



STATE OF CONNECTICUT – COUNTY OF
TOLLAND INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT
06029-0187

www.ellington-ct.gov

TEL. (860) 870-3120

TOWN PLANNER'S OFFICE

FX (860) 870-3122

**PLANNING AND ZONING COMMISSION
REGULAR MEETING AGENDA
MONDAY, MAY 24, 2021, 7:00 PM
SENIOR CENTER GREAT ROOM, 40 MAPLE ST, ELLINGTON, CT**

**IN-PERSON PUBLIC ATTENDANCE LIMITED DUE TO COVID19 RESTRICTIONS
ZOOM ATTENDANCE INSTRUCTIONS PROVIDED**

I. CALL TO ORDER:

II. PUBLIC COMMENTS (On non-agenda items):

III. PUBLIC HEARING(S): (Notice requirements met and hearings may commence unless otherwise indicated)

1. Z202101 - Ellington Enterprises, owner/applicant, pursuant to Section 4.1 of the Ellington Zoning Regulations request for a Special Permit and Site Plan Modification for the construction of a 9,600 sf building with wash bay at 77 Meadow Brook Road, APN 091-009- 0000 in an I - Industrial Zone.
2. S202101 – Sunset Valley Farms, LLC owner/ David Moser, applicant, request for re-subdivision of 42.34 acres for two (2) lots for 55 Kreyssig Road, APN 156-004-0001, in a RAR (Rural Agricultural Residential) Zone.
3. Z202109 – Sunset Valley Farms, LLC owner/ David Moser, applicant, pursuant to Section 7.9 – Rear Lot Requirements, request for a Special Permit for one rear lot to construct a single family home with access along the south border of 20 Griswold Road, APN 157-002-0001, associated with S202101 for re-subdivision of 42.34 acres for two (2) lots at 55 Kreyssig Road, in a RAR (Rural Agricultural Residential) Zone.

IV. OLD BUSINESS:

V. NEW BUSINESS:

1. S202102 – Mary Ellen H. Trueb, owner/applicant, request for re-subdivision of 13.93 acres for two (2) lots for 80 Tripp Road, APN 023-001-0004, in a RAR (Rural Agricultural Residential) Zone. (For receipt & scheduling of public hearing only.)

VI. ADMINISTRATIVE BUSINESS:

1. Approval of Planning and Zoning Commission April 26, 2021 Regular Meeting Minutes.
2. Correspondence:
 - a. Discussion: draft text amendment to add Low Impact Development Standards to the Ellington Zoning Regulations, revised date May 19, 2021.
 - b. Discussion: draft text amendment to Section 7.1 Accessory Apartments of the Ellington Zoning Regulations.
 - c. SB1026 – An Act concerning training for certain P&Z Officials.
 - d. Memo from Lori Spielman, First Selectman – Updated Guidance Regarding COVID-19, dated May 18, 2021.

VII. ADJOURNMENT:

Next Planning and Zoning Commission Regular Meeting is scheduled for June 28, 2021

Join meeting via ZOOM Communications: Due to COVID-19, in-person attendance is limited to maximum occupancy based on fixed seating arrangements meeting social distancing requirements. Attendance for this meeting is also available using the online video conferencing provider Zoom Meeting. Details to attend the meeting virtually are provided on the meeting agenda and posted on the Town of Ellington's webpage (www.ellington-ct.gov) under Agenda & Minutes, Planning & Zoning Commission. For questions and assistance please contact the Ellington Planning Department at 860-870-3120.

Join Zoom Meeting via link:

<https://zoom.us/j/94035704240>

Meeting ID: 940 3570 4240

Passcode: 696433

Join Zoom Meeting by phone:

1-646-558-8656 US (New York)

Meeting ID: 940 3570 4240

Passcode: 696433

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input checked="" type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <div style="background-color: yellow; padding: 2px;">2202101</div> Date Received 1/20/2021
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Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Ellington Enterprises

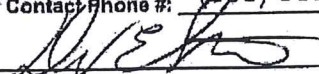
Mailing Address: PO Box 331
Ellington CT 06029

Email: Dstavens@barberutilities.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: (860) 872 2330

Secondary Contact Phone #: (860) 508 6533

Signature:  Date: 1-20-2021

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: Same as owner

Mailing Address: _____

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: 77 Meadow Brook Road

Assessor's Parcel Number (APN): 091 - 009 - 0000 Existing Zone: 1 Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-31(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (if more space is needed, please attach additional sheets)

See attached sheet(s)

RECEIVED

JAN 20 2021

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Project Narrative

Property Description: Located a half mile west of Route 83 on a seven-acre piece of industrial zoned property is 77 Meadow Brook Road. Made up of two lots, five and two acres a piece, its currently owned by Ellington Enterprises, the property is home to Barber Utilities. Here, Barber occupies all seven acres as well as the current 6600 sq ft building (Building 1) and the newly constructed 1800 sq ft building (Building 2). On site Barber uses the area to recycle materials for road construction. They recycle materials that include sand, rock, concrete and black top. Additionally, they store their fleet of trucks and equipment. As Barber expands their operation their needs for buildings and warehousing expand as well.

Proposed Building: Approximately 100 feet north of the existing Building 1 is the proposed location of a new 120' x 80' clear span steel building (Building 3). The building will match the existing Building 1 in appearance when it comes to shape and color. The siding will be tan with brown trim. Building 3 will have four garage doors across the front and one in the rear. One side of the building would be open storage measuring 90' x 80'. The other 30' x 80' would be the location of a new wash bay.

This new wash bay would aid in Barber's ability to keep their fleet of vehicles and equipment in good condition as well as help keep the environment protected. An oil-water separator would be installed to keep oil, grease and other contaminants out of the town's sewer system. In addition to an oil-water separator, a sediment basin will be installed on the storm system to catch any unintended run-off. This basin would keep silts and sands out of the stream that eventually discharges into Broad Brook. A storm water management plan is currently being processed. Heat for the Building 3 will be provided by a 1000-gallon buried propane tank.

Applicable zoning regulations will be adhered to. Parking for the building will be provided by the existing front parking lot which is currently oversized for what is necessary. Currently providing 40 parking spaces in the front of existing Building 1, this is more than enough for the 25 employees. If expansion occurs for Barber, Ellington Enterprises or any other future client of Ellington Enterprises, more parking could be provided.

Site Improvements: In addition, the necessary requirements of constructing Building 3 are just the start of the site improvements. There are three existing storage containers on the eastern side of the property line. The storage provided by this building would allow for the removal of these trailers.

Summary: By constructing this new building, Ellington Enterprises would help facilitate growth in a local company. This in return would add future tax base to the town. As Barber would expand the addition of jobs and equipment would stem from this proposed project.

ELLINGTON ENTERPRISES
77 Meadow Brook Road
Ellington, Connecticut
APN: 091-009-0000 & 105-002-0001

STORMWATER MANAGEMENT REPORT

Date: April 29, 2021

PREPARED FOR: Ellington Enterprises, LLC
77 Meadow Brook Road
Ellington, Connecticut

PREPARED BY: Gardner & Peterson Associates, LLC
178 Hartford Turnpike
Tolland, CT 06084

ELLINGTON ENTERPRISES
77 Meadow Brook Road

Summary:

This application is requesting an approval to construct a new 8,400 square foot building to provide construction vehicle storage and a wash bay. This parcel is located on the north side of Meadow Brook Road, approximately ½ mile west of Route 83. The new building will be served by public sewer and water.

Existing Conditions:

This parcel is located in the Industrial Zone and the site is being used as a contractor's yard and contains multiple buildings for the contractor use. Much of the property is bare soil that is being used for the production and stockpiling of earthen materials for construction purposes. The paved surface of the front parking lot was recently removed in the expectation that it will be re-surfaced in the near future. The Site Plan that was approved in 2013 along with a Special Permit depicted this area as bituminous pavement. Therefore, the following runoff calculations will consider this area to be paved as permitted. A drainage system exists within the southerly portion of this property that discharges to a catch basin within the front parking lot before discharging off-site to the drainage system in Meadow Brook Road. This on-site catch basin will be the point of analysis for the existing and post development runoff analysis. Runoff from the adjacent grass field also contributes to this site and was taken into consideration in the following runoff calculations.

According to the NRCS Web Soil Survey, the soils within the watershed to the point of analysis consist of Manchester gravelly sandy loam (37C, 37E), and Enfield silt loam (704A, 704B) of varying slopes. The Manchester soils are excessively drained soils classified in the Hydrologic Soil Group 'A', while the Enfield soils are well drained soils classified in the Hydrologic Soil Group 'B'. A test pit was evaluated in the vicinity of the new building to determine the depth to seasonal high groundwater, restrictive soils and to sample the soil for permeability testing. The test pit log has been reproduced on sheet 26 of this report. In summary, the test pit confirmed the existence of the Manchester gravelly sandy loam soils with a restrictive silt at 90-inches below grade. Two tube samples were taken within a loose fine sand layer at a depth within the of 48-inches below grade. A falling-head permeability test was conducted on both samples which resulted in a permeability rate of 60 in/hr.

This entire site is located within Flood Hazard Zone 'X' (area determined to be outside 500-year floodplain), per "FIRM Flood Insurance Rate Map Town of Ellington, Connecticut, Tolland County, Community-Panel Number 090158 0005 C, Map Revised February 5, 1997".

Stormwater Management:

The proposed stormwater management system has been designed to comply with the Town of Ellington Zoning Regulations and the 2004 Connecticut Stormwater Quality Manual. The objective of the stormwater management system is to show that the construction of the proposed improvements will not result in an increase in peak flow rates for the 2-year, 10-year & 50-year frequency, and to provide adequate stormwater treatment from the runoff discharging from the stormwater management system to the drainage system in Meadow Brook Road.

Runoff calculations for existing and post-development condition are provided in this report. The SCS method was used to determine the peaks rates of runoff for the 2-year, 10-year and 50-year frequency storms. The curve numbers for various existing and proposed land covers were derived from the TR-55 Urban Hydrology for Small Watersheds. For the portion of the watershed that consists of the Manchester soils, the curve numbers used are as follows: Woods (CN=30), Meadow-continuous grass (CN=30), Grassland (CN=39), Dirt (CN=72), and Pavement (CN=98). For the portion of the watershed that consists of the Enfield soils, the curve numbers used are as follows: Woods (CN=55), Meadow-continuous grass (CN=58), Grassland (CN=61), Dirt (CN=82), and Pavement (CN=98). The results of the pre-development and post-development analysis are tabulated below:

Hydrograph Description	2-Yr	10-Yr	50-Yr
#1 Existing to Ex. CB	1.20	14.00	38.14
#2 Proposed to Ex. CB	1.20	14.00	38.14

The runoff analysis of the pre-development and post-development conditions indicates that there will not be an increase in peak runoff for the post-development conditions which does not include the runoff being infiltrated into the ground from the roof of the new building. Therefore, detention is not necessary.

Runoff from the roof of the new building will be collected in the building's gutters and discharged to underground infiltration chambers. These chambers have been designed to store and infiltrate runoff up to the 25-year storm frequency and were set at a depth to provide a 36-inch vertical separation to the restrictive soil layer found at the bottom of Test Pit #1. The calculated permeability rate of the sand sampled in Test Pit #1 was used as the exfiltration rate in the calculations on pages 22-24 of this report. An overflow with a reverse pitch to the existing drainage system has been designed to allow stormwater from the underground chamber to overflow to the existing drainage system if ever needed. The elevation of this overflow pipe is higher than the calculated elevation of the stored water in the chambers.

To treat the stormwater runoff from this site, a hydrodynamic separator has been proposed to be installed immediately north of the streetline. The unit has been specified to treat the Water Quality Flow (WQF) as defined in the 2004 Connecticut Stormwater

Quality Manual utilizing the methodology described in appendix B. These calculations can be found on page 26 of this report.

Erosion & Sediment Control:

The erosion & sediment control plan for this site consists of the use of silt fencing down gradient of all disturbed areas, catch basin inlet protection to prevent sediment from entering the existing drainage system and an anti-tracking pad at the construction entrance to prevent the tracking of soils onto the Town roads.

All sediment and erosion control procedures and construction of all stormwater drainage structures shall essentially be in accordance with the "2002 Connecticut Guidelines For Soil Erosion and Sediment Control" by the Connecticut Council on Soil and Water Conservation.



Eric R. Peterson, P.E. 23430

Barbra Galovich

From: Barbra Galovich
Sent: Wednesday, May 05, 2021 11:14 AM
To: Eric Peterson; Dave Stavens
Cc: Lisa Houlihan
Subject: FW: Staff Review - Z202101 - 77 Meadow Brook Road

Hi,

Hope you are doing well. Please see the below comments from Tim Webb, Director of Public Works.

Thank you,
Barbra

Barbra Galovich, CZET
Land Use Assistant
Town of Ellington
55 Main Street
Ellington, CT 06029
(860) 870-3120

From: Timothy Webb
Sent: Wednesday, May 05, 2021 10:54 AM
To: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Subject: RE: Staff Review - Z202101 - 77 Meadow Brook Road

No impact to the DPW. WPCA would be assessing the new structures per the WPCA Regulation for commercial buildings

From: Barbra Galovich
Sent: Wednesday, May 05, 2021 9:55 AM
To: James York <JYork@ELLINGTON-CT.GOV>; Kim Bechard <KBechard@ELLINGTON-CT.GOV>; Lori Spielman <lspielman@ELLINGTON-CT.GOV>; Mike Caronna <mcaronna@ncdhd.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Timothy Webb <twebb@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: Staff Review - Z202101 - 77 Meadow Brook Road

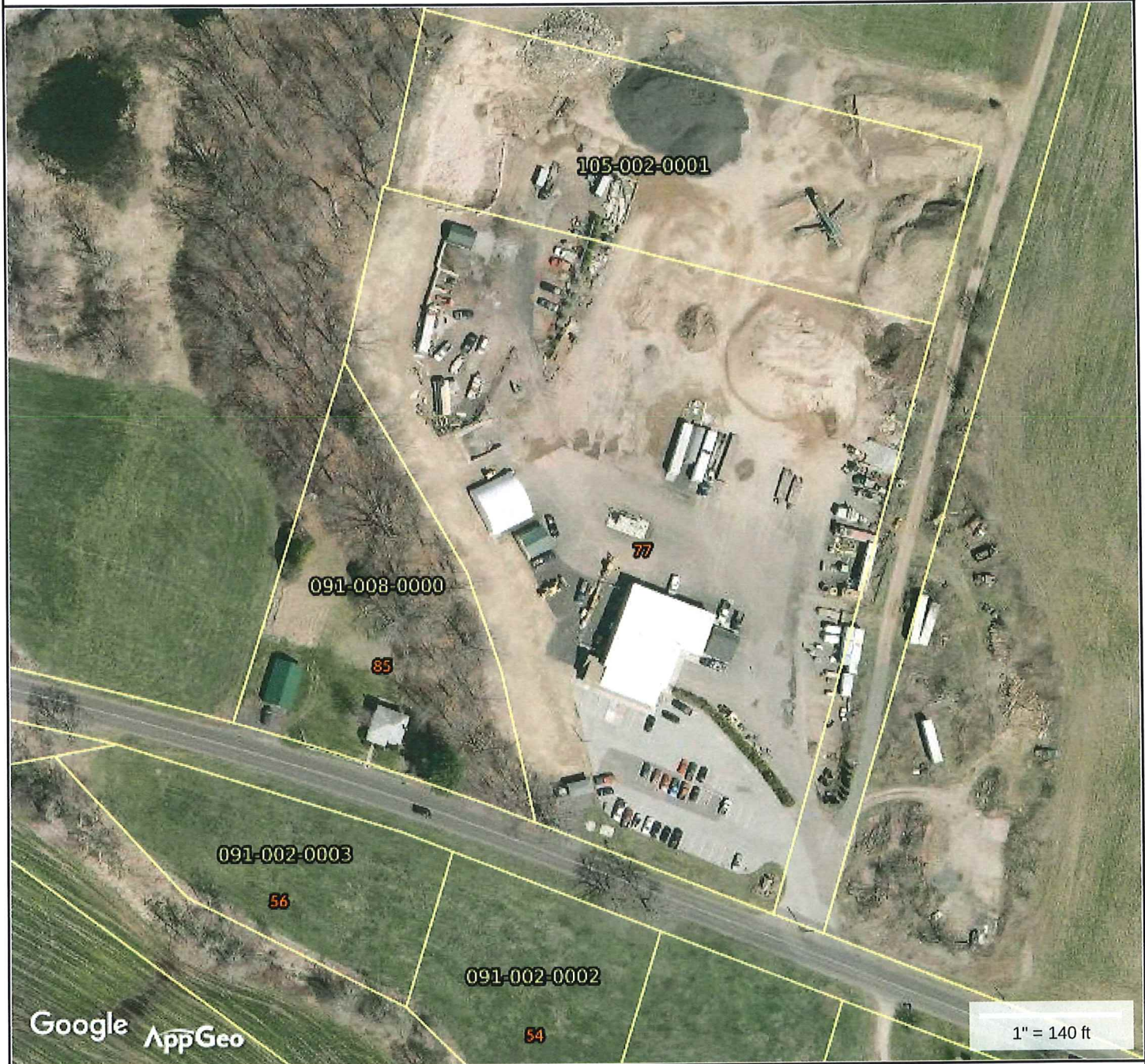
Hi,

Hope you are doing well. Please see the attached documentation with Staff Review Sheet. This application will be discussed at the PZC meeting on Monday, May 24, 2021.
Please provide your comments/concerns on or before May 14, 2021.

Thank you in advance for your review.
Barbra

Barbra Galovich, CZET
Land Use Assistant
Town of Ellington
55 Main Street

77 Meadow Brook Road



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 7/23/2020
Data updated 7/23/2020

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

Barbra Galovich

From: Dana Steele <dsteale@jrussocom>
Sent: Wednesday, May 19, 2021 11:43 AM
To: Lisa Houlihan
Cc: John Colonese; Barbra Galovich
Subject: Ellington Enterprises, 77 Meadow Brook Rd - Z202101

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lisa,

I have reviewed the plans and calculations for the rear building and parking lot improvements at 77 Meadow Brook Road. The plans by Gardner & Peterson include 5 sheets dated 4/21/21. The Stormwater Management Report is dated 4/29/21. My comments are as follows:

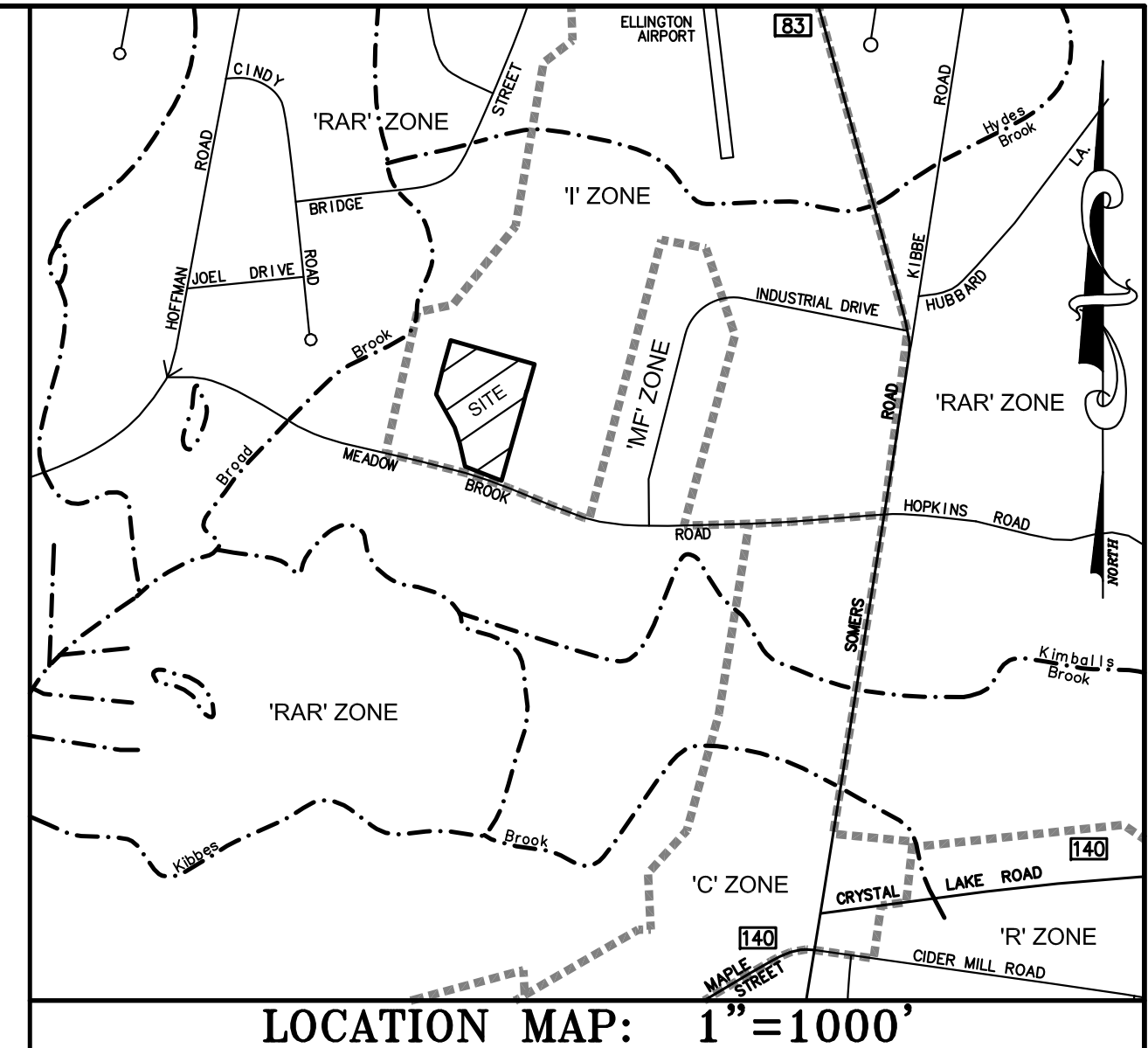
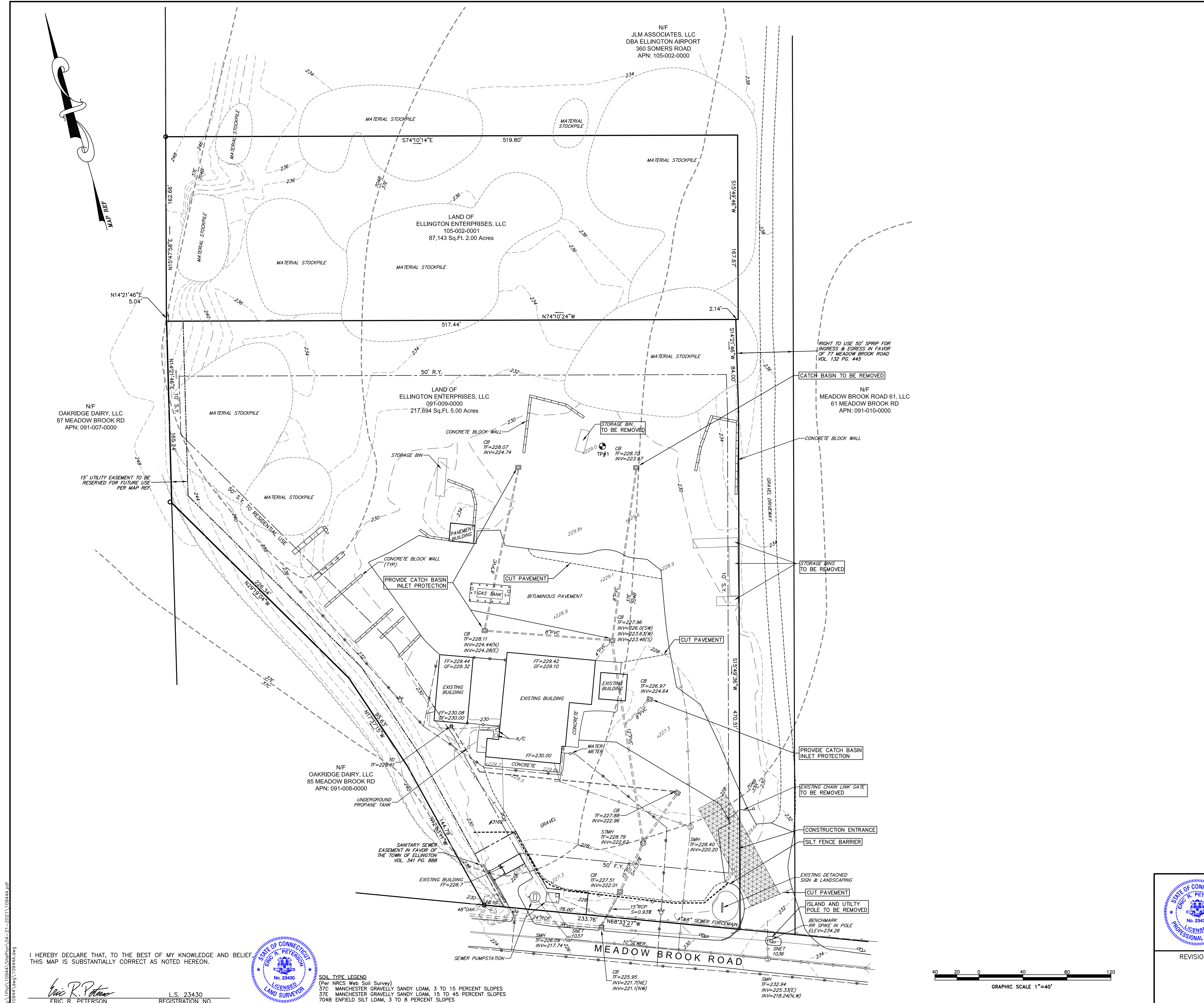
1. There is an existing catch basin within the area of the new building that is called to be removed. Plan should also note that the 8" PVC outlet pipe will be capped outside the building footprint.
2. The wash bay includes a second overhead door to the rear of the site. The surface around the back side of the building is not paved. I spoke to the engineer who indicated the rear door would not be used often so they did not propose additional pavement around the building. The plans indicate this area will be regraded so plans should indicate how this area will be restored to prevent erosion.
3. An erosion control plan should be provided indicating the location of silt fence, silt sacks and the construction entrance shown on sheet 4.
4. A separate water meter will be required for the new building. If this is to be located outside the building, note the location on the plans.
5. The sand & oil water separator detail on sheet 5 references other details that are not included in the plan. These details should be added or the references removed.
6. It appears that the front parking reconfiguration results in a slight decrease in directly connected impervious (DCI) area. Any decrease helps the town comply with MS4 requirements. The engineer should provide a calculation of the area of reduced DCI for the town's use in reporting decreases.
7. A hydrodynamic separator is proposed to improve water quality prior to connection to the municipal system. As noted on the sheet 5, shop drawings should be submitted to my office for review prior to fabrication.
8. A post construction maintenance schedule should be included on the plans in accordance with CT DEP Stormwater Quality Manual recommendations. This should include frequency of sweeping, cleaning catch basin sumps, hydrodynamic separator and inspection of roof infiltration chambers.

Let me know if you have any questions.

Dana P. Steele, P.E.
Principal Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088



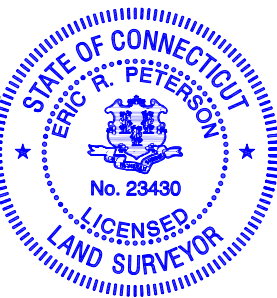
- NOTES:
- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY AND A DEPENDENT RESURVEY SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED ON THE PLAN REFERENCED IN NOTE 3A & 3B BELOW. ELEVATIONS DEPICTED ON THIS PLAN ARE BASED ON THE ELEVATIONS DEPICTED ON THE PLAN REFERENCED IN NOTE 3C.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - "SITE PLAN/SPECIAL PERMIT PREPARED FOR BARBER UTILITIES, LLC OWNER ELLINGTON ENTERPRISES, LLC 77 MEADOW BROOK ROAD ELLINGTON, CONNECTICUT ASSESSOR'S MAP #091-009-0000 & 105-002-0001 ZONE: INDUSTRIAL" BY J.R. RUSSO & ASSOCIATES, LLC. DATE: 1-21-13.
 - "PROPERTY SURVEY LAND OF ELLINGTON ENTERPRISES LLC ELLINGTON, CONNECTICUT" BY SHINDLER SURVEYS. DATE: 9/26/01.
 - "AS BUILT GRAVITY PLAN AND PROFILE MEADOW BROOK ROAD SANITARY SEWER SYSTEM AIRPORT SEWER EXTENSION ELLINGTON, CONNECTICUT" PREPARED BY BUCK & BUCK, LLC DATE: MARCH 2004. REVISED: 2/29/08.
 - THESE PARCELS AND ADJUTING PARCELS ARE LOCATED IN THE INDUSTRIAL 'I' ZONE.
 - ON JANUARY 3, 2005 THE TOWN OF ELLINGTON ZONING BOARD OF APPEALS GRANTED A VARIANCE OF SECTION 5.2 - AREA & YARD REQUIREMENTS TO REDUCE THE FRONT YARD SETBACK FROM 50 FEET TO 20 FEET AND TO REDUCE THE SIDE YARD SETBACK FROM 50 FEET TO 36 FEET FOR A PUMP STATION.
 - THE TOWN OF ELLINGTON INLAND WETLANDS AND WATERCOURSE MAPPING DOES NOT DEPICT WETLANDS WITHIN THESE PARCELS OR WITHIN 100 FEET OF THESE PARCELS.
 - THESE PARCELS ARE LOCATED IN FLOOD ZONE 'X' AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN PER FIRM FLOOD INSURANCE RATE MAP TOWN OF ELLINGTON, CONNECTICUT TOLLAND COUNTY PANEL 5 OF 15 COMMUNITY PANEL NUMBER 090158 0005 C MAP REVISED FEBRUARY 5, 1997.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

LEGEND

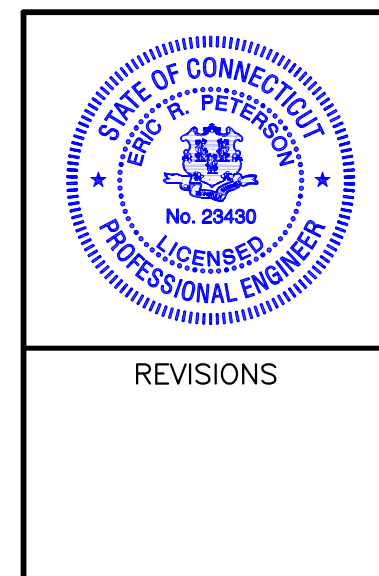
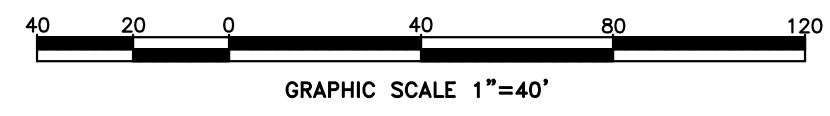
—	PROPERTY LINE
○	IRON PIPE FOUND
- - - -	ZONING SETBACK
- - - -	EASEMENT
○	UTILITY POLE
—	OVERHEAD WIRES
—	SIGN
~	ELEVATION CONTOUR
—	EXISTING ELEVATION
—	EDGE EX. PAVEMENT
—	EX. SANITARY SEWER
—	EX. STORM DRAINAGE
—	EX. WATER SERVICE
—	EX. TREELINE
—	SOIL LINE (WEB SOIL SURVEY)
—	SILT FENCE BARRIER

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.



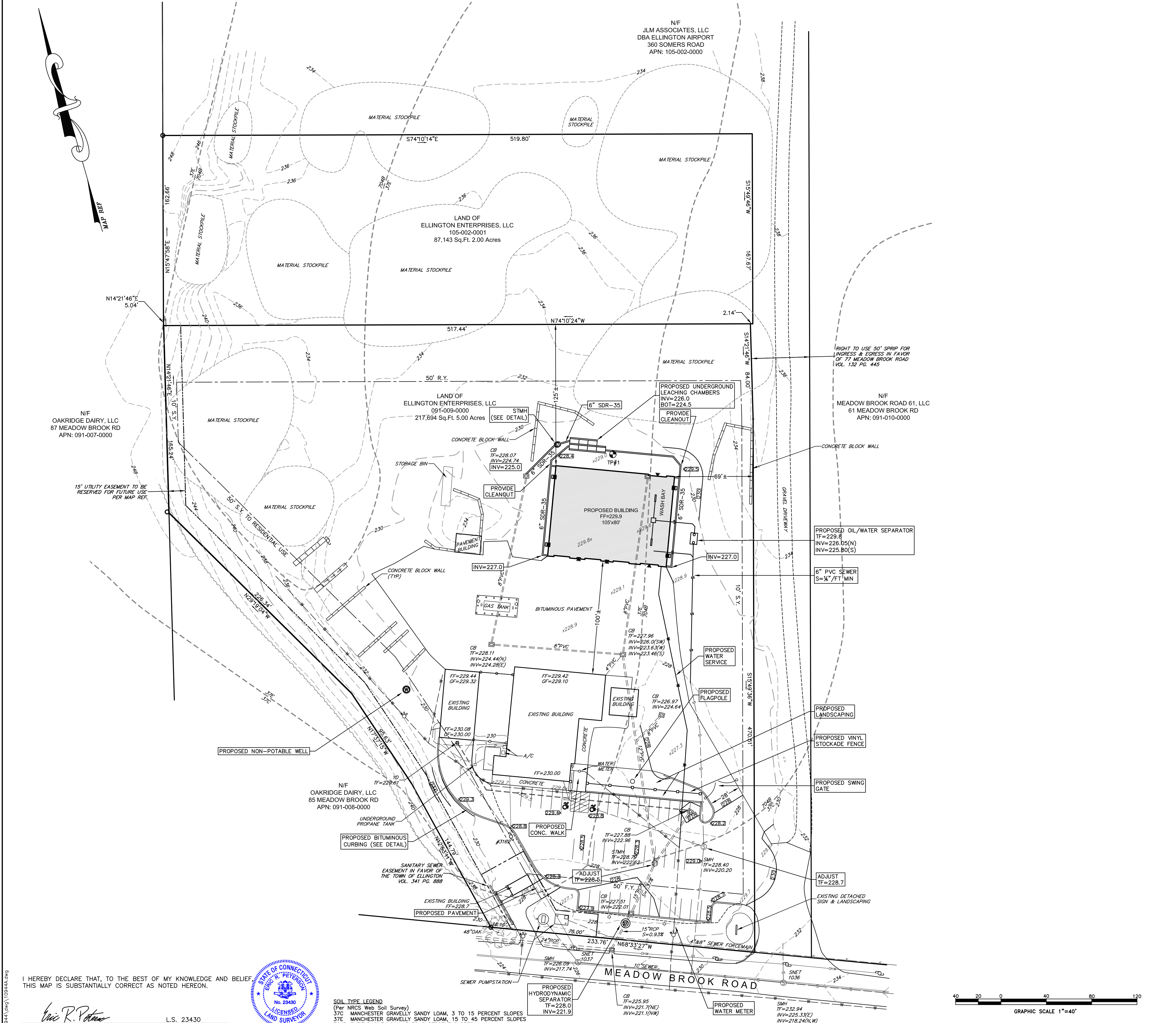
SOIL TYPE LEGEND
(Per NRCS Web Soil Survey)
37C MANCHESTER GRAVELLY SANDY LOAM, 3 TO 15 PERCENT SLOPES
37E MANCHESTER GRAVELLY SANDY LOAM, 15 TO 45 PERCENT SLOPES
704B ENFIELD SILT LOAM, 3 TO 8 PERCENT SLOPES



**IMPROVEMENT LOCATION SURVEY
EROSION & SEDIMENT CONTROL PLAN
ELLINGTON ENTERPRISES, LLC
APN: 091-009-0000 & 105-002-0001
77 MEADOW BROOK ROAD
ELLINGTON, CONNECTICUT**

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

REVISIONS	BY	SCALE	DATE	SHEET NO.	MAP NO.
	E.R.P.	1"=40'	04-21-2021	1 OF 5	10944 A



- NOTES:
- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY AND A DEPENDENT RESURVEY SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS 1-2.
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 - THESE PARCELS ARE LOCATED IN FLOOD ZONE 'X' AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN PER FIRM FLOOD INSURANCE RATE MAP TOWN OF ELLINGTON, CONNECTICUT TOLLAND COUNTY PANEL 5 OF 15 COMMUNITY PANEL NUMBER 090158 0005 C MAP REVISED FEBRUARY 5, 1997.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

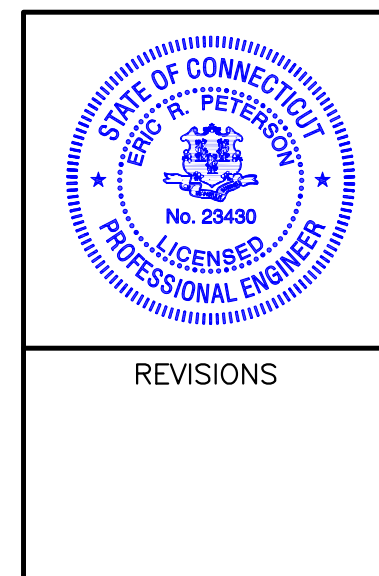
ZONING TABLE:
ZONE: INDUSTRIAL (I) ZONE

	REQUIRED:	PROPOSED:
MIN. LOT AREA:	40,000 SQ.FT.	217,694 SQ.FT.
MIN. LOT WIDTH:	200 FT.	233.76 FT.
FRONT YARD:	50 FT*	331 FT.
SIDE YARD:	10 FT.	69 FT.
REAR YARD:	50 FT.	125 FT.
BUILDING HEIGHT:	38 FT.	23 FT 4 IN.
LOT COVERAGE:	60%	37.5%

*MAY BE REDUCED TO 50 FEET ALONG ANY ROADWAY NOT DESIGNATED AS A COLLECTOR ROAD, ARTERIAL ROAD OR STATE HIGHWAY.

LEGEND

—	PROPERTY LINE
○	IRON PIPE FOUND
- - -	ZONING SETBACK
- - -	EASEMENT
○	UTILITY POLE
—	OVERHEAD WIRES
—	SIGN
- - -	ELEVATION CONTOUR
120.3	EXISTING ELEVATION
118	PROPOSED CONTOUR
118.3	PROPOSED ELEVATION
—	EDGE EX. PAVEMENT
—	EX. SANITARY SEWER
—	PROPOSED SANITARY SEWER
—	EX. STORM DRAINAGE
—	EX. WATER SERVICE
—	PROPOSED WATER SERVICE
—	PROPOSED LIGHT
—	EX. TREELINE
—	SOIL LINE (WEB SOIL SURVEY)



**IMPROVEMENT LOCATION SURVEY
SITE PLAN
ELLINGTON ENTERPRISES, LLC
APN: 091-009-0000 & 105-002-0001
77 MEADOW BROOK ROAD
ELLINGTON, CONNECTICUT**

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

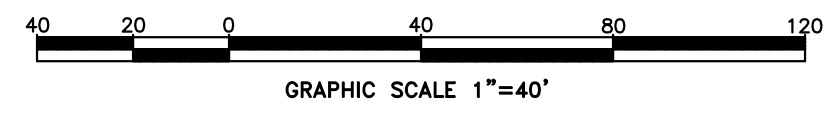
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	04-21-2021	2 OF 5	10944 A

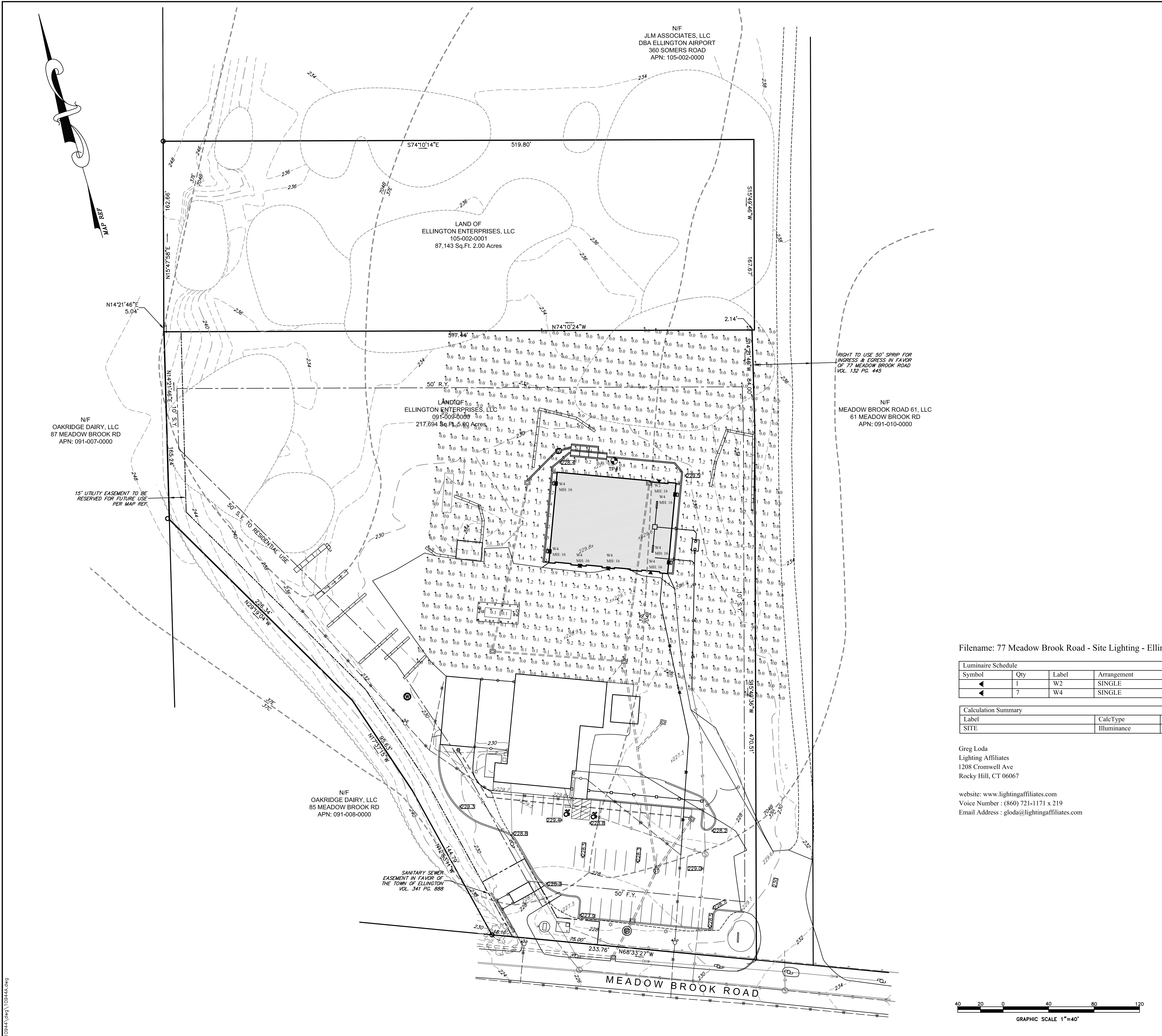
I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.

STATE OF CONNECTICUT
ERIC R. PETERSON
No. 28430
LICENSED
LAND SURVEYOR

SOIL TYPE LEGEND
(Per NRCS Web Soil Survey)
37C MANCHESTER GRAVELLY SANDY LOAM, 3 TO 15 PERCENT SLOPES
37E MANCHESTER GRAVELLY SANDY LOAM, 15 TO 45 PERCENT SLOPES
704B ENFIELD SILT LOAM, 3 TO 8 PERCENT SLOPES

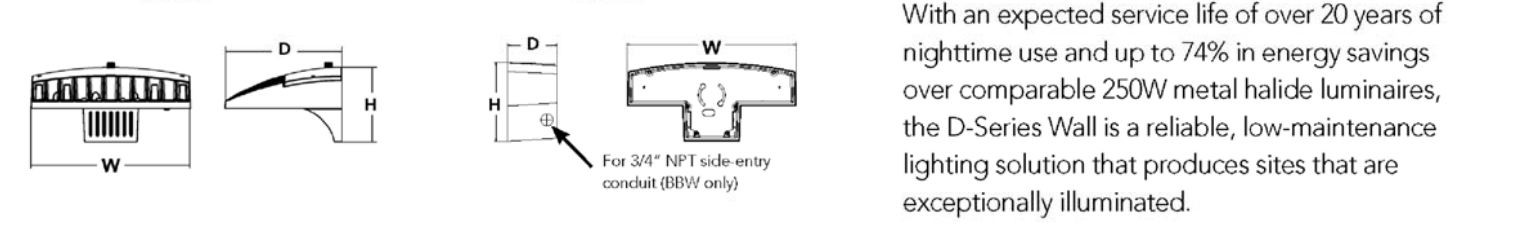




D-Series Size 1 LED Wall Luminaire

Specifications

Width: 13.3/4" (34.3 cm)	Weight: 12 lbs (5.4 kg)	Back Box (BBW, ELCW)
Depth: 10" (25.4 cm)	Height: 6-3/8" (16.3 cm)	Width: 13.3/4" (34.3 cm)
Height: 6-3/8" (16.3 cm)		Weight: 5 lbs (2.3 kg)
		Depth: 4" (10.2 cm)
		Height: 10 lbs (4.5 kg)



Ordering Information EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTDX

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (line engine)	350 350mA	30K 3000 K	T25 Type I Short	MVOLT 120 ¹	Shipped included PE Surface mounting bracket BBW Back box (or conduct entry) ²	Shipped installed PE Photometric cell, button type ³ DMS 0-10 dimming with pulsed outside fixture (for use with external dimmer, not for emergency) PIR 180° motion/ambient light sensor, <150 mg ft ² PIRHCY Motion/ambient light sensor, 15-300 mg ft ² PIRHCY Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 10-12' ELCW Emergency battery backup (includes external component enclosure, 1.5 Sec. 24 Noncompliant ⁴)
	20C 20 LEDs (bus engine)	700 700mA	40K 4000 K	T35 Type II Short	208 ¹		
	20C 20 LEDs (bus engine)	9000 9000mA (1 A) ⁵	50K 5000 K	T35 Type II Short AMBPC Ambler 20 degree control	277 ¹		
				T4M Type II Medium TFTM Forward Throw Medium	277 ¹ 347 ¹ 480 ¹		

Other Options	Shipped separately ⁶	Finish ^{7,8,9,10,11}
SE Single hole (100, 277 or 347V) ^{1,4}	BBW Back box (or conduct entry)	DDDD Dual finish
DF Double hole (200, 240 or 480V) ^{1,4}	VG Vertical guard	DDLD Black
HS Haze-shield (HSE) ¹¹	DDL Diffused drop lens	DDDBD Textured black
SPD Separate surge protection ¹²		DDWDD White

- Accessories**
1. 20C 1000 is not available with PIR, PIRHCY or PIRHCYV.
 2. MVOLT driver operates on any line voltage from 120-277V (50/60Hz).
 3. Single hole (DF) requires 100, 277 or 347 voltage option. Double hole (DF) requires 208, 240 or 480 voltage option.
 4. Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRHCY.
 5. Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
 6. Photocell (PE) requires 100, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRHCY).
 7. Reference Motion Sensor table on page 3.
 8. Cold weather (20C) rated. Not compatible with conduct entry applications. Not available with BBW mounting option. Not available with ferrite. Not available with 347 or 480 voltage option. Emergency components located in back box housing. Emergency mode ES file located on product page at www.lithonia.com.
 9. Not available with SPD.
 10. Not available with ELWC.
 11. Also available as a separate accessory; see Accessories information.
 12. Not available with ELWC.

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

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DSXW1 LED Rev. 2/5/20

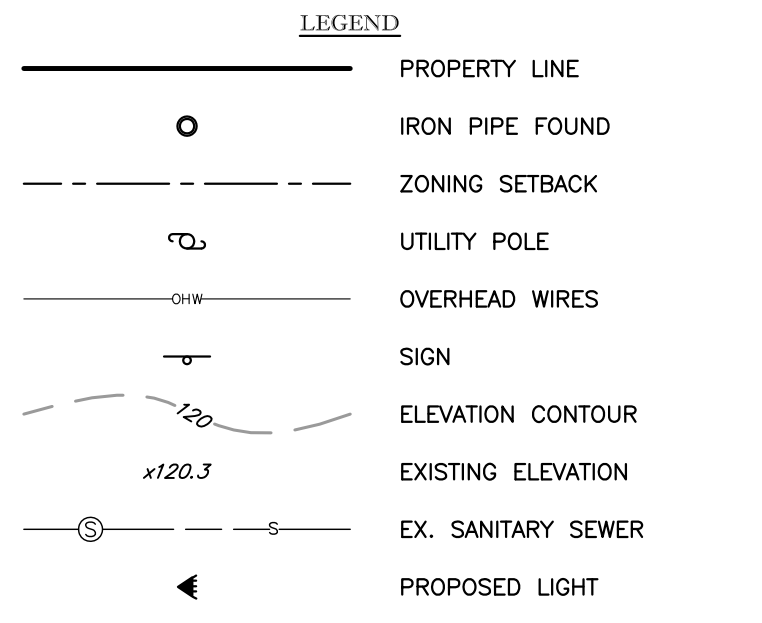
Filename: 77 Meadow Brook Road - Site Lighting - Ellington.AGI

Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
◀	1	W2	SINGLE	5309	45.7	0.900	Lithonia DSXW1 LED 20C 700 40K T2M MVOLT BBW DBLXD
◀	7	W4	SINGLE	5554	45.7	0.900	Lithonia DSXW1 LED 20C 700 40K TFTM MVOLT BBW DBLXD

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.37	3.5	0.0	N.A.	N.A.

Greg Loda
 Lighting Affiliates
 1208 Cromwell Ave
 Rocky Hill, CT 06067

website: www.lightingaffiliates.com
 Voice Number: (860) 721-1171 x 219
 Email Address: gloda@lightingaffiliates.com

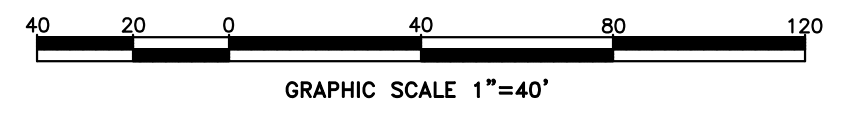


SITE PLAN
EXTERIOR LIGHTING PLAN
ELLINGTON ENTERPRISES, LLC
 APN: 091-009-0000 & 105-002-0001
 77 MEADOW BROOK ROAD
 ELLINGTON, CONNECTICUT

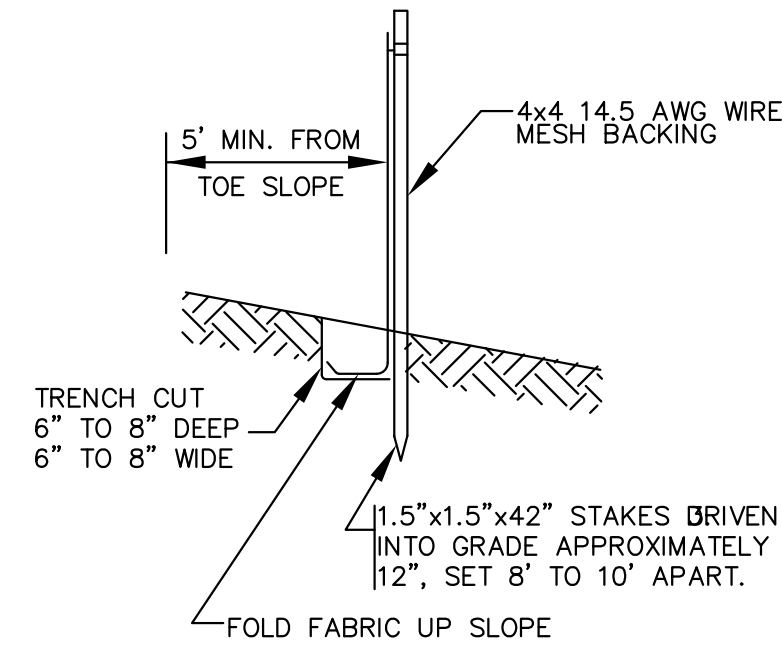
GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS	SCALE	DATE	SHEET NO.	MAP NO.
	1"=40'	04-21-2021	3 OF 5	10944 A



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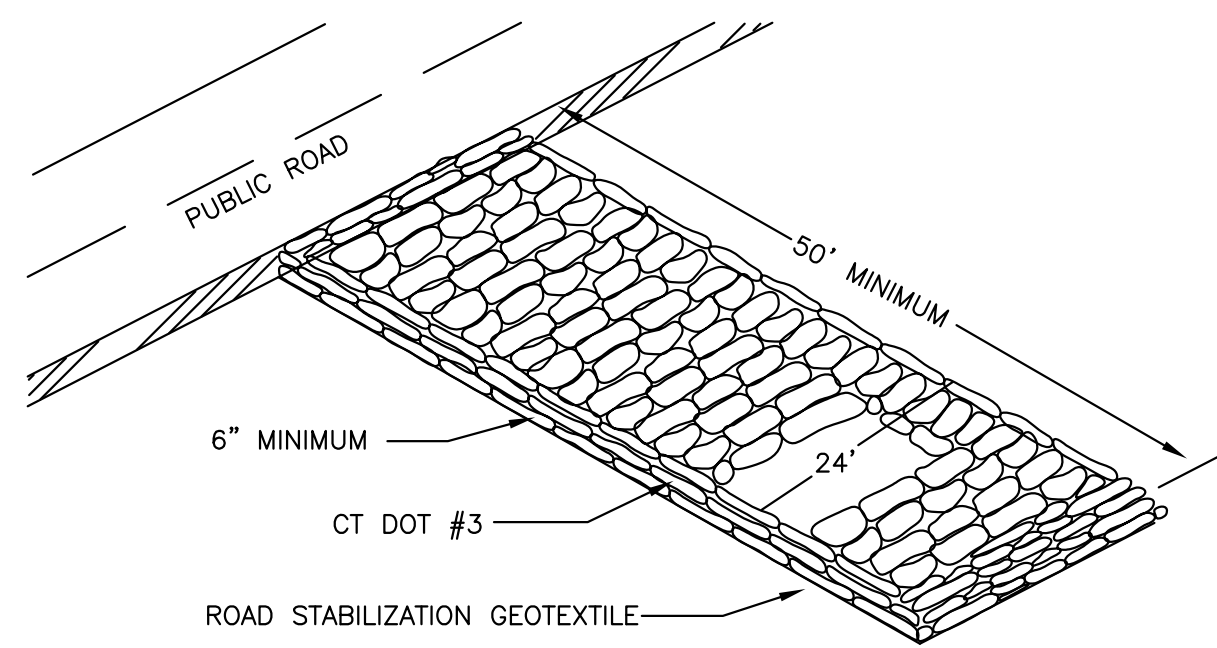
NOTES:

1. SEDIMENT CONTROL FABRIC TO BE A GEOTEXTILE MATERIAL TREATED TO RESIST DEGRADATION FROM EXPOSURE TO SUNLIGHT.
2. USE ONLY GEOTEXTILES WHICH ARE ALREADY ON THE CONNECTICUT DEPARTMENT OF TRANSPORTATION'S GEOTEXTILE APPROVED LIST OF GEOTEXTILES.
3. AFTER FOLDING FABRIC EDGE, BACKFILL TRENCH WITH TAMPED ORIGINAL SOIL OR AGGREGATE.
4. INSTALL PER 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
5. FABRIC SHALL BE PREFABRICATED WITH 4"x4" 14.5 AWG WIRE MESH BACKING.

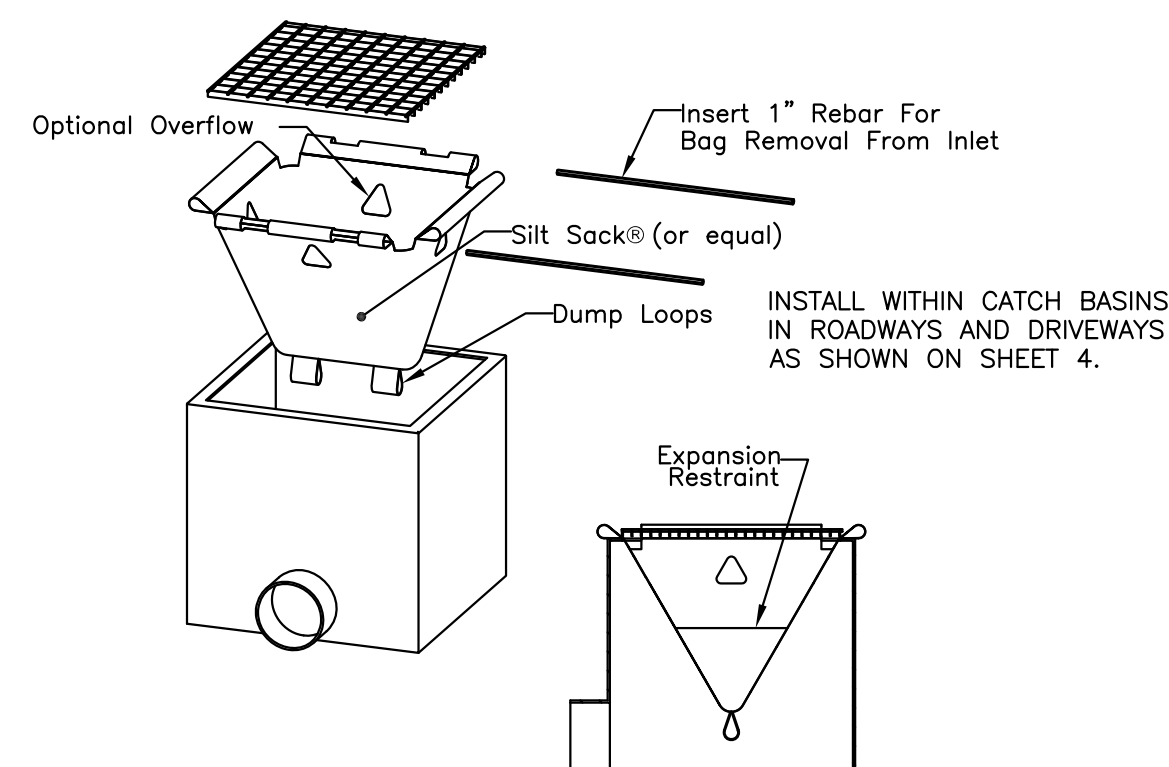
TEST PIT DATA:
OBSERVED BY ERIC PETERSON, PE
GARDNER & PETERSON ASSOCIATES, LLC
04/23/2021

TP1:
0-18" FILL
18-27" FIRM MEDIUM SAND W/ COBBLES
27-90" LOOSE FINE SAND
90-96" BROWN SILTY CLAY
NO MOTTILING, LEDGE, SEEPAGE, ROOTS
RESTRICTIVE @ 90"
PERM #3 & # 7 @ 48". RATE=60 IN/HR

SILT FENCE INSTALLATION



CONSTRUCTION ENTRANCE



CATCH BASIN INLET PROTECTION

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
6. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
7. FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
8. FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
9. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
10. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
11. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
12. SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
13. CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
14. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
15. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
16. FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
17. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
18. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
19. WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
20. CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	1.0	3/1-6/15, 8/1-10/15
WINTER RYE	120	3.0	4/15-7/1, 8/15-10/15
SUDANGRASS	30	0.7	5/15-8/1

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	20	0.45	4/1-6/15, 8/15-10/1
CREeping RED FESCUE	20	0.45	4/1-6/15, 8/15-10/1
PERENNIAL RYEGRASS	5	0.10	4/1-6/15, 8/15-10/1
TOTAL	45	1.00	

TURF MANAGEMENT PLAN

1. **Soil Testing**
A composite soil sample from the subject property will be collected and delivered to a University of Connecticut Cooperative Extension office for testing of soil nutrient levels (i.e., pH, nitrogen, phosphorus, calcium, magnesium, potassium) prior to a fertilizer application. The Extension office will recommend a fertilizer application rate based upon these test results. The actual fertilizer application rate will follow this recommendation. This will ensure against an excessive fertilizer application, which could lead to chemical leaching or export.
2. **Slow-Release Fertilizers**
Slow-release fertilizers will be applied to lawns, planted trees and shrubs. These can include, but are not limited to, organic-based fertilizers. A variety of commercial slow-release nitrogen fertilizer products are available (e.g., Milorganite, isobutylidene diurea, coated ureas, etc.). Advantages of slow-release fertilizers include the supply of a steady nitrogen source, and reduced nitrogen leaching. By combining small amounts of soluble nitrogen sources with slow release nitrogen products, nitrogen availability can be extended without a threat of leaching.
3. **Fertilizer Application Schedule**
Fertilizer will be applied three times annually to the subject property: early to late May (after the threat of cool, wet weather has passed), late August to early September, and mid-September to mid-October. If the soil test indicates a need for lime, it will be applied at the last fertilization date.
4. **Integrated Pest Management (IPM)**
IPM is an integrated, preventative approach to maintaining healthy turf and landscape plants. IPM recognizes that, although chemicals are an important component of a turf management plan, other strategies are available to maintain a healthy lawn. A central premise of IPM is to treat pest problems as they arise on an as-needed basis only, using a variety of biological (e.g., natural predators), chemical and cultural (e.g., disease-resistant seed) practices.

To be successful, IPM requires periodic monitoring by an experienced practitioner to detect pest problems at an early stage and develop an effective, environmentally responsible action plan. It is recommended that the contractor that is hired to maintain the grounds have training and experience in the practice of IPM.

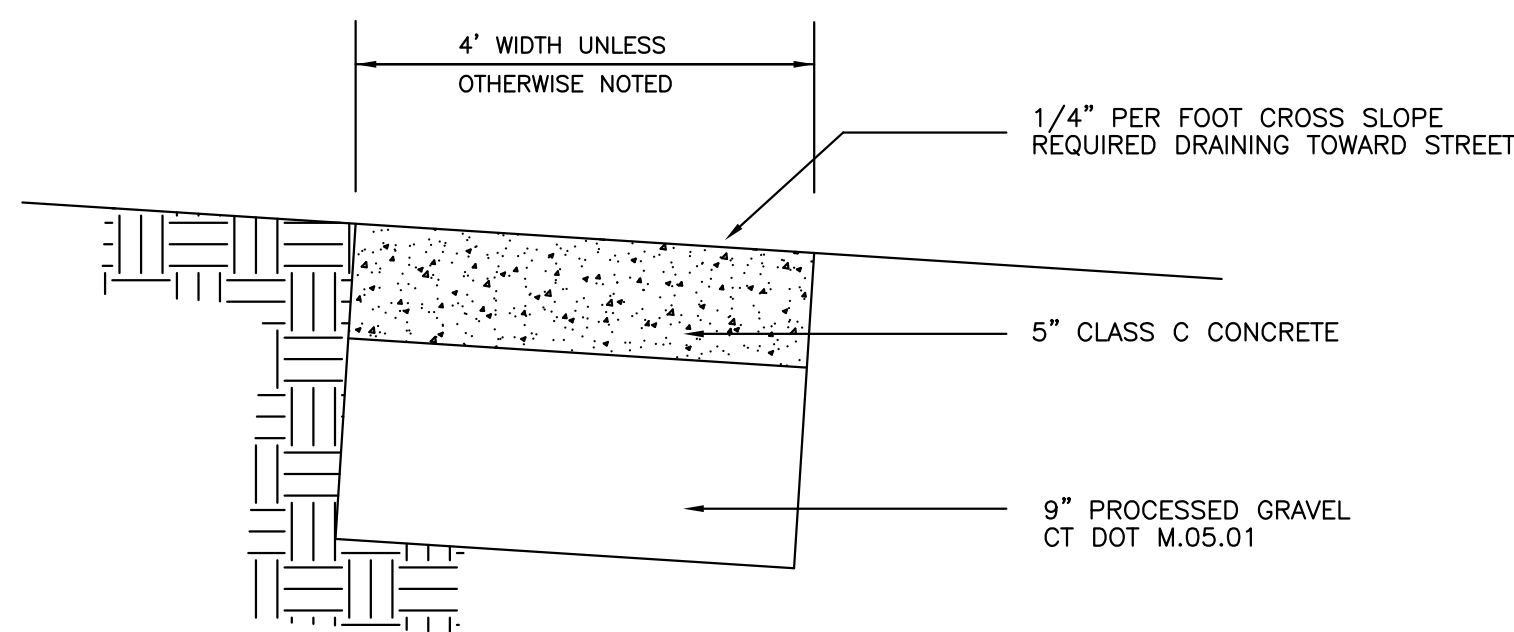
PROJECT NAME: ELLINGTON ENTERPRISES, LLC
LOCATION: 77 MEADOW BROOK ROAD, ELLINGTON, CT
PROJECT DESCRIPTION: CONSTRUCTION OF NEW BUILDING WITH WASH BASIN
PARCEL AREA: 7 AC.
RESPONSIBLE PERSONNEL: DAVID STAVENS (860) 872-2330

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
EXCAVATE FOR BUILDING FOUNDATION	INSTALL ANTI-TRACKING PAD		
INSTALL SEWER, DRAINAGE AND UTILITIES	INSTALL SILT FENCE BARRIERS DOWNGRADE OF CONSTRUCTION ACTIVITY AS SHOWN		
GRADE SITE FOR PAVING	INSTALL INLET PROTECTION IN EXISTING CATCH BASINS		
FINAL GRADE AND FINAL PAVE	PROTECT INFILTRATION GALLEY AREAS FROM DISTURBANCE AND COMPACTION		
	TOPSOIL SEED AND MULCH SLOPES		
	INSPECT AND MAINTAIN SEDIMENT BARRIERS WEEKLY AND AFTER RAIN EVENTS OVER 0.5-INCH.		
	REMOVE SEDIMENT FROM DRAINAGE STRUCTURES		
	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		

PROJECT DATES:
DATE OF CONSTRUCTION START JUNE 1, 2021
DATE OF CONSTRUCTION COMPLETION AUGUST 31, 2021

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

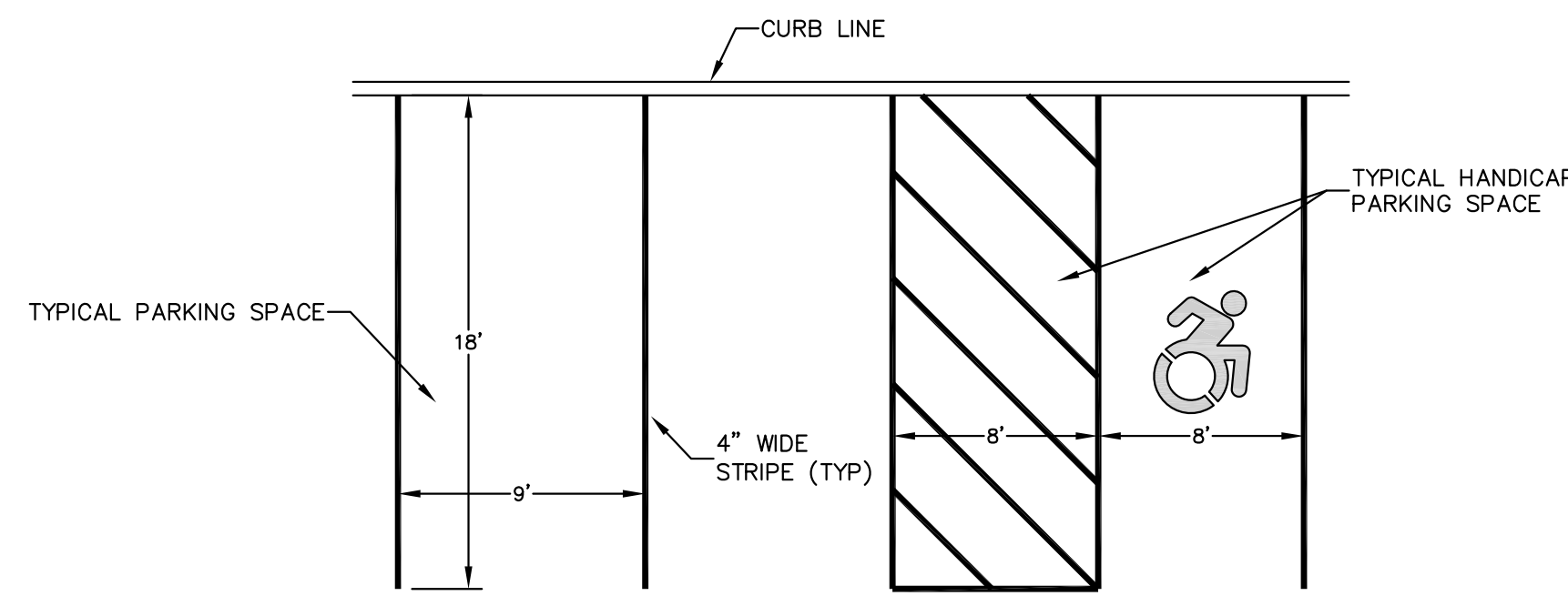
	EROSION & SEDIMENT CONTROL NOTES AND DETAILS ELLINGTON ENTERPRISES, LLC APN: 091-009-0000 & 105-002-0001 77 MEADOW BROOK ROAD ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT			
	REVISIONS		PROFESSIONAL ENGINEERS LAND SURVEYORS	
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	04-21-2021	4 OF 5	10944 A



1. BROOM FINISH SURFACE AND TROWEL FINISH EDGES.
2. PROVIDE TOOLED CONSTRUCTION JOINTS EVERY 5' AND EXPANSION JOINTS EVERY 20'.
3. WALKS SHALL NOT PASS THROUGH DRIVEWAYS.
4. PROVIDE ADA RAMPS WITH LEVEL LANDINGS AND DETECTABLE WARNING SURFACE AS REQUIRED.

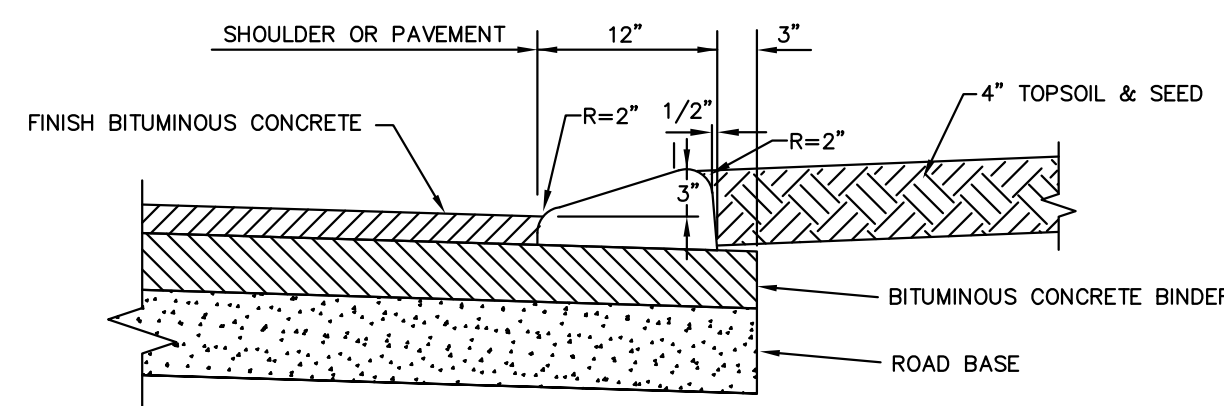
MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF D.O.T. FORM 814A, ARTICLE M.03.01, CLASS C. SIDEWALK SHALL BE INSTALLED ON THE NORTH AND EAST SIDE OF THE ROADS AS SHOWN. REAR OF WALK TO BE SET 1' OFF STREETLINE.

SIDEWALK CROSS-SECTION



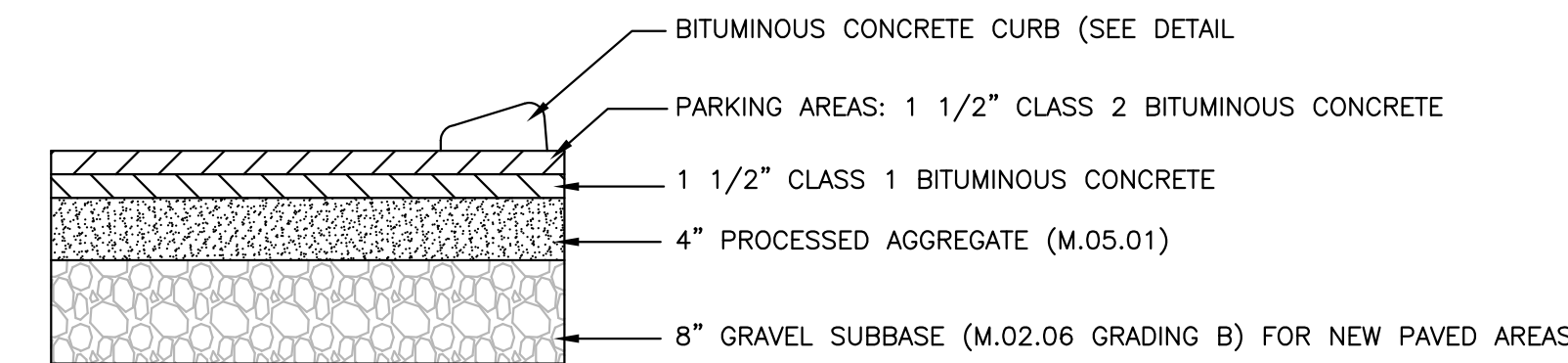
- PAVEMENT MARKING NOTES:
1. All work to conform to Form 816, Section 12.09 and the manufacturer's instructions and recommendations for application.
 2. Lines shall be four (4) inches wide, except as noted, and 15 mils thick, colored white, except as noted.
 3. Paint shall be either white or tinted ready-mixed paint conforming to AASHTO M70, Type 1.
 4. Epoxy Resins shall conform to Form 816 and project requirements for layout of crosswalks. Install glass beads by free fall method.
 5. Prior to painting, sweep pavement with power broom supplemented with hand brooms to eliminate loose material and dust.
 6. After applying paint, erect suitable barriers to prevent tracking of paint before drying. Retouch and paint all markings which become smeared, discolored, worn, or otherwise marred before final acceptance of the project. Remove any evidence of smearing of paint.

PAINTED PARKING STALL DETAIL



- NOTES:
1. CURBING MATERIAL TO BE CLASS 3 BITUMINOUS CONCRETE PER CONN. D.O.T. FORM 816.
 2. CURBING TO BE LAID ON TOP OF BINDER COURSE.
 3. TACK COAT TO BE APPLIED PRIOR TO CURB PLACEMENT. COATING TO BE APPLIED PER M04.01.1.d.4. OF FORM 816 AS AMENDED.
 4. THE CAPE COD CURB SHALL BE MACHINE LAID AND LAID ACROSS DRIVEWAY ENTRANCES.

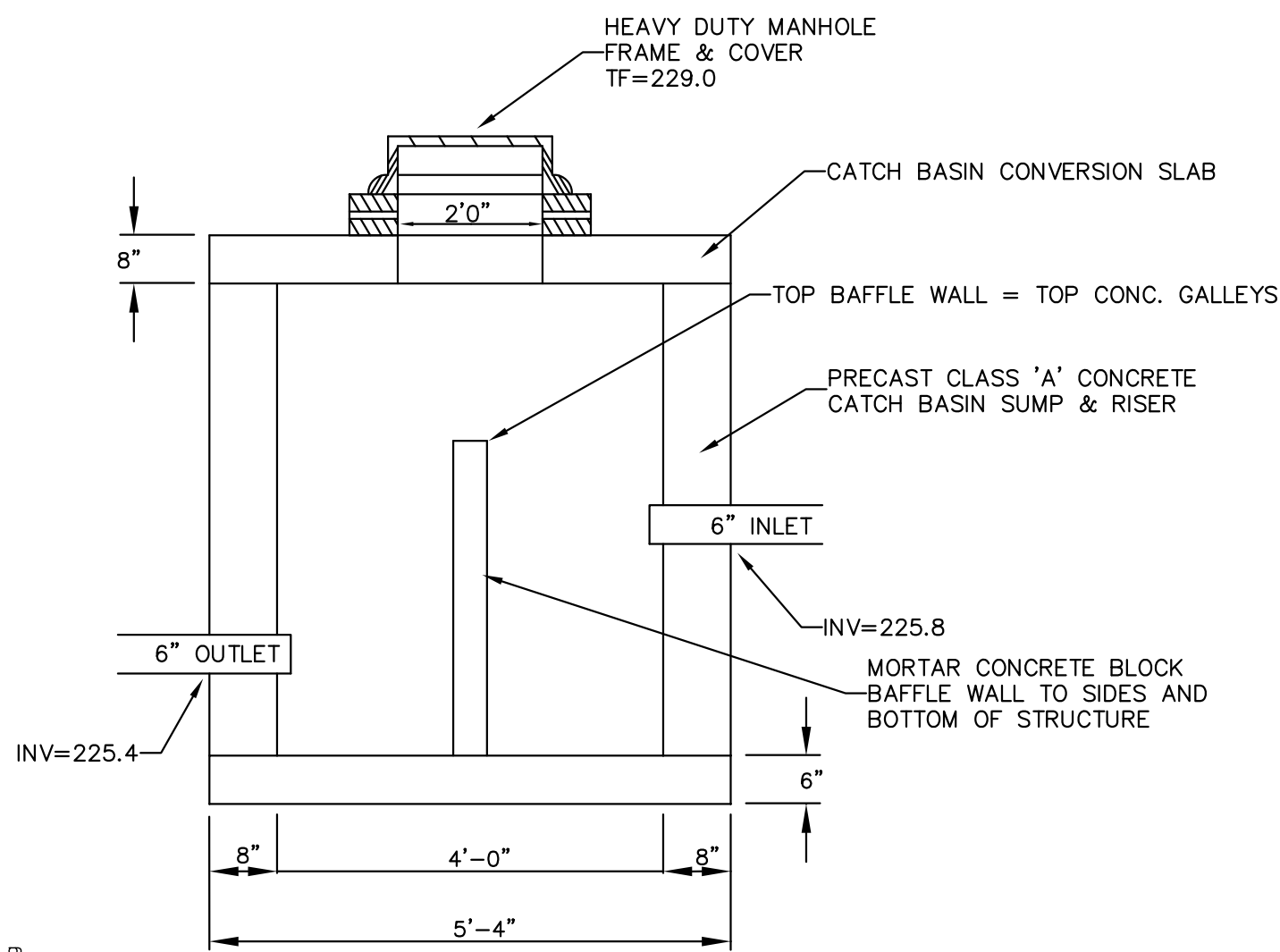
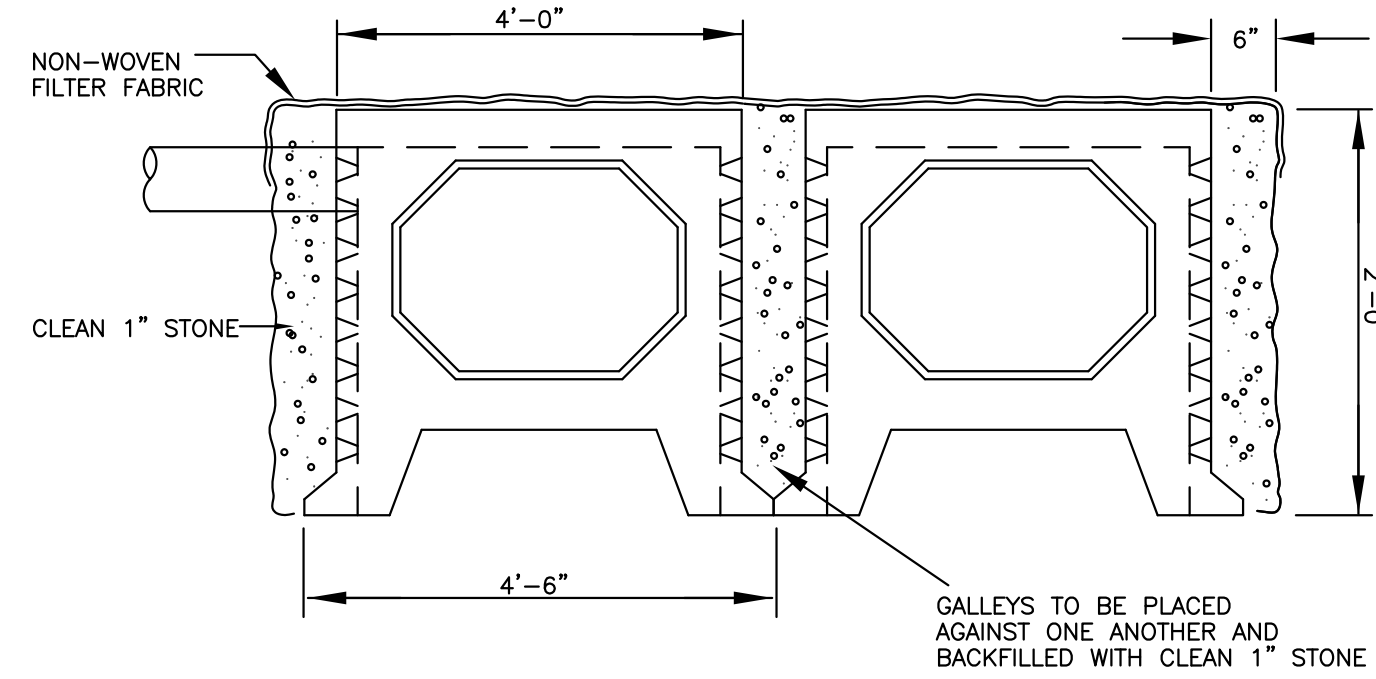
BITUMINOUS CONCRETE CURB CAP COD CURB



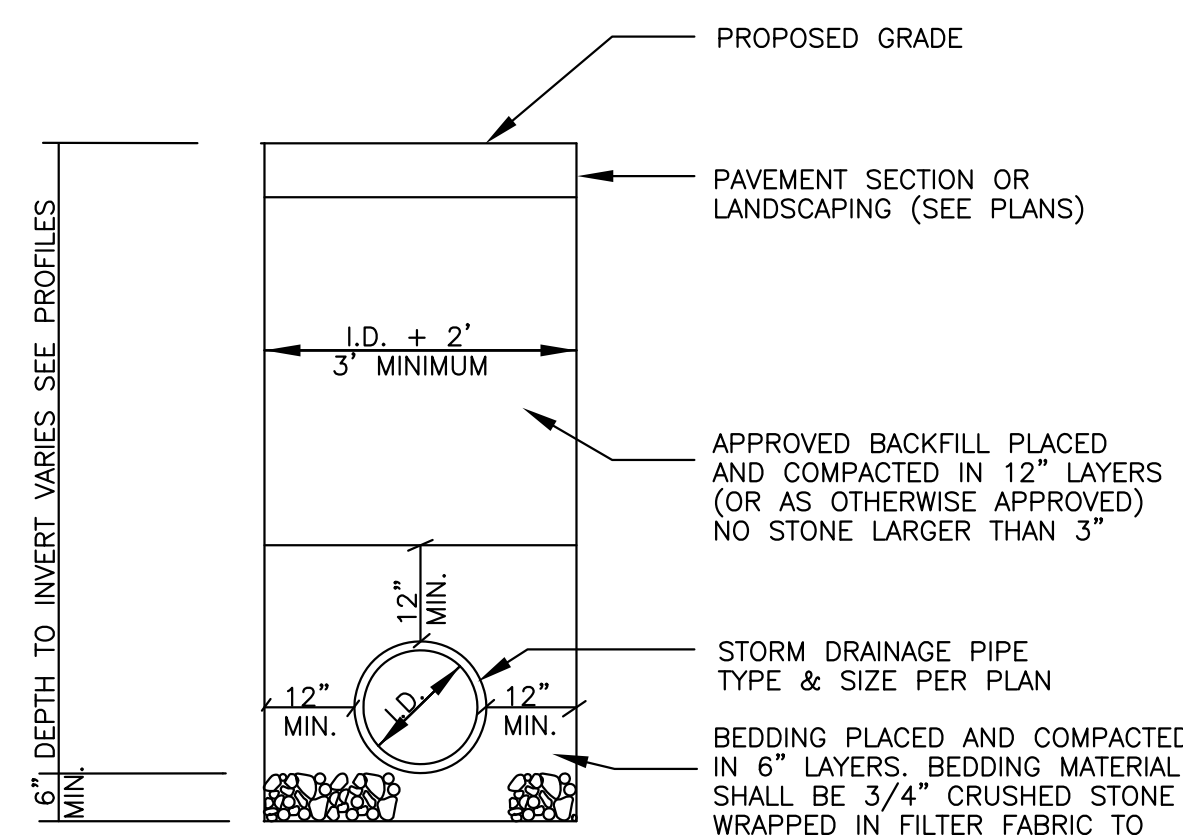
BITUMINOUS PAVEMENT CROSS SECTION

- NOTES:
1. DURING CONSTRUCTION, CARE MUST BE TAKEN NOT TO COMPACT THE UNDERLYING NATURAL SOILS. HEAVY VEHICLES SHALL NOT ENTER THE EXCAVATION OF THE INFILTRATION GALLEYS. THIS AREA SHALL BE FENCED OFF TO PREVENT COMPACTION AT THE INITIATION OF SITE CONSTRUCTION.
 2. ENGINEER SHALL WITNESS THE EXCAVATION AND INSTALLATION OF THE GALLEYS TO ENSURE PROPER SOIL CONDITIONS BELOW SYSTEM.
 3. PLACE NON-WOVEN FILTER OVER INFILTRATION GALLEY AND CLEAN 1\"/>

CONCRETE INFILTRATION GALLEY



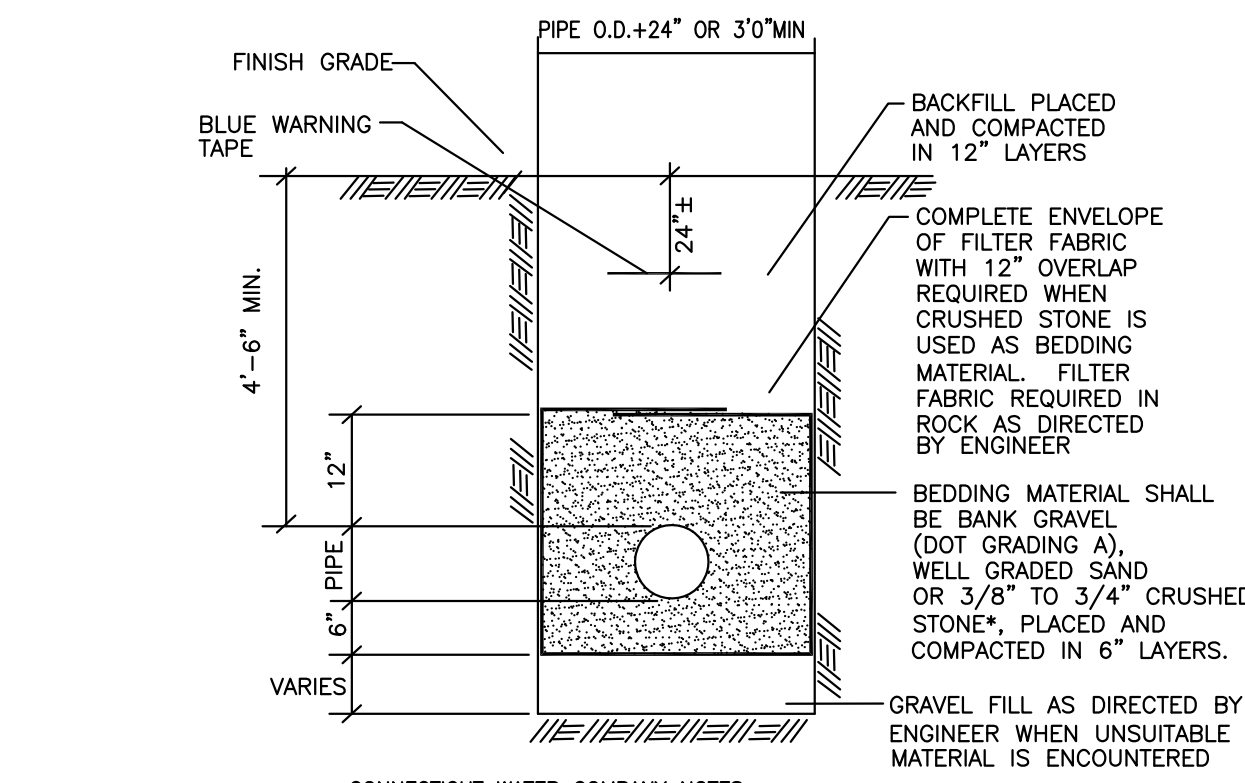
STORM MANHOLE DETAIL



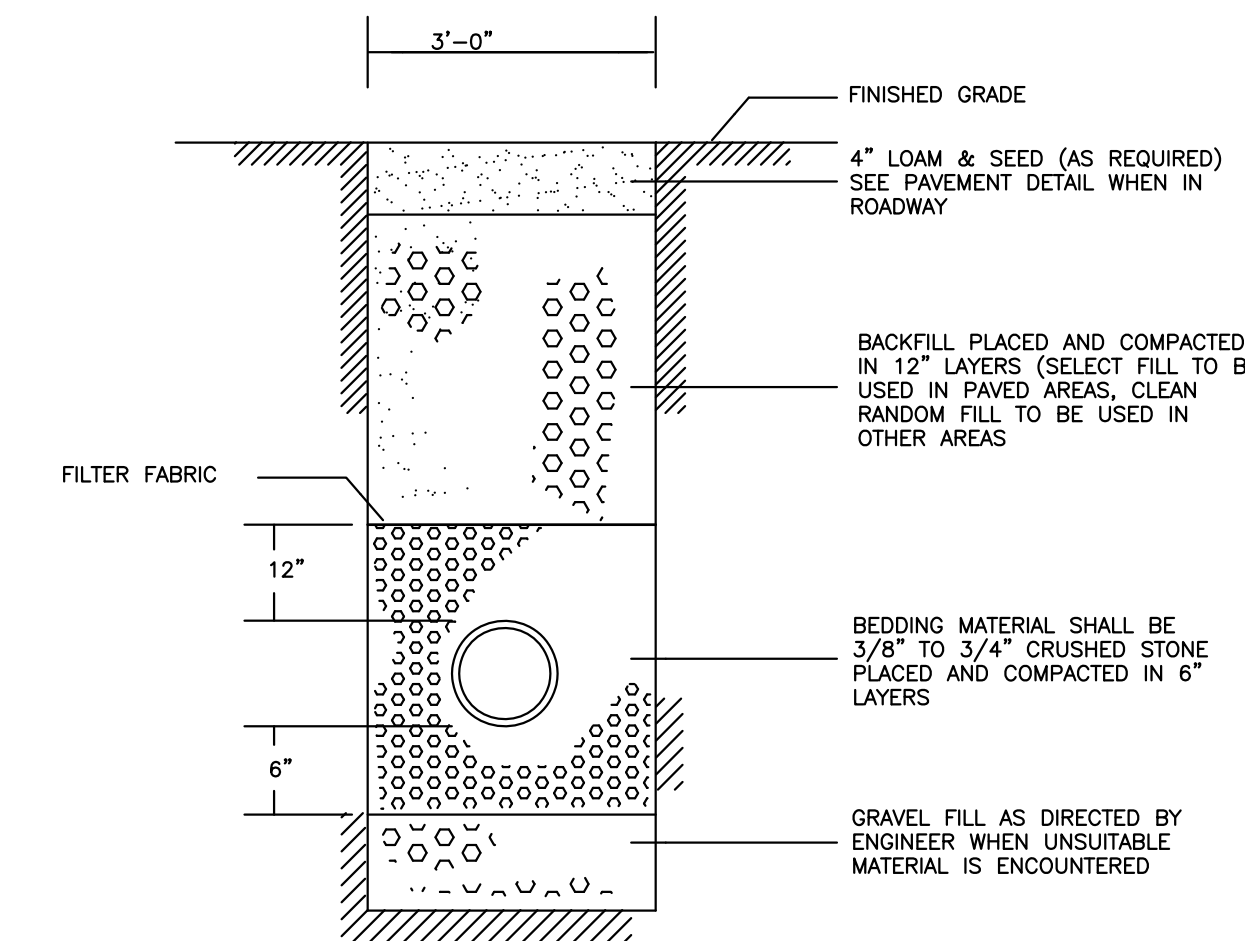
STORM DRAIN TRENCH DETAIL

- The hydrodynamic separator must be designed to remove a minimum of 80% of the total suspended solids from the water quality flow of 1.22 cfs with an internal bypass of the 10-year design storm flow of 14 cfs. The system must first be approved by the design engineer then submitted to the town for review prior to fabrication. Shop drawing submittals must include:
- "treated" flow for the specified system and model, which must be equal or exceed the water quality flow
 - "conveyed" flow for the specified system and model, which must be equal or greater than the design storm flow
 - calculations or documentation verifying that 80% (min.) of the average annual total suspended solids will be removed from the water quality flow
 - calculations of the hydraulic grade line elevations for the design storm event in the first structure located upstream of the system and any other critical locations
 - orientation of the system in plan view with respect to the approved site plan (if different than shown on the approved plans)
 - proposed size and elevation of critical weir, orifice, pipe invert elevations, and other design elements that correspond to the hydraulic characteristics of the system

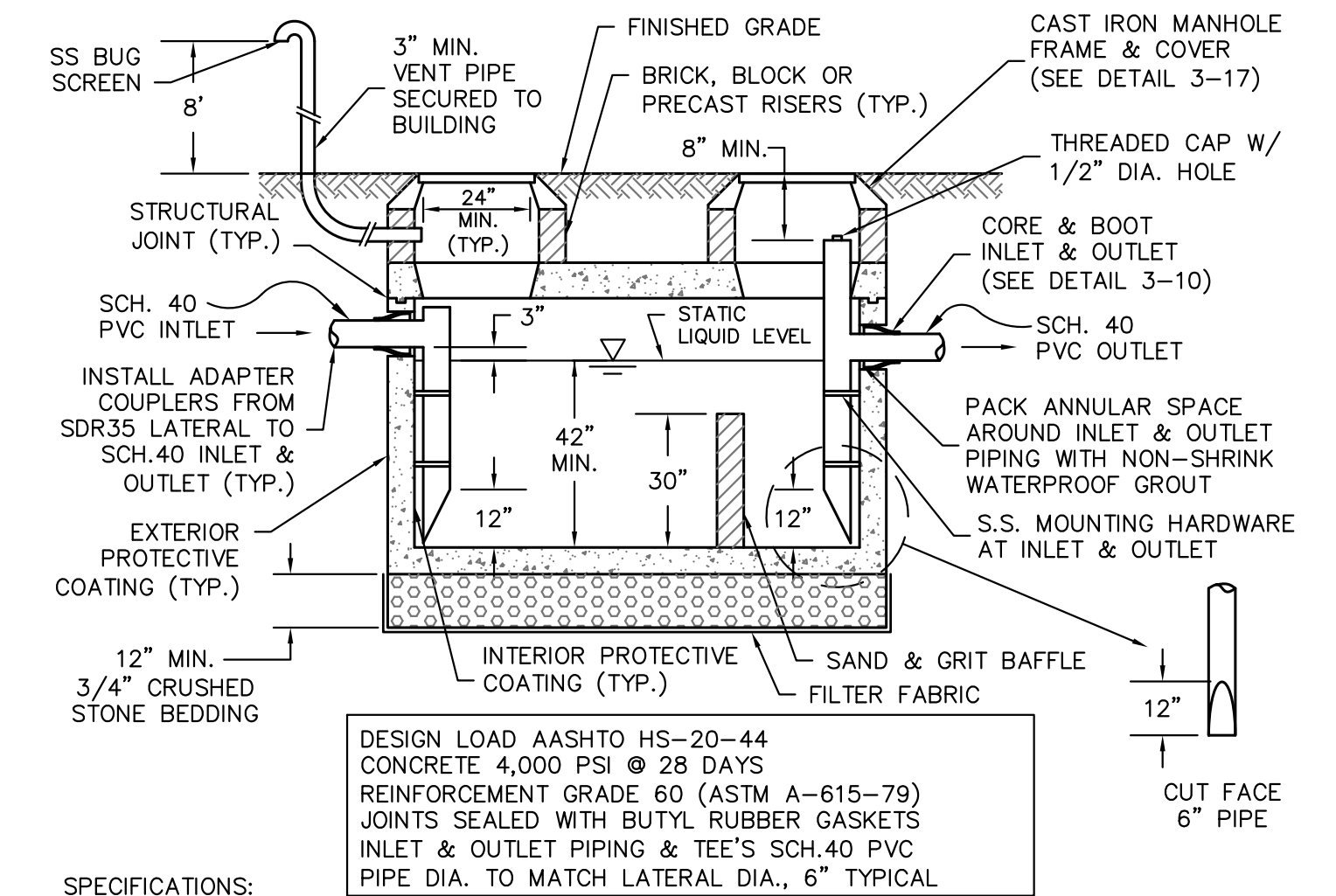
HYDRODYNAMIC SEPARATOR REQUIREMENTS



WATER TRENCH DETAIL



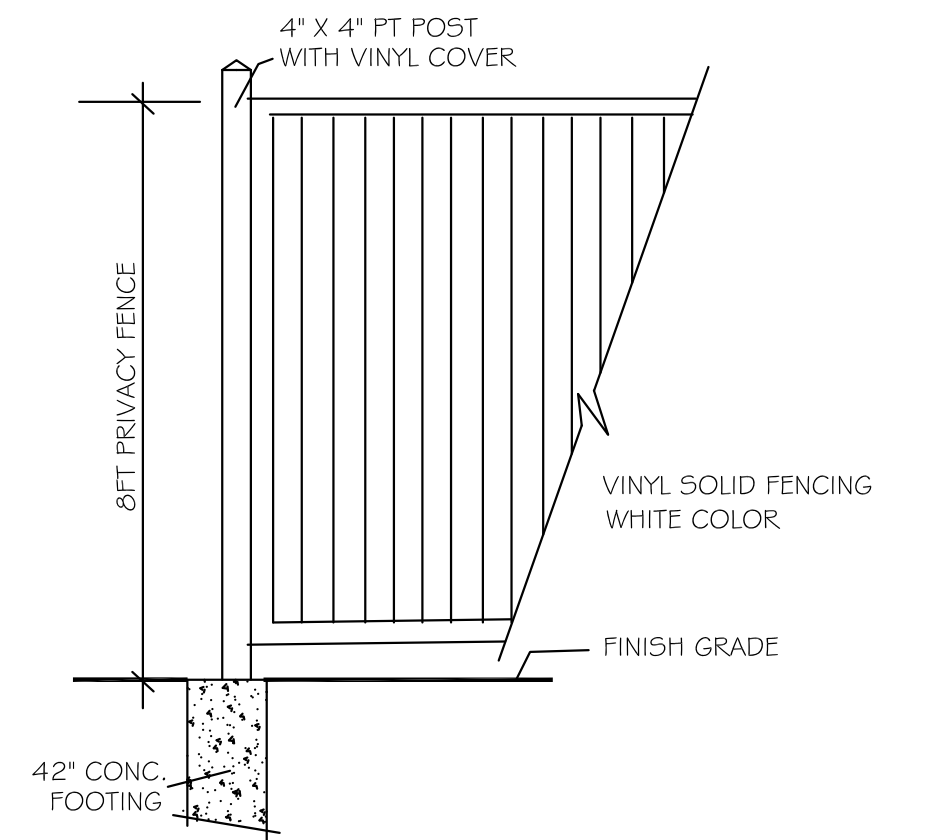
SANITARY SEWER TRENCH DETAIL



SAND & OIL WATER SEPARATOR

1. TANK SHALL HAVE A MINIMUM CAPACITY SUFFICIENT TO PROVIDE AT LEAST SIX (6) HOURS OF RETENTION TIME DURING THE AVERAGE DAILY FLOW AND SHALL BE NO LESS THAN 1,000 GALLONS. TANK SHALL BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
2. INTERIOR OF THE TANK AND EXTENSION TO GRADE MANHOLES SHALL BE COATED WITH AN EPOXY PETROLEUM RESISTANT SEALANT. EXTERIOR OF THE TANK AND EXTENSION GRADE MANHOLES SHALL BE COATED WITH A WATERPROOF FOUNDATION SEALANT. THIS INCLUDES THE TANK EXTERIORS TOP AND BOTTOM.
3. STRUCTURAL SEAM OF THE TANK SHALL BE FILLED IN WITH NON-SHRINKING CEMENT OR WATER PLUG AND COATED WITH A WATERPROOF SEALANT. THE HORIZONTAL STRUCTURAL SEAM OF THE TANK SHALL BE LOCATED ABOVE THE STATIC LIQUID LEVEL OF THE TANK.
4. VOIDS BETWEEN INLET AND OUTLET PIPING OF THE TANK SHALL BE GROUTED WITH NON-SHRINKING CEMENT AND COATED WITH A WATERPROOF SEALANT.
5. THE TANK SHALL HAVE EXTENSIONS TO GRADE ABOVE THE INLET AND OUTLET PIPING. THE EXTENSIONS SHALL HAVE FRAME AND MANHOLE COVERS. THE MANHOLES, EXTENSIONS AND ACCESS TO THE TANK SHALL BE AT LEAST TWENTY-FOUR (24) INCHES IN DIAMETER.
6. THE INLET AND OUTLET PIPING SHALL UTILIZE A TEE-PIPE ON THE INTERIOR OF THE TANK. THE OUTLET TEE PIPE SHALL BE EQUIPPED WITH A STAND PIPE RISER EXTENDING UP INTO THE EXTENSION TO GRADE BUT NO CLOSER THAN EIGHT (8) INCHES FROM THE MANHOLE COVER. THE TEE-PIPE SHALL EXTEND SIX (6) TO TWELVE (12) INCHES FROM THE BOTTOM OF THE TANK.
7. THE INLET EXTENSION TO GRADE SHALL INCLUDE A VENT LINE WHICH EXTENDS EIGHT (8) FEET ABOVE FINISHED GRADE AND IS PROPERLY SECURED TO THE BUILDING. THE SIZE OF THE VENT SHALL BE HALF THE SIZE OF THE OUTLET DISCHARGE LINE.
8. THE INCOMING PIPE SHALL NOT INCLUDE ANY SOURCES OF DOMESTIC WASTEWATER. THE OUTLET PIPE SHALL BE CONNECTED TO THE SANITARY SEWER.
9. THE OUTLET PIPE SHALL MATCH THE DIAMETER OF THE CONNECTING LATERAL.
10. THE CONCRETE COVERS PROVIDED BY THE OIL SEPARATOR MANUFACTURER MUST BE REMOVED AND DISCARDED.

SAND & OIL WATER SEPARATOR



SCREEN FENCING DETAIL

	CONSTRUCTION DETAILS			
	ELLINGTON ENTERPRISES, LLC APN: 091-009-0000 & 105-002-0001 77 MEADOW BROOK ROAD ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT			
REVISIONS	PROFESSIONAL ENGINEERS	LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	04-21-2021	5 OF 5	10944 A

Town of Ellington Planning & Zoning Commission Subdivision Application

SUBDIVISION NAME: Sunset Valley Farms Subdivision

LOCATION: 55 Kreyssig Road & Griswold Road, Ellington & East Windsor, CT

ASSESSOR'S PARCEL NUMBER (APN): 156 - 004 - 0001 (If unaware of APN, ask staff for assistance)

Application #
S202001

Date Received
4/22/2021

Application: Subdivision Re-subdivision Modification **Approval Requested:** Final Conditional

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Sunset Valley Farms LLC

Mailing Address: 55 Kreyssig Road
East Windsor, CT 06088

Email: davidm@oakridgedairy.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-670-8321

Secondary Contact Phone #: 860-875-2858

Signature: [Signature] **Date:** 4/23/21

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: David Moser

Mailing Address: 29 Sadds Mill Road
Ellington, CT 06776

Email: davidm@oakridgedairy.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-670-8321

Secondary Contact Phone #: 860-875-2858

Signature: [Signature] **Date:** 4/23/21

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Total Acreage of Property: 42.346 **Zone of Property:** RAR **Required Density Factor (R/LR =.6, RAR =.5):** .5

Open Space Proposal (check one): 10% Land Set-Aside Fee in Lieu of Land Combination
See attached Open Space Exemption letter by DPI.

Amount (square feet & acres): >25% **Slopes:** 0.24 AC **Wetlands & Watercourses:** 0 AC **100-Year Floodplain:** 0 AC

Developable Land: 1.612 AC **Lot Yield:** 1 House Lot **Remaining Land:** 40.494 AC **Area to be subdivided:** 1.852 AC
(Proposed Lot)

of Proposed Development Lots: 2 total lots

Public Water: Yes No **Public Sewer:** Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office). If within a public sewer area, application for division must include conceptual approval from the Ellington Water Pollution Control Authority.*

Is parcel located within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Are there any wetlands/watercourses on the property proposed for development but not within 100' of construction activity or 250' of construction activity when located in the Shenipsit Lake Drainage Basin? *If yes, state law requires notice be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt w/in 7 days of application (§8-31(b)). Copy of application, plans, and support documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # 2202109 Date Received 4/22/2021
--	---

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Sunset Valley Farms LLC

Mailing Address: 55 Kreussig Rd
Broad Brook, CT 06016

Email: davidm@coakridgedairy.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-670-8321

Secondary Contact Phone #: 860-875-2858

Signature: [Signature] Date: 4/23/21

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: David Moser

Mailing Address: 29 Saddle Mill Rd
Ellington CT 06029

Email: davidm@coakridgedairy.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-670-8321

Secondary Contact Phone #: 860-875-2858

Signature: [Signature] Date: 4/23/21

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: Between (18 & 20) Griswold rd Ellington CT

Assessor's Parcel Number (APN): 157-002-0001 Existing Zone: RAR Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-31(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (If more space is needed, please attach additional sheets)

see attached project narrative

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APR 22 2021

TOWN OF ELLINGTON
PLANNING DEPARTMENT



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Serving Connecticut, Massachusetts, & Rhode Island

P.O. BOX 1167

21 JEFFREY DRIVE

SOUTH WINDSOR, CT 06074

PHONE: 860.291.8755

ELLINGTON PLANNING AND ZONING COMMISSION

Narrative Describing Proposed Re-Subdivision of 55 Kreyssig Road

1. Nature of application

Mr. David Moser is applying for a Re-Subdivision Permit for the development of a 42.346 acre tract with existing buildings, into two (2) new lots. The lots will be 40.494 and 2.388 acres in size, respectively. 0.536 acres of land will also be purchased from 20 Griswold Road for access to new lot.

3. Location

The site is located west of Reeves Road, between Griswold Road and Broad Brook Road (Route 191). The parcel consists of 42.346 acres bordered by existing homes and farmland to the north, existing homes and Griswold Road to the east, existing homes to the south, and more farmland to the west.

4. Description of proposed redevelopment

David Moser is seeking to re-subdivide the existing 42.346 acre parcel into two new lots that will be suitable to the neighborhood.

5. Suitability of the land

The land is currently utilized for single-family housing and farming operations. No wetlands, upland areas, or flood plains are within the proposed new lot boundary. The gradual slope of the land will be utilized to ensure runoff flows around the proposed house. The slope will also allow for a foundation drain to operate without a sump pump. Septic testing for the lot yielded favorable results and design plans are currently under review by the NCHD. With this we feel the land is suitable for the proposed lot split and future construction of a house.

6. Environmental impacts

No wetlands, upland areas, or flood plains are within the proposed new lot boundary. We do not anticipate any environmental impacts due to the redevelopment of this site.

7. Traffic

There will be no significant traffic impacts. The entry point onto Griswold Road is in the same area as the current homes.

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PLANNING DEPARTMENT

Pg 1082

8. **Impact on capacity of utilities, drainage systems and other improvements**

Septic and well water service are proposed for this new lot. No connection to a public utility is proposed so no impact is anticipated.

9. **No adverse effects on existing uses/no adverse effect on property values/maintenance of character of neighborhood**

This project will have no adverse neighborhood impacts. The use of the property will remain as a farmland and single family home use as it does today. The project will have a positive impact on property values in the area when the new home is built.

10. **Fire/public safety**

The site design provides for emergency access to the front of the proposed new home. The main driveway is of sufficient width to accommodate emergency vehicles.



P.O. BOX 1167
21 JEFFREY DRIVE
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FAX: 860.291.8757
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April 23, 2021

Planning and Zoning Commission
Town of Ellington
57 Main Street
Ellington, CT 06029

Re: Sunset Valley Farms Subdivision – 55 Kreyszig Road
Open Space Exemption

Dear Commission:

On behalf of our client David Mosser of 29 Sadds Mill Road in Ellington, CT, DPI is requesting an exemption from the open space requirements per section 4.18.7.1. The transfer of the land in the subdivision is less than 5 parcels (1) and is within the family indicated in the regulation for no consideration. The final subdivision plan will note this and that the new lot shall be liable for its proportional share of the 10% pre-subdivision fair market appraisal at the time of subsequent sale or transfer to a person not exempt if such a sale or transfer occurs within five years of the original subdivision approval.

Sincerely,

Suzanne P. Choate, P.E.
Senior Project Manager/Director

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APR 22 2021

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PLANNING DEPARTMENT



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Drainage Narrative
Sunset Valley Farms Subdivision
DPI No. 4552
April 23, 2021

Project Overview

Mr. David Moser is proposing to re-subdivide an existing 42.346 acre tract with existing home, into two (2) new lots. The lots will be 40.494 and 2.388 acres in size, respectively after the split. 0.536 acres for the new lot will be purchased from 20 Griswold Road for access. The proposed work will disturb approximately 70,567 SF+ (1.62 acres) of land. The proposed development will include construction of one new single-family home (existing to remain) with an associated gravel driveway, subsurface utilities, and landscaping. Refer to the site plan drawings, entitled – “Sunset Valley Farms Subdivision ~ Resubdivision ~ 55 Kreyszig & Griswold Road, East Windsor and Ellington, Connecticut” prepared by Design Professionals, Inc, dated April 23, 2021”, as amended, for information regarding the proposed property development.

Discussion on Impact

The existing site conditions at the location of the new lot can be classified as combination of grass and woodland areas. The proposed new house lot (Lot 2) will increase the impervious coverage within its boundary by 13.9%. All runoff from the site currently flows to a farm pond where some detention is expected to occur. Based on information from the owner it is anticipated that this farm pond is approximately 10' deep, providing an estimated 566,000 CF ± pool volume. The recommended water quality volume when considering all 3 lots, was determined based on recommend methods noted in the 2004 Connecticut Stormwater Quality Manual. This evaluation indicated that the proposed condition combined total area of the lots is 47.81 acres at ~10%. Water quality volume calculations are included with this statement. Results from the calculations indicated that more than 100% of the recommended water quality volume for the 3 lots can be stored in this farm pond. No additional drainage improvements are proposed.

Conclusion

The existing farm pond as discussed herein and shown on the referenced plans is appropriate for providing water quality treatment for the proposed house lot and should not pose any detrimental impacts to the environment. Feel free to contact us with any questions.

Regards,

Daniel Jameson, P.E.
Project Manager
Design Professionals, Inc.

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TOWN OF ELLINGTON
PLANNING DEPARTMENT

55 Kreyssig Road – DPI Project No.:4552
April 22, 2021

Water Quality Volume Calculations

Per 2004 Connecticut Stormwater Quality Manual, Section 7.4.1:

Areas for Calculation: Proposed Lots 1 (55 Kreyssig Road), Lot 2, and 20 Griswold Road

	Lot 1	Lot 2	20 Griswold Road
Impervious	4.05	0.33	.36
Pervious	36.44	2.06	4.57
Total Area	40.49	2.39	4.93
% Impervious	10%	13.9%	7.3%
Overall % Impervious		10%	
Total Area		47.81	

Water Quality Volume (WQV) = (1")(R)(A)/12, where:

R = unitless volumetric runoff coefficient = 0.05 + 0.009 (I), where:

I = percent impervious cover of drainage area = 10%

R = 0.05 + 0.009 (I)

R = 0.05 + 0.009 (10)

R = 0.14

A = drainage area in acres = 47.81 acres

WQV = (1")(R)(A acres)/12 inches per foot

WQV = (1")(0.14)(47.81 acres)/12 inches per foot

WQV = 0.558 acre-feet required = 24,306.48 cft

Proposed BMP

No new BMP is proposed. The existing farm pond (~10 ft deep) is expected to have approximately 566,000 cf ± of storage below its water surface elevation (ELEV 232±). The existing farm pond in its current condition will provide the more than 100% of the water quality volume for the 3 lots.

Pg 2 of 2

S202101



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April 23, 2021

Kenneth Braga
Inland Wetlands Agency Chairman
Town of Ellington
57 Main Street
Ellington, CT 06029

Re: Sunset Valley Farms Subdivision – 55 Kreyssig Road
Positive Referral Request

Dear Mr. Braga:

On behalf of our client David Mosser of 29 Sadds Mill Road in Ellington, CT, DPI is requesting a positive referral from the Inland Wetlands Agency for the proposed subdivision. Although wetlands are present on the exiting 55 Kreyssig Rad property, the new lot boundary will not fall within the wetland boundary or 100 FT regulated review area. Feel free to contact our office with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "DJ", is written over the word "Sincerely,".

Daniel H. Jameson, P.E.
Project Manager

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APR 22 2021

TOWN OF ELLINGTON
PLANNING & ZONING DEPARTMENT



Town of Ellington
Planning Department

MEMO

DATE: May 17, 2021

TO: Planning & Zoning Commission
cc. PZC Files S202101

FROM: Barbra Galovich, CZET, Land Use Assistant on behalf of the Inland Wetlands Agency

SUBJECTS: Proposed two lot re-subdivision
Sunset Valley Farm, LLC (Owners)
Assessor Parcel No. 156-004-0001, 55 Kreyssig Road

The Inland Wetland Agency made a determination for a proposed two (2) lot re-subdivision of 42.34 acres at their May 10, 2021 regular meeting. The following motion was made in reference to PZC application #S202101:

MOVED (BURNS) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO GRANT A POSITIVE REFERRAL TO THE PLANNING & ZONING COMMISSION PURSUANT TO CONN. GEN. STAT. 8-26(e) – Sunset Valley Farm, LLC owner/ David Moser, applicant, for a two (2) lot re-subdivision application (S202101) involving land regulated as an inland wetland or watercourse at property located at 55 Kreyssig Road, APN 156-004-0001.

Subject: FW: ReSubdivision & Special Permit Applications - 55 Kreyssig Rd
Attachments: image001.gif

From: David Moser [mailto:davidm@oakridgedairy.com]
Sent: Thursday, May 06, 2021 5:16 PM
To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; John Colonese <jcolonese@ELLINGTON-CT.GOV>
Subject: Re: ReSubdivision & Special Permit Applications - 55 Kreyssig Rd

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thanks Lisa,
We will address both of these and we are looking forward to the meeting on 5/24/21

On Thu, May 6, 2021 at 1:27 PM Lisa Houlihan <LHoulihan@ellington-ct.gov> wrote:

Dear David,

I hope this email finds you well. I've reviewed the proposed resubdivision application and have a couple comments.

- The plan narrative references favorable septic testing and that design plans are currently under review by North Central District Health Department (NCDHD). Please be advised that official written conceptual approval from NCDHD is required prior to the Planning and Zoning Commission (PZC) being able to render a decision on the proposed resubdivision application.
- The plans do not reflect a street number or assessor parcel number for the proposed new lot. If the PZC grants approval, the plans will have to be revised showing the street number and the assessor parcel number for the new lot prior to plans being filed on the land records formally creating the new parcel.

Rear lots are subject to Section 7.9 Rear Lot Requirements and Section 8.3 Special Permit Standards. The PZC has the ultimate authority to review these standards and will review the request for special permit during the public hearing scheduled for later this month (5/24/2021).

If you have any questions or if I can be of any additional assistance, please do not hesitate to contact me.

Very kind regards,

Lisa

Lisa M. Houlihan, AICP
Ellington Town Planner
PO Box 187 / 55 Main Street / Ellington, CT 06029
Phone: 860-870-3120 / Fax: 860-870-3122
Website: www.ellington-ct.gov / Email: lhoulihan@ellington-ct.gov /

Barbra Galovich

From: Barbra Galovich
Sent: Wednesday, May 19, 2021 9:21 AM
To: Susan Conte; Daniel Jameson; Davidm@oakridgedairy.com
Cc: Lisa Houlihan
Subject: FW: Sunset Valley Farms Resubdivision - S202101 & ZS202109

Good Morning,

Hope you are well. Please see the below comments from Dana Steele, P.E., Town Engineer pertaining to 55 Kreyszig Road and Griswold Road.

Thank you,
Barbra

Barbra Galovich, CZET
Land Use Assistant
Town of Ellington
55 Main Street
Ellington, CT 06029
(860) 870-3120

From: Dana Steele [mailto:dsteeler@jrrusso.com]
Sent: Wednesday, May 19, 2021 9:17 AM
To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Cc: John Colonese <jcolonese@ELLINGTON-CT.GOV>; Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Subject: Sunset Valley Farms Resubdivision - S202101 & ZS202109

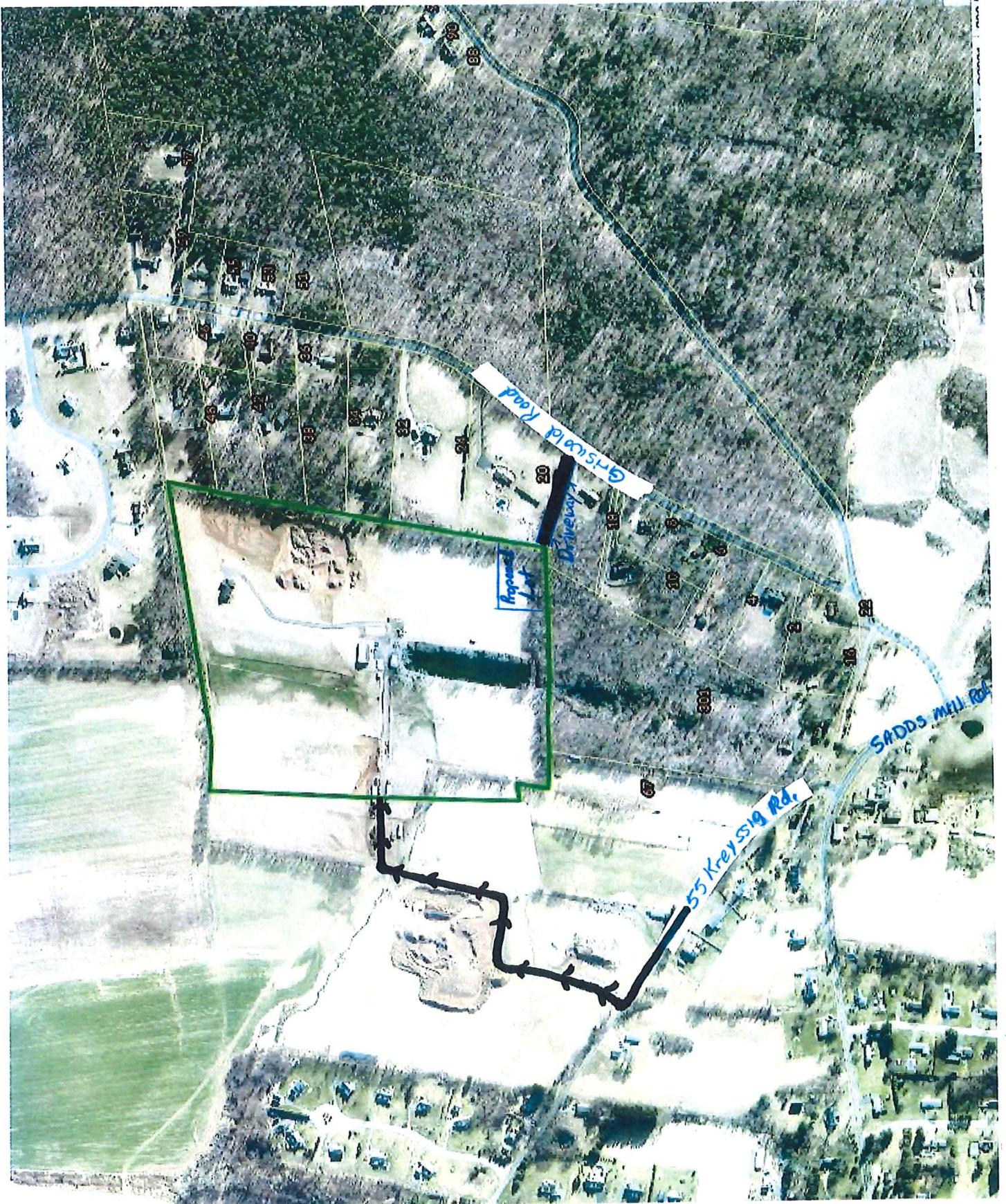
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Lisa,

I have reviewed the plans and calculations for Sunset Valley Farms at 55 Kreyszig Rd & Griswold Rd. The plans by Design Professionals include 5 sheets dated 4/23/21 and 2 sheets dated 2/12/21. The Drainage Narrative is also dated 4/23/21. My comments are as follows:

1. It appears that the proposed swale along the driveway will intercept runoff currently draining toward 18 Griswold, resulting in a decrease in runoff but this should be confirmed by calculations. The engineer should provide a pre and post watershed analysis at the discharge point to 18 Griswold Rd demonstrating no increase in runoff.
2. The proposed grading is creating concentrated runoff across property lines. The subdivision plans should include rights to drain for 20 Griswold Rd across lot 2 and for both 20 Griswold and Lot 2 to the pond on lot 1. A note on the plan would be sufficient.

Dana P. Steele, P.E.
Ellington Town Engineer



55 Kreyssig Road

S202101
Z202109

SUNSET VALLEY FARMS SUBDIVISION

RESUBDIVISION

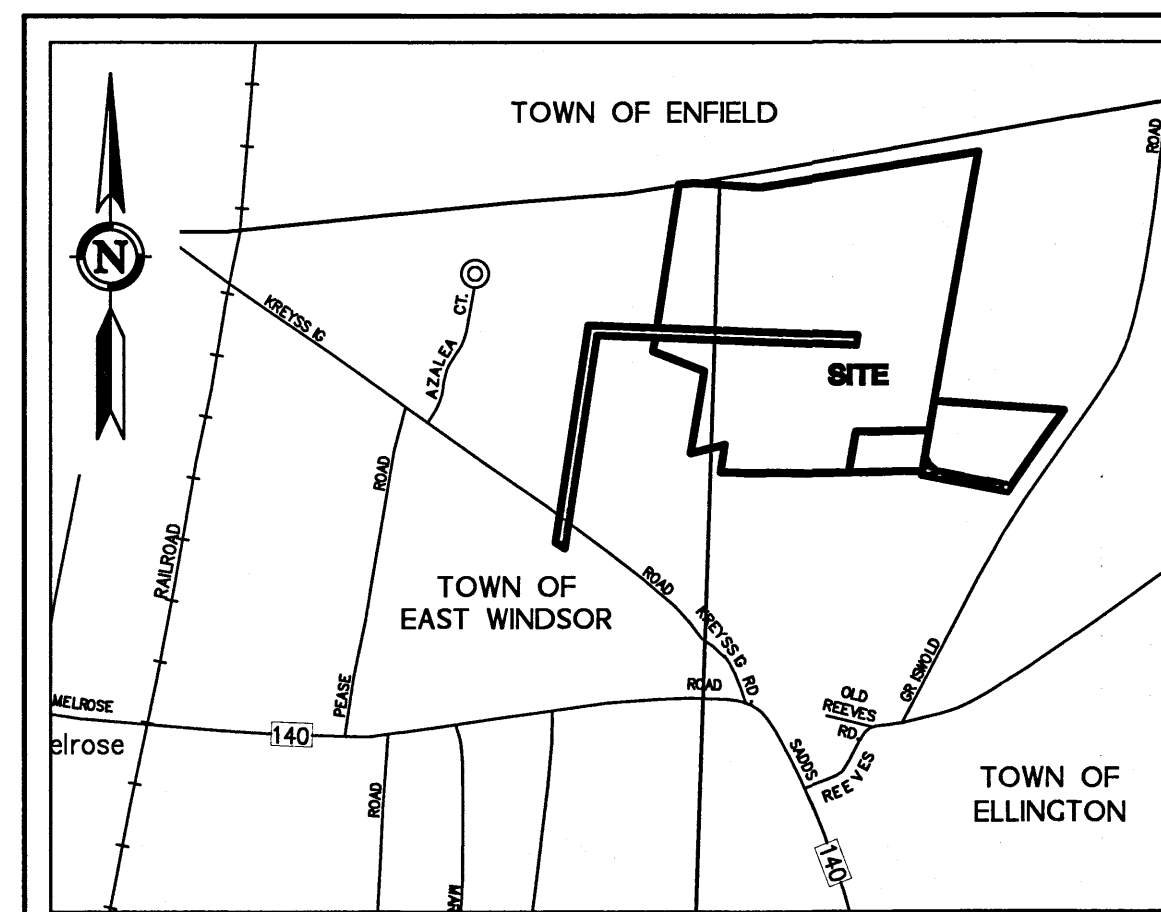
55 KREYSSIG RD & GRISWOLD RD ~ EAST WINDSOR & ELLINGTON ~ CT

MAP 156 ~ BLOCK 004 ~ LOT 0001

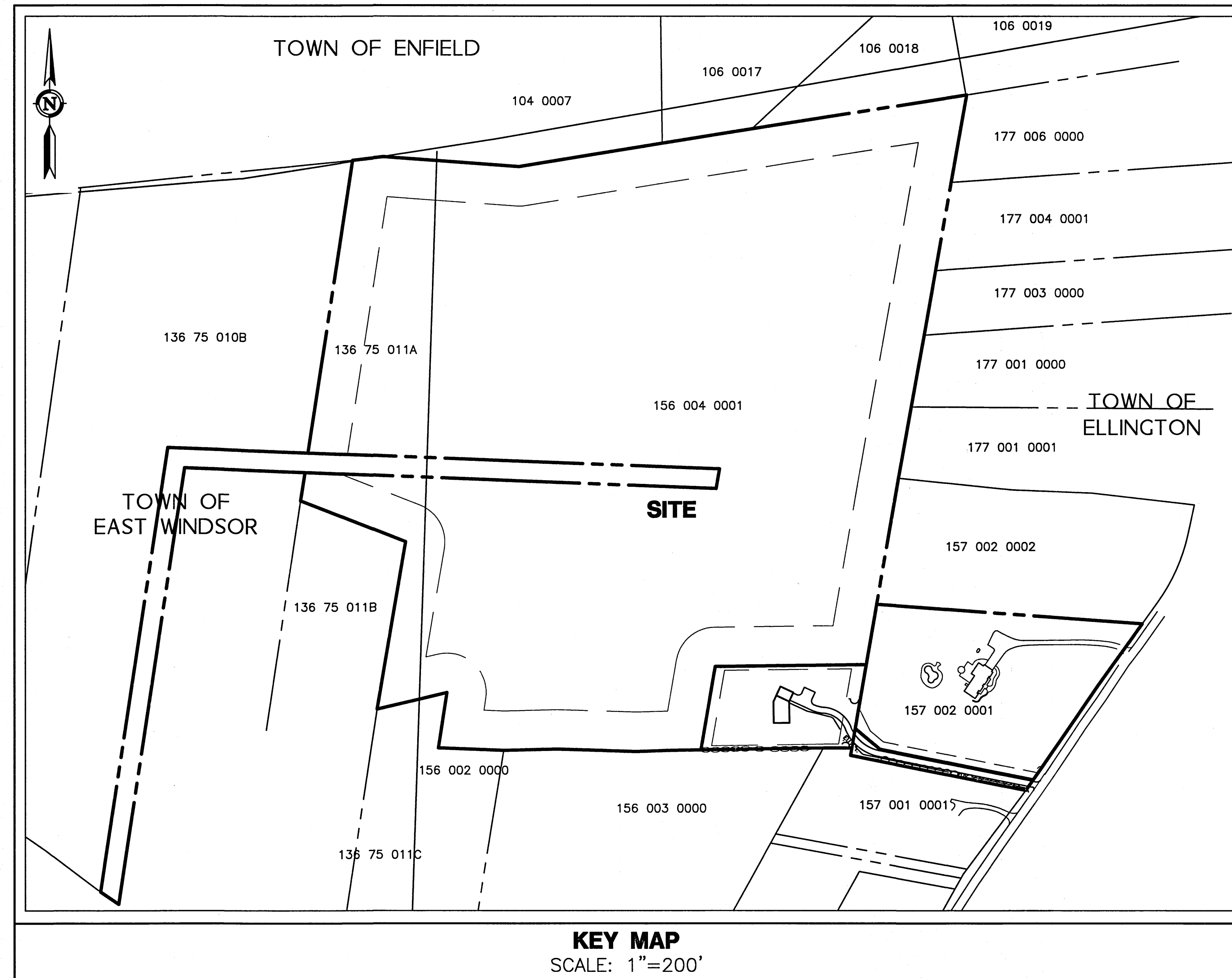
N/F ABUTTERS - ELLINGTON		
STREET ADDRESS	OWNER	PARCEL ID
34 GRISWOLD RD	FOGIL MARK S + KESSLER DENISE M	177 001 0000
48 GRISWOLD RD	BAHLER THOMAS D + LANAE	177 006 0000
42 GRISWOLD RD	MANGOLD MATTHEW E + TAMMIE R	117 004 0001
63 KREYSSIG RD	BEDNARZ ZACHARY MCCORD	156 002 0000
20 GRISWOLD RD	HOLDEN JAMES W	157 002 0001
32 GRISWOLD RD	WHEELER RICHARD H + LOUISE E - CO TRS OF WHEELER TRUST	177 001 0001
38 GRISWOLD RD	NORTON DANIEL J + DONNA L	177 003 0000
301 SADDIS MILL RD	GOODREAU REANNA L	156 003 0000
24 GRISWOLD RD	HOLDEN DAVID R + LORI P	157 002 0002
18 GRISWOLD RD	HARTNETT WILLIAM R JR + KESSLER-HARTNETT DIANNE	157 001 0001

N/F ABUTTERS - ENFIELD		
STREET ADDRESS	OWNER	PARCEL ID
BROAD BROOK RD	OAKRIDGE DAIRY LLC	104 0007
16 BELLAWOOD DR	RIVARD MARK A + DEBRA L	106 0017
18 BELLAWOOD DR	OLLSON JOHN K + JOANNE E	106 0018
20 BELLAWOOD DR	MCCANN DANIEL J + SANDRA L	106 0019

N/F ABUTTERS - EAST WINDSOR		
STREET ADDRESS	OWNER	PARCEL ID
KREYSSIG RD	SUNSET VALLEY FARMS LLC	136 75 011A
KREYSSIG RD	SUNSET VALLEY FARMS LLC	136 75 010B
KREYSSIG RD	BISSELL SALLY T & DERHAM RACHEL T TRUSTEE	136 75 011B
61 KREYSSIG RD	PARADIS JOHN & BEVERLY	136 75 011C



LOCATION MAP
SCALE: 1"=1,000'



KEY MAP
SCALE: 1"=200'

SHEET INDEX		
C-T1	COVER SHEET	1 of 7
V-1 & V-2	RESUBDIVISION PLAN	2-3 of 7
C-SP1	SITE PLAN	4 of 7
C-UT1	UTILITY PLAN	5 of 7
C-ES1	EROSION AND SEDIMENTATION CONTROL PLAN	6 of 7
C-D1	NOTE AND DETAILS	7 of 7

ZONING TABLE - 55 KREYSSIG RD (LOT 1)			
ZONE: RAR ZONE (RURAL AGRICULTURAL/RESIDENTIAL)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	1,844,592 SF	1,763,900 SF
LOT WIDTH	125' (W/ SEPTIC)	150.68'	667.02'
FRONT YARD	35'	N/A	N/A
SIDE YARD	10'	115.43'	115.43'
REAR YARD	25'	N/A	N/A
BUILDING HEIGHT	38'	<38'	<38'
LOT COVERAGE	25%	0.17%	10%±

ZONING TABLE - PROPOSED LOT 2			
ZONE: RAR ZONE (RURAL AGRICULTURAL/RESIDENTIAL)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	80,000 SF*	104,001 SF**	
LOT WIDTH	125' (W/ SEPTIC)	214.63'	
FRONT YARD	35'	170'	
SIDE YARD	10'	52.9'	
REAR YARD	25'	163.7'	
BUILDING HEIGHT	38'	<38'	
LOT COVERAGE	25%	13.9%	

NOTES:
* PER THE TOWN OF ELLINGTON ZONING REGULATIONS SECTION 7.9 (REAR LOT REQUIREMENT), THE MINIMUM LOT AREA SHALL BE 2X THE MINIMUM LOT SIZE REQUIRED FOR THE ZONE IN WHICH IT IS LOCATED.
** THE LOT AREA EXCLUDING THE ACCESS STRIP ONTO GRISWOLD RD IS 80,892 SF AND INCLUDING THE ACCESS STRIP IS A TOTAL OF 104,001 SF.

ZONING TABLE - 20 GRISWOLD RD			
ZONE: RAR ZONE (RURAL AGRICULTURAL/RESIDENTIAL)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	238,138 SF	214,829 SF
LOT WIDTH	125' (W/ SEPTIC)	389.51'	320.00'
FRONT YARD	35'	239.19'	239.19'
SIDE YARD	10'	128.90'	128.90'
REAR YARD	25'	256.78'	256.78'
BUILDING HEIGHT	38'	<38'	<38'
LOT COVERAGE	25%	6.6%	7.3%

NOTES:
* REQUESTING WAIVER TO SECTION 4.18 OF ELLINGTON ZONING REGULATION FOR OPENSOURCE / FEE-IN-LIEU OF REQUIREMENT FOR THE PORTION OF 20 GRISWOLD ROAD TO BE PURCHASED ONLY FOR ACCESS TO THE MAIN 104,001 SF LOT (PROPOSED LOT 2). PROPOSED LOT 2 WILL BE LESS THAN 5 ACRES AND WILL BE TRANSFERRED TO THE SON OF THE CURRENT OWNERS OF 55 KREYSSIG ROAD WITHOUT THE EXCHANGE OF FUNDS.

**PRELIMINARY
NOT FOR CONSTRUCTION**
THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:
* THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
* REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
* THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

APPROVED BY THE TOWN PLANNING AND ZONING COMMISSION OF THE TOWN OF ELLINGTON ON THIS _____ DAY OF _____, 20____, IN ACCORDANCE WITH SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, ALL WORK IN CONNECTION WITH SUBDIVISION MUST BE COMPLETED BY _____, 20____.

SECRETARY _____ CHAIRMAN _____

PROPERTY OWNER:
SUNSET VALLEY FARMS LLC
55 KREYSSIG ROAD
EAST WINDSOR, CT 06088

APPLICANT:
DAVID MOSER
29 SADDIS MILL ROAD
ELLINGTON, CT 06776
860-670-8321

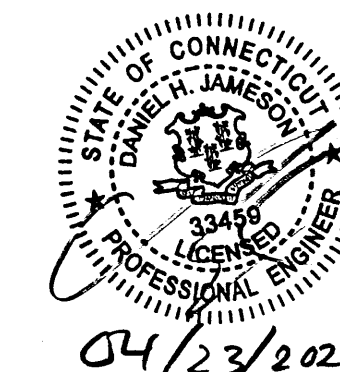
CIVIL ENGINEER & LAND SURVEYOR:

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PLANNERS / LANDSCAPE ARCHITECTS

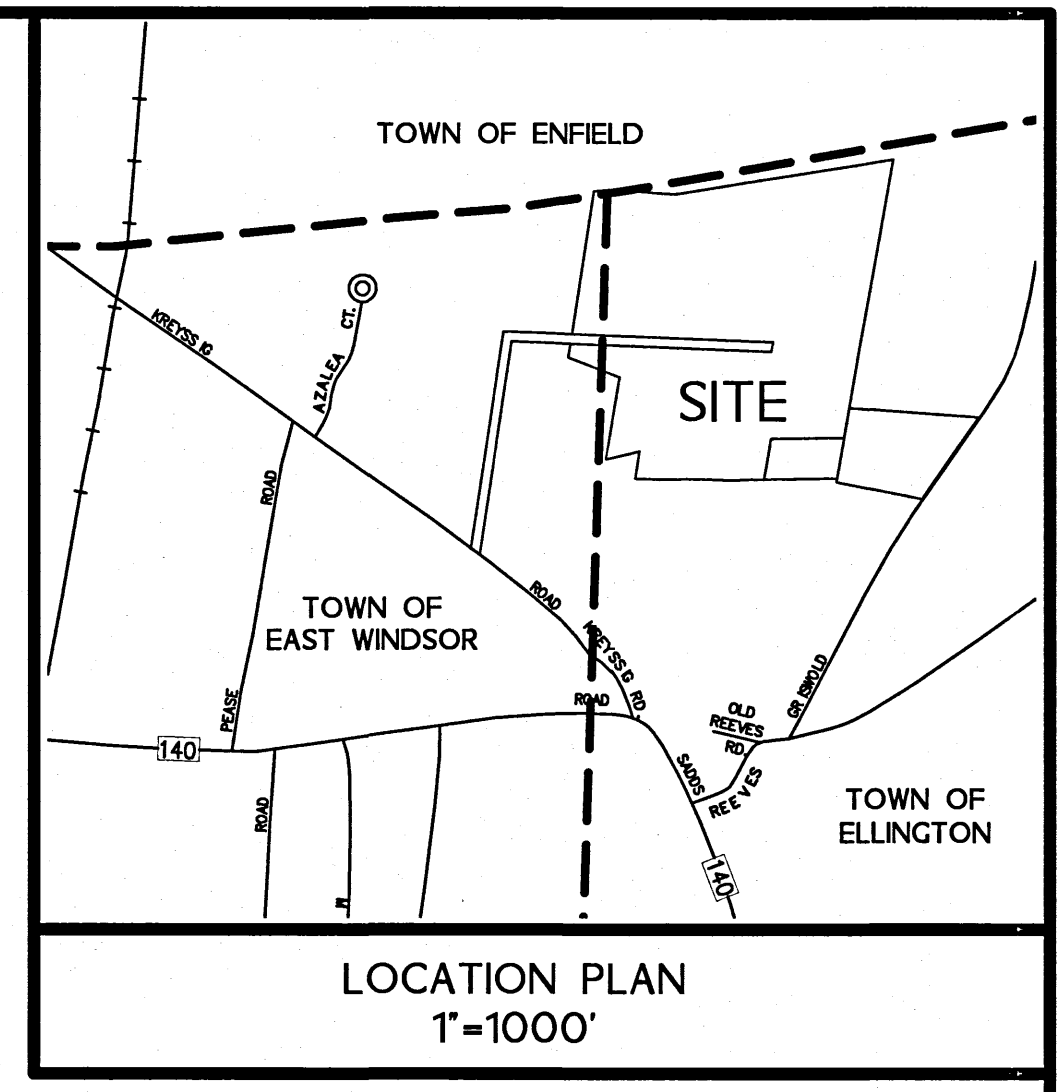
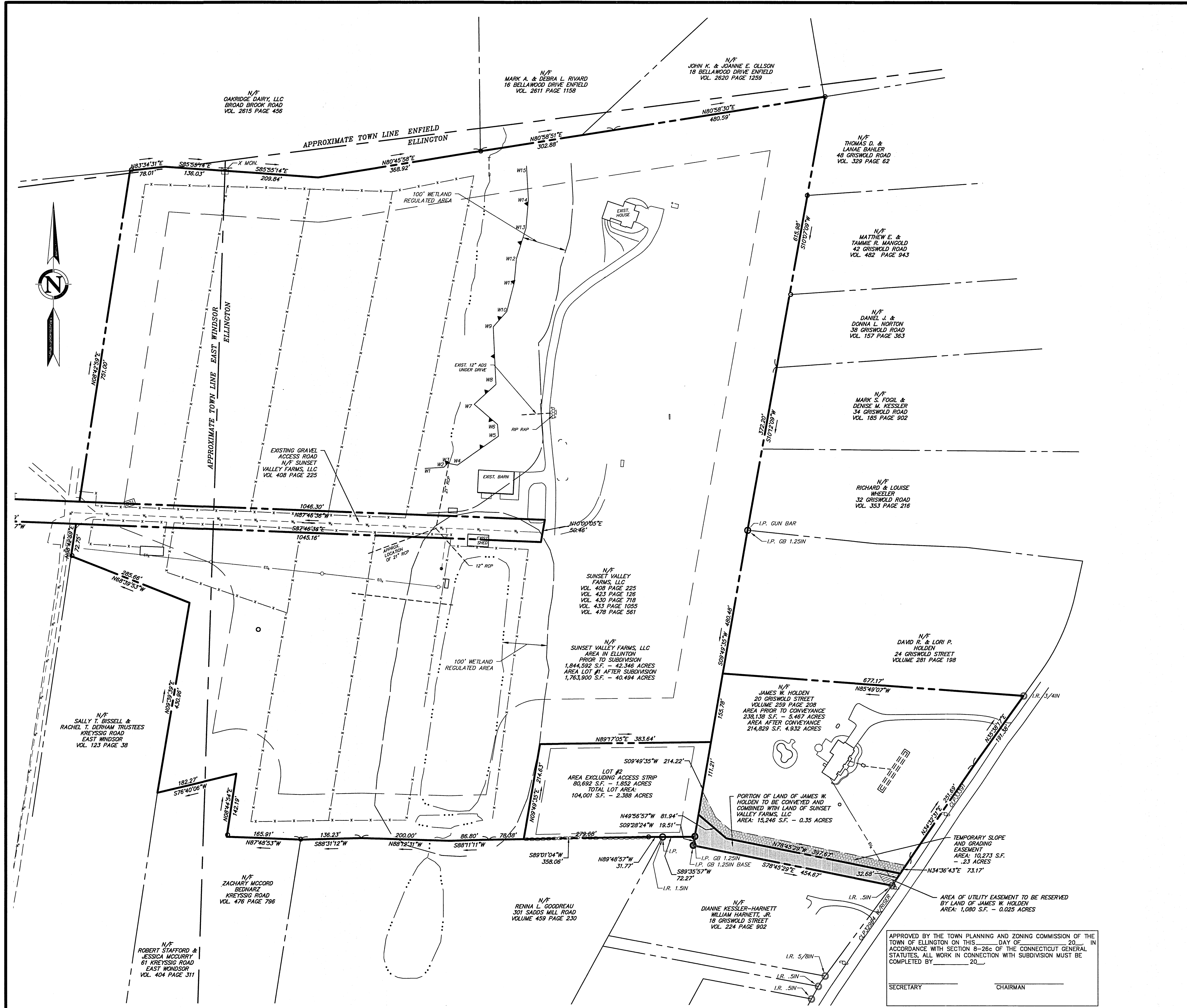
PREPARED FOR:
David Moser
29 SADDIS MILL ROAD
ELLINGTON, CT 06776
860-670-8321 T

SUNSET VALLEY FARMS SUBDIVISION
55 KREYSSIG ROAD AND GRISWOLD ROAD
EAST WINDSOR AND ELLINGTON, CONNECTICUT

NO.	DATE	REVISIONS

C-T1
SHEET 1 OF 7

APR 22 2021



NOTES:

1. PROPERTY IS IN THE RAR ZONE.
2. HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD83.
3. PROPERTY IS LOCATED IN FLOOD ZONE "X" AND DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 0901580005C TOWN OF ELLINGTON, CONNECTICUT. EFFECTIVE DATE: 2-5-1997 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
4. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.

MAP REFERENCES:

1. MAP OF PROPERTY OF EUGENE C. PURRINGTON ELLINGTON, CONNECTICUT BY: SCHINDLER SURVEYS DATED: 5-6-86 REV. 9-04-2001 SCALE: 1"=50'
2. PROPERTY SURVEY PROPERTY OF JAMES W. & DAVID R. HOLDEN GRISWOLD ROAD ELLINGTON, CONNECTICUT BY J.R. RUSSO & ASSOC., DATED: 8-20-99 SCALE: 1"=40'
3. PROPOSED SUBDIVISION PREPARED FOR GRISWOLD ROAD LLC ASSESSOR PARCEL 157-01-0000 GRISWOLD ROAD ELLINGTON, CONNECTICUT BY GARY B. LECLAIR DATED: 1-31-02 REV. THROUGH 5-21-05 SCALE: 1"=40'
4. LOT LINE RECONFIGURATION PLAN PREPARED FOR STEVE MOSER LAND BETWEEN VALLEY FARMS & SUNSET VALLEY FARMS, LLC BY J.R. RUSSO & ASSOC., LLC DATED: 3-16-2012 REV. 4-10-12 SCALE 1"=100'

RESUBDIVISION PLAN

SCALE: 0 50' 100' 200'
1" = 100'

REVISIONS

NO.	DATE	REVISIONS

PREPARED FOR:
MR. DAVID MOSER
29 SADDIS MILL ROAD
ELLINGTON, CT 06766

PROJECT NO.: 16786
DATE: 2-15-21
DESIGNED BY: BDC
CHECKED BY: BDC
SCALE: BDC

APPROVED BY:

 SECRETARY

APPROVED BY:

 CHAIRMAN

16786
LIC. NO.

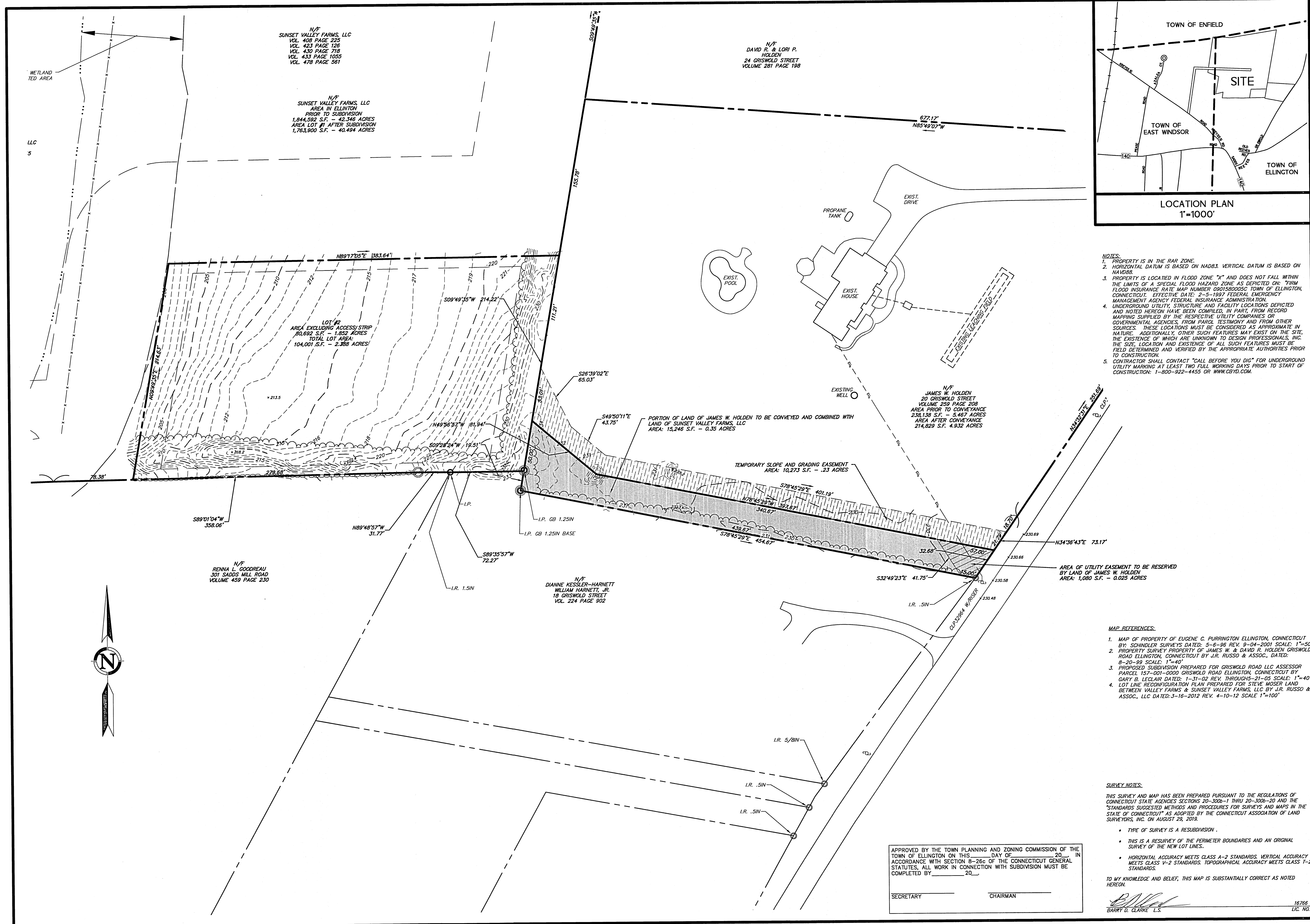
BARRY D. CLARKE, L.S.

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File: C:\yha\6552\Survey\Bare\6552_Survey_Base.dwg Layout: V-2 Plotted: 4/22/2021 9:18 AM Last Saved: 4/22/2021 9:07 AM Last Saved By: Barry Clarke



NOTES:

- PROPERTY IS IN THE RAR ZONE.
- HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD83.
- PROPERTY IS LOCATED IN FLOOD ZONE "X" AND DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON "TIRM FLOOD INSURANCE RATE MAP NUMBER 090158005C TOWN OF ELLINGTON, CONNECTICUT. EFFECTIVE DATE: 2-5-1997 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
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- CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.

MAP REFERENCES:

- MAP OF PROPERTY OF EUGENE C. PURRINGTON ELLINGTON, CONNECTICUT BY: SCHINDLER SURVEYS DATED: 5-6-96 REV. 9-04-2001 SCALE: 1"=50'
- PROPERTY SURVEY PROPERTY OF JAMES W. & DAVID R. HOLDEN GRISWOLD ROAD ELLINGTON, CONNECTICUT BY J.R. RUSSO & ASSOC., DATED: 8-20-89 SCALE: 1"=40'
- PROPOSED SUBDIVISION PREPARED FOR GRISWOLD ROAD LLC ASSESSOR PARCEL 157-001-0000 GRISWOLD ROAD ELLINGTON, CONNECTICUT BY GARY B. LECLAIR DATED: 1-31-02 REV. THROUGH-21-09 SCALE: 1"=40'
- LOT LINE RECONFIGURATION PLAN PREPARED FOR STEVE MOSER LAND BETWEEN VALLEY FARMS & SUNSET VALLEY FARMS, LLC BY J.R. RUSSO & ASSOC., LLC DATED: 3-16-2012 REV. 4-10-12 SCALE 1"=100'

SURVEY NOTES:

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A RESURVEY.
- THIS IS A RESURVEY OF THE PERIMETER BOUNDARIES AND AN ORIGINAL SURVEY OF THE NEW LOT LINES.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS T-2 STANDARDS.

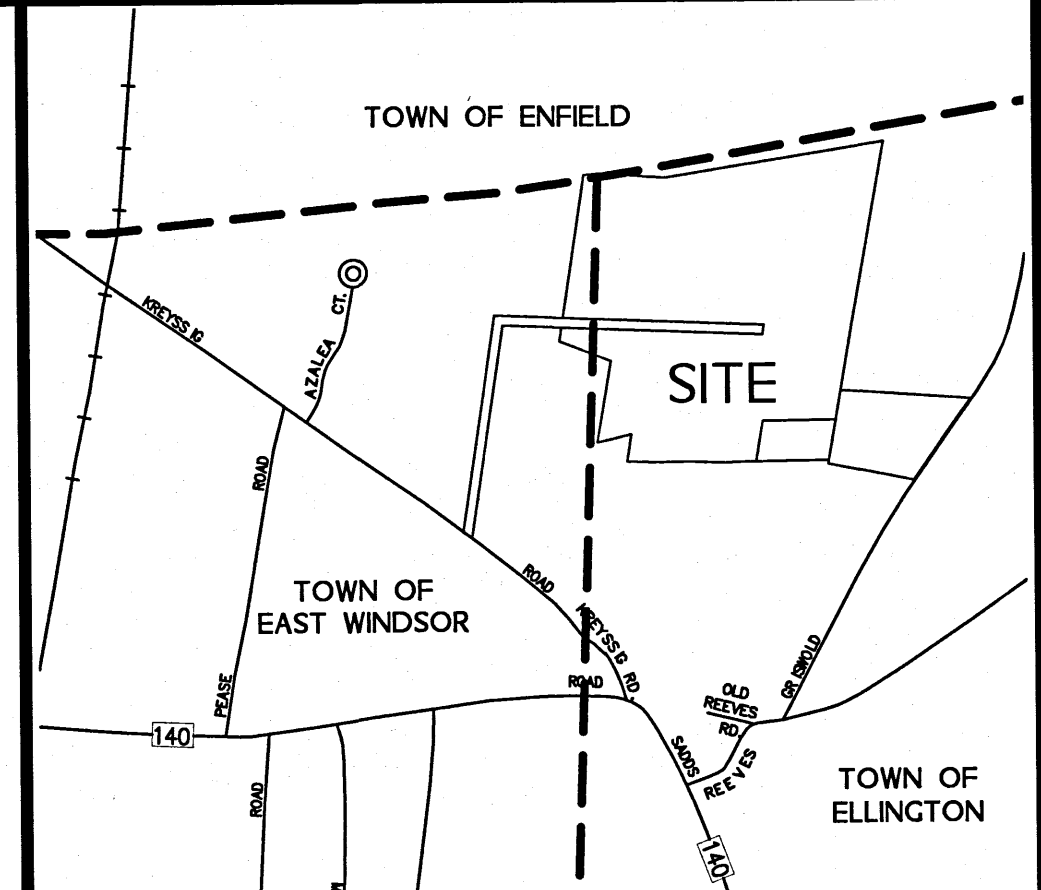
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

APPROVED BY THE TOWN PLANNING AND ZONING COMMISSION OF THE TOWN OF ELLINGTON ON THIS _____ DAY OF _____ 20____, IN ACCORDANCE WITH SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, ALL WORK IN CONNECTION WITH SUBDIVISION MUST BE COMPLETED BY _____ 20____.

SECRETARY _____ CHAIRMAN _____

16766
BARRY D. CLARKE, L.S.
LIC. NO.

LOCATION PLAN
1"=1000'



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PROJECT NO. 4572
DATE 4-22-21
DRAWN BY BDC
CHECKED BY LRK

PREPARED FOR
MR. DAVID MOSER
29 SADDIS MILL ROAD
ELLINGTON, CT 06766

SUNSET VALLEY FARMS, LLC
KREYSSIG ROAD
ELLINGTON, CONNECTICUT

NO.	DATE	REVISIONS

SCALE: 0 20' 40' 80'
1"=40'

SHEET
V-2

ZONING TABLE - 55 KREYSSIG RD (LOT 1)

ZONE: RAR ZONE (RURAL AGRICULTURAL/RESIDENTIAL)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	1,844,592 SF	1,763,900 SF
LOT WIDTH	125' (W/ SEPTIC)	150.68'	667.02'
FRONT YARD	35'	N/A	N/A
SIDE YARD	10'	115.43'	115.43'
REAR YARD	25'	N/A	N/A
BUILDING HEIGHT	38'	<38'	<38'
LOT COVERAGE	25%	0.17%	0.18%
IMPERVIOUS COVERAGE	N/A	N/A	N/A

ZONING TABLE - PROPOSED LOT 2

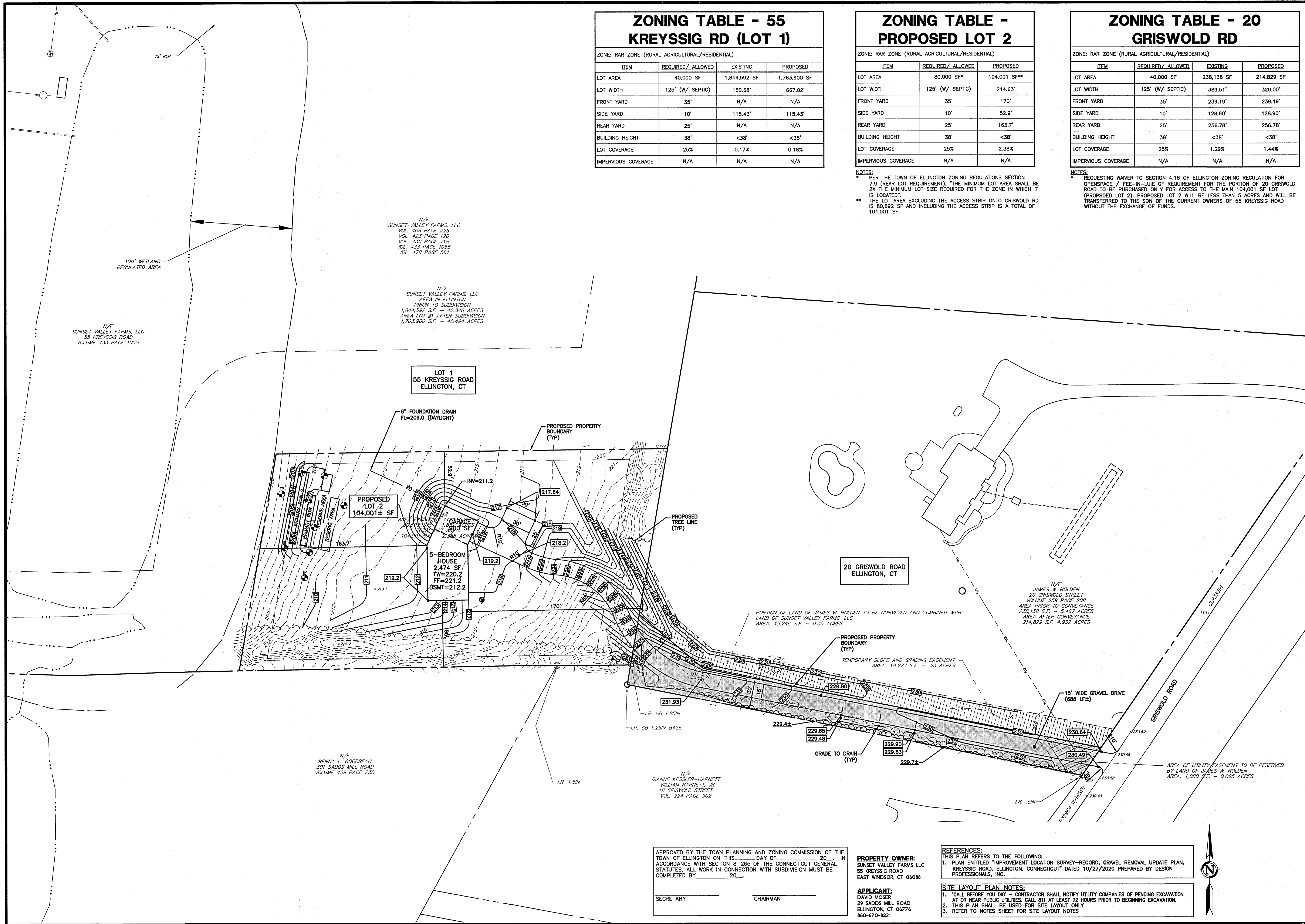
ZONE: RAR ZONE (RURAL AGRICULTURAL/RESIDENTIAL)		
ITEM	REQUIRED/ ALLOWED	PROPOSED
LOT AREA	80,000 SF*	104,001 SF**
LOT WIDTH	125' (W/ SEPTIC)	214.63'
FRONT YARD	35'	170'
SIDE YARD	10'	52.9'
REAR YARD	25'	163.7'
BUILDING HEIGHT	38'	<38'
LOT COVERAGE	25%	2.38%
IMPERVIOUS COVERAGE	N/A	N/A

ZONING TABLE - 20 GRISWOLD RD

ZONE: RAR ZONE (RURAL AGRICULTURAL/RESIDENTIAL)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	238,138 SF	214,829 SF
LOT WIDTH	125' (W/ SEPTIC)	389.51'	320.00'
FRONT YARD	35'	239.19'	239.19'
SIDE YARD	10'	128.90'	128.90'
REAR YARD	25'	256.78'	256.78'
BUILDING HEIGHT	38'	<38'	<38'
LOT COVERAGE	25%	1.29%	1.44%
IMPERVIOUS COVERAGE	N/A	N/A	N/A

NOTES:
 * PER THE TOWN OF ELLINGTON ZONING REGULATIONS SECTION 7.9 (REAR LOT REQUIREMENT), "THE MINIMUM LOT AREA SHALL BE 2X THE MINIMUM LOT SIZE REQUIRED FOR THE ZONE IN WHICH IT IS LOCATED".
 ** THE LOT AREA EXCLUDING THE ACCESS STRIP ONTO GRISWOLD RD IS 80,692 SF AND INCLUDING THE ACCESS STRIP IS A TOTAL OF 104,001 SF.

NOTES:
 * REQUESTING WAIVER TO SECTION 4.18 OF ELLINGTON ZONING REGULATION FOR OPENSPACE / FEE-IN-LIEU OF REQUIREMENT FOR THE PORTION OF 20 GRISWOLD ROAD TO BE PURCHASED ONLY FOR ACCESS TO THE MAIN 104,001 SF LOT (PROPOSED LOT 2). PROPOSED LOT 2 WILL BE LESS THAN 5 ACRES AND WILL BE TRANSFERRED TO THE SON OF THE CURRENT OWNERS OF 55 KREYSSIG ROAD WITHOUT THE EXCHANGE OF FUNDS.



APPROVED BY THE TOWN PLANNING AND ZONING COMMISSION OF THE TOWN OF ELLINGTON ON THIS _____ DAY OF _____, 20____, IN ACCORDANCE WITH SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES. ALL WORK IN CONNECTION WITH SUBDIVISION MUST BE COMPLETED BY _____, 20____.

SECRETARY _____ CHAIRMAN _____

PROPERTY OWNER:
 SUNSET VALLEY FARMS LLC
 55 KREYSSIG ROAD
 EAST WINDSOR, CT 06088

APPLICANT:
 DAVID MOSER
 29 SADDLES MILL ROAD
 ELLINGTON, CT 06776
 860-670-8321

REFERENCES:
 THIS PLAN REFERS TO THE FOLLOWING:
 1. PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY-RECORD, GRAVEL REMOVAL UPDATE PLAN, KREYSSIG ROAD, ELLINGTON, CONNECTICUT" DATED 10/27/2020 PREPARED BY DESIGN PROFESSIONALS, INC.

SITE LAYOUT PLAN NOTES:
 1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
 2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY.
 3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

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PREPARED FOR:
 David Moser
 29 Saddles Mill Road
 Ellington, CT 06776
 860-670-8321 T

SUNSET VALLEY FARMS SUBDIVISION
 55 KREYSSIG ROAD AND GRISWOLD ROAD
 EAST WINDSOR AND ELLINGTON, CONNECTICUT

NO.	DATE	REVISIONS

SITE PLAN

SCALE: 0' 20' 40' 80'
 T = 40'

SHEET
C-SP1
 SHEET 4 OF 7

SEPTIC SYSTEM INSTALLATION NOTES:

- CULTEC - RECHARGER 330XLHD CHAMBER SHOWN FOR ILLUSTRATIVE AND DESIGN PURPOSES. CONTRACTOR SHALL USE THIS PRODUCT OR APPROVED EQUIVALENT. APPROVAL IS TO BE GRANTED BY THE DESIGN ENGINEER AND THE TOWN OF SOUTH WINDSOR HEALTH DEPARTMENT.
- THE CONTRACTOR SHALL REFER TO THE CULTEC - RECHARGER 330XLHD CHAMBER FOR SEPTIC USE MANUFACTURING INSTRUCTIONS FOR INSTALLATION PROCEDURES.
- AVOID DIRECT CONTACT WITH CHAMBERS WHEN USING CONSTRUCTION EQUIPMENT. ONLY DRIVE ACROSS THE TRENCHES WHEN NECESSARY. NEVER DRIVE DOWN THE LENGTH OF THE TRENCHES. TO AVOID ADDITIONAL SOIL COMPACTION, NEVER DRIVE HEAVY VEHICLES OVER THE COMPLETED SYSTEM.
- THIS SEPTIC SYSTEM INSTALLATION INCLUDING ALL MATERIALS (PIPING, SEPTIC TANK, STONE, FILL, ETC.) USED FOR THIS SEPTIC SYSTEM SHALL CONFORM TO THE CURRENT EDITION/REVISION OF THE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS REVISED JANUARY 2018 OF THE CONNECTICUT PUBLIC HEALTH CODE BY THE STATE OF CONNECTICUT DEPARTMENT OF PUBLIC HEALTH.
- THE PROPOSED SEWER PIPE FROM THE BUILDING TO THE SEPTIC TANK SHALL BE PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2665 OR APPROVED EQUIVALENT LISTED IN TABLE NO. 2 OF THE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS. ALL OTHER EFFLUENT DISTRIBUTION SEWER PIPE FOR THIS SEPTIC SYSTEM SHALL BE PVC ASTM D 3034, SDR 35 WITH RUBBER COMPRESSION GASKET OR BELL AND SPIGOT WITH NO GASKETS OR APPROVED EQUIVALENT LISTED IN TABLE NO. 2-A OF THE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING THE INSTALLATION OF THE SUB-SURFACE SEWAGE SYSTEM TO PROTECT THE EXCAVATED AREAS FROM COLLECTING SEDIMENT DISCHARGES FROM THE SITE.
- TWO WELLS WERE IDENTIFIED ON THE PROPERTIES ADJUTING THE SITE. NO SEPTIC SYSTEM COMPONENTS ARE TO BE INSTALLED WITHIN THE IDENTIFIED 150' SEPARATION DISTANCE TO THE EXISTING WELLS.
- THERE SHALL BE NO STUMPS OR BOULDERS BURIED WITHIN 50' DOWN GRADIENT OF THE SEPTIC SYSTEM.
- SHOULD ANY SIGNIFICANT VARIATIONS FROM THE TEST PIT DATA BE ENCOUNTERED DURING EXCAVATIONS (LEDGE, GROUNDWATER, MOTTLING, SOIL TYPE, UNSUITABLE MATERIAL, ETC.), THE NORTH CENTRAL DISTRICT HEALTH DEPARTMENT AND THE DESIGN ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF THE SEPTIC SYSTEM.
- ALL EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
- NO DEVIATION FROM THE APPROVED DESIGN PLAN SHALL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND THE NORTH CENTRAL DISTRICT HEALTH DEPARTMENT.
- THE SEPTIC TANK SHALL BE PRECAST CONCRETE DESIGNED WITH TWO (2) ACCESS MANHOLES TO GRADE.
- THE NON-WOVEN FILTER FABRIC PLACED ABOVE THE LEACHING SYSTEMS APPROVED AGGREGATE, SHALL BE AN APPROVED FABRIC LISTED IN APPENDIX C OF THE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND BE INSTALLED IN A MANNER TO BE READILY VISIBLE TO FACILITATE INSPECTION.
- THE PROPOSED SEPTIC SYSTEM SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION.

- SECURE THE PERMIT TO CONSTRUCT FROM THE LOCAL HEALTH DEPARTMENT. PERMIT MUST BE OBTAINED BY A LICENSED SEPTIC INSTALLER.
- STRIP ALL TOPSOIL, VEGETATION AND ORGANIC MATERIAL IN THE AREA OF AND 5' SURROUNDING THE PRIMARY LEACHING SYSTEM AND REPLACE WITH SELECT FILL.
- COORDINATE WITH THE NORTH CENTRAL DISTRICT HEALTH DEPARTMENT FOR TIMELY INSPECTIONS AS THEY REQUIRE.
- INSTALL SEPTIC SYSTEM PER PLAN USING APPROVED INSTALLATION METHODS, SPECIFIED IN THE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS. STONE SHALL BE CT DOT NO. 4 OR 6 STONE AND SAND SHALL MEET MINIMUM SELECT FILL GRADATION REQUIREMENTS. CONTACT THE NORTH CENTRAL DISTRICT HEALTH DEPARTMENT FOR FINAL INSPECTION PRIOR TO BACKFILLING SYSTEM.
- COVER SYSTEM WITH A MINIMUM OF 6" OF LOAM IN LAWN AREAS, GRADE TO PREVENT PONDING AND SEED WITH GRASS TO STABILIZE. THE FINISHED GRADE 10' FROM ANY PART OF THE PROPOSED LEACHING SYSTEM SHALL BE AT LEAST THE SAME ELEVATION AS THE TOP OF THE SYSTEM.
- INSTALL ACCESS MANHOLES TO GRADE ABOVE THE INLET BAFFLE AND ABOVE THE OUTLET FILTER OF THE SEPTIC TANK AND PIPE CLEANOUTS TO GRADE AS INDICATED.

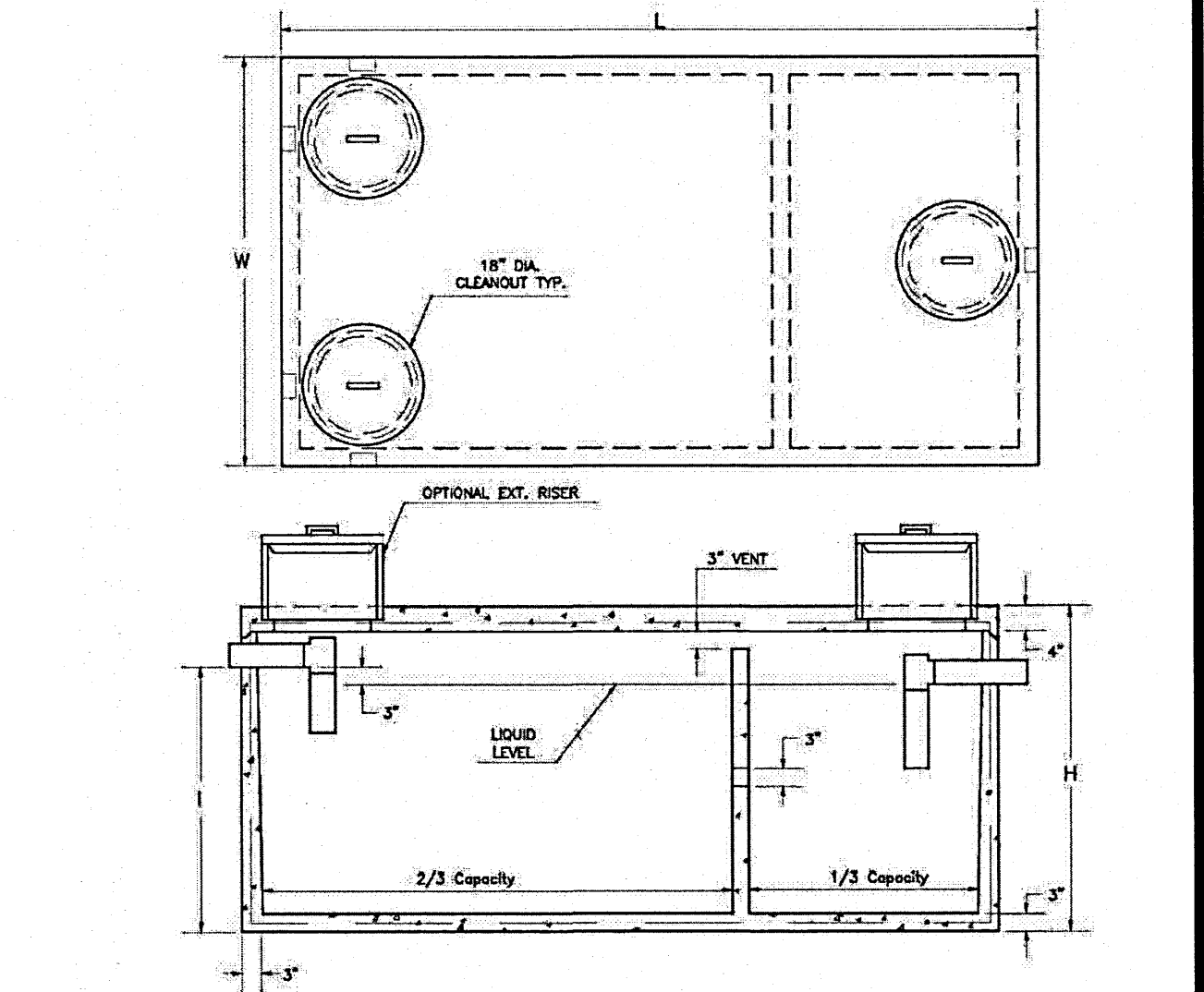
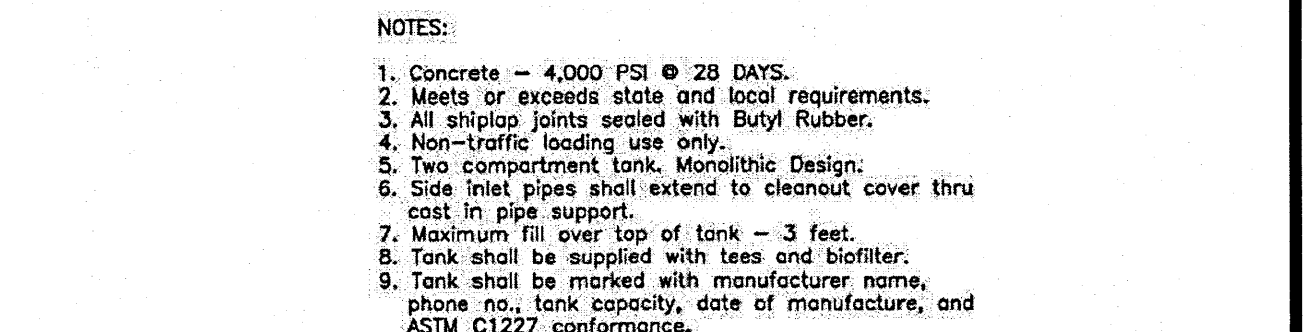
SEPTIC SYSTEM DESIGN

PROPOSED USAGE:
5 BEDROOM SINGLE FAMILY HOUSE
DESIGN PERCOLATION RATE:
10.1 - 20.0 MINUTES/INCH
REQUIRED EFFECTIVE LEACHING AREA:
900 SF

DESIGN:
1,250-GALLON (MINIMUM) SEPTIC TANK,
2-70" ROWS AND 1-21" ROW OF CULTEC 330
XLHD CHAMBERS (23 CHAMBERS).

LEACHING AREA PROVIDED:
(70'x70'+21') X 5.9 SF/LF = 949.9SF > 900 SF

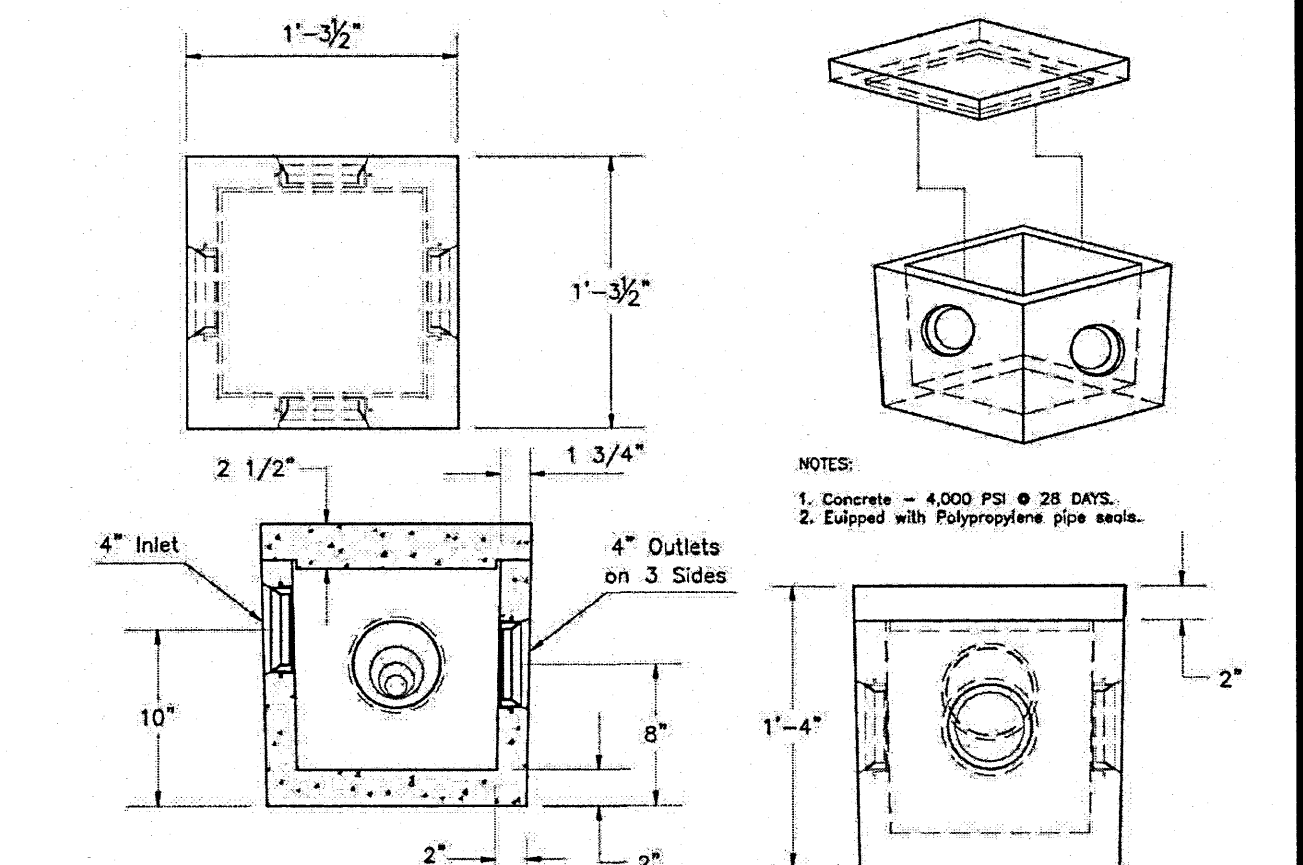
MINIMUM LEACHING SYSTEM SPREAD CALCULATION (MLSS)
*RESTRICTIVE LAYER FOR THE SITE WAS DETERMINED TO
BE > 60" BELOW EXISTING GRADE. NO MLSS REQUIRED.



MODEL NO.	LIQUID CAPACITY	LENGTH	WIDTH	INVERT	HEIGHT	WEIGHT (LBS.)
TI250RES	1250	10'-6"	5'-8"	3'-8"	4'-6"	9650

- NOTE:
- CONNECTICUT PRECAST CORP 1,250 GALLON REGULAR SEPTIC TANK DETAIL SHOWN FOR ILLUSTRATIVE PURPOSES. CONTRACTOR TO USE THIS PRODUCT OR APPROVED EQUAL.
 - IF EVIDENCE OF HIGH GROUNDWATER CONDITIONS EXIST DURING EXCAVATION OF SEPTIC TANK, CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO INSTALLATION. ADDITIONAL BALLAST MAY BE NECESSARY TO COUNTERACT BUOYANCY FORCES.

1,250 GALLON SEPTIC TANK
N.T.S.



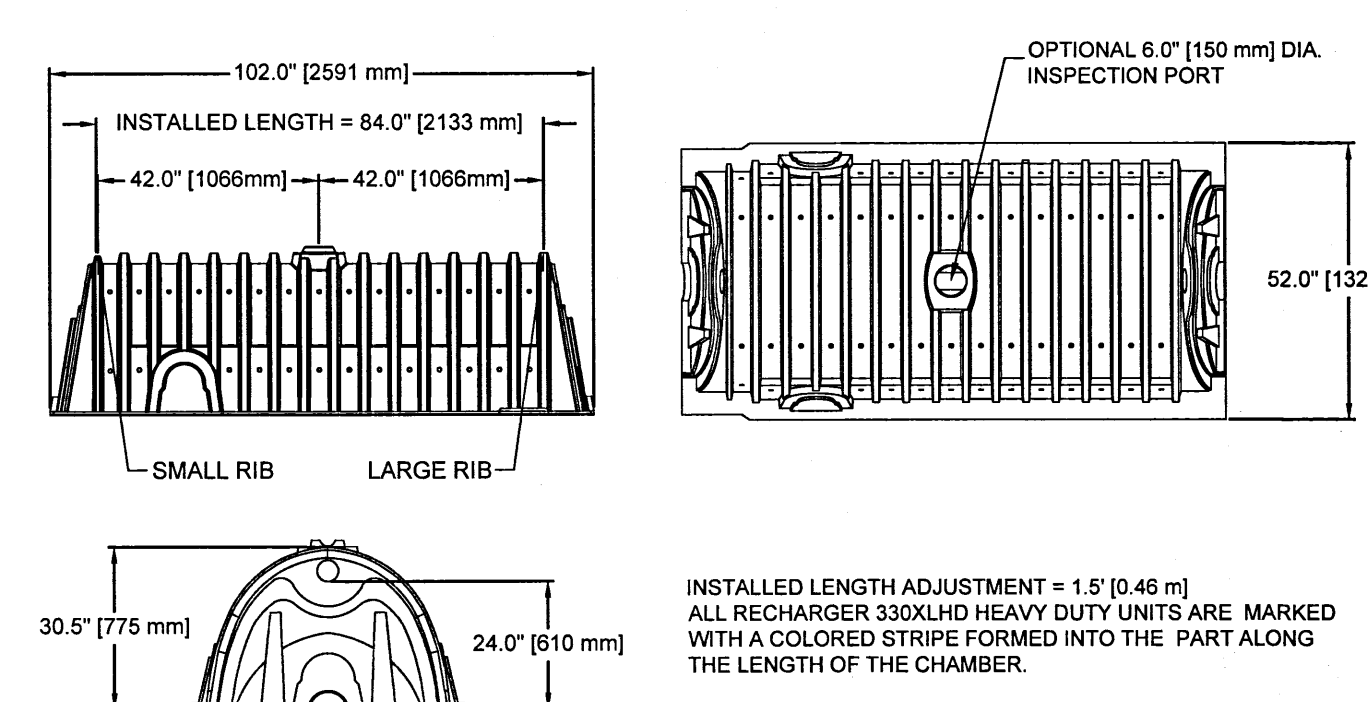
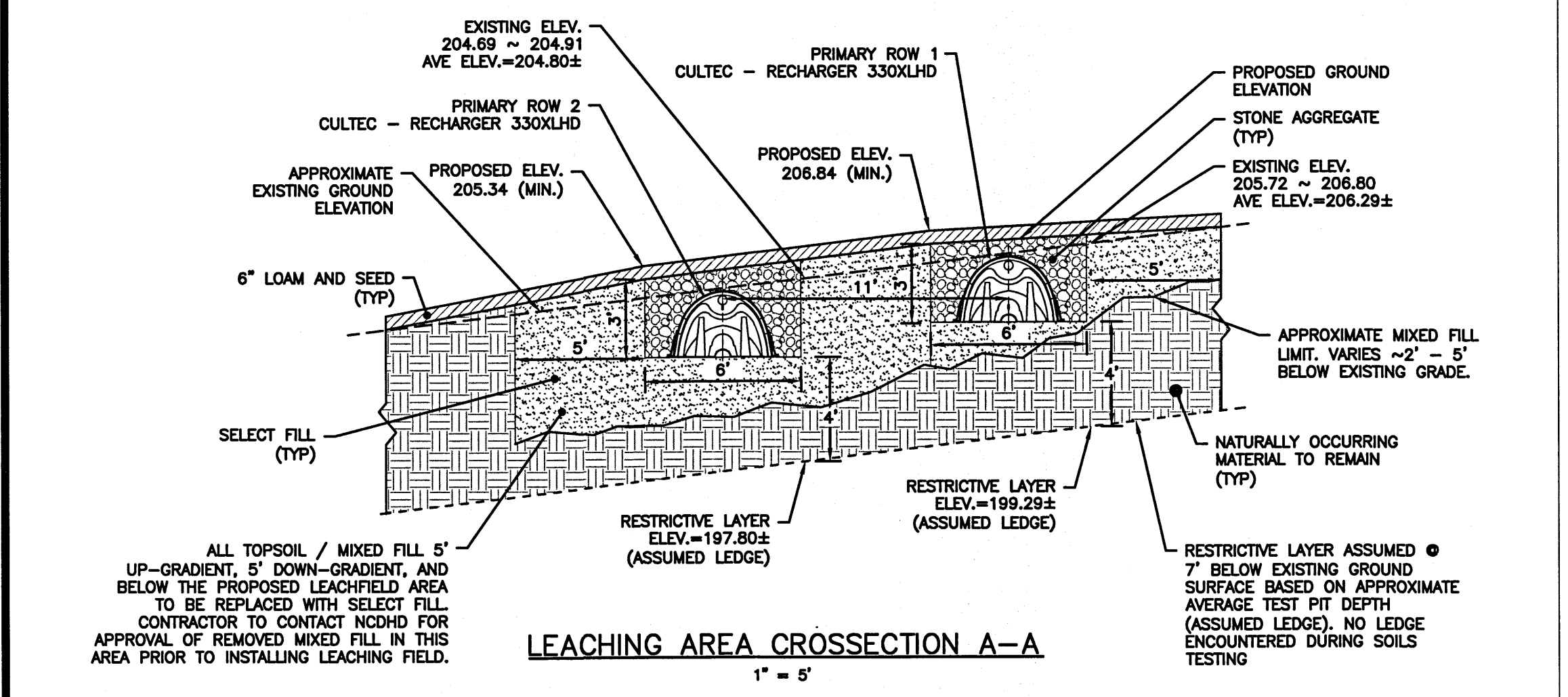
- NOTE:
- CONNECTICUT PRECAST CORP 3-OUTLET DISTRIBUTION BOX SHOWN FOR ILLUSTRATIVE PURPOSES. CONTRACTOR SHALL USE THIS PRODUCT OR APPROVED EQUAL.

CONCRETE DISTRIBUTION BOX
N.T.S.

DEEP TEST PIT RESULTS
The following deep test pits were witnessed by Westford Uro, D.S., R.S. Registered Sanitarian of the North Central District Health Department and Daniel Jameson, P.E., of Design Professionals, Inc. on 3/24/2021.

TEST PIT #	DEPTH	SOIL DESCRIPTION	NOTES
TEST PIT #100 (OMIT)	0 - 0.5'	MIXED FILL	
TEST PIT #101 (3/24/21)	0 - 2.1'	YELLOW BROWN SANDY LOAM	
TEST PIT #102 (3/24/21)	0 - 1.8'	YELLOW BROWN SANDY LOAM	
TEST PIT #103 (3/24/21)	0 - 1.3'	YELLOW BROWN SAND LOAM	
TEST PIT #104 (OMIT)	0 - 1.3'	YELLOW BROWN SAND LOAM	
TEST PIT #105 (OMIT)	0 - 1.3'	YELLOW BROWN SAND LOAM	
TEST PIT #106 (3/24/21)	0 - 3.5'	BROWN SANDY LOAM / TOPSOIL MIX (ORIGINAL TOPSOIL)	
TEST PIT #107 (3/24/21)	0 - 4.5'	BROWN SANDY LOAM / TOPSOIL MIX (ORIGINAL TOPSOIL)	
TEST PIT #108 (3/24/21)	0 - 1'	MIXED FILL	
TEST PIT #109 (3/24/21)	0 - 1.6'	BROWN SANDY LOAM / TOPSOIL MIX (ORIGINAL TOPSOIL)	
TEST PIT #110 (3/24/21)	0 - 1.6'	BROWN SANDY LOAM / TOPSOIL MIX (ORIGINAL TOPSOIL)	

PERC RATE = 16.67 MINS/INCH



CULTEC - RECHARGER 330XLHD CHAMBER DETAIL
N.T.S.

INSTALL LENGTH ADJUSTMENT = 1.5' (0.46 m)
ALL RECHARGER 330XLHD HEAVY DUTY UNITS ARE MARKED WITH A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.

SELECT FILL

- THE FILL SHALL BE INSTALLED TO EXISTING GROUND ELEVATION.
- THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THREE (3) INCHES.
- UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
- THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN RE-WEIGHED AND THE SIEVE ANALYSIS RESTARTED.
- THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

SIEVE SIZE:	% PASSING:	SIEVE SIZE:	% PASSING:
#4	100	#10	100
#10	70	#20	100
#20	10	#40	100
#40	0	#100	100
#100	0	#200	100
#200	0	#400	100
		#600	100
		#800	100
		#1000	100

NOTE:
*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

THE RESPONSIBILITY FOR THE PREPARATION OF A LEACHING AREA UTILIZING "SELECT MATERIAL" IS THAT OF THE LICENSED INSTALLER. THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOILS FROM OVERCOMPACTION AND SILTATION ONCE EXPOSED.

FILTER FABRIC SPECS

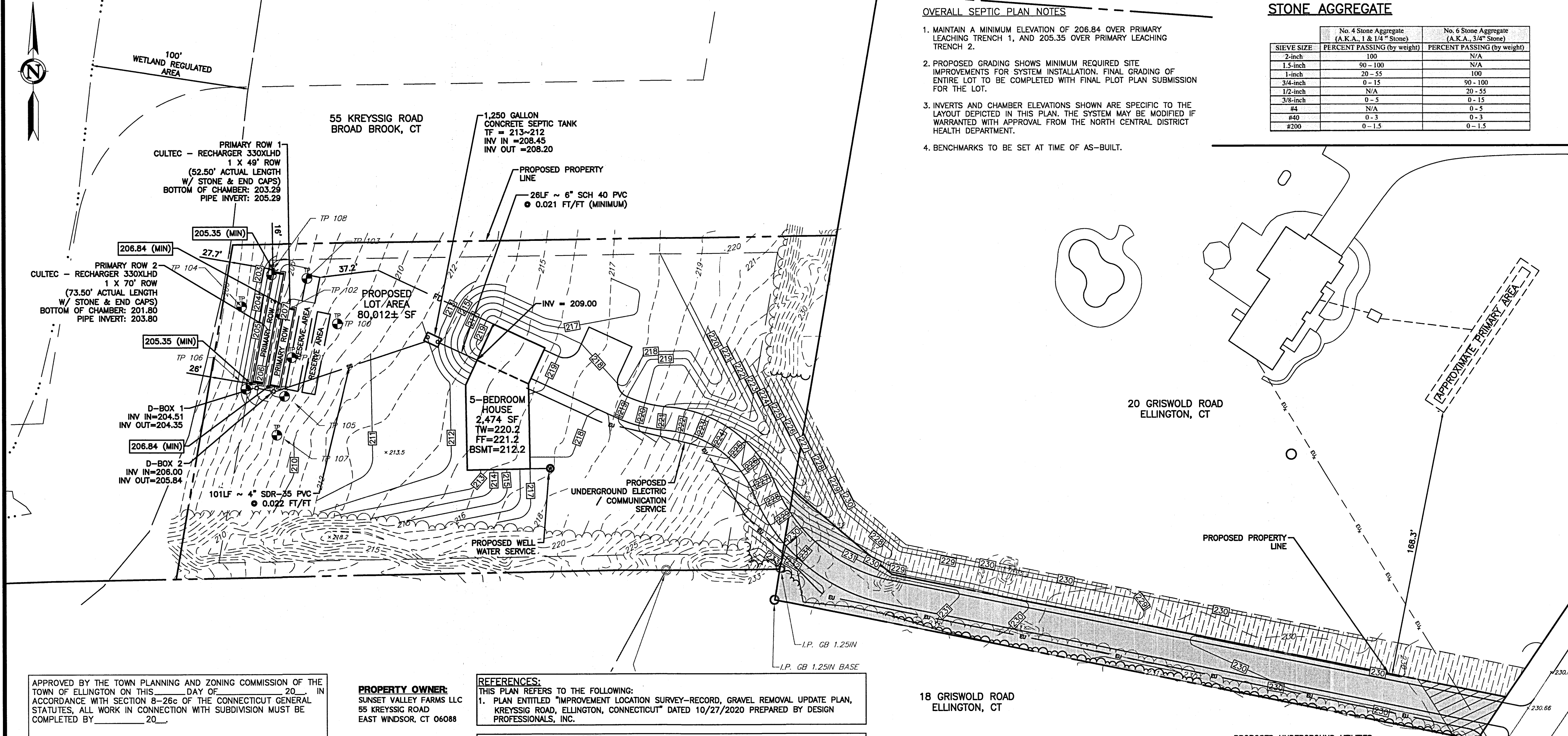
- UNIT WEIGHT - 1.5 OZ/YD PER ASTM D 5261
- PERMITTIVITY - 1.0 SEC⁻¹ (PER ASTM D 4491)
- TRAPEZOID TEAR STRENGTH - 15 LBS (PER ASTM D 4533)

STONE AGGREGATE

SIEVE SIZE	No. 4 Stone Aggregate (A.K.A. 1 & 1/4" Stone)		No. 6 Stone Aggregate (A.K.A. 3/4" Stone)	
	PERCENT PASSING (by weight)	PERCENT PASSING (by weight)	PERCENT PASSING (by weight)	PERCENT PASSING (by weight)
2-inch	100	N/A	100	N/A
1.5-inch	90 - 100	N/A	100	N/A
1-inch	20 - 55	100	100	N/A
3/4-inch	0 - 15	90 - 100	100	N/A
1/2-inch	N/A	20 - 55	100	N/A
3/8-inch	0 - 5	0 - 15	100	N/A
#4	N/A	0 - 5	100	N/A
#10	0 - 3	0 - 3	100	N/A
#200	0 - 1.5	0 - 1.5	100	N/A

OVERALL SEPTIC PLAN NOTES

- MAINTAIN A MINIMUM ELEVATION OF 206.84 OVER PRIMARY LEACHING TRENCH 1, AND 205.35 OVER PRIMARY LEACHING TRENCH 2.
- PROPOSED GRADING SHOWS MINIMUM REQUIRED SITE IMPROVEMENTS FOR SYSTEM INSTALLATION. FINAL GRADING OF ENTIRE LOT TO BE COMPLETED WITH FINAL PLOT PLAN SUBMISSION FOR THE LOT.
- INVERTS AND CHAMBER ELEVATIONS SHOWN ARE SPECIFIC TO THE LAYOUT DEPICTED IN THIS PLAN. THE SYSTEM MAY BE MODIFIED IF WARRANTED WITH APPROVAL FROM THE NORTH CENTRAL DISTRICT HEALTH DEPARTMENT.
- BENCHMARKS TO BE SET AT TIME OF AS-BUILT.



APPROVED BY THE TOWN PLANNING AND ZONING COMMISSION OF THE TOWN OF ELLINGTON ON THIS DAY OF 20__ IN ACCORDANCE WITH SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES. ALL WORK IN CONNECTION WITH SUBDIVISION MUST BE COMPLETED BY 20__.

PROPERTY OWNER:
SUNSET VALLEY FARMS LLC
55 KREYSSIG ROAD
EAST WINDSOR, CT 06088

REFERENCES:
1. PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY-RECORD, GRAVEL REMOVAL UPDATE PLAN, KREYSSIG ROAD, ELLINGTON, CONNECTICUT" DATED 10/27/2020 PREPARED BY DESIGN PROFESSIONALS, INC.

SITE LAYOUT PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY.
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

18 GRISWOLD ROAD
ELLINGTON, CT

PROPOSED UNDERGROUND UTILITIES
CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR FINAL LOCATION AND DESIGN OF ALL UTILITIES. (POWER, TELEPHONE, COMMUNICATION SERVICES ETC.)

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AND
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Design Professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
David Moser
29 SADDLES MILL ROAD
ELLINGTON, CT 06776
860-670-8321 T

PROJECT NO.: 4552
DATE: 4/23/21
DESIGNER: DM/DJH
CHECKER: DM/DJH
DATE: 4/23/21
SCALE: AS SHOWN

SUNSET VALLEY FARMS SUBDIVISION
55 KREYSSIG ROAD AND GRISWOLD ROAD
EAST WINDSOR AND ELLINGTON, CONNECTICUT

REVISIONS

SEPTIC & UTILITY PLAN

SHEET
C-UT1
SHEET 5 OF 7

CONSTRUCTION SEQUENCE:

- INSTALL CONSTRUCTION EXIT AT DRIVEWAY AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT INTO ADJACENT PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
- STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
- REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.
- ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
- PUMPED DISCHARGE FOR ANY Dewatering ACTIVITIES MUST UTILIZE SILT-SAC OR APPROVED EQUAL MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
- INSTALL DRIVEWAYS, PROPOSED SITE UTILITIES, TOPSOIL, GRASS SEED, AND MULCH.
- AFTER STABILIZATION OF UPGRADIENT CONTRIBUTING AREAS TO THE TEMPORARY SEDIMENT BASIN AND/OR TRAPS, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND PERMANENT STABILIZATION SHALL BE PLACED.
- MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
- ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

EROSION & SEDIMENTATION CONTROL NARRATIVE

- PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
- CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEPED CLEAN AT ALL TIMES.
- AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, SHALL BE STABILIZATION WITH FINAL VEGETATION WITHIN 7 DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDING WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE. WINTER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIED AT THE SAME RATE WITH A TACKIFIER PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:

MULCH:	RATE:
STRAW	90# / 1000 S.F.
TEMPORARY SEEDING:	RATE:
PERENNIAL RYEGRASS	1.0# / 1000 S.F.
- DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
- AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.

- AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL, STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER COVER, WHILE IN MOTION, OPEN ROADS, TRUCKS OR OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
- THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
- THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
- ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
- CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
- IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
- FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

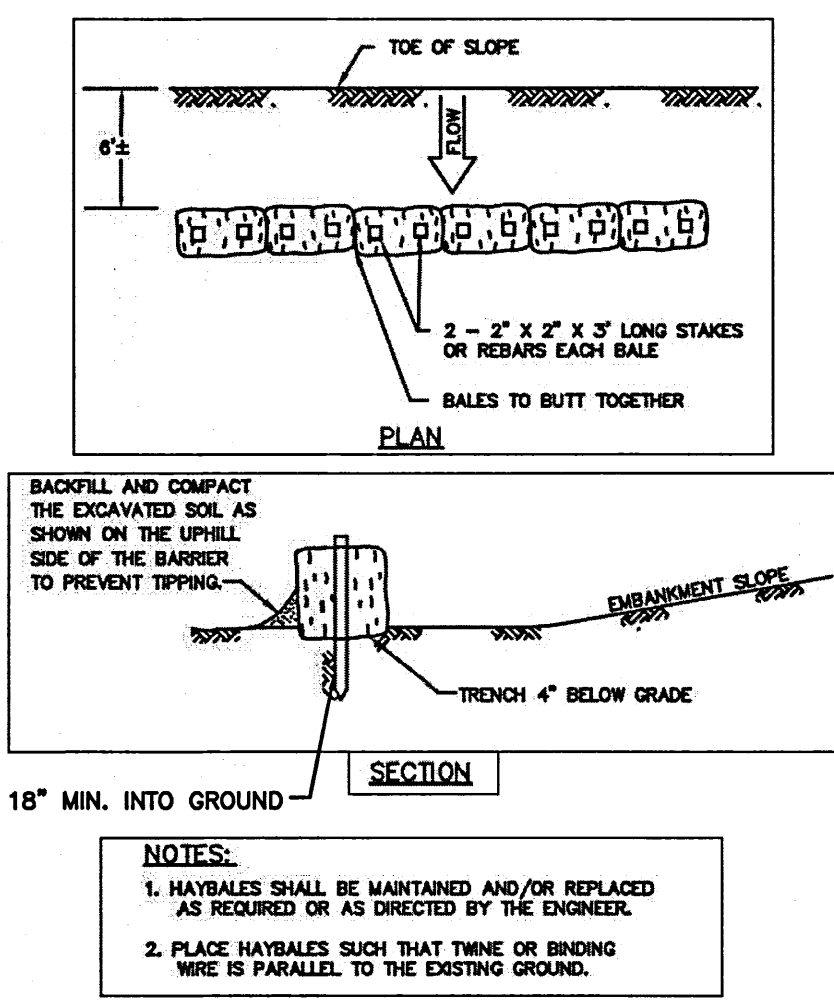
ESTIMATED CONSTRUCTION START DATE - SUMMER 2021
ESTIMATED COMPLETION DATE - SPRING 2022

CONSTRUCTION DUST CONTROL NOTES

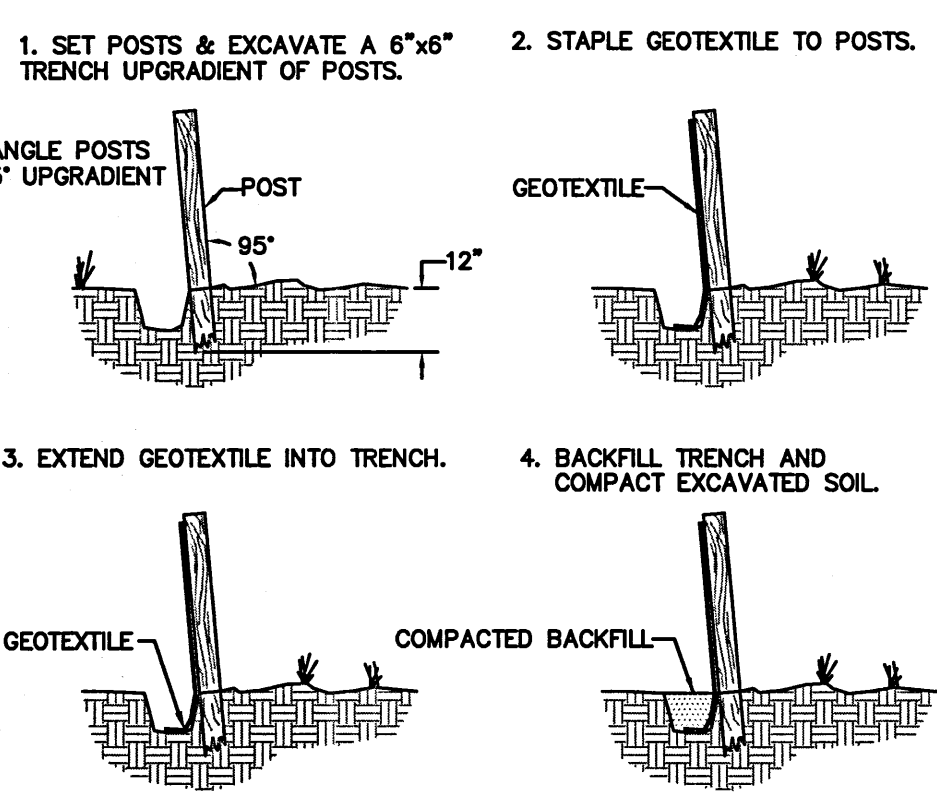
- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT, ON UNPAVED TRAVELWAYS AND TEMPORARY HAUL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, POND AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES, GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOIL'S PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF THE APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES,

- PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.
- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SAW CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT UNPAVED AREAS. SWEEP AREA IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE, COMPLEX SURFACTANT, COPOLYMERS OR HIGH GRADE LATEX ACRYLICS. THE SOLUTIONS SHALL BE NONASPHALTIC, NONTOXIC TO HUMAN, ANIMAL AND PLANT LIFE, NONCORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.

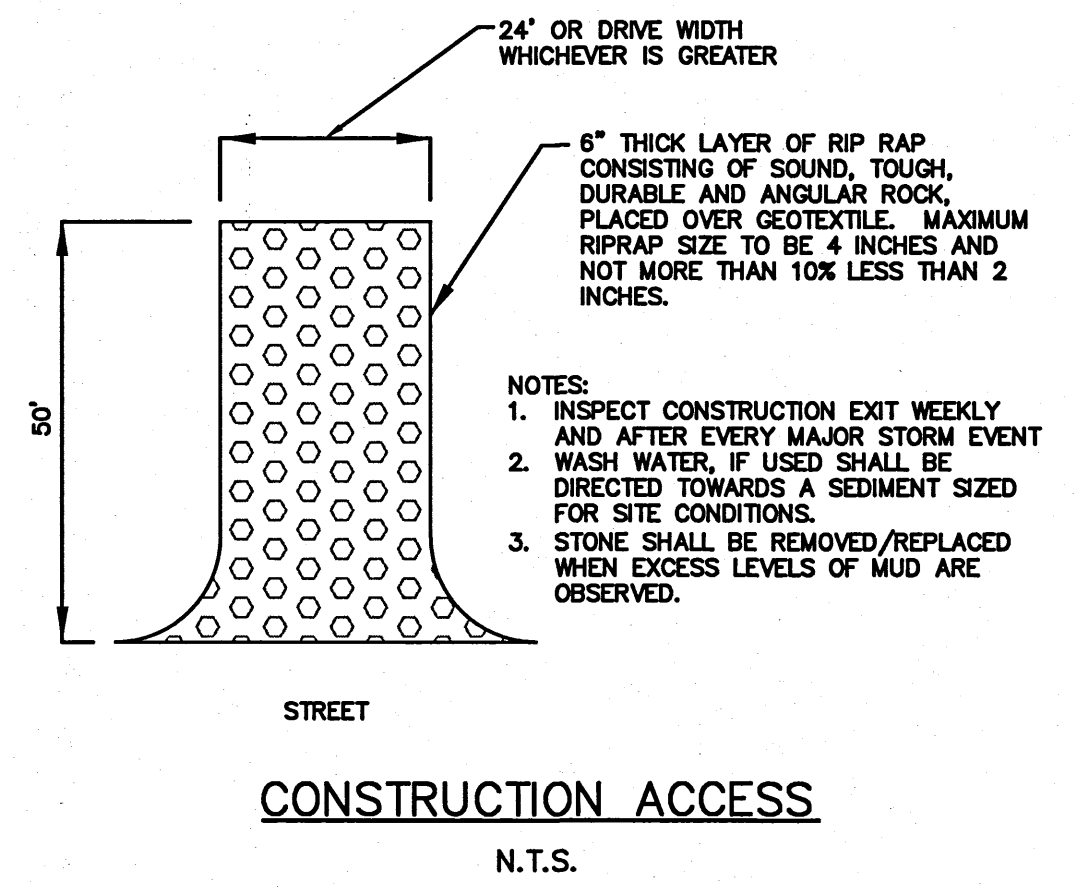
PROJECT CONTACT INFO:
DAVID MOSER
[860-670-8321]



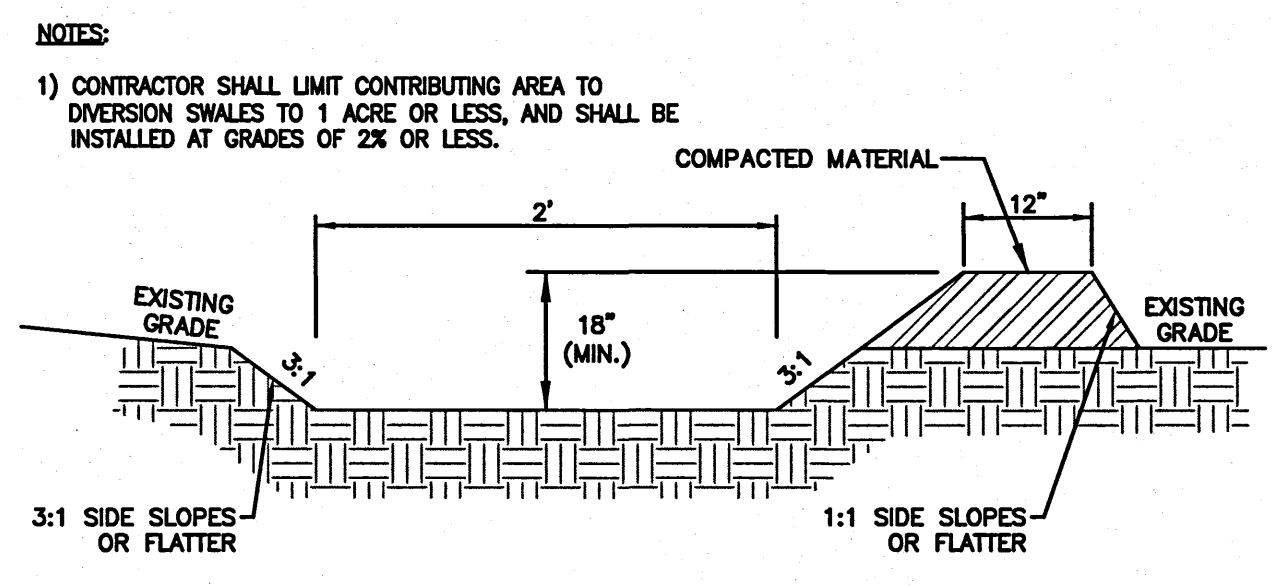
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N.T.S.



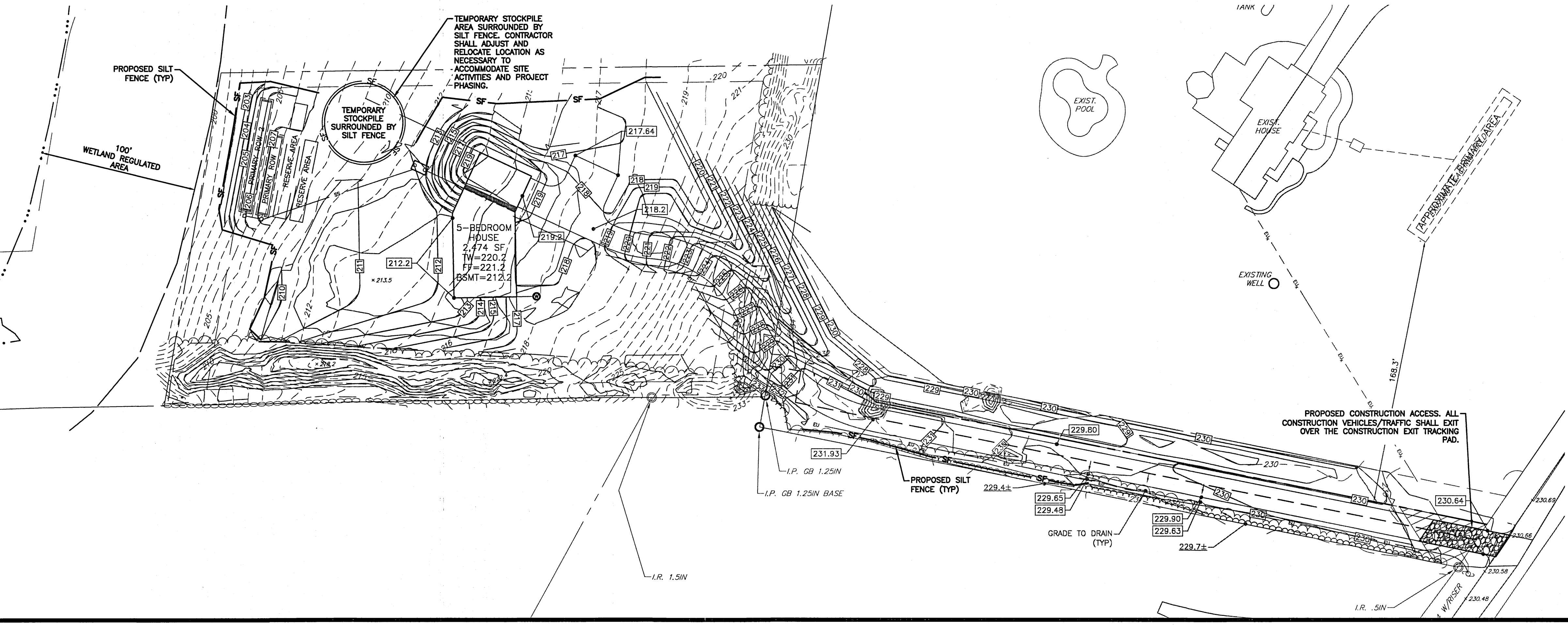
SILT FENCE
N.T.S.



CONSTRUCTION ACCESS
N.T.S.



TEMPORARY DIVERSION SWALE
N.T.S.



PROPERTY OWNER:
SUNSET VALLEY FARMS LLC
55 KREYSSIG ROAD
EAST WINDSOR, CT 06088

APPLICANT:
DAVID MOSER
29 SADD MILL ROAD
ELLINGTON, CT 06776
860-670-8321

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY-RECORD, GRAVEL REMOVAL UPDATE PLAN, KREYSSIG ROAD, ELLINGTON, CONNECTICUT" DATED 10/27/2020 PREPARED BY DESIGN PROFESSIONALS, INC.

EROSION & SEDIMENTATION CONTROL PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

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PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
David Moser
29 SADD MILL ROAD
ELLINGTON, CT 06776
860-670-8321 T

PROJECT NO. 2020-01
DATE 4/23/21
SCALE CM/DHI
DRAWN BY CM
CHECKED BY BW/DHI

SUNSET VALLEY FARMS SUBDIVISION
55 KREYSSIG ROAD AND CRISWOLD ROAD
EAST WINDSOR AND ELLINGTON, CONNECTICUT

EROSION & SEDIMENTATION CONTROL PLAN

NO. DATE REVISIONS

SCALE 0' 20' 40' 80'
T = 40'

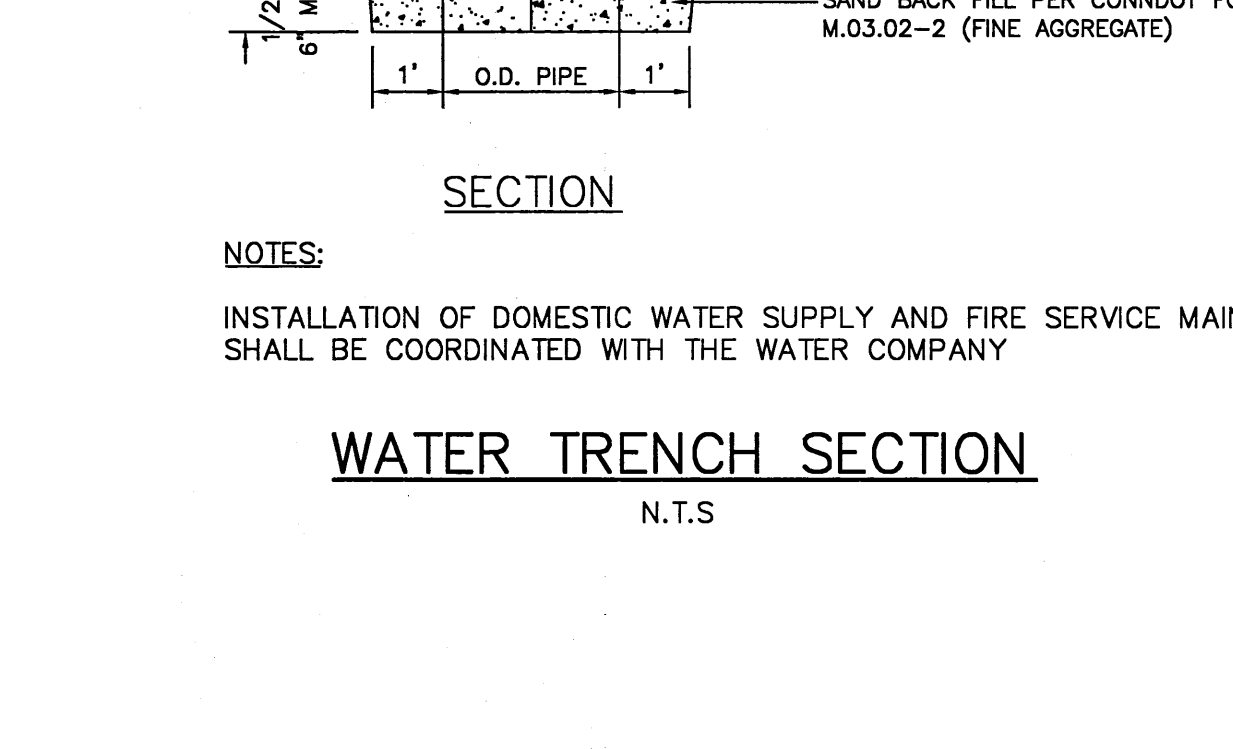
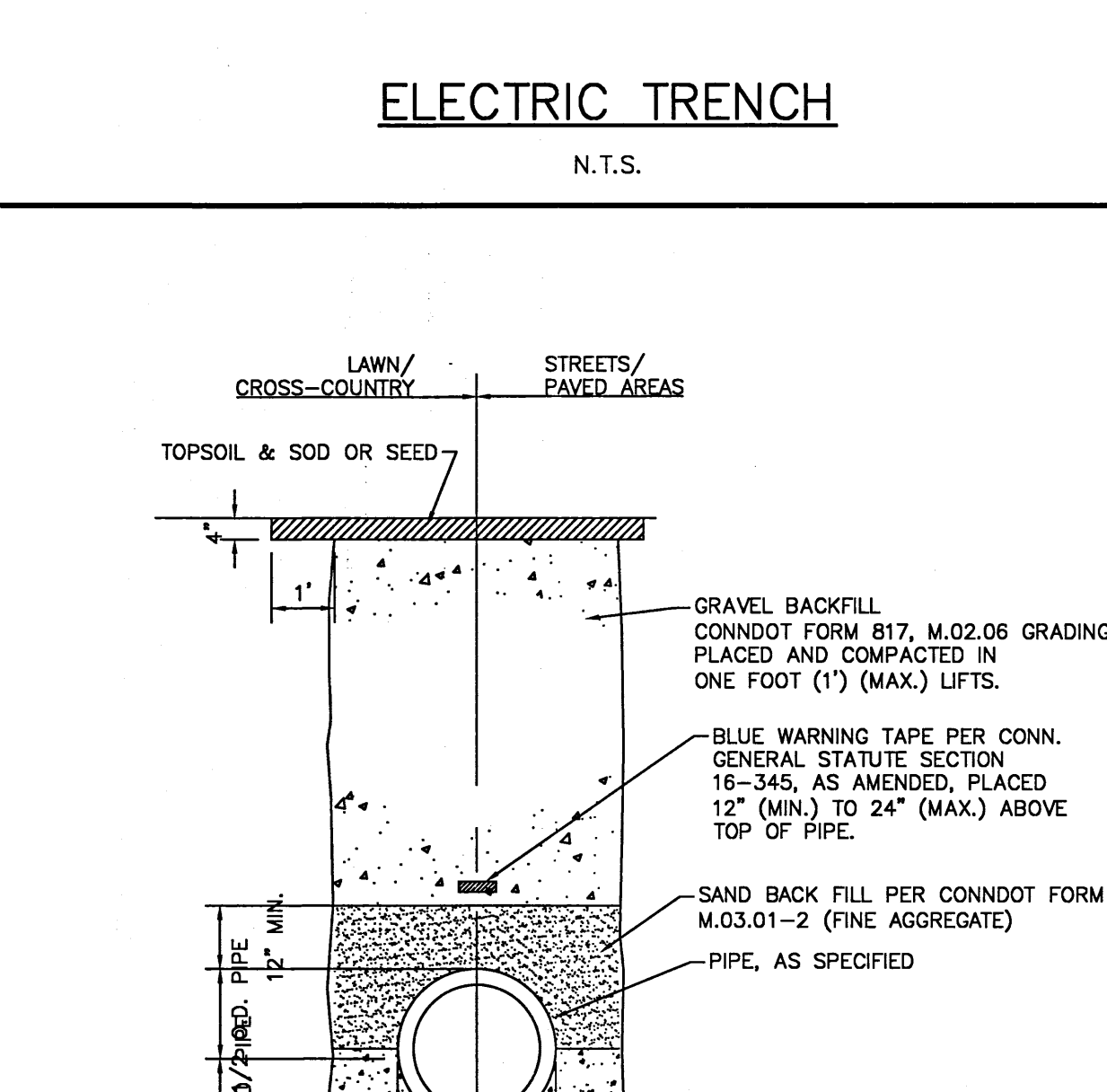
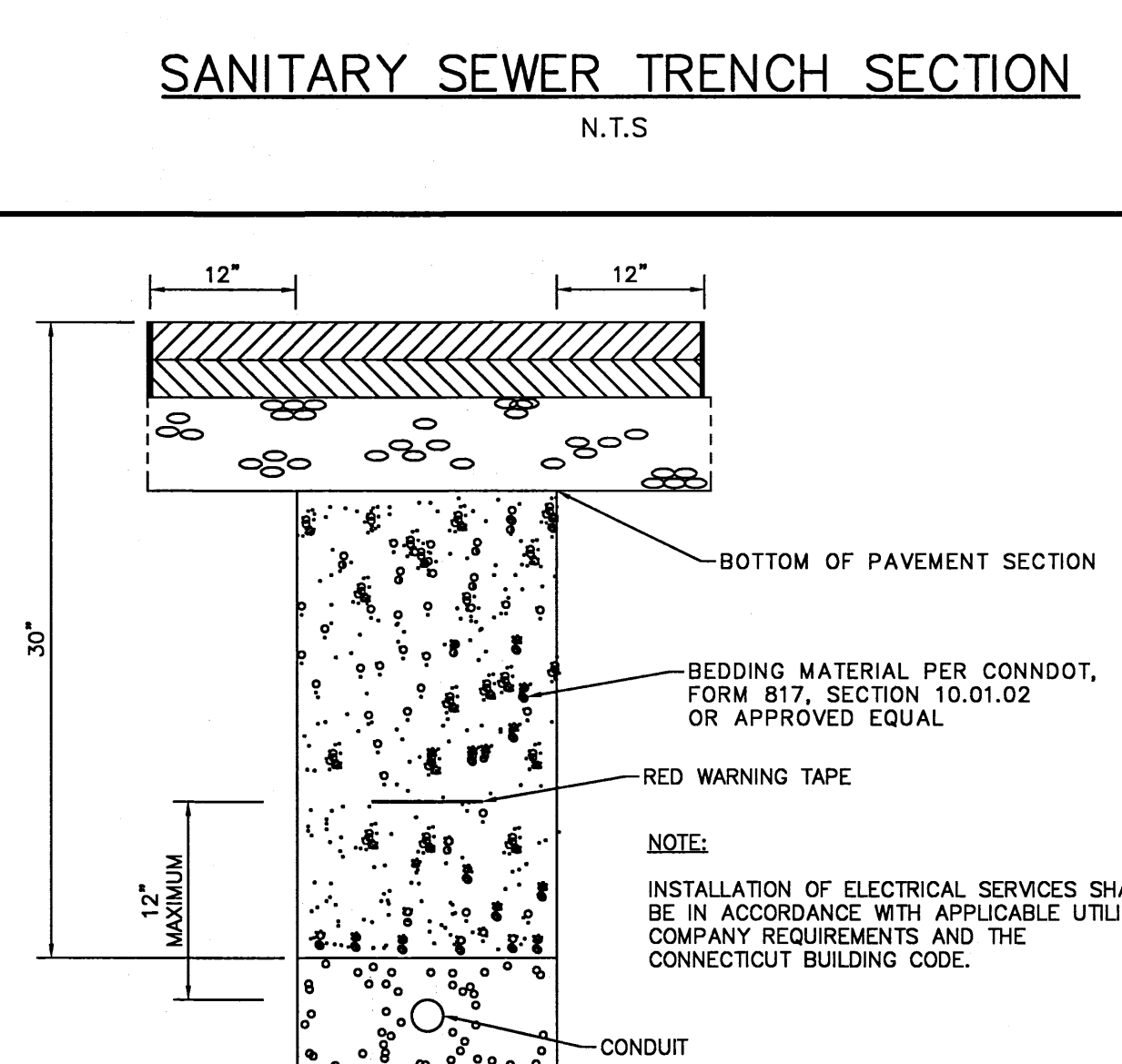
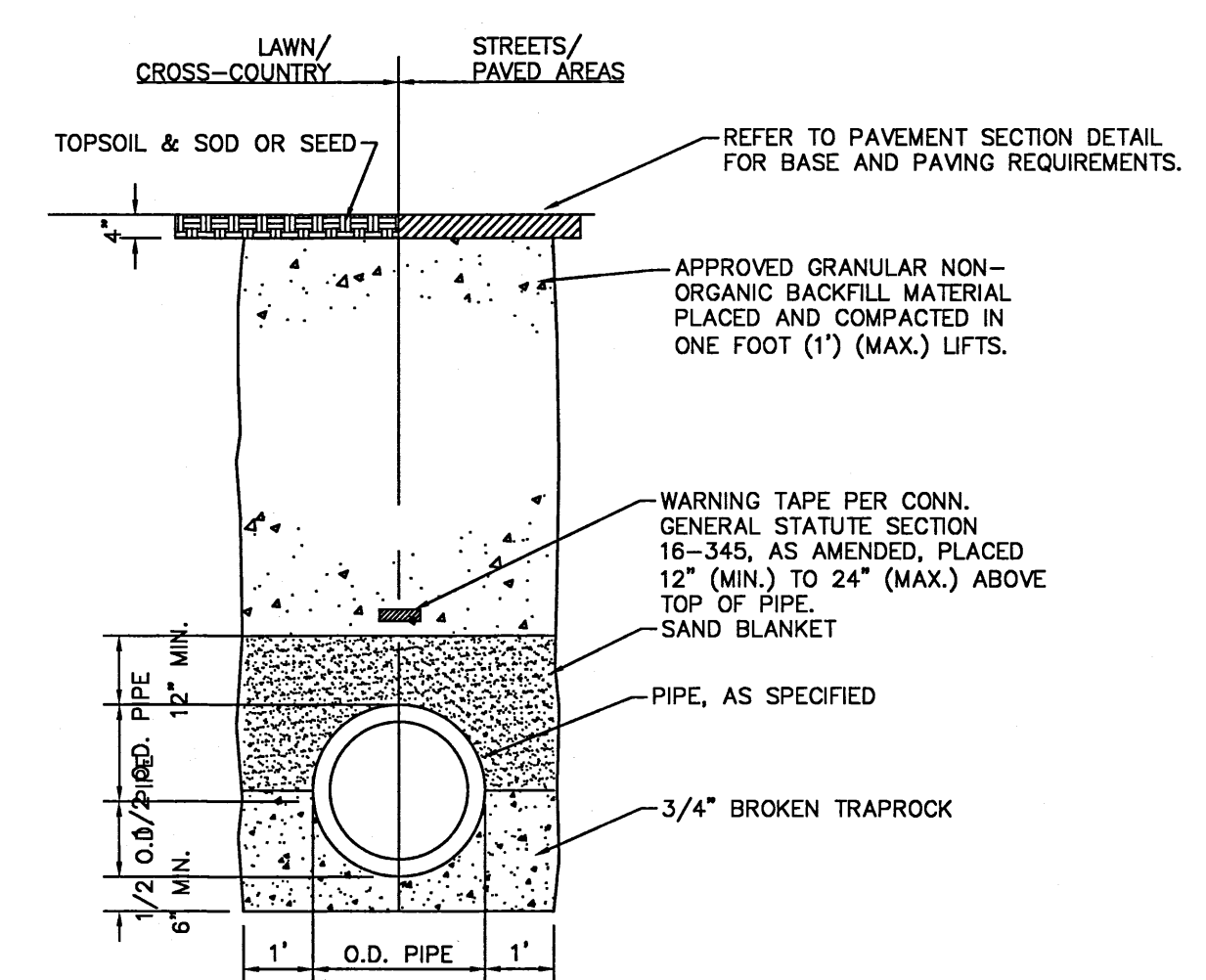
SHEET
C-ES1
SHEET 6 OF 7

CONSTRUCTION NOTES:

- At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
- It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
- The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
- The contractor must comply, to the fullest extent, with the latest Occupational Safety and Health (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
- Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
- Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
- The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
- Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements, details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
- Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
- The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
- Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
- Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
- No work, including but not limited to tree clearing, beyond the limits of disturbance shown shown on the approved plans shall be completed without approval. No trees and/or vegetation outside the limits shown on the drawings shall be removed. Any items desired to be removed outside the limits shown must be approved in writing by the engineer and the local authorities having jurisdiction. All equipment and construction activities must be confined to the property, right-of-way, and designated work space.
- The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
- The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with

- The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
- Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
- Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
- The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
- The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also be responsible for all notification, inspection, monitoring or testing as may be required.
- All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
- The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
- All property monumentation shall be protected during construction. It is the contractor's sole responsibility to protect all property monumentation. If monumentation is disturbed, it is the contractor's responsibility to have a licensed land surveyor in the State of Connecticut replace the monumentation to town or state standards.
- All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
- All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply with applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
- The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
- Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
- The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
- Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
- Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.
High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.
Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
- Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
- Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
- Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.
- Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
- Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and

- water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DI) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
- The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
 - Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
 - For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the facade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
 - Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
 - All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
 - Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
 - All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
 - The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
 - All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
 - The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.
 - All pumped discharge must utilize silt-soc or approved equal. Monitor to ensure dewatering activities do not cause erosion downstream. Stabilize area utilizing winter stabilization if appropriate for season of construction. Dewatering activities shall be completed in accordance with the 2002 CT Guidelines for Soil Erosion and Sediment Control.
- AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR:**
- The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:
- Parking spaces and parking aisles shall not exceed a 1:50 (nominal 2.0%) slope in any direction.
 - Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
 - Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
 - A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
 - Curb ramps - shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
 - The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
BORINGS	BORING / TEST PIT LOCATION	
COMMUNICATION	UNDERGROUND COMMUNICATION LINES	C
DOMESTIC WATER	WATER MAIN	W
	WATER SERVICE	WS
	FIRE SERVICE LINE	F
	NON-POTABLE WATER LINE	NPW
	WATER VALVE / FIXTURES	WV
	FIRE HYDRANT	FH
LIQUID FUEL	MAIN LIQUID FUEL LINE	LF
	LIQUID FUEL SERVICE LINE	LFS
	LIQUID FUEL LINE, ABANDONED	LFA
IRRIGATION	IRRIGATION LINES	I
LIGHTING	POLE / GROUND MOUNTED LIGHT	★ / ◀
NATURAL GAS	GAS MAIN	G
	GAS SERVICE LINE	GS
POWER	ELECTRICAL LINES, OVERHEAD	EO
	ELECTRICAL LINES, UNDERGROUND	EU
	UTILITY POLE	UP
PROPERTY	PROPERTY LINE	PL
	EASEMENT LINE	EL
	IRON PIPE	IP
	IRON ROD	IR
	MONUMENT	M
ROADS	GUARD RAIL	GR
EROSION CONTROL	SILT FENCE	SF
SITE FEATURES	4" DOUBLE SOLID YELLOW LINE	DSYL
	4" SINGLE SOLID WHITE LINE	SSL
	BIT. CONC. LIP CURB	BCLC
	PRECAST CONCRETE CURB	PCC
SANITARY SEWER	SANITARY SEWER MAIN	S
	SANITARY SEWER SERVICE LINE	SS
	SANITARY SEWER MANHOLE	SM
STORM SEWER	STORM DRAIN PIPE	SDP
	ROOF LEADER	RL
	UNDERDRAIN	UD
	STORM DRAIN MANHOLE	SDM
	CURB INLET	CI
	CATCH BASIN	CB
	YARD DRAIN	YD
TOPOGRAPHY	CONTOUR	95
	SPOT ELEVATION	95
OTHER	RAMP	R
	LANDSCAPE AREA	LSA

PROPERTY OWNER: SUNSET VALLEY FARMS LLC 55 KREYSSIC ROAD EAST WINDSOR, CT 06088	
APPLICANT: DAVID MOSER 29 SADDIS MILL ROAD ELLINGTON, CT 06776 860-670-8321	

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CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

SUNSET VALLEY FARMS SUBDIVISION
55 KREYSSIC ROAD AND GRISWOLD ROAD
EAST WINDSOR AND ELLINGTON, CONNECTICUT

PREPARED FOR:
David Moser
29 SADDIS MILL ROAD
Ellington, CT 06776
860-670-8321 T

PROJECT NO.:
DATE: 4/23/21
SCALE: AS SHOWN
DRAWN BY: DM/DJH
CHECKED BY: DM
DATE: 4/23/21

NO.	DATE	REVISIONS

NOTES, LEGEND, & DETAILS

SHEET
C-D1
SHEET 7 OF 7



STATE OF CONNECTICUT – COUNTY OF
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**PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES
MONDAY, APRIL 26, 2021, 7:00 PM
SENIOR CENTER GREAT ROOM, 40 MAPLE ST, ELLINGTON, CT**

**IN-PERSON PUBLIC ATTENDANCE LIMITED DUE TO COVID19 RESTRICTIONS
ZOOM ATTENDANCE INSTRUCTIONS PROVIDED**

MEMBERS PRESENT: IN MEETING ROOM: CHAIRMAN ARLO HOFFMAN, VICE CHAIRMAN SEAN KELLY, SECRETARY ROBERT SANDBERG, JR, REGULAR MEMBERS F. MICHAEL FRANCIS AND MICHAEL SWANSON, AND ALTERNATE KEN RADZIOW; VIA ZOOM: ALTERNATE JON MOSER

MEMBERS ABSENT: REGULAR MEMBERS RICCI HIRTH AND WILLIAM HOGAN

STAFF PRESENT: VIA ZOOM: LISA HOULIHAN, TOWN PLANNER AND IN MEETING ROOM: BARBRA GALOVICH, RECORDING CLERK

- I. **CALL TO ORDER:** Chairman Hoffman called the meeting to order at 7:00 PM.
- II. **PUBLIC COMMENTS** (On non-agenda items): **None**

Chairman Hoffman acknowledged the passing of Clifford Aucter, who was a longtime resident and served on the Planning & Zoning Commission for many years.

- I. **PUBLIC HEARING(S):** (Notice requirements met and hearings may commence unless otherwise indicated)
1. Z202020 - Joseph & Mary Hollay and Heather Hollay-Farr & Christopher Farr, owners/ applicants, pursuant to Section 3.1 of the Ellington Zoning Regulations request for a Special Permit for a dormitory at 154 Crystal Lake Road, APN 095-021-0001, and 156 Crystal Lake Road, APN 095-021-0000, in the RAR (Rