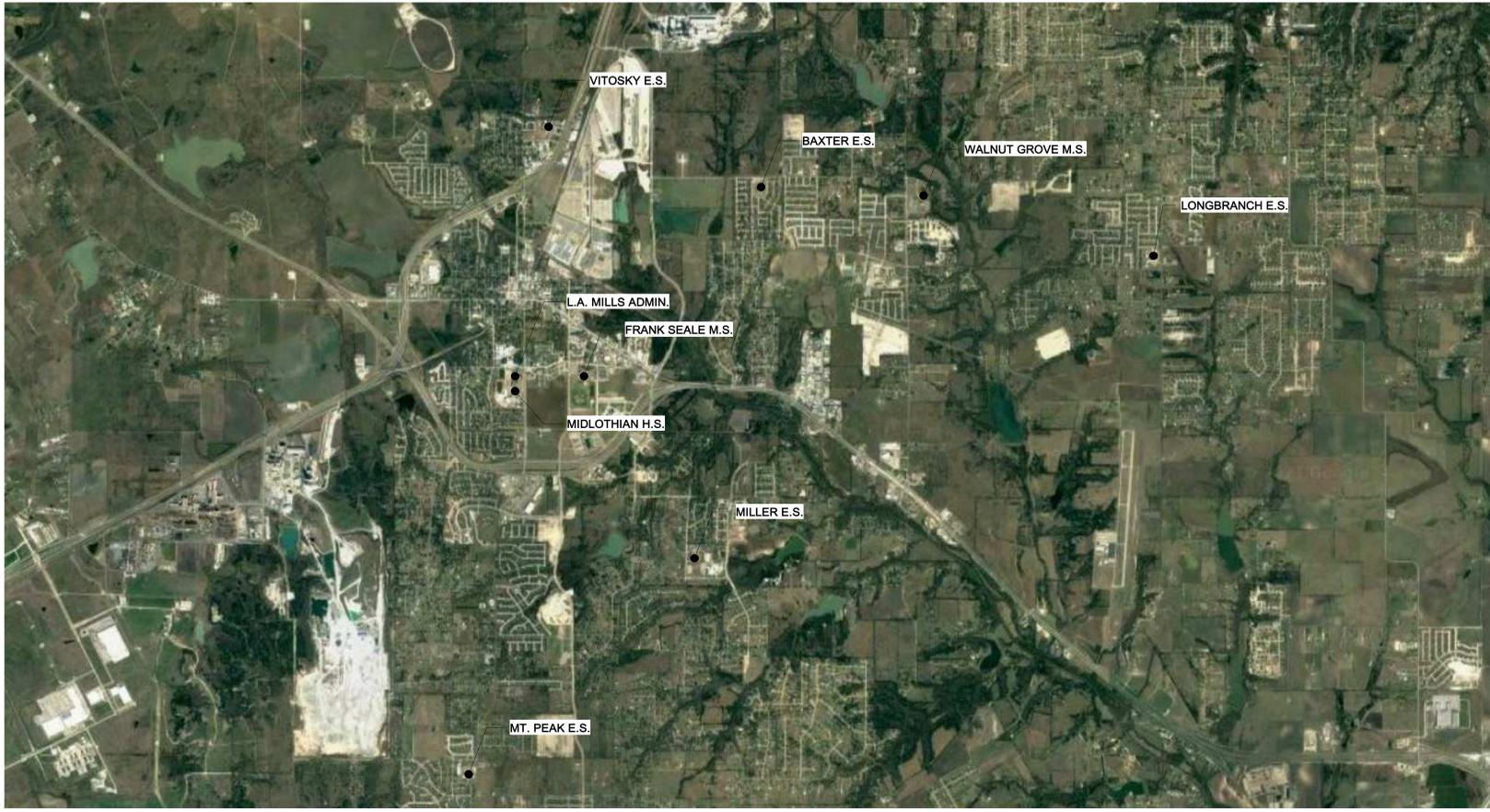


Midlothian ISD Campuses Safety and Security Upgrades

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06/02/2021

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(903) 530-8175

SHEET INDEX

general			
SHEET #	DESCRIPTION	ORIG. ISSUE	REV. DATE
G-001	TITLE SHEET	06/02/2021	
G-002	PROJECT INFORMATION	06/02/2021	
G-011	ADA DETAILS	06/02/2021	

electrical			
SHEET #	DESCRIPTION	ORIG. ISSUE	REV. DATE
ET101	ELEC. COMM. PLAN - ADMIN.	06/02/2021	
ET102	ELEC. COMM. PLAN - BAXTER E.S.	06/02/2021	
ET103	ELEC. COMM. PLAN - LONGBRANCH E.S.	06/02/2021	
ET104	ELEC. COMM. PLAN - MILLER E.S.	06/02/2021	
ET105	ELEC. COMM. PLAN - MT. PEAK E.S.	06/02/2021	
ET106	ELEC. COMM. PLAN - VITOSKY E.S.	06/02/2021	
ET107	ELEC. COMM. PLAN - FRANK SEALE M.S.	06/02/2021	
ET108	ELEC. COMM. PLAN - WALNUT GROVE M.S.	06/02/2021	
ET109	ELEC. COMM. PLAN - MIDLOTHIAN H.S.	06/02/2021	
ET701	ELEC. COMM. DETAILS & SYMBOLS	06/02/2021	

architectural			
SHEET #	DESCRIPTION	ORIG. ISSUE	REV. DATE
A-101	FIRST FLOOR PLAN - L.A. MILLS ADMIN	06/02/2021	
A-102	FIRST FLOOR PLAN - BAXTER E.S.	06/02/2021	
A-103	FIRST FLOOR PLAN - LONGBRANCH E.S.	06/02/2021	
A-104	FIRST FLOOR PLAN - MILLER E.S.	06/02/2021	
A-105	FIRST FLOOR PLAN - MT. PEAK E.S.	06/02/2021	
A-106	FIRST FLOOR PLAN - VITOSKY E.S.	06/02/2021	
A-107	FIRST FLOOR PLAN - FRANK SEALE M.S.	06/02/2021	
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A-601	DOOR & WINDOW SCHEDULES, ELEVATIONS	06/02/2021	

Midlothian ISD Campuses
Safety and Security Upgrades
100 Walter Stephenson Rd.
Midlothian, TX 76065
OWNER PROJECT NO.: 20121-020

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-- F
OWP PROJECT NO. DATE OF ISSUE
2021_097 06.02.2021

REVISIONS

DELTA	DESCRIPTION	DATE
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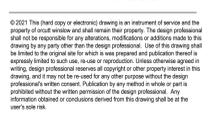
PROJECT TEAM DRAWN BY
TX Ed Studio KN

PROJECT PHASE
Construction Documents

SHEET CONTENTS
TITLE SHEET

SHEET NO.
G-001

6/2/2021 4:48:41 PM orcutt | winslow / 2021_097 / Safety and Security Upgrades - Midlothian ISD Campuses / CONSTRUCTION DOCUMENTS / G-001- TITLE SHEET / KN
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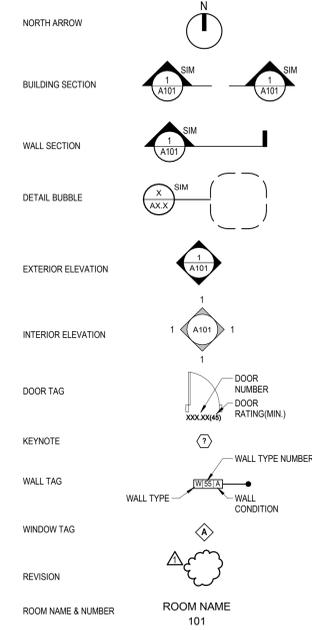
WALL & PARTITION GENERAL NOTES

- A. All fire rated walls shall be completely and continuously constructed first, and then other non-rated walls constructed to the finished surface.
- B. All fire rated walls extend full height to structure above and seal to deck, UNO. See Fire Rated Details for approved joint conditions.
- C. All penetrations at smoke and fire rated assemblies shall be protected, sealed, and dampened, using only UL or ICC-ES approved methods, materials and installation, as required to maintain the assembly's rating and smoke resistance. All materials and installation details shall conform to the UL listings for "through penetration fire stop systems" where applicable. The Contractor shall submit shop drawing details, furnished by the manufacturer of the fire stop material, that show complete conformance to the UL Listing, and such drawings shall be available to the Fire or Building Inspectors on-site. The drawings shall be specific for each penetration type.
- D. Smoke separation walls shall form an effective membrane, continuous from outside wall to outside wall, from fire barrier to fire barrier, from smoke barrier to smoke barrier and from floor slab to floor or roof slab above, thereby providing continuity through all concealed spaces. The Contractor shall completely seal all openings where the smoke barrier abuts other smoke barriers, fire barriers, exterior walls, the floor below and the floor or ceiling above.
- E. All backing support for wall mounted items shall be 1/2" gal. min. metal strapping, UNO.
- F. Brace interior non-bearing walls to structure per Architectural Drawings.
- G. Slotted slip track shall be used at all top of full-height wall conditions subject to loading by deflection of the structure above.
- H. All light gauge metal framing shall be installed in strict accordance with ASTM 754 "Standard Specifications for Installation of Steel Framing Members".

PROJECT GENERAL NOTES

- A. Do not scale drawings. Rely only on Architect's written dimensions.
- B. Typical details may not be necessarily be cut on plans, but apply unless noted otherwise.
- C. All work and material shall be regarded as new unless specifically indicated as "existing" or "left" on the drawings and/or within the specifications.
- D. Contractor shall coordinate all trades and methods of construction as required for completion of the project with the intent of these documents.
- E. All materials and unfinished surfaces exposed to view shall be painted unless factory prefinished, noted otherwise, or directed by the Architect.
- F. No utilities, plumbing, piping, conduit, etc. shall be exposed without the written approval of the Architect.
- G. Should dimensions be missing or conflicting, notify the Architect prior to proceeding with related work.
- H. Contractor shall verify locations of utilities prior to excavating, trenching, etc. and shall repair or replace utilities damaged as a result of construction.
- I. Contractor shall be responsible for all temporary shoring and bracing required during construction.
- J. Security and safety are the Contractor's responsibility. Site shall be completely fenced and secured during construction.
- K. No asbestos shall be used or incorporated into the project in any form.
- L. Separate dissimilar metals as they occur and/or per manufacturer's recommendations.
- M. Apply sealant at intersections of all dissimilar materials.

TYPICAL SYMBOLS LEGEND

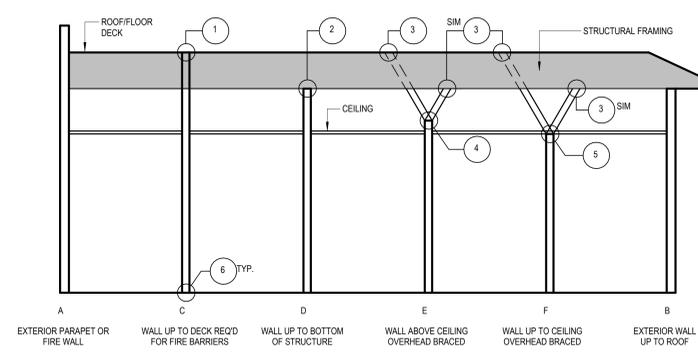
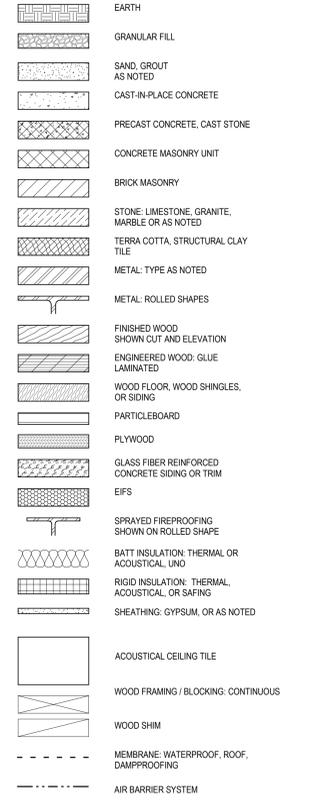


ABBREVIATIONS LIST

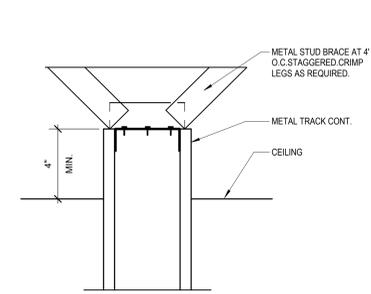
AB	Anchor Bolt	MAS	Masonry
ABC	Aggregate Base Course	MAX	Maximum
A/C	Air Conditioning/Conditioner	MECH	Mechanical
ACT	Acoustical Ceiling Tile	MFR	Manufacturer
AFF	Above Finish Floor	MO	Masonry Opening
ALT	Alternate	MIN	Minimum
ALUM	Aluminum	MISC	Miscellaneous
		MTL	Metal
BRG	Bearing	NIC	Not In Contract
BUR	Built up roof	NTS	Not To Scale
BM	Beam		
CI	Cast Iron	OC	On Center
CL	Control Joint	OD	Outside Diameter
CL	Center Line	OPP	Opposite
CLG	Ceiling	ORD	Overflow Roof Drain
CLR	Clear		
CMU	Concrete Masonry Unit	PL	Property Line
CO	Clean Out	PLAM	Plastic Laminate
COL	Column	PLUMB	Plumbing
CONC	Concrete	PLYWD	Plywood
CONT	Continuous	PWR	Power
CPT	Carpet	RD	Roof Drain
CT	Ceramic Tile	RO	Rough Opening
DF	Drinking Fountain	SCHED	Schedule
DIA	Diameter	SF	Square Foot
DIM	Dimension	SHT	Sheet
DS	Downspout	SLV	Similar
DWG	Drawing	SLV	Short Leg Vertical
EDF	Electric Drinking Fountain	SPEC	Specifications
ELEC	Electrical	SQ	Square
EJ	Expansion Joint	STD	Standard
EL	Elevation	STR	Structural
EQ	Equal	SS	Stainless Steel
EXIST	Existing	SS	Sanitary Sewer
EXT	Exterior	SUSP	Suspended
FBO	Furnished By Owner	T & G	Tongue and Groove
FD	Floor Drain	TEMP	Tempered
FDC	Fire Department Connection	TLT	Toilet
FEC	Fire Extinguisher Cabinet	TOJ	Top of Joist
FF	Finished Floor	TOB	Top of Beam
FG	Finished Grade	TOC	Top of Conc.
FIN	Finish	TOM	Top of Masonry
FLR	Floor	TOP	Top of Plate
		TOS	Top of Steel
		TOW	Top of Wall
GA	Gauge	Typ	Typical
GAL	Galvanized		
GLB	Glass Laminated Beam		
GWB	Gypsum Wall Board	UG	Underground
GYP	Gypsum	UNO	Unless Noted Otherwise
HB	Hose Bibb	VCT	Vinyl Composition Tile
HM	Hollow Metal	VERT.	Vertical
HORZ	Horizontal		
HVAC	Heating/Ventilating/Air Conditioning	WC	Water Closet
ID	Inside Diameter	WD	Wood
INFO	Information	WH	Water Heater
INT	Interior	WWF	Welded Wire Fabric
LAV	Lavatory		
LLG	Long Leg Vertical Louver		
LVR	Louver		

MATERIALS LEGEND

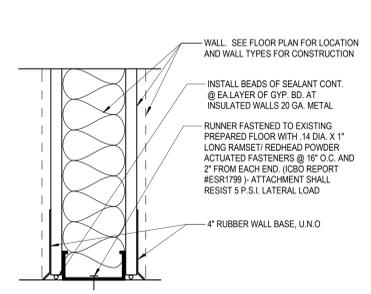
NOTE: PATTERNS SHOWN REPRESENT CUT MATERIALS IN PLAN OR SECTION, UNLESS NOTED OTHERWISE ABOVE.



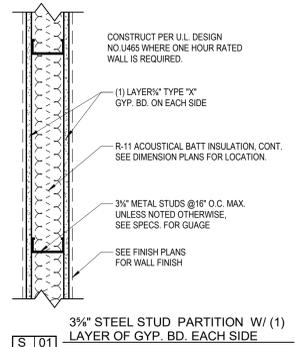
WALL CONDITIONS DIAGRAM



WALL AT CEILING 4 IN. ABOVE
CONDITION 4



BASE AT STUD WALL
CONDITION 6



3 1/2" STEEL STUD PARTITION W/ (1) LAYER OF GYP. BD. EACH SIDE

SECTION 02 4100 DEMOLITION

- A. Visit site and examine the existing Work area.
- B. Execute demolition Work in an orderly and careful manner with consideration for existing structures, including parts of the surrounding areas that are to remain. Protect existing active service lines whether indicated or not. Provide "walk-off mats" or other protection at entry to work area. Keep commons clean and clear.
- C. Use movable, covered debris boxes to convey the material through the building. Do not store or permit debris to accumulate on the site.
- D. Remove, protect and turn over to the Owner items noted to be salvaged. If items to be used elsewhere on this project store and protect per section 01 6000, Product Requirements.
- E. Throughout construction, remove excess materials, equipment and debris and dispose of away from premises.
- F. If hazardous materials are encountered the Contractor shall notify the Owner before proceeding with work in the affected area.

SECTION 07 2100 THERMAL INSULATION / SOUND ATTENUATION

- A. Manufacturers
 1. CertainTeed
 2. Johns-Manville
 3. Knaf
 4. Owens Corning
- B. Materials
 1. Sound Attenuation Batts: formaldehyde-free (full thickness of stud cavity) in all walls enclosing occupied rooms.
 2. Fiberglass Batt Insulation: exterior walls shall be insulated with formaldehyde-free unfaced batt insulation having a thermal resistance value of R-19 U.N.O. All uninsulated roof assemblies shall be insulated with batt insulation having a thermal resistance value of R-30 U.N.O. and be covered by a continuous convection barrier. Batt insulation shall comply with ASTM C865 Type 1, and C518, ASTM C 1304 (Oder Emission) and ASTM C 1338 (Fungi Resistance).
- C. Installation
 1. Install sound attenuation batts over ceilings 2'-0" each side of all sound attenuated partitions where partition does not extend to deck.
 2. Batts in exterior walls shall be installed tight against framing members with no gaps or voids.

SECTION 07 5200 JOINT SEALANTS

- A. Manufacturers
 1. Dow Corning
 2. Peacor
 3. Sika
 4. Sonnetborn
 5. Tremco
- B. Materials
 1. Sealant: The type and grade as recommended by the manufacturer for the service intended and surfaces to be sealed.
 2. Back-up materials: Compatible with sealant and primer, and of a resilient nature.
 3. Bond Breaker: Pressure sensitive tape recommended by sealant manufacturer to suit application.
- C. Installation
 1. Install caulks/sealants at all intersections of dissimilar materials required for appearance or to stop passage of air, noise, or light or moisture and as recommended by the manufacturer.
 2. Install back-up material or joint filler, of type and size to provide sealant dimensions recommended by manufacturer. Do not apply sealant to joints over 3/16" without back-up materials.
 3. Sealant color shall match the color of the material sealed, unless otherwise noted. Approval of color shall be obtained prior to application.
 4. Provide sealant at the following locations:
 5. Perimeter of exterior door frames, both sides - Two-part, gun grade, non-sag, non-polyurethane sealant.
 6. Perimeter of any window units, both sides - Two-part, gun grade, non-sag, polyurethane sealant.
 7. Perimeter of exterior grilles/louvers - Two-part, gun grade, non-sag, polyurethane sealant.
 8. Masonry at dissimilar material - Two-part, gun grade, non-sag, polyurethane sealant.
 9. At stud wall base plates and around electrical outlets and penetrations at acoustically rated walls - One-part, gun grade, synthetic rubber, suitable for non-exposed locations.
 10. Expansion and control joints at walks, plazas and at pavements abutting building face - Two-part self-leveling type sealant for horizontal joints subjected to traffic.

SECTION 09 2216 NON-STRUCTURAL METAL FRAMING

- A. Manufacturers
 1. CEMCO
 2. Clark Dietrich Building Systems
 3. MarinoWAREMBA Building Supplies
 4. SCAFCO
 5. United Metal Products
- B. Materials
 1. Sluds, Track and Furring
 - a. Roll formed 20 or 25 gauge electrogalvanized steel, sizes indicated, conforming to ASTM C645.
 - b. Use 20 gauge for door jambs and walls to receive ceramic tile or cement backer board and for walls over 14 feet high.
 - c. Provide slotted track at top of partitions subject to deflection.
 - d. Top track to be slotted and designed to accommodate the specified studs.
 - e. Fire and sound rated construction: Provide studs, track and furring in accordance with assemblies specified or noted on Drawings.
 2. Suspended Ceiling Components
 - a. Furring channels: Type DWG as manufactured by U.S. Gypsum Company, or rigid furring channels conforming to ASTM C645, 2-5/8 inches wide by 7/8 inch by 0.0198 inch thick.
 - b. Main runner channels: Cold rolled sections, 1-1/2 inches, formed of No. 16 gauge steel.
 - c. Hanger wires: 8 gauge.
 - d. Brackets: 20 gauge.
 - e. Tie Wire: 18 gauge galvanized.

SECTION 09 2900 GYPSUM BOARD

- A. Manufacturers
 1. CertainTeed CertainTeed Corporation
 2. Georgia Pacific
 3. Gold Bond Building Products
 4. National Gypsum Company
 5. Pabco Gypsum
 6. United States Gypsum
- B. Materials
 1. Gypsum Board: 5/8 inch thick, Type X, Gypsum board shall conform to applicable sections of ASTM C1396, ASTM C1629 Gypsum board core material to provide "VOC absorption".
 2. Water Resistant Gypsum Board: Use fiberglass faced water resistant type wallboard in toilet rooms, kitchens (within 4 feet of sinks), and other high moisture areas and where indicated on Drawings.
 3. Cementitious backer board: In wet areas use 1/2" fiberglass reinforced cement backer board under ceramic tile.
 4. Lead-Faced Gypsum Board: Where indicated on Drawings. Continuous lead sheet laminated to face of core. Thickness of lead to be as specified on sheet.
 5. Shaftwall Coreboard: 1" thick or as indicated on assembly detail.
 6. Impact-Resistant Gypsum Board: Where indicated on Drawings
 7. Noise Reduction Gypsum Board: Where indicated on Drawings
 8. Trim and Edging: 26 gauge, electro-galvanized steel
- C. Installation
 1. Comply with GA-216: Specifications for the Application and Finishing of Gypsum Wallboard.
 2. Whenever gypsum board terminates against dissimilar materials, install metal edge ("J" trim or similar).
 3. Finish to comply with ASTM C840 - Specification for Application and Finishing of Gypsum Board and GA-214: Recommended Levels of Gypsum Board Finish.
 4. "Level 4" finish to be provided at all locations U.N.O. on plans.

SECTION 09 3100 PAINTING AND COATING

- A. Manufacturers
 1. Benjamin Moore Paints
 2. Sherwin Williams
- B. Materials
 1. Water-based, Low Odor products from manufacturer's top of the line products.
 2. Refer to the "Finish Plan" on the Drawing for designated finishes.
 3. Provide 3 samples paint "draw-downs" for each color and sheen scheduled.
 4. The following are acceptable products of Sherwin Williams. Other manufacturers indicated in this section or by prior approval shall furnish equal types of materials. Responsibility for recommending, scheduling and using the proper paint for the job conditions rests with the manufacturer and Contractor.

Gypsum Wallboard - Egghell (Arvic)

- 1st Coat: ProKor 200 Zero VOC Interior Acrylic Latex Primer B26W2600, MPI #149
- 2nd Coat: ProMar 200 HP Zero VOC Interior Acrylic Low Gloss Eg-Shel B41-1900 Series (Gloss Level 3) MPI # 144 X-Green
- 3rd Coat: ProKor 200 HP Zero VOC Interior Acrylic Low Gloss Eg-Shel B41-1900 Series (Gloss Level 3) MPI # 144 X-Green

C. Installation

- 1. The number of coats scheduled is the minimum number of coats required. Additional coat(s) shall be applied, at no additional cost to the Owner, to completely hide base material, provide uniform color and to produce satisfactory finish results.
- 2. Exposed water, gas, waste piping, sprinkler piping, conduit, lighting and electrical panels, telephone terminal boxes, galvanized ducts and insulated ducts, shall be painted in areas other than mechanical rooms, unless otherwise scheduled. Paint exposed unfinished fixtures, metal ducts, switch boxes, control panels, devices, starters, junction boxes, vents, drains, and other similar items, as directed by Architect.
- 3. Fire hose cabinets, access panels (except stainless steel), air registers and grilles, suspended space heaters, ranges around ceiling fixtures, exposed pipe and conduit, electrical panelboards, primed hardware, and other similar items, shall be painted to match adjacent surfaces, in the direction of the Architect, even though the item already may have a factory applied finish.
- 4. After taping and sanding gypsum board but prior to texturing, apply one coat of 1030 Ultra-Hide PVA Interior Primer-Sealer to gypsum board surfaces. The primer-sealer coat shall contrast with the color of the texture material. This primer-sealer coat may be deleted at gypsum board surfaces that receive a 100 percent skim coat of texture before painting.

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 Midlothian, TX 76065

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 2021_097 06.02.2021

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DELTA	DESCRIPTION	DATE

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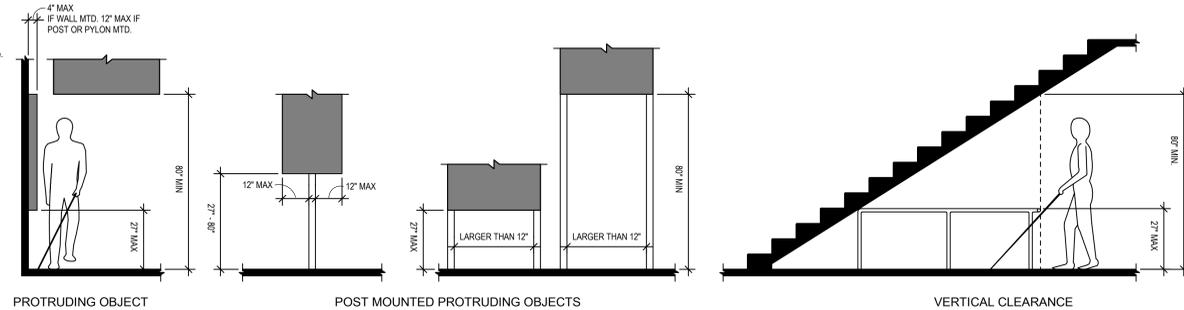
PROJECT PHASE
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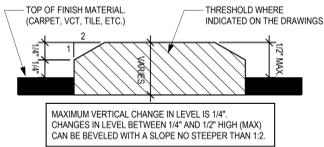
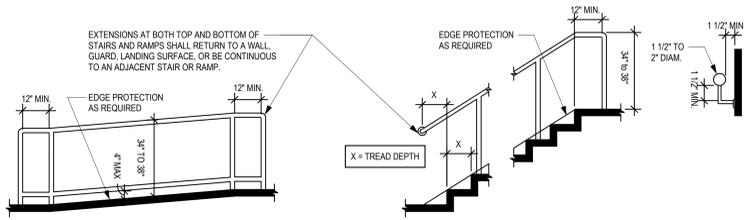
ACCESSIBILITY GENERAL NOTES

- Accessible entrances to the building shall be identified by the international symbol of accessibility.
- Exits that are located adjacent to accessible areas & within 6' of adjacent ground level shall be accessible.
- Accessible ramps over 1:20 (5%) slope as required by ICC/ANSI A117.1 shall have handrails and no slopes that exceed 1:50 (2%) cross-slope.
- The surface of all ramps, floors, stairs and ground surfaces shall be of slip resistant materials/textures, and not exceed 1:50 (2%) cross-slope.
- An accessible route of travel (3 ft. wide min.) must be provided to all portions of the building and between the building and the public way.
- Thresholds must be 1/2" in height or less, and be beveled over 1/4" height.
- All accessible parking spaces shall have a slope not exceeding 1:50 (2%).
- All accessible parking spaces shall be outlined on all four sides, have a contrasting color and the international wheelchair symbol on the ground within the space.
- All accessible parking spaces shall have a sign (min. 5 ft. above finish grade in front of the space) which includes the international symbol of accessibility and applicable municipal language.
- Signs designating permanent rooms and spaces shall meet accessibility requirements.
- All alarms shall meet accessibility requirements.
- Accessible route shall be without steps or changes in level greater than 1/2" without an approved ramp.
- Accessible routes shall serve as exit access or connect to areas of rescue assistance.
- No item shall protrude more than 4" from the surface of a wall along an accessible way, above 27" and below 80" AFF.

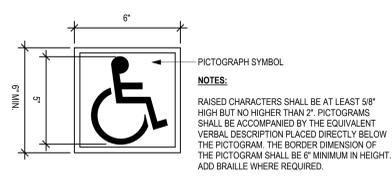


NOTE:
 IF BOTTOM OF PROTRUDING OBJECT IS GREATER THAN 27" AFF THEN OBJECT MAY NOT PROTRUDE MORE THAN 4" MAXIMUM. IF MOUNTED ON POST OR PYLON, OBJECTS MAY PROTRUDE 12" MAXIMUM FROM 27" - 80" ABOVE GROUND OR FINISHED FLOOR. NO PROTRUDING OBJECT SHALL REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES. DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78" MINIMUM ABOVE THE FINISH FLOOR.

PROTRUDING OBJECTS

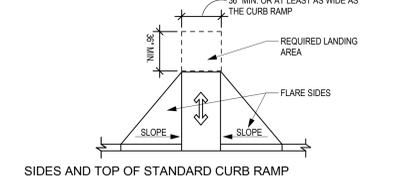
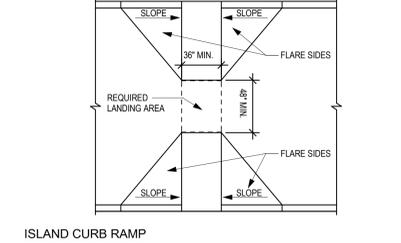
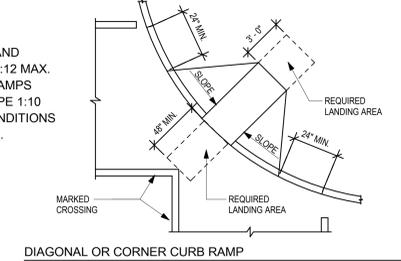
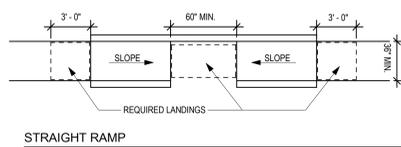
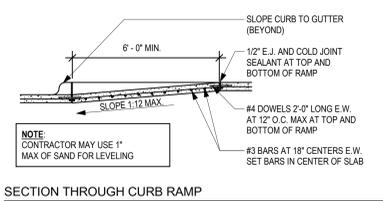


THRESHOLD



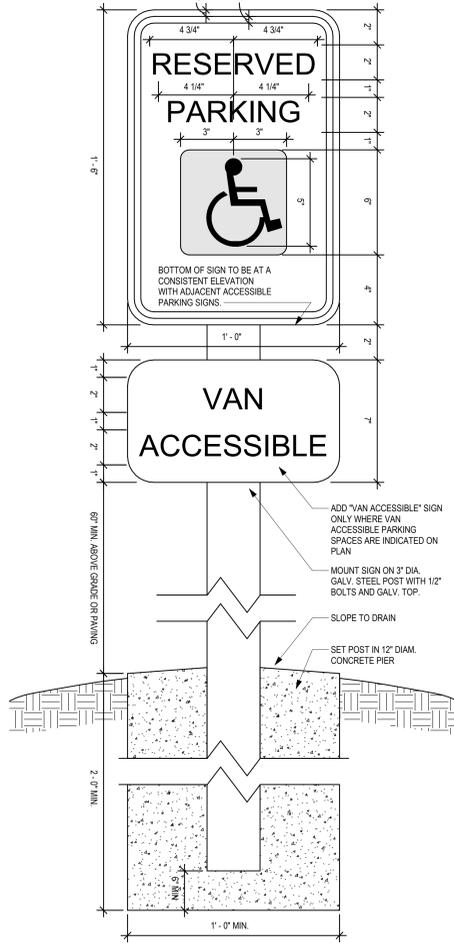
INTERNATIONAL SYMBOL OF ACCESSIBILITY

HANDRAILS AT STAIRS & RAMP



- GENERAL CURB RAMP NOTES:**
- ADJACENT SURFACES TO RAMP MUST BE NO STEEPER THAN 1:20. REQUIRED LANDING AREAS SHALL BE NO STEEPER THAN 1:48.
 - ALL CURB RAMP OUTSIDE OF PROPERTY (IN RIGHT OF WAY) ARE TO BE DESIGNED BASED ON THE LOCAL JURISDICTION.
 - CURB RAMP ARE NOT TO BE PROJECTED INTO VEHICULAR TRAFFIC LANES, PARKING SPACES, OR PARKING ACCESS AISLES.
 - RAMP THAT ARE IN MARKED CROSSINGS SHALL BE CONTAINED WITHIN THAT MARKING.

TYPICAL CURB RAMP DETAILS



REQUIRED PARKING SPACES

# SPACES PROVIDED IN PARKING FACILITY	MIN # REQUIRED	HC PARKING SPACES
01 TO 025	2	
026 TO 050	3	
051 TO 075	4	
076 TO 100	5	
101 TO 150	6	
151 TO 200	7	
201 TO 300	8	
301 TO 400	9	
401 TO 500	10	
501 TO 1000	2%	
OVER 1001	20 = 1 FOR EACH 100 OVER 1000	

* PROVIDE ONE VAN PARKING SPACE FOR EVERY 6 REQUIRED HC PARKING SPACES.

ACCESSIBLE DOOR DIAGRAMS

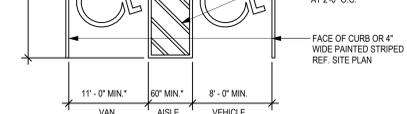
DOOR REQUIREMENTS / ACCESSIBILITY

- DOORS ON AN ACCESSIBLE ROUTE MUST BE 36" WIDE. MINIMUM TO PROVIDE 32" MINIMUM CLEARANCE. NOTIFY THE ARCHITECT OF CONFLICTS FOR RESOLUTION PRIOR TO CONSTRUCTION.
- ALL DOOR LOCK SETS, LATCHSETS, AND PANIC HARDWARE SHALL COMPLY WITH ADA STANDARDS AND HAVE A MAXIMUM OPERATING FORCE OF 5 LBS. AT THE INTERIOR AND 8 LBS. AT EXTERIOR DOORS.
- MANEUVERING CLEARANCE AT ALL DOORS SHALL COMPLY WITH ADA STANDARDS.
- INDICATES LINE OF MAXIMAL OBSTRUCTION ENCROACHMENT.

GENERAL PARKING NOTES:

- REFER TO LOCAL CODES FOR ADJUSTMENTS TO THESE STANDARDS.
- ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY AND CAN BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING, WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
- IT IS RECOMMENDED TO HAVE THE VAN ACCESS AISLE ON THE PASSENGER SIDE OF THE VAN PARKING SPACE.
- ACCESSIBLE ROUTE REQUIRED FOR VAN PARKING SPACE SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 98".

TYPICAL SIGNAGE



GENERAL SIGNAGE NOTES:

- REFER TO PLANS AND SPECS FOR SIGNAGE SCHEDULE
- REFER TO THIS SHEET FOR INTERNATIONAL SYMBOL OF ACCESSIBILITY

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GENERAL SIGNAGE NOTES:

- REFER TO PLANS AND SPECS FOR SIGNAGE SCHEDULE
- REFER TO THIS SHEET FOR INTERNATIONAL SYMBOL OF ACCESSIBILITY

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- REFER TO PLANS AND SPECS FOR SIGNAGE SCHEDULE
- REFER TO THIS SHEET FOR INTERNATIONAL SYMBOL OF ACCESSIBILITY

TYPICAL SIGNAGE



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Safety and Security Upgrades
 Midlothian ISD Campuses
 100 Walter Stephenson Rd.
 Midlothian, TX 76065
 OWNER PROJECT NO.: 20121-020

CLIENT CONTACT
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 469-856-5000 T rola_facel@msd.gov
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OWP PROJECT NO. DATE OF ISSUE
 2021_097 06.02.2021

REVISIONS
 DELTA DESCRIPTION DATE

PROJECT TEAM DRAWN BY
 TX Ed Studio KN

PROJECT PHASE
 Construction Documents

SHEET CONTENTS
 ADA DETAILS

SHEET NO.

* - THIS SHEET REPRESENTS ORCUTT WINSLOW'S INTERPRETATION OF THE 2012 TAS ACCESSIBILITY STANDARDS AND SHOULD BE USED FOR GUIDANCE ON THE PROJECT. THE CONTRACTOR IS STILL RESPONSIBLE FOR ADHERING TO ALL ACCESSIBILITY REQUIREMENTS.



1 SITE AERIAL
1" = 50'-0"

L.A. MILLS MIDLOTHIAN ADMINISTRATION BUILDING
100 WALTERS STEPHENSON RD.
MIDLOTHIAN, TX 76065

DEMOLITION LEGEND

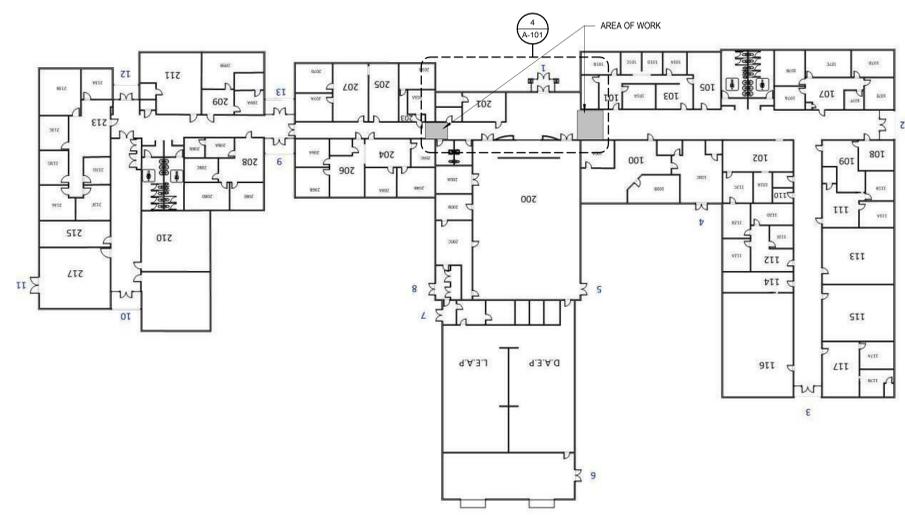
- EXISTING WALLS, STRUCTURE, WINDOWS, ETC. TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR & FRAME TO BE REMOVED
- LINE OF EXISTING WALK, STAIR, FIXTURE OR OTHER SIMILAR ITEM TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- SHADING INDICATES AREAS WHERE FINISHES ARE TO BE REMOVED. SEE KEYNOTES FOR FURTHER ADDITIONAL INFORMATION. FINISHES INCLUDE ALL FLOOR COVERING, BASE, WALL COVERING, CEILINGS, ETC. COORD. W/ MECHANICAL, ELECTRICAL & PLUMBING

DEMOLITION PLAN GENERAL NOTES

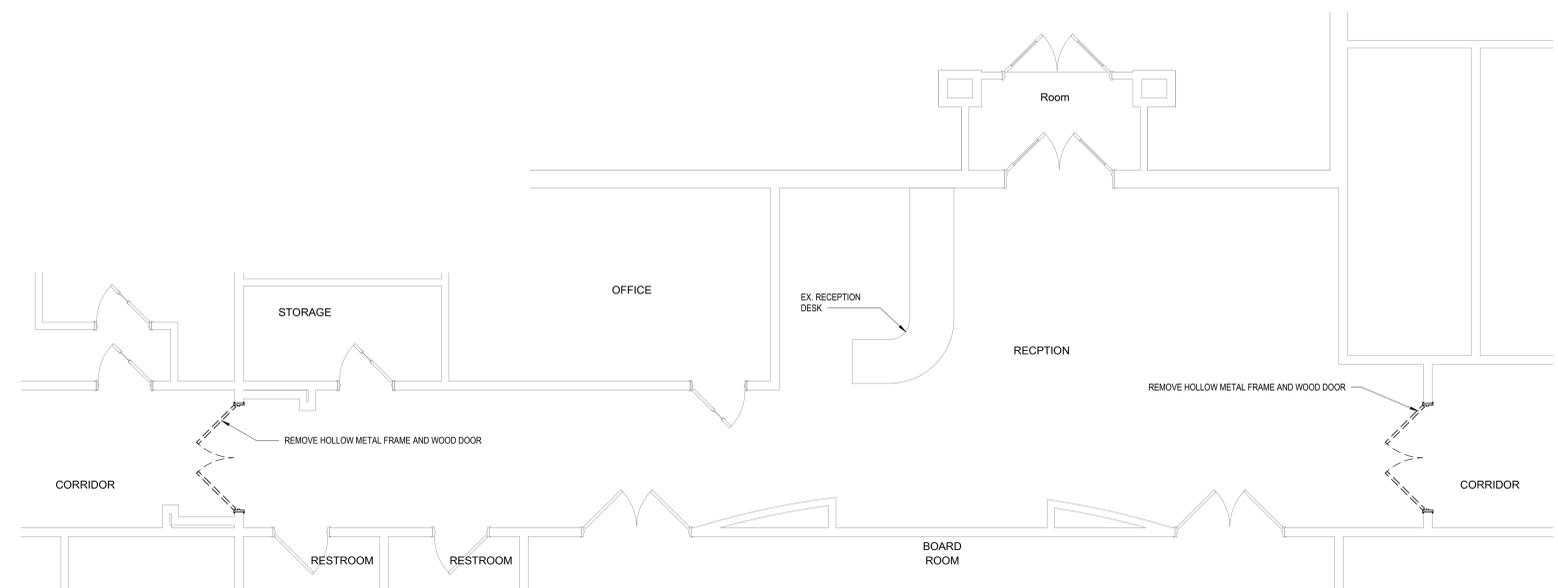
- A. Coordinate demolition with new construction. All demolition and repair necessary to accomplish new construction shall be included. Contractor shall remove all existing improvements whether or not specifically indicated on the drawings to facilitate the completion of all required work. Contractors shall visit the site and verify all quantities and items required to be removed.
- B. Where gypsum board is to remain, patch, tape and float portion of wall to match adjacent new finish.
- C. Contractor to coordinate demolition so all wiring, conduit, equipment, etc. to remain is not damaged. Certain items may be temporarily removed and replaced later during course of restoration. General Contractor will be required to incorporate this work into their schedule. The systems may include, but are not limited to the following: EMS/controls, electrical power and lighting, data, audiovisual, security, intercom, CATV, etc. Contractor to tag and loop wire to remain back to control panels, typical.
- D. Contractor shall remove and replace any fireproofing or firestopping damage during demolition or new construction to conform to proper rating.
- E. Contractor shall coordinate any shutdown required during demolition with Owner.
- F. Contractor to maintain or repair fire and smoke ratings of existing floor, roof and wall assemblies throughout.

GENERAL FLOOR PLAN NOTES

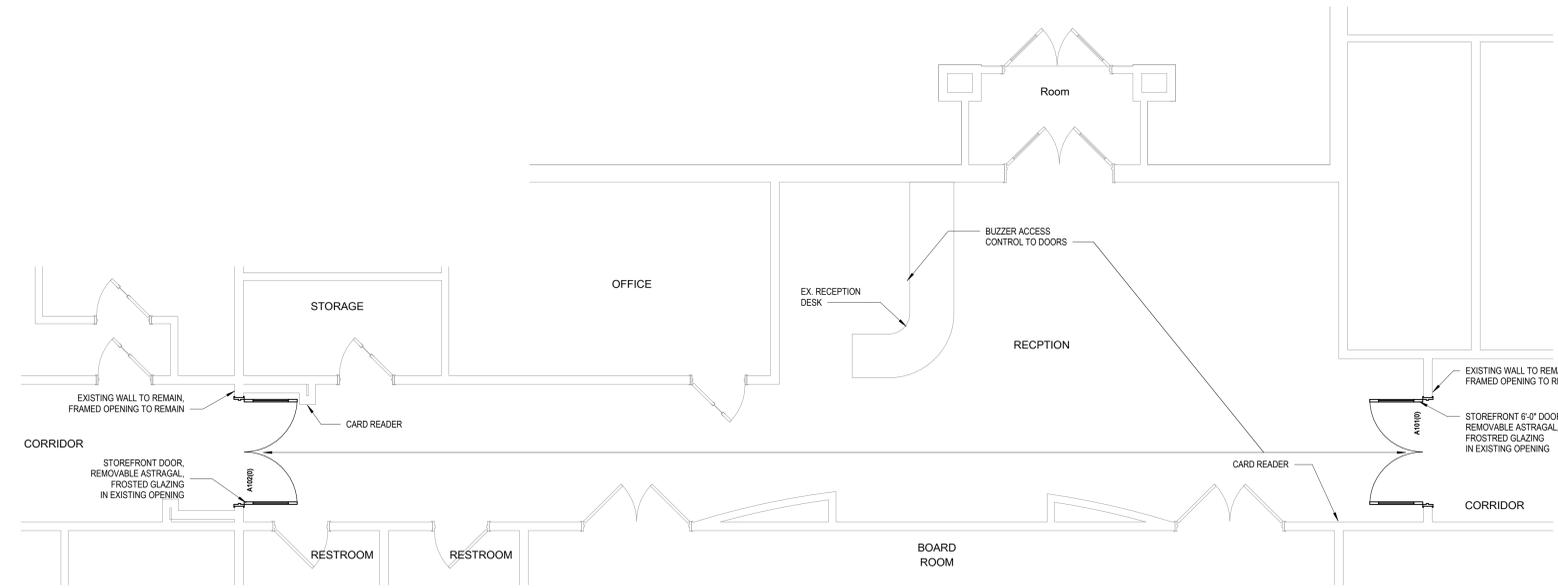
- A. Dimensions are to face of masonry, concrete and gypsum board and centerline of columns unless noted otherwise.
- B. Field verify all dimensions prior to fabrication of any cabinetry, frames, structural items, etc.
- C. Provide painted access panels in walls and ceilings at concealed items, such as valves, shock absorbers, controls, switches, etc., and any other items that may require access. It is the Contractor's responsibility to determine access panel locations.
- D. Verify and coordinate all requirements for owner furnished items, prior to performance of any work that is to accommodate and interface with such items.
- E. All angles are increments of 45 degrees unless noted otherwise.
- F. All frame walls to be Type S01, unless noted otherwise.
- H. Repair all finish surface around door and effected area. Match paint to adjacent wall. Secure any loose flooring effected by door installation.
- I. Mount all card readers 40" A.F.F. to the center of device, U.N.O. Provide card readers with conduits in wall cavity, no surface mounted conduits, U.N.O., or approved by architect.
- J. Reference Electrical plans for power to Card Readers and Electric Strikes.
- K. All door frames in scope, noted with door tag and ref. door schedule, to have new painted finish to match existing door frames per school. All door finish to match existing doors per school.
- L. Doors shown at 45 degrees are exist doors. See plans for notes were existing doors will require repair/upgrade.



2 EXISTING BUILDING PLAN
1" = 30'-0"



3 DEMO FLOOR PLAN - L.A. MILLS ADMINISTRATION BLDG
1/4" = 1'-0"



4 ENLRG FLOOR PLAN - L.A. MILLS ADMINISTRATION BLDG
1/4" = 1'-0" REF 2 / A-101

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orcutt | winslow

REGISTERED ARCHITECT
STATE OF TEXAS
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06/02/2021

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Midlothian ISD Campuses
Safety and Security Upgrades
100 Walter Stephenson Rd.
Midlothian, TX 76065
OWNER PROJECT NO.: 20121-020

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PROJECT PHASE
Construction Documents

SHEET CONTENTS
FIRST FLOOR PLAN - L.A. MILLS ADMIN

SHEET NO.

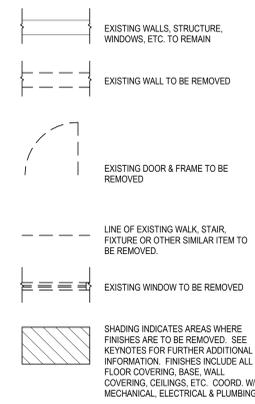
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T.E. BAXTER ELEMENTARY SCHOOL
1050 PARK PLACE BLVD.
MIDLOTHIAN, TX 76065

1 EXISTING BUILDING PLAN
1" = 80'-0"

DEMOLITION LEGEND



DEMOLITION PLAN GENERAL NOTES

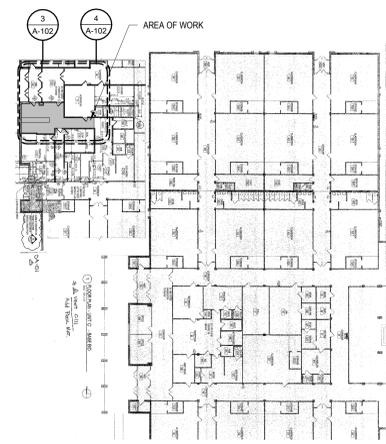
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GENERAL FLOOR PLAN NOTES

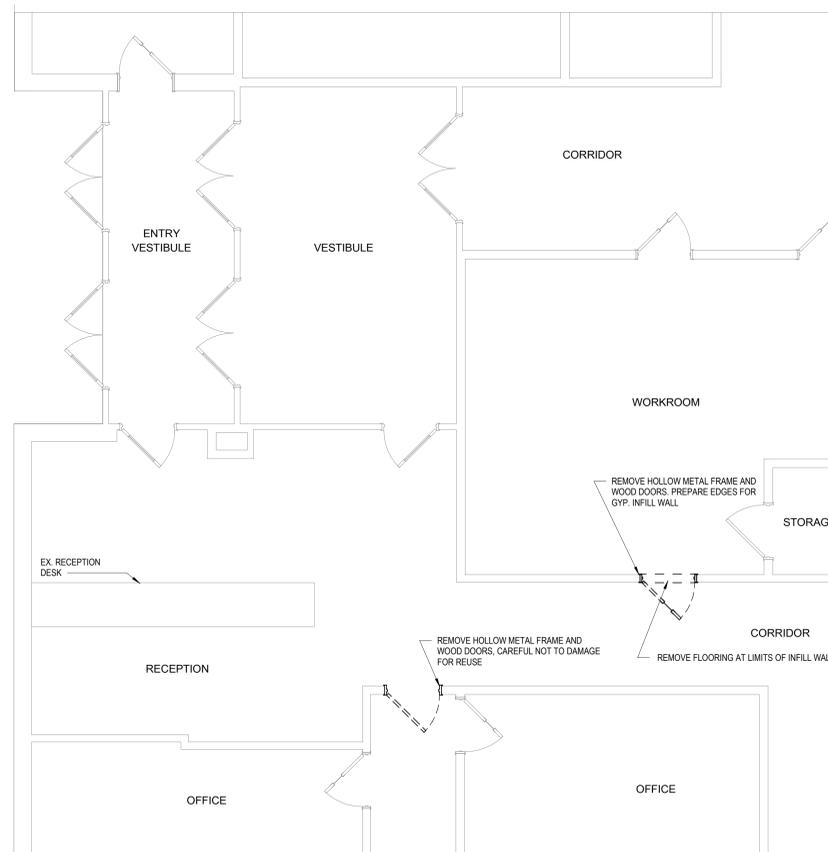
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- Doors shown at 45 degrees are exist doors. See plans for notes were existing doors will require repair/upgrade.

orcutt | winslow
REGISTERED ARCHITECT
STATE OF TEXAS
1969
06/02/2021

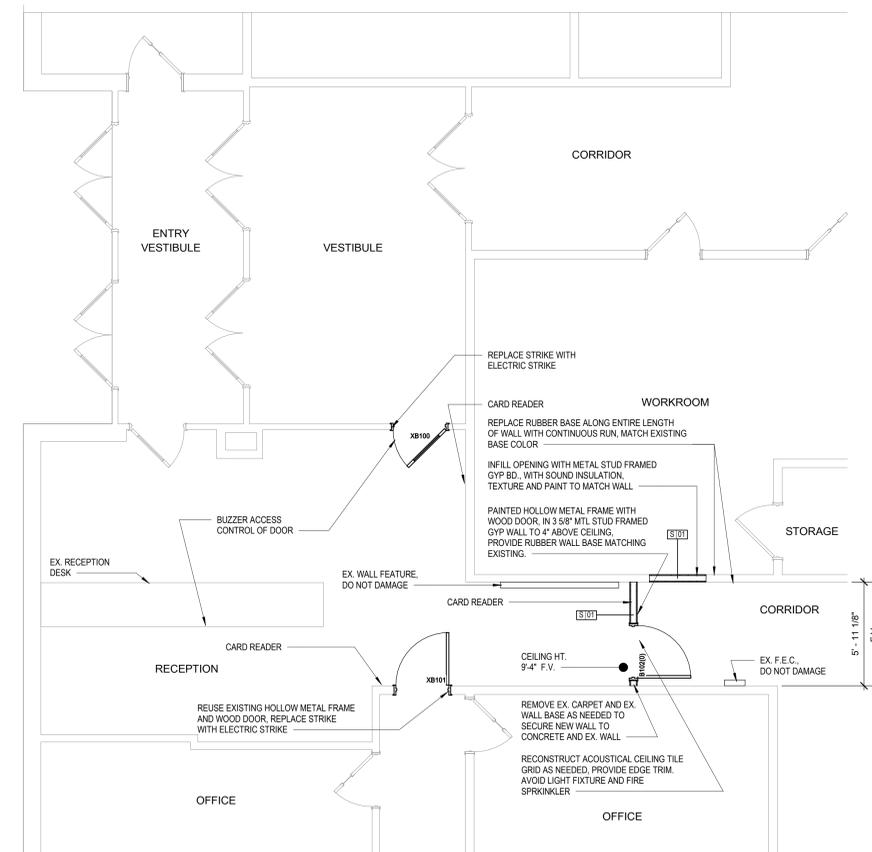
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2 EXISTING BUILDING PLAN
1" = 40'-0"



3 DEMO FIRST FLOOR - BAXTER E.S.
1/4" = 1'-0" REF 2 / A-102



4 FIRST FLOOR - BAXTER E.S.
1/4" = 1'-0" REF 2 / A-102

Midlothian ISD Campuses
Safety and Security Upgrades
100 Walter Stephenson Rd.
Midlothian, TX 76065
OWNER PROJECT NO.: 20121-020

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DELTA DESCRIPTION DATE

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TX Ed Studio KN

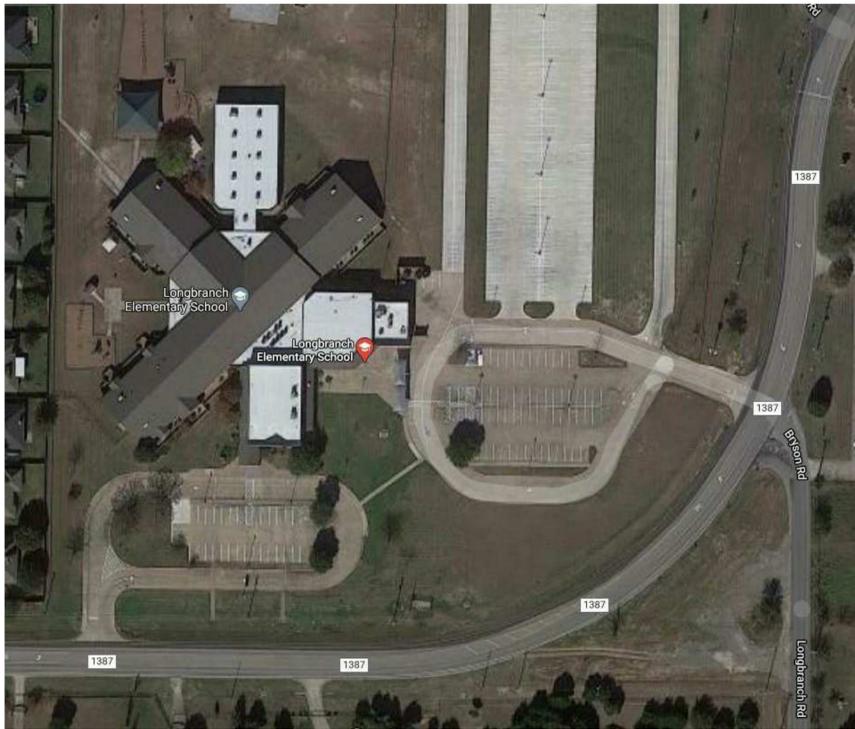
PROJECT PHASE
Construction Documents

SHEET CONTENTS
FIRST FLOOR PLAN -
BAXTER E.S.

SHEET NO.

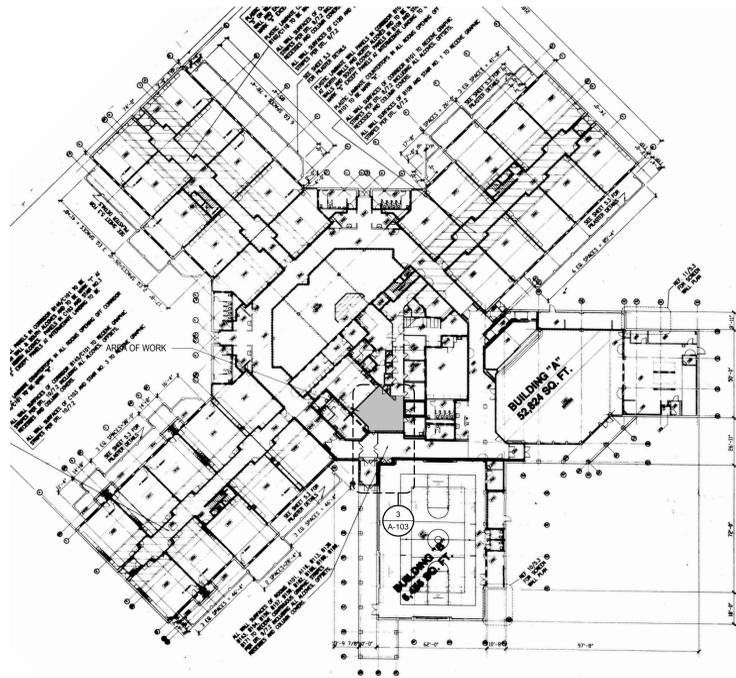
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LONGBRANCH ELEMENTARY SCHOOL
6631 FM 1387
MIDLOTHIAN, TX 76065

1 SITE AERIAL
1" = 80'-0"



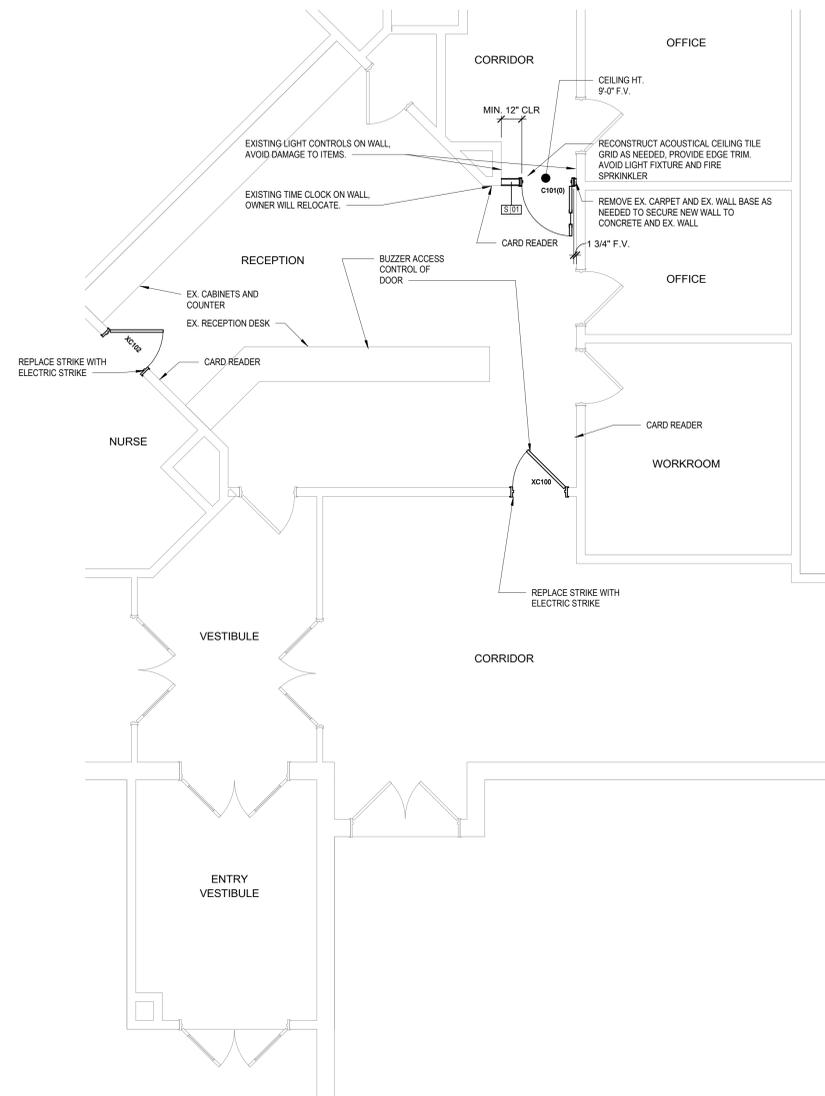
2 EXISTING BUILDING PLAN
1" = 40'-0"

DEMOLITION PLAN GENERAL NOTES

- A. Coordinate demolition with new construction. All demolition and repair necessary to accomplish new construction shall be included. Contractor shall remove all existing improvements whether or not specifically indicated on the drawings to facilitate the completion of all required work. Contractors shall visit the site and verify all quantities and items required to be removed.
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GENERAL FLOOR PLAN NOTES

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3 FIRST FLOOR - LONGBRANCH E.S.
1/4" = 1'-0" REF 2 / A-103

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STATE OF TEXAS
19569
06/02/2021

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Midlothian ISD Campuses
Safety and Security Upgrades
100 Walter Stephenson Rd.
Midlothian, TX 76065
OWNER PROJECT NO.: 20121-020

CLIENT CONTACT
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OWP PROJECT NO. DATE OF ISSUE
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PROJECT PHASE
Construction Documents

SHEET CONTENTS
FIRST FLOOR PLAN -
LONGBRANCH E.S.

SHEET NO.

A-103



1 SITE AERIAL
1" = 80'-0"

LARUE MILLER ELEMENTARY SCHOOL
2800 SUDITH LN.
MIDLOTHIAN, TX 76065

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GENERAL FLOOR PLAN NOTES

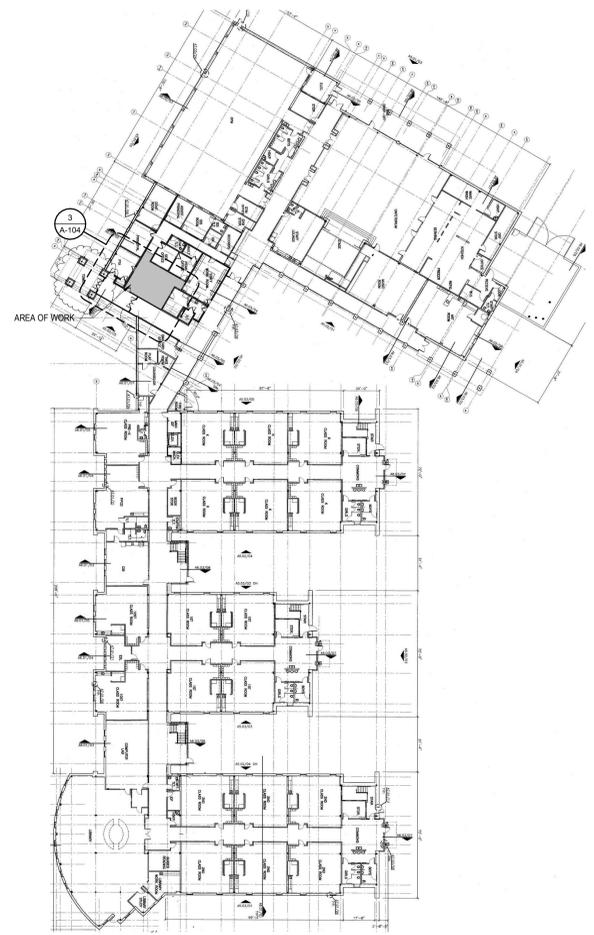
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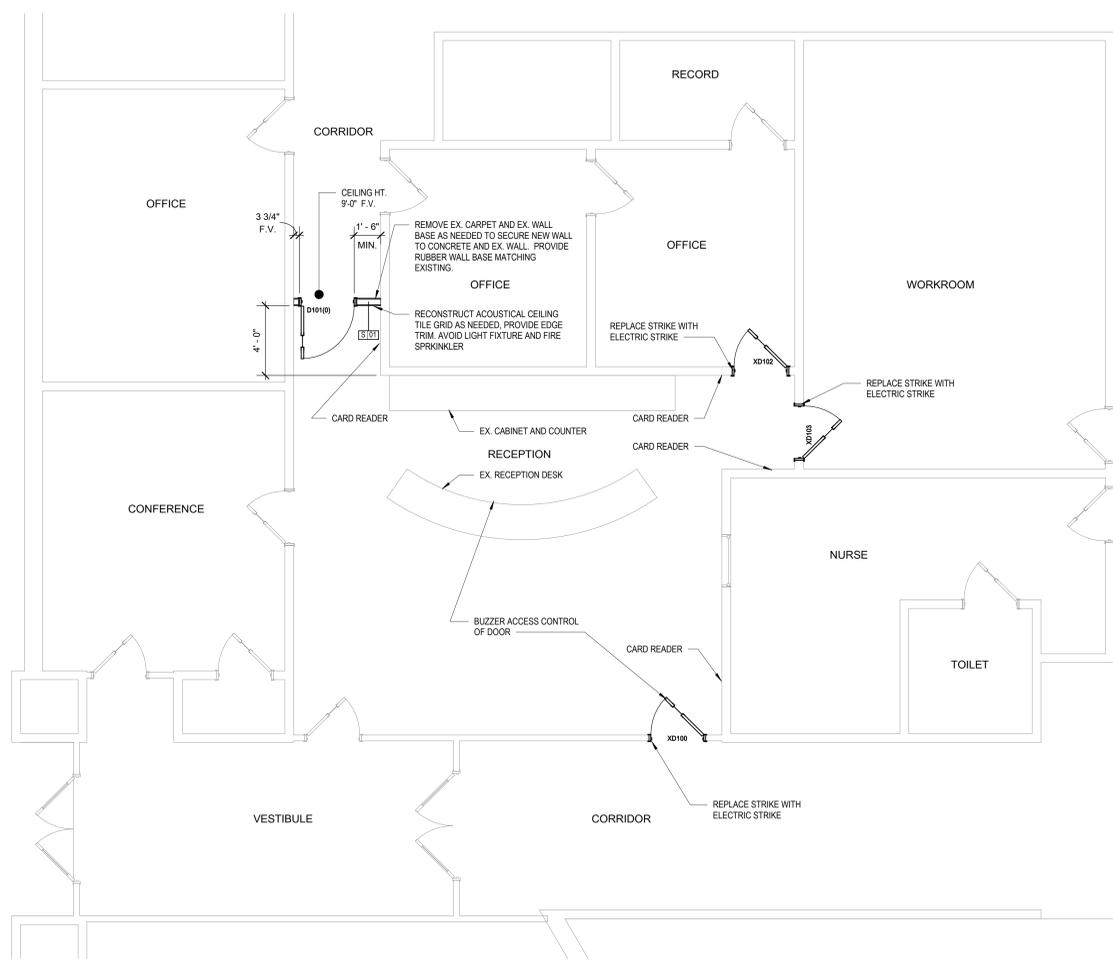
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2 EXISTING BUILDING PLAN
1" = 40'-0"



3 FIRST FLOOR - MILLER E.S.
1/4" = 1'-0" REF 2 / A-104

Midlothian ISD Campuses
Safety and Security Upgrades
100 Walter Stephenson Rd.
Midlothian, TX 76065
OWNER PROJECT NO.: 20121-020

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TX Ed Studio KN

PROJECT PHASE
Construction Documents

SHEET CONTENTS
FIRST FLOOR PLAN -
MILLER E.S.

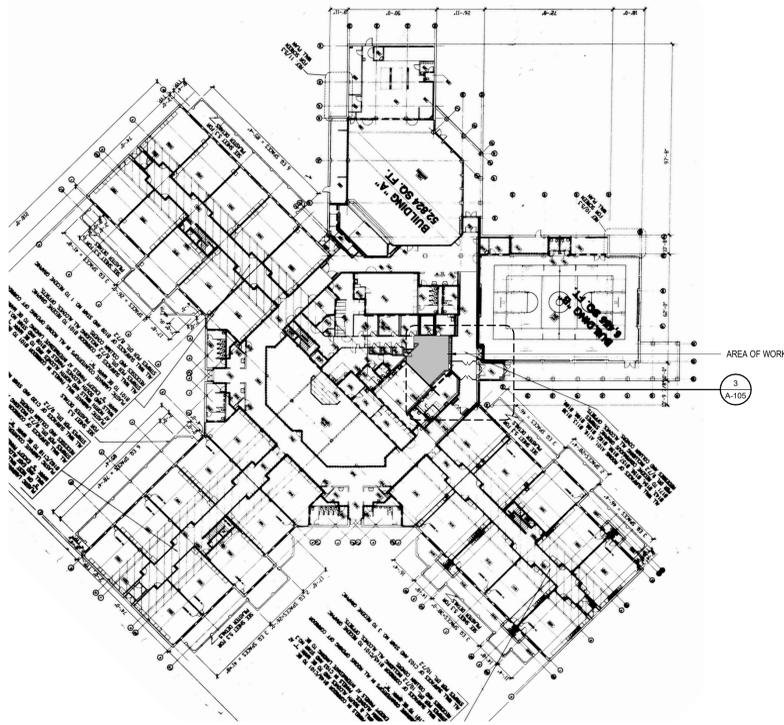
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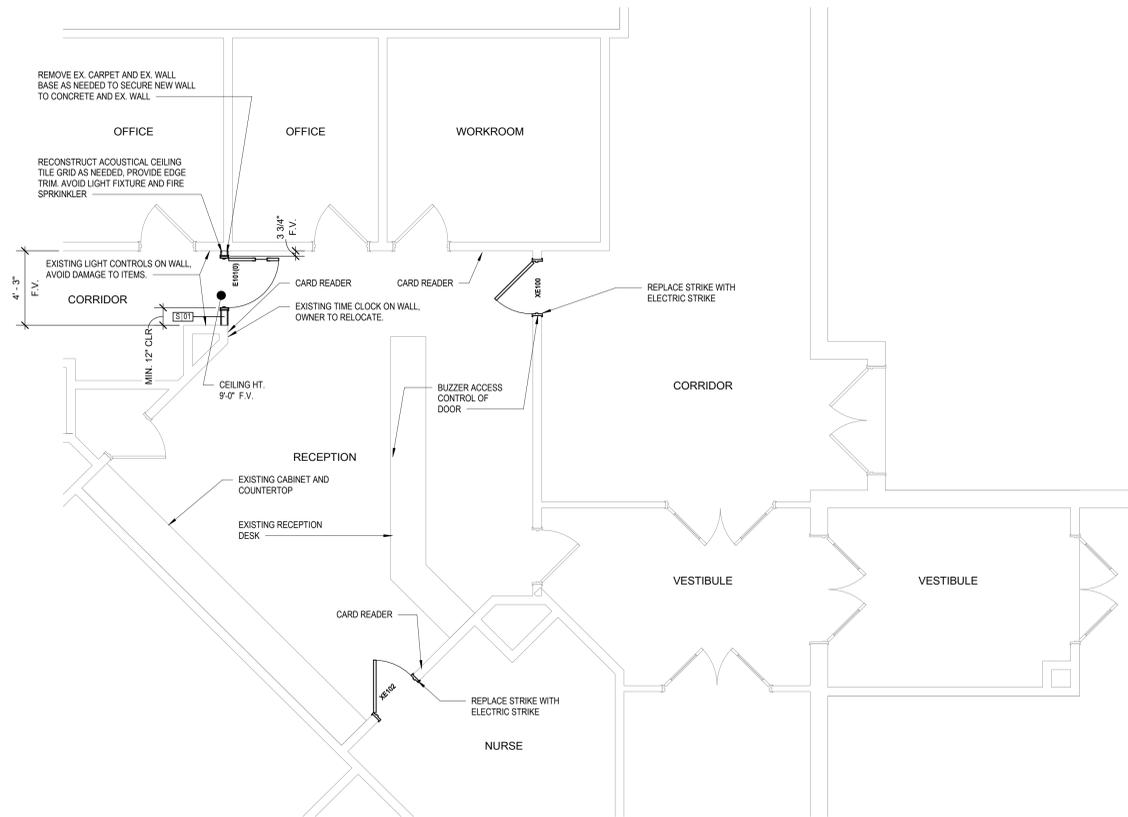


1 SITE AERIAL
1" = 80'-0"

MT. PEAK ELEMENTARY SCHOOL
5201 FM 663
MIDLOTHIAN, TX 76065



2 EXISTING BUILDING PLAN
1" = 40'-0"



3 FIRST FLOOR - MT. PEAK E.S.
1/4" = 1'-0" REF 2 / A-105

DEMOLITION PLAN GENERAL NOTES

- A. Coordinate demolition with new construction. All demolition and repair necessary to accomplish new construction shall be included. Contractor shall remove all existing improvements whether or not specifically indicated on the drawings to facilitate the completion of all required work. Contractors shall visit the site and verify all quantities and items required to be removed.
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- D. Contractor shall remove and replace any fireproofing or firestopping damage during demolition or new construction to conform to proper rating.
- E. Contractor shall coordinate any shutdown required during demolition with Owner.
- F. Contractor to maintain or repair fire and smoke ratings of existing floor, roof and wall assemblies throughout.

GENERAL FLOOR PLAN NOTES

- A. Dimensions are to face of masonry, concrete and gypsum board and centerline of columns unless noted otherwise.
- B. Field verify all dimensions prior to fabrication of any cabinetry, frames, structural items, etc.
- C. Provide painted access panels in walls and ceilings at concealed items, such as valves, shock absorbers, controls, switches, etc., and any other items that may require access. It is the Contractor's responsibility to determine access panel locations.
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- E. All angles are increments of 45 degrees unless noted otherwise.
- F. All frame walls to be Type S01, unless noted otherwise.
- H. Repair all finish surface around door and effected area. Match paint to adjacent wall. Secure any loose flooring effected by door installation.
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- J. Reference Electrical plans for power to Card Readers and Electric Strikes.
- K. All door frames in scope, noted with door tag and ref. door schedule, to have new painted finish to match existing door frames per school. All door finish to match existing doors per school.
- L. Doors shown at 45 degrees are exist doors. See plans for notes were existing doors will require repair/upgrade.

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Midlothian ISD Campuses
Safety and Security Upgrades
100 Walter Stephenson Rd.
Midlothian, TX 76065
OWNER PROJECT NO.: 20121-020

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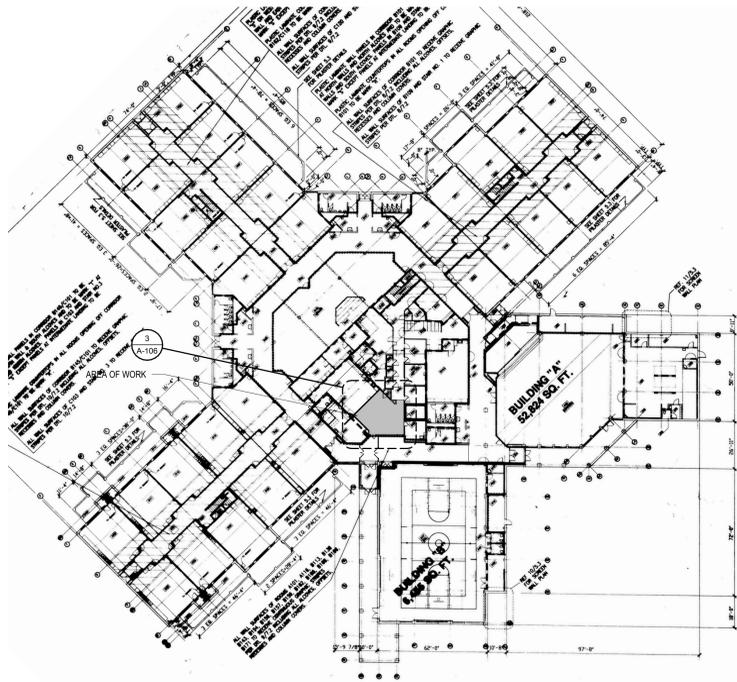
SHEET CONTENTS
FIRST FLOOR PLAN -
MT. PEAK E.S.

SHEET NO.



J.A. VITOVSKY ELEMENTARY SCHOOL
333 CHURCH ST.
MIDLOTHIAN, TX 76065

1 SITE AERIAL
1" = 80'-0" REF 2 / A-106



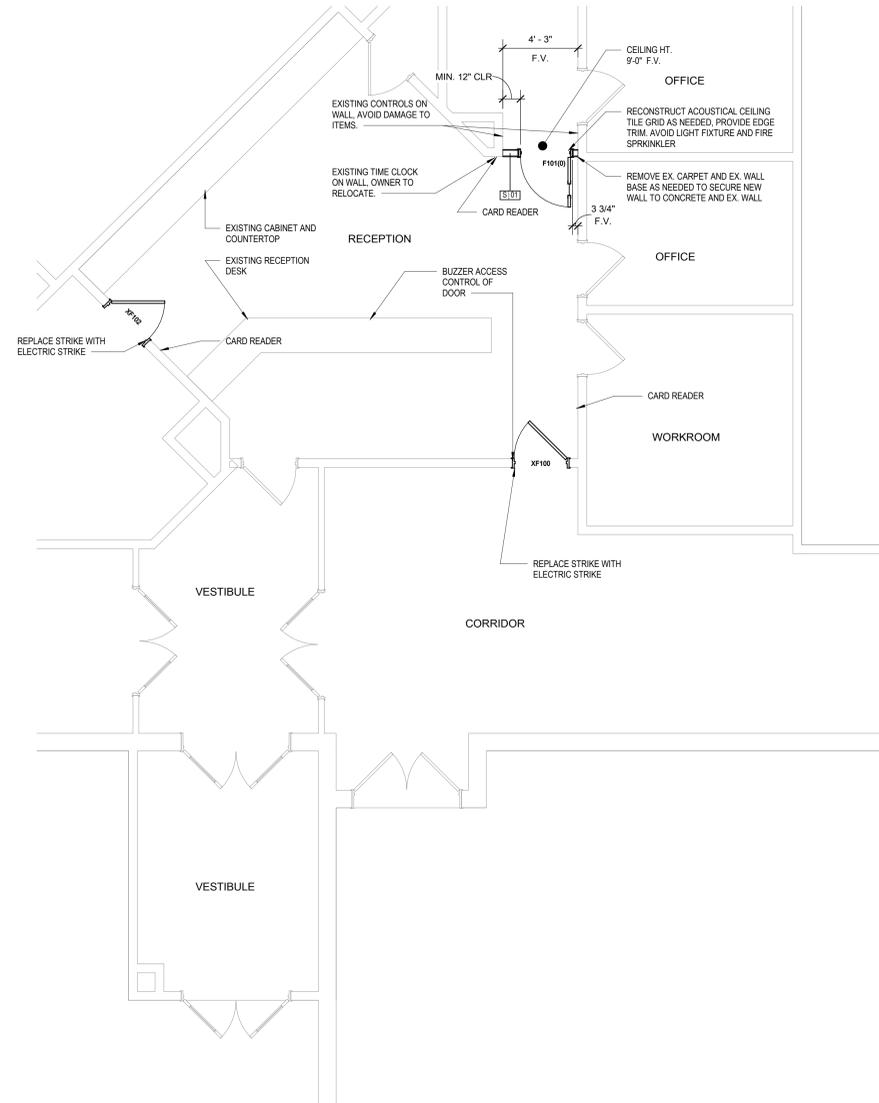
2 EXISTING BUILDING PLAN
1" = 40'-0"

DEMOLITION PLAN GENERAL NOTES

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3 FIRST FLOOR - VITOVSKY E.S.
1/4" = 1'-0" REF 2 / A-106

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Safety and Security Upgrades
100 Walter Stephenson Rd.
Midlothian, TX 76065
OWNER PROJECT NO.: 20121-020

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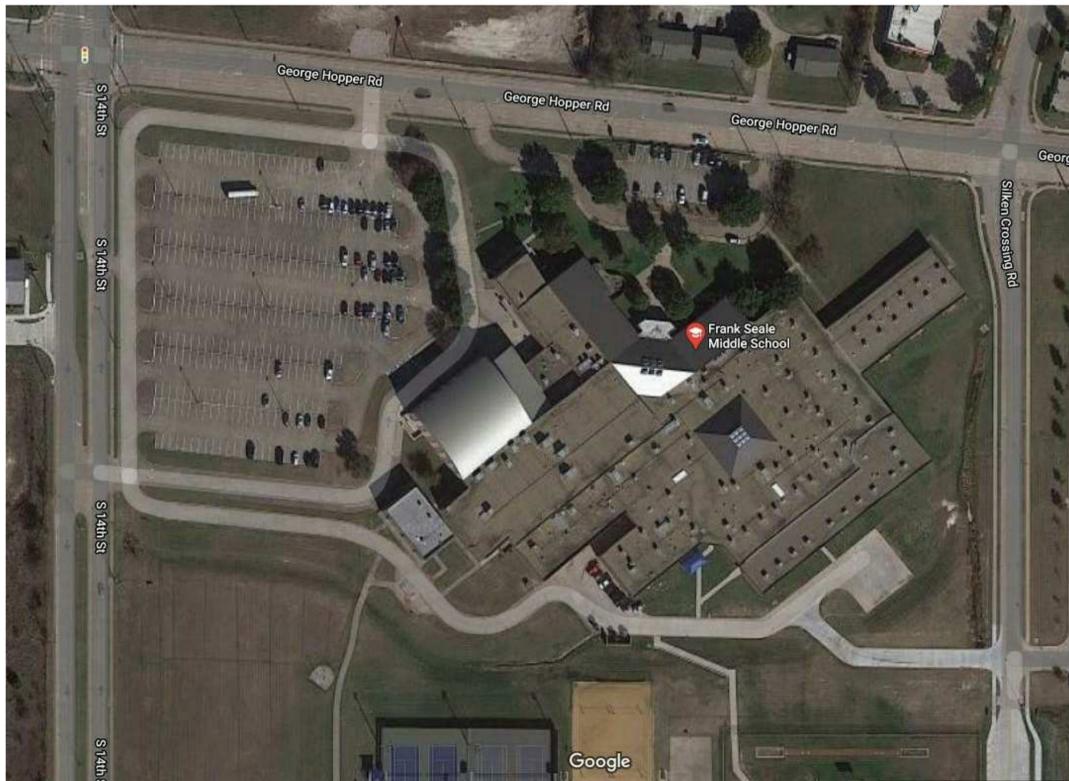
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PROJECT PHASE
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SHEET CONTENTS
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VITOVSKY E.S.

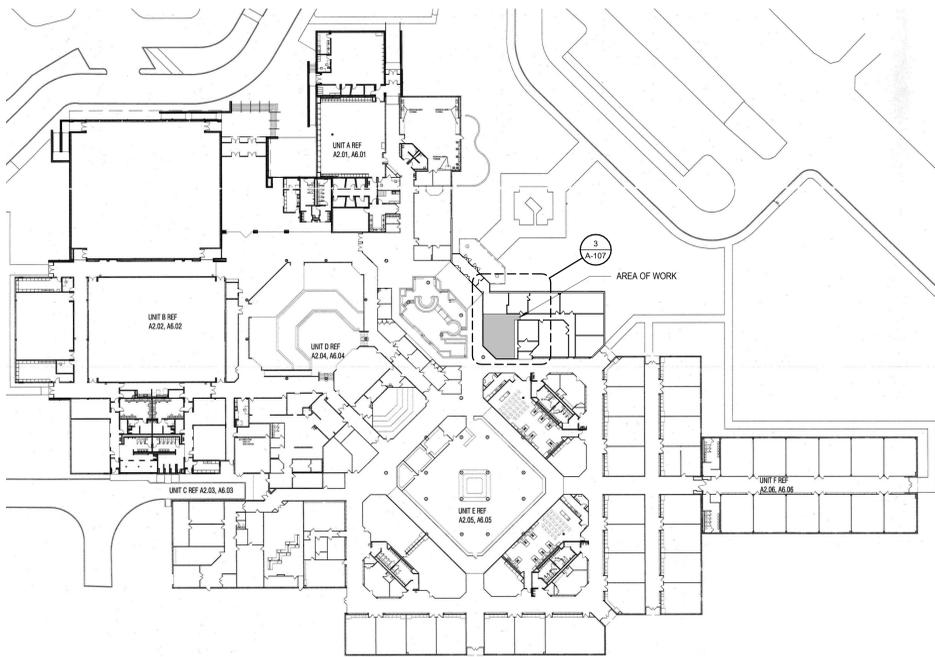
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A-106

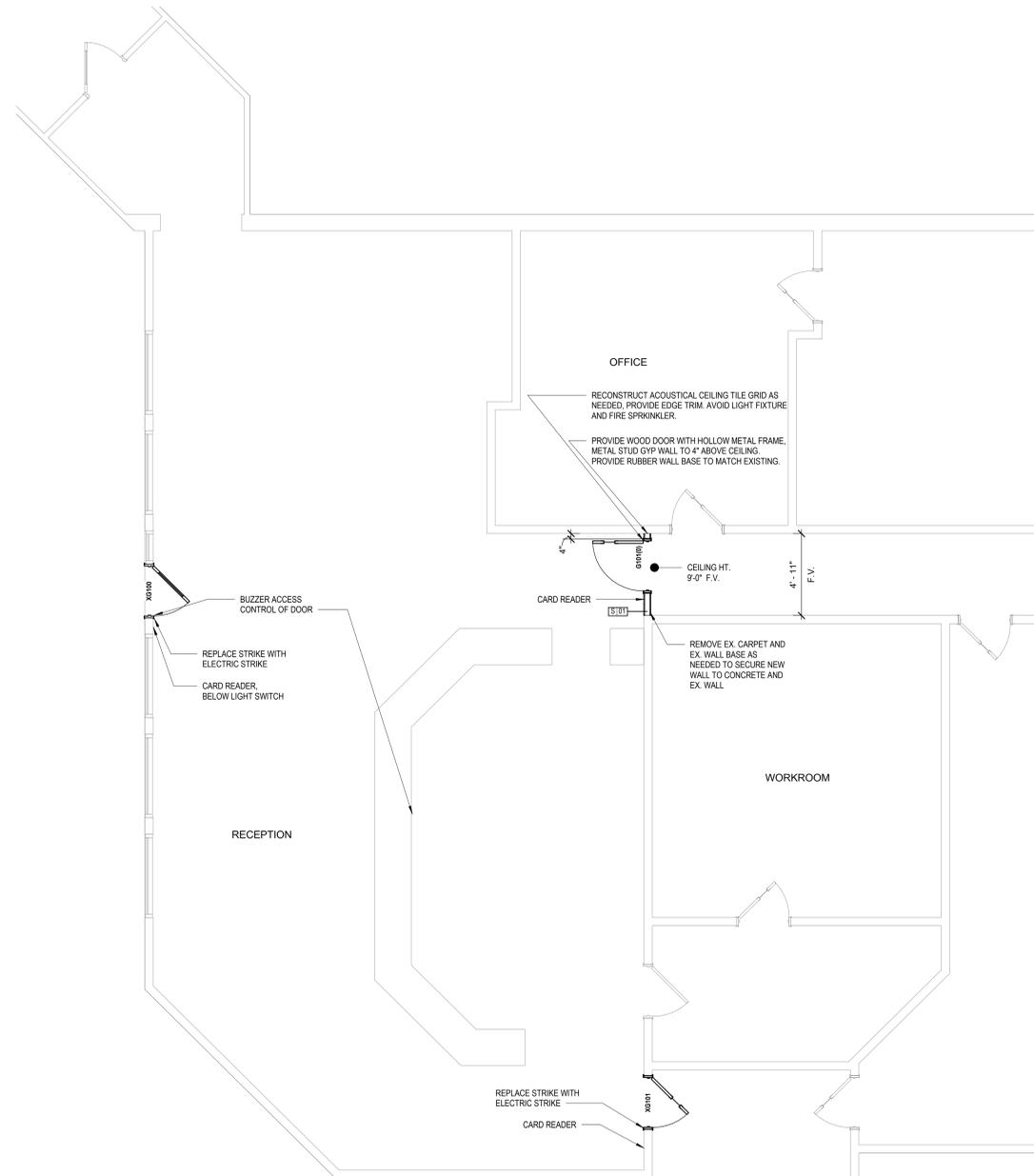


FRANK SEALE MIDDLE SCHOOL
700 GEORGE HOPPER RD.
MIDLOTHIAN, TX 76065

1 SITE AERIAL
1" = 100'-0"



2 EXISTING BUILDING PLAN
1" = 60'-0"



3 FIRST FLOOR - FRANK SEALE M.S.
1/4" = 1'-0" REF 2 / A-107

DEMOLITION PLAN GENERAL NOTES

- A. Coordinate demolition with new construction. All demolition and repair necessary to accomplish new construction shall be included. Contractor shall remove all existing improvements whether or not specifically indicated on the drawings to facilitate the completion of all required work. Contractors shall visit the site and verify all quantities and items required to be removed.
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Safety and Security Upgrades
100 Walter Stephenson Rd.
Midlothian, TX 76065
OWNER PROJECT NO.: 20121-020

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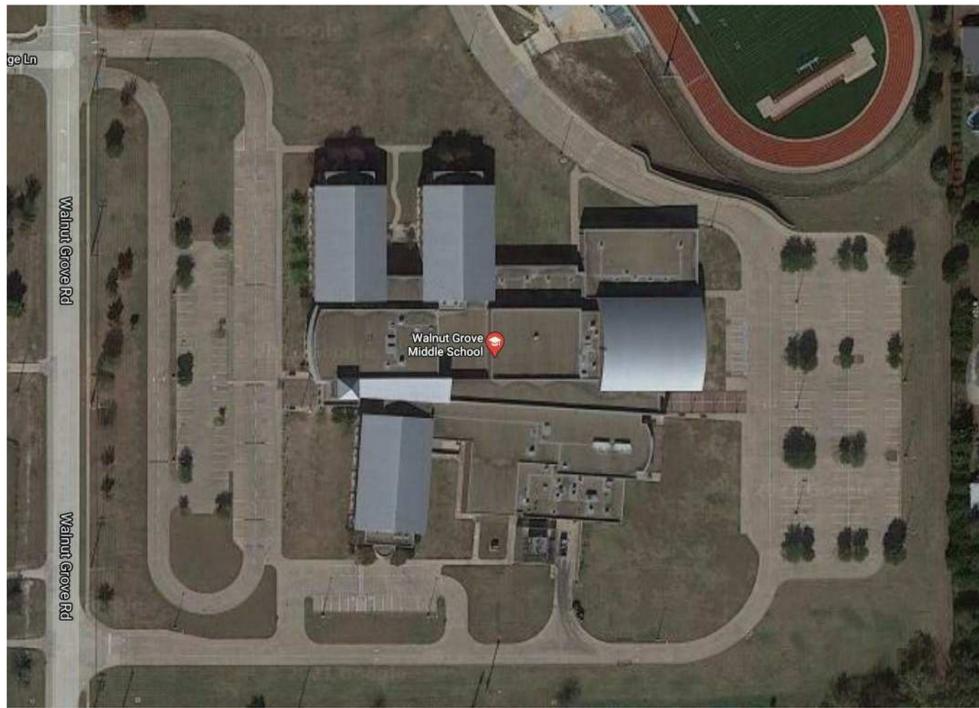
PROJECT PHASE
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SHEET CONTENTS
FIRST FLOOR PLAN -
FRANK SEALE M.S.

SHEET NO.

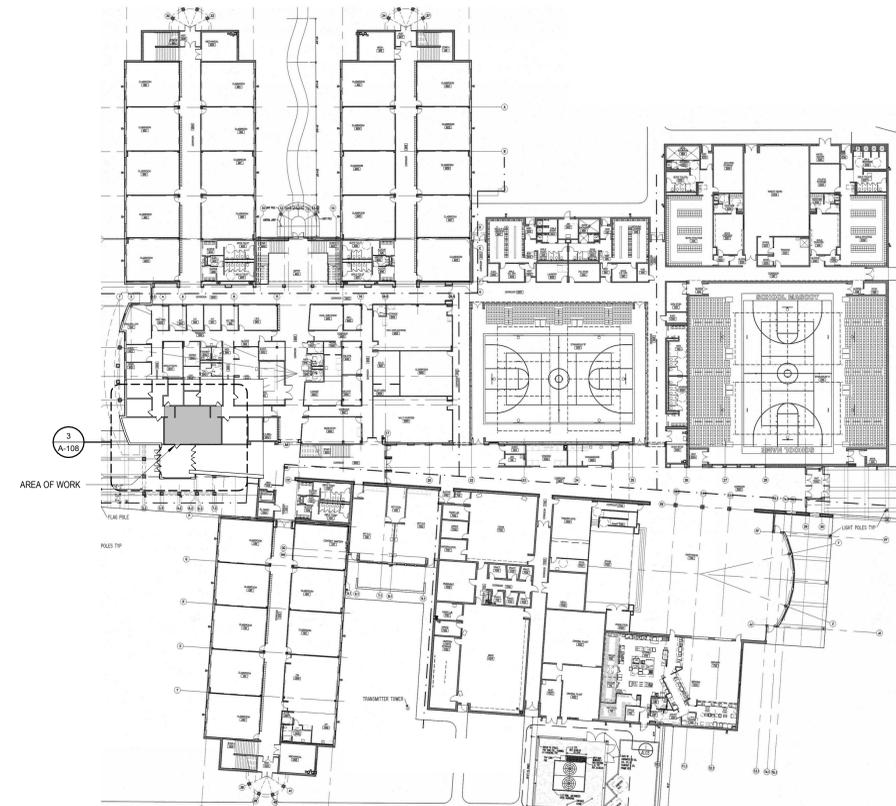
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1 SITE AERIAL
1" = 80'-0"

WALNUT GROVE MIDDLE SCHOOL
990 N WALNUT GROVE RD.
MIDLOTHIAN, TX 76065



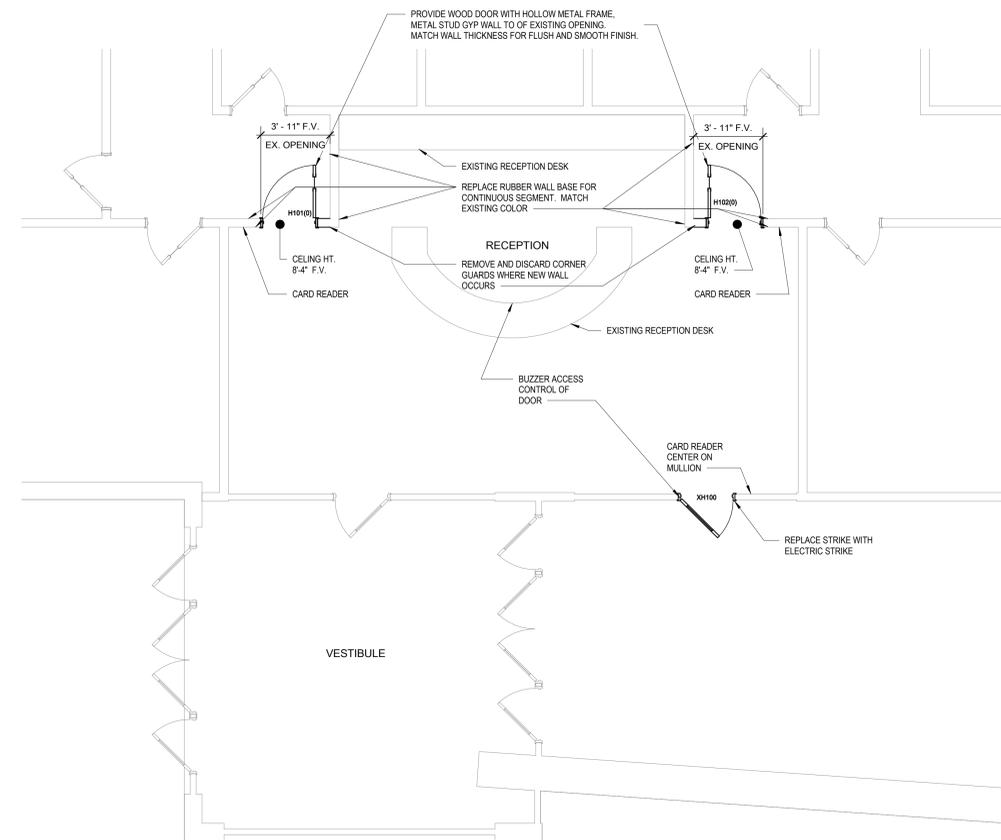
2 EXISTING BUILDING PLAN
1" = 40'-0"

DEMOLITION PLAN GENERAL NOTES

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GENERAL FLOOR PLAN NOTES

- A. Dimensions are to face of masonry, concrete and gypsum board and ceiling unless noted otherwise.
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3 FIRST FLOOR - WALNUT GROVE M.S.
1/4" = 1'-0" REF 2 / A-108

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100 Walter Stephenson Rd.
Midlothian, TX 76065
OWNER PROJECT NO.: 20121-020

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FIRST FLOOR PLAN -
WALNUT GROVE M.S.

SHEET NO.

A-108

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MIDLOTHIAN HIGH SCHOOL
923 S. 9TH ST.
MIDLOTHIAN, TX 76065

AH Meadows Public &
High School Library

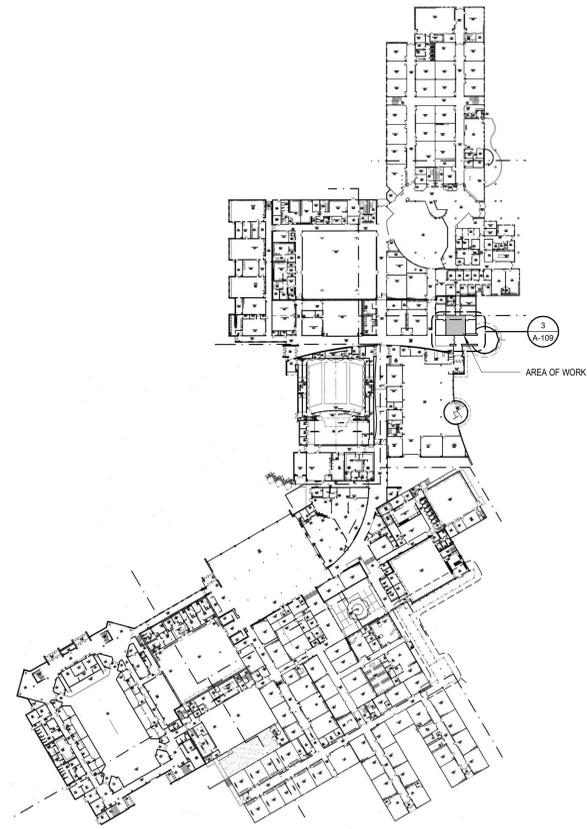
Midlothian High School

S 9th St

663

Google

1 SITE AERIAL
1" = 100'-0"



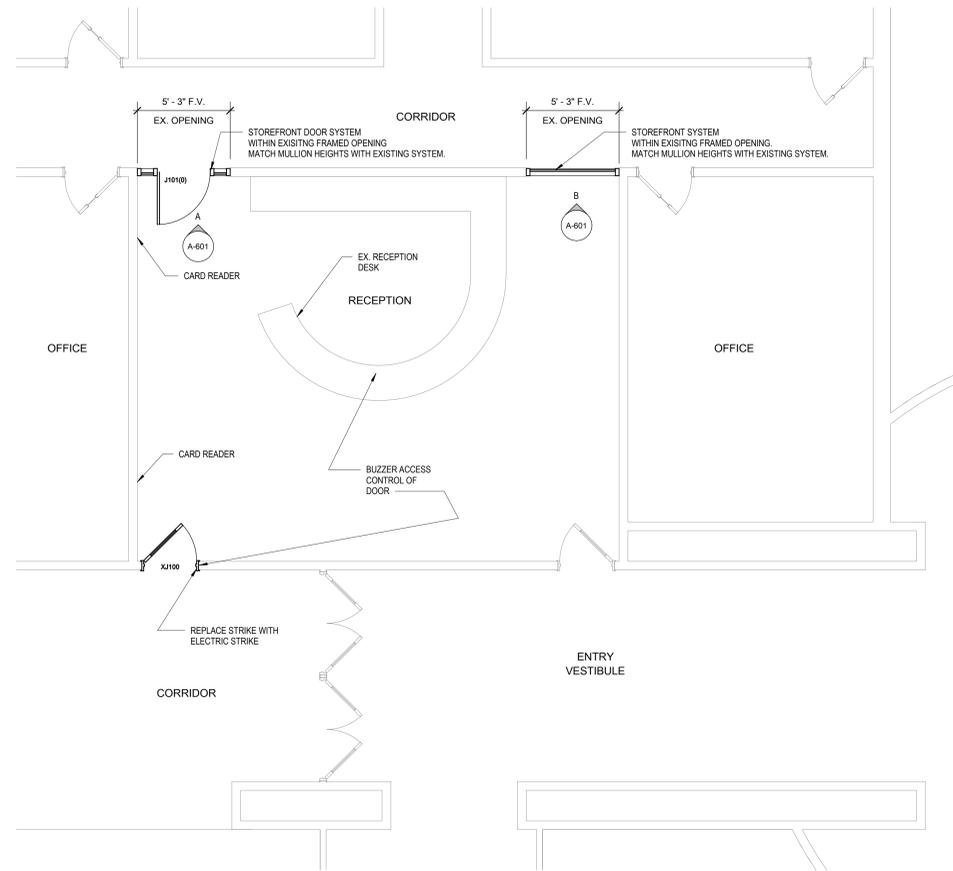
2 EXISTING BUILDING PLAN
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3 FIRST FLOOR - MIDLOTHIAN H.S.
1/4" = 1'-0" REF 2 / A-109

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OWNER PROJECT NO.: 20121-020

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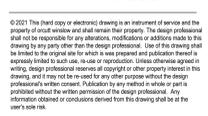
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MIDLOTHIAN H.S.

SHEET NO.

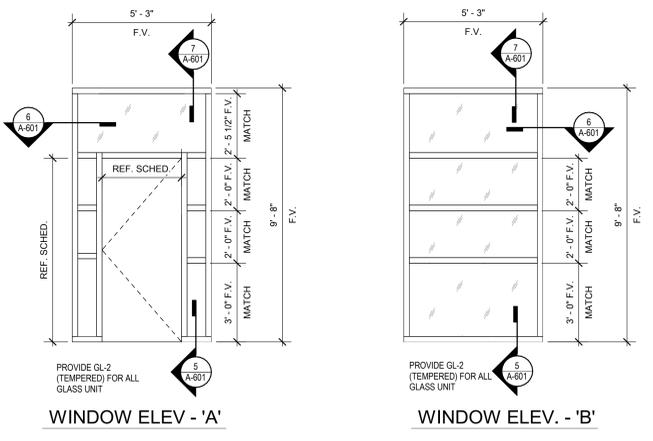
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DOOR AND FRAME SCHEDULE													
Door Number	Door Size		Door Type	Door Material	Door Finish	Frame Type	Frame Material	Frame Finish	Fire Rating	Details			Remarks
	Width	Height								Head	Jamb	Threshold	
A101	6'-0"	7'-0"	134"	G2	ALUM CLR	FB	ALUM CLR	0	07/A601	06/A601	05/A601	LA MILLS ADMINISTRATION	
A102	6'-0"	7'-0"	134"	G2	ALUM CLR	FB	ALUM CLR	0	07/A601	06/A601	05/A601	LA MILLS ADMINISTRATION	
B102	3'-0"	7'-0"	134"	F	WD	WV	FA	HM PNT	0	01/A601	03/A601	BAXTER E.S.	
C101	2'-10"	7'-0"	134"	NV	WD	WV	FA	HM PNT	0	01/A601	02/A601	LONGBRANCH E.S.	
D101	3'-0"	7'-0"	134"	NV	WD	WV	FA	HM PNT	0	01/A601	02/A601	MILLER E.S.	
E101	2'-10"	7'-0"	134"	NV	WD	WV	FA	HM PNT	0	01/A601	03/A601	MT PEAK E.S.	
F101	2'-10"	7'-0"	134"	NV	WD	WV	FA	HM PNT	0	01/A601	02/A601	VITOSKY E.S.	
G101	3'-0"	7'-0"	134"	NV	WD	WV	FA	HM PNT	0	01/A601	02/A601	FRANK SEALE M.S.	
H101	3'-0"	7'-0"	134"	NV	WD	WV	FA	HM PNT	0	01/A601	03/A601	WALNUT GROVE M.S.	
H102	3'-0"	7'-0"	134"	NV	WD	WV	FA	HM PNT	0	01/A601	02/A601	WALNUT GROVE M.S.	
J101	3'-0"	7'-0"	134"	G2	ALUM CLR	FB	ALUM CLR	0	07/A601	06/A601	05/A601	MIDLOTHIAN HIGH SCHOOL	
XB100	3'-0"	8'-0"	134"	G3	WD	HM	EXIST.	EXIST.	EXIST.			BAXTER E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XB101	3'-0"	7'-0"	134"	F	WD	HM	EXIST.	EXIST.	EXIST.			BAXTER E.S. - REPLACE DOOR ACCESS CONTROL ONLY - DOOR REPOSITIONED	
XC100	3'-0"	7'-0"	134"	F	WD	HM	EXIST.	EXIST.	EXIST.			LONGBRANCH E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XC102	3'-0"	7'-0"	134"	F	WD	HM	EXIST.	EXIST.	EXIST.			LONGBRANCH E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XD100	3'-0"	7'-0"	134"	NV	WD	HM	EXIST.	EXIST.	EXIST.			MILLER E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XD102	3'-0"	7'-0"	134"	NV	WD	HM	EXIST.	EXIST.	EXIST.			MILLER E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XD103	3'-0"	7'-0"	134"	NV	WD	HM	EXIST.	EXIST.	EXIST.			MILLER E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XE100	3'-0"	7'-0"	134"	F	WD	HM	EXIST.	EXIST.	EXIST.			MT PEAK E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XE102	3'-0"	7'-0"	134"	F	WD	HM	EXIST.	EXIST.	EXIST.			MT PEAK E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XF100	3'-0"	7'-0"	134"	F	WD	HM	EXIST.	EXIST.	EXIST.			VITOSKY E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XF102	3'-0"	7'-0"	134"	F	WD	HM	EXIST.	EXIST.	EXIST.			VITOSKY E.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XG100	3'-0"	7'-0"	134"	G3	WD	HM	EXIST.	EXIST.	EXIST.			FRANK SEALE M.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XG101	3'-0"	7'-0"	134"	NV	WD	HM	EXIST.	EXIST.	EXIST.			FRANK SEALE M.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XH100	3'-0"	7'-0"	134"	G3	WD	HM	EXIST.	EXIST.	EXIST.			WALNUT GROVE M.S. - REPLACE DOOR ACCESS CONTROL ONLY	
XJ100	3'-0"	7'-0"	134"	G3	WD	HM	EXIST.	EXIST.	EXIST.			MIDLOTHIAN HIGH SCHOOL - REPLACE DOOR ACCESS CONTROL ONLY	



SECTION 08 1100 METAL DOORS AND FRAMES

A. Manufacturers

- Hollow Metal Frames
 - Curries
 - Steelcraft Manufacturing Co.
 - Fenestra

B. Materials

- Hollow metal
 - Frames: Prime, 16 gauge cold-rolled steel. All single openings over 42 inches wide provide 14 gauge frames.
 - Glazing Beads: Minimum 20 gauge steel.
 - Steel: Hot-dip galvanized meeting ASTM A525, Grade G60, or electrolytic zinc-coated meeting ASTM A591, Class A.
 - Finish to be as shown on the drawings.
 - Fire Ratings: Frames for fire labeled doors shall be constructed in accordance with UL or Warnock-Hershey requirements and shall be labeled as scheduled.

C. Installation

- Install frames according to manufacturer's directions true and plumb with adequate clearances for wall finishes.

SECTION 08 1400 WOOD DOORS

A. Manufacturers

- Algoma
- Buell Door Company
- Eggers Industries
- Graham Mfg. Co.
- Marshfield Door System
- Oshkosh Architectural Door Company
- V.T. Industries
- Vancouver Architectural Doors

B. Materials

- Wood doors shall be manufactured to meet or exceed the following standards:
 - Architectural Woodwork Institute (AWI) AWI-PC5. All doors shall bear the INWDA "HALLMARK" stamp.
 - Warnock-Hershey International (WHI), or Underwriters Laboratories (UL), for fire labels. The listed doors shall meet or exceed ASTM E152, UL-10(B), or NFPA 252.
 - Furnish UL or WHI approved vision frames where required.
 - Warranty: Life of installation.
- Cores
 - Particleboard Core: Shall conform to Type 1 density (32 lbs. per cubic foot), Class 1, commercial standard #236-66.
 - Mineral core: asbestos-free noncombustible mineral core proving rating as required for assembly flush veneered doors, 5-ply minimum, shall
- Veneers
 - Face veneers to be "premium grade," cut and matching shall be as indicated on drawings. Edge banding shall match face veneer. All wood veneer doors shall be provided prefinished.
 - When plastic laminate faces are specified, laminate shall be .050 standard grade to be selected from manufacturer's available sources.

C. Installation

- Doors shall be hung true and plumb with standard bevel and with uniform 3/32 inch clearance at jambs and head, and 1/2 inch bottom clearance unless otherwise required. Wood doors installed on the Project shall operate freely without sticking or binding, without hinge-bound conditions and with hardware installed, properly adjusted and functioning.

SECTION 08 4100 ALUMINUM FRAMED ENTRANCES AND STOREFRONTS

A. Manufacturers

Kawneer Company, Inc.
 Old Castle
 YKK-AP

B. Materials

- The following series designations reference systems by Arcadia, Inc. Equal systems by approved manufacturers are acceptable. Interior (non-thermal) Center Glazed Framing System:
 - Aluminum entrances and storefronts framing shall be center glazed system for 1/4 inch 3/8 inch or 1/2 inch glass as follows.
 - AR450 - 2" x 4 1/2" for 1/2" glass
 - Extruded framing members shall be A-6063-T6 alloy and temper aluminum complying with ASTM B221 alloy G.S. 104-55 having a minimum wall thickness of .063.
 - Provide fasteners for assembling the framing systems of aluminum, stainless steel, and other materials warranted by the manufacturer to be non-corrosive and compatible with aluminum components, hardware, anchors and other components.
 - Steel fasteners used in the assembly of the framing system shall be coated with a zinc coating complying with ASTM B633.
 - Perimeter anchors shall be aluminum or steel of the suitable size and design to resist applied loading on the framing system.
 - Steel fasteners used in the assembly of the framing system shall be coated with a zinc coating complying with ASTM B633.
 - Glazing gaskets at shall be manufacturer's standard for system specified.
 - Glass shall be as specified in Section 08 8100, Glass Glazing, and installed as specified herein.
 - Sealant as recommended by system manufacturer.

DOORS

A. The following series designations reference systems by Arcadia, Inc. Equal systems by approved manufacturers are acceptable.

B. Doors: Manufacturer's standard glazed doors, for manual swing operation.

- Door Construction 1 1/2" - 2 1/2" overall thickness, with a minimum of 0.125 inch thick, extruded-aluminum tubular rail and stile members.
 - Mechanically fastened and welded corners.
 - Door Design: WS S12 (Wide Stile) - 5 inch stile, .125

D. Hardware:

- All integrated electric and non electric hardware for immediate entrance doors and frames specified under "Finish Hardware" of the specifications shall be furnished and installed by the door and frame manufacturer.

ALUMINUM FINISHES

A. General: Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.

B. Finish designations: Prefixed by AA comply with the system established by the Aluminum Association for designating aluminum finishes.

C. Class 1, Clear Anodic Finish: AA-M12C22A41 (Mechanical Finish: nonspectacular as fabricated, Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class 1, clear coating 0.018 mm or thicker) complying with AAMA 611.

C. Installation

A. Comply with manufacturer's instructions and recommendations for installation. Installation shall be completed only by qualified personnel, experienced in this type of work.

B. Set units plumb, level, and true to line, without warping or racking of framing members. Provide proper support and anchor security in place. Comply with the recommended installation requirements for "thermal expansion" in accordance with the framing system manufacturer's printed instructions.

- Separate aluminum and other corrosion metal surfaces from sources of corrosion or electrolytic action at points of contact with other materials. Comply with requirements specified under paragraph "Dissimilar Materials" in the Appendix to American Architectural Manufacturers Association 101.
- Head members for built hinges and offset hung door installations shall be "solid, one-piece tubular" extruded members only.
- Drill and tap framing members as required for the installation of doors and apply surface-mounted hardware items.
- Sill members shall be set in full bed of sealant, or with joint fillers or gaskets to provide weather-tight construction. Install flashings and end dams in strict compliance with manufacturer's details.

SECTION 08 8100 GLASS AND GLAZING

A. Manufacturers

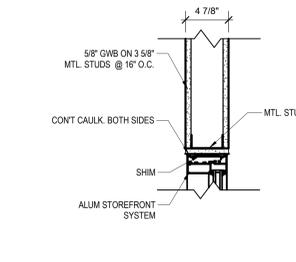
Anemostat
 Mississippi Glass Company
 Old Castle
 Pilkington
 PPG Industries
 Safi-First
 Technical Glass Products

B. Materials

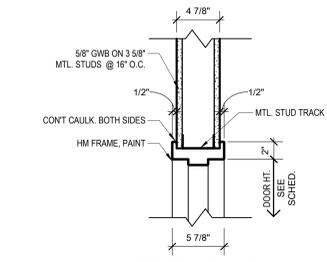
- Flat Glass (GL-1): Shall be flat, 1/4 inch thick unless noted otherwise on Drawings, meeting ASTM C1038. Float glass shall be glazed with clean cut edges.
- Tempered (GL-2):
 - Glass so indicated and required by federal and local regulations and the authorities having jurisdiction shall be fully tempered conforming to ASTM C 1048, Kind FT (fully tempered), Class 1 (clear).
 - Provide in doors, sidelights and other designated locations.
 - Color: Clear.
 - Thickness: 1/4".

C. Installation

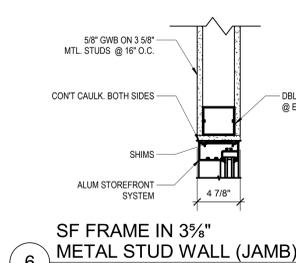
- Install glass types at locations shown on Drawings. Make adjacent glass in same glazed areas consistent in type and thickness unless otherwise noted or directed.
- Glazing subcontractor shall be responsible for determining locations requiring tempered and/or fire rated glazing to comply with all applicable codes and AHJ.



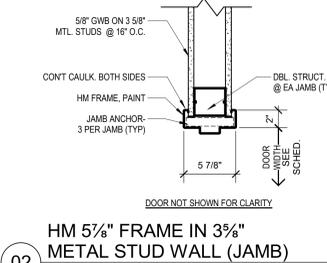
7 SF FRAME IN 3/8" METAL STUD WALL (HEAD)
 1 1/2" = 1'-0" REF A / A-601



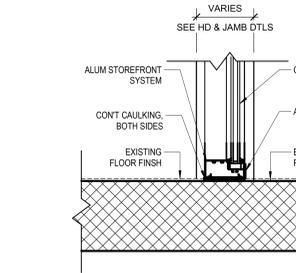
01 HM 5/8" FRAME IN 3/8" METAL STUD WALL (HEAD)
 1 1/2" = 1'-0"



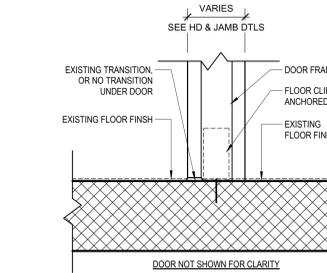
6 SF FRAME IN 3/8" METAL STUD WALL (JAMB)
 1 1/2" = 1'-0" REF A / A-601



02 HM 5/8" FRAME IN 3/8" METAL STUD WALL (JAMB)
 1 1/2" = 1'-0"



5 SF FRAME AT FLOOR
 1 1/2" = 1'-0" REF A / A-601



03 HM FRAME AT THRESHOLD W/ RUBBER TRANS.
 1 1/2" = 1'-0"

A. Safety Glazing - All glazing at hazardous locations subject to human impact loads shall comply with IBC section 2406.

MATERIAL

HM HOLLOW METAL
 SC SOLID CORE WOOD
 AL ALUMINUM
 STD MANUFACTURERS STANDARDS

FACING

WP WOOD VENEER - PAINTED
 WV WOOD VENEER - PREFINISHED
 PL PLASTIC LAMINATE
 MP METAL PAINTED
 AL ANODIZED ALUMINUM
 STD MANUFACTURERS STANDARD

FRAME

HM WELDED HOLLOW METAL
 KD KNOCK DOWN STEEL
 AL ALUMINUM
 WD WOOD
 MFR FRAME BY MANUFACTURER

GLASS

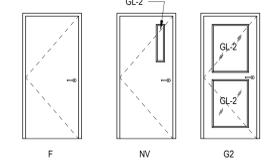
LSG LAMINATED SAFETY GLASS
 MR MIRROR
 PC POLYCARBONATE
 T TEMPERED GLASS
 FRG FIRE RATED GLASS

RATING

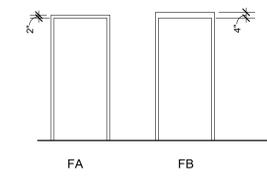
20, 45, 60 ASSEMBLY RATING IN MINUTES

HARDWARE

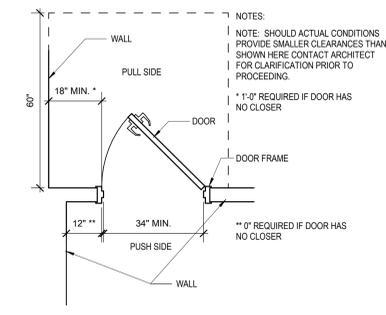
H# HARDWARE SET NUMBER PER SECTION 087100



DOOR PANEL TYPE



FRAME TYPES



DOOR CLEARANCE

NOTES:

NOTE: SHOULD ACTUAL CONDITIONS PROVIDE SMALLER CLEARANCES THAN SHOWN HERE CONTACT ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING.

* 1'-0" REQUIRED IF DOOR HAS NO CLOSER

** 0" REQUIRED IF DOOR HAS NO CLOSER

REVISIONS	DELTA	DESCRIPTION	DATE



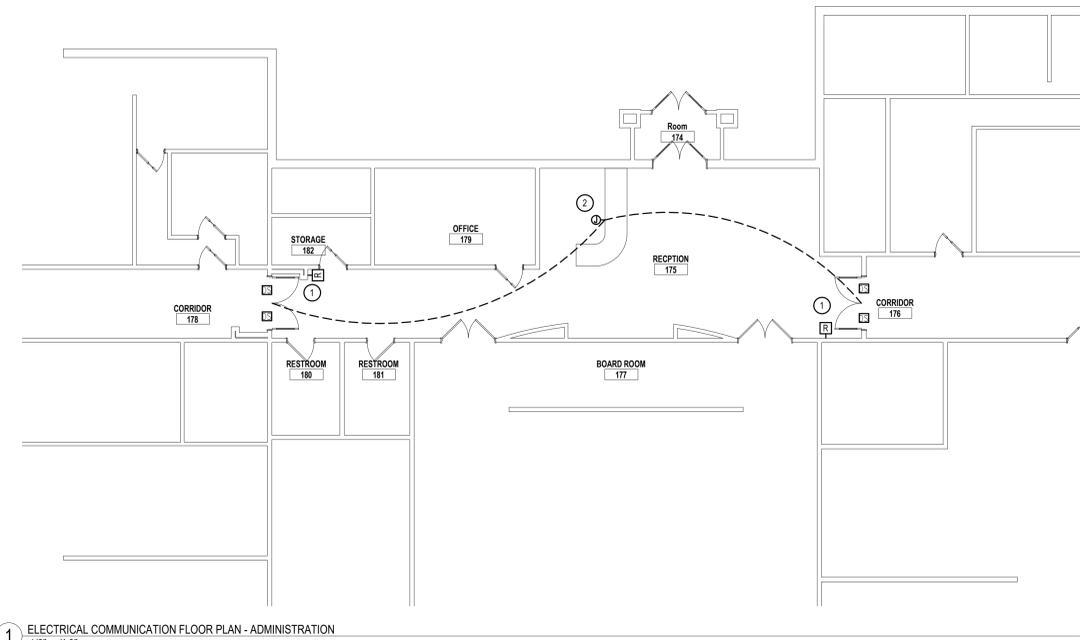
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ELECTRICAL COMMUNICATIONS GENERAL NOTES

1. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CONDUIT AND STANDARD BACKBOXES FOR SYSTEMS SHOWN ON THIS DRAWING IN BASE PROPOSAL.
2. IN ANY EXPOSED AREAS SUCH AS GYMNASIUMS, SHOPS, FIELD HOUSES, JANITORS CLOSETS, OR MECHANICAL/ELECTRICAL ROOMS ALL LOW VOLTAGE CABLING SHALL BE ENCLOSED IN CONDUIT.
3. ALL COMMUNICATIONS CABLING SHALL RUN DOWN THE CORRIDORS AND BRANCH OFF TO EACH CLASSROOM. TRUNKING SHALL BE RAN PRIMARILY PERPENDICULAR TO BUILDING WALLS AND SHALL NOT BE RAN OVER CLASSROOMS.
4. WHERE NO FINISHED CEILINGS ARE SCHEDULED ALL DEVICES, CONDUIT, AND BACKBOXES SHALL BE INSTALLED UP AGAINST BOTTOM OF DECK AND SHALL NOT PROTRUDE BELOW BOTTOM OF STEEL. THE ARCHITECT SHALL APPROVE ALL ROUTING OF ALL EXPOSED ROUGH-INS PRIOR TO PLACEMENT.
5. ANY SIGNAL, OUTLET OR OTHER DEVICE MOUNTED ON A COLUMN, PILASTER, OR SIMILAR WALL OFFSET SHALL BE CENTERED.
6. COORDINATE MOUNTING HEIGHT OF DEVICES ABOVE MILLWORK WITH ARCHITECTURAL PLANS.
7. VERIFY MARKERBOARD, TACKBOARD, AND DOOR SWING LOCATIONS WITH ARCHITECTURAL PLANS - DO NOT INSTALL DEVICES IN THESE AREAS.
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10. REFER TO SPECIFICATION AND 28 FOR ADDITIONAL INFORMATION.

ELECTRICAL COMMUNICATION PLAN NOTES

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2. PROVIDE JUNCTION BOX FOR UNDER COUNTER DOOR RELEASE BUTTON TO DOORS AS INDICATED.



1 ELECTRICAL COMMUNICATION FLOOR PLAN - ADMINISTRATION
 1/8" = 1'-0"

Midlothian ISD Campuses Safety and Security Upgrades

100 Walter Stephenson Rd.
 Midlothian, TX 76065
 OWNER PROJECT NO.: --

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 100 Walter Stephenson Rd.
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 OWP PROJECT NO. DATE OF ISSUE
 2021_097 06.02.2021

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DELTA	DESCRIPTION	DATE

PROJECT TEAM DRAWN BY
 TX Ed Studio JD T

CONSTRUCTION PHASE
 CONSTRUCTION DOCUMENTS

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 ELECTRICAL COMMUNICATIONS FLOOR PLAN - ADMINISTRATION
 SHEET NO.

ET101

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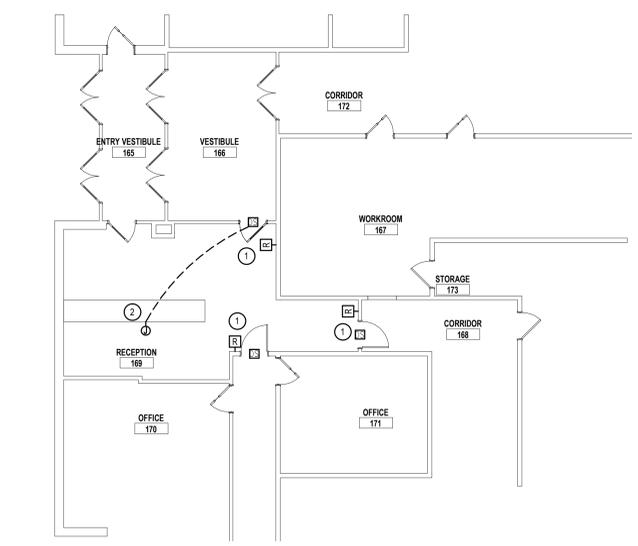
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ET102

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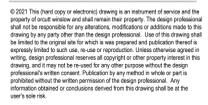
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ET103

EMA Engineering & Consulting
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 TBPE Firm Registration No. F-893
 www.EMAengineer.com
 DESIGN SOLVE ENHANCE Phone: 1.800.933.0538

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.



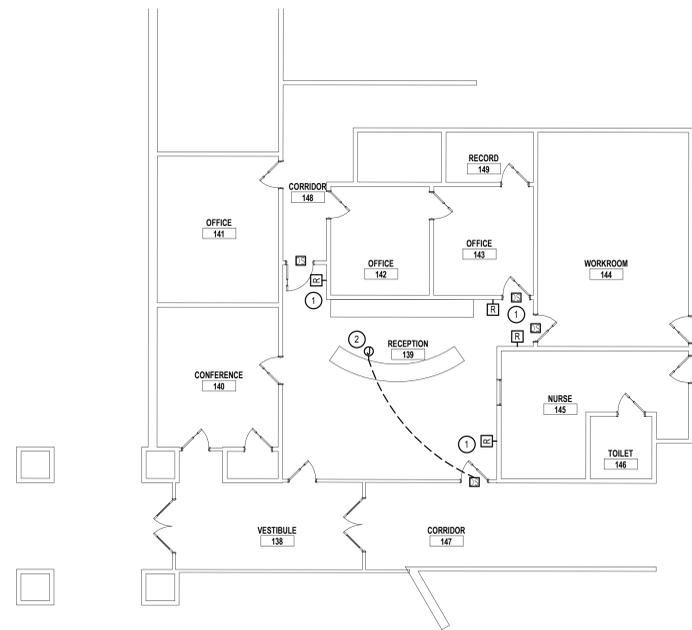
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ELECTRICAL COMMUNICATIONS GENERAL NOTES

1. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CONDUIT AND STANDARD BACKBOXES FOR SYSTEMS SHOWN ON THIS DRAWING IN BASE PROPOSAL.
2. IN ANY EXPOSED AREAS SUCH AS GYMNASIUMS, SHOPS, FIELD HOUSES, JANITORS CLOSETS, OR MECHANICAL/ELECTRICAL ROOMS ALL LOW VOLTAGE CABLING SHALL BE ENCLOSED IN CONDUIT.
3. ALL COMMUNICATIONS CABLING SHALL RUN DOWN THE CORRIDORS AND BRANCH OFF TO EACH CLASSROOM. TRUNKING SHALL BE RAN PRIMARILY PERPENDICULAR TO BUILDING WALLS AND SHALL NOT BE RAN OVER CLASSROOMS.
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7. VERIFY MARKERBOARD, TACKBOARD, AND DOOR SWING LOCATIONS WITH ARCHITECTURAL PLANS - DO NOT INSTALL DEVICES IN THESE AREAS.
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1 ELECTRICAL COMMUNICATION FLOOR PLAN - MILLER ES
 1/8" = 1'-0"

Midlothian ISD Campuses Safety and Security Upgrades

100 Walter Stephenson Rd.
 Midlothian, TX 76065
 OWNER PROJECT NO.: --

CLIENT CONTACT
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 100 Walter Stephenson Rd.
 Midlothian, TX 76065

469-856-5000 T rola_facel@midisd.gov
 -- F

OWP PROJECT NO. DATE OF ISSUE
 2021_097 06.02.2021

REVISIONS

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 TX Ed Studio JD T

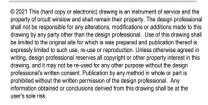
PROJECT PHASE
 CONSTRUCTION DOCUMENTS

SHEET CONTENTS
 ELECTRICAL COMMUNICATIONS FLOOR PLAN - MILLER ES
 SHEET NO.

ET104

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1 ELECTRICAL COMMUNICATION FLOOR PLAN - MT PEAK
 1/8" = 1'-0"

Midlothian ISD Campuses Safety and Security Upgrades

100 Walter Stephenson Rd.
 Midlothian, TX 76065
 OWNER PROJECT NO.: --

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PROJECT PHASE
 CONSTRUCTION DOCUMENTS

SHEET CONTENTS
 ELECTRICAL COMMUNICATIONS FLOOR PLAN - MT PEAK SHEET NO.

ET105

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1 ELECTRICAL COMMUNICATION FLOOR PLAN - VITOVSKY ES
 1/8" = 1'-0"

Midlothian ISD Campuses Safety and Security Upgrades

100 Walter Stephenson Rd.
 Midlothian, TX 76065
 OWNER PROJECT NO.: --

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 TX Ed Studio JD T

PROJECT PHASE
 CONSTRUCTION DOCUMENTS

SHEET CONTENTS
 ELECTRICAL COMMUNICATIONS FLOOR PLAN - VITOVSKY ES SHEET NO.

ET106

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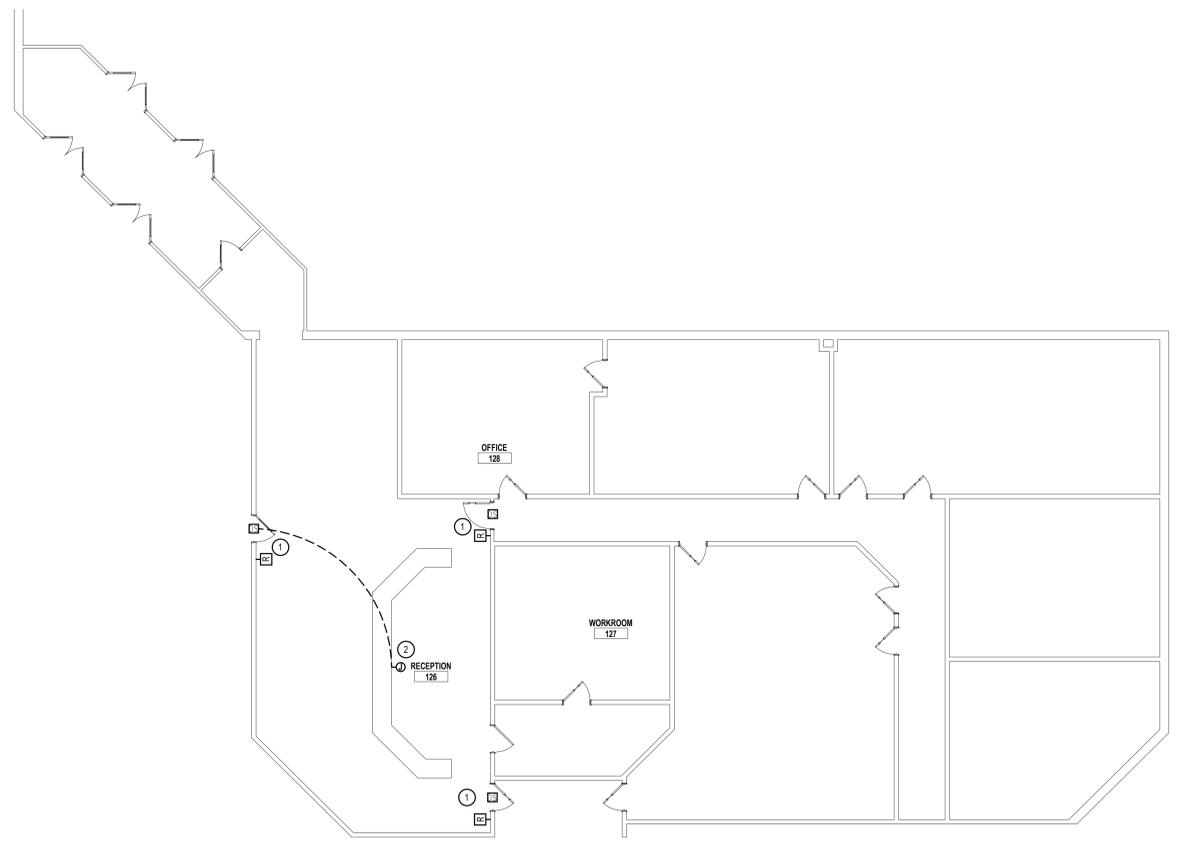
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1 ELECTRICAL COMMUNICATION FLOOR PLAN - SEALE MS
 1/8" = 1'-0"

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Safety and Security Upgrades
 100 Walter Stephenson Rd.
 Midlothian, TX 76065
 OWNER PROJECT NO.: --

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PROJECT PHASE
 CONSTRUCTION DOCUMENTS

SHEET CONTENTS
 ELECTRICAL COMMUNICATIONS FLOOR PLAN - SEALE MS
 SHEET NO.

ET107

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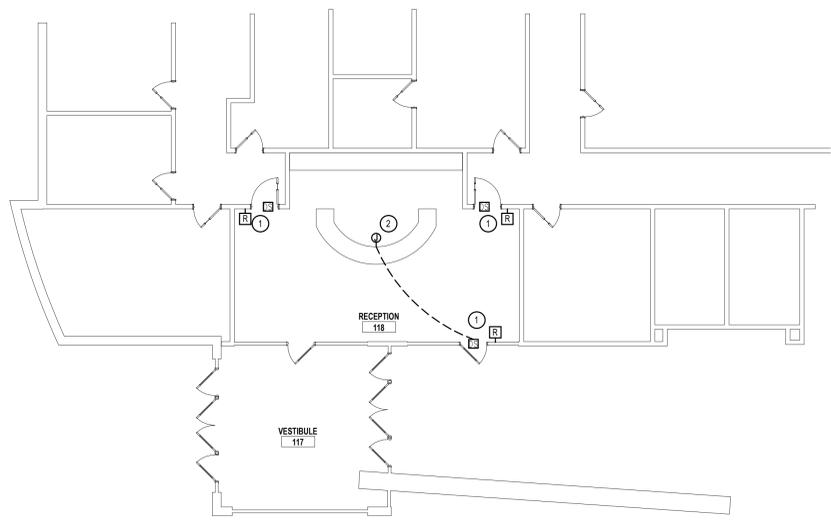
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1 ELECTRICAL COMMUNICATION FLOOR PLAN - WALNUT GROVE
 1/8" = 1'-0"

Midlothian ISD Campuses Safety and Security Upgrades

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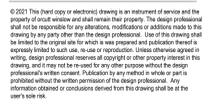
PROJECT PHASE
 CONSTRUCTION DOCUMENTS

SHEET CONTENTS
 ELECTRICAL COMMUNICATIONS FLOOR PLAN - WALNUT GROVE SHEET NO.

ET108

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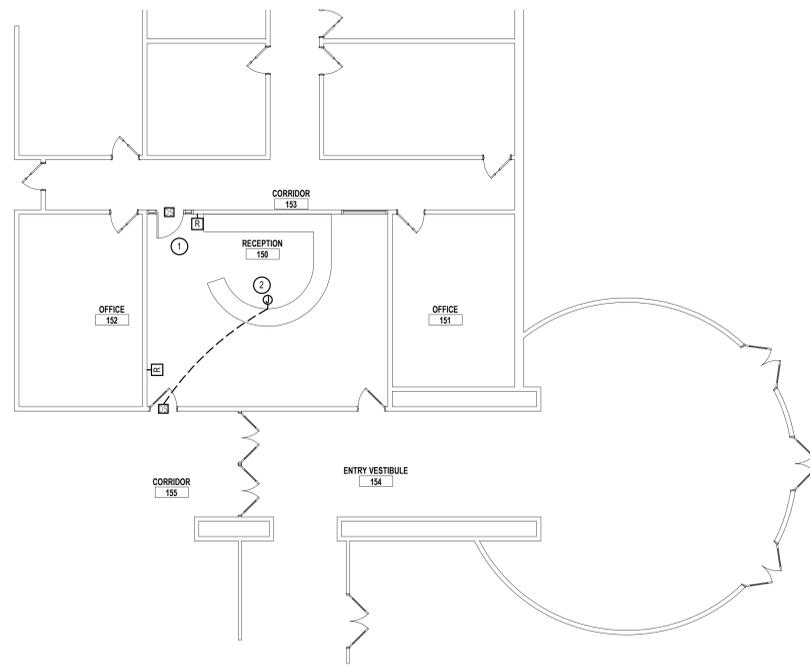
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 1/8" = 1'-0"

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 Midlothian, TX 76065
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PROJECT PHASE
 CONSTRUCTION DOCUMENTS

SHEET CONTENTS
 ELECTRICAL
 COMMUNICATIONS FLOOR
 PLAN - MIDLOTHIAN HS
 SHEET NO.

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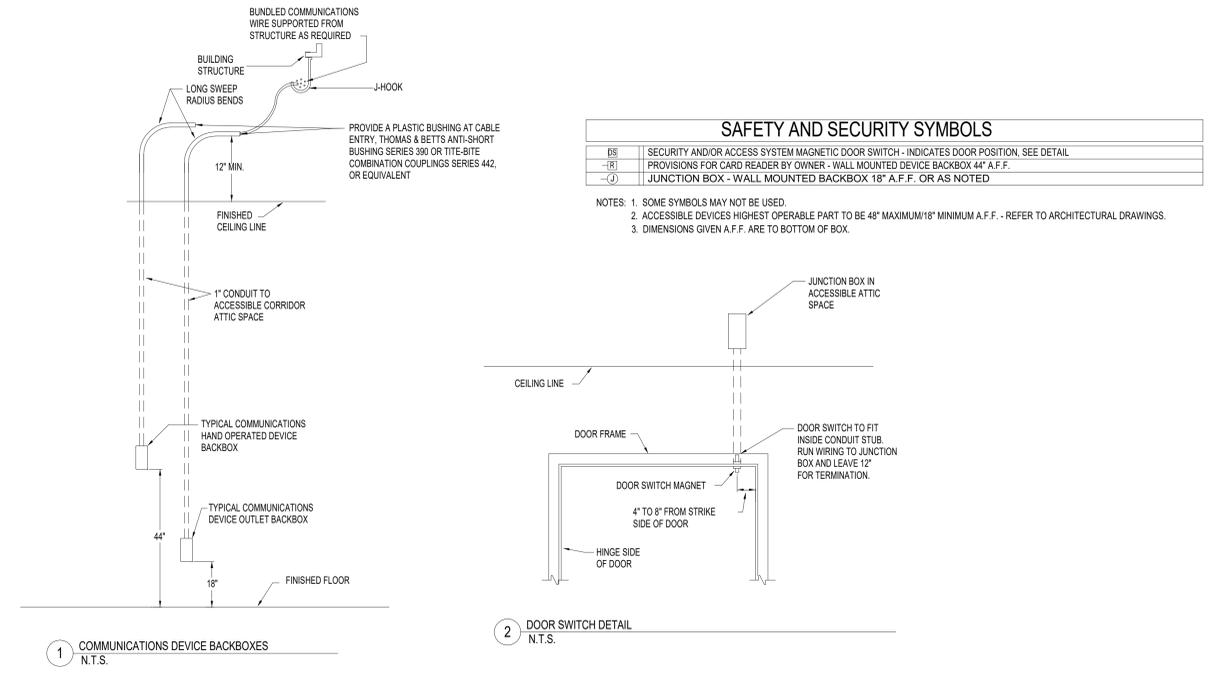
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CONSTRUCTION PHASE
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SHEET CONTENTS
 ELECTRICAL
 COMMUNICATIONS DETAILS
 & SYMBOLS
 SHEET NO.

ET701

6/2/2021 11:02:44 AM orcutt | winslow | 2021_097 | Safety and Security Upgrades - Midlothian ISD Campuses / CONSTRUCTION DOCUMENTS / ET701- ELECTRICAL COMMUNICATIONS DETAILS & SYMBOLS / JD T
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SAFETY AND SECURITY SYMBOLS

RS	DESCRIPTION
(M)	SECURITY AND/OR ACCESS SYSTEM MAGNETIC DOOR SWITCH - INDICATES DOOR POSITION. SEE DETAIL.
(R)	PROVISIONS FOR CARD READER BY OWNER - WALL MOUNTED DEVICE BACKBOX 44" A.F.F.
(J)	JUNCTION BOX - WALL MOUNTED BACKBOX 18" A.F.F. OR AS NOTED

NOTES:
 1. SOME SYMBOLS MAY NOT BE USED.
 2. ACCESSIBLE DEVICES HIGHEST OPERABLE PART TO BE 48" MAXIMUM/18" MINIMUM A.F.F. - REFER TO ARCHITECTURAL DRAWINGS.
 3. DIMENSIONS GIVEN A.F.F. ARE TO BOTTOM OF BOX.

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DESIGN SOLVE ENHANCE

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.