

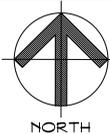
Saugatuck Elementary School

Partial Roof Replacement

170 Riverside Avenue
Westport, Connecticut 06880



SITE LOCATION MAP
SCALE: NONE



DRAWING LIST:

- Cover Sheet
- C1 Code Information Legend
- A1 Roof Plan Part #1
- A2 Roof Plan Part #2
- A3 Roof Details
- HBM-01 Hazardous Building Materials Abatement Plan - Roof #1
- HBM-02 Hazardous Building Materials Abatement Plan - Roof #2



SILVER / PETRUCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

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Issued for Bid: May 6, 2021

CODE INFORMATION

DATE OF ORIGINAL CONSTRUCTION 1937
 DATE OF ADDITION _____

1. **GROUP CLASSIFICATION (Chapter 3)**
 (Primary) E-EDUCATIONAL
 (Incidental) A3-ASSEMBLY

2. **CONSTRUCTION TYPE (Chapter 6)**
 Minimum Type Required 2B
 Actual Type Provided (existing) ---
 (new) 2B

3. **BUILDING HEIGHT (Chapter 5)**
 Allowable Height (story/feet) 3/75'-0"
 Actual Height (story/feet) 1/30'-0"
 (Stories Above Grade) 2

4. **BUILDING AREA (Chapter 5)**
 a) Building Area (first)
 Existing construction N/A sq.ft.
 New construction 0 sq.ft.
 Total floor N/A sq.ft.
 b) Building Area (second)
 Existing construction 0 sq.ft.
 New construction N/A sq.ft.
 Total floor N/A sq.ft.

5. **AREA MODIFICATIONS TO TABLE 503** (for each separate building as defined by fire walls and/or exterior walls)
NA

6. **CASE 1 - SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1)**
 (Allowable Area 506.4)
NA

7. **CASE 2 - MIXED OCCUPANCY SEPARATED USES (302.3.2)**
 (Allowable Area 506.4)
NA

8. **FIRE-RESISTANCE RATED REQUIREMENTS FOR BUILDING ELEMENTS**
 (Table 601, See Code Plans for specific designations)

1. Structural frame: including columns, girders, trusses	<u>0</u>	Hr(s)
2. Bearing walls: Exterior (Table 602)	<u>0/1</u>	Hr(s)
Interior	<u>0</u>	Hr(s)
3. Nonbearing walls & partitions Exterior (Table 602)	<u>0/1</u>	Hr(s)
Interior	<u>0</u>	Hr(s)
4. Nonbearing walls & partitions Interior	<u>0</u>	Hr(s)
5. Floor Construction (including supporting beams & joists)	<u>0</u>	Hr(s)
6. Roof Construction (including supporting beams & joists)	<u>0</u>	Hr(s)

9. **OCCUPANCY LOAD**

Design Total for Basement	<u>NA</u>
Total Exit Capacity for Basement	<u>NA</u>
Design Total for First Floor	<u>NA</u>
Total Exit Capacity for First Floor	<u>NA</u>
Design Total for Building	<u>NA</u>
Total Exit Capacity for Building	<u>NA</u>

10. **MODIFICATIONS**

Approved	Not Approved
Approved	Not Approved
Approved	Not Approved

11. **ACCESSIBLE BUILDING**

<u>X</u>	Designated
	Non Designated

12. MINIMUM PLUMBING FIXTURE COUNT (I.P.C. Chapter 4)
 For each type of occupancy per entire facility

Group "A3" occupancy (Design Load = NA)		
Required	Provided	
W/C Male	<u>NA</u>	<u>NA</u>
W/C Female	<u>NA</u>	<u>NA</u>
Lavs	<u>NA</u>	<u>NA</u>
D/F	<u>NA</u>	<u>NA</u>
W/C Unisex	<u>NA</u>	<u>NA</u>
Lavs Unisex	<u>NA</u>	<u>NA</u>
Group "E" occupancy (Design Load = NA)		
W/C	<u>NA</u>	<u>NA</u>
Lavs	<u>NA</u>	<u>NA</u>
D/F	<u>NA</u>	<u>NA</u>

(Total Design Load for entire facility = NA)

13. **ENTIRE BUILDINGS SPRINKLERED**

Yes	No
	<u>X</u>

14. **THRESHOLD BUILDING CONDITIONS**

Yes	No
	<u>X</u>

15. **CODES TO WHICH THIS PROJECT WAS DESIGNED**

State Building Code	<u>2012 IBC/2016 CT AMENDMENTS</u>
State Mechanical Code	<u>2012 ICC/2016 CT AMENDMENTS</u>
State Plumbing Code	<u>2012 ICC/2016 CT AMENDMENTS</u>
State Energy Conservation Code	<u>2012 ICC/2016 CT AMENDMENTS</u>
State Electrical Code	<u>2014 NFPA 70/2016 CT AMEND.</u>
State Health Code	<u>MOST CURRENT</u>
OSHA	<u>MOST CURRENT</u>
Section 504	<u>CURRENT</u>
ADA	<u>2010</u>
ANSI 117.1	<u>2009</u>

16. BUILDING AREAS FOR GRANT CALCULATION (ENTIRE FACILITY)
 (measured to inside face of exterior walls)

Existing unrenovated construction	<u>0</u>	sq.ft.
Existing renovated construction	<u>0</u>	sq.ft.
Existing being demolished	<u>0</u>	sq.ft.
Total existing construction	<u>N/A</u>	sq.ft.
Total new construction	<u>0</u>	sq.ft.
Total facility	<u>N/A</u>	sq.ft.

Open Areas (not included in total facility)
 NA NA sq.ft.

17. TOTAL CONSTRUCTED BUILDING AREA
 (outside face of exterior walls including open areas above)

<u>NA</u>	sq.ft.
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FIRE SAFETY CODE DATA: EDUCATIONAL/ASSEMBLY

1. CLASSIFICATION OF OCCUPANCY	<u>EDUCATIONAL/ASSEMBLY</u>
2. MINIMUM CONSTRUCTION REQUIRED	<u>5B</u>
ACTUAL CONSTRUCTION PROVIDED	<u>5B</u>
3. NOTIFICATION / ALARMS (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)	YES <u>X</u> NO _____
4. DETECTION (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)	YES <u>X</u> NO _____
5. EXTINGUISHMENT REQUIREMENTS (NFPA 13, 2002)	YES <u>X</u> NO _____

