

**TOWN OF VERNON
CONSERVATION COMMISSION**

Meeting Notice
Monday, August 16, 2021, 7:00 P.M.
Town Hall
14 Park Place, Third Floor
Town Council Chambers
Vernon, CT

AGENDA

1. Call to Order and roll call
2. Administrative Actions/Requests
 - 2.1 Amendment(s) to Agenda, if any
 - 2.2 Approval of the Minutes of the March 15, 2021 meeting
 - 2.3 Communications received not related to Agenda items, if any
 - 2.4 Letters sent by Conservation Commission last month, if any
 - 2.5 Organizational considerations
3. Open Space Program Update
4. New Business
 - 4.1 Pending Inland Wetlands Applications, if any

IWC 2021-06, an Application of Ute Winebrenner for a Wetlands Permit at 5 Miller Rd, to install rain garden, rock garden, reconstruction of lake wall, and other landscaping elements in a regulated area.
 - 4.2 Pending Planning & Zoning Applications, if any
 - 4.3 Natural Resources
 - Vernal Pools
 - Bolton Lakes Issues
 - Non-Point Source Pollution
 - Open Space/Greenways
5. Other Business/Goals/Discussion
 - 5.1 Draft Plan of Conservation and Development (POCD)
6. Adjournment

C. Ryan Goad, Chairman
Conservation Commission

Draft Minutes

Town of Vernon, CT Conservation Commission
Regular Meeting via Zoom Teleconference
Monday, March 15, 2021 at 7:00 PM

RECEIVED
VERNON TOWN CLERK

Zoom Weblink Information

21 APR 13 PM 3:53

<https://us02web.zoom.us/j/87961298391?pwd=N2NZeHpvM2JNdStTMWNza1ZsSINUdz09>

Meeting ID: 879 6129 8391 Passcode: A2j1nF

Dial In Information:

Phone Number: (646) 876-9923 Meeting ID: 879 6129 8391 Passcode: 758750

DRAFT MEETING MINUTES

1. Call to Order and Roll Call Chairperson Ryan Goad called the meeting to order at 7:00PM.

Regular members present: Ryan Goad, Richard Clark, James Simon

Members absent: Jason Seacat

Staff members present: George McGregor, Town Planner

Recording Secretary: Kathleen Minor

2. Administrative Actions/Requests

2.1. Amendment(s) to Agenda – none

2.2. Approval of the Minutes of the January 25, 2020 2021 Meeting

Ryan Goad, seconded by James Simon, made a motion to approve the minutes from the January 25, 2021 regular meeting as presented. Motion carried unanimously.

2.3. Communications received not related to Agenda items – none

2.4. Letters sent by Conservation Commission last month

Ryan Goad has had email correspondence with Marty Sittler, Director of Parks and Recreation, regarding commission recruitment posters

2.5. Organizational considerations – no discussion

3. Open Space Program Update

Discussion ensued regarding the future vision of the Conservation Commission's roll in Open Space now that it is maxed.

4. New Business

4.1. Review of Pending Planning & Zoning Applications

Application **IWC-2101-01**, of Richard and Julie Clay for a wetlands permit by commission, for the construction of a +- 2,400 s.f. single-family home located at 58 Wildwood Rd., (Assessors ID: Map 52, Block 0139, Parcel 00050)

James Simon, seconded by Richard Clark, made a motion for Ryan Goad to send an email to the Town Planner with the commission's recommendation to leave existing vegetation along the lake side. Motion carried unanimously.

Application **IWC-2101-02**, of Pamela Gieras for a wetlands permit by Commission, for the construction of a +2,200 s.f. single-family home located at 7 Beechwood Rd. (Assessors ID: Map 52, Block 140F, Parcel 00005)

No action taken by commission

Application **PZ-2021-02**, of Krause Realty Trust, requesting a zone change for two parcels, one located at 34 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00002) and the other located at 42 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00001). Both parcels are currently zoned R-27. The requested change is to rezone 1.1457 acres of the

parcels to Commercial, in order to merge that portion into adjacent Commercial land to provide additional inventory parking at an automobile dealership, and to rezone 1.2407 acres of the parcels to Open Space Zone.

Town Planner provided updates to project. No action taken.

4.2. Natural Resources –

4.2.1. Vernal Pools – No discussion

4.2.2. Bolton Lake Issues

Ryan Goad provided updates regarding the status of the Watershed Management Plan and the Small Town Economic Assistance Program (STEAP) Grant being used. An email will be sent to the commission.

Discussion ensued regarding the trails throughout town. Town Planner George McGregor will reach out to the Director of Parks and Recreation, Marty Sitler, and ask him to join a future meeting.

4.2.3. Non-Point Source Pollution – No discussion

5. Other Business/Goals/Discussion

5.1. Future Activities – No discussion

5.1.1. Annual Goals

5.1.2. Potential Activities

5.2. POCD Updates

Town Planner George McGregor updated the commission on the status and progress of the POCD.

6. Adjournment – Richard Clark, seconded by James Simon, made a motion to adjourn the meeting at 7:53 PM. Motion carried unanimously.

Respectfully submitted,



Kathleen Minor
Recording Secretary

APPLICATION 1



TOWN OF VERNON

INLAND WETLANDS COMMISSION (IWC)

APPLICATION

This form is to be used to apply to the Vernon Inland Wetlands Commission (IWC) for approval for a redesignation of a wetlands area, a change to the Inland Wetlands and Watercourses Regulations, and/or a permit to conduct a regulated activity in a wetland, watercourse, or upland review area (URA), which are defined as areas within one hundred (100) feet from the boundary of a wetland, watercourse, or intermittent watercourse and areas within two hundred (200) feet from the boundary of Gage's Brook, Hockanum River, Ogden Brook, Railroad Brook, Tankerhoosen River, Valley Falls Pond, Walker Reservoir East, Walker Reservoir West. Any activity that the Commission determines is likely to impact or affect wetlands or watercourses may be considered a regulated activity. **Provide all the information requested.**

The Applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property. Said interest shall be explained. If the applicant is not the property owner, written permission for this Application must be obtained from the property owner and submitted by letter signed by the property owner authorizing submission of the Application.

The Applicant understands that the Application is complete only when all information and documents required by IWC have been submitted and that any approval by the IWC relies upon complete and accurate information being provided by the Applicant. Incorrect information provided by the Applicant may make the approval invalid. The IWC may require additional information to be provided by the Applicant.

I. APPLICANT (S)

Name: Ute Winebrenner

Title: _____

Company: _____

Address: 5 Miller Rd, Vernon CT 06084

Telephone: 860-791-7938 Fax: _____

E-mail: utebv@hotmail.com

II. PROPERTY OWNERS

Name: Ute & Brian Winebrenner

Title: _____

Company: _____

Address: 5 Miller Rd
Vernon, CT 06084

Telephone: 860-791-7938 Fax: _____

E-mail: utebv@hotmail.com

III. PROPERTY

Address: 5 Miller Rd, Vernon

Assessor ID Code: Map # 53 Block # 140 A Lot/Parcel # 00004 *92*

Land Record Reference to Deed Description: Volume: _____ Page _____

USGA Location:

Circle the Map Quadrangle Name: Manchester # 38 Rockville #39

Circle the Sub regional Drainage Basin #: 3108 4500 4502 4503

Zoning District: B-27 *20*

IV. PROJECT

Project Name: _____

Project Contact Person:

Name: _____

Title: _____

Company: Creative Exteriors LLC

Address: 1145 Hartford Turnpike
Vernon, CT 06066

Telephone: 860-870-8789 Fax: _____

E-mail: creativextllc@sbcglobal.net

V. PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "The Town of Vernon Inland Wetlands and Watercourses Regulations".

Purpose: landscaping

General Activities: 2 retaining walls, permeable patio, rock garden,
rain garden

Regulated Activities:

Watercourse disturbance (linear feet): _____

Wetlands disturbance (acres or sq. ft.): _____

Upland Review Area (URA) disturbance: _____

Nonregulated activities & activities outside URA: _____


VI. APPLICATION

- Redesignation of Wetlands
- Amendment of Inland Wetlands and Watercourses Regulations
- Modification of a Wetlands Redesignation
- Wetlands Permit
- Non-significant activity
- Significant activity with less than 1/2 acre site disturbance
- Significant activity with site disturbance from 1/2 acre to and including 2 acres
- Significant activity with site disturbance greater than 2 acres
- Commission modification of a wetland permit in effect
- Modification of a wetland permit by ;the Wetlands Agent
- Approval of a license by the Wetlands Agent for activities in an upland
- Appeal of a decision by the Wetlands Agent
- Subdivision review per CGS Section 8-26
- Jurisdictional ruling regarding permitted and nonregulated uses
- Waiver, reduction, or delayed payment of fees (attach statement of justification)
 - Waiver
 - Reduction to \$ _____
 - Delay of payment to _____

VII. CERTIFICATION AND SIGNATURE

I, the undersigned Applicant or applicant's Agent, hereby certify that I have reviewed the "Town of Vernon Inland Wetlands and Watercourses Regulations" and have prepared this Application with complete and accurate information.

Property Owner/ Applicant, or Applicant's Agent:

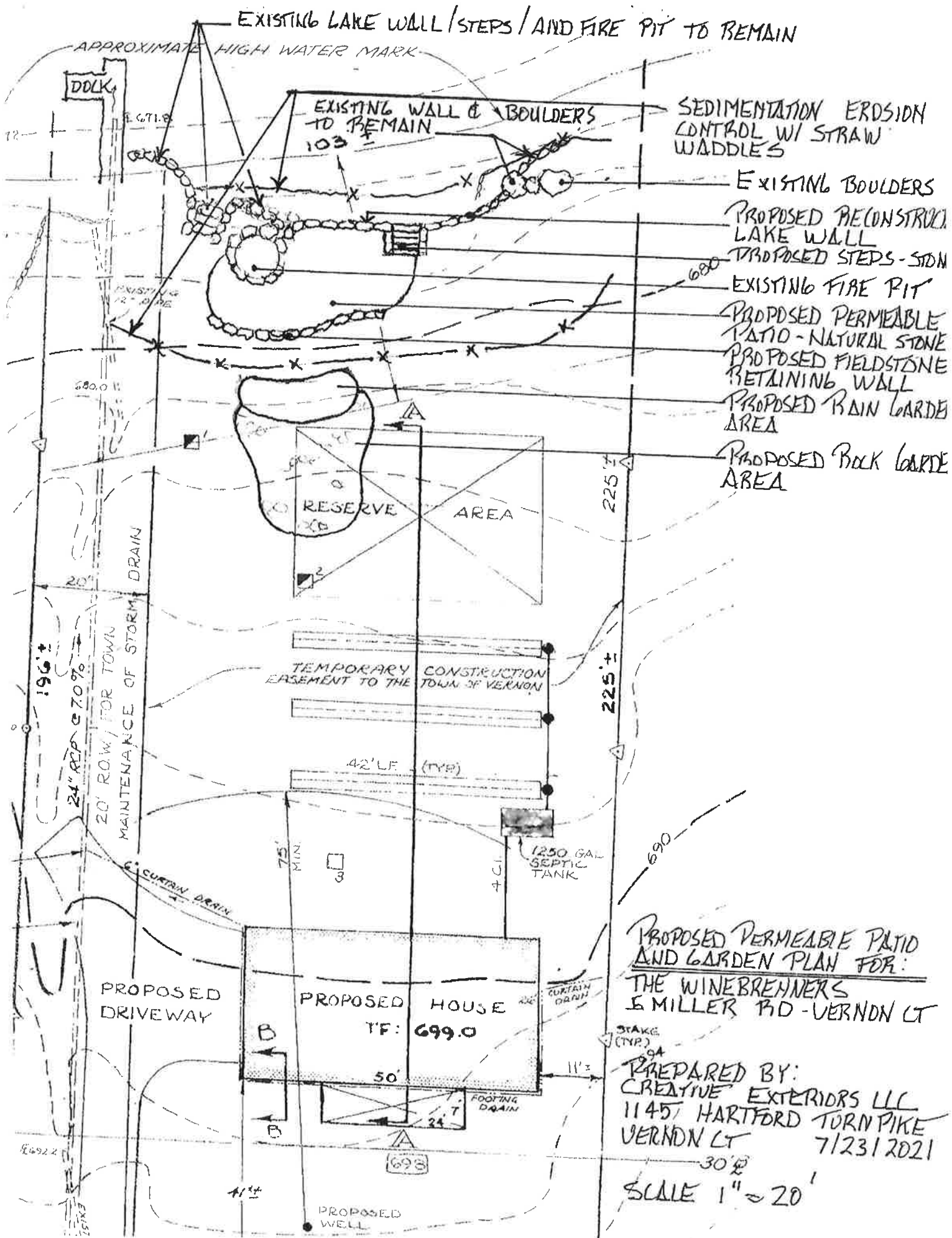
	ute Winebrenner	7/23/21
Applicant or Agent Signature	Printed Name	Date
Owner's Signature, if different	Printed Name	Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

DATE APPLICATION SUBMITTED _____

DATE APPLICATION RECEIVED BY COMMISSION _____

IWC FILE: _____



EXISTING LAKE WALL / STEPS / AND FIRE PIT TO REMAIN

APPROXIMATE HIGH WATER MARK

EXISTING WALL & BOULDERS TO REMAIN 103'

SEDIMENTATION EROSION CONTROL W/ STRAW WADDLES

- EXISTING BOULDERS
- PROPOSED RECONSTRUCTED LAKE WALL
- PROPOSED STEPS - STON
- EXISTING FIRE PIT
- PROPOSED PERMEABLE PATIO - NATURAL STONE
- PROPOSED FIELDSTONE RETAINING WALL
- PROPOSED RAIN GARDE AREA
- PROPOSED ROCK GARDE AREA

RESERVE AREA

TEMPORARY CONSTRUCTION EASEMENT TO THE TOWN OF VERNON

PROPOSED HOUSE TF: 699.0

PROPOSED PERMEABLE PATIO AND GARDEN PLAN FOR:
THE WINEBRENNERS
5 MILLER RD - VERNON CT

PREPARED BY:
CREATIVE EXTERIORS LLC
1145 HARTFORD TURNPIKE
VERNON CT 7/23/2021

SCALE 1" = 20'

DOLK

680.0

20'

196'

24' ROW FOR TOWN MAINTENANCE OF STORM DRAIN

CURTAIN DRAIN

PROPOSED DRIVEWAY

75' MIN

1250 GAL SEPTIC TANK

42' LF (TYP)

B

B

50'

FOOTING DRAIN

698

PROPOSED WELL

225'

225'

690

STAKE (TYP)

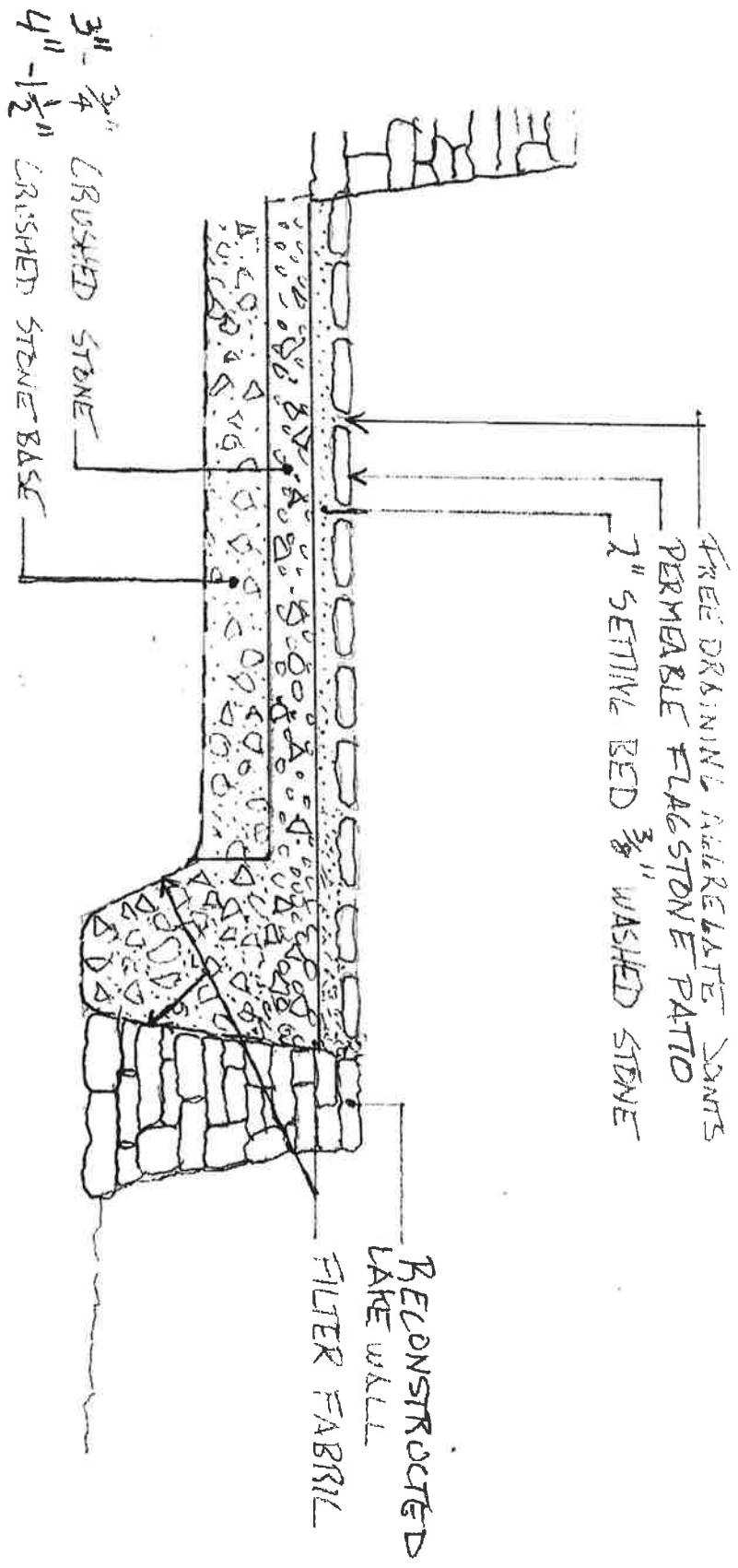
94

11'

30'

699.2

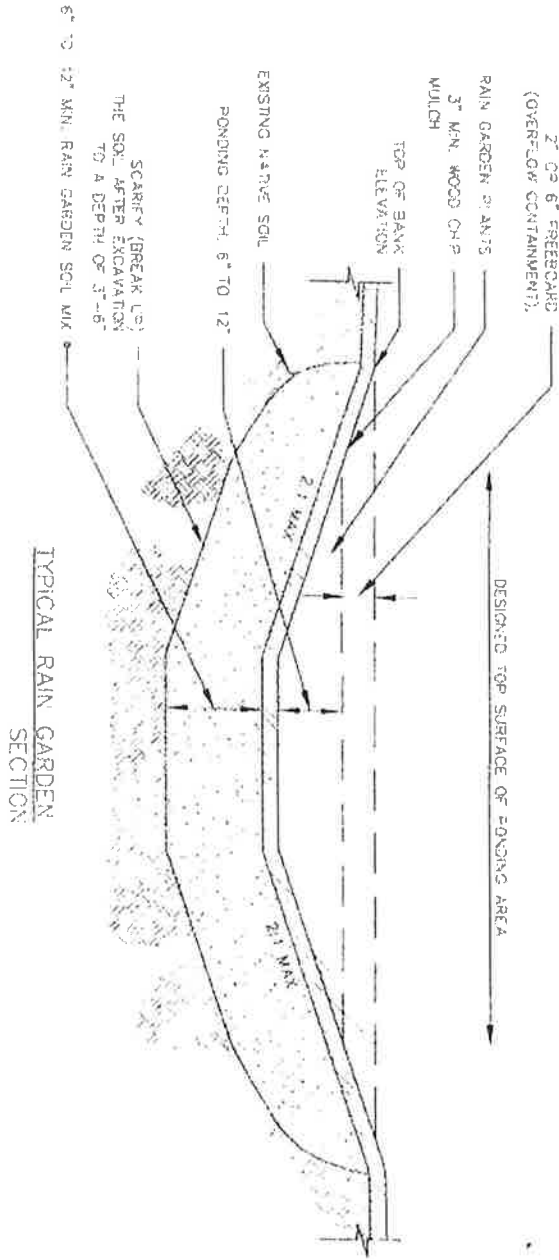
EXIST

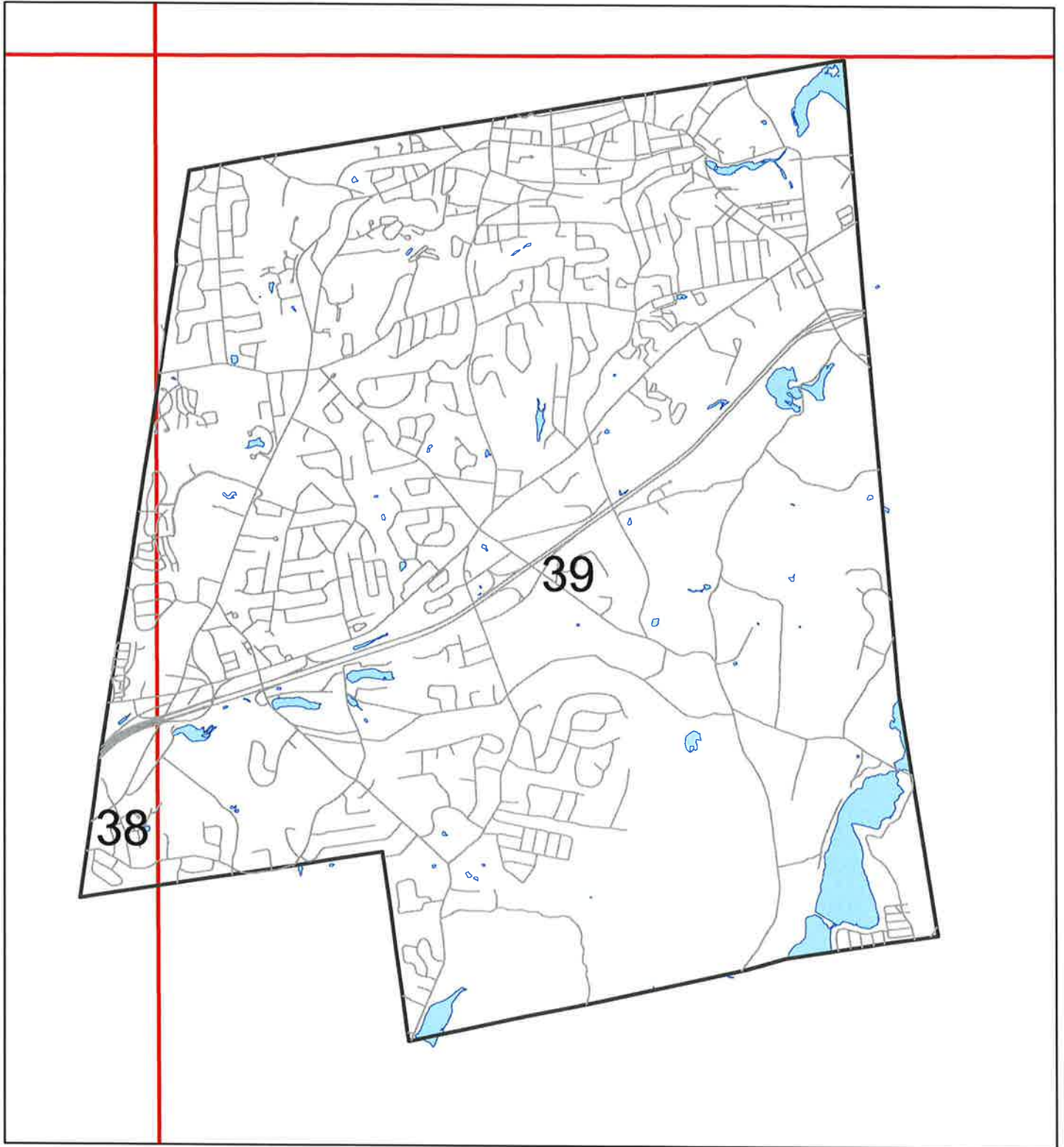


PERMEABLE FLAGSTONE PATIO SECTION - DETAIL
 NOT TO SCALE

Rain Garden Section

The following details provide the required dimensions and depths for the construction of the rain garden.





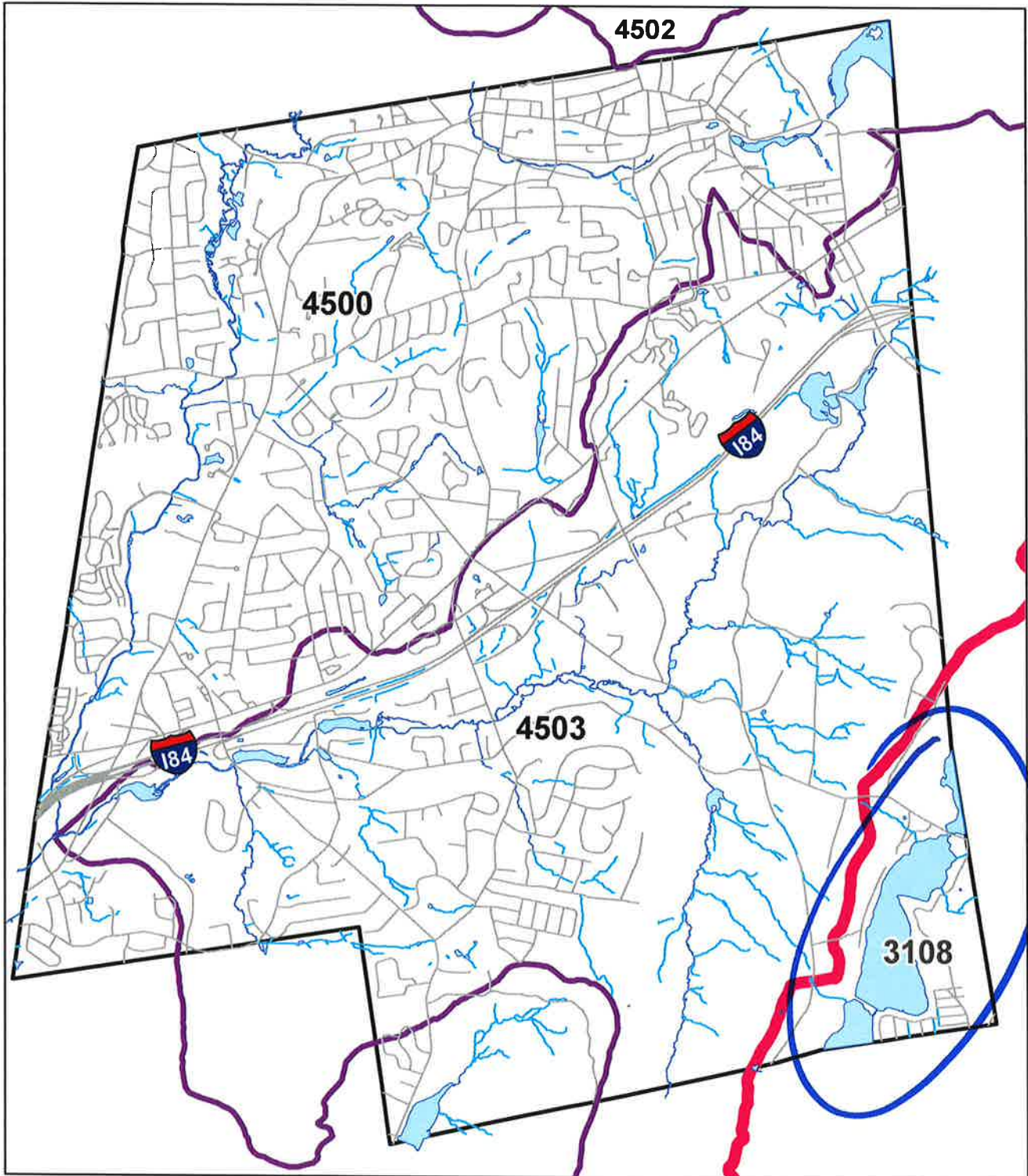
Legend

- Street Center Line
- ▭ Town Line
- Water Bodies
- ▭ Quad Index NAD83

USGS Quadrangles for Vernon, CT

38 - Manchester
39 - Rockville





Legend

- Water Bodies
- Major Basin
- Subregional Basin
- 4503 Basin ID#

**Town of Vernon
Subregional Drainage Basins**

Source: CT DEP

This map was created by the
Vernon Planning Department
June 2010



This map is for information only, and its utilization and verification shall be the sole responsibility of the user. No warranty, expressed or implied, is made by the Town of Vernon as to the accuracy or completeness of this map, nor shall the fact of distribution constitute any such warranty.