



STATE OF CONNECTICUT – COUNTY OF
TOLLAND INCORPORATED 1786

TOWN OF ELLINGTON

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TOWN PLANNER'S OFFICE

FX (860) 870-3122

PLANNING AND ZONING COMMISSION SPECIAL MEETING AGENDA MONDAY, AUGUST 2, 2021, 6:00 PM

**IN-PERSON AT TOWN HALL ANNEX MEETING ROOM, 57 MAIN ST, ELLINGTON, CT
VIRTUAL ATTENDANCE VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW**

I. CALL TO ORDER:

II. PUBLIC COMMENTS (On non-agenda items):

III. PUBLIC HEARING(S): (Hearing notices met, hearings may commence)

1. Z202111 – Big Y Foods, owner/ applicant, request for a Special Permit and Site Plan Modification for the construction of a 5,000 sf building for a restaurant and a 5,152 sf building for a four bay car wash on West Road, APN 046-001-0000 and APN 037-004-000 in a PC - Planning Commercial Zone.
2. Z202112 - Text amendment to Section 3.1.2 – Residential Uses, Section 7.1 Accessory Apartments and Section 10.2 - Definitions of the Ellington Zoning Regulations.

IV. OLD BUSINESS: None

V. NEW BUSINESS: None

VI. ADMINISTRATIVE BUSINESS:

1. Approval of Planning and Zoning Commission June 28, 2021 Regular Meeting Minutes.
2. Correspondence:
 - a. Town Planner memo dated July 26, 2021, regarding Public Act 21-1 An Act Concerning Responsible and Equitable Regulation of Adult-Use Cannabis.
 - b. Assistant Planner Enforcement Officer email dated July 26, 2021, regarding standards for temporary political signs.

VII. ADJOURNMENT:

Attendance for this meeting is available in-person or via online video conferencing provider Zoom Meeting. Instructions to attend virtually listed below and the agenda is posted on the Town of Ellington's webpage (www.ellington-ct.gov) under Agenda & Minutes, Planning & Zoning Commission. For questions and assistance please contact the Ellington Planning Department at 860-870-3120.

Join Zoom Meeting via link:

<https://us06web.zoom.us/j/82422588539>

Meeting ID: 824 2258 8539

Passcode: 725288

Join Zoom Meeting by phone:

1-646-558-8656 US (New York)

Meeting ID: 824 2258 8539

Passcode: 725288

Next Planning and Zoning Commission Regular Meeting is scheduled for August 23, 2021

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input checked="" type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <div style="background-color: yellow; padding: 2px;">220211</div> Date Received 6/25/2021
Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested. Owner's Information Name: <u>Big Y Foods, Inc.</u> Mailing Address: <u>2145 Roosevelt Ave</u> <u>Springfield, MA 01104</u> Email: <u>elliott@bigy.com</u> <div style="background-color: #cccccc; padding: 2px; font-size: small;">WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</div> Primary Contact Phone #: <u>413-504-4737</u> Secondary Contact Phone #: <u>413-427-1150</u> Signature: <u><i>Tony Lloyd</i></u> Date: _____	Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested. Applicant's Information (if different than owner) Name: <u>Same</u> Mailing Address: _____ _____ Email: _____ <div style="background-color: #cccccc; padding: 2px; font-size: small;">WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</div> Primary Contact Phone #: _____ Secondary Contact Phone #: _____ Signature: _____ Date: _____
By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.	
Street Address: <u>West Road</u> <div style="text-align: right; font-size: small;">046 - 001 - 0000</div> Assessor's Parcel Number (APN): <u>037 - 004 - 0000</u> Existing Zone: <u>PC/RAR</u> Proposed Zone: <u>N/A</u> <small>(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")</small>	
Public Water: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Public Sewer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).</i>	
Is parcel within 500' to any municipal boundary? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.</i>	
Is the project in a public water supply watershed area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.</i>	
Description of Request (If more space is needed, please attach additional sheets) <u>Construction of car wash building and support appurtenances, restaurant with outdoor seating area and associated paved parking and access drives, utility services and storm water management systems. Site Plan and Special Permit for retail businesses, restaurant and car wash.</u>	
<div style="border: 1px solid black; padding: 5px; display: inline-block;">RECEIVED</div> JUN 25 2021 <small>TOWN OF ELLINGTON PLANNING & ZONING COMMISSION</small>	

Big Y Foods, Inc. – West Road

Narrative:

1. Description:

Application before the Ellington Planning & Zoning Commission include:

a. *Site Plan & Special Permit*

The proposal includes development of two parcels (APN 037-004-000) and (APN 046-001-000). Phase 1 was completed in 2020. Development of Phase 1 included improvements on parcel 046-001-000, and included a two retail buildings and a gas dispensary canopy and associated site improvements. Phase 2 of the development of the parcels includes the construction of a car wash building, a restaurant with outdoor seating, and associated paved access drives, parking areas, and other site improvements.

The parcels are located in the PC Zone and Rural Agricultural / Residential Zone. The proposed commercial uses, however, are proposed entirely within the PC Zone, which allows by Special Permit, the following, for which the Applicant is requesting approval:

- Retail Uses*
- Restaurants*
- Car Wash (by determination of the Commission)*

2. Stormwater Management

The parcels will be served by conventional storm drain systems comprised of catch basins, manholes and culverts. Runoff will be collected by these systems and discharged into a stormwater quality basin. The basin was constructed as part of the Phase 1 development. The basin will be enlarged to handle the additional development and was sized to both mitigate peak rates of runoff and treat the minimum CT DEEP-recommended water quality volume for the Phase 1 and Phase 2 development. The outflow from the basin will be discharged into the adjacent areas to the west where it will flow into adjacent wetlands located to the west of the subject parcel.

A comprehensive stormwater management report (SMR) is included in the application to demonstrate that the basin and associated controls are designed to handle the proposed Phase 2 developed condition. The SMR also includes a pipe-to-pipe hydraulic analysis to demonstrate the storm drain systems proposed complies with the town's requirements.

Big Y Foods, Inc. – West Road

3. Erosion Control Measures

Proposed sediment and erosion control measures will follow the guidelines established in the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (Guidelines). The measures include, but are not limited to the use of silt fence erosion control in areas downgradient of earthen activities, rip rap protection on all stormwater system outlets, construction exits, erosion control blankets on steep slopes, stabilizing vegetation, etc. The proposed measures are depicted on the Soil Erosion and Sediment Control Plan and related details are shown on the Detail Sheets.

4. Construction Methods/Sequence:

Methods of construction will include those typical of site development using heavy and light equipment by skilled operators and hand tools and manual labor for: installation of erosion control devices, construction of temporary sediment control measures, stripping and stockpiling of topsoil, rough grading of site, construction of storm drainage systems, construction of retaining walls, construction of pavement subgrades and processed base courses and gravel drives, construction of building foundations and structure, construction of concrete sidewalks, pads and curbing, placement of bituminous pavement section and curbing, installation of plantings and establishment of stabilizing vegetation, pavement markings and signage.

It is anticipated that construction would begin in the summer of 2021 and be completed in the summer of 2022.

During construction stormwater would be controlled by directing runoff into the water quality basin where additional temporary measures would be employed to settle/filter sediments. As the site becomes stabilized, accumulated sediments would be removed from the basin forebay and restoration of water quality basin would be completed, as required. Once all disturbed areas are adequately vegetated, the temporary erosion control devices would be removed.

Equipment used would include excavators, dozers, dump trucks, water trucks, skid steers, compactors, graders, etc.

Standards for Granting Special Permit:

1. The location and size of the proposed structures and intensity of the use in relation to the size of the lot will be in harmony with the orderly development of the area and compatible with other existing uses.

The location and size of the proposed buildings are in harmony with buildings in the area in total size and in relative size to the lot area. The operation/use is in harmony

Big Y Foods, Inc. – West Road

with area buildings which include a mix of commercial, retail and similar uses.

2. The kind, size and height of the structures on the lot will not hinder or discourage the appropriate use of adjoining property or diminish the value thereof.

The proposed structures meet the minimum setback requirements for the zone and falls within the maximum height requirement for the zone and is in harmony with other buildings in the area in size, height, and relative lot coverage. The buildings are quite attractive and will not hinder or discourage use of adjoining property or hinder the value therefore.

3. The proposed use will not adversely alter the essential characteristics of the area or adversely affect the property value of the neighborhood.

The proposed uses are in harmony with other uses in the area and will not adversely alter the essential characteristics of the area nor adversely affect the property values of the neighborhood.

4. The parking facilities will be adequate and properly located, and the entrance/exit driveways are laid out to achieve maximum safety, and the existing public roadways are adequate in width and condition to handle future traffic.

The proposed parking facilities comply with town standards and provide for a total number of spaces that meet the minimum required parking for the use. Both access to the parking areas from the shared drive and access of the shared drive to West Road are laid out to achieve maximum safety. Adequate width is provided to handle traffic conditions for both the Phase 1 and Phase 2 development.

5. The proposed plans provide for the conservation of natural features, drainage basins and the protection of the environment of the area.

The proposed plans provide for management of stormwater to protect adjacent and downgradient resources, including natural features. The water quality basin will capture all runoff from the developed area and treat the minimum DEEP-recommended water quality volume of runoff prior to its release, thereby protecting the environment of the area and receiving wetlands into which the site discharges.

6. The physical design elements of the proposed development including road patterns shall be attractive and suitable in relation to the site's characteristics and the style of other buildings and development in the immediate area.

The layout and physical design of the driveway, parking areas and building placement are attractive and in harmony with similar uses in the area.

Big Y Foods, Inc. – West Road

7. The proposed building materials and other design aspects of the building's architecture, together with proposed landscaping, lighting, and signage, are appropriate with respect to the surrounding neighborhood.

The proposed building incorporates handsome architectural features above and beyond most buildings in the area. The site will incorporate landscape features that are attractive, provide screening and provide shade in parking areas and along the site drives. The landscaping is in harmony with similar area developments and is consistent with the Phase 1 development. Site lighting design will incorporate downlighting to minimize off-site trespass while providing adequate lighting to safely illuminate parking areas, the access drive, and walkways and will be a continuation of the site lighting design implemented in Phase 1 to provide for continuity of the site as a whole.

8. The proposed use will not have any detrimental effect on public health, safety, convenience and property values.

The proposed use will incorporate attractive buildings and well-landscaped parking areas. Stormwater runoff from the development will be treated in a large water quality basin. Access to and from the site is designed to meet or exceed traffic safety standards through a signalized intersection. The proposal will not have a detrimental effect on public health, safety, convenience nor property values.

9. The proposed use shall have easy accessibility for fire apparatus, ambulances and police vehicles. The Commission may require to have constructed to Town specifications certain thoroughfares in the development for such purposes.

Driveways, access to the building, and internal access and circulation within parking areas are designed to provide the minimum widths and turning radii to provide easy accessibility for fire, police, ambulances and other emergency vehicles. The driveway and parking areas are proposed to be paved surfaces.

10. There are adequate utilities, including water supply and sewerage disposal, to support the proposed use.

The facility will be served by sanitary sewer. The Ellington WPCA has granted an allocation to the parcels sufficient to meet the facility needs. Sewage will be discharged to the sanitary sewer system installed on the site during Phase 1 construction and ultimately to the sanitary sewer system in West Road. Connecticut Water Company has a water main on West Road and this main has capacity to meet the needs of the development. Eversource has adequate gas and electric service in West Road to serve the facility. There is adequate telephone/cable/communications service along West Road.

Town of Ellington
Planning Department
MEMO



DATE: June 23, 2021

TO: Ellington Planning and Zoning Commission

FROM: Barbra Galovich, Land Use Assistant

SUBJECT: Recommendations from Design Review Board for design elements for Z202111 – Big Y Foods, owner/ applicant, request for a Special Permit and Site Plan Modification for the construction of a 5,000 sf building for a restaurant and a 5,152 sf building for a four bay car wash on West Road, APN 046-001-0000 and APN 037-004-000 in a PC - Planning Commercial Zone.

At a meeting on June 17, 2021, the Design Review Board reviewed the above application and made the following recommendations:

BY CONSENSUS, THE BOARD GRANTED A POSITIVE REFERRAL TO THE PLANNING & ZONING COMMISSION FOR THE CONSTRUCTION OF A 5,000 SF BUILDING FOR A RESTAURANT AND A 5,152 SF BUILDING FOR A FOUR BAY CAR WASH AT 140 WEST ROAD, APN 046-001-0000 AND APN 037-004-000 IN A PC - PLANNING COMMERCIAL ZONE.

Barbra Galovich

From: Timothy Webb
Sent: Tuesday, July 06, 2021 10:43 AM
To: Barbra Galovich; James York; Kim Bechard; Lori Spielman; Mike Caronna; Raymond Martin; Sydney Kern; Westford Lirot
Cc: Lisa Houlihan
Subject: RE: Staff Review - Z202111 - Big Y Express Phase 2 - West Road

Good morning, no impact tot DPW, WPCA has determined flow is available and will have a review of the project at their July meeting.

From: Barbra Galovich
Sent: Tuesday, July 06, 2021 9:18 AM
To: James York <JYork@ELLINGTON-CT.GOV>; Kim Bechard <KBechard@ELLINGTON-CT.GOV>; Lori Spielman <lspielman@ELLINGTON-CT.GOV>; Mike Caronna <mcaronna@ncdhd.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Timothy Webb <twebb@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: Staff Review - Z202111 - Big Y Express Phase 2 - West Road

Hi,

Hope you are doing well. Please see the attached documentation with Staff Review Sheet. This application will be discussed at the PZC meeting on Monday, July 26, 2021.

Please provide your comments/concerns on or before July 16, 2021.

Thank you in advance for your review.

Barbra

Barbra Galovich, CZET
Land Use Assistant
Town of Ellington
55 Main Street
Ellington, CT 06029
(860) 870-3120

STORM WATER MANAGEMENT REPORT

Proposed Big Y Fueling Facility/Retail Center
Ellington, CT

Phase 2 Development
Car Wash and Restaurant

Prepared For:

Big Y Foods, Inc.

Prepared By:

F. A. Hesketh & Associates, Inc.
3 Creamery Brook
East Granby, CT 06026



F. A. Hesketh
& Associates, Inc.

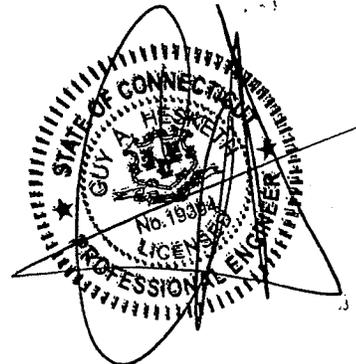
April 6, 2018
Revised June 25, 2021

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JUN 24 2021

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Z202111



1. Introduction

This storm water management report has been prepared to demonstrate that the storm water management practices for the proposed Phase 1 (Retail and Fueling Facility development) and Phase 2 (Car Wash and Restaurant development) meet the requirements of Town of Ellington Zoning Regulations, follow sound engineering practices, and protect adjacent land owners from adverse storm water impacts.

This report presents hydrologic analysis of both pre- and post-developed conditions to demonstrate that the development of the parcel will not result in a net increase in peak rate of discharge of runoff from the development.

This report also presents a detailed pipe-to-pipe design analysis to demonstrate that the proposed storm drain systems have adequate capacity to convey runoff for a 10-year return-period storm event.

2. Project Description

The proposed development site is comprised of an 13.06-acre located on the west side of West Road (Route 83) across from the entrance to the retail center where the Big Y World Class Market is located. Prior to Phase 1 development, the site was currently vacant, a portion of which was in agricultural use. Retail uses are located to the east and agricultural uses to the north and west. The parcel to the south was until recently in agricultural use, but currently under development for commercial uses.

Phase 1 of the development was completed in 2020 and included development of the north portion of the parcel into a retail center with a fueling facility. Access was provided from West Road (Route 83), across from the entrance to the retail center where the Big Y World Class Market is located (signalized intersection), and from a right-in-only drive north of the signalized intersection. This drive is accessed by southbound traffic. A drive-thru window was proposed as part of one of the retail buildings (Building 1) and is operated by a tenant that sells coffee and baked goods.

Phase 2 will include development of the southern portion of the project and will include a car wash facility and a restaurant, as well as associated paved access drives and paved parking areas.

Storm drain collection systems were constructed to serve Phase 1 and to handle runoff from all paved portions of the Phase 1 development. The storm drain systems consist of catch basins, manholes, culverts and a flared-end outlet. The systems discharge into a water quality basin that was constructed on the west end of the parcel. The Phase 2 development will include additional storm drain systems that will be connected the storm drain system that was constructed during the Phase 1 development for discharge into the same water quality basin. The size

of the water quality basin will be increased to handle the additional runoff from the Phase 2 development.

All runoff from the development parcel flows westward, onto adjacent, undeveloped agricultural land to the west. Available mapping indicates that this land is part of a large, contiguous wetland and floodplain associated with Marsh Brook. Prior to the subdivision of the subject development lots, rights to drain were granted to the original un-divided parcel to allow discharge of surface water along the northern boundary of the BJJM Family parcel to the west. These rights are currently in effect. The site and its environs, including a depiction of the extensive contiguous wetlands to the west is depicted on Figure 1.

3. Hydrologic Analysis

The design of the stormwater management systems for the proposed development is aimed at mitigating total peak rate of runoff and in promoting stormwater cleansing through use of large stormwater quality basin.

Hydrologic analysis was conducted for both the existing condition (pre Phase 1 development) and the proposed developed (Phase 2) condition of the site to determine peak flow of runoff and total volume of runoff, under both conditions. Hydraflow Hydrographs 2007 computer software was utilized in the analysis. The TR-55 Method was used to determine peak flows and total volume of runoff for both the pre- and post-redeveloped conditions. For longer flow paths, times of concentration were calculated using the TR55 methods provided in the Hydraflow software. For shorter flow paths and for watersheds that are primarily landscaped, a time of concentration of 10 minutes was assumed. A time of concentration of 5 minutes was assumed for watersheds primarily characterized by impervious surfaces.

Surficial Soil mapping indicate that upland soils are Cheshire fine sandy loam, and Ellington silt loam. Wetland soils are Raypole silt loam. The Cheshire and Ellington Series fall under Hydrologic Group B soils, and the Raypole soils under Hydrologic Group C/D. (See Attachment 1).

SCS Curve Numbers for the various land-use types were based on the following values (per Table 2-2a, b and c of USDA Urban Hydrology for Small Watersheds TR-55):

- CN=56 Brush/weed/grass mix, fair condition, Group B;
- CN=58 Meadow, Group B;
- CN=61 Open Space Lawns (manicured), good condition, Group B;
- CN=75 Row Crops, Contoured, good condition, Group B; and
- CN=98 for impervious areas (i.e. rooftops and paved areas)

A Type III Storm Distribution (24 hour storm) with a shape factor of 484 and a one minute time interval was modeled. Analysis was performed for the 2-, 5-, 10-, 25-

and 50-year return period storm events, using the PDS-based point precipitation frequency estimates for the 6-hour and 24-hour duration storm event for the site, following the NOAA Atlas 14 published rates.

All runoff from the site flows westward toward the large contiguous wetlands/floodplain. For purposes of the comparative hydrologic model, under both existing and proposed conditions, it is assumed that all site runoff flows to this large contiguous wetland.

Existing Conditions Analysis

For purposes of the hydrologic analysis, a single watershed was analyzed. The watershed analyzed was the watershed that existed prior to the Phase 1 development. The existing conditions watershed area delineations are depicted on Map DA-1.

Travel times for the existing conditions watershed were calculated using the TR-55 methodologies provided in the Hydraflow program. A time of concentration of 22 minutes was calculated by the program for the existing conditions watershed.

Weighted curve numbers were calculated for the watershed by utilizing areas determined by AutoCAD polyline delineations and the CN values presented above for the various land-use types. Historic aerial photographs show that, just prior to the Phase 1 development, row crops (corn) were planted on about one third of the parcel, and that about two-thirds were covered in meadow. CN values of 75 and 58 were used for the row crops and meadow, respectively. A CN value of 98 was used for the paved roadway portions that drain onto and through the parcel.

The existing-conditions drainage area map, Map DA-1, shows the existing condition watershed, flow paths and parameters used for the time of concentration determination and areas of various land-use types. The hydraflow model calculates the total volume and peak rate of discharge for the existing development conditions for the existing conditions watershed. Results are summarized on Table 1.

Proposed Conditions Analysis

The post-developed contribution areas are the same as those of the existing site conditions. All runoff from the site will continue to flow to the west to the large contiguous wetland. Developed portions of the watershed, however, will be captured and routed to the water quality basin. Un-detained areas will continue to flow toward the large contiguous wetland, bypassing the basin. The outflow from the basin will continue be directed, overland to the northwest corner of the parcel, to the area where the rights to drain (for the entire development parcel) have been granted.

For the un-detained areas, the same time of concentration calculated for the existing conditions analysis was used. For the paved areas directed to the water quality basin, the time of concentration calculated by the pipe-to-pipe analysis was used as the time to peak.

Weighted curve numbers were calculated for each watershed by utilizing areas determined by AutoCAD polyline delineations and the CN values presented above for the various land-use types. For impervious areas a CN value of 98 was used. For landscaped areas proposed to be well manicured, a CN value of 61 was used. For the balance of the landscaped areas, a CN value of 56, as it is assumed that all these un-manicured landscaped areas will go fallow and no longer be plowed as cropland, and return to brush/weed/grasses. These values correspond with values presented in Tables 2-2 a,b,c of USDA Urban Hydrology for Small Watersheds TR-55. The weighted CN values calculation is presented in the hydrograph summary in Attachment 2. Areas of each land-use are depicted on Map DA-2.

The stage-storage relationships for the basin were calculated by the model using the conical method by inputting the elevation and area of contours within the basins. Contour areas were determined by polyline delineations in the AutoCAD drawings. To facilitate the Phase 2 development. It will be necessary to increase the capacity of the water quality basin. The proposed increased size of the basin was used to establish the stage-storage relationship used in the model.

The stage-discharge relationship for the basin outlet was modeled by the program, following input of the outlet geometry. The water quality basin outlet structure that was installed in Phase 1 was used in the model. It consists of a CT DOT Type 'C-L', Type II, double grate basin, with a cast-in 10-inch diameter orifice opening (F.L. EL.=227.58) in the wall of the structure and the standard outlet grate (T.F. EL.=231.08). The program models the geometry of the outlet structure using the appropriate coefficients for the orifice and riser (CB grate) and inlet control of the 18-inch outlet pipe, as appropriate.

Stage-Storage and Stage-Discharge relationships for the water quality basins are presented in the model input/output, which is included as Attachment 2.

The Hydraflow model calculates the peak rate of discharge for the proposed development conditions by combining the outflow hydrographs from both the un-detained watershed, and the outflow from the basin. Both un-detained watersheds and the peak rates of inflow and outflow for each basin were modeled for the 2-, 5-, 10-, 25-, and 50- year storm events by the program.

The data shows that there is no increase in the peak rate of runoff to the receiving wetland to the west as a result of the proposed development. Results of analysis are presented in Attachment 2 and total peak flows of on-site runoff generated are summarized in Table 1.

F. A. HESKETH & ASSOCIATES, INC.

3 Creamery Brook
East Granby, CT 06026
(860) 653-8000 (860) 844-8600(Fax)
email: ghesketh@fahesketh.com

RECEIVED

JUL 23 2021

TOWN OF ELLINGTON
PLANNING DEPARTMENT

MEMORANDUM

Page 1 of 3

To: Lisa Houlihan, AICP **Date:** July 23, 2021
From: Guy Hesketh, P.E.
Subject: Big Y 140 West Road Phase 2 – Responses to Town Comments
Our File: 18108

Lisa, please find Site Plans revised (revision date 07/22/2021) to address town staff comments and written responses to comments. Town staff comments in normal font, responses in **bold font**.

Fire Marshall Comments:

1. Initial review of the parking lot layout for the new restaurant does not appear to allow for proper fire department access based on known turning radius requirements for the EVFD.

The Plan has been revised to allow circulation of the required fire apparatus (town's ladder truck) by increasing the width of the "dog bone" island north of the restaurant's main entrance (by 5 feet) to allow circulation of the apparatus around the island and through the parking area. In addition, the drive east of the east end of the restaurant has been widened to 26 feet adjacent to the restaurant to accommodate fire apparatus. These changes were acceptable to Mr. York.

The Plan has been revised to reflect these changes. (See Sheet LA-1).

2. Also, fire lanes will be required for this occupancy and may impact the proposed layout of parking spaces.

The Plan was revised to include fire lane markings east of the restaurant and at the ends of the "dog bone" island north of the restaurant's main entrance.

MEMORANDUM

These were added at the request of Mr. York. The changes are depicted on Sheet LA-1. A detail of the fire line striping was provided by the EVFD and added to Sheet SD-1.

Town Engineer Comments:

1. Specify the diameter of the Nyloplast yard drain risers behind the restaurant on Grading Plan (GR-1).

The Plan has been revised to address. More detailed design information has been added to Sheet GR-1. Additional details for the Nyloplast drains have been added to Sheet SD-5.

2. Lower the flowline of yard drain #20A or clarify how the outlet pipe will pass under the bottom of the retaining wall (GR-1).

The Plan has been revised to address. More detailed design information has been added to Sheet GR-1. Additional details for the Nyloplast drains have been added to Sheet SD-5.

3. Add a note to the plans (LS-1 & GR-1) to remove the tree in conflict with the outlet pipe from YD#20A. If the Applicant or Commission wants the tree to be relocated or replaced, they can modify this condition accordingly.

The Plan has been revised to address by adding notes to Sheet GR-1 and LS-1 to relocate the tree.

4. The Erosion Control Plan (EC-1) notes a riprap plunge pool at the outlet from YD#20A onto a side slope. Plunge pools need to be located on a level surface. Provide riprap armoring down the slope and level spreader or plunge pool in the bottom of the basin.

The Plan has been revised to address. A flared-end section was added to the pipe outlet and the rip rap plunge pool depicted on Sheet EC-1 was replaced with rip rap armoring and a note detailing the size and quantity of the armoring was added to Sheet EC-1. Sheet GR-1 was revised to show the flared-end section.

5. On the Utility Sheet (UT-1) label the sewer manhole and outlet pipe size, type and slope from the car wash to the existing sewer lateral connection.

The Plan has been revised to address. Additional top of frame, pipe size and invert elevation data were added to the labeling on Sheet UT-1.

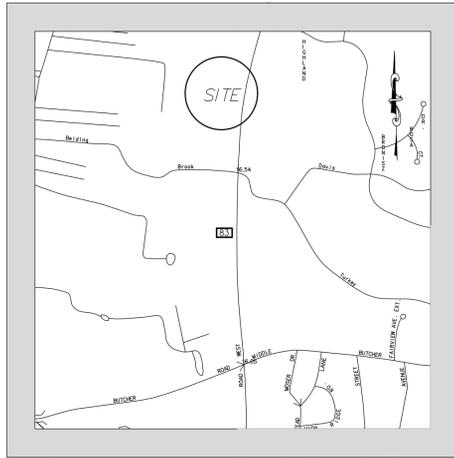
6. There are two Oil Water Separator details on sheet SD-5. Remove the non-MDC detail in the lower left corner to avoid confusion.

MEMORANDUM

The Plan has been revised to address. The redundant detail has been removed from Sheet SD-5.

7. The Site Lighting/Photometric Plan (PH-1) shows no building mounted lighting and no lighting of the outdoor seating area. If the details of this design are not yet available, the Commission could ask the applicant to return with a separate application for the final lighting plan or delegate the review of the final lighting plan to staff.

We recognize that the Site Lighting/Photometric Plan does not include building or patio lighting. Building wall-pack lighting, under canopy lighting, and lighting in the patio area (most likely bollards) will be designed as part of development of the more detailed building construction plans, and to meet tenant requirements. The Applicant respectfully requests that the Commission approve the Plan as presented with a condition that final approval of modifications of the Site Lighting/Photometric Plan be delegated to staff review/approval. A note has been added to Sheet PH-1 indicating that building lighting and patio lighting are not shown on the Plan and that final design of building and patio lighting to be approved by town staff.



AREA MAP

Big Y Foods, Inc.

West Road - Phase 2

Ellington, Connecticut

Planning & Zoning Commission Application

June 25, 2021

Revised Through July 22, 2021

DEVELOPMENT TEAM

Owner	Big Y Foods, Inc.
Applicant	Big Y Foods, Inc.
Civil Engineer & Traffic Engineer	F. A. Hesketh & Associates, Inc.
Landscape Architect	F. A. Hesketh & Associates, Inc.
Surveyor of Record	Alfred Benesch & Company
Photometric Design	Erdman Anthony
Architect	Pepin Associates Architects, LLC

LIST OF DRAWINGS

1 of 22		Title Sheet
2 of 22	MA-1	Master Plan
3 of 22	LA-1	Layout Plan
4-5 of 22	LS-1 & LS-2	Landscape Plan, Details, & Notes
6 of 22	PC-1	Pavement and Curb Type Plan
7 of 22	GR-1	Grading and Drainage Plan
8 of 22	EC-1	Soil Erosion and Sediment Control Plan
9 of 22	UT-1	Utility Plan
10-14 of 22	SD-1 thru SD-5	Site Details
15 of 22	NT-1	Notes & Details
16 of 22	PH-1	Site Lighting/Photometric Plan
17 of 22	PH-2	Site Lighting Details
18 of 22	A1	Proposed Restaurant Plan
19 of 22	A2	Proposed Restaurant Elevations
20 of 22	A3	Proposed Car Wash Plan & Elevations
21 of 22	SV.01	Boundary Survey
22 of 22	SV.02	Topographic Survey

ZONING DATA TABLE

Zone: Planned Commercial and Rural Agricultural Residential

Zoning Data Analysis based upon Planned Commercial Zone

Regulation	Section	Required	Proposed
Minimum Lot Area	Section 4.2.1	3 Acres	13.059 Acres
Minimum Width	Section 4.2.1	300 Feet	915.22 Feet
Minimum Front Yard	Section 4.2.1	100 Feet	102± Feet
Minimum Side Yard	Section 4.2.1	10 Feet (1)	57 ± Feet (Bldg. 1) 226 ± Feet (Bldg. 2)
Minimum Rear Yard	Section 4.2.1	50 Feet (1)	214 ± Feet (Bldg. 3)
Maximum Building Height	Section 4.2.3	38 Feet	35 ± Feet
Maximum Lot Coverage	Section 4.2.3	60 Percent	29.5 ± Percent
Minimum Parking	Section 6.2.3.A	136 Spaces	137 Spaces plus 10 Vacuum Spaces

(1) 50 foot side and rear yard required where abutting residential property or zone, except if home occupation only

DEVELOPMENT DATA

Building	Square Feet	Use	Phase
Building 1	12,822 Sq.Ft.	Retail	Existing
Pump Island	6 Fuel Islands	Gas Station	Existing
Building 2	2,128 Sq. Ft.	Retail	Existing
Building 3	5,147 Sq. Ft.	Restaurant	Proposed
	2,553 Sq. Ft.	Outdoor Patio	Proposed
Building 4	5,291 Sq. Ft.	Car Wash	Proposed

PARKING TABULATION

Required Parking per Section 6.2.3

- a) Retail Trade Uses: 1 Parking Space for each 200 square feet of net floor area
- b) Restaurant Uses: 1 Parking Space for each 100 square feet of net floor area
- c) Car Wash: 1 Parking Space for each washing stall
- d) Motor Vehicle Gasoline: 5 Spaces

Net Floor Area: shall mean the floor area used, designed or intended to be used for service to the public as customers, patrons, clients, patients or members, including those areas occupied by fixtures and equipment used for the display and/or sale of merchandise. "Net Floor Area" shall not include areas used principally for non-public purposes such as storage and incidental repair, for rest rooms, for utilities, or for required stairways or elevators.

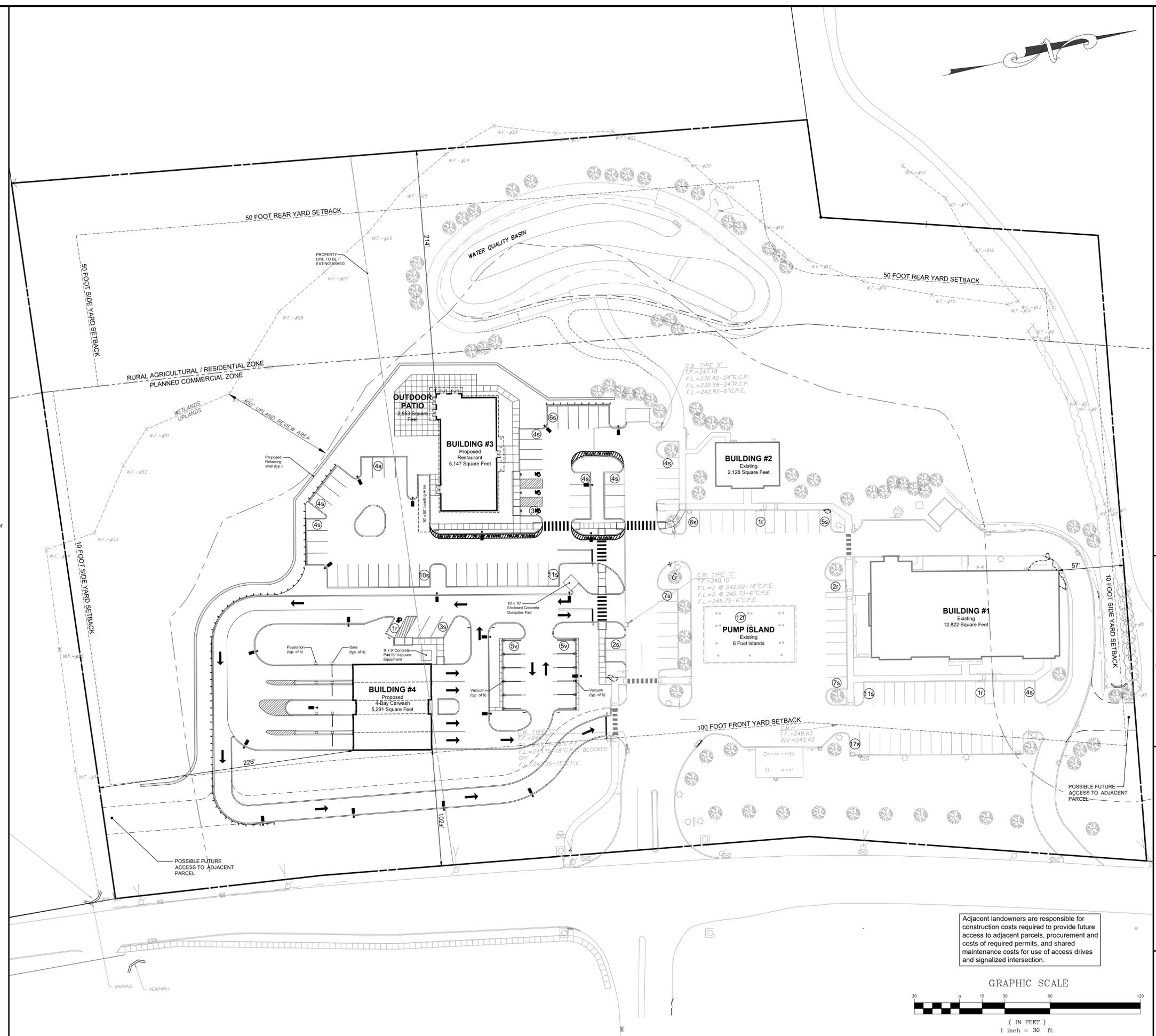
Required Parking Calculation

Assume 80% Net Floor Area of all Retail Trade Use and Restaurant buildings

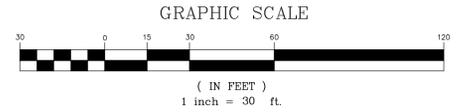
- a) Retail Trade Uses: 14,950 Sq.Ft. (Buildings #1 and #2) x 80% = 11,960 Sq.Ft. Net Floor Area
11,960 Sq. Ft. / 1 Parking Space for each 200 Sq.Ft. Net Floor Area = 60 Spaces
 - b) Restaurant: 5,147 Sq. Ft. (Building 3) and 2,553 Sq. Ft. (Outdoor Patio)
5,147 Sq. Ft. x 80% = 4,117.6 Sq.Ft. Net Floor Area
6,671 Sq. Ft. / 1 Parking Space for each 100 Sq. Ft. Net Floor Area = 67 Spaces
 - c) Car Wash
4 Washing Stalls x 1 Parking Space per Washing Stall = 4 Spaces
 - d) Motor Vehicle Gasoline
5 Spaces
- Total Required Spaces = 136 Spaces

Proposed Parking

- r Reserved Parking Spaces = 8 Spaces
 - s Standard Parking Spaces
9 foot x 20 foot spaces = 66 Spaces
10 foot x 18 foot spaces = 51 Spaces
 - f Fuel Island Spaces = 12 Spaces
 - v Vacuum Spaces = 10 Spaces
- Total Proposed Spaces = 147 Spaces



Adjacent landowners are responsible for construction costs required to provide future access to adjacent parcels, procurement and costs of required permits, and shared maintenance costs for use of access drives and signalized intersection.



MA-1

MASTER PLAN
PREPARED FOR
BIG Y - PHASE 2
WEST ROAD
ELLINGTON, CONNECTICUT

MA-1

NO. DATE DESCRIPTION

1 07-22-2021 Town Comments/Arch. Coord.

Revisions:

Date: 06-25-2021

Drawn by: KLL

Job no: 18108

Scale: 1" = 30'

Checked by: GAH

Sheet no: 2 OF 22

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SIGNAGE LEGEND

Symbol	Graphic	Catalog Number	Quantity
A		New Reserved Sign (CT Building Code)	4
B		31-0648	4
C		31-0552	3
D		31-1119	6

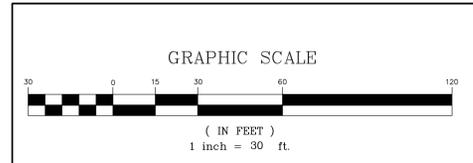
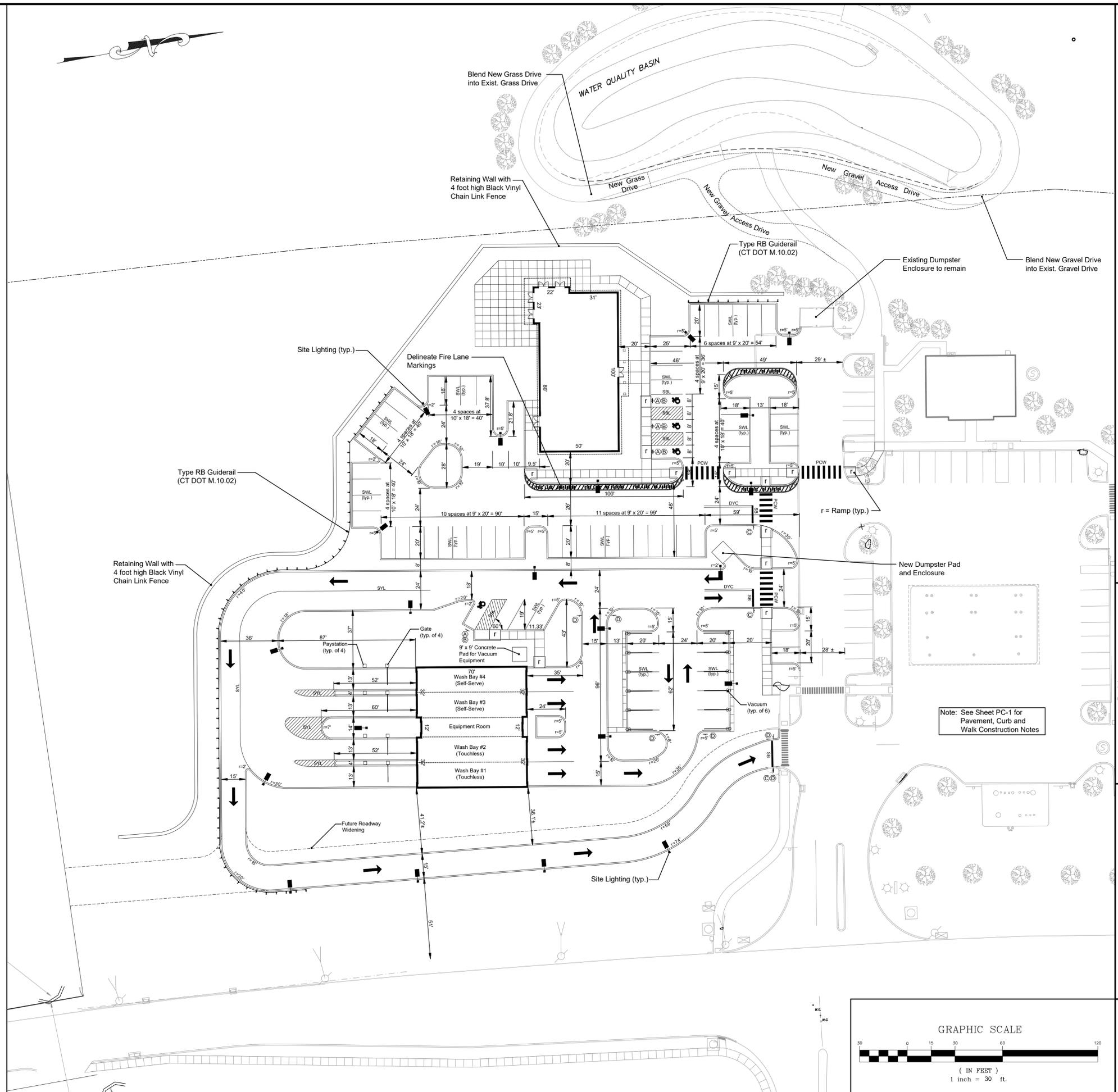
SIGNAGE AND PAVEMENT MARKING NOTES

1. Stop bars (SB) shall be painted with white traffic paint (12 inches wide)
2. All standard parking stalls and centerlines shall be painted with white traffic paint (4 inches wide).
3. Traffic control arrows shall be painted with white traffic paint.
4. All accessible parking stalls, aisles and symbols of accessibility shall be painted with blue traffic paint (4 inches wide).
5. Centerlines shall be painted with yellow traffic paint and shall consist of double lines (4 inches wide)
6. Fire lanes and other areas of parking prohibition shall be painted with yellow traffic paint (4 inches wide)
7. All on-site traffic paint shall conform to CT DOT Form 818, Article M.07
8. All pavement markings and signs shall conform to "Manual On Uniform Traffic Control Devices", "Standard Alphabets For Highway Signs And Pavement Markings", CT DOT 818, State Building Code and ADA Requirements and as shown on the details
9. Sign catalog numbers obtained from "Connecticut Department of Transportation, Bureau of Engineering and Highway Operations, Catalog of Signs", July 2019. Contractor to confirm sign types prior to installation.
10. Install additional fire lane markings and signage as directed by the Ellington Fire Department Officials.

PAVEMENT MARKING LEGEND

Symbol	Type
SWL	Painted Single White Line
SBL	Painted Single Blue Line
DYC	Painted Double Yellow Line
SB	Painted White Stop Bar
SYL	Painted Single Yellow Line
PCW	Painted Crosswalk

Note:
See sheet PC-1 for Pavement and Curb Types.



No.	Date	Description
1	07-14-2021	Fire Marshal Comments
2	07-22-2021	Town Comments/Arch. Coord.

REVISIONS:
LAYOUT PLAN
PREPARED FOR
BIG Y - PHASE 2
WEST ROAD
ELLINGTON, CONNECTICUT
Date: 06-25-2021 Drawn by: KLL Job no: 18108
Checked by: GAH Sheet no: 3 OF 22
Scale: 1" = 30'
C:\2018\18108 - Big Y West Road Ellington\Carwash\Submittal 2021-07-22\CAR LA 2021-07-22.dwg, LA-1, Jun. 23, 2021 10:13:26 AM

LA-1

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Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

LANDSCAPE NOTES

- All plants shall meet or exceed the specifications of Federal, State and County laws requiring inspection for plant disease and insect control.
- Plant material shall conform with the "American Standard for Nursery Stock" by the American Association of Nurserymen, Inc. (ANSI Z60.1-2004).
- All plants shall be certified true to name by the nursery source. Plant names shall be in accordance with "Hortis Third" (1976) by the staff of the Liberty Hyde Bailey Hortorium, Cornell University. One plant from each species shall be tagged with name and size of the plant in accordance with the standards of practice of the American Association of Nurserymen. Botanical names shall take precedence over common names.
- Plant material shall be typical of their species and/or variety, with a normal habit of growth, sound, healthy and vigorous. They shall be well branched and densely foliated when in leaf, free of disease, insect pest, eggs or larvae. They shall have healthy well-developed root systems. All trees shall have straight single trunks with their main leader intact unless otherwise noted or approved.
- All landscaped areas to have 2" shredded bark mulch (color: black) over weed control fabric. No weed control fabric in areas of groundcover or perennial plantings.
- Provide protective covering of plant material during delivery and storage. Root balls shall not be cracked or broken. Do not prune plants prior to delivery. Remove unacceptable plant material immediately from the job site.
- Plant locations on the Drawings are approximate and are to be used only as a guide. Contractor shall provide all field engineering services to accurately stake out locations for all plants prior to installation. Do not begin excavation until Project Landscape Architect has approved specific layout.
- If requested by Project Landscape Architect, stake and guy each tree as shown on the applicable Drawings immediately after planting. Keep trees plumb and taut.
- If requested by Project Landscape Architect, wrap the trunks of all trees spirally from the ground line to above the lowest main branch.
- Perform all cultural care necessary to properly maintain plant viability and keep planted areas in a neat and orderly condition, including but not limited to:
 - Watering
 - Weed removal
 - Apply lime or sulphur to adjust soil pH to specific plant requirements
 - Restore or reshape earth saucers
 - Pruning
 - Adjust and tighten tree supports to maintain plants at their proper grades and vertical position
 - Replace mulch to maintain proper depth
- All planted and lawn areas within development area (building and parking areas) to receive an automatic, mechanical irrigation system.
- A minimum of 4 inches of topsoil shall be placed on all areas of disturbance to be reseeded.
- Provide Lawn Edging between all mulch beds and lawn areas.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

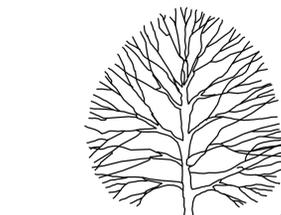
WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



MULCH RING: 1800 MM (6 FT.) DIAM. MIN. 2400 MM (8 FT.) DIAM. PREFERRED

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

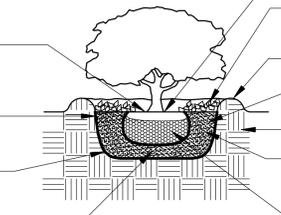
FACE SHRUB TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF SHRUB PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF SHRUB IS SHIPPED IN A CONTAINER, REMOVE CONTAINER AND CAREFULLY LOOSEN ROOT MASS

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

MULCH RING: 1800 MM (6 FT.) DIAM. MIN. 2400 MM (8 FT.) DIAM. PREFERRED

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

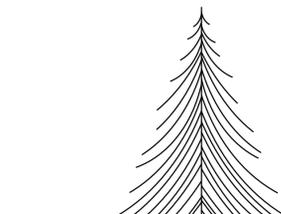
100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.



50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.

LANDSCAPE SCHEDULE - PHASE 1

Shade Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root
AFA	<i>Acer x freemanii</i> 'Armstrong'	Armstrong Maple	3	3 to 3 1/2 inch caliper	Balled and Burlapped
ARO	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	2	3 to 3 1/2 inch caliper	Balled and Burlapped
ARR	<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	3	3 to 3 1/2 inch caliper	Balled and Burlapped
ASG	<i>Acer saccharum</i> 'Green Mountain'	Green Mountain Sugar Maple	1	3 to 3 1/2 inch caliper	Balled and Burlapped
AXA	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	4	3 to 3 1/2 inch caliper	Balled and Burlapped
GSK	<i>Gleditsia triacanthos inermis</i> 'Skyline'	Skyline Thornless Honeylocust	4	3 to 3 1/2 inch caliper	Balled and Burlapped
GTS	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust	9	3 to 3 1/2 inch caliper	Balled and Burlapped
PAB	<i>Plantanus x acerifolia</i> 'Bloodgood'	Bloodgood Planetree	14	3 to 3 1/2 inch caliper	Balled and Burlapped
TAR	<i>Tilia americana</i> 'Redmond'	Redmond American Linden	2	3 to 3 1/2 inch caliper	Balled and Burlapped
UAV	<i>Ulmus americana</i> 'Valley Forge'	Valley Forge American Elm	8	3 to 3 1/2 inch caliper	Balled and Burlapped

Flowering Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root
CCF	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	3	2 1/2 to 3 inch caliper	Balled and Burlapped
MPF	<i>Malus x 'Prairiefire'</i>	Prairiefire Flowering Crabapple	3	2 1/2 to 3 inch caliper	Balled and Burlapped

Evergreen Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root
AC	<i>Abies concolor</i>	White Fir	17	6 to 7 foot height	Balled and Burlapped
PG	<i>Picea glauca</i>	White Spruce	16	6 to 7 foot height	Balled and Burlapped
PO	<i>Picea omorika</i>	Serbian Spruce	9	6 to 7 foot height	Balled and Burlapped
TOM	<i>Thuja occidentalis</i> 'Mission'	Mission Arborvitae	13	6 to 7 foot height	Balled and Burlapped
TOS	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	12	6 to 7 foot height	Balled and Burlapped
TOS2	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	37	8 to 10 foot height	Balled and Burlapped

Deciduous Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root
CAH	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	24	24 to 30 inch height	#3 Container
POC	<i>Physocarpus opulifolius</i> 'Coppertina'	Coppertina Eastern Ninebark	12	24 to 30 inch height	#3 Container
POT	<i>Physocarpus opulifolius</i> 'Tiny Wine'	Tiny Wine Ninebark	32	24 to 30 inch height	#3 Container

Evergreen Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root
JPK	<i>Juniperus x pfitzeriana</i> 'Kallay's Compact'	Kallay's Compact Juniper	15	24 to 30 inch spread	#3 Container
JPS	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Sea Green Juniper	21	24 to 30 inch spread	#3 Container
TCC	<i>Taxus cuspidata</i> 'Capitata'	Upright Yew	8	4 to 5 foot height	Balled and Burlapped
TMD	<i>Taxus x media</i> 'Densifolius'	Dense Spreading Yew	37	24 to 30 inch height	#5 Container
TMH	<i>Taxus x media</i> 'Hicksi'	Hick's Upright Yew	8	3 to 3.5 foot height	#7 Container

Broadleaf Evergreen Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root
RPJ	<i>Rhododendron</i> 'P.J.M.'	P.J.M. Rhododendron	13	24 to 30 inch height	#3 Container

Perennials and Groundcovers

Symbol	Botanical Name	Common Name	Quantity	Size	Root
HHR	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	750	10 to 12 inch height	#1 Container

SEED TYPES

Seed Type A

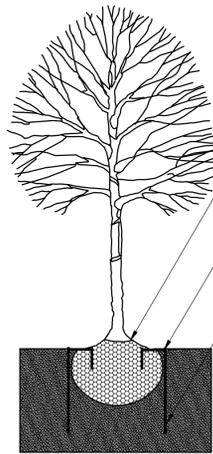
Sun & Shade Mixture
By: Jonathan Green or approved equal
Seed rate: 25 pounds per 9,375 square feet

- 20% Darkstar II Perennial Ryegrass
- 20% Carmen Chewings Fescue
- 15% Deepblue Kentucky Bluegrass
- 15% Eugene Creeping Red Fescue
- 15% Yorkshire Dales Perennial Ryegrass
- 15% Salisbury Chewings Fescue

Seed Type B

New England Erosion Control / Restoration Mix
By: New England Wetland Plants, Inc. or approved equal
Seed rate: 35 pounds per Acre

- Switchgrass (*Panicum virgatum*), Virginia Wild Rye (*Elymus virginicus*), Creeping Red Fescue (*Festuca rubra*), Fox Sedge (*Carex vulpinoidea*), Creeping Bentgrass (*Agrostis stolonifera*), Silky Wild Rye (*Elymus villosus*), Partridge Pea (*Chamaecrista fasciculata*), Soft Rush (*Juncus effusus*), Flat-top Aster (*Aster umbellatus*), Nodding Bur-mangold (*Bidens cernua*), Joe-pye Weed (*Eupatorium maculatum*), Boneset (*Eupatorium perfoliatum*), Grass-leaved Goldenrod (*Solidago graminifolia*), Grey Goldenrod (*Solidago nemoralis*)



AT INITIAL INSTALLATION, LEAVE BURLAP AND ANY TWINE INTACT. AFTER INSTALLATION, CUT BACK BURLAP, LEAVING MATERIAL UNDER CROSSBARS.

RECESS TREE STAPLE DEVICE 1" TO 2" INTO ROOT BALL

'TREE STAPLE' BELOW-GRADE STABILIZING SYSTEM (BY 'TREE STAPLE' OR EQUAL):

- 1" TO 2" CALIPER TREES - MODEL #TS24
2 STAPLES WITH UP TO A 16" ROOT BALL
- 2" TO 4" CALIPER TREES - MODEL #TS36
2 STAPLES WITH A 24" ROOT BALL
- 4" TO 6" CALIPER TREES - MODEL #TS42
2-3 STAPLES WITH A 30"+ ROOT BALL
- 6" TO 8" CALIPER TREES - MODEL #TS48
2-3 STAPLES WITH A 36"+ ROOT BALL

TREE STAKING DETAIL

N.T.S.

SHRUB PLANTING DETAIL

N.T.S.

B&B TREE PLANTING DETAIL

N.T.S.

EVERGREEN B&B TREE PLANTING DETAIL

N.T.S.

No.	Date	Description
1	07-22-2021	Town Comments/Arch. Coord.

LANDSCAPE PLAN PREPARED FOR
BIG Y - PHASE 2
WEST ROAD
ELLINGTON, CONNECTICUT

Date: 06-25-2021
Scale: NO SCALE
Job no: 18108
Drawn by: KLL
Checked by: GAH
Sheet no: 5 OF 22

LS-2

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FAH
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

GENERAL GRADING NOTES:

1. SET/RAISE FRAMES OF ALL MANHOLES, CATCH BASINS, GAS AND WATER GATES, HAND HOLES, METER BOXES, AND ALL OTHER UTILITY APPURTENANCES TO MATCH PROPOSED FINISH GRADE.
2. MILL AND SAW CUT EXISTING PAVEMENT ALONG LIMITS OF WORK. CONSTRUCT APPROPRIATE PAVEMENT MATCH TREATMENT (CONCRETE OR BITUMINOUS). BLEND ALL NEW WORK TO MATCH EXISTING.
3. GRADE ALL AREAS TO PRECLUDE PONDING.
4. GRADE TRANSITIONS TO ROADWAYS TO MAINTAIN GUTTER FLOW AND PRECLUDE PONDING.

DRAINAGE SYSTEM NOTES:

1. CPE = CORRUGATED POLYETHYLENE PIPE CONFORMING TO CT DOT FORM 818, M.08.01-18, TYPE S.
2. RCSES = REINFORCED CONCRETE CULVERT END CONFORMING TO CT DOT FORM 818, M.08.01-11
3. CATCH BASINS AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CT DOT FORM 818, M.08.02 AND TOWN OF ELLINGTON ENGINEERING STANDARDS, AS APPLICABLE.
4. CONNECT ALL ROOF LEADERS TO STORM DRAIN SYSTEMS AS SHOWN. COORDINATE DOWNSPOUT LOCATIONS WITH PROJECTS ARCHITECT.
5. YARD DRAINS SHALL BE NYLOPLAST DRAIN BASINS AND INLINE DRAINS, OR ENGINEER-APPROVED EQUAL. GRATES AND STRUCTURES SHALL BE H-10-LOAD RATED. GRATES SHALL BE PEDESTRIAN FRIENDLY. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS TO DEMONSTRATE SUBSTANTIAL COMPLIANCE WITH DESIGNS DEPICTED ON THE GRADING AND DRAINAGE PLAN.
6. READILY AVAILABLE INFORMATION. NOT ALL UTILITIES MAY BE SHOWN, AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION OF UTILITIES. CONDUCT TEST PITS AT ALL UTILITY CROSSINGS AND POINT OF CONNECTIONS WITH EXISTING UTILITIES. NOTIFY DESIGN ENGINEER OF POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE.
7. CONTACT "CALL BEFORE YOU DIG" AT CALLING 1-800-922-4455 TO MARK THE LOCATION OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION.
8. ALL MATERIALS AND INSTALLATION PER TOWN OF ELLINGTON, CT DOT FORM 818, OR CUSTODIAL UTILITY COMPANY SPECIFICATION, AS APPROPRIATE.

LEGEND

- = PROPOSED CATCH BASIN
- = PROPOSED SANITARY MANHOLE
- = PROPOSED DRAINAGE MANHOLE
- = PROPOSED FLARED END SECTION
- = PROPOSED STORM DRAIN CULVERT
- = PROPOSED ROOF LEADER
- = PROPOSED SPOT GRADE
- = PROPOSED CONTOUR
- = PROPOSED DRAINAGE DIVIDE
- T.W.=2XX.0
B.W.=2XX.0 = TOP AND BOTTOM OF WALL ELEVATIONS

DRAINAGE EASEMENT AND RIGHTS TO DISCHARGE IN FAVOR OF THE STATE OF CONNECTICUT (VOL. 360 PG. 751)

INV. 3' x 5' CONC. CULVERT 238.94'

180'-15" CPE
S=0.0050

C.B.13 -TYPE 'C'
T.F.=248.09
F.L.=244.46

1,000 GALLON OIL WATER SEPARATOR
T.F.=251.74(N)
T.F.=251.86(S)
(TYP. OF 4)

2,000 GALLON CONCRETE BACKWASH TANK
T.F.=251.33-S
T.F.=251.14-N

SAN. M.H.
T.F.=250.93

REMOVE/REPLACE SIDEWALK TO FACILITATE CONSTRUCTION OF STORM DRAIN (SAW CUT AT EXIST. JOINTS)

2,000 GALLON CONCRETE PROCESS TANK
T.F.=251.22

C.B.14 -TYPE 'C'
T.F.=248.84
F.L.=242.76

C.B.18 -TYPE 'C'
T.F.=248.33
F.L.=245.33

8'-12" CPE
S=0.010 @ 245.75-6" C.P.E.

66'-15" CPE
S=0.0050 @ 242.02-18" C.P.E. @ 245.73-6" C.P.E.

C.B.16 -TYPE 'C'
T.F.=248.74
F.L.=245.25-12" C'
F.L.=244.08-15" C'

52'-15" CPE
S=0.010

DM.H. #9A
T.F.=249.49
F.L.=243.23

64'-15" CPE
S=0.010

REGRADE AND RECONSTRUCT GRAVEL ACCESS DRIVE BLEND INTO EXIST. GRAVEL DRIVE AROUND BASIN

REGRADE WATER QUALITY BASIN AS SHOWN

RCSES
F.L.=230.0±

BLEND TO MATCH EXIST. GRADE (TYP. BOTH SIDES)

GRASS DRIVE

58'-12" PVC
S=0.010

F.L.=230.49 @ WALL

Y.D. 20A - 12" DRAIN BASIN
T.F.=250.50
F.L.=245.23"-8"
F.L.=230.56"-12"

82'-8" CPE
S=0.020

Y.D. 20B - 12" DRAIN BASIN
T.F.=250.50
F.L.=246.87"-8"

RURAL AGRICULTURAL RESIDENTIAL ZONE
PLANNED COMMERCIAL ZONE

62'-8" CPE
S=0.020

Y.D. 20C - 12" INLINE BASIN
T.F.=250.50
F.L.=248.11"-8"

T.W.=251.0
B.W.=232.5

T.W.=250.0
B.W.=233.5

196'-15" CPE
S=0.0050

C.B.17 -TYPE 'C'
T.F.=248.35
F.L.=245.06-15"
F.L.=245.31-12"

8'-12" CPE
S=0.0050

C.B.19 -TYPE 'C'
T.F.=248.35
F.L.=245.35

2,000 GALLON FILTERED WATER STORAGE TANK
T.F.=251.22

C.B.13A -TYPE 'C'
T.F.=248.63
F.L.=245.36

T.W.=250.0
B.W.=239.0

T.W.=250.0
B.W.=241.0

T.W.=244.0
B.W.=239.0

BUILDING #4
F.F.=252.00

BUILDING #3
F.F.=252.00

2,500 GALLON GREASE TRAP
T.F.=250.52(W)
T.F.=250.32(E)

66'-15" CPE
S=0.0050 @ 242.02-18" C.P.E. @ 245.73-6" C.P.E.

8'-12" CPE
S=0.010 @ 245.75-6" C.P.E.

C.B.18 -TYPE 'C'
T.F.=248.33
F.L.=245.33

REPLACE TOP WITH NEW TYPE 'CL' FRAME AND GRATE
T.F.=249.10
F.L.=242.52 (S)

48'-12" CPE
S=0.0050

C.B.14 -TYPE 'C'
T.F.=248.84
F.L.=242.76

2,000 GALLON CONCRETE PROCESS TANK
T.F.=251.22

T.F.=248.32
F.L.=243.40 (S)

REMOVE/REPLACE SIDEWALK TO FACILITATE CONSTRUCTION OF STORM DRAIN (SAW CUT AT EXIST. JOINTS)

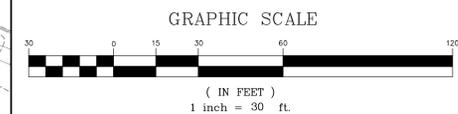
2,000 GALLON CONCRETE BACKWASH TANK
T.F.=251.33-S
T.F.=251.14-N

SAN. M.H.
T.F.=250.93

2,000 GALLON CONCRETE BACKWASH TANK
T.F.=251.33-S
T.F.=251.14-N

WEST ROAD (CONNECTICUT ROUTE 83)

TRENCH REPAIR PER CT DOT



GRADING AND DRAINAGE PLAN
PREPARED FOR
BIG Y - PHASE 2
WEST ROAD

ELLINGTON, CONNECTICUT
Date: 06-25-2021 Drawn by: DRT Job no: 18108
Scale: 1"=30' Checked by: GAH Sheet no: 7 OF 22

GR-1

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 644-8600
www.fahsketh.com



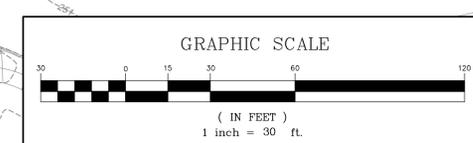
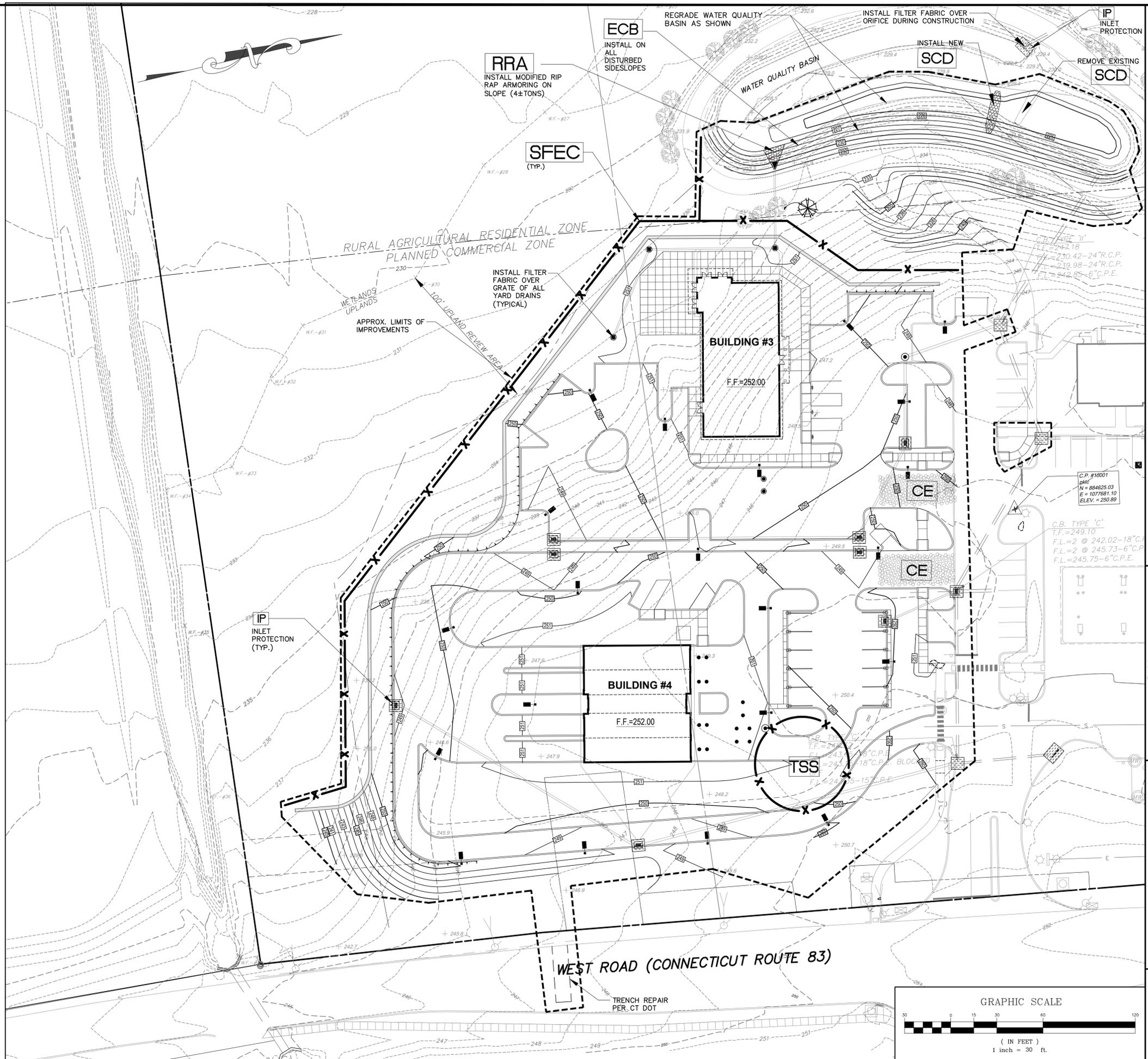
No.	Date	Description	Revisions:
1	07-22-2021	Town Comments/Arch. Coord.	

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH AN APPROVED "EROSION AND SEDIMENT CONTROL PLAN" TO PREVENT OR MINIMIZE SOIL EROSION.
- THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR. TOWN OFFICIALS SHALL BE NOTIFIED IN WRITING OF THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR THIS WORK (INCLUDING ANY CHANGES) AT THE REQUIRED PRE-CONSTRUCTION CONFERENCE.
- THE CONTRACTOR SHALL USE THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002), AS AMENDED AS A GUIDE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS. THE GUIDELINES MAY BE OBTAINED FROM THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION STORE, 79 ELM STREET, HARTFORD, CT 06106.
- THE CONTRACTOR SHALL SCHEDULE ALL OPERATIONS TO LIMIT DISTURBANCE TO THE SMALLEST PRACTICAL AREA FOR THE SHORTEST POSSIBLE TIME. OVERALL SITE DISTURBANCE SHALL BE CONFINED TO THOSE LIMITS DELINEATED ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY INSTALLATION, INSPECTION, REPAIR OR REPLACEMENT OF EROSION CONTROL DEVICES TO INSURE PROPER OPERATION.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF UNSATISFACTORY EROSION CONDITIONS NOT CONTROLLED BY THE EROSION AND SEDIMENT CONTROL PLAN AND SHALL INSTALL ADDITIONAL MEASURES AS REQUIRED.
- ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVEMENT, MULCH, PERMANENT RIP RAP EROSION CONTROL, OR GROUND COVER PLANTINGS SHALL BE PLANTED WITH GRASS.
- ACCUMULATED SEDIMENT REMOVED FROM EROSION CONTROL DEVICES IS TO BE SPREAD AND STABILIZED IN LEVEL, EROSION RESISTANT LOCATIONS AS GENERAL FILL.
- SPECIAL ATTENTION SHALL BE GIVEN TO THE CONSTRUCTION SEQUENCE AND PHASING OUTLINED ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY CONSTRUCTION DEBRIS OR SEDIMENT FROM EXISTING ROADS AS ORDERED BY THE TOWN AND/OR STATE, IF ANY DEBRIS OR SEDIMENT FROM CONSTRUCTION ACTIVITIES ENTER ONTO THESE ROADWAYS.
- ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OR STATE STAFF DURING CONSTRUCTION SHALL BE IMPLEMENTED BY THE CONTRACTOR. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND/OR REPLACEMENT OF ALL REQUIRED CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF THE TOWN OR STATE.
- SEE SHEET SD-1 AND NT-1 FOR ADDITIONAL DETAILS AND NOTES.
- IN AREAS WHERE LIMITS OF DISTURBANCE ARE NOT DELINEATED BY SILT FENCE, INSTALL CONSTRUCTION FENCE FOR TREE PROTECTION AND DELINEATION OF LIMIT OF DISTURBANCE.

LEGEND

- = PROPOSED CATCH BASIN
- = PROPOSED SANITARY MANHOLE
- = PROPOSED DRAINAGE MANHOLE
- = PROPOSED FLARED END SECTION
- = PROPOSED STORM DRAIN CULVERT
- = PROPOSED ROOF LEADER
- = PROPOSED SPOT GRADE
- = PROPOSED CONTOUR
- = PROPOSED CONSTRUCTION EXIT (CE)
- = PROPOSED CATCH BASIN INLET PROTECTION (IP)
- = PROPOSED SEDIMENT FENCE EROSION CONTROL (SFEC)
- = APPROXIMATE LIMITS OF IMPROVEMENTS
- = TEMPORARY SOIL STOCKPILE (TSS)
- = PROPOSED INLET PROTECTION (IP)
- = PROPOSED CONSTRUCTION ENTRANCE (CE)
- = PROPOSED RIP RAP ARMORING (RRA)
- = PROPOSED TEMPORARY SOIL STOCKPILE (TSS)
- = PROPOSED SILT FENCE EROSION CONTROL (SFEC)
- = PROPOSED EROSION CONTROL BLANKET (ECB)



SOIL EROSION AND SEDIMENT CONTROL PLAN	
No.	Date
1	07-22-2021

BIG Y - PHASE 2	
WEST ROAD	
ELLINGTON, CONNECTICUT	
Date: 06-25-2021	Job no: 18108
Drawn by: ERN	Checked by: GAH
Scale: 1"=30'	Sheet no: 8 OF 22

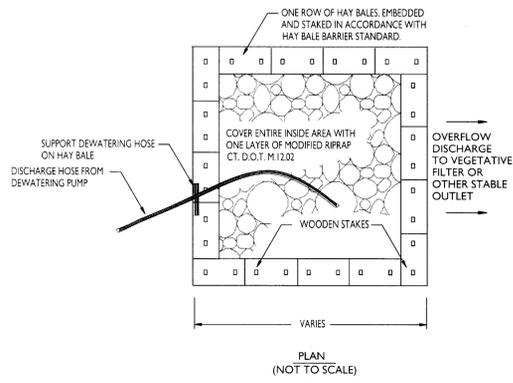
REVISIONS:	
No.	Description
1	07-22-2021 Town Comments/Arch. Coord.

FAH

F. A. Hesketh & Associates, Inc.
 3 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 844-8600
 www.fahhsketh.com mail@fahhsketh.com

Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

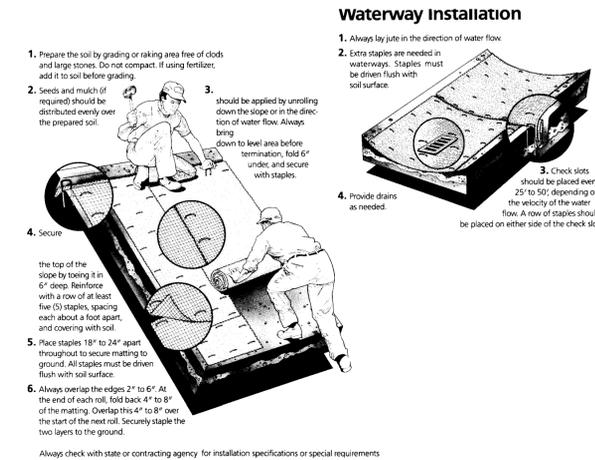
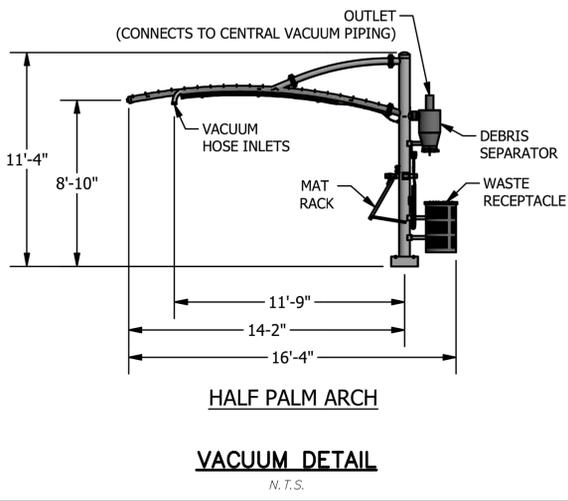
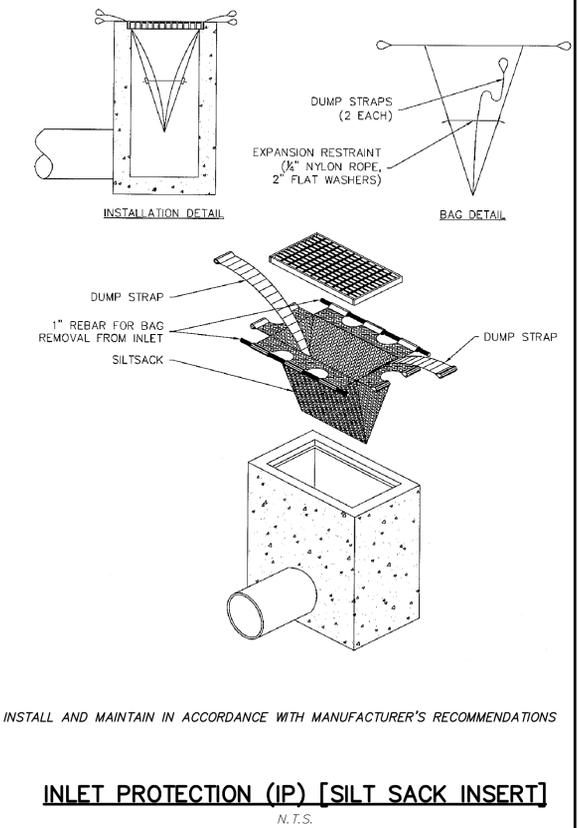
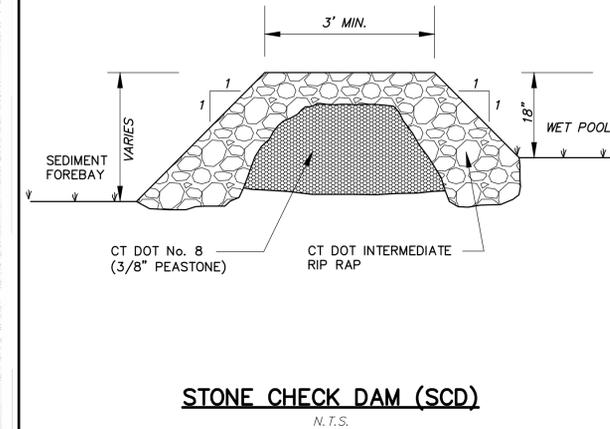
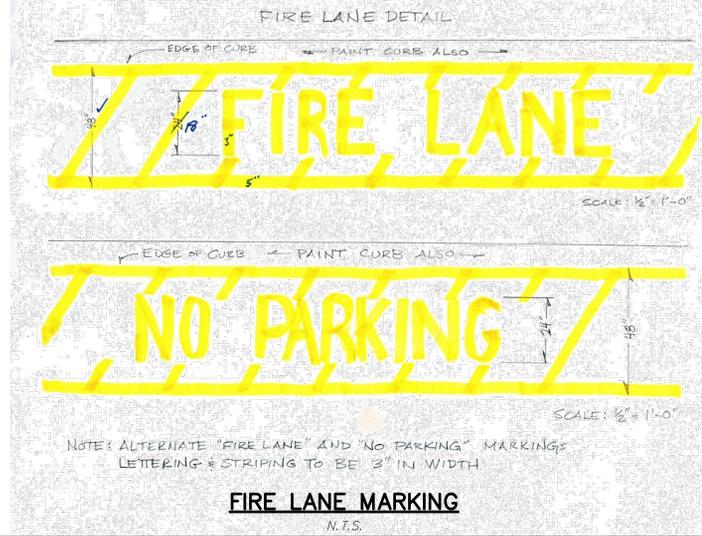
Figure PSB-1 Example of Type I Pumping Settling Basin



DE-WATERING SETTLING BASIN

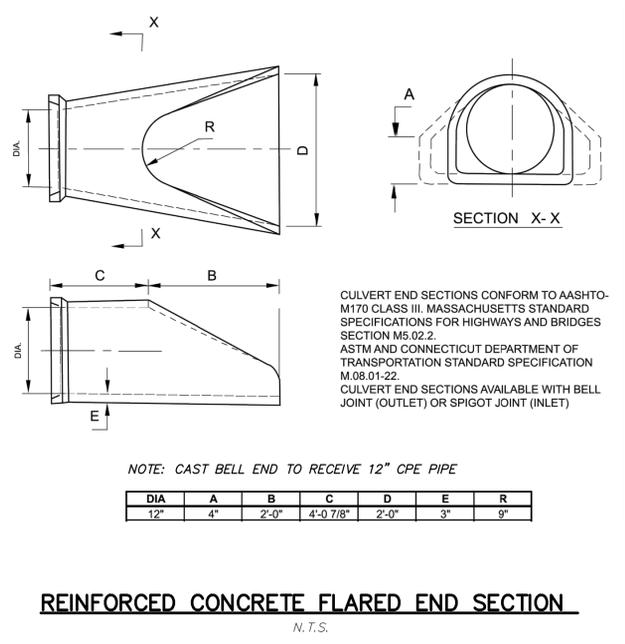
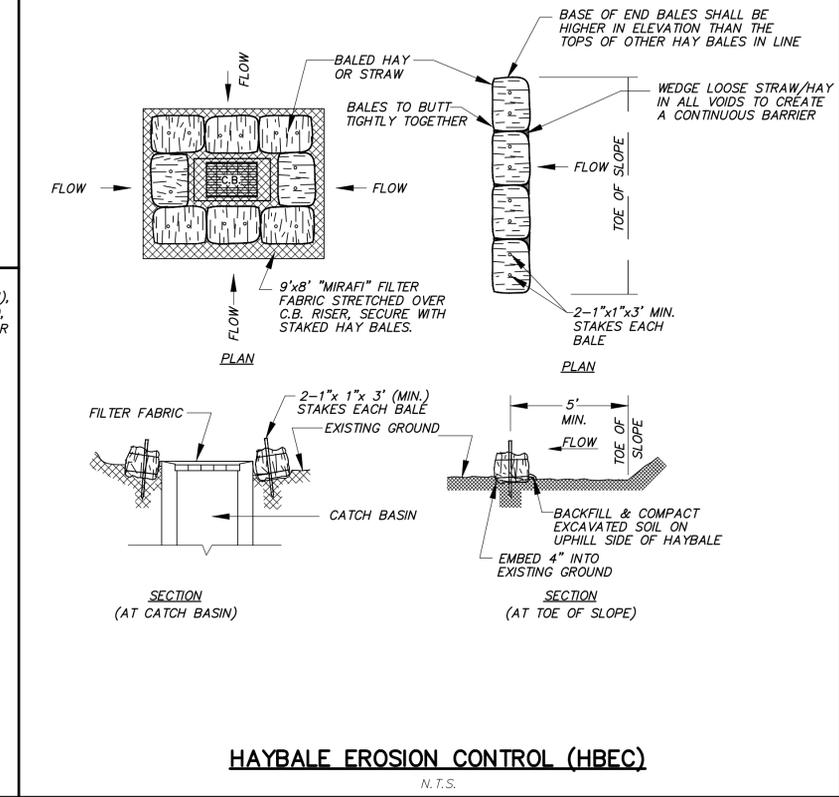
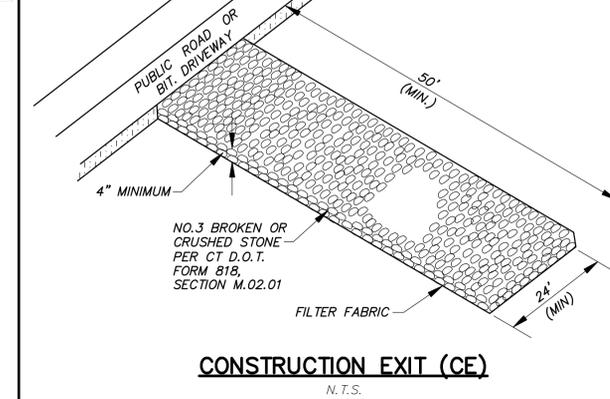
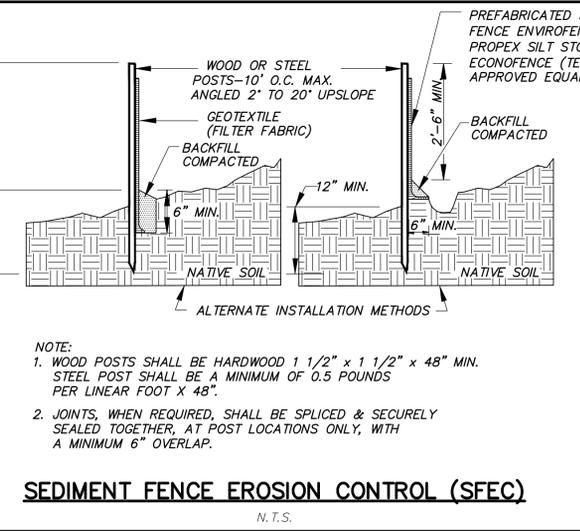
N.T.S.

Source: USDA-NRCS



Property	Results	Staples	Type
Fabric structure	Woven	11 gauge 6"	Regular
Yarn	Jute, undyed and unbleached	8 gauge 6"	Regular
Fabric width	48"	8 gauge 8"	Regular
Weight	92 lbs./yd ²		Typical usage: Approximately 200 staples per roll.
Yarn count/Warp	78 per width, minimum		
Warp	42 per linear yard, minimum		Available in regular and smolder resistant treated rolls. (Call or write for current product data sheet on smolder resistant fabric)
Water Absorption	>450% of fabric weight		
Open Area	60-65%		
Durability	1-2 years		
Coverage	approximately 50 rolls per acre (using 100 yd ² rolls)		

Width x length	Type	Sq. Yards	Weight
48" x 225'	Regular	100	93 lbs.
48" x 225'	Smolder-resistant	100	97 lbs.
48" x 147'	LPS side roll	65	60 lbs.



No.	Date	Description	Town	Comments	Arch.	Coord.
1	07-22-2021					

Revisions:

1 07-22-2021

NO. DATE DESCRIPTION TOWN COMMENTS ARCH. COORD.

1 07-22-2021

NO. DATE DESCRIPTION TOWN COMMENTS ARCH. COORD.

SITE DETAILS

PREPARED FOR

BIG Y - PHASE 2

WEST ROAD

ELLINGTON, CONNECTICUT

Job no: 18108

Drawn by: ERN

Checked by: GAH

Sheet no: 10 OF 22

Date: 06-25-2021

Scale: N.T.S.

Submitted: 2021-07-22

DATE SD: 2021-07-22

dwg. SD-1, July 23, 2021 - 10:31:28 AM

SD-1

F.A. Hesketh & Associates, Inc.

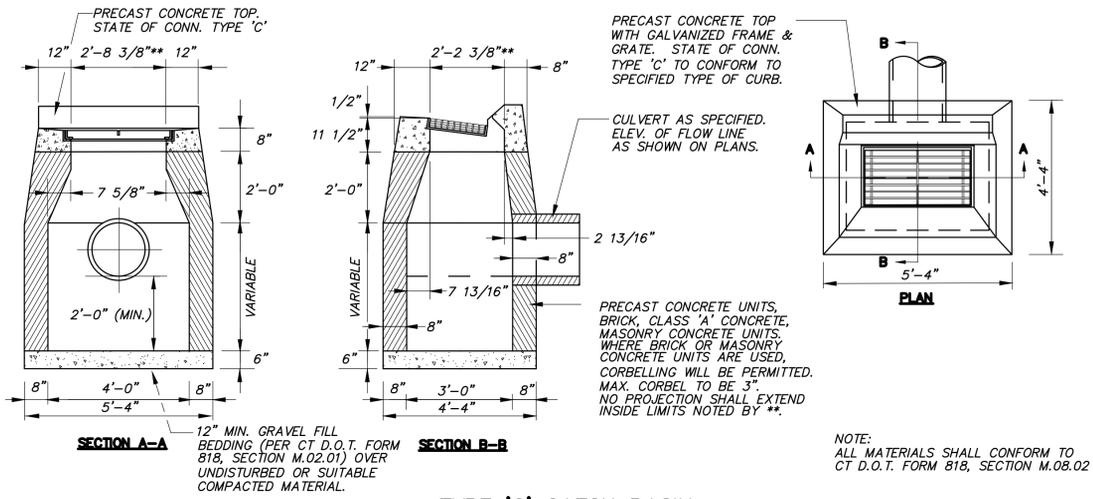
3 Creamery Brook, East Granby, CT 06026

Phone (860) 653-8000 Fax (860) 844-8600

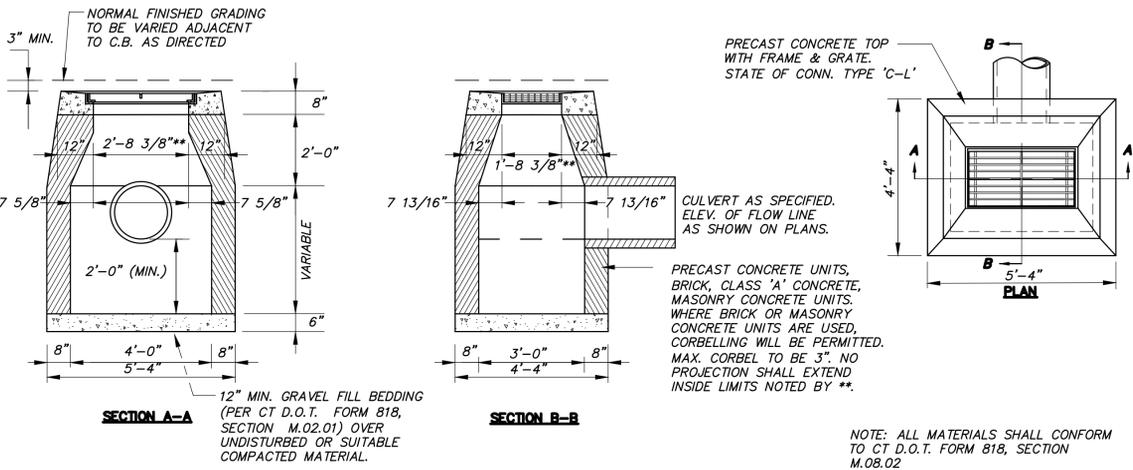
www.fahsketh.com mail@fahsketh.com

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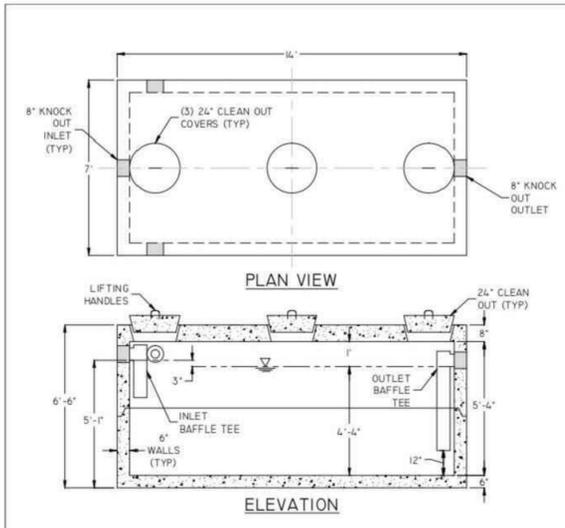




TYPE 'C' CATCH BASIN
N.T.S.



TYPE 'C-L' CATCH BASIN
N.T.S.



ARROW
Concrete Products
www.arrow-concrete.com

6' x 13' x 5'-4' ID
2,500 GALLON
GREASE TRAP

2500 - GT

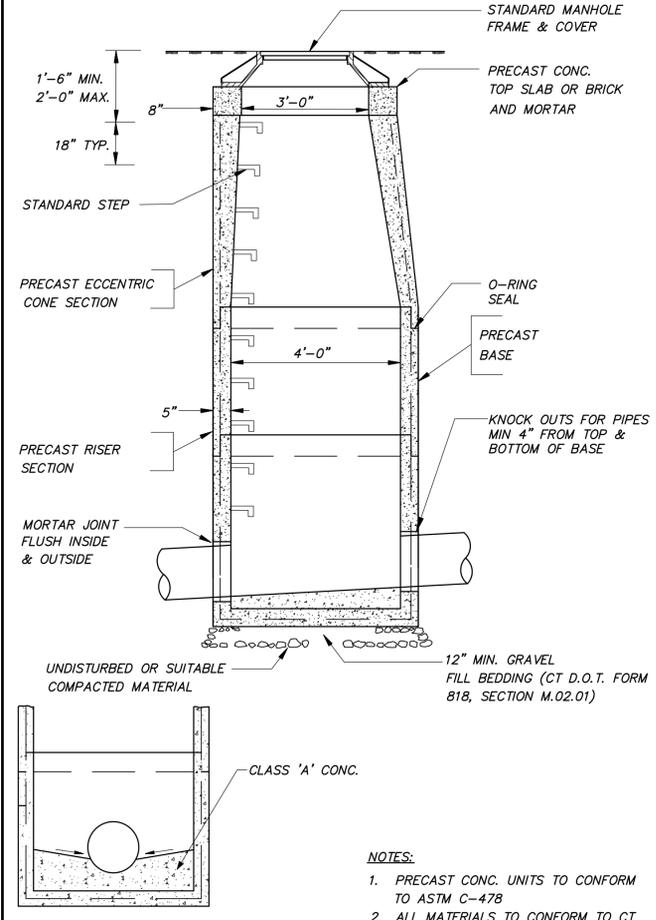
539 DRONOLIE ROAD
MILFORD, CONNECTICUT
(203) 301-5091

540 SALMON BROOK STREET
GRANBY, CT 06035
(860) 653-5065

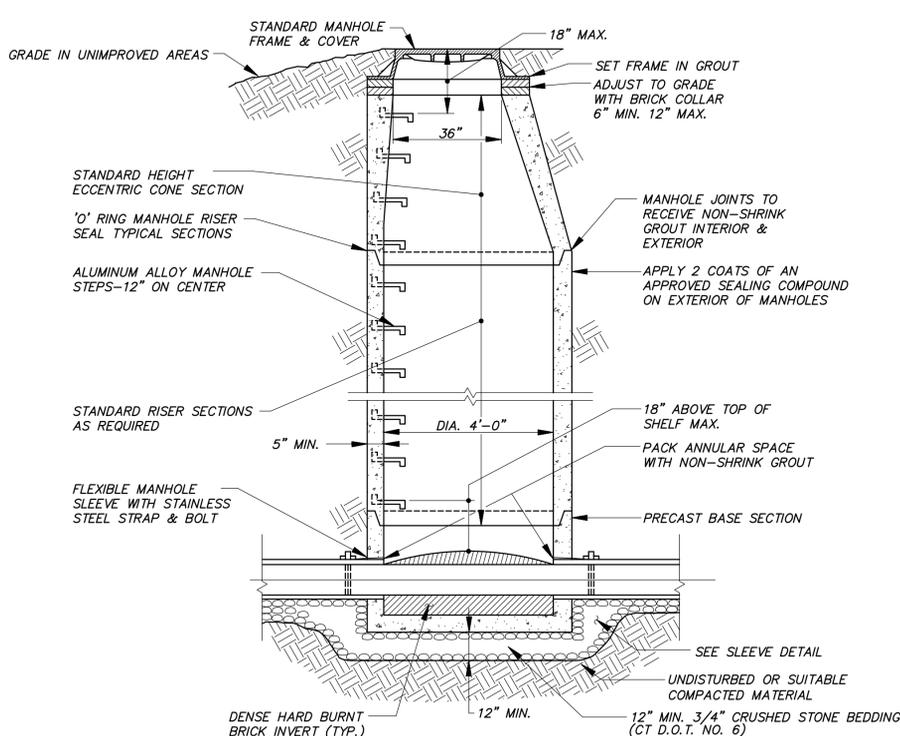
21 VERGASON AVENUE
NORWICH, CONNECTICUT
(860) 889-2213

SCALE: N.T.S.
DATE: 11/30/11
DRAWN: JFW
DWS #

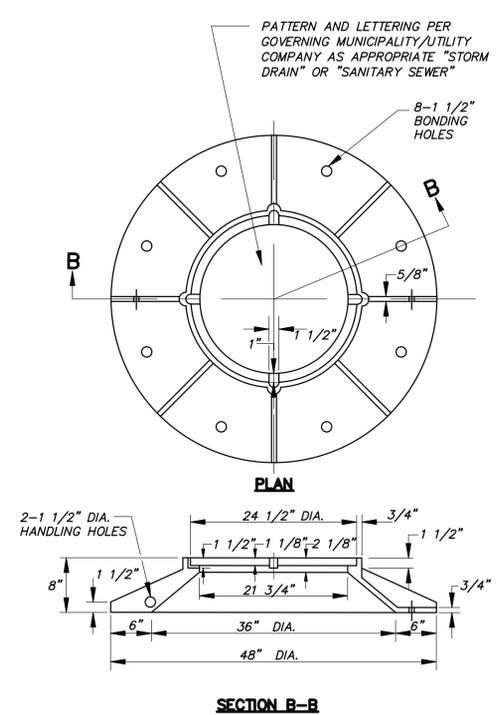
OUTSIDE GREASE SEPARATOR FOR KITCHEN WASTE LINES
N.T.S.



STORM SEWER MANHOLE
N.T.S.



SANITARY MANHOLE WITH PRECAST BASE
N.T.S.



STANDARD FRAME & COVER
N.T.S.

Revisions:

No.	Date	Description
1	07-22-2021	Town Comments/Arch. Coord.

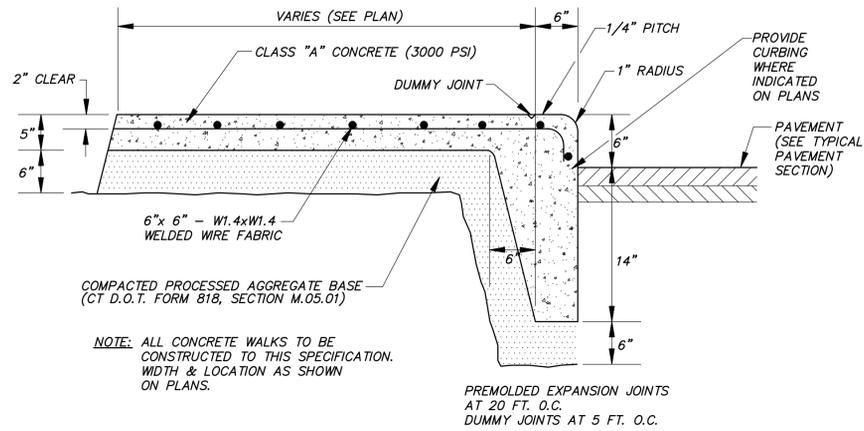
SITE DETAILS
PREPARED FOR
BIG Y - PHASE 2
WEST ROAD
ELLINGTON, CONNECTICUT

Date: 06-25-2021
Drawn by: ERN
Checked by: GAH
Job no: 18108
Sheet no: 11 OF 22

SD-2

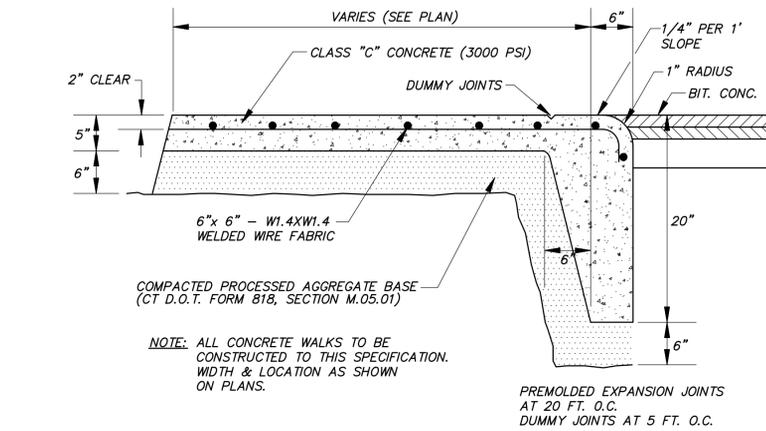
F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
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Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects





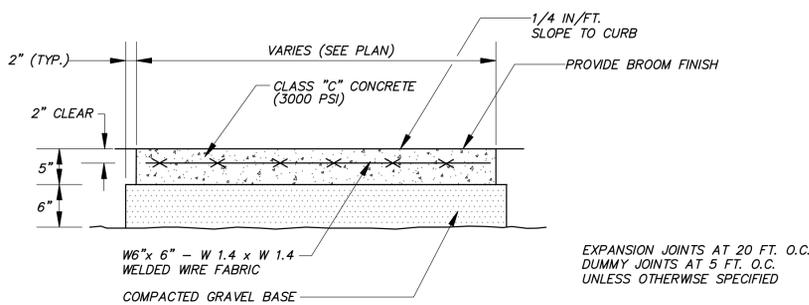
CONCRETE SIDEWALK & CURB

N.T.S.



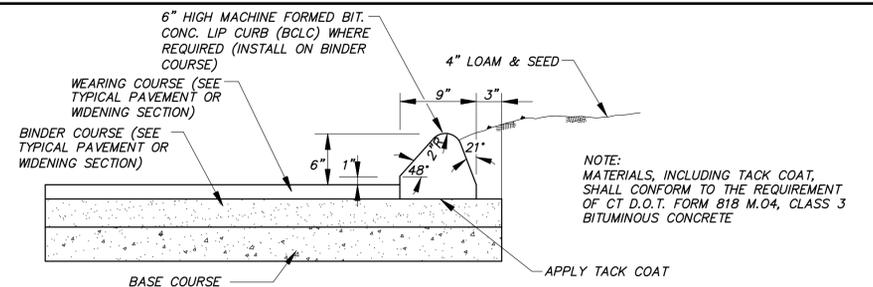
CONCRETE SIDEWALK & FLUSH CURB

N.T.S.



CONCRETE SIDEWALK

N.T.S.

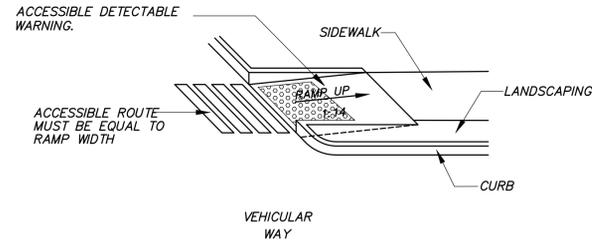
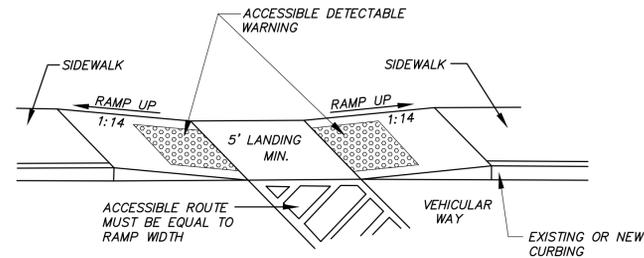


BITUMINOUS CONCRETE LIP CURBING (BCLC)

N.T.S.

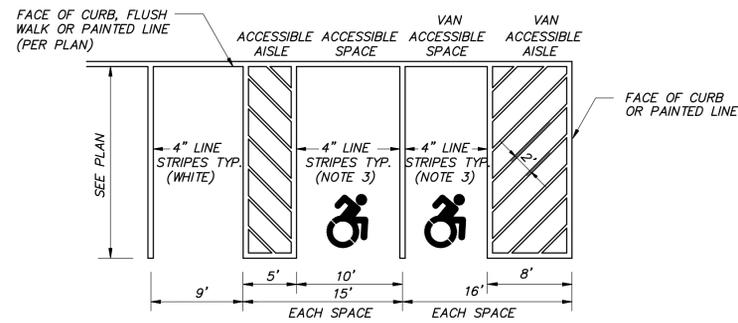
NOTES:

1. CT DOT CLASS 'C' CONCRETE.
2. ALL ACCESSIBLE RAMPS TO RECEIVE BROOM FINISH 90° TO THE SLOPE OF THE RAMP.
3. IF CURRENT BUILDING CODE REQUIRES ALTERNATE DESIGN, CONSTRUCT RAMP TO MEET CURRENT CODE REQUIREMENTS.
4. INTEGRATE TRUNCATED DOME TACTILE STRIPS IN ACCORDANCE WITH THE LATEST ADA STANDARDS.
5. CONSTRUCT FULL 18-INCH HAUNCH AT EDGE OF PAVEMENT.



ACCESSIBLE RAMPS

N.T.S.

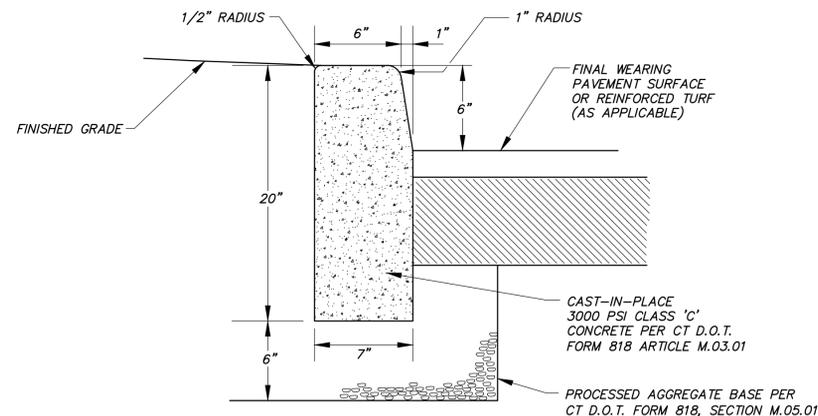


NOTES:

1. AISLE CONFIGURATION PER PLAN.
2. SIGN/BOLLARD LOCATION PER PLAN.
3. LINE STRIPING COLOR AND ADA SYMBOL SPECIFICS NEED TO COORDINATED WITH ELLINGTON BUILDING INSPECTOR BEFORE INSTALLATION

ACCESSIBLE PARKING SPACE LAYOUT

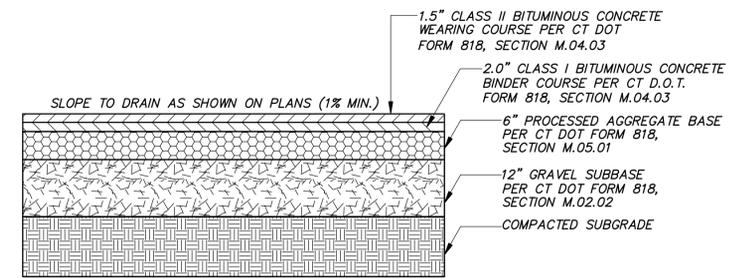
N.T.S.



NOTE: TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER JOINT FILLER.

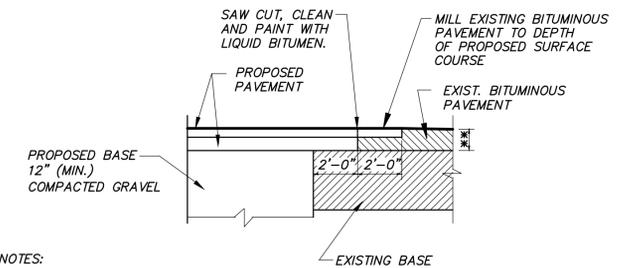
CONCRETE CURBING

N.T.S.



PAVEMENT SECTION (LIGHT DUTY)

N.T.S.

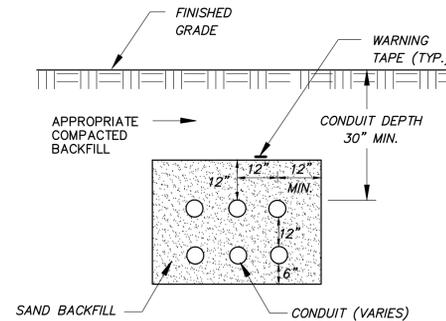


NOTES:

1. OVERLAP BOTH PROPOSED BITUMINOUS CONCRETE COURSES (CLASS 1 AND CLASS 2) OVER EXISTING SUBBASE.
2. ** MINIMUM 4-INCH THICKNESS, OR MATCH THICKNESS OF EXISTING PAVEMENT, WHICHEVER IS GREATER. PLACE ASPHALT IN LIFTS NO GREATER THAN 2 INCHES PER LIFT, COMPACTED THICKNESS.

PAVEMENT MATCH TREATMENT

N.T.S.



NOTES:

1. CONDUIT - TYPE DB PVC SCH. 40
 2. SAND FILL PER DOT OR UTILITY CO. SPECIFICATIONS
- SHOWN FOR ILLUSTRATIVE PURPOSES ONLY - USE CUSTODIAL UTILITY COMPANY SPECIFICATIONS

ELECTRIC/TELEPHONE TRENCH

N.T.S.

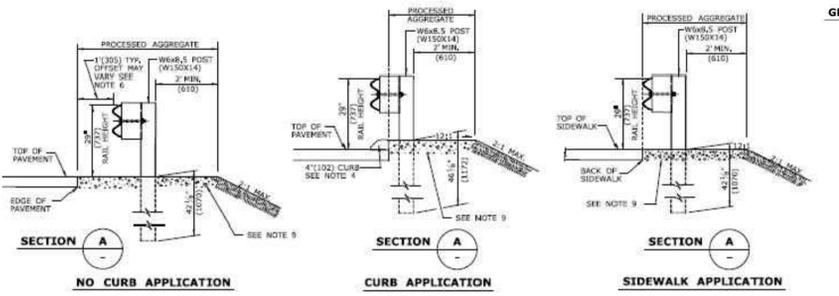
No.	Date	Description

Revisions:
 No. Date Description

SITE DETAILS
 PREPARED FOR
BIG Y - PHASE 2
 WEST ROAD
 ELLINGTON, CONNECTICUT
 Date: 06-25-2021 Drawn by: ERN Job no: 18108
 Checked by: GAH Sheet no: 12 OF 22
 Scale: N.T.S. Submitted: 2021-07-22 CAR SD 2021-07-22.dwg, SD-3, Jul. 23, 2021 - 8:26:56 AM

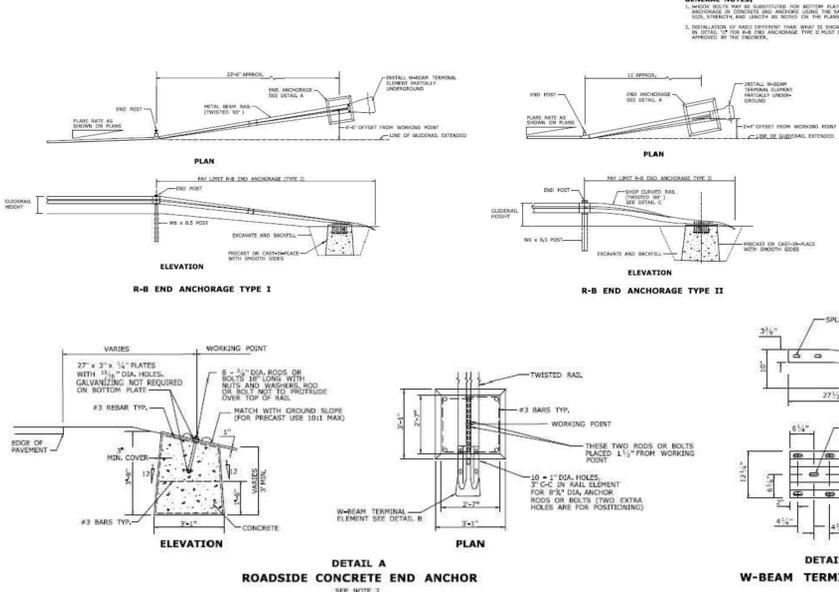
SD-3

F.A.H.
F. A. Hesketh & Associates, Inc.
 3 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 844-8600
 www.fahhsketh.com - malfahhsketh.com
 Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects



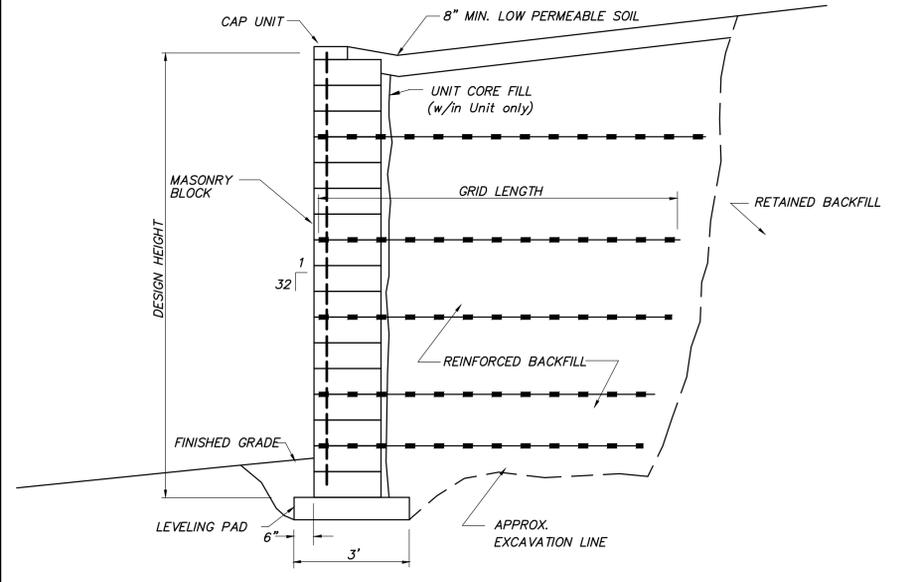
GENERAL NOTES:

- SEE SHEET RW-010.01 FOR HARDWARE AND DELINEATOR DETAILS.
- MAXIMUM DESIGN DEFLECTION FOR R-8 350 GUIDERAIL AT THE STANDARD POST SPACING OF 5'-3" (1603) IS 4'-3" (1295). DEFLECTION REQUIREMENT IS MEASURED FROM THE BACK OF POST TO THE FACE OF OBJECT.
- FOR CURVES WITH RADIUS OF 150'(45.7m) OR LESS, ALL RAIL ELEMENTS SHALL BE SHOP FABRICATED TO THE PROPER RADIUS AND GALVANIZED AFTER FABRICATION. RADIUS RAIL WHEN REQUIRED AND NOTED ON THE PLANS, IS INCLUDED IN THE PAY ITEM FOR GUIDERAIL.
- RAIL HEIGHT WITH CURBING SHALL BE MEASURED FROM THE TOP OF PAVEMENT ON HIGH SPEED ROADWAYS (>45mph, 72.4kph), 4'(122) CURBING MAY BE USED IN CONJUNCTION WITH GUIDERAIL AND THE RAIL ELEMENT SHALL BE PLACED A MAXIMUM OF 4"(102) BEHIND THE FACE OF CURB.
- THREE BLOCKOUTS MAY BE USED FOR ONE POST ONLY. TWO BLOCKOUTS MAY BE USED FOR A SERIES OF POSTS. THE COST OF ADDITIONAL BLOCKOUTS AND LONGER BOLTS SHALL BE INCLUDED IN THE BID PRICE PER FOOT OF GUIDERAIL. EXTRA BLOCKOUTS AT TRANSITION TO BRIDGE PARAMETERS SHOULD BE AVOIDED.
- W-BEAM GUIDERAIL MAY BE PLACED 1'(305) OR MORE FROM THE EDGE OF PAVEMENT ONLY ON SLOPES 10:1 OR FLATTER AND WITHOUT CURBING. IF THE RAIL IS INSTALLED WITHIN 2'(610) OF THE EDGE OF PAVEMENT, THE RAIL HEIGHT IS MEASURED FROM THE SHOULDER SLOPE EXTENDED TO THE RAIL. IF THE RAIL IS INSTALLED BEYOND 2'(610) FROM THE EDGE OF PAVEMENT, THE RAIL HEIGHT IS MEASURED FROM THE GROUND DIRECTLY BELOW THE RAIL.
- ALL R-8 350 GUIDERAIL TYPES INSTALLED ON EXPRESSWAYS AND RAMPERS SHALL USE CLASS B, TYPE II (10 GAUGE) W-BEAM RAIL ELEMENTS.
- 2" (50.8) DIA. EXCAVATED HOLE SHALL BE BACKFILLED WITH SUITABLE MATERIAL OR GRANULAR FILL COMPACTED IN 6" (150) LIFTS BEFORE DRIVING POST OR POSTS MAY BE SET IN EXCAVATED HOLE AND BACKFILLED WITH CONTROLLED LOW STRENGTH MATERIAL (CLSM), 8" (203) DIA. HOLE SHALL BE BACKFILLED WITH SUITABLE MATERIAL.
- AS DIRECTED BY THE ENGINEER AND WHERE PAVEMENT FOR RAILING IS NOT BEING INSTALLED, A MIN. 6" DEPTH OF PROCESSED AGGREGATE SHALL BE INSTALLED FROM THE PAVEMENT EDGE OR BACK OF CURB TO A MINIMUM OF 2'(610) BEHIND THE GUIDERAIL POST AND COMPACTED IN 6" (150) LIFTS.
- MINIMUM RAIL HEIGHT FOR NEW CONSTRUCTION SHALL BE 29" (737) ± 1" (25).

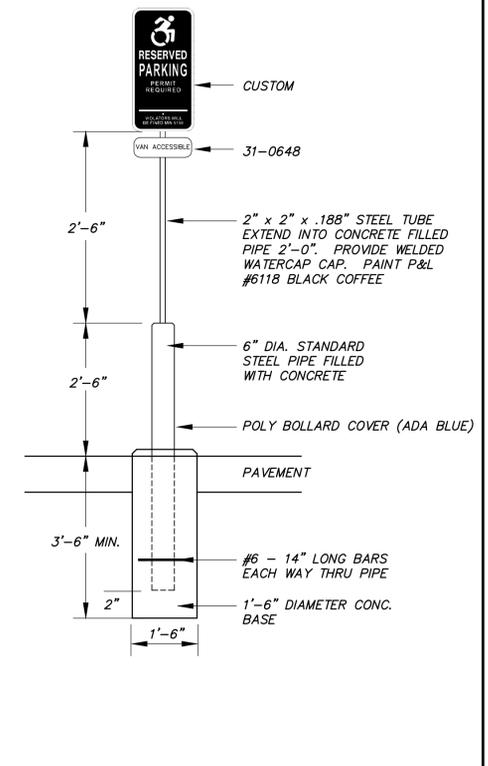


RB-350 GUIDERAIL AND END DETAIL
N.T.S.

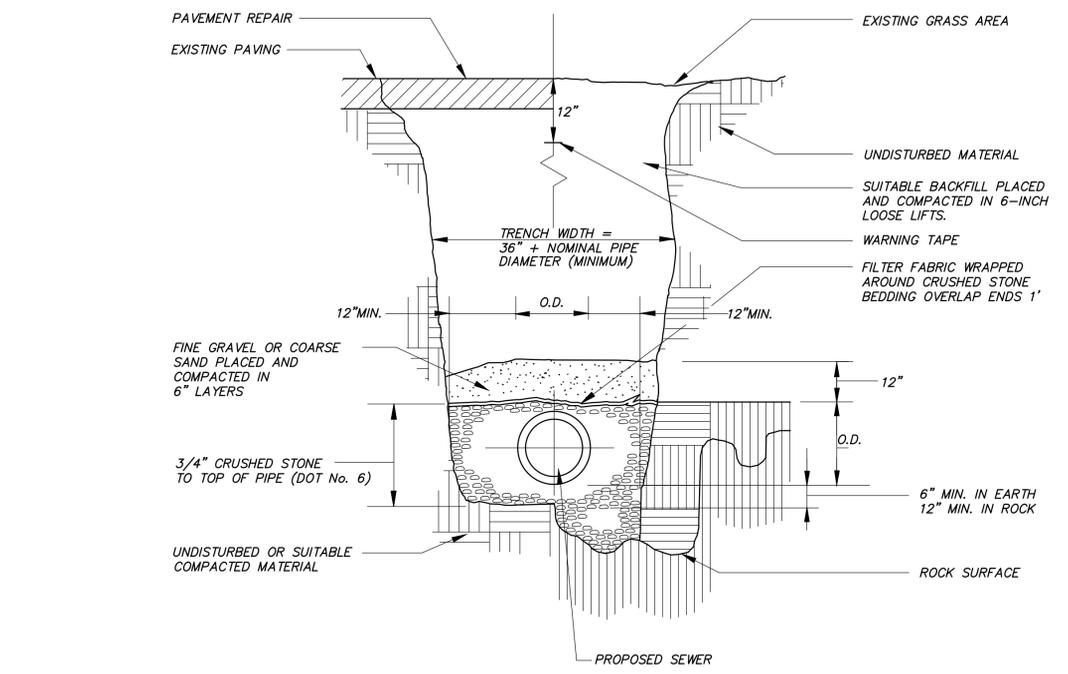
- NOTES:**
- ALL RETAINING WALLS ARE DESIGN/BUILD BY THE CONTRACTOR
 - THE CONTRACTOR IS RESPONSIBLE FOR FIELD SURVEY AND FINAL LAYOUT AND DIMENSIONS OF THE RETAINING WALLS.
 - THE DETAILS BELOW ARE FOR ILLUSTRATIVE PURPOSES ONLY. THE RETAINING WALL SHALL BE CONSTRUCTED USING SMALL MODULAR CONCRETE UNITS BY VERSA-LOC OR APPROVED EQUAL.
 - SHOP SUBMITTALS SHALL INCLUDE DESIGN CALCULATIONS, PLANS, PROFILES, CROSS SECTIONS, DETAILS, BACKFILL SPECIFICATIONS, BACKFILL COMPACTION TESTING PROCEDURES, CUT SHEETS, ETC.
 - RETAINING WALL SHOP SUBMITTALS SHALL BE SIGNED AND SEALED BY A CONNECTICUT - LICENSED PROFESSIONAL ENGINEER.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND GUIDELINES.
 - TOP OF WALL AND BOTTOM OF WALL SPOT GRADES DEPICT FINISH GRADE AT FACE OF WALL.
 - ALL WALLS 4' OR HIGHER SHALL INCLUDE A 4' HIGH, BLACK VINYL COATED, CHAIN LINK FENCE INSTALLED PER WALL MANUFACTURERS RECOMMENDATIONS.
 - A PERMIT FROM THE BUILDING DEPARTMENT WILL BE REQUIRED PRIOR TO CONSTRUCTION.



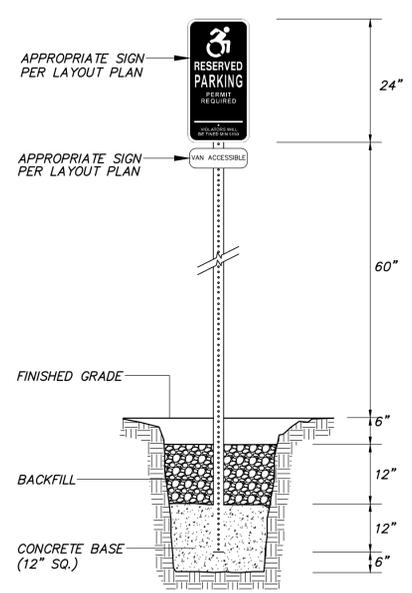
TYPICAL REINFORCED SECTION - MASONRY BLOCK WALL - NEAR VERTICAL
N.T.S.



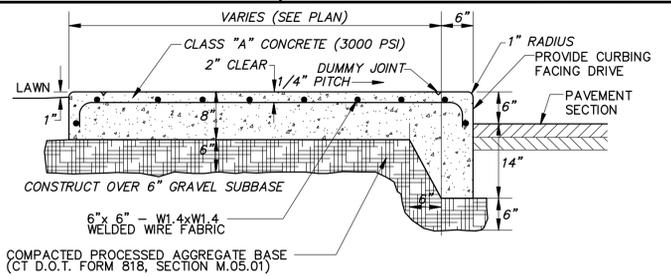
ACCESSIBLE SPACE SIGN POST/BASE
N.T.S.



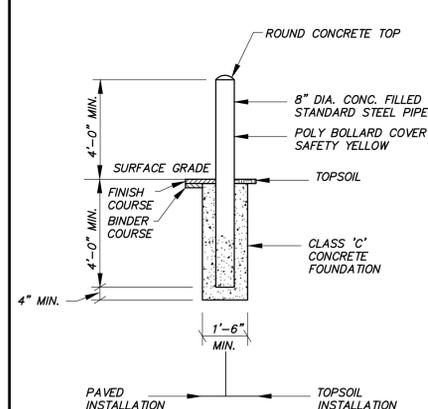
GRAVITY SEWER TRENCH DETAIL
N.T.S.



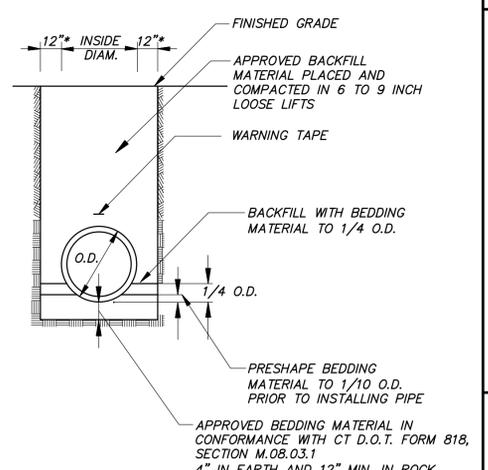
RESERVED ACCESSIBLE SPACE SIGN POST/BASE WITHIN LANDSCAPED AREAS
N.T.S.



CONCRETE DUMPSTER PAD SECTION
N.T.S.



BOLLARD DETAIL
N.T.S.



STORM SEWER TRENCH DETAIL
N.T.S.

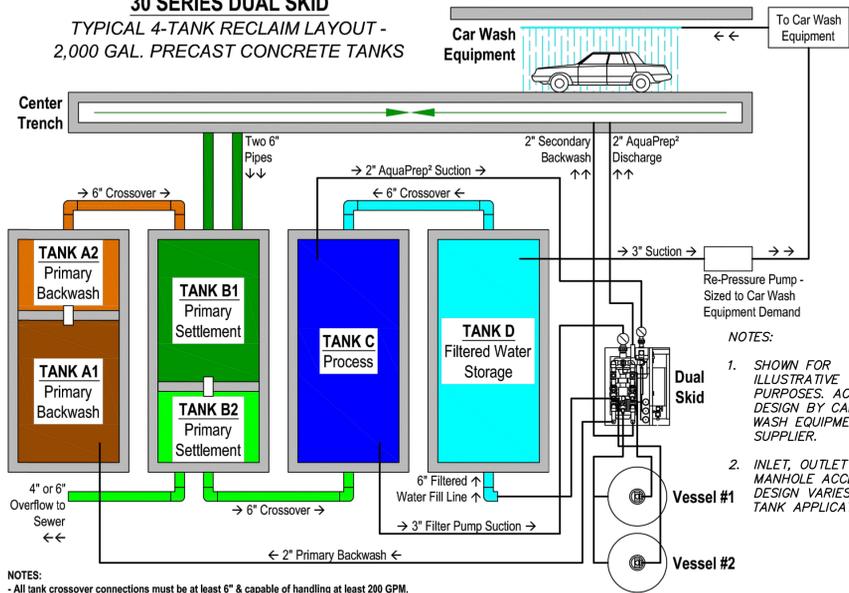
No.	Date	Description

SITE DETAILS
PREPARED FOR
BIG Y - PHASE 2
WEST ROAD
ELLINGTON, CONNECTICUT
Date: 06-25-2021 Drawn by: ERN Job no: 18108
Scale: N.T.S. Checked by: GAH Sheet no: 13 of 22
Site: 06-25-2021 Submittal 2021-07-22 GAR SD 01-07-22 GAR SD 04-4, Jul. 23, 2021 - 8:26:34 AM

SD-4



**SOBRITE FILTERMATIC² RECLAIM SYSTEM -
30 SERIES DUAL SKID**
TYPICAL 4-TANK RECLAIM LAYOUT -
2,000 GAL. PRECAST CONCRETE TANKS



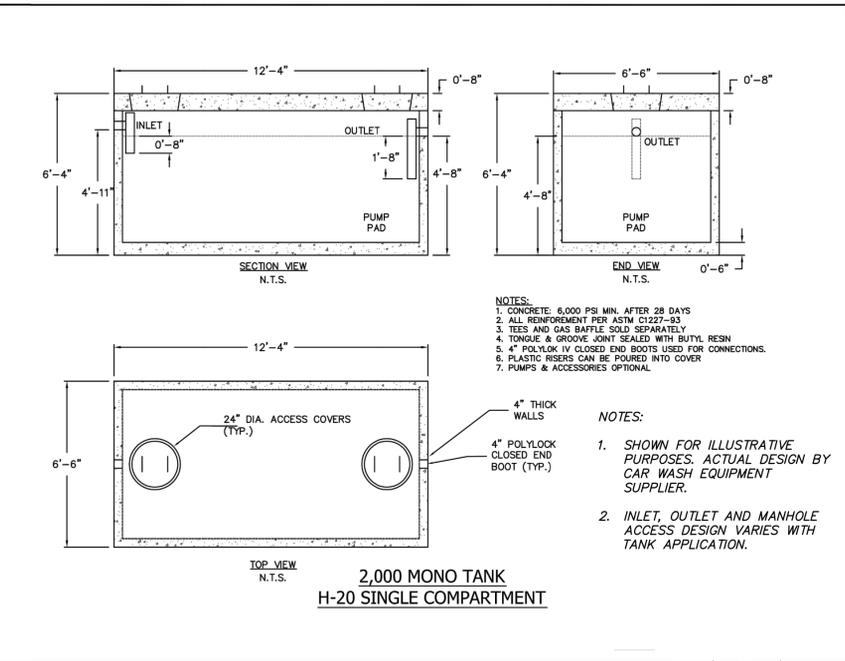
- NOTES:
- All tank crossover connections must be at least 6" & capable of handling at least 200 GPM.
 - All tank inlets & crossover connections must have tees.
 - TANK A will have a bushing to reduce the flow back into TANK B. This flow will be adjusted upon car wash startup.
 - TANKS C & D will require 1" electrical conduits for control circuits back to the reclaim system. Place the junction boxes inside each tank neck above the maximum water level.

- NOTES:
1. SHOWN FOR ILLUSTRATIVE PURPOSES. ACTUAL DESIGN BY CAR WASH EQUIPMENT SUPPLIER.
 2. INLET, OUTLET AND MANHOLE ACCESS DESIGN VARIES WITH TANK APPLICATION.



CAR WASH WASTEWATER RECLAMATION SYSTEM DETAILS

N.T.S.



- NOTES:
1. CONCRETE, 6,000 PSI MIN. AFTER 28 DAYS
 2. ALL REINFORCEMENT PER ASTM C1227-93
 3. TEES AND GAS Baffle SOLD SEPARATELY
 4. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN
 5. 4" POLYLUK IV CLOSED END BOOTS USED FOR CONNECTIONS
 6. PLASTIC RISERS CAN BE POURED INTO COVER
 7. PUMPS & ACCESSORIES OPTIONAL

- NOTES:
1. SHOWN FOR ILLUSTRATIVE PURPOSES. ACTUAL DESIGN BY CAR WASH EQUIPMENT SUPPLIER.
 2. INLET, OUTLET AND MANHOLE ACCESS DESIGN VARIES WITH TANK APPLICATION.

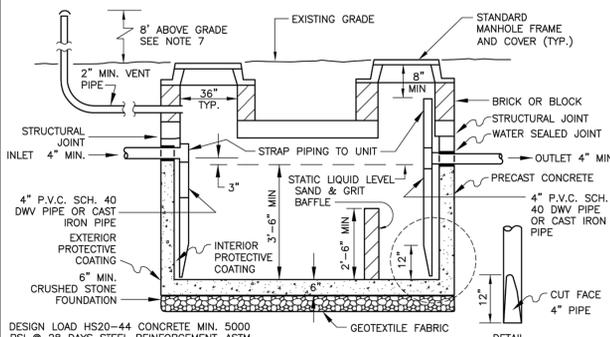
**2,000 MONO TANK
H-20 SINGLE COMPARTMENT**

N.T.S.

2,000 - GALLON RECLAIM SYSTEM TANKS

N.T.S.

**THE METROPOLITAN DISTRICT
SEWER STANDARD DETAILS**



OIL WATER SEPARATOR TANK SPECIFICATIONS

1. TANK SHALL HAVE A MINIMUM CAPACITY SUFFICIENT TO PRE-TREAT THE MAXIMUM DAILY FLOW PROPOSED AND NO LESS THAN 1000 GALLONS. TANK SHALL BE CONSTRUCTED OF PRECAST CONCRETE.
2. INTERIOR OF THE TANK AND EXTENSION TO GRADE MANHOLES SHALL BE COATED WITH AN EPOXY PETROLEUM RESISTANT SEALANT. EXTERIOR OF THE TANK AND EXTENSION TO GRADE SHALL BE COATED WITH A WATERPROOF FOUNDATION SEALANT. THIS INCLUDES THE TANK EXTERIORS TOP AND BOTTOM.
3. STRUCTURAL SEAM OF THE TANK SHALL BE FILLED WITH NON-SHRINKING GROUT OR WATER PLUG AND COATED WITH A WATERPROOF SEALANT.
4. VOIDS BETWEEN INLET AND OUTLET PIPING OF THE TANK SHALL BE FILLED WITH NON-SHRINKING GROUT AND COATED WITH A WATERPROOF SEALANT.
5. THE TANK SHALL HAVE EXTENSIONS TO GRADE ABOVE THE INLET AND OUTLET PIPING. THE EXTENSION SHALL HAVE FRAMES AND MANHOLE COVERS.
6. THE OUTLET PIPING SHALL UTILIZE A TEE-PIPE ON THE INTERIOR OF THE TANK. THE TEE-PIPE SHALL BE EQUIPPED WITH A STAND PIPE RISER EXTENDING UP THE EXTENSION TO GRADE BUT NO CLOSER THAN EIGHT (8) INCHES FROM THE MANHOLE COVER. THE TEE-PIPE SHALL EXTEND SIX (6) TO TWELVE (12) INCHES FROM THE BOTTOM OF THE TANK.
7. THE INLET EXTENSION TO GRADE SHALL BE PROVIDED WITH A VENT LINE WHICH EXTENDS EIGHT (8) FEET ABOVE FINISHED GRADE AND PROPERLY SECURED TO THE BUILDING. THE SIZE OF THE VENT SHALL BE HALF THE SIZE OF THE OUTLET DISCHARGE LINE.
8. THE HORIZONTAL STRUCTURAL SEAM OF THE TANK SHALL BE LOCATED ABOVE THE STATIC LIQUID LEVEL OF THE TANK.
9. THE INCOMING PIPE SHALL NOT INCLUDE ANY SOURCES OF DOMESTIC WASTEWATER OR STORMWATER.
10. THE OUTLET PIPE SHALL BE CONNECTED TO THE SANITARY SEWER.
11. THE OUTLET PIPE SHALL BE AT LEAST THE SIZE OF THE INLET PIPE OR GREATER AND AT A MINIMUM SHOULD BE 4.0 INCHES IN DIAMETER.
12. IF HEAVY PIPING, SUCH AS CAST IRON IS USED, ALL PIPING MUST BE STRUCTURALLY SECURED.
13. THE CONCRETE COVERS PROVIDED BY THE OIL SEPARATOR MANUFACTURERS MUST BE REMOVED AND DISCARDED.

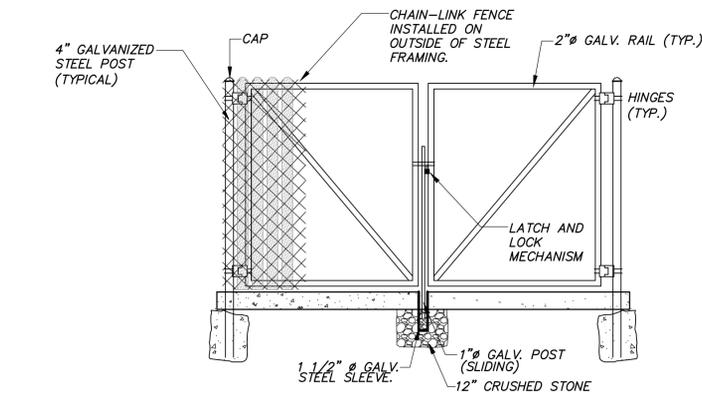
**OIL WATER SEPARATOR
DETAIL**

NTS

PAGE 46

1,000 - GALLON OIL WATER SEPARATOR

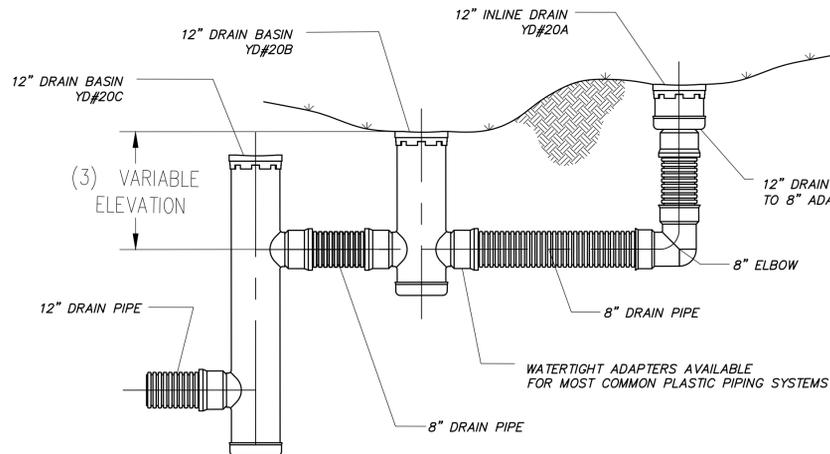
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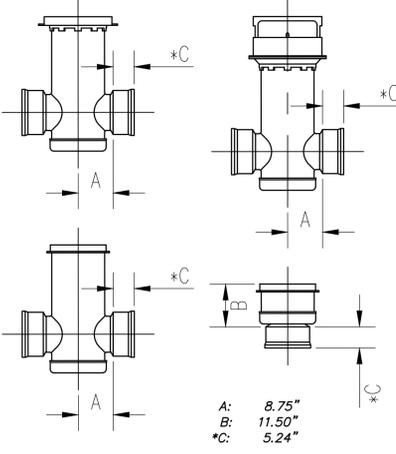
- NOTES:
1. DUMPSTER ENCLOSURE MADE OF 8-FOOT-HIGH CHAIN-LINK FENCE WITH WHITE VINYL INSERTS. CROSS BRACING TO FACE INSIDE OF ENCLOSURE.
 2. INSTALL GALVANIZED STEEL POSTS IN CORNERS OF PAD ON INSIDE OF FENCING. SET POSTS 5 FEET ON CENTER.
 3. INSTALL DOUBLE GATE OPENING TO FACILITATE ACCESS TO DUMPSTER.
 4. DIMENSIONS TO FIT PAD, PER PLAN.

DUMPSTER ENCLOSURE

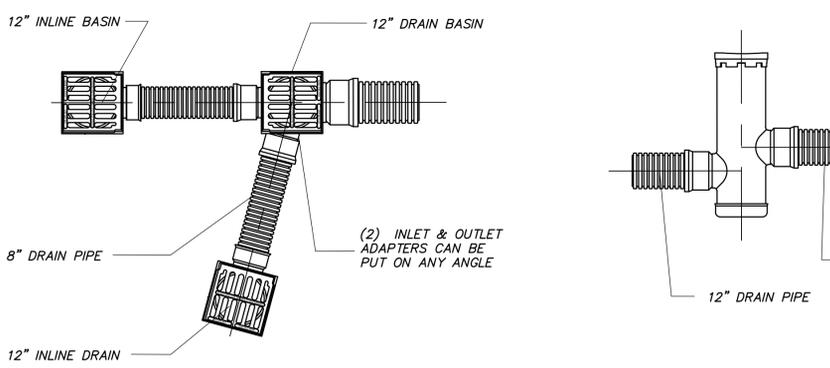
N.T.S.



TO CHANGE ELEVATION

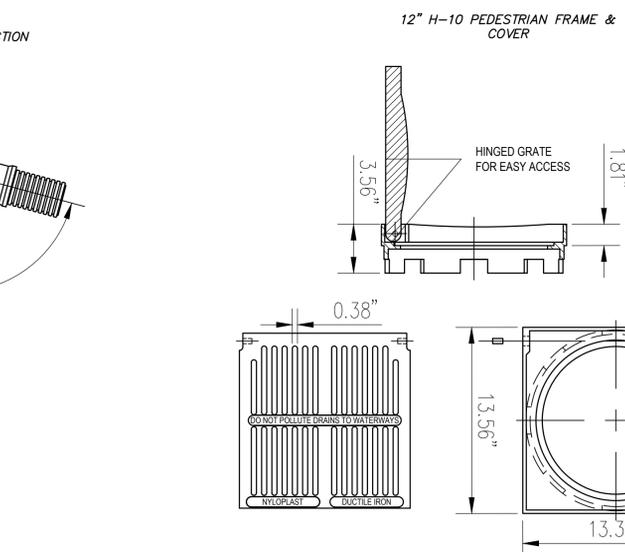


TO CHANGE DIRECTION



**NYLOPLAST YARD DRAIN
CONFIGURATION & INSTALLATION**

N.T.S.



12" H-10 PEDESTRIAN FRAME & COVER

No.	Date	Description	Revisions:
1	07-22-2021	Town Comments/Arch. Coord.	

SITE DETAILS
PREPARED FOR
BIG Y - PHASE 2
WEST ROAD
ELLINGTON, CONNECTICUT

Date: 06-25-2021
Drawn by: DRT
Checked by: GAH
Job no: 18108
Sheet no: 4 of 22

SD-5

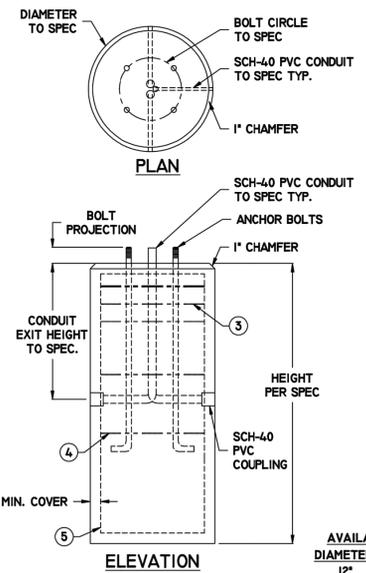
F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com · malriehesketh.com

FAH
Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects

WATER QUALITY BASIN

LIGHT LEVEL (FOOT-CANDELS, TYP.)

WEST ROAD (CONNECTICUT ROUTE 83)



AVAILABLE SIZES

DIAMETER	HEIGHT
12"	3' TO 6'
18"	3' TO 9'
24"	3' TO 9'
30"	3' TO 9'
36"	3' TO 9'

- DESIGN NOTES:
1. CONCRETE - 5,000 PSI, 28 DAYS.
 2. ANCHOR BOLTS PER SPEC, REINFORCEMENT
 3. (3) #3 REBAR HORIZONTAL WRAP 2" O.C.
 4. #3 REBAR HORIZONTAL WRAP 12" O.C.
 5. (4) #5 REBAR VERTICAL



LIGHT POLE BASE ROUND
LPB-R-STD

SCALE: N.T.S.
DATE: 5/27/10
DRAWN: JFW
DWG #:

539 ORONOQUE ROAD MILFORD, CONNECTICUT (203) 301-6091
560 SALMON BROOK STREET GRANBY, CT 06035 (860) 653-6063
21 VERGASON AVENUE NORWICH, CONNECTICUT (860) 889-2215

LIGHT POLE BASE DETAIL

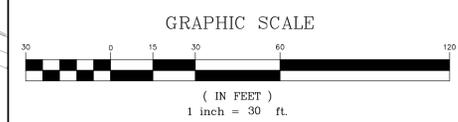
- NOTES:
1. LIGHT POLE BASE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
 2. COORDINATE ANCHOR BOLT PATTERN WITH POLE BASE DETAIL.
 3. VERIFY LIGHT POLE BASE DESIGN WITH POLE MANUFACTURER.
 4. SET CENTER OF BASE 2.5 FEET BACK FROM FACE OF CURB. TOP OF CONG. BASE ELEVATION = 0.5 FEET ABOVE FINISH GRADE.
 5. BUILDING LIGHTING AND PATIO LIGHTING NOT SHOWN. FINAL DESIGN OF BUILDING AND PATIO LIGHTING TO BE APPROVED BY TOWN STAFF.

CALCULATION SUMMARY

LABEL	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BOUNDARY LIGHTING	Illuminance	Fc	0.15	5.1	0.0	N.A.	N.A.
SITE LIGHTING	Illuminance	Fc	2.52	6.4	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE/LEGEND

SYMBOL	LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT (MH) (FEET)	LLF	LUM. LUMENS
█	F1-XDLM-5-LED-H0-NW	25	SINGLE	20 FT	0.890	N/A



Revisions:

No.	Date	Description
1	07-22-2021	Town Comments/Arch. Coord.

SITE LIGHTING/PHOTOMETRIC PLAN
PREPARED FOR
BIG Y - PHASE 2
WEST ROAD
ELLINGTON, CONNECTICUT

LED LIFESTYLE MEDIUM DECORATIVE AREA LIGHTS (XDLM)



US patent 7,828,456, 8,002,428, 8,177,386, 8,434,893, 8,567,983 and US & Int'l. patents pending
SMARTTECH™ - LSI drivers feature integral sensor which reduces drive current when ambient temperatures exceed rated temperature
ENERGY SAVING CONTROL OPTION - DIM - 0-10 volt dimming enabled with controls by others. BLS - Bi-level switching responds to external line voltage signal from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.
LEDS - Select high-brightness LEDs in Cool White (5000K), Neutral White (4000K), or Warm White (3500K) color temperatures. 70 CRI CW, 80 CRI NW and WW.
DISTRIBUTION PATTERN - Types 3, FT and S. Exceptional uniformity creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass.
CROWN - Cast aluminum. Wiring emerges from crown through compression seal fitting to prevent water entry. One-piece silicone gasket seals crown to shade for water and dust-tight construction.
SHADES - Spun aluminum. Two shade styles available - A - Angle and B - Bell.
OPTICAL UNIT - Optical unit and aluminum door frame recessed into shade and sealed with one-piece silicone gasket. Clear tempered flat glass lens sealed with silicone gasket to door frame (includes pressure-stabilizing breather). Optical unit is tethered and provides access to driver. Door frame retaining fasteners are captive.
BRACKETS - Brackets are extruded and cast aluminum assemblies or fabrications. All decorative elements are die cast or extruded aluminum.
MOUNTING - Classic Hook (CH) and Side Arm (SA - 4" O.D. minimum pole top required) available. See Steel Round Pole and Aluminum Round Pole data sheets for pole selection information. Side Arm pole mount requires 3" reduced drilling pattern. Classic hook mount requires a 4" O.D. pole or tenon.
ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C82.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (IE - 50/60Hz input), and 247-480 VAC. Optional button-type photocells (PCI) are available in 120, 200, 240, 277 or 347 volt (supply voltage must be specified).
DRIVERS - Available in SS (Super Saver) and HO (High Output) drive currents (Drive currents are factory programmed). Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F).
FINISH - Each fixture is finished with LSI's DuraGrip polyester powder coat process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.
WARRANTY - LSI LED fixtures carry a limited 5-year warranty.
PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.
SHIPPING WEIGHT (IN CARTON) - 36 lbs. (16.3 kg)
LISTINGS - UL listed to U.S. and Canadian safety standards. Suitable for wet locations

Color	Type	Lumens (Nominal)		Watts (Nominal)	
		3" Type 3	5" Type 5	3" Type 3	5" Type 5
Cool White	SS	1500	1000	1030	136
	HO	1870	1800	1860	205
	SS	1180	1170	1130	136
Neutral White	SS	1870	1870	1800	205
	HO	1870	1870	1800	205
	SS	1140	1180	1140	136
Warm White	SS	1580	1650	1530	205
	HO	1580	1650	1530	205

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.

ARRA
 IESNA
 UL
 ENEC
 CE

Project Name _____ Fixture Type _____ 9/09/19
 © 2019 LSI INDUSTRIES INC.
 Catalog # _____

LED LIFESTYLE MEDIUM DECORATIVE AREA LIGHTS (XDLM)

BUG LISTING

Drive Current	Color Temp.	Lumens	Watts	LER	BUG Rating
HO	CW	16,728	208	91	B3-U0-G2
	NW	16,965	204	89	B3-U0-G2
	WW	15,365	204	75	B2-U0-G2
SS	CW	13,466	137	99	B2-U0-G2
	NW	11,179	137	82	B2-U0-G2
	WW	11,440	140	82	B2-U0-G2

Drive Current	Color Temp.	Lumens	Watts	LER	BUG Rating
HO	CW	16,492	205	90	B4-U0-G2
	NW	16,075	204	89	B4-U0-G2
	WW	15,129	204	74	B4-U0-G2
SS	CW	13,310	137	98	B3-U0-G2
	NW	11,132	136	82	B3-U0-G2
	WW	11,041	140	79	B3-U0-G2

XDLM - TYPE FT

Drive Current	Color Temp.	Lumens	Watts	LER	BUG Rating
HO	CW	19,927	205	97	B1-U0-G3
	NW	19,374	204	95	B1-U0-G3
	WW	16,350	204	80	B1-U0-G3
SS	CW	14,081	136	103	B1-U0-G3
	NW	11,780	136	86	B1-U0-G3
	WW	11,980	140	86	B1-U0-G3

* Color Temperature: WW-3500K, NW-4000K, CW-5000K

Project Name _____ Fixture Type _____ 9/09/19
 © 2019 LSI INDUSTRIES INC.
 Catalog # _____

LED LIFESTYLE MEDIUM DECORATIVE AREA LIGHTS (XDLM)

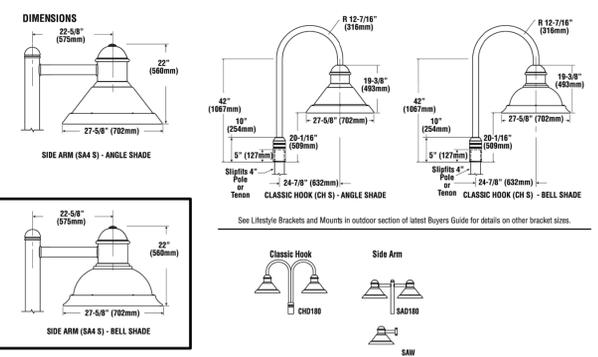
PRODUCT ORDERING INFORMATION
 TYPICAL ORDER EXAMPLE: **XDLMB 3 LED SS CW UE BLK CH S PCI120**

Prefix	Distribution	Light Source	Drive Current	Color Temp.	Input Voltage	Finish	Mounting Style ^{1,2}	Shading ^{3,4}	Options
XDLMA	1" Type 1	LED	SS	Cool	120-277VAC	Black	SA - Side Arm Mount for 4" O.D. Round Pole	D180 - Double Fitting	Butter Type Photocell PCI120 - 120V PCI200 - 277V, 208-277V PCI247 - 247V DMS - 0-10V Dimming from external signal BLS - Bi-level Switching from external 120-277V signal
XDLMB	3" Type 3	LED	SS	Cool	120-277VAC	Black	SA - Side Arm Mount for 4" O.D. Round Pole	D180 - Double Fitting	Butter Type Photocell PCI120 - 120V PCI200 - 277V, 208-277V PCI247 - 247V DMS - 0-10V Dimming from external signal BLS - Bi-level Switching from external 120-277V signal
XDLMC	5" Type 5	LED	SS	Cool	120-277VAC	Black	SA - Side Arm Mount for 4" O.D. Round Pole	D180 - Double Fitting	Butter Type Photocell PCI120 - 120V PCI200 - 277V, 208-277V PCI247 - 247V DMS - 0-10V Dimming from external signal BLS - Bi-level Switching from external 120-277V signal

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
PCI120 Single Fitting (120V)	PCI120	DR480 Double Fitting (480V)	DR480
PCI200 Single Fitting (277V)	PCI200	PCI200 Single Fitting (247V)	PCI247
DR200 3rd Double Fitting (208V, 240V)	DR200_240		

FOOTNOTES:
 1 - When ordering a multiple configuration (D180, etc.) order one fixture/bracket configuration per pole. In order one XDLMB 3 LED SS CW UE BLK CH D180 PCI120 to receive two fixtures and one CH D180 bracket (see drawing on this page). See STEEL ROUND POLES and ALUMINUM ROUND POLES data sheets for pole ordering information.
 2 - See Lifestyle Bracket ordering chart for Mounting Style/Configurations availability.
 3 - 3" reduced drilling pattern required.
 4 - For use with SA4 and SAS mounting styles only.



Project Name _____ Fixture Type _____ 9/09/19
 © 2019 LSI INDUSTRIES INC.
 Catalog # _____

Steel Poles Round Straight

Catalog # _____ Project _____
 Prepared By: _____ Date: _____

QUICK LINKS

Ordering Guide Configurations Dimensions EPA

FEATURES & SPECIFICATIONS

Pole Shaft

- Steel round poles are 4" or 5" in diameter.
- Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 46,000 psi.
- On Tenon Mount steel poles, tenon is high-strength pipe. Tenon N option is 2-3/8" O.D. x 4-3/4" tall. Tenon 4N option is 4" O.D. x 4-7/8" tall.

Ground Lug

- Ground lug is standard.

Duplex Receptacle

- Weatherproof duplex receptacle is optional.

Ground Fault Circuit Interrupter

- Self-testing ground fault circuit interrupter 4-7/8" tall.

Finishes

- Every pole is provided with the DuraGrip™ Protection System and a 5-year limited warranty.
- When the top-of-the-line DuraGrip™ Plus Protection System is selected, in addition to the DuraGrip™ Protection System, a non-porous, automotive-grade corrosion coating is applied to the lower portion of the pole interior, sealing and further protecting it from corrosion. This option extends the limited warranty to 7 years.

Base

- Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi.
- Two-piece square base cover is optional. Decorative base cover is also available.

Anchor Bolts

- Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional.
- Anchor bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 psi.

Determining The Luminaire/Pole Combination For Your Application:

- Select luminaire from luminaire ordering information
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket EPA chart
- Select pole height

Steel Poles - Round Straight

ORDERING GUIDE

Back to Quick Links

TYPICAL ORDER EXAMPLE: **SRP B3 S07G 24 S PLP DGP**

Pole Series	Mounting Method	Material	Height*	Mounting Configuration	Pole Finish	Options
SRP - 4" Diameter Round Straight Pole	Ball-On Mount ¹ - See pole selection guide for patterns and fixture matches.	ST10 - 11 Ga. Steel (SRP only)	8' 10' 12' 14' 15' 16' 17'	B - Single Parallel D180 - Double DMS - Double TN20 - Triple DMS - Quad	BLK - Black PLP - Platinum Plus WHT - White SVG - Salts Verde Green GPT - Graphite MSV - Metallic Silver BKA - Alternate Bronze	04 - Galvanized Anchor Bolts 05 - Single Flood DF - Double Flood DGP - DuraGrip Plus LAB - Laser Anchor Bolts
SRP - 5" Diameter Round Straight Pole	Ball-On Mount ¹ - See pole selection guide for patterns and fixture matches.	S07G - 10 Ga. Steel (SRP only)	11' 6" 11' 8" 11' 10" 12' 2" 12' 4" 12' 6" 12' 8" 12' 10" 13' 0"	B - Single Parallel D180 - Double DMS - Double TN20 - Triple DMS - Quad	BLK - Black PLP - Platinum Plus WHT - White SVG - Salts Verde Green GPT - Graphite MSV - Metallic Silver BKA - Alternate Bronze	04 - Galvanized Anchor Bolts 05 - Single Flood DF - Double Flood DGP - DuraGrip Plus LAB - Laser Anchor Bolts

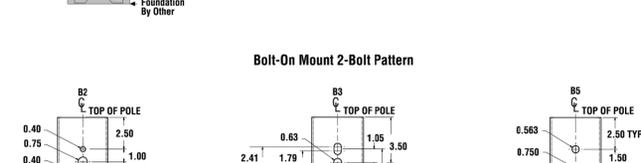
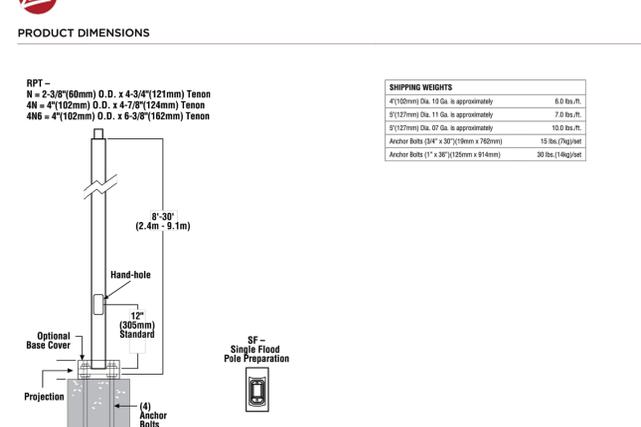
Accessory Ordering Information

Description	Order Number	Description	Order Number
SRP - Square Base Cover	15640CLR	MHD - Mounting Hole Plugs for use with 3" reduced drill pattern (3 sets of 3 plugs)	68116
SRP - Square Base Cover	15640CLR	MHD - Mounting Hole Plugs for use with 2" reduced drill pattern (3 sets of 3 plugs)	72041
4" x 4" GFC Protective Base Cover	44886CLR	BB - Banner Brackets	12556CLR
ER2 - Weatherproof Duplex Receptacle (Poles below 18')	12556CLR	ER2 - Weatherproof Duplex Receptacle for Reinforced Hand-hole (Poles 18' and above)	12556CLR
ER2 - Weatherproof Duplex Receptacle for Reinforced Hand-hole (Poles 18' and above)	12556CLR	GR - Ground Fault Circuit Interrupter (Poles below 18')	12556CLR
GR - Ground Fault Circuit Interrupter for Reinforced Hand-hole (Poles 18' and above)	22656CLR	MHD - Mounting Hole Plugs for use with 3" traditional drill pattern (3 sets of 3 plugs)	13236

FOOTNOTES:
 1 - See Area Light Brackets - 3" Reduced Drill Pattern and Area Light Brackets - 5" Traditional Drill Pattern spec sheets.
 2 - For Enterprise and Lexington PT mounting configuration styles, see Tenon Mount (4N) and Greenlee Signifi Pole Series (480P).
 3 - Standard flat base pole cap provided. Contact Greenlee pole cap with SA4 and SA5 Enterprise and Lexington Futures, SA Lifestyle Futures, BK SPT, BK HPT, BK BO and UCL brackets.
 4 - Pole heights will have +/- 1/2" tolerance.
 5 - For Enterprise and Lexington D180 or other mounting configuration styles using BK SPT, BK HPT, BK BO accessories, see chart on Bolt-on Mount ARPB3 / SRPB3 DRILLING PATTERN section on pole selection chart.
 6 - See Flood Lighting Brackets section for choice of FBO brackets.

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Steel Poles - Round Straight



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Steel Poles - Round Straight

WIND SPEED

EPA Information
 All LSI Industries' poles are guaranteed to meet the EPA requirements listed. LSI Industries is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole will be located.
 CAUTION: This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. LSI Industries cannot accept responsibility for harm or damage caused in these situations.
 NOTE: Pole calculations include a 1.3 gust factor over steady wind velocity. Example: poles designed to withstand 80 MPH steady wind will withstand gusts to 104 MPH. EPAs are for locations 100 miles away from hurricane ocean lines. Consult LSI for other areas. Note: Hurricane ocean lines are the Atlantic and Gulf of Mexico coastal areas. For applications in Florida or Canada, consult factory.

Use ONLY with **Wind Speed Map for 7-10

POLE	Qty. Height Length (ft)	Wind Thrust (ft)	BOLT CIRCLE											
			Designator	Dia.	Anchor Bolt Dia/Qty	110 MPH	115 MPH	120 MPH	125 MPH	130 MPH	135 MPH	140 MPH		
4" x 10gx14	14	10	L	11	0.75	6.0	5.2	4.7	3.9	3.2	2.7	2.3	2.0	1.7
4" x 10gx16	16	10	L	11	0.75	4.3	3.7	3.2	2.6	2.1	1.8	1.4	1.2	1.0
4" x 10gx18	18	10	L	11	0.75	7.7	6.8	6.0	5.0	4.2	3.5	3.0	2.5	2.2
4" x 10gx20	20	10	L	11	0.75	4.8	4.2	3.6	3.1	2.5	2.1	1.8	1.5	
4" x 10gx22	22	10	L	11	0.75	4.8	3.9	3.3	2.6	2.1	1.7	1.4	1.1	0.9
4" x 10gx24	24	10	L	11	0.75	3.4	2.7	2.2	1.7	1.3	1.0	0.7	0.5	0.4
5" x 11gx16	16	11	L	11	0.75	8.7	7.9	7.2	6.0	5.0	4.3	3.7	3.2	2.8
5" x 11gx18	18	11	L	11	0.75	12.2	11.1	10.1	8.5	7.2	6.1	5.3	4.6	4.0
5" x 11gx20	20	11	L	11	0.75	10.2	9.1	8.2	6.8	5.7	4.9	4.2	3.6	3.1
5" x 11gx22	22	11	L	11	0.75	8.1	7.3	6.6	5.5	4.5	3.8	3.2	2.8	2.4
5" x 11gx24	24	11	L	11	0.75	5.5	5.3	4.3	3.5	2.9	2.4	2.0	1.7	
5" x 11gx26	26	11	L	11	0.75	5.2	4.6	4.1	3.2	2.8	2.1	1.7	1.4	1.1
5" x 11gx28	28	7	M	11	1.00	19.2	17.9	16.4	13.8	11.2	9.1	8.0	7.2	6.0
5" x 7gx20	20	7	M	11	1.00	16.5	15.0	13.7	11.5	9.6	8.4	7.3	6.3	5.6
5" x 7gx22	22	7	M	11	1.00	14.0	12.7	11.5	9.6	8.1	7.0	6.0	5.2	4.6
5" x 7gx24	24	7	M	11	1.00	11.8	10.9	9.9	8.0	6.8	5.7	4.9	4.2	3.7
5" x 7gx26	26	7	M	11	1.00	9.9	8.9	8.0	6.7	5.6	4.7	4.0	3.4	2.9
5" x 7gx28	28	7	M	11	1.00	8.3	7.4	6.7	5.4	4.5	3.7	3.1	2.7	2.3
5" x 7gx30	30	7	M	11	1.00	6.8	6.1	5.4	4.4	3.6	2.9	2.4	2.0	1.7

All LSI Industries' poles are guaranteed to meet the EPA requirements listed. LSI Industries is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole will be located.
 CAUTION: This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. LSI Industries cannot accept responsibility for harm or damage caused in these situations.
 Note:
 * Poles shorter than those listed here in each gauge have EPA rating equal to or greater than what is provided in this table. To confirm EPA ratings on shorter poles, contact LSI Industries.

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SITE LIGHTING DETAILS

PREPARED FOR
BIG Y - PHASE 2
 WEST ROAD
 ELLINGTON, CONNECTICUT

Job no: 18108
 Drawn by: ERN
 Checked by: GAH
 Sheet no: 7 OF 22

Date: 06-25-2021
 Scale: N.T.S.
 Checked by: GAH
 Sheet no: 7 OF 22

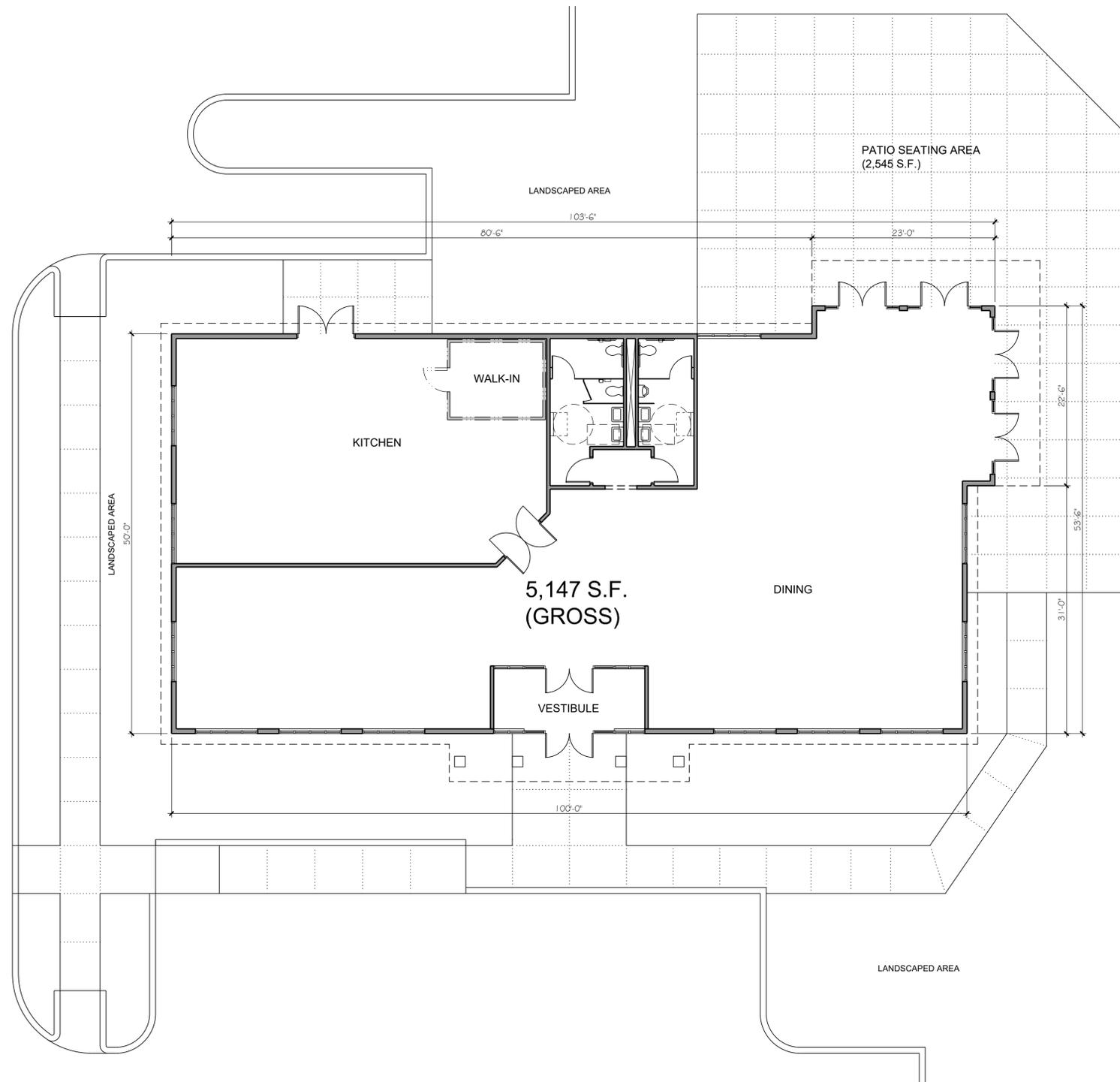
Revisions:
 No. Date Description
 1 07-22-2021 Town Comments/Arch. Coord.

PH-2

F. A. Hesketh & Associates, Inc.
 3 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 844-8600
 www.fahsketh.com • mal@fahsketh.com
 CMAA • Landscape Architects



© 2018/18108 - Big Y West Road Ellington/Carwash Submittal 2021-07-22 GAH PH-2021-07-22.dwg, PH-2, Jul. 23, 2021 - 8:33:47 AM



PROPOSED RESTAURANT PLAN
REFERENCE NORTH

SC: 1/8" = 1'-0"

NOTE:
THE INTERIOR LAYOUT SHOWN IS CONCEPTUAL.
THE EXACT INTERIOR LAYOUT WILL BE
DETERMINED AT A LATER DATE.

Certification

Rev. #	Date	Reason For Issue

Project - Location

BIG Y FOODS, INC.
WEST ROAD
PHASE II
ELLINGTON, CT

Drawing Set Issue

Sheet Title

PROPOSED
RESTAURANT
PLAN

Date

JUNE 25, 2021

Revision

Project Number

2117

Sheet Number:

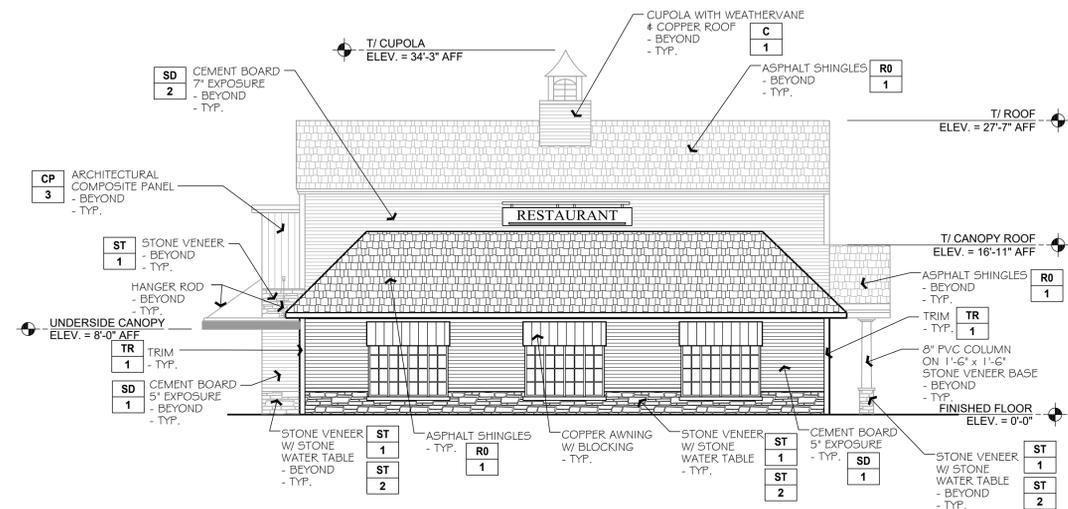
A1

Scale

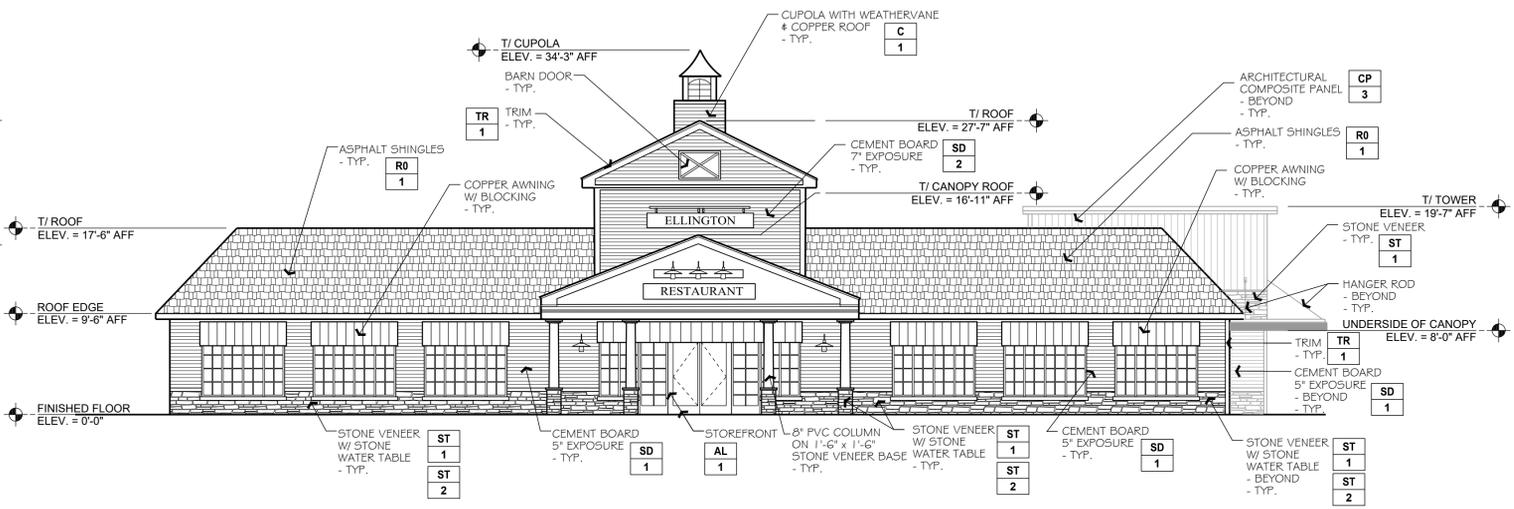
1/8" = 1'-0"

SHEET NO. 18 OF 22

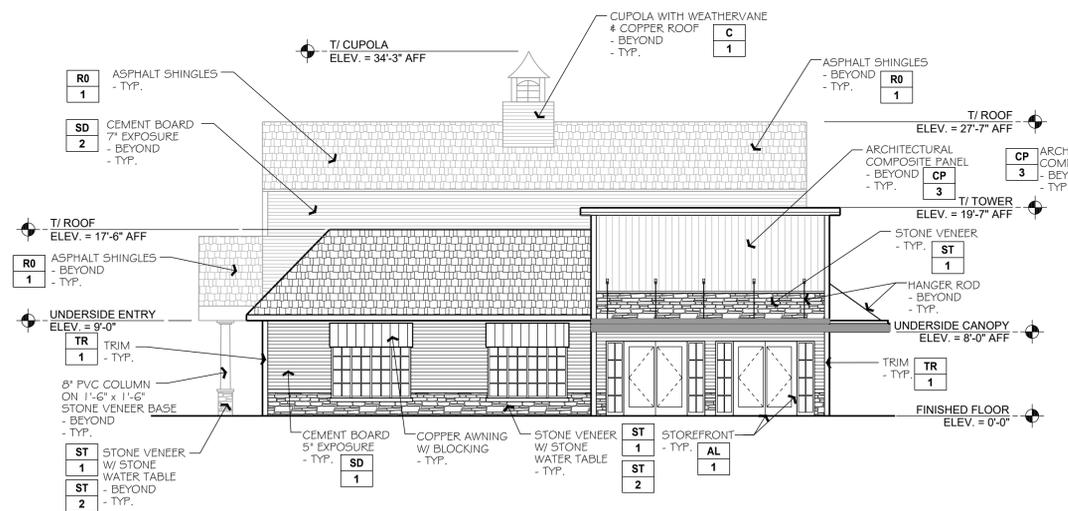
Certification



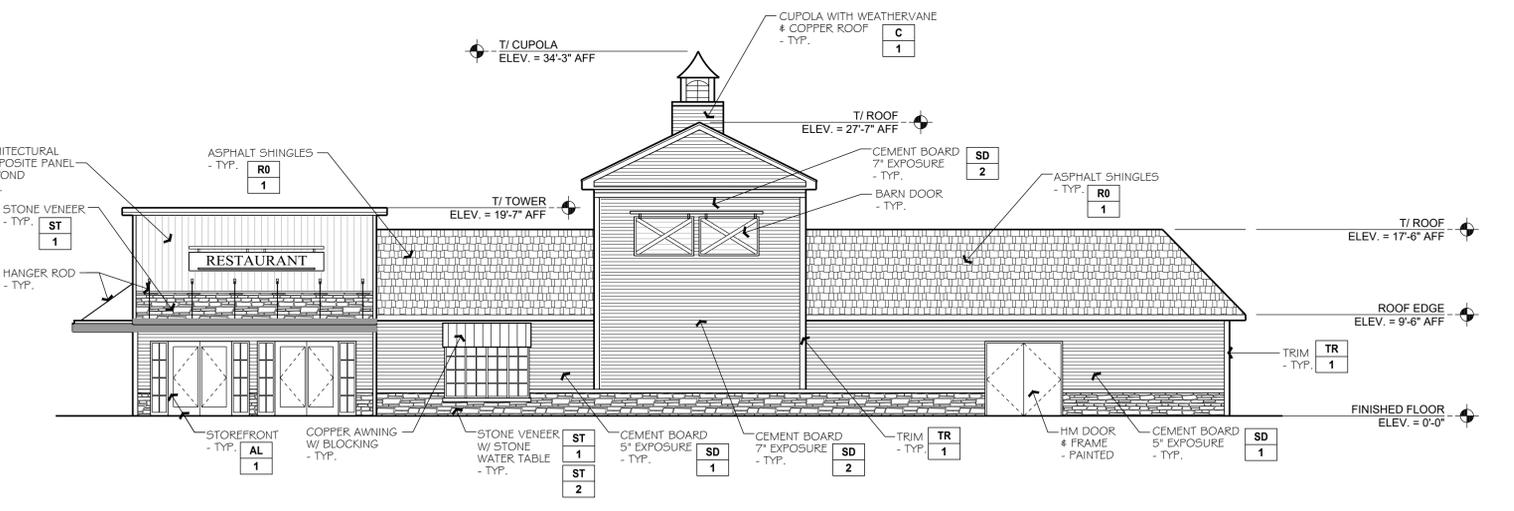
2 RESTAURANT (EAST) ELEVATION
SC: 1/8" = 1'-0"



1 RESTAURANT (NORTH) ELEVATION
SC: 1/8" = 1'-0"



4 RESTAURANT (WEST) ELEVATION
SC: 1/8" = 1'-0"



3 RESTAURANT (SOUTH) ELEVATION
SC: 1/8" = 1'-0"

FINISH SCHEDULE - EXTERIOR					
KEY	DESCRIPTION	COLOR	SIZE	MANUFACTURER	PRODUCT
ST-1	NATURAL STONE VENEER	COPPER	SEE PLANS & ELEVATIONS	O&G INDUSTRIES	OLD WORLD THINSTONE
ST-2	NATURAL STONE VENEER	SAHARA LIGHT BRUSH HAMMER FINISH	SEE PLANS & ELEVATIONS	O&G INDUSTRIES	GRANITE
AL-1	ALUMINUM STOREFRONT	DARK BRONZE	SEE PLANS & ELEVATIONS	KAWNEER	TRIFAB VERSAGLAZE 451T
SD-1	SIDING	HARDIE PLANK CHESTNUT BROWN	5" & 7" EXPOSURE SEE ELEVATIONS	HARDIE PLANK	LAP SIDING
SD-2	SIDING	HARDIE PLANK AUTUMN TAN	5" & 7" EXPOSURE SEE ELEVATIONS	HARDIE PLANK	LAP SIDING

FINISH SCHEDULE - EXTERIOR					
KEY	DESCRIPTION	COLOR	SIZE	MANUFACTURER	PRODUCT
TR-1	TRIM BOARD	ARCTIC WHITE	5.5"	HARDIE PLANK	RUSTIC
RO-1	ASPHALT SHINGLES	BLACK SABLE	ARCHITECTURAL	OWENS CORNING	DURATION
C-1	CUPOLA	COPPER	ROOF	LEXINGTON	
CP-3	ARCH. COMPOSITE PANELS	REDWOOD		NICHIHA VINTAGE WOOD	ARCHITECTURAL PANELS

Rev. #	Date	Reason For Issue

Project - Location

BIG Y FOODS, INC.

**WEST ROAD
PHASE II**

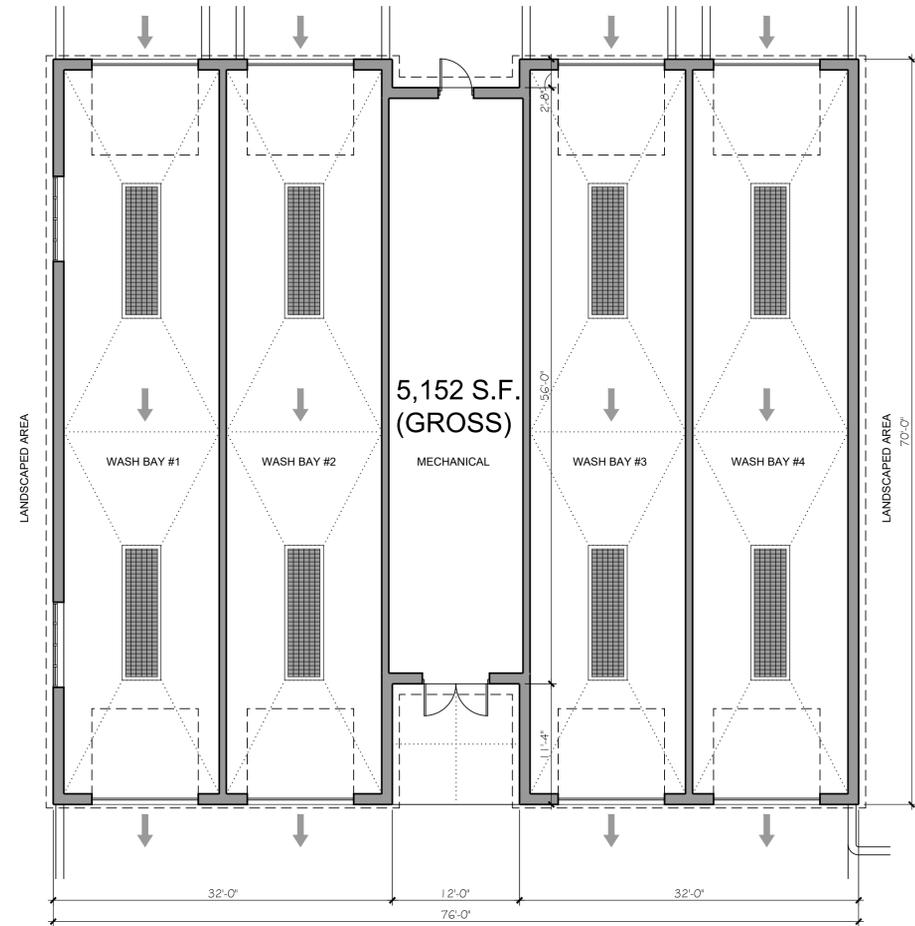
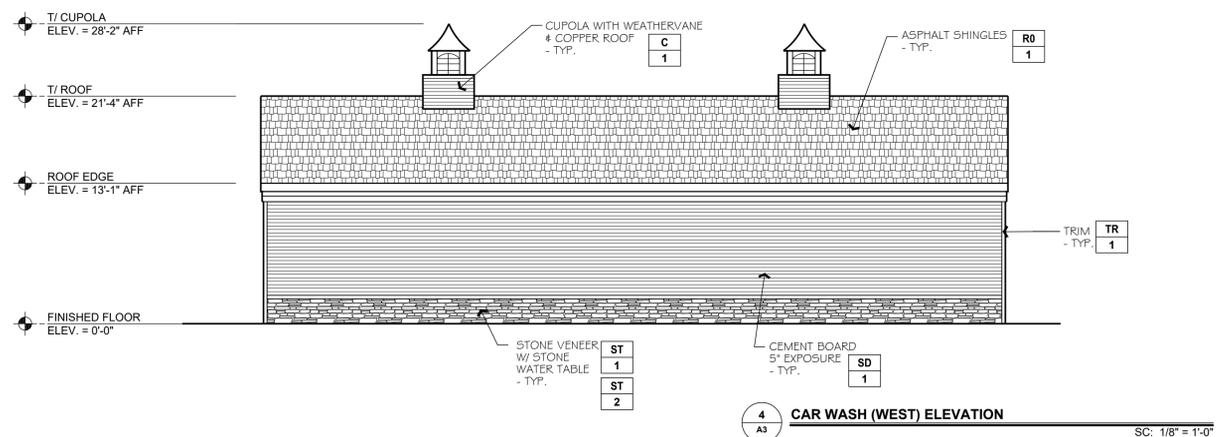
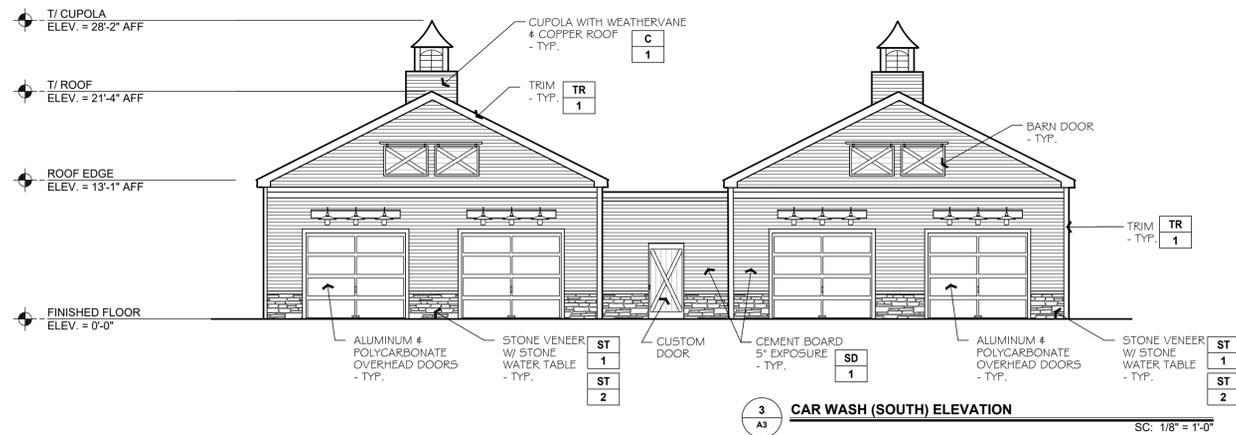
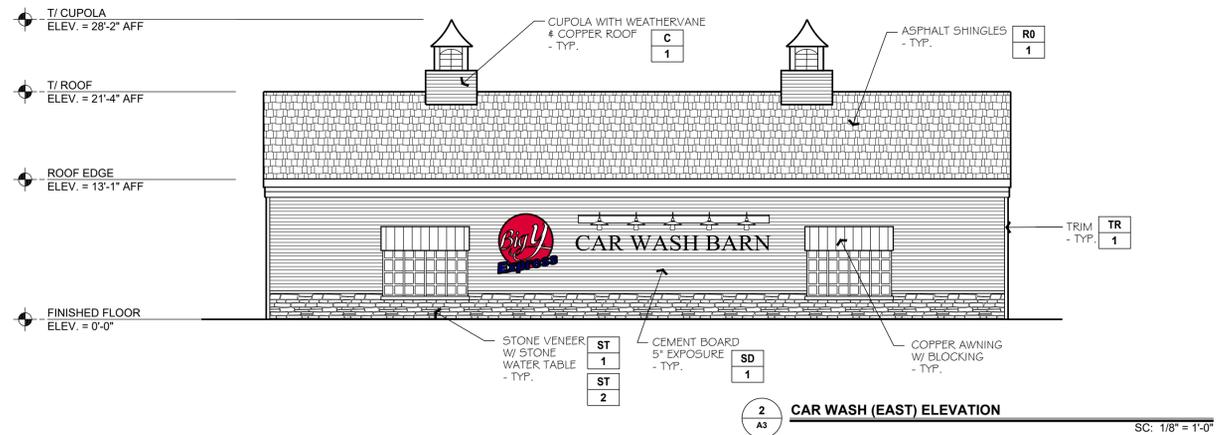
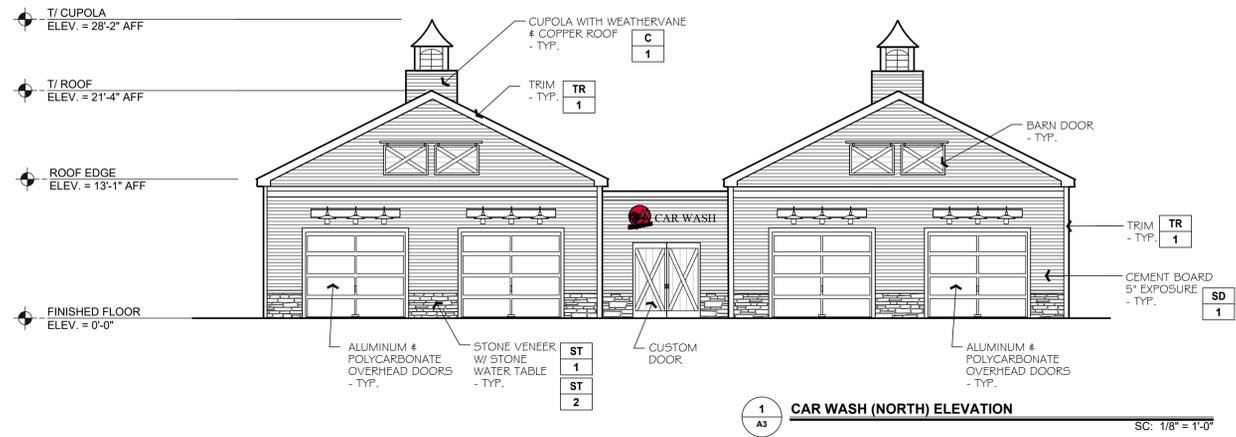
ELLINGTON, CT

Drawing Set Issue

Sheet Title
**PROPOSED
RESTAURANT
ELEVATIONS**

Date	Revision
JUNE 25, 2021	
Project Number 2117	Sheet Number: A2
Scale 1/8" = 1'-0"	SHEET NO. 19 OF 22

Certification



NOTE:
THE INTERIOR LAYOUT SHOWN IS CONCEPTUAL.
THE EXACT INTERIOR LAYOUT WILL BE
DETERMINED AT A LATER DATE.

Rev. #	Date	Reason For Issue

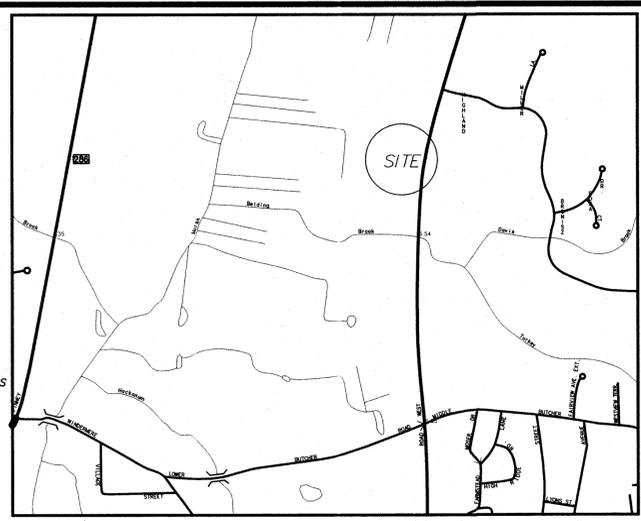
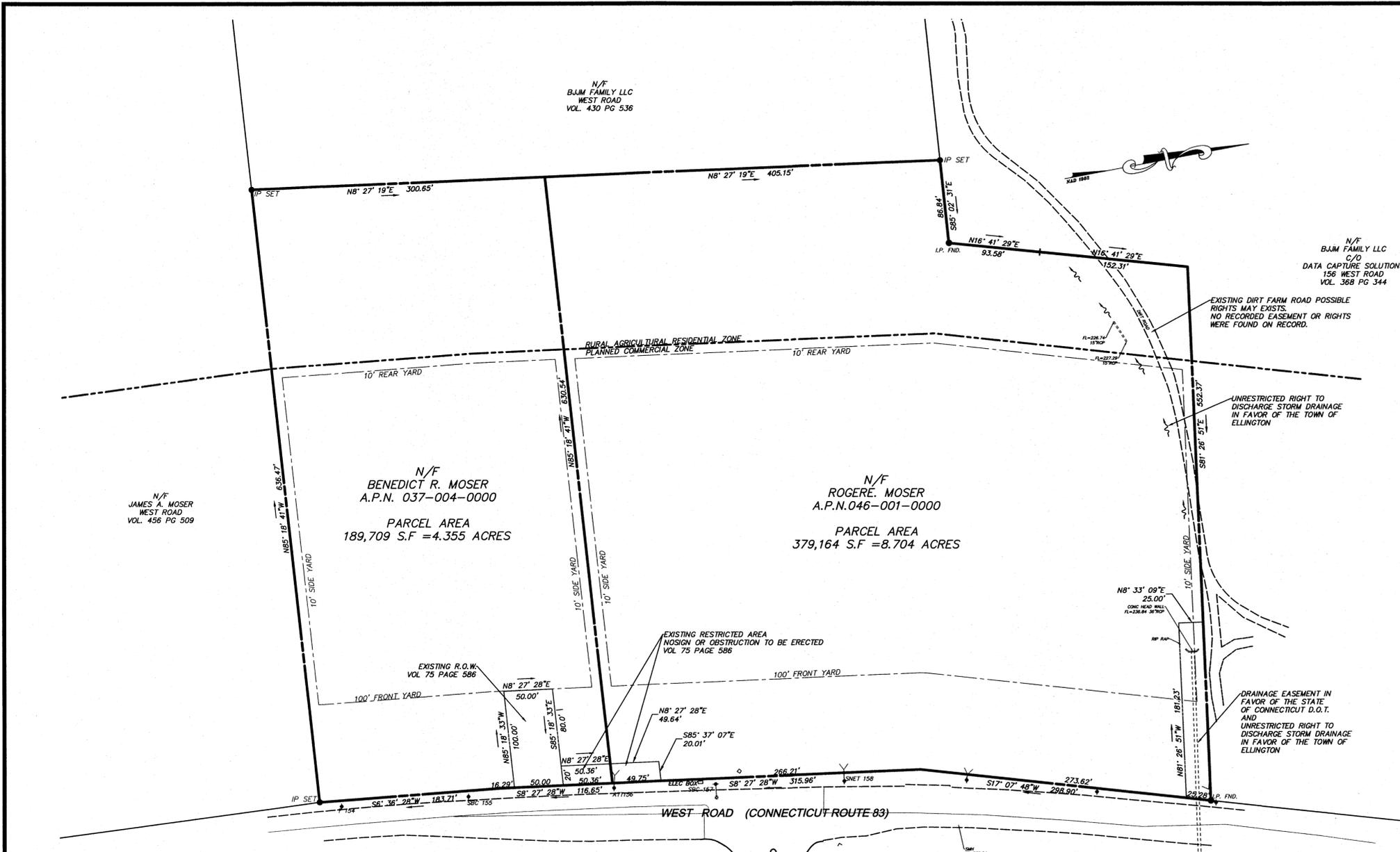
Project - Location

BIG Y FOODS, INC.
WEST ROAD
PHASE II
ELLINGTON, CT

Drawing Set Issue

Sheet Title
**PROPOSED
CAR WASH
PLAN & ELEVATIONS**

Date	Revision
JUNE 25, 2021	
Project Number: 2117	Sheet Number: A3
Scale: 1/8" = 1'-0"	SHEET NO. 20 OF 22



NO.	DATE	DESCRIPTION

SCALE: HORIZ.: 1" = 80'	VERT.: 1" = 80'
SURVEY DATUM: HORIZ.: NAD 1983	
VERT.: NAVD 1988	

Prepared By:

Alfred Benesch & Company
120 Helron Avenue, Floor 2
Glastonbury, Connecticut
860-833-8341

- SURVEY NOTES**
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-302b-1 THRU 20-302b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 - THE TYPE OF SURVEY IS A PROPERTY/BOUNDARY, TOPOGRAPHIC AND GENERAL LOCATION SURVEY.
 - THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY.
 - THE ACCURACIES ARE AS FOLLOWS:

HORIZONTAL CONTROL	CLASS "A-2"
VERTICAL CONTROL	CLASS "V-2"
BOUNDARY	CLASS "A-2"
TOPOGRAPHY	CLASS "T-2"
SURFACE UTILITIES	CLASS "T-2"
UNDERGROUND UTILITIES	CLASS "D" (COMPILED)
 - THE COORDINATES AND ELEVATIONS DEPICTED ON THE PLAN REPRESENT THE NAD '83 AND THE NAVD '88 DATUMS. COORDINATES WERE ESTABLISHED ON THE SITE BASED UPON GPS OBSERVATIONS TAKEN ON SEPTEMBER 11, 2017 USING TRIMBLE GNSS RTK R10 RECEIVERS AND SOLUTIONS PROVIDED THROUGH THE KE'NET NETWORK.
 - UNDERGROUND UTILITIES (IF DEPICTED) HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND ALFRED BENESCH & COMPANY DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCES OF WHICH ARE UNKNOWN TO ALFRED BENESCH & COMPANY. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL "CALL BEFORE YOU DIG" 1-800-922-4455.
 - THE SUBJECT PROPERTY'S CURRENT DEED CAN BE FOUND IN VOLUME 456 PAGE 512-514 AND VOLUME 456 PAGE 515-516 OF THE TOWN OF ELLINGTON LAND RECORDS.
 - THE PROPERTY IS LOCATED IN THE "PLANNED COMMERCIAL ZONE" AND "RURAL AGRICULTURAL RESIDENTIAL ZONE" PER TOWN.
 - THE PROPERTY LIES WITHIN THE "OTHER AREAS ZONE 'X' - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN." PER THE FEMA FLOOD INSURANCE RATE MAP TOWN OF ELLINGTON, CONNECTICUT TOLLAND COUNTY PANEL 15 OF 15 COMMUNITY-PANEL NUMBER 0901580015C MAP REVISED FEBRUARY 5, 1997.
 - TOTAL PARCEL AREAS COMBINED IS 568,873 SQ. FT. = 13.060 AC.
 - SEE SHEET SV.02 FOR TOPOGRAPHIC SURVEY

LEGEND

UTILITY SERVICES (UNDERGROUND OR OVERHEAD)	
E	ELECTRIC SERVICE
G	GAS PIPES
SA	SANITARY SEWER PIPES
SW	STORM WATER PIPES (LESS THAN 12")
SL	STORM WATER PIPES (12" OR LARGER)
STM	STEAM PIPES (SUPPLY & COND.)
T	TELEPHONE SERVICE
W	WATER PIPES
COM	COMMUNICATION/FIBER OPTIC SERVICE
FP	FIRE PROTECTION PIPES
UG	UNKNOWN UTILITY SERVICE
OH	OVERHEAD WIRES
PROPERTY/BOUNDARY LINES	
---	PROPERTY/BOUNDARY LINES (CLASS A-2)
---	PROPERTY/BOUNDARY LINES (CLASS D)
---	EASEMENT LINES
FEATURE LINES	
---	CURBED ROADWAY
---	EDGE OF PAVED ROAD/DRIVE
---	BUILDING ROOFLINE (AERIAL PHOTOS)
---	RETAINING WALL
---	STOCKADE FENCE
---	CHAIN LINK/WIRE FENCE
---	TREE/VEGETATION LINE
---	STONE WALL
---	SURFACE WATER (WATERCOURSE)
---	WETLANDS LIMIT
---	EDGE OF LANDSCAPING
---	INTERMEDIATE CONTOUR
---	INDEX CONTOUR

SYMBOL LEGEND	ABBREVIATIONS
■	A/C AIR CONDITIONER
▲	AMT AMERICAN TELEPHONE & TELEGRAPH COMPANY
●	BIT BITUMINOUS
■	BLK BLACK
■	CB CATCH BASIN
■	COM COMMUNICATION
■	CONC CONCRETE
■	CNG CONCRETE
■	CNTF CONCRETE
■	CL CENTERLINE
■	CLP CL
■	CP CONCRETE
■	CP CONTROL POINT
■	DEC DECIDUOUS
■	DMH DRAINAGE MANHOLE
■	EL EAST OR ELECTRIC
■	ELEV ELEVATION
■	EMH ELECTRIC MANHOLE
■	FL FLOW LINE
■	FND FOUND
■	GRN GRANITE
■	GSTC GRANITE STONE CURB
■	HELCO HARTFORD ELECTRIC COMPANY
■	HYD HYDRANT
■	H.H. HAND HOLE
■	L.P. LIGHT POLE
■	M.M. MANHOLE
■	M METER
■	M.W. MONITOR WELL
■	N NORTH
■	NAD NORTH AMERICAN DATUM
■	NVD NATIONAL AMERICAN VERTICAL DATUM
■	NE NORTHEAST
■	N/F NOW OR FORMERLY
■	NW NORTHWEST
■	PC POLYVINYL CHLORIDE
■	P.I.V. POST INDICATOR VALVE
■	RET. RETAINING
■	RCP REINFORCED CONCRETE PIPE
■	R.L. RAIN LEADER
■	S SOUTH OR SUPPLY
■	SE SOUTHEAST
■	SW SOUTHWEST
■	SNL SANITARY
■	SMH SANITARY MANHOLE
■	SNET SOUTHERN NEW ENGLAND TELEPHONE
■	SQ SQUARE
■	STN STEAM
■	STM TELEPHONE MANHOLE
■	TEL TELEPHONE
■	T.F. TOP OF FRAME
■	UNK UNKNOWN
■	W WATER OR WEST
■	W.G. WATER GATE

- MAP REFERENCES**
- LOT RECONFIGURATION FOR REM MOTOR RENTAL ELLINGTON, CONNECTICUT SCALE 1"=100' DATE 2-7-2014 BY LANDMARK SURVEYS, LLC
 - LOT RECONFIGURATION LAND OF KUPFERSCHMID FAMILY TRUST WEST ROAD ELLINGTON, CONNECTICUT SCALE 1"=100' DATE 9-12-2014 BY LANDMARK SURVEYS, LLC
 - PROPERTY SURVEY LAND OF KUPFERSCHMID FAMILY TRUST 156 WEST ROAD ELLINGTON, CONNECTICUT SCALE 1"=100' DATE 5-03-2006 REVISED 5-10-2006 BY LANDMARK SURVEYS, LLC
 - COMPILATION SURVEY PREPARED FOR VALLEY FARMS PROPERTY TO BE CONVEYED TO SKINNER PROPERTIES, LLC WEST ROAD - CONN. RTE 83 ELLINGTON, CONNECTICUT SCALE 1"=40' DATE 5-4-04 BY LAND MARK SURVEYS, LLC
 - CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF ELLINGTON THE ROCKVILLE-SOMERS ROAD FROM VERNON TOWN LINE TO SOMERS TOWN LINE ROUTE NO. 108 SCALE 1"=40' NO. 94 SHEET NO 3 OF 5 DATE NOV. 20, 1928
 - ELLINGTON HIGHLANDS - DRAINAGE IMPROVEMENTS ROUTE 83 - WEST ROAD ELLINGTON, CONNECTICUT PROPOSED 36" CULVERT OWNER T & M BUILDERS CO. DATE MARCH 15, 2002 SCALE 1"=40' REVISED DEC 16, 2002 BY TO DESIGN

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

DAVID A. CARICCHIO, P.L.S. No. 70036
ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
(not valid without original signature and embossed seal)

4/3/2018 DATE



attached file ECW_blanck.dwg

BOUNDARY SURVEY
PREPARED FOR
BIG Y FOODS, INC
WEST ROAD (CONNECTICUT ROUTE 83)
ELLINGTON
CONNECTICUT

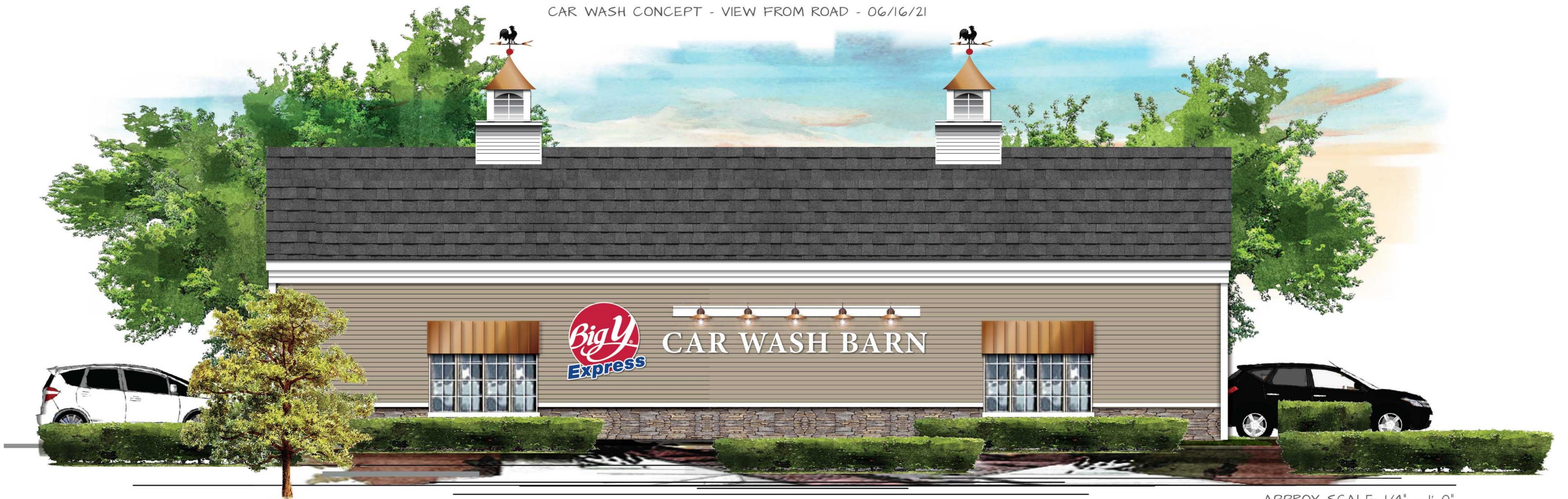
PROJ. No.: 70421.00
DATE: OCTOBER 2017
SHEET No.: 16 of 23

SV.01

SHEET NO.: 21 OF 22

File Location/Name: X:\70421\001\7042100 Big Y Ellington\Survey\ACAD\70421 Benesch.dwg
Date of Plot: October 11, 2017 - 8:29 PM

BIG Y EXPRESS - ELLINGTON COMPLEX - PHASE 2
CAR WASH CONCEPT - VIEW FROM ROAD - 06/16/21



APPROX SCALE: 1/4" = 1' 0"

BrodenDesignGroup
Broden Design Group

2 Valley Road, Denville, NJ 07834
1-800-432-6522 FAX 1-862-209-1401
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BIG Y EXPRESS - ELLINGTON COMPLEX - PHASE 2
CAR WASH CONCEPT - OFFICE VIEW - 06/14/21



APPROX SCALE: 1/4" = 1' 0"

BrodenDesignGroup

2 Valley Road, Denville, NJ 07834
1-800-432-6522 FAX 1-862-209-1401
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BIG Y EXPRESS - ELLINGTON COMPLEX - PHASE 2
RESTAURANT CONCEPT - PATIO VIEW - 05/27/21



APPROX SCALE: 1/4" = 1' 0"

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BIG Y EXPRESS - ELLINGTON COMPLEX - PHASE 2
RESTAURANT CONCEPT - ENTRANCE VIEW - 05/27/21



APPROX SCALE: 1/4" = 1' 0"

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BIG Y EXPRESS - ELLINGTON COMPLEX - PHASE 2
RESTAURANT CONCEPT - SIDE PATIO VIEW - 05/27/21



APPROX SCALE: 1/4" = 1' 0"

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BIG Y EXPRESS - ELLINGTON COMPLEX - PHASE 2
RESTAURANT CONCEPT - SIDE VIEW - 05/27/21

APPROX SCALE: 1/4" = 1' 0"

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PARKING TABULATION

REQUIRED

Retail Trade	1 parking space for each 200 sq. ft. of net floor area.
Restaurant	1 parking space for each 100 sq. ft. of net floor area
Fueling Facility	5 parking spaces
Car Wash	1 parking space for each washing stall

Required Calculation

Retail Buildings	14,950 Sq. Ft. (times .8 for net floor area) 14,950 x .8 = 11,960 net floor area	60 Spaces
Restaurant	7,500 Sq. Ft. (times .8 for net floor area) 7,500 x .8 = 6,000 net floor area	60 Spaces
Car Wash	4 Washing Stalls	4 Spaces
Fueling Facility		5 Spaces
Total Required Spaces		129 Spaces

Proposed Parking Spaces	127 Parking Spaces 12 Pump Spaces
	139 Parking Spaces

DEVELOPMENT DATA

EXISTING BUILDINGS

BUILDING 'A'	12,822 Sq. Ft.
BUILDING 'B'	2,128 Sq. Ft.
FUELING FACILITY	6 Pumps Islands

PROPOSED BUILDINGS

RESTAURANT	5,000 Sq. Ft. 2,500 Sq. Ft. Patio
CAR WASH	4 Wash Stations 672 Sq. Ft. Office / Maintenance



FAH		F. A. Hesketh & Associates, Inc. 3 Creamery Brook, East Granby, CT 06026 Phone (860) 653-8000 Fax (860) 844-8600 www.fahhsketh.com	
Base-4		TITLE PREPARED FOR CLIENT STREET CITY, STATE	
Dater: 05-05-2021 Scale: 1" = 30' Checked by: GAH Drawn by: KLL Job no: 18108 Sheet no: 1 OF 1		Revisions: No. Date Description	

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Town of Ellington Planning Department

55 Main ST., PO Box 187, Ellington, CT, 06029/Phone: 860-870-3120/Fax: 860-870-3122/lhoulihan@ellington-ct.gov

MEMO

DATE: July 26, 2021

TO: Planning and Zoning Commission

FROM: Lisa M. Houlihan, AICP, Town Planner

SUBJECT: Text Amendment to Section 3.1.2 Residential Uses, Table 6.2.3 Off Street Parking Requirements, and Section 7.1 Accessory Apartments and Public Act 21-29 - An Act Concerning the Zoning Enabling Act, Accessory Apartments, Training for Certain Land Use Officials, Municipal Affordable Housing Plans and a Commission on Connecticut's Development and Future.

Over the past couple months, we've discussed potential amendments to accessory apartment regulations in lieu of newly passed laws. Enclosed you'll find a draft text amendment reflecting feedback from discussions and a copy of relevant sections of Public Act 21-29.

The proposal was sent to the Capitol Region Council of Governments (CRCOG), and CRCOG finds no apparent conflict with regional plans and policies or the concerns of neighboring towns, and staff commends efforts to encourage and support zoning regulations that permit a greater diversity of housing types and costs.

I've discussed the proposal with John Colonese, Assistant Town Planner Zoning/Wetlands Officer, and discussion resulted in two additional staff-recommended changes. The changes clarify that an accessory apartment associated with a farm is exempt from being a certain percentage of the usable floor area of the primary dwelling unit and include language that an accessory apartment shall have only one main entrance on the street side. The changes are minor in nature and can be considered without providing additional notice.

TEXT AMENDMENT

July 1, 2021 Additions are bolded & underlined / Deletions are ~~stricken through~~ / Otherwise as currently adopted

July 26, 2021 [*Additions are italicized and bracketed*] / Deletions are ~~italicized and stricken through~~

Amendment to update various sections of the Ellington Zoning Regulations regarding accessory apartments, pursuant to PA-21-29 An Act Concerning The Zoning Enabling Act, Accessory Apartments, Training for Certain Land Use Officials, Municipal Affordable Housing Plans and a Commission on Connecticut's Development and Future.

3.1.2 RESIDENTIAL USES	Rural Agricultural / Residential	Residential	Lake Residential
1. Accessory apartment in accordance with Section 7.1	<u>SP P</u>	<u>SP P</u>	<u>P</u>

Table 6.2.3 Off Street Parking Requirements	
Dwelling - Single Family	2 parking spaces per family unit
<u>Accessory Apartment</u>	<u>1 parking space per accessory apartment</u>

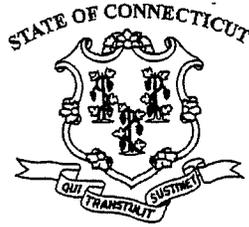
Section 7.1 Accessory Apartments

- A. Accessory Apartments are subject to the following restrictions and conditions:
1. Either the primary dwelling unit or accessory apartment shall be owner-occupied. ~~and one of the dwelling units shall be occupied by a person 60 years of age or older, or a handicapped person.~~
 2. The usable floor area of the accessory apartment shall ~~have a maximum of~~ **be less than** 50 percent of the usable floor area of the primary dwelling unit **and shall be no more than** 1,000 square feet, except when an accessory apartment **is associated with a farm it shall be no more than 1,250 square feet** [*and shall be exempt from being less than 50 percent of the usable floor area of the primary dwelling unit*] ~~except that the area of the accessory apartment shall not exceed.~~ These areas shall be exclusive of garages, porches, or basements.
 3. The accessory apartment shall have no more than two bedrooms.
 4. **The accessory apartment shall comply with Section 3.2.3 Minimum Yard Setbacks and Section 3.2.4 Building Height & Lot Coverage.**
 5. **When an accessory apartment is attached to a primary dwelling unit, the following shall apply:**
 - a. The architectural treatment of the total structure shall be as to portray the character of a single-family dwelling unit.
 - b. The [*accessory dwelling unit*] ~~structure~~ shall have only one main entrance on the street side of the structure; all other entrances shall be at the side or to the rear.
 6. ~~The primary dwelling unit and the accessory apartment shall have a connecting door between the two dwelling units.~~

Any violation of the terms of the special permit shall be prosecuted in accordance with Connecticut General Statutes.

Section 10.2 DEFINITIONS

Accessory Apartment. A subordinate **separate attached or detached** dwelling unit that is intended for use as a complete, independent living facility located in a residence constructed as, ~~and having the character of, a single-family residence, which subordinate dwelling unit does not substantially alter the character and appearance of the residential structure or its conformity with the character of the neighborhood~~ **located on the same lot as a primary dwelling and in compliance with the regulations.**



Substitute House Bill No. 6107

Public Act No. 21-29

AN ACT CONCERNING THE ZONING ENABLING ACT, ACCESSORY APARTMENTS, TRAINING FOR CERTAIN LAND USE OFFICIALS, MUNICIPAL AFFORDABLE HOUSING PLANS AND A COMMISSION ON CONNECTICUT'S DEVELOPMENT AND FUTURE.

Be it enacted by the Senate and House of Representatives in General Assembly convened:

Section 1. Section 8-1a of the general statutes is repealed and the following is substituted in lieu thereof (*Effective October 1, 2021*):

(a) "Municipality" as used in this chapter shall include a district establishing a zoning commission under section 7-326. Wherever the words "town" and "selectmen" appear in this chapter, they shall be deemed to include "district" and "officers of such district", respectively.

(b) As used in this chapter and section 6 of this act:

(1) "Accessory apartment" means a separate dwelling unit that (A) is located on the same lot as a principal dwelling unit of greater square footage, (B) has cooking facilities, and (C) complies with or is otherwise exempt from any applicable building code, fire code and health and safety regulations;

(2) "Affordable accessory apartment" means an accessory apartment that is subject to binding recorded deeds which contain covenants or

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restrictions that require such accessory apartment be sold or rented at, or below, prices that will preserve the unit as housing for which, for a period of not less than ten years, persons and families pay thirty per cent or less of income, where such income is less than or equal to eighty per cent of the median income;

(3) "As of right" means able to be approved in accordance with the terms of a zoning regulation or regulations and without requiring that a public hearing be held, a variance, special permit or special exception be granted or some other discretionary zoning action be taken, other than a determination that a site plan is in conformance with applicable zoning regulations;

(4) "Cottage cluster" means a grouping of at least four detached housing units, or live work units, per acre that are located around a common open area;

(5) "Middle housing" means duplexes, triplexes, quadplexes, cottage clusters and townhouses;

(6) "Mixed-use development" means a development containing both residential and nonresidential uses in any single building; and

(7) "Townhouse" means a residential building constructed in a grouping of three or more attached units, each of which shares at least one common wall with an adjacent unit and has exterior walls on at least two sides.

Sec. 2. Section 8-1c of the general statutes is repealed and the following is substituted in lieu thereof (*Effective October 1, 2021*):

(a) Any municipality may, by ordinance, establish a schedule of reasonable fees for the processing of applications by a municipal zoning commission, planning commission, combined planning and zoning commission, zoning board of appeals or inland wetlands commission.

Substitute House Bill No. 6107

provided such commission: (1) First holds a public hearing in accordance with the provisions of section 8-7d of the general statutes on such proposed opt-out, (2) affirmatively decides to opt out of the provision of said subsection within the period of time permitted under section 8-7d of the general statutes, (3) states upon its records the reasons for such decision, and (4) publishes notice of such decision in a newspaper having a substantial circulation in the municipality not later than fifteen days after such decision has been rendered. Thereafter, the municipality's legislative body or, in a municipality where the legislative body is a town meeting, its board of selectmen, by a two-thirds vote, may complete the process by which such municipality opts out of the provision of subsection (d) of section 8-2 of the general statutes, as amended by this act.

Sec. 6. (NEW) (*Effective January 1, 2022*) (a) Any zoning regulations adopted pursuant to section 8-2 of the general statutes, as amended by this act, shall:

(1) Designate locations or zoning districts within the municipality in which accessory apartments are allowed, provided at least one accessory apartment shall be allowed as of right on each lot that contains a single-family dwelling and no such accessory apartment shall be required to be an affordable accessory apartment;

(2) Allow accessory apartments to be attached to or located within the proposed or existing principal dwelling, or detached from the proposed or existing principal dwelling and located on the same lot as such dwelling;

(3) Set a maximum net floor area for an accessory apartment of not less than thirty per cent of the net floor area of the principal dwelling, or one thousand square feet, whichever is less, except that such regulations may allow a larger net floor area for such apartments;

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(4) Require setbacks, lot size and building frontage less than or equal to that which is required for the principal dwelling, and require lot coverage greater than or equal to that which is required for the principal dwelling;

(5) Provide for height, landscaping and architectural design standards that do not exceed any such standards as they are applied to single-family dwellings in the municipality;

(6) Be prohibited from requiring (A) a passageway between any such accessory apartment and any such principal dwelling, (B) an exterior door for any such accessory apartment, except as required by the applicable building or fire code, (C) any more than one parking space for any such accessory apartment, or fees in lieu of parking otherwise allowed by section 8-2c of the general statutes, (D) a familial, marital or employment relationship between occupants of the principal dwelling and accessory apartment, (E) a minimum age for occupants of the accessory apartment, (F) separate billing of utilities otherwise connected to, or used by, the principal dwelling unit, or (G) periodic renewals for permits for such accessory apartments; and

(7) Be interpreted and enforced such that nothing in this section shall be in derogation of (A) applicable building code requirements, (B) the ability of a municipality to prohibit or limit the use of accessory apartments for short-term rentals or vacation stays, or (C) other requirements where a well or private sewerage system is being used, provided approval for any such accessory apartment shall not be unreasonably withheld.

(b) The as of right permit application and review process for approval of accessory apartments shall require that a decision on any such application be rendered not later than sixty-five days after receipt of such application by the applicable zoning commission, except that an applicant may consent to one or more extensions of not more than an

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additional sixty-five days or may withdraw such application.

(c) A municipality shall not (1) condition the approval of an accessory apartment on the correction of a nonconforming use, structure or lot, or (2) require the installation of fire sprinklers in an accessory apartment if such sprinklers are not required for the principal dwelling located on the same lot or otherwise required by the fire code.

(d) A municipality, special district, sewer or water authority shall not (1) consider an accessory apartment to be a new residential use for the purposes of calculating connection fees or capacity charges for utilities, including water and sewer service, unless such accessory apartment was constructed with a new single-family dwelling on the same lot, or (2) require the installation of a new or separate utility connection directly to an accessory apartment or impose a related connection fee or capacity charge.

(e) If a municipality fails to adopt new regulations or amend existing regulations by January 1, 2023, for the purpose of complying with the provisions of subsections (a) to (d), inclusive, of this section, and unless such municipality opts out of the provisions of said subsections in accordance with the provisions of subsection (f) of this section, any noncompliant existing regulation shall become null and void and such municipality shall approve or deny applications for accessory apartments in accordance with the requirements for regulations set forth in the provisions of subsections (a) to (d), inclusive, of this section until such municipality adopts or amends a regulation in compliance with said subsections. A municipality may not use or impose additional standards beyond those set forth in subsections (a) to (d), inclusive, of this section.

(f) Notwithstanding the provisions of subsections (a) to (d), inclusive, of this section, the zoning commission or combined planning and zoning commission, as applicable, of a municipality, by a two-thirds

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vote, may initiate the process by which such municipality opts out of the provisions of said subsections regarding allowance of accessory apartments, provided such commission: (1) First holds a public hearing in accordance with the provisions of section 8-7d of the general statutes on such proposed opt-out, (2) affirmatively decides to opt out of the provisions of said subsections within the period of time permitted under section 8-7d of the general statutes, (3) states upon its records the reasons for such decision, and (4) publishes notice of such decision in a newspaper having a substantial circulation in the municipality not later than fifteen days after such decision has been rendered. Thereafter, the municipality's legislative body or, in a municipality where the legislative body is a town meeting, its board of selectmen, by a two-thirds vote, may complete the process by which such municipality opts out of the provisions of subsections (a) to (d), inclusive, of this section, except that, on and after January 1, 2023, no municipality may opt out of the provisions of said subsections.

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Sec. 10. Section 7-245 of the general statutes is repealed and the following is substituted in lieu thereof (*Effective October 1, 2021*):

For the purposes of this chapter: (1) "Acquire a sewerage system" means obtain title to all or any part of a sewerage system or any interest therein by purchase, condemnation, grant, gift, lease, rental or otherwise; (2) "alternative sewage treatment system" means a sewage treatment system serving one or more buildings that utilizes a method

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of treatment other than a subsurface sewage disposal system and that involves a discharge to the groundwaters of the state; (3) "community sewerage system" means any sewerage system serving two or more residences in separate structures which is not connected to a municipal sewerage system or which is connected to a municipal sewerage system as a distinct and separately managed district or segment of such system, but does not include any sewerage system serving only a principal dwelling unit and an accessory apartment, as defined in section 8-1a, as amended by this act, located on the same lot; (4) "construct a sewerage system" means to acquire land, easements, rights-of-way or any other real or personal property or any interest therein, plan, construct, reconstruct, equip, extend and enlarge all or any part of a sewerage system; (5) "decentralized system" means managed subsurface sewage disposal systems, managed alternative sewage treatment systems or community sewerage systems that discharge sewage flows of less than five thousand gallons per day, are used to collect and treat domestic sewage, and involve a discharge to the groundwaters of the state from areas of a municipality; (6) "decentralized wastewater management district" means areas of a municipality designated by the municipality through a municipal ordinance when an engineering report has determined that the existing subsurface sewage disposal systems may be detrimental to public health or the environment and that decentralized systems are required and such report is approved by the Commissioner of Energy and Environmental Protection with concurring approval by the Commissioner of Public Health, after consultation with the local director of health; (7) "municipality" means any metropolitan district, town, consolidated town and city, consolidated town and borough, city, borough, village, fire and sewer district, sewer district and each municipal organization having authority to levy and collect taxes; (8) "operate a sewerage system" means own, use, equip, reequip, repair, maintain, supervise, manage, operate and perform any act pertinent to the collection, transportation and disposal of sewage; (9) "person" means any person, partnership,

Substitute House Bill No. 6107

corporation, limited liability company, association or public agency; (10) "remediation standards" means pollutant limits, performance requirements, design parameters or technical standards for application to existing sewage discharges in a decentralized wastewater management district for the improvement of wastewater treatment to protect public health and the environment; (11) "sewage" means any substance, liquid or solid, which may contaminate or pollute or affect the cleanliness or purity of any water; and (12) "sewerage system" means any device, equipment, appurtenance, facility and method for collecting, transporting, receiving, treating, disposing of or discharging sewage, including, but not limited to, decentralized systems within a decentralized wastewater management district when such district is established by municipal ordinance pursuant to section 7-247.

Barbra Galovich

From: Timothy Webb
Sent: Tuesday, July 06, 2021 10:42 AM
To: Barbra Galovich; James York; Kim Bechard; Lori Spielman; Mike Caronna; Raymond Martin; Sydney Kern; Westford Lirot
Cc: Lisa Houlihan
Subject: RE: Staff Review - Z202112 - Proposed text amendment to Section 7.1 - Accessory Apartments

Good morning there is no impact to DPW. WPCA would have concerns if the allotted flow for the property is increased and would need to be reviewed by the WPCA

From: Barbra Galovich
Sent: Tuesday, July 06, 2021 9:32 AM
To: James York <JYork@ELLINGTON-CT.GOV>; Kim Bechard <KBechard@ELLINGTON-CT.GOV>; Lori Spielman <lspielman@ELLINGTON-CT.GOV>; Mike Caronna <mcaronna@ncdhd.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Timothy Webb <twebb@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: Staff Review - Z202112 - Proposed text amendment to Section 7.1 - Accessory Apartments

Hi,

Hope you are doing well. Please see the attached documentation with Staff Review Sheet. This application will be discussed at the PZC meeting on Monday, July 26, 2021.

~~Please provide your comments/concerns on or before July 16, 2021.~~

Thank you in advance for your review.

Barbra

Barbra Galovich, CZET
Land Use Assistant
Town of Ellington
55 Main Street
Ellington, CT 06029
(860) 870-3120

July 23, 2021

TO: ELLINGTON PLANNING AND ZONING COMMISSION

REPORT ON ZONING REFERRAL Z-2021-61: Proposed zoning amendment pertaining to accessory apartments as a permitted use in the Rural Agricultural/Residential and Residential zones.

COMMISSIONERS: Receipt is acknowledged of the above-mentioned referral. Notice of this proposal was transmitted to the Policy and Planning Division of the Capitol Region Council of Governments under the provisions of Section 8-3b of the Connecticut General Statutes, as amended.

COMMENT: The staff of the Regional Planning Commission of the Capitol Region Council of Governments has reviewed this zoning referral and finds no apparent conflict with regional plans and policies or the concerns of neighboring towns. Staff commends the efforts around accessory apartments which furthers CRCOG policy to encourage and support changes to zoning regulations to permit a greater diversity of housing types and costs.

The public hearing date has been scheduled for 7/26/2021.

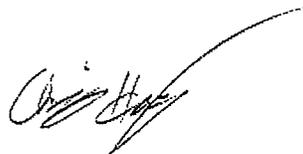
In accordance with our procedures this letter will constitute final CRCOG action on this referral. Questions concerning this referral should be directed to Christopher Henchey.

DISTRIBUTION: Planner: Somers, Enfield, East Windsor, South Windsor, Vernon, Tolland, Stafford, Willington

Respectfully submitted,

Jennifer Bartiss-Earley, Chairman
Regional Planning Commission

Brendan Malone, Vice Chairman
Regional Planning Commission



Christopher Henchey
Transportation Planner



STATE OF CONNECTICUT – COUNTY OF
TOLLAND INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
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TEL. (860) 870-3120

TOWN PLANNER'S OFFICE

FAX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING MINUTES

MONDAY, JUNE 28, 2021, 7:00 PM

IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: ZOOM VIDEO CONFERENCING, INSTRUCTIONS PROVIDED

MEMBERS PRESENT: IN PERSON: CHAIRMAN ARLO HOFFMAN, VICE CHAIRMAN SEAN KELLY, REGULAR MEMBERS RICCI HIRTH, WILLIAM HOGAN, F. MICHAEL FRANCIS AND MICHAEL SWANSON, AND ALTERNATE KEN RADZIOW. ZOOM ATTENDANCE: NONE.

MEMBERS ABSENT: SECRETARY ROBERT SANDBERG, JR. AND ALTERNATE JON MOSER

STAFF PRESENT: IN PERSON: LISA HOULIHAN, TOWN PLANNER AND BARBRA GALOVICH, RECORDING CLERK. ZOOM ATTENDANCE: NONE.

I. **CALL TO ORDER:** Chairman Hoffman called the meeting to order at 7:01 pm.

II. **PUBLIC COMMENTS** (On non-agenda items):

Nicholas Healy, 92 Frog Hollow Road, is currently growing hemp on his property and has been helping other in Massachusetts with their cultivation. He wanted to start a dialog with the commission pertaining to the new Connecticut state laws for the growth of marijuana. He is interested in the cultivation process and not interested in the dispensary portion. Chairman Hoffman stated the activity is a cash crop for farmers. The commission will look at their regulations and the town has a choice to opt out with the state. Mr. Healy noted he has 17+ acres and has been doing his research pertaining to the growth of the product. He is hoping to have a glass hoop house constructed with raised beds and has been helping friends with their production. He said the Department of Consumer Protection will regulate how many dispensaries and cultivation sites will be allowed within any particular town. For example they would allow one dispensary for every 25,000 people within a town or city. Mr. Healy thanked the commission for the open dialog and looks forward to seeing how they move forward.

III. **PUBLIC HEARING(S):**
BY CONSENSUS, THE COMMISSION WENT OUT OF AGENDA ORDER TO ADDRESS ITEM #1 OF NEW BUSINESS.

V. **NEW BUSINESS:**

1. Z202110 - Pursuant to a memo dated June 23, 2021, from the Ellington First Selectman, request for CGS §8-24 review regarding the acquisition of 59 Maple Street, APN 073-003-0000, consisting of approximately 11.46 acres, in the RAR (Rural Agricultural Residential) and R (Residential) Zones.

Lori Spielman, Ellington First Selectwoman, was present to represent the CGS §8-24 request. Ms. Spielman explained funds for the purchase of the parcel was in the budget last year. She noted

the land is a total of 11.46 acres, currently used to grow corn and the terrain is flat. The parcel is located next to the high school and is zoned residential. The purchase would be for future development for a possible elderly housing development for ages over 62, similar to Snipsic Village on Main Street. The Town may seek a grant for the development and will need a future sewer expansion. The possible purchase would need to go to Town Meeting for vote.

Chairman Hoffman stated the purchase would fit within the Plan of Conservation & Development (POCD) by providing housing for the elderly. Vice Chairman Kelly asked if any of the parcel would be dedicated to fields for the high school. Ms. Spielman said none of the parcel would be for high school recreation. Commissioner Hirth suggested the Town plant trees along the street first before any other development starts.

MOVED (HOGAN), SECONDED (KELLY) AND PASSED UNANIMOUSLY TO RESOLVE THAT THE PLANNING AND ZONING COMMISSION RENDER A (POSITIVE REFERRAL) TO THE BOARD OF SELECTMEN FOR A REQUEST TO CONSIDER THE ACQUISITION OF A PARCEL OF LAND KNOWN AS 59 MAPLE STREET, ASSESSOR PARCEL NUMBER APN 073-003-0000, NOW OR FORMERLY OWNED BY ROBERT W. AND CHRISTINE A. SCHLUDE, CONSISTING OF APPROXIMATELY 11.46 ACRES, IN ACCORDANCE WITH CONNECTICUT GENERAL STATUTE SECTION 8-24. IN SO RECOMMENDING, THE COMMISSION FINDS NO CONFLICT WITH THE PLAN OF CONSERVATION AND DEVELOPMENT AND THAT ACQUISITION OF SAID PARCEL PROVIDES POTENTIAL TO EXPAND ELDERLY HOUSING AND/OR INCREASE AND ENHANCE COMMUNITY FACILITIES IN TOWN CENTER.

BY CONSENSUS, THE COMMISSION WENT BACK TO THE ORIGINAL AGENDA ORDER.

Applications S202101 and Z202109 were heard simultaneously.

1. S202101 – Sunset Valley Farms, LLC owner/ David Moser, applicant, request for re-subdivision of 42.34 acres for two (2) lots for 55 Kreyssig Road, APN 156-004-0001, in a RAR (Rural Agricultural Residential) Zone.

Time: 7:24 pm

Seated: Hoffman, Kelly, Hirth, Hogan, Francis, Swanson and Radziwon

David Moser, 29 Sadds Mill Road and James Holden, 20 Griswold Street were present to represent the application. Mr. Moser stated since the last meeting they received septic system approval from North Central District Health Department (NCDHD). Ms. Houlihan reviewed possible conditions of approval. Mr. Moser clarified that the owner of 55 Kreyssig Road would not have access to Griswold Street. Jack Turner, 911 Coordinator for the Town of Ellington, asked if the driveway to the new house would exit from Kreyssig Road, Mr. Moser said they would access the property from Griswold Street. Mr. Turner said they may need to be assigned a half number off of Griswold Street and will need to discuss this with the Building Official.

MOVED (KELLY) SECONDED (HOGAN) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR S202101 – Sunset Valley Farms, LLC owner/ David Moser, applicant, request for re-subdivision of 42.34 acres for two (2) lots for 55 Kreyssig Road, APN 156-004-0001, in a RAR (Rural Agricultural Residential) Zone.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITION FOR S202101 – Sunset Valley Farms, LLC owner/ David Moser, applicant, request for re-subdivision of 42.34 acres for two (2) lots for 55 Kreyssig Road, APN 156-004-0001, in a RAR (Rural Agricultural Residential) Zone.

CONDITIONS OF APPROVAL:

- **THE PLANS SHALL BE REVISED WITH STREET NUMBERS AND ASSESSOR PARCEL NUMBERS PRIOR TO BEING RECORDED ON THE LAND RECORDS;**
 - **A RIGHT OF WAY PERMIT FOR THE NEW DRIVEWAY SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION;**
 - **AREA SHOWN AS “PORTION OF LAND OF JAMES W. HOLDEN TO BE CONVEYED AND COMBINED WITH LAND OF SUNSET VALLEY FARMS, LLC, AREA 15,248 SF” SHALL BE MERGED WITH LOT 2 AND REQUIRED LEGAL DOCUMENT FILED ON THE LAND RECORDS.**
2. Z202109 – Sunset Valley Farms, LLC owner/ David Moser, applicant, pursuant to Section 7.9 – Rear Lot Requirements, request for a Special Permit for one rear lot to construct a single family home with access along the south border of 20 Griswold Road, APN 157-002-0001, associated with S202101 for re-subdivision of 42.34 acres for two (2) lots at 55 Kreyssig Road, in a RAR (Rural Agricultural Residential) Zone.

Time: 7:24 pm

Seated: Hoffman, Kelly, Hirth, Hogan, Francis, Swanson and Radziwon

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR Z202109 – Sunset Valley Farms, LLC owner/ David Moser, applicant, pursuant to Section 7.9 – Rear Lot Requirements, request for a Special Permit for one rear lot to construct a single family home with access along the south border of 20 Griswold Road, APN 157-002-0001, associated with S202101 for re-subdivision of 42.34 acres for two (2) lots at 55 Kreyssig Road, in a RAR (Rural Agricultural Residential) Zone.

MOVED (KELLY) SECONDED (HOGAN) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITIONS FOR Z202109 – Sunset Valley Farms, LLC owner/ David Moser, applicant, pursuant to Section 7.9 – Rear Lot Requirements, request for a Special Permit for one rear lot to construct a single family home with access along the south border of 20 Griswold Road, APN 157-002-0001, associated with S202101 for re-subdivision of 42.34 acres for two (2) lots at 55 Kreyssig Road, in a RAR (Rural Agricultural Residential) Zone.

CONDITION OF APPROVAL:

AREA SHOWN AS “PORTION OF LAND OF JAMES W. HOLDEN TO BE CONVEYED AND COMBINED WITH LAND OF SUNSET VALLEY FARMS, LLC, AREA 15,248 SF” SHALL BE MERGED WITH LOT 2 AND REQUIRED LEGAL DOCUMENT FILED ON THE LAND RECORDS.

3. S202102 – Mary Ellen H. Trueb, owner/applicant, request for re-subdivision of 13.93 acres for two (2) lots for 80 Tripp Road, APN 023-001-0004, in a RAR (Rural Agricultural Residential) Zone. (Notice requirements met and hearing may commence.)

Time: 7:32 pm

Seated: Hoffman, Kelly, Hirth, Hogan, Francis, Swanson and Radziwon

Russ Heintz, Tarbell, Heintz & Associates, 1227 Burnside Avenue #31, East Hartford, CT was present to represent the application.

Mr. Heintz explained the location of the parcel on Tripp Road. He stated the original house on the parcel was built in 1999. The owners are looking to subdivide the parcel for one of their children

to build a home. He noted soil testing has been completed and NCDHD gave a pre-approval for a three bedroom septic system and the home will be connected to public water.

Ms. Houlihan referred to the Town Engineer comments dated June 24, 2021, and explained given their nature they can be addressed as conditions of approval. She provided other comments as noted in an email dated June 9, 2021. Mr. Heintz explained the owner of the property will create a drainage swale on site for any potential runoff. Ms. Houlihan said the owners will need to provide a drainage easement between the two lots. The subdivision is exempt from open space requirements because the land is being split for a qualifying relative. If the property is sold within five years, other than a transfer to a family member for no consideration, then open space regulations will have to be met. Ms. Houlihan explained since Tripp Road is an existing town road, sidewalks cannot be required.

No one from the public spoke regarding the application.

MOVED (HOGAN) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR S202102 – Mary Ellen H. Trueb, owner/applicant, request for re-subdivision of 13.93 acres for two (2) lots for 80 Tripp Road, APN 023-001-0004, in a RAR (Rural Agricultural Residential) Zone.

MOVED (HOGAN) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO GRANT A WAIVER OF SUBDIVISION REGULATION SECTION 4.11 DRAINAGE/DETENTION DESIGN SUBJECT TO APPROVAL FROM THE TOWN ENGINEER FOR S202102 – Mary Ellen H. Trueb, owner/applicant, request for re-subdivision of 13.93 acres for two (2) lots for 80 Tripp Road, APN 023-001-0004, in a RAR (Rural Agricultural Residential) Zone.

MOVED (HOGAN) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITIONS FOR S202102 – Mary Ellen H. Trueb, owner/applicant, request for re-subdivision of 13.93 acres for two (2) lots for 80 Tripp Road, APN 023-001-0004, in a RAR (Rural Agricultural Residential) Zone.

CONDITIONS OF APPROVAL:

- **A RIGHT OF WAY PERMIT FOR THE NEW DRIVEWAY SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION;**
- **APPROVAL IS SUBJECT TO MEETING THE TOWN ENGINEER'S COMMENTS DATED JUNE 24, 2021;**
- **APPROVAL IS SUBJECT TO MEETING THE TOWN PLANNER'S COMMENTS DATED JUNE 9, 2021.**

IV. OLD BUSINESS: None

V. NEW BUSINESS:

2. Z202111 – Big Y Foods, owner/ applicant, request for a Special Permit and Site Plan Modification for the construction of a 5,000 sf building for a restaurant and a 5,152 sf building for a four bay car wash on West Road, APN 046-001-0000 and APN 037-004-000 in a PC - Planning Commercial Zone.

BY CONSENSUS, RECEIVED APPLICATION AND SCHEDULED PUBLIC HEARING FOR JULY 26, 2021, 7:00 PM AT THE ELLINGTON TOWN HALL ANNEX, 57 MAIN STREET FOR Z202111 – Big Y Foods, owner/ applicant, request for a Special Permit and Site Plan

Modification for the construction of a 5,000 sf building for a restaurant and a 5,152 sf building for a four bay car wash on West Road, APN 046-001-0000 and APN 037-004-000 in a PC - Planning Commercial Zone.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of Planning and Zoning Commission May 24, 2021 Regular Meeting Minutes.

MOVED (SWANSON) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE MAY 24, 2021 REGULAR MEETING MINUTES WITH THE CORRECTION TO PAGE 2 OF 5, PARAGRAPH 3 AS FOLLOWS: COMMISSIONER HOGAN ASKED IF MR. STAVENS HAS AN AGREEMENT WITH THE SURROUNDING NEIGHBORS FOR USE OF THEIR PROPERTY AND INQUIRED ABOUT THE TRAILERS AND STOCKPILES ON THE SITE THAT ENCROACH ONTO OTHER PROPERTIES. MR. STAVENS SAID THE TRAILERS ARE GOING TO BE REMOVED AND HE HAS A GOOD RELATIONSHIP WITH THE ABUTTERS.

2. Correspondence:

- a. Discussion: draft text amendment to Section 7.1 Accessory Apartments of the Ellington Zoning Regulations.

The commission reviewed the draft text amendment to the accessory apartment section of the regulations. Ms. Houlihan reviewed the State of Connecticut's Public Act No. 21-29 requirements for accessory apartments. The commission conducted roundtable discussion.

Attorney Bruce Fader of Jacobs, Walker, Rice & Barry, LLC, 146 Main Street, Manchester, CT, Heather Hollay-Farr, 154 Crystal Lake Road, and Mary Hollay, 156 Crystal Lake Road, were present. Attorney Fader explained the proposed text changes would not benefit his clients. He noted the accessory apartment over the barn is 1,240 sf and if the regulation is to be changed to allow an accessory apartment up to 50% of the primary dwelling, then they could only have 620 sf of livable space. He asked if the commission could add one line to the regulations that would allow up to 1,250 sf accessory apartment if the property has farming activities.

After discussion, the commission agreed to add a provision for larger accessory apartments when associated with a farm and to make a formal application and submit to Capitol Region Council of Governments (CRCOG).

BY CONSENSUS, REVISED DRAFT TEXT AND SCHEDULED PUBLIC HEARING FOR JULY 26, 2021, 7:00 PM AT THE ELLINGTON TOWN HALL ANNEX, 57 MAIN STREET FOR AMENDMENT TO SECTION 7.1 ACCESSORY APARTMENTS OF THE ELLINGTON ZONING REGULATIONS.

VII. ADJOURNMENT:

MOVED (FRANCIS) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO ADJOURN THE PLANNING & ZONING COMMISSION REGULAR MEETING AT 8:17 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk

Town of Ellington

Planning Department



55 Main ST., PO Box 187, Ellington, CT, 06029/Phone: 860-870-3120/Fax: 860-870-3122/lhoulihan@ellington-ct.gov

MEMO

DATE: July 26, 2021

TO: Planning and Zoning Commission

FROM: Lisa M. Houlihan, AICP, Town Planner

SUBJECT: Public Act 21-1 - An Act Concerning Responsible and Equitable Regulation of Adult-Use Cannabis

Recently, a new law passed enabling adult-use cannabis. I've conducted some research on PA 21-1, and enclose the following for your reference:

- Naugatuck Valley Council of Governments Summary of PA 21-1;
- Connecticut Chapter of American Planning Association Summary of PA 21-1;

As detailed in the attached, there's two main mechanisms to regulate adult-use cannabis: zoning regulation and ordinance. Zoning may regulate certain aspects (e.g. growing, manufacturing, packaging, processing, delivery, sales, etc), while ordinance can address other parts (e.g. consumption on public property, etc). Recently, I shared a similar memo with Lori Spielman, First Selectman, and provided her with the same reference material for distribution to the Board of Selectmen and potentially the Town Ordinance Committee.

You may recall at the last Planning and Zoning Commission (PZC) meeting, a resident spoke during public forum about his interest to cultivate cannabis. An informal poll of commissioners present at the meeting disclosed consensus support to allow cultivation of cannabis, but no definitive statement was rendered for dispensing it. Notably, the new law limits one license for cultivation and one license for dispensary per population between 0 to 25,000, and one more of each for every additional 25,000 in population or fraction thereof. According to 2019 estimates from the Connecticut Department of Public Health, Ellington's population is 16,467.

Currently, the Ellington Zoning Regulations include provisions to permit a licensed medical marijuana production facility in industrial zones by special permit and a licensed medical marijuana dispensary in commercial zones by special permit. Additionally, regulations limit one of each town-wide at any one time and do not allow them within 500' of any public or private school, municipal park, public or private recreation facility, daycare, place of worship, hospital, veteran's home or camp or military establishment.

Please review this material over the next month in preparation for discussion at the regularly scheduled meeting on August 23, 2021.

/enclosures



NAUGATUCK VALLEY COUNCIL of GOVERNMENTS

49 Leavenworth Street, 3rd Floor, Waterbury, CT 06702 • 203-757-0535 • 203-735-8688 • nvcogct.gov

July 6, 2021

MEMORANDUM: 07062021 Public Act No. 21-1 Cannabis Act Summary

To: NVCOG Chief Elected Officials
From: Keith Rosenfeld, Regional / Municipal Planner
Subject: Public Act No. 21-1 Cannabis Act Summary

The purpose of this memo is to provide the Naugatuck Valley Council of Governments (NVCOG) communities with an update and summary of the **Responsible and Equitable Regulation of Adult-Use Cannabis Act (Cannabis Act)** and its potential impacts to NVCOG towns and cities. This summary is intended for **informational purposes only**. The NVCOG suggests contacting your town attorney regarding all CGS Sections and Public Acts referenced in this memo.

Our aim is to help our member communities understand and respond to the impacts of the Cannabis Act and inform future municipal legislative actions concerning cannabis sale and consumption. Research concerning the Cannabis Act has been guided by documents produced by the State of Connecticut Office of Legislative Research (OLR) and OFA, and discussions with the Governor's Office and the Office of Policy and Management. The memo is organized by key dates when certain aspects of the legislation become effective. Legislative updates and clarification can be found online at www.ct.gov/cannabis.

Key points about the Cannabis Act

- **Production and retail sale of cannabis can be controlled by municipal zoning and ordinance**
The newly signed Cannabis Act makes numerous changes related to criminal justice, licensing, employment, tax, traffic enforcement, and other laws to establish legal adult recreational use of cannabis (marijuana). However, it is important to understand that municipalities retain the ability to control cannabis production, retail sale and consumption in certain areas via a combination of zoning regulations and specific municipal ordinances. For example, local officials can control the number and locations of cannabis retailers through zoning. Municipalities can also determine where smoked or vaped cannabis can or cannot be consumed (e.g., by prohibiting consumption in city parks or beaches, or on sidewalks or streets). Personal consumption of cannabis by adults on private property remains within the purview of State regulation and has been decriminalized by the terms of the act.

- **Two main tools for control: zoning regulation and ordinance**
The NVCOG communities have two main tools to regulate cannabis establishments and cannabis consumption in their communities: 1) zoning and 2) local ordinance.

Zoning regulation can restrict or regulate the growing of cannabis, its manufacturing processes, its packaging, processing, delivery, and retail sale.

Local ordinance changes can be used to regulate the recreational consumption of cannabis on public property.

If you have any further questions, please contact me at 203-294-9040.

CANNABIS ACT - GENERAL PROVISIONS

STARTING JULY 1, 2021

- Beginning July 1, 2021, individuals aged 21 or older (consumers) **may possess, use, or otherwise consume cannabis**, up to a specified possession limit. Specifically, the amount of cannabis **must not exceed (1) 1.5 ounces of cannabis plant material and five ounces of such material in a locked container in the person's residence or locked glove box or trunk in the person's motor vehicle, (2) an equivalent amount of cannabis products, or (3) an equivalent combined amount of cannabis and cannabis products.** (§§ 2-3, 115, 153 & 159-160)
- **Smoking marijuana will generally not be allowed in places where cigarette smoking is already prohibited;** will be banned on state lands or waters managed by the CT DEEP (§ 14), DOC facilities (§ 92); and will still be illegal in motor vehicles by both drivers and passengers (§ 112 and 113).
- The bill **allows** consumers (i.e., people aged 21 or older) **to give cannabis to other consumers for free** (i.e., without compensation or consideration). § 14

STARTING JULY 1, 2023

- Beginning July 1, 2023, the bill allows any individual age 21 or older to **cultivate up to three mature and three immature cannabis plants** in his or her **primary residence**, if the plants are kept secure from anyone else. § 162

ROLE OF THE CITIZEN

STARTING JULY 1, 2021

- Under the bill, a municipality must hold a referendum on whether to allow specific cannabis establishment license type sales if at least 10% of its electors petition for such a vote at least 60 days before a regular election.

TAXATION

STARTING JULY 1, 2021 AND BEYOND

- The **state's general sales tax of 6.35 percent would apply** to recreational cannabis sales, and an **additional excise tax** based on THC content would be imposed. The bill **also authorizes a 3 percent municipal tax which must be used for community reinvestment.** This tax may be imposed before May 2022.
- The Cannabis Act **imposes a 3 percent municipal sales tax on the gross receipts** from the sale of cannabis by a cannabis or hybrid retailer or micro-cultivator that must be administered in accordance with the state sales and use tax law. The amounts remitted become a part of the municipality's general revenue and must be used for the following purposes:
 1. **Streetscape improvements** and other neighborhood developments in communities where cannabis or hybrid retailers or micro-cultivators are located.
 2. **Education programs** or youth employment and training programs in the municipality.
 3. **Services for individuals living in the municipality** who were released from DOC custody, probation, or parole.
 4. **Mental health or addiction services.**
 5. **Youth service bureaus and municipal juvenile review boards;** and
 6. **Community civic engagement efforts.**
- The law also allows municipalities, for the first 30 days after cannabis retailers or hybrid retailers open, to charge up to \$50,000 for any necessary and reasonable costs for public safety services related to the opening.

MUNICIPAL ORDINANCES

STARTING JULY 1, 2021

- For municipalities with a population of more than 50,000 people, if they regulate the public use of cannabis, the community must designate a location in the municipality where public consumption is allowed.
- If a municipality is considering prohibiting the public consumption of cannabis on public spaces, this is regulated through the enactment (or amendments to) a municipal ordinance prohibiting such activity in public spaces. NVCOG urges our member communities to review their current code of ordinances to determine if they are sufficient to regulate the consumption of cannabis.

EFFECTIVE October 1, 2021

- The Cannabis Act extends the existing law's prohibition on smoking and e-cigarette use in certain establishments and all municipally-controlled properties to include cannabis, hemp, and electronic cannabis delivery systems (ECDS). § 86&87
- The Cannabis Act allows municipalities to ban cannabis smoking (including e cigarette use) at outdoor sections of restaurants. Through regulations, municipalities may set fines for violations, up to (1) \$50 for individuals or (2) \$1,000 for businesses.

ZONING REGULATIONS

STARTING JULY 1, 2021

- **Regulation Review**
Although May 2022 has been identified as the first date when retail marijuana businesses would be allowed to open, it is imperative that NVCOG communities review their current zoning regulations beforehand to determine what regulations are currently in place regarding cannabis and potential amendments that may be needed to regulate the location of cannabis production and retail sale. § 148
- Under the law, a "cannabis establishment" is a producer, dispensary facility, cultivator, micro-cultivator, retailer, hybrid retailer (i.e., licensed to sell both recreational cannabis and medical marijuana), food and beverage manufacturer, product manufacturer, product packager, delivery service, or transporter. § 1

STARTING SEPTEMBER 1, 2021

- In September 2021, with the approval of the Connecticut Department of Consumer Protection and approval from the local zoning commission, existing medical marijuana dispensaries may become "hybrid retailers" to also serve adult-use consumers.
- The chief zoning official of a municipality shall report, in writing, any zoning changes adopted by the municipality regarding cannabis establishments pursuant to this subsection to the Secretary of the Office of Policy and Management and to the department not later than fourteen days after the adoption of such changes.

WHAT COMMUNITIES CANNOT DO

Cannabis Act bars municipalities or local officials from:

- Prohibiting the delivery of cannabis to (1) consumers or (2) qualifying medical marijuana patients or their caregivers, if the delivery is made by someone authorized to do so under the bill (e.g., retailers, dispensary facilities, or delivery services).
- Prohibiting the transport of cannabis to, from, or through the municipality by anyone licensed or registered to do so.
- Prohibiting the delivery of cannabis when the delivery is made by a retailer, hybrid retailer, dispensary facility, delivery service, micro-cultivator or other person authorized to make such delivery pursuant to Cannabis Act.
- Conditioning any official action on, or accepting any donations from, any cannabis establishment or applicants for cannabis establishment licenses in the municipality.
- Negotiating or entering into a local host agreement with a cannabis establishment or license applicant.

Zoning to Prohibit Cannabis Establishment Uses

- For communities that wish to prohibit either all or some types of cannabis establishments, the Cannabis Act allows for Connecticut towns and cities to prohibit cannabis establishments through local zoning regulations.
- For example, local governments can prohibit cannabis establishments within their jurisdictions by identifying it as a “Prohibited Use” in their respective local zoning regulations. Thus, the use would be “banned” as it would then not be allowed within any part of a community. For example:

SAMPLE ZONING REGULATION.

PROHIBITED USES - The following buildings, structures and uses are prohibited in all zoning districts:

Cannabis Establishment - A producer, dispensary facility, cultivator, micro-cultivator, retailer, hybrid retailer (i.e., licensed to sell both recreational cannabis and medical marijuana), cannabis food and beverage manufacturer, cannabis product manufacturer, cannabis product packager.

Zoning to Allow Cannabis Establishment Uses

- For communities that desire allow any type of cannabis facility, the Cannabis Act permits municipalities to amend their zoning regulations to permit specific categories of cannabis establishments as conditionally permitted activities.
- It is important to know that a “cannabis establishment” is a producer, dispensary facility, cultivator, micro-cultivator, retailer, hybrid retailer (i.e., licensed to sell both recreational cannabis and medical marijuana), food and beverage manufacturer, product manufacturer, product packager, delivery service, or transporter. **Communities can decide if any of these “specific cannabis establishment types” fit into their community and regulate their location as a conditional use by special permit.** It is up to each community to determine what activity is acceptable (manufacturing, wholesaling or retail), how they are to be regulated and what kind of conditional approval or prohibition is warranted.
- NVCOG urges our member communities who are contemplating permitting some sort of cannabis establishment in their town or city to review their current zoning regulations as they relate to special permits, special exceptions and site development plans to determine if they are sufficient to regulate those chosen cannabis establishment uses.
- As part of the zoning regulatory process, it would be necessary for the Planning and/or Zoning Commission to add and define those specific cannabis establishment types to their Zoning Regulations, as Permitted Uses allowed under a special permit or other conditional approval (as is typically the case for liquor production, distribution and retail sales establishments).
- Special Permit conditions may include:
 - Restrictions on the **proximity** of cannabis establishments to churches, schools, religious and charitable institutions, hospitals, and other sensitive adjacent uses.
 - Restrictions regarding the **hours of operation and signage.**
- **Please note that unless otherwise provided for by a municipality through its zoning regulations or ordinances, a cannabis establishment shall be zoned as if for any other similar use.** It will be the responsibility for each municipality’s ZEO to accept that application and make an “appealable” decision onto whether the town/city has a “similar use” in its zoning regulations. §148

SUGGESTED DEFINITIONS RELATED TO CANNABIS ESTABLISHMENT USES:

Cannabis Establishment - A producer, dispensary facility, cultivator, micro-cultivator, retailer, hybrid retailer (i.e., licensed to sell both recreational cannabis and medical marijuana) of products containing cannabis; or a manufacturer, packager, delivery service, or transporter of products containing cannabis, including cannabis-infused food and beverage products.

Cannabis Producer - An individual or business that possesses a state or municipal license to grow, harvest, dry, trim, cure, and package cannabis.

Cannabis Cultivator - An individual or business producing cannabis flowers.

Cannabis Micro-Cultivator - An individual or business that produces cannabis flowers in a limited-sized grow space.

Cannabis Food and Beverage Manufacturer - An individual or business that produces cannabis-infused foods and beverages.

Cannabis Product Manufacturer - An individual or business that participates in any aspect of the cannabis extraction and infusion processes, including processing, preparing, holding, storing, packaging, or labeling of cannabis products. Cannabis manufacturing also includes any processing, preparing, holding, or storing of components and ingredients.

Cannabis Product Packager - An individual or business that focuses on assisting the proper and accurate packaging of cannabis products into pre-weighed containers and pre-rolled joints.

Cannabis Dispensary Facility - Regulated locations in which a person can purchase cannabis and cannabis related items for medical or recreational use.

Cannabis Retailer - An individual or business that sells, supplies, or offers recreational cannabis products for sale directly to consumers.

Cannabis Hybrid Retailer - An individual or business that sells, supplies, or offers cannabis recreational and medical products for sale directly to consumers

Cannabis Delivery Service or Transporter - Any number of companies or individuals that are involved in the distribution of cannabis by way of delivery. This could be either mail-order delivery, or hand delivery.

SAMPLE ZONING REGULATION

Defined uses may be placed in a table of permitted uses with their approval based on one of the following levels.

- Allowed after Site Plan approval by the Zoning Commission, subject to the conditional permit requirements of your local zoning regulations.
- Allowed by Special Permit or Exception approved by the Zoning Commission subject to any specific standards applicable requirements in these regulations.
- Allowed by Special Permit or Exception granted by the Zoning Board of Appeals.

Welcome to the Connecticut Chapter of the American Planning Association (CCAPA)

2021 Legislative Activity

SB1201 AN ACT CONCERNING RESPONSIBLE AND EQUITABLE REGULATION OF ADULT-USE CANNABIS.

Passed the House and Senate.

Provisions include

§ 35 — FINAL LICENSE

Among other requirements, requires that applicants for final cannabis establishment licenses certify that they have any necessary local zoning approval for the cannabis establishment operation.

§ 37 Cultivation of cannabis does not qualify as agriculture or farming.

§ 83 Municipal electors may petition for referendum on whether to allow local sale of recreation marijuana. Existing establishment would not be affected.

§ 84 Municipalities may regulate the burning of cannabis products on municipal property, and in the outdoor sections of restaurants. Municipalities with more than 50,000 residents must designate a place where public consumption of cannabis is permitted.

§ 148 — MUNICIPAL ZONING AUTHORITY AND APPROVAL REQUIREMENTS
Authorizes municipalities to enact certain zoning regulations or ordinances for cannabis establishments; temporarily prohibits municipalities from granting zoning approval for more retailers or micro-cultivators than a number that would allow for one of each for every 25,000 residents; allows the DCP commissioner to set a cap in the future. **If municipalities take no action through zoning regulations or ordinances, these establishments must be zoned as similar uses would be.**

The bill allows municipalities to amend their zoning regulations or local ordinances to take the following actions regarding cannabis establishments:

1. prohibit them from opening;
2. reasonably restrict their hours and signage; or
3. restrict their proximity to religious institutions, schools, charitable institutions, hospitals, veterans' homes, or certain military establishments.

The bill requires municipal chief zoning officials to report these zoning changes to the OPM secretary and DCP. They must report in writing within 14 days after adopting the change. The bill generally prohibits any restrictions on cannabis establishment hours, zoning, or signage from applying to existing businesses until five years after the restriction is adopted. This delay does not apply if the business converts to a different license type.

A "cannabis establishment" is a producer, dispensary, manufacturer, retailer, packager, or delivery service/transporter. A cultivator is a large grower with an establishment not less than 15,000 square feet of grow space. A delivery service delivers cannabis products, a hybrid retailer is licensed to sell cannabis and medical marijuana, a food and beverage manufacture acquires cannabis to produce food and beverages, a micro-cultivator has a grow space of 2,000 to 10,000 square feet, a retailer sells cannabis to consumers and research programs.

From: John Colonese
Sent: Monday, July 26, 2021 4:31 PM
To: Douglas Harding; kdurao@icloud.com
Cc: Lisa Houlihan
Subject: Temporary Signs - Ellington Zoning Regulations
Attachments: TEMP SIGN GUIDE EFFECTIVE 2019_07-01.pdf

Dear Doug & Keith,

With the upcoming election the intention of this email is to forward the zoning regulations for temporary political signs. Of note, the zoning regulations allow for a maximum of 12 square feet for temporary signs, and allow for an exemption for political signs from the number of signs permitted on a property at any one time.

As your committees meet please review the attached guide. If you have any questions, feel free to contact the Planning Department.

Also, if you are not the appropriate contact for this information please let me know and I will forward it to the correct person or persons. Thank you.

Kind regards,

John D. Colonese, CZEO
Assistant Town Planner/Zoning & Wetlands Enforcement Officer
P.O. Box 187
57 Main Street
Ellington, CT 06029
Phone (860) 870-3120
jcolonese@ellington-ct.gov