MEANS OF EGRESS

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT
 IBC TABLE 1004.1.2

USE	FLOOR AREA IN S.F. PER OCCUPANT
1. CLASSROOMS	<u>20 S.F. NET</u>
2. SHOPS & VOCATIONAL	<u>50 S.F. NET</u>
3. ASSEMBLY WITHOUT FIXED SEATS	<u>7 S.F. NET</u>
TABLES AND CHAIRS	<u>15 S.F. NET</u>
4. PLATFORMS	<u>15 S.F. NET</u>
5. LIBRARY	
READING ROOMS	<u>50 S.F. NET</u>
STACK AREA	<u>100 S.F. GROSS</u>
6. LOCKER ROOMS	<u>50 S.F. GROSS</u>
7. MECHANICAL AREAS	<u>300 S.F. GROSS</u>
8. STORAGE	<u>300 S.F. GROSS</u>
9. BUSINESS AREAS	<u>100 S.F. GROSS</u>
10. Courtyards	<u>15 S.F. NET</u>
MAXIMUM LENGTH OF EXIT TRAVEL	
1. I.B.C. TABLE 1015.1	<u>250 FEET</u>

SYMBOL LEGEND

- PLAN, SECTION, DETAIL, OR ELEVATION NUMBER - SHEET NUMBER.
- EXISTING OUTLINE OF BUILDING.
-
-
- CONTRACTOR TO VERIFY DIMENSION IN FIELD.
- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
- INDICATES HIGH POINT OF INSULATION.
- EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
- ROOF DRAIN & SUMP TO BE INSTALLED. SEE DETAIL A/A3.
- HORIZONTAL ROOF DRAIN LEADER. SEE CONSTRUCTION NOTE #5.
- EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A3.
- METAL COLLECTION BOX. SEE DETAIL R/A3.
- METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3.
- EXIST. VENT STACK. SEE DETAIL B/A3.
- PITCH POCKET DETAIL. SEE DETAIL D/A3.
- EXIST. ROOF TOP FAN UNIT. SEE DETAIL C/A3.
- EXIST. MECHANICAL UNIT. SEE DETAIL U/A3.
- EXIST. ROOF TOP MECH. UNIT. SEE DETAIL E/A3.
- WALKWAY PADS. SEE CONSTRUCTION NOTE #2.
- SKYLIGHT. SEE DETAIL J/A3.
- METAL LADDER. SEE DETAIL N/A3.
- EXIST. CHIMNEY. SEE DETAIL H/A3.
- EXPANSION JOINT. SEE DETAIL T/A3.
- EXIST. LADDER TO REMAIN.
- ROOF HATCH. SEE DETAIL F/A3.
- EXIST. ROOF HATCH TO REMAIN.

DEMOLITION NOTES

- REMOVE ALL EXISTING EPDM ROOFING & INSULATION.
- REMOVE ALL INDICATED EXISTING WOOD BLOCKING.
- REMOVE ALL INDICATED EXISTING METAL FLASHING.
- REMOVE EXISTING SKYLIGHTS.
- REMOVE EXISTING ROOF DRAINS & SUMP.

GENERAL NOTES

- ALL FLAT ROOFS TO RECEIVE 1/2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED "EXISTING".
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED. (P.T.)
- ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
- ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8" (VERTICAL OR HORIZONTAL).
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PERCED OR DAMAGED.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
- SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
- SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST HANHOLE OUTSIDE OF BUILDING.
- ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
- SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
- ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
- NEW ROOF INSULATION TO BE A MINIMUM OF 4" AT ALL NEW ROOF DRAINS & LOW POINTS OF THE ROOF AREAS.
- ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

ROOF AREAS

ROOF 'A'	13,856 SF.	ROOF 'H'	11,052 SF.
ROOF 'B'	98 SF.	ROOF 'J'	5,201 SF.
ROOF 'C'	8,491 SF.	ROOF 'K'	4,095 SF.
ROOF 'D'	510 SF.	ROOF 'L'	1,293 SF.
ROOF 'E'	10,464 SF.	ROOF 'M'	1,839 SF.
ROOF 'F'	535 SF.	ROOF 'N'	5,103 SF.
ROOF 'G'	1,694 SF.	ROOF 'P'	585 SF.

TOTAL FLAT ROOFS: 64,817 SF.
 THIS AREA IS APPROXIMATE - V.I.F.

ENERGY CONSERVATION

IECC CODE REQUIREMENT R-VALUE TOTAL
 CONNECTICUT ZONE 5A
 CBSC REQUIREMENT: R-30 + U-0.333

CODE INFORMATION

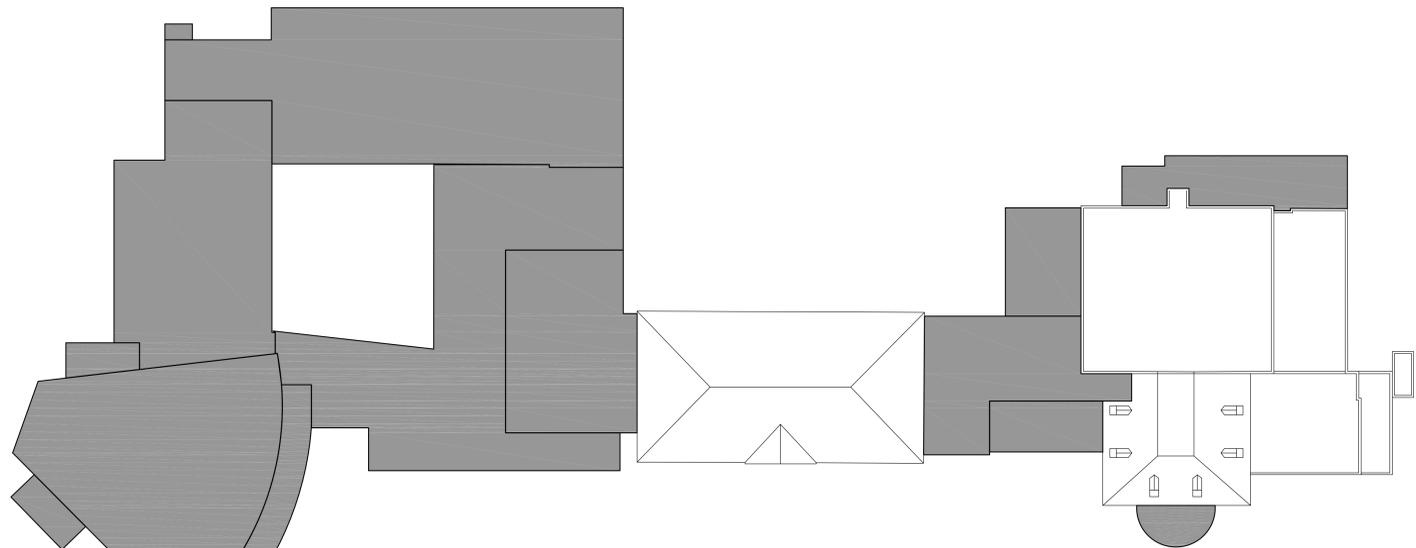
USE GROUP: E
 CONSTRUCTION CLASS: 2B
 BASIC WIND SPEED: 110 MPH
 RISK CATEGORY #3: 134 MPH
 FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION WIND UPLIFT REQUIREMENT OF 1-60 FOR FIELD, 1-90 FOR PERIMETER AND 1-120 FOR CORNERS, IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

ROOF ASSEMBLY

OUTSIDE AIR	0.17
EPDM	0.33
COVER BOARD	2.20
5" POLYISO INSUL.	29.5
EXISTING DECK	1.23
INSIDE AIR	0.61

R TOTAL: 34.22

- ROOF AREAS IN SCOPE OF WORK
- ROOF AREAS NOT IN SCOPE OF WORK



Revision	Description	Date	Revised By

ROOF AREAS

ROOF 'A' 13,856 SF	ROOF 'H' 11,052 SF
ROOF 'B' 98 SF	ROOF 'I' 5,201 SF
ROOF 'C' 8,491 SF	ROOF 'K' 4,095 SF
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THIS AREA IS APPROXIMATE- V.I.F.

ENERGY CONSERVATION

IECC CODE REQUIREMENT R-VALUE TOTAL CONNECTICUT ZONE 5A
CBCS REQUIREMENT: R-30 = U .0333

CODE INFORMATION

USE GROUP : E
CONSTRUCTION CLASS: 2B
BASIC WIND SPEED: 110 MPH
RISK CATEGORY #3: 134 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM) ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 140 FOR FIELD, 190 FOR PERIMETER AND 1120 FOR CORNERS, IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

ROOF ASSEMBLY

OUTSIDE AIR	0.17
EPDM	0.33
COVER BOARD	2.20
5" POLYISO INSUL.	29.5
EXISTING DECK	1.23
INSIDE AIR	0.61

R TOTAL: 34.22

SYMBOL LEGEND

- (X/XX) - PLAN, SECTION, DETAIL OR ELEVATION NUMBER - SHEET NUMBER.
- - - - - EXISTING OUTLINE OF BUILDING.
- SLOPE → - INDICATES SLOPE DIRECTION OF TAPERED INSULATION AT 1/4" FT. MIN.
- ↘ - TAPERED INSULATION CRICKET SLOPED @ 1/4" FT.
- V.I.F. - CONTRACTOR TO VERIFY DIMENSION IN FIELD.
- ↗ - INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
- H.P. - INDICATES HIGH POINT OF INSULATION.
- ERD. - EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
- NRD. - ROOF DRAIN & SUMP TO BE INSTALLED. SEE DETAIL A/A3.
- R.L. - HORIZONTAL ROOF DRAIN LEADER. SEE CONSTRUCTION NOTE #5.
- S.C. - EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A3.
- C.B. - METAL COLLECTION BOX. SEE DETAIL R/A3.
- D.S. - METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3.
- V.S. - EXIST. VENT STACK. SEE DETAIL B/A3.
- P.P. - PITCH POCKET DETAIL. SEE DETAIL D/A3.
- F.U. - EXIST. ROOF TOP FAN UNIT. SEE DETAIL C/A3.
- M.U. - EXIST. MECHANICAL UNIT. SEE DETAIL U/A3.
- R.T.U. - EXIST. ROOF TOP MECH. UNIT. SEE DETAIL E/A3.
- □ □ - WALKWAY PADS. SEE CONSTRUCTION NOTE #2.
- SL. - SKYLIGHT. SEE DETAIL J/A3.
- ML. - METAL LADDER. SEE DETAIL N/A3.
- E.C. - EXIST. CHIMNEY. SEE DETAIL H/A3.
- E.J. - EXPANSION JOINT. SEE DETAIL T/A3.
- L.R. - EXIST. LADDER TO REMAIN.
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GENERAL NOTES

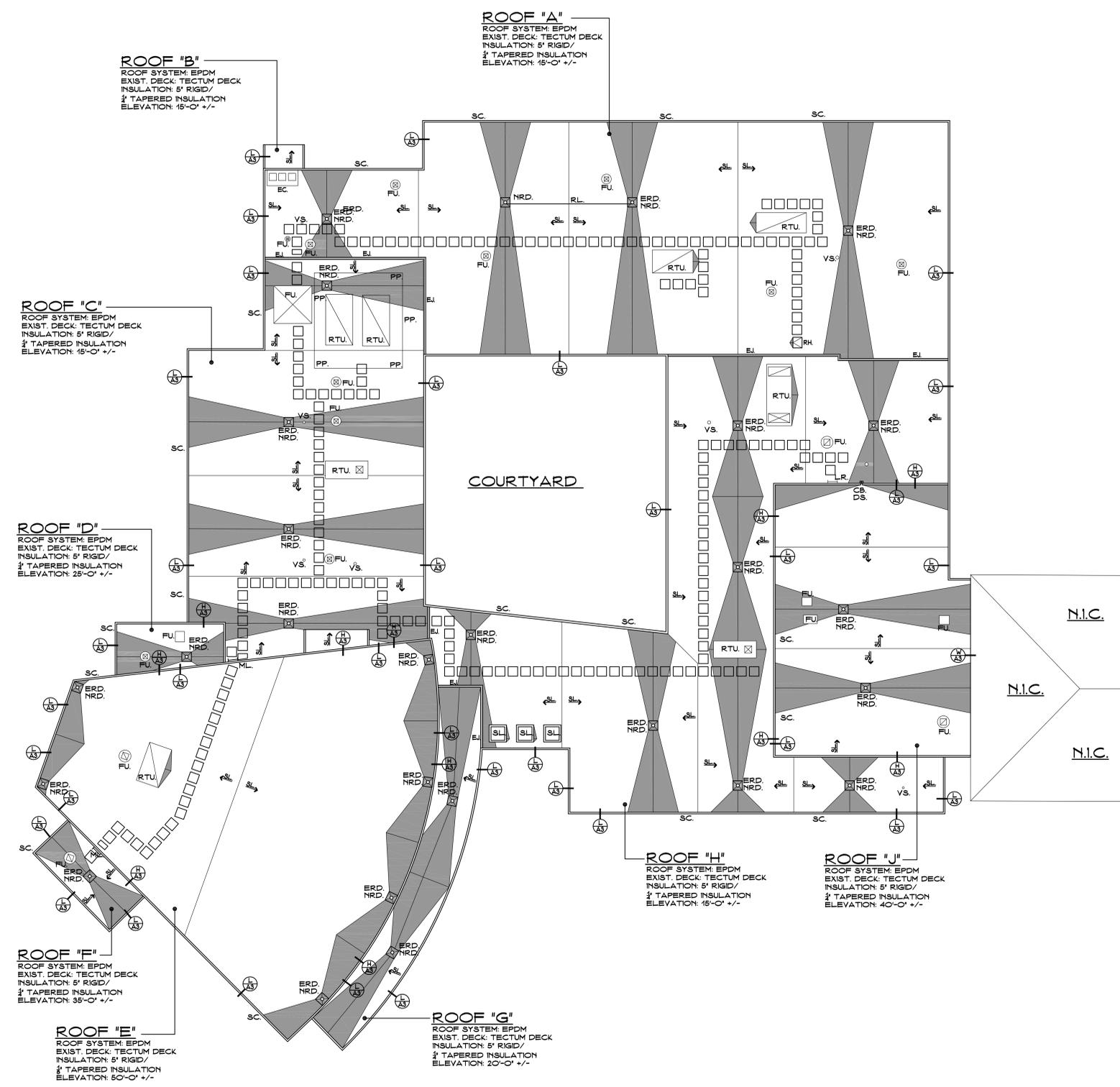
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4. ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED (P.T.)
5. ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
6. ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 6" (VERTICAL OR HORIZONTAL)
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8. CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
9. CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
10. SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
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18. ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

DEMOLITION NOTES (X) →

1. REMOVE ALL EXISTING EPDM ROOFING & INSULATION.
2. REMOVE ALL INDICATED EXISTING WOOD BLOCKING.
3. REMOVE ALL INDICATED EXISTING METAL FLASHING.
4. REMOVE EXISTING SKYLIGHTS.
5. REMOVE EXISTING ROOF DRAINS & SUMP.

CONSTRUCTION NOTES (X) →

1. CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF TECTUM DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
2. WALKWAY PADS TO BE INSTALLED. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
3. INSTALL NEW METAL DOWNSPOUTS @ ALL INDICATED SCUPPER LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
4. INSTALL NEW CONCRETE SPLASHBLOCKS @ ALL INDICATED METAL DOWNSPOUT LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
5. HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/8" FT. MIN. TIE VERTICAL LEADERS INTO EXIST. PIPING AS REQD. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQD. BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING.
6. EXISTING CHAIN LINK FENCE TO BE REMOVED & REINSTALLED TO ACCOMMODATE ROOFING OPERATIONS.



NORTH
ROOF PLAN
SCALE: 1/16" = 1'-0"

ROOF AREAS

ROOF 'A' 13,856 SF	ROOF 'H' 11,052 SF
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CBCS REQUIREMENT: R-30 = U .0333

CODE INFORMATION

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CONSTRUCTION CLASS: 2B
BASIC WIND SPEED: 110 MPH
RISK CATEGORY #3: 134 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 140 FOR FIELD, 190 FOR PERIMETER AND 1120 FOR CORNERS, IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

ROOF ASSEMBLY

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R TOTAL: 34.22

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- S.C. - EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A3.
- C.B. - METAL COLLECTION BOX. SEE DETAIL R/A3.
- D.S. - METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3.
- V.S. - EXIST. VENT STACK. SEE DETAIL B/A3.
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- E.R. - EXIST. ROOF HATCH TO REMAIN.

GENERAL NOTES

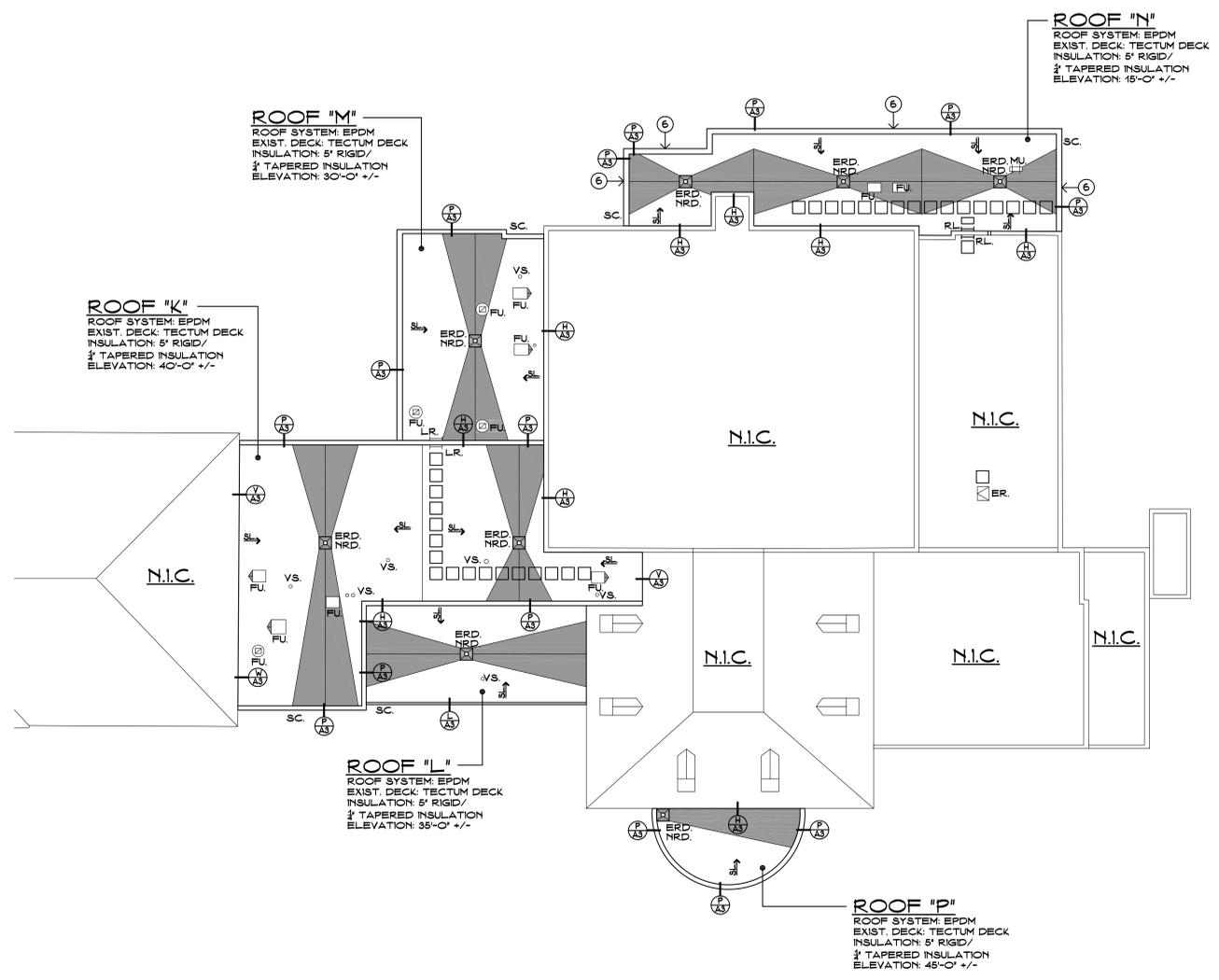
1. ALL FLAT ROOFS TO RECEIVE 1/4" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
2. FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
3. ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED 'EXISTING'.
4. ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED (P.T.)
5. ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
6. ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8" (VERTICAL OR HORIZONTAL)
7. CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
8. CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
9. CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
10. SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDDED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
11. CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
12. SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
13. ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.
14. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
15. SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
16. ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
17. NEW ROOF INSULATION TO BE A MINIMUM OF 4" AT ALL NEW ROOF DRAINS & LOW POINTS OF THE ROOF AREAS.
18. ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

DEMOLITION NOTES (X)→

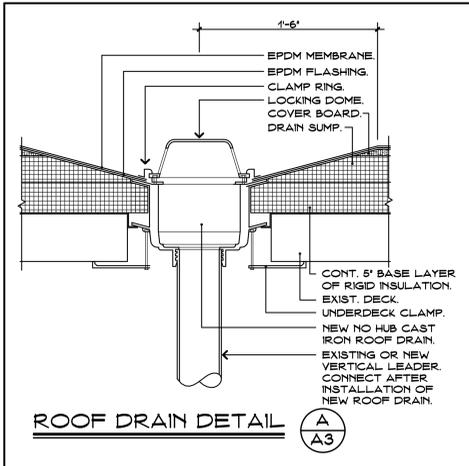
1. REMOVE ALL EXISTING EPDM ROOFING & INSULATION.
2. REMOVE ALL INDICATED EXISTING WOOD BLOCKING.
3. REMOVE ALL INDICATED EXISTING METAL FLASHING.
4. REMOVE EXISTING SKYLIGHTS.
5. REMOVE EXISTING ROOF DRAINS & SUMP.

CONSTRUCTION NOTES (X)→

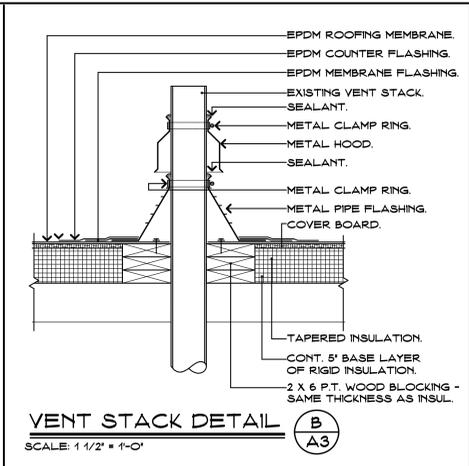
1. CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF TECTUM DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
2. WALKWAY PADS TO BE INSTALLED. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
3. INSTALL NEW METAL DOWNSPOUTS @ ALL INDICATED SCUPPER LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
4. INSTALL NEW CONCRETE SPLASHBLOCKS @ ALL INDICATED METAL DOWNSPOUT LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
5. HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/8" FT. MIN. VERTICAL LEADERS INTO EXIST. PIPING AS REQ'D. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQ'D BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING.
6. EXISTING CHAIN LINK FENCE TO BE REMOVED & REINSTALLED TO ACCOMMODATE ROOFING OPERATIONS.



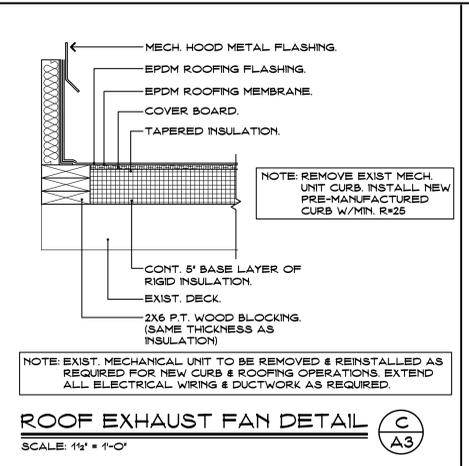
NORTH
ROOF PLAN
SCALE: 1/16" = 1'-0"



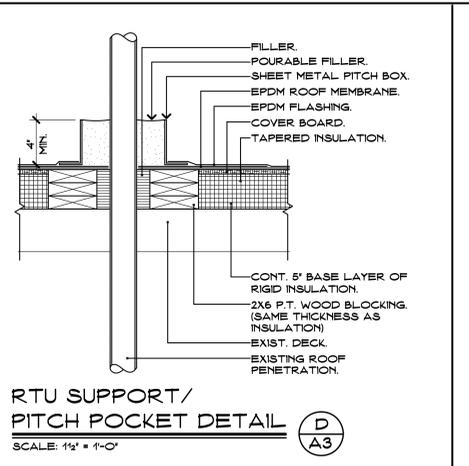
ROOF DRAIN DETAIL (A) A3



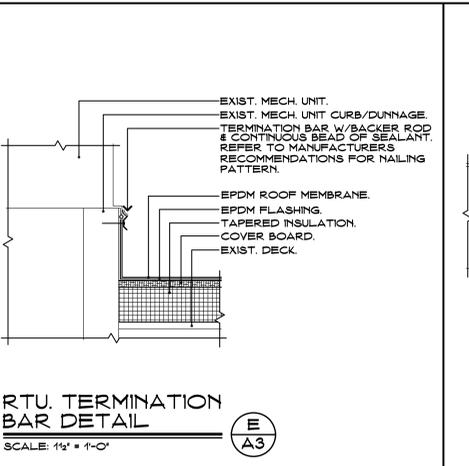
VENT STACK DETAIL (B) A3



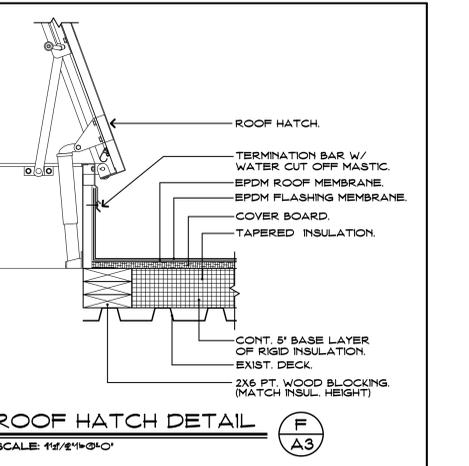
ROOF EXHAUST FAN DETAIL (C) A3



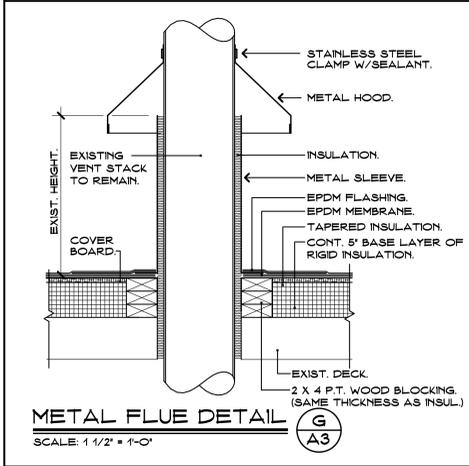
RTU SUPPORT/ PITCH POCKET DETAIL (D) A3



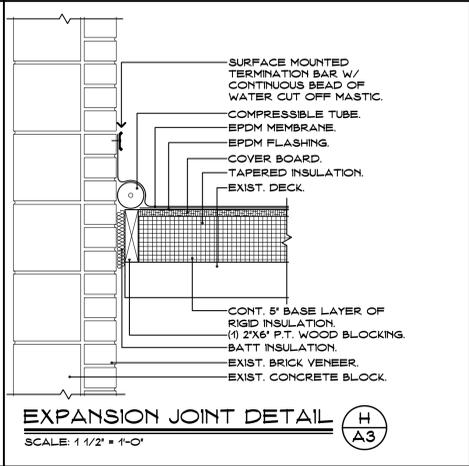
RTU. TERMINATION BAR DETAIL (E) A3



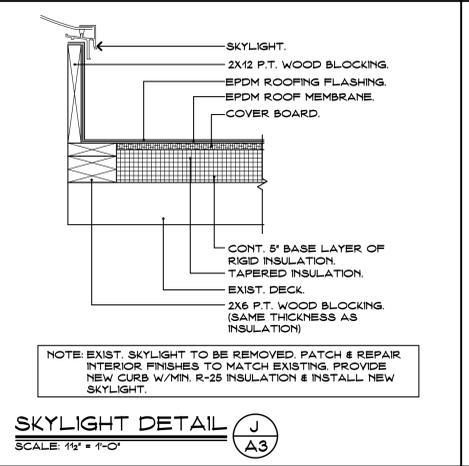
ROOF HATCH DETAIL (F) A3



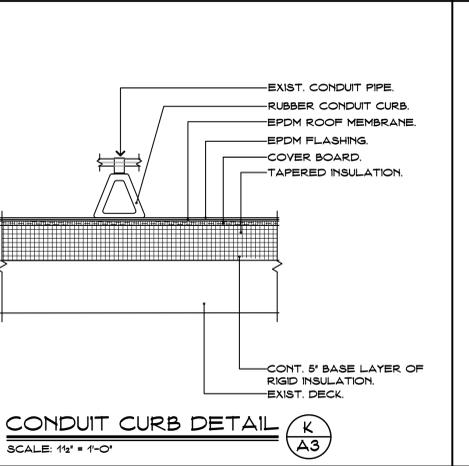
METAL FLUE DETAIL (G) A3



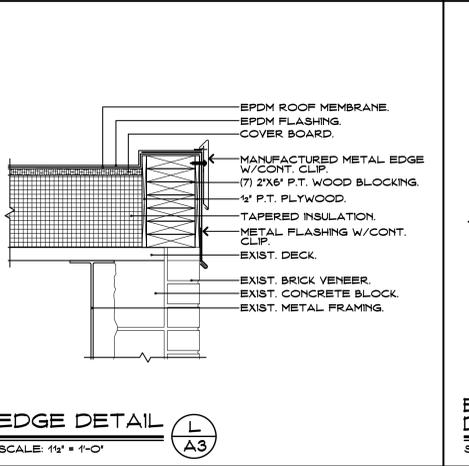
EXPANSION JOINT DETAIL (H) A3



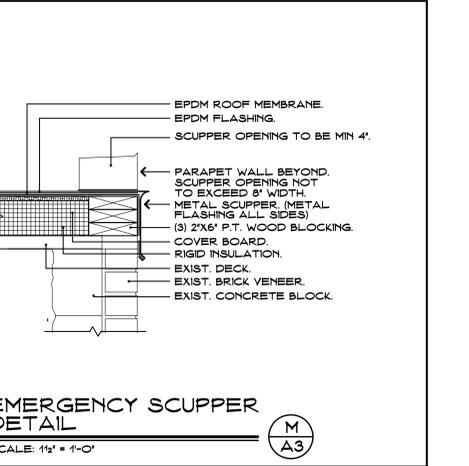
SKYLIGHT DETAIL (J) A3



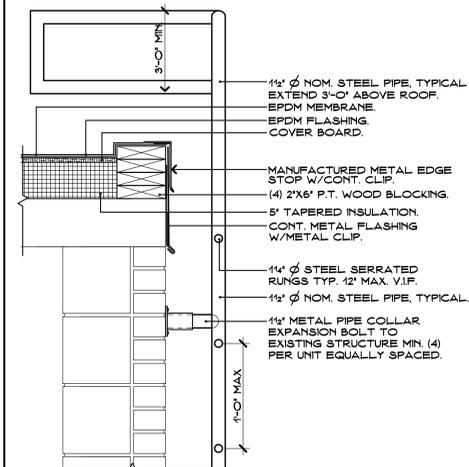
CONDUIT CURB DETAIL (K) A3



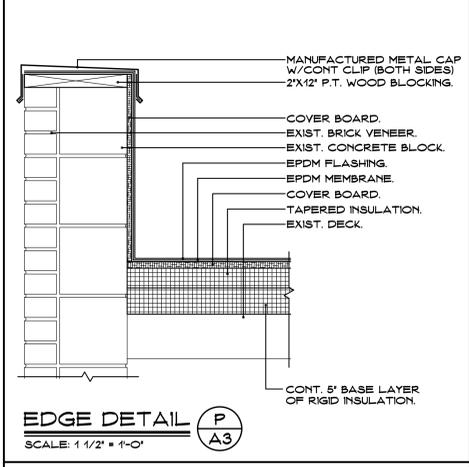
EDGE DETAIL (L) A3



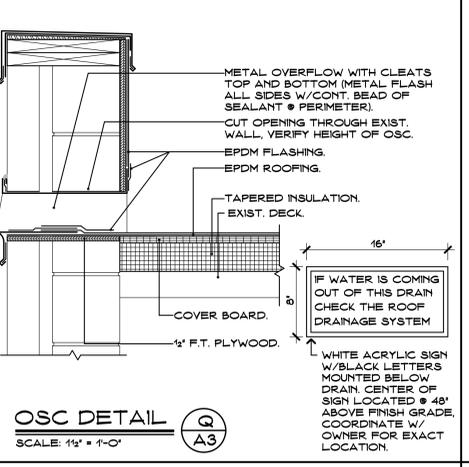
EMERGENCY SCUPPER DETAIL (M) A3



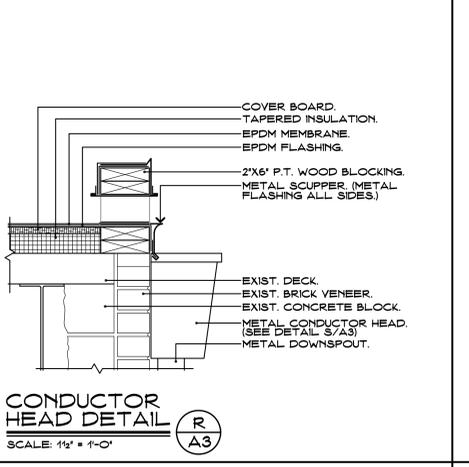
LADDER DETAIL (N) A3



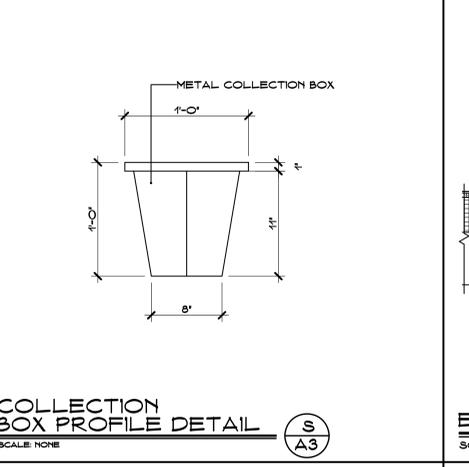
EDGE DETAIL (P) A3



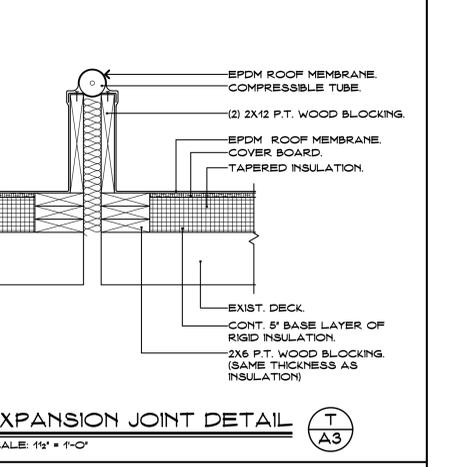
OSC DETAIL (Q) A3



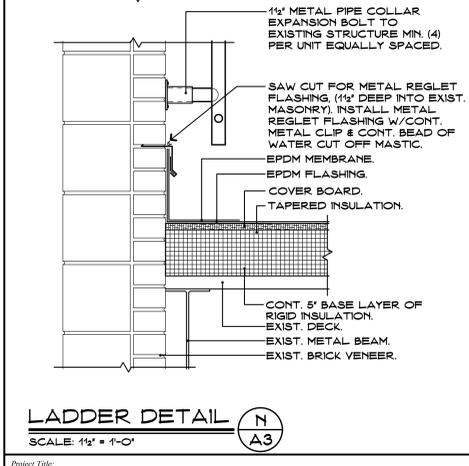
CONDUCTOR HEAD DETAIL (R) A3



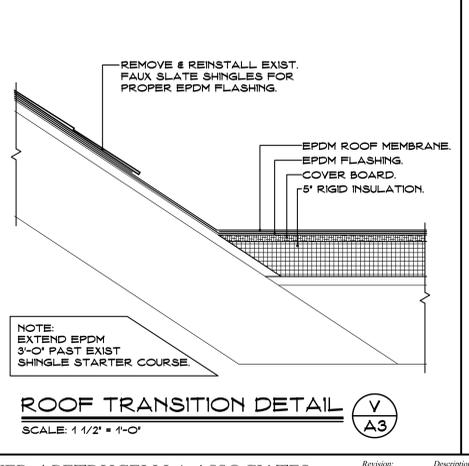
COLLECTION BOX PROFILE DETAIL (S) A3



EXPANSION JOINT DETAIL (T) A3



MECH. UNIT DETAIL (U) A3



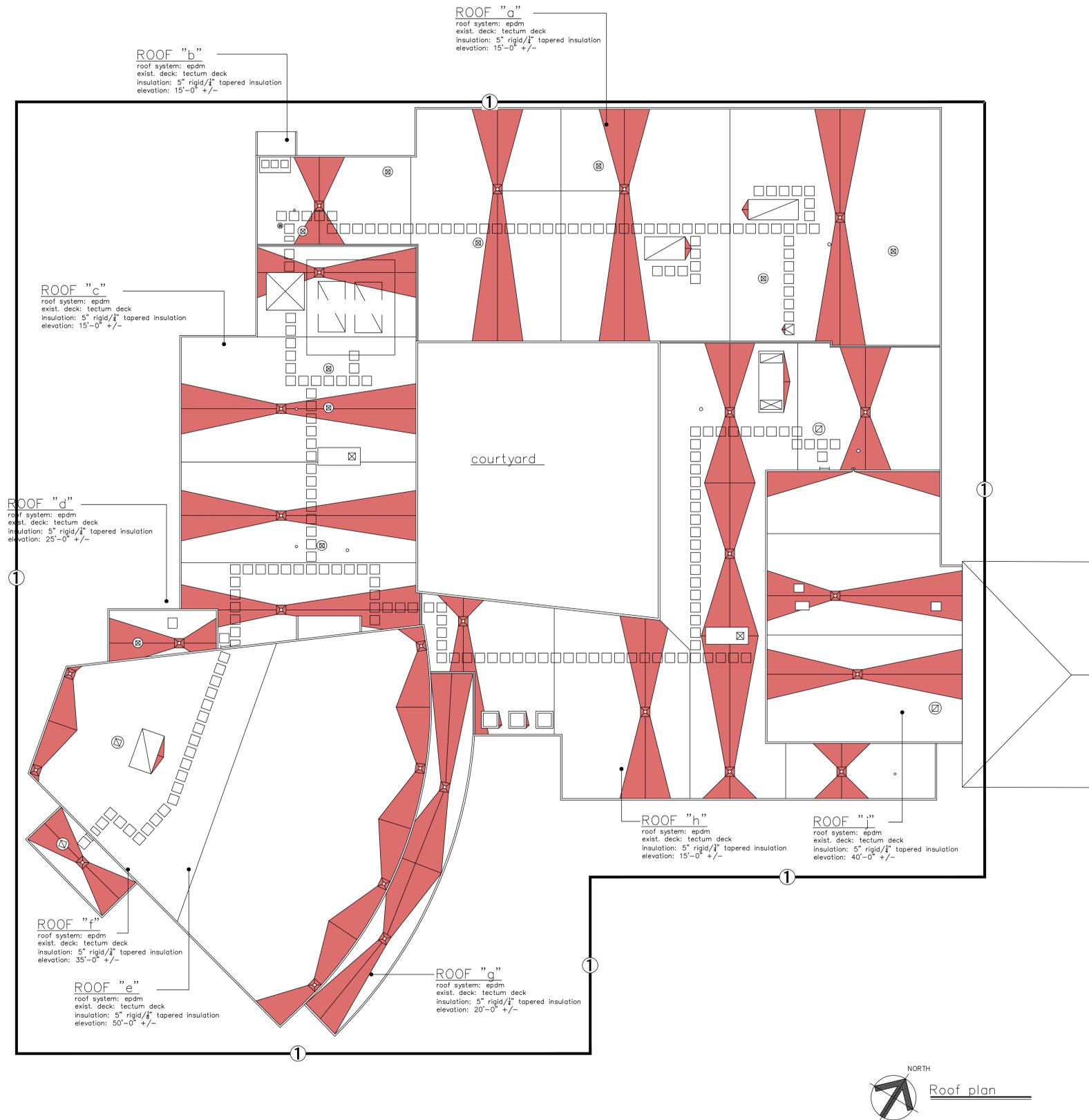
ROOF TRANSITION DETAIL (V) A3

GENERAL NOTES:

1. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.
2. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR REMOVING ALL LAYERS OF ROOFING MATERIALS (AND CLEANING ADJACENT SUBSTRATES TO REMAIN) AND DISPOSING OF AS ASBESTOS CONTAINING MATERIALS. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) MUST PERFORM ENOUGH DEMOLITION TO ACCESS ALL ASBESTOS CONTAINING MATERIALS TO BE REMOVED THAT IS AFFECTED BY WORK.
3. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR COORDINATING ABATEMENT WORK WITH THE GENERAL AND DEMOLITION CONTRACTORS, CONSTRUCTION MANAGER, BUILDING OWNER, ARCHITECTS, ENGINEERS AND CONSULTANTS.
4. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR CLEANING/DECONTAMINATING/ABATING THE INTERIORS OF THE BUILDING SHOULD THE REMOVAL/ABATEMENT TECHNIQUES RESULT IN ASBESTOS CONTAINING MATERIALS/WASTE ENTERING THE BUILDING. THE WORK WILL INCLUDE PRE-CLEANING AREAS, MOVEABLE AND NONMOVEABLE OBJECTS, CONSTRUCTING CONTAINMENTS, ETC. THE OWNER'S CONSULTANT WILL PERFORM VISUAL INSPECTIONS AND RE-OCCUPANCY AIR TESTING. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) WORK WILL ALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.

HAZARDOUS BUILDING MATERIALS ABATEMENT NOTES:

- ① THE HAZARDOUS BUILDING MATERIALS/ROOFING CONTRACTOR(S) SHALL REMOVE AND DISPOSE OF ALL ASBESTOS-CONTAINING "OLDER" PERIMETER ROOF FLASHING MATERIALS ON BRICK WALLS/WALLS, CHIMNEY AND COPPER FLASHING (ON TOP AND BEHIND) (SOME LOCATIONS HAVE NEWER ROOFING MATERIALS INSTALLED ON TOP OF ASBESTOS-CONTAINING FLASHING) THAT WILL BE AFFECTED BY WORK AS A/C.



Project Title:
Saugatuck Elementary School
Partial Roof Replacement
170 Riverside Avenue
Westport, CT 06880



SILVER / PETRUCCELLI + ASSOCIATES
Architects/ Engineers/ Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
One Post Hill Place, New London, CT 06320
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucci.com

Revision:	Description:	Date:	Revised By:

Drawing Title:
**Hazardous Building
Materials Abatement Plan -
Roof #1**

Date:
05/01/2021

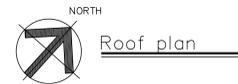
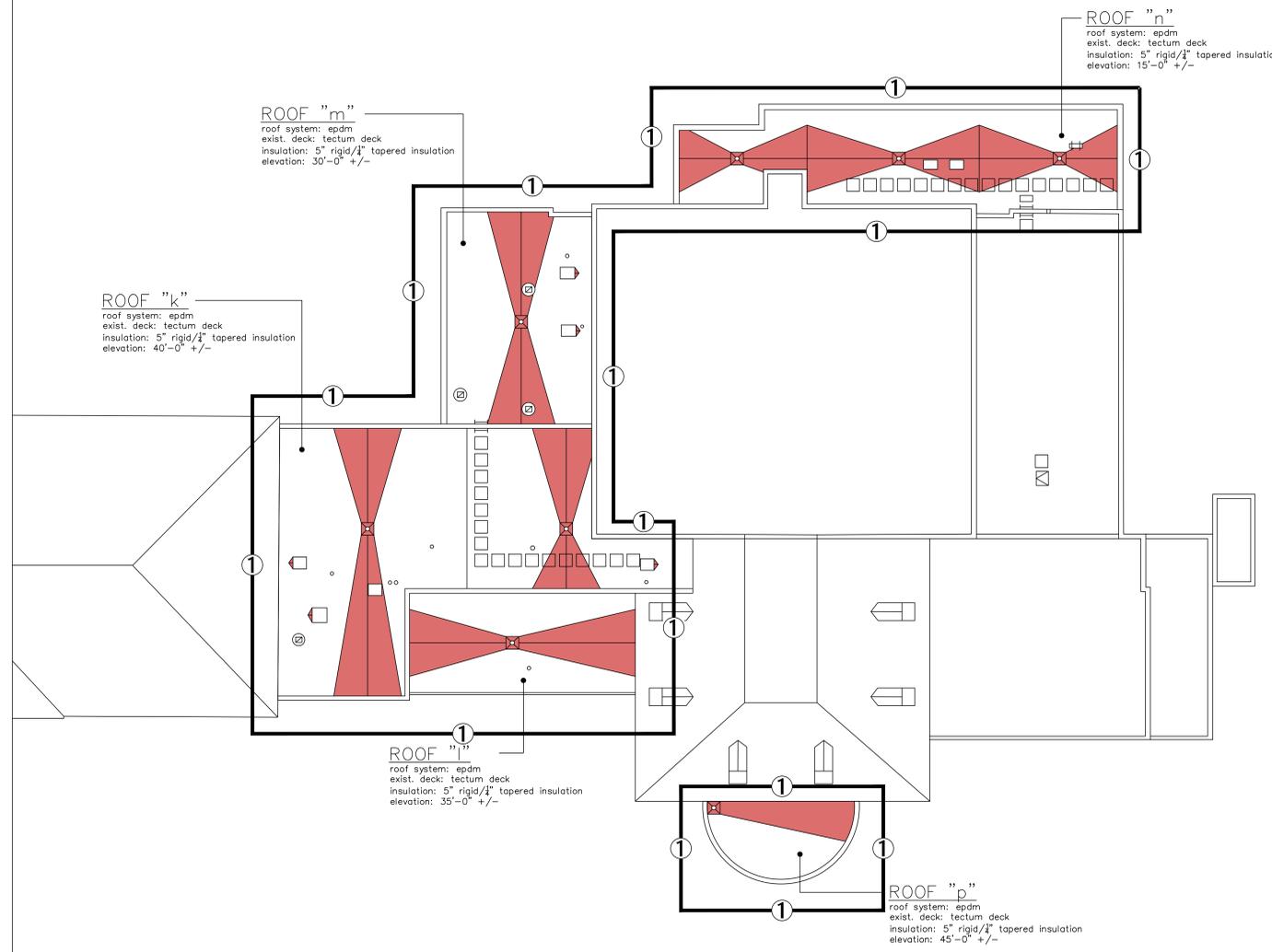
Scale:
Not To Scale

Drawn By:
HHG/MM

Project Number:
21.062

Drawing Number:
HBM-01

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Roof plan

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Revision:	Description:	Date:	Revised By:

Drawing Title:
Hazardous Building
Materials Abatement Plan -
Roof #2

Date: 05/01/2021
 Scale:
 Not To Scale
 Drawn By: HHG/MM
 Project Number: 21.062

Drawing Number:
HBM-02