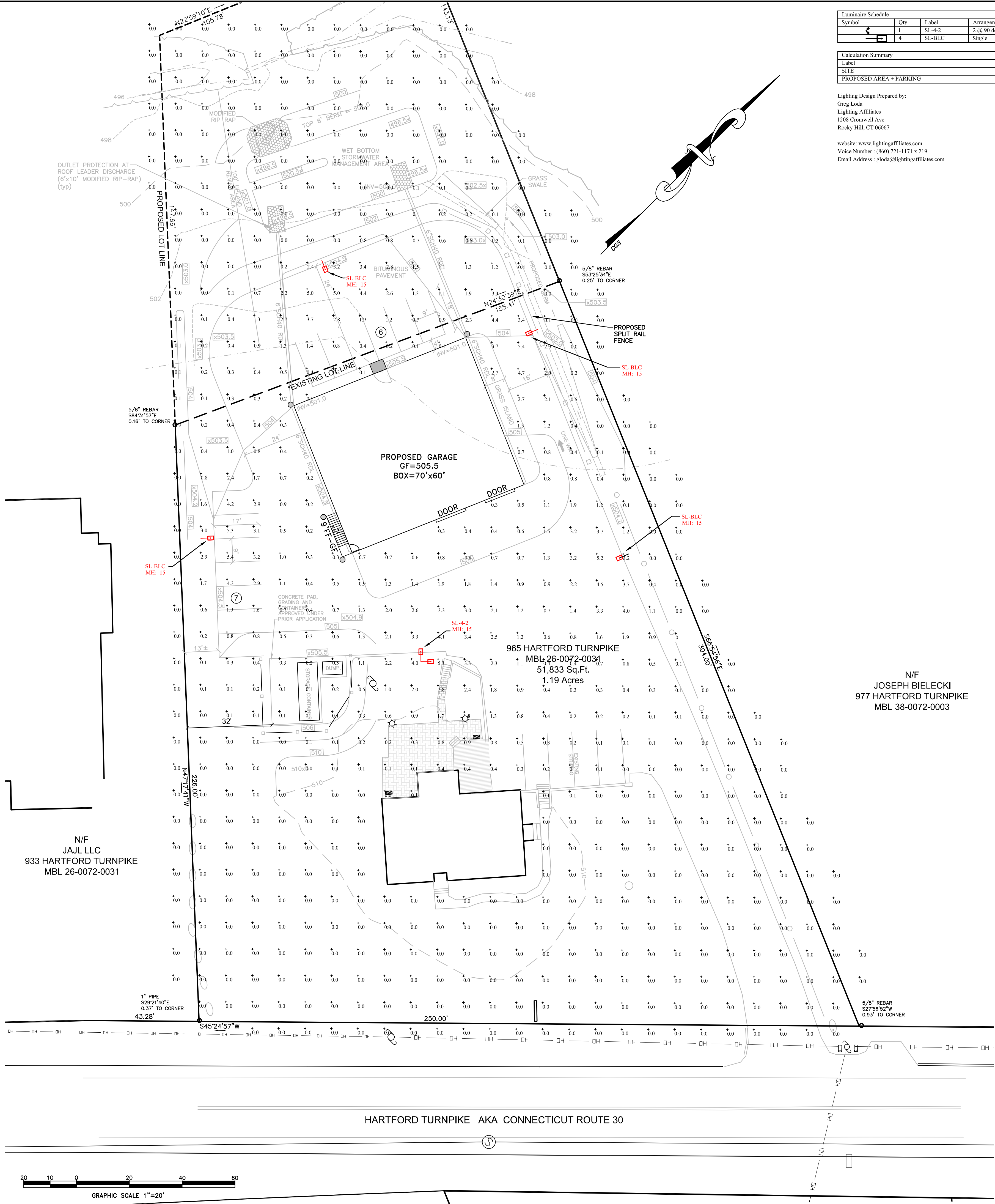
SNOW LOAD: (IBC SECTION 1608)



THERMAL FACTOR C_t = 1.0
EXPOSURE FACTOR C_e = 1.0
IMPORTANCE FACTOR I_s = 1.10
ROOF FLAT SNOW LOAD P_f = 30 psf (MIN.)

LIVE LOAD SCHEDULE: (2015 IBC TABLE 1607)

GARAGE FLOOR 100 PSF
OFFICE SPACE 60 PSF

S:\PROJECTS\2021\A\pdm\2021-08-2021\2021.L.DWG
10/11/2021 10:01:13 AM



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	L.F.	BUG Rating	Description
	1	SL-4-2	2 @ 90 degrees	6806	49	0.900	B1-10-02	LITHONIA DSX0 LED P2 40K TFTM MVOLT SPA DBLXD - SSS 15 4C DM29AS DBLXD 15FT POLE
	4	SL-BLC	Single	6925	71	0.900	B1-10-02	LITHONIA DSX0 LED P3 40K BLC MVOLT SPA DBLXD - SSS 15 4C DM19AS DBLXD 15FT POLE
Mounting Height								
								15

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.32	5.4	0.0	N.A.	N.A.
PROPOSED AREA + PARKING	Illuminance	Fc	1.62	5.4	0.1	16.20	54.00

Lighting Design Prepared by:

Greg Loda

Lighting Affiliates

1208 Cornwell Ave














Rocky Hill, CT 06067

website: www.lightingaffiliates.com

Voice Number : (860) 721-1171 x 219

Email Address : gloda@lightingaffiliates.com

LEGEND

SIGN	
UTILITY POLE	
LIMIT OF WETLANDS	
WETLAND FLAG	
100' UPLAND REVIEW AREA	
OVERHEAD WIRES	
PROPERTY LINE	
EXISTING IRON ROD OR PIN	
LOT LINE TO BE REMOVED	
PROPOSED BOUNDARY LINE	
EXISTING CONTOUR	
EDGE SEASONAL WATERCOURSE	
PROPOSED LIGHT	

SITE LIGHTING PLAN
PREPARED FOR
A. VETS REAL ESTATE, LLC
965 HARTFORD TURNPIKE
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS

LAND SURVEYORS

BY

M.A.P.

SCALE

1"= 20'

DATE

08-08-2021

SHEET NO.

1 OF 1

MAP NO.

10711L

STAFF COMMENTS



PLANNING
DEPARTMENT

TOWN OF VERNON

55 West Main St., VERNON, CT 06066
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Town of Vernon Planning and Zoning Commission

FROM: George K. McGregor, Town Planner

SUBJECT: Staff Report: PZ-2021-08, 933(p) and 965 Hartford Tpke.

DATE: September 2, 2021

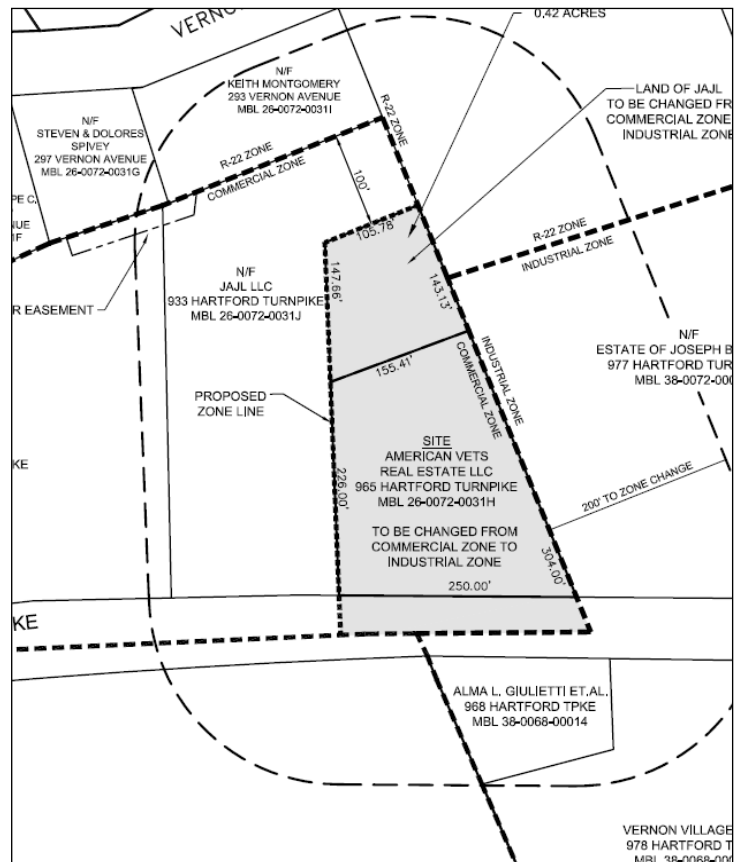
Request and Background

PZ 2021-08 is an application of A. Vets Real Estate, LLC requesting site plan modification approval for a 1.19-acre parcel located at 965 Hartford Tpke (Assessor ID 26, Block 72, Parcel 0031H) and a .43-acre portion of a parcel located at 933 Hartford Tpke (Assessor ID 26, Block 72, Parcel 0031J). A special permit to allow over 40% lot coverage is also requested.

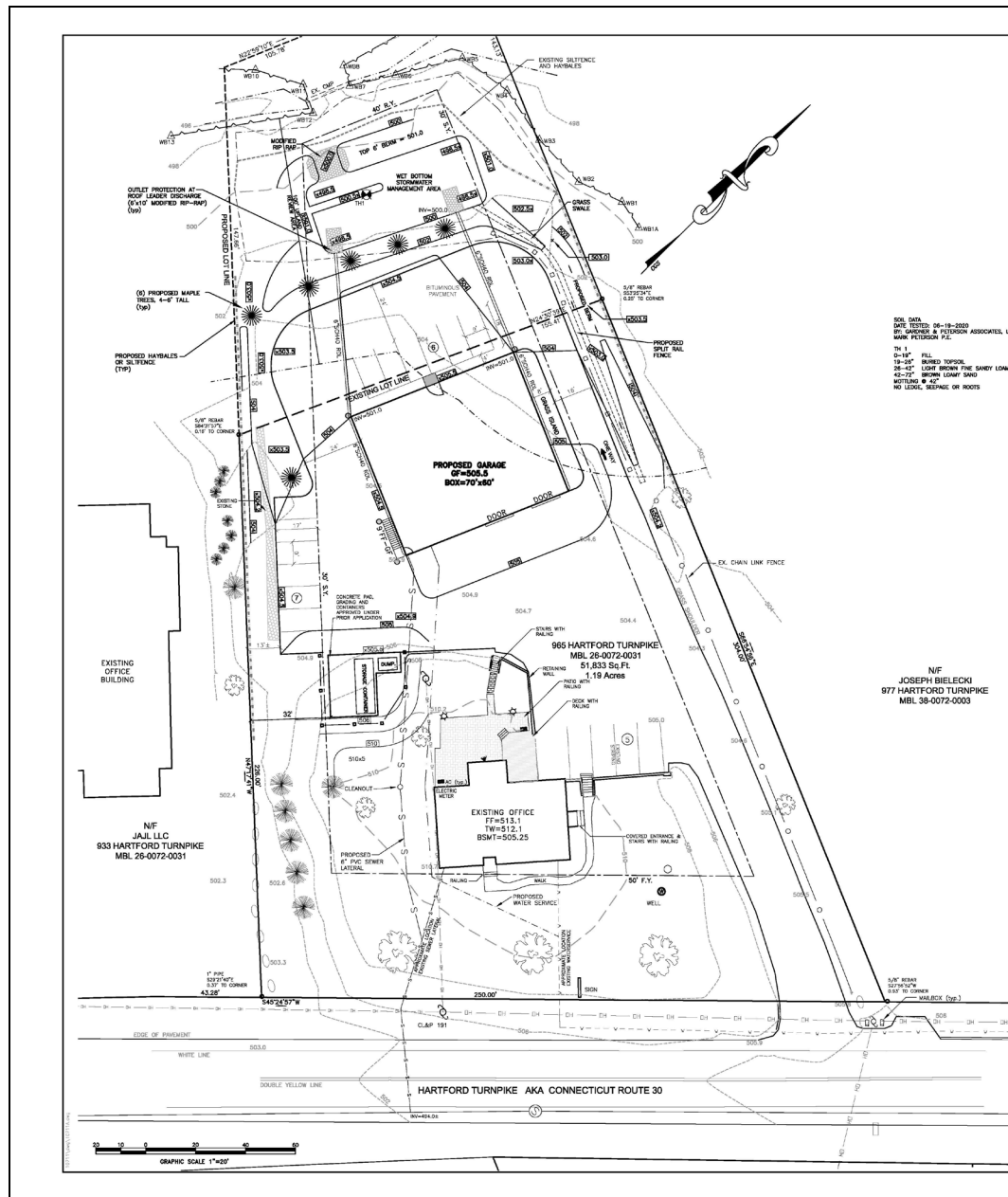
The Applicant currently operates an abatement and remediation contractor's office along with outdoor equipment storage at 965 Hartford Tpke. This use is permitted in the Industrial Zoning District, Section 4.10.2.6 as "open storage facility for contractors and building suppliers". The Applicant is the contract purchaser for a portion of the adjacent property (933 Hartford Tpke.) which wraps behind the 965 location.

Site Plan

The original site plan (PZ 2020-12) essentially approved the existing conditions (office, small garage, parking area) as part of a zoning action. The applicant now returns for changes based on growth and future needs. An existing 1,500 s.f. garage will be replaced by a +-4,200 s.f. garage. A larger vehicle parking area and a new stormwater facility has also been added. The site plan substantially meets the requirement of the Town of Vernon Zoning Regulations.



Site Plan



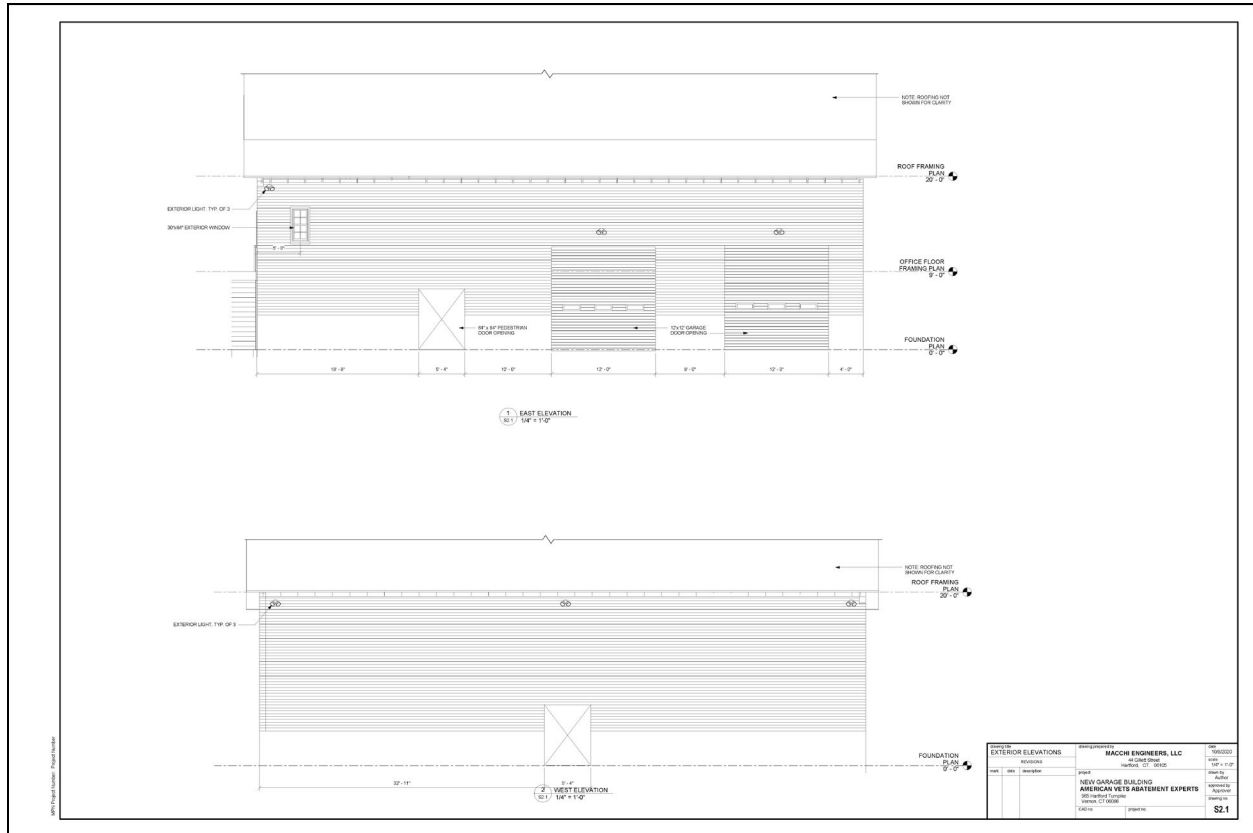
Summary of Staff Referral Comments

The project obtained a new wetland permit in August with support of the Town engineer and wetlands Agent. The applicant added additional landscaping as a part of that review; it is shown on the site plan.

There are no staff identified outstanding issues at this time. All individual Staff comment memos are attached to the report.

Design Review

The application will be reviewed on September 1 by the DRC. The applicant has submitted elevations of the garage structure set back 180 feet from the public street:



Special Permit Review

The applicant is requesting a special permit for lot coverage over 40% (new proposal equals 43%). To approve, the PZC must find that the proposal will not increase off-site stormwater run-off. The North Central Conservation District found that the new stormwater facility proposal was “adequate and appropriate.” Staff finds that with the addition of the new stormwater management area, off-site stormwater run-off capabilities are improved.

DRAFT Motions

MOVED, the Planning and Zoning Commission **Approve** PZC 2021-08, a modification to a Site Plan for 965 and a portion of 933 Hartford Tpke., and a special permit for lot coverage in excess of 40%, upon a finding that the application conforms to the Town of Vernon Zoning Regulations, is consistent with the site plan requirements of Section 14, improves storm run-off, and shall be developed in substantial conformance with the plan set dated July 28, 2021, prepared by Gardner & Peterson Associates, LLC.

OR

Move, an Alternate Motion



CENTRAL CONSERVATION DISTRICT, INC.

AVON • BLOOMFIELD • BOLTON • BRISTOL • BURLINGTON • CANTON • COVENTRY • EAST GRANBY • EAST WINDSOR • EAST HARTFORD • ELLINGTON
ENFIELD • FARMINGTON • GLASTONBURY • GRANBY • HARTFORD • MANCHESTER • PLAINVILLE • SIMSBURY • SOMERS • SOUTH WINDSOR
STAFFORD • SUFFIELD • WEST HARTFORD • WETHERSFIELD • TOLLAND • VERNON • WILLINGTON • WINDSOR • WINDSOR LOCKS

Date: August 16, 2021

To: George K. McGregor, AICP, Town Planner
Town of Vernon Planning & Zoning Commission

From: Barbara Kelly, Program Coordinator, Registered Soil Scientist, SSSSNE
Certified Erosion Control Professional CPESC #2180

Re: Site Plan of Development, A. Vets Real Estate, 965 Hartford Turnpike, Vernon, Connecticut –
PZ-2021-08

This review is conducted pursuant to Section 18 of the Town of Vernon Zoning Regulations. The review is limited to certification of the erosion control plan, based on compliance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (Guidelines).

District staff inspected the site on July 2, 2021. Staff reviewed a 3-sheet plan titled "Site Plan Prepared for A. Vets Real Estate, LLC, 965 Hartford Turnpike, Vernon, Connecticut" (Plan) prepared by Gardner & Peterson Associates, LLC, and updated July 28, 2021. Observations and the Plan were discussed with the Project Engineer on July 21, 2021.

The Plan shows removal of an existing garage and proposes the construction of a larger 70' by 60' garage with associated improvements to parking and stormwater treatment. Most of the proposed improvements to parking and stormwater treatment will be built on 0.43 acres of 933 Hartford Turnpike abutting the rear of the 965 Tolland Turnpike parcel. To the north and west, a watercourse with associated wetlands borders the proposed stormwater management area. Proposed soil erosion and sediment control (E&S) measures include an anti-tracking pad and show both existing and proposed silt fence and hay bales.

Background

Based on the Natural Resources Conservation Service Web Soil Survey, soils throughout the majority of the proposed construction area are mapped as well-drained, very rocky Charlton-Chatfield complex on 0 to 15 percent slopes. The erosion hazard ranges from moderate to severe. The adjacent poorly drained wetland soils are mapped as extremely stony Ridgebury, Leicester, and Whitman soils on 0 to 8 percent slopes. The erosion hazard for these soils is slight.

Observations & Recommendations

The use of silt fence and hay bales as perimeter control measures is adequate and appropriate for this site. However, the "existing silt fence and hay bales" shown on the plan have not been maintained. Hay bales have deteriorated and fencing has fallen resulting in gaps.

- Repair &/or replace the existing silt fence and hay bales.

Observations & Recommendations (cont'd)

No E&S measures were in place around a soil stockpile located near the northwest corner of 965 Tolland Turnpike. Wood chips had been deposited northwest of the stockpile and at the edge of the wetland.

- Install hay bales or silt fence downslope of any stockpiles.
- Ensure that wood chips and stockpiles are placed within the proposed hay bale/silt fence barrier to avoid encroachment into wetlands or onto neighboring parcels.

Based on the observed site conditions, the soil erosion and sediment control measures incorporated in the Plan are adequate and appropriate. With consideration of the recommendations noted above, the District certifies that the plan complies with the **2002 Connecticut Guidelines for Soil Erosion and Sediment Control**.

Thank you for the opportunity to comment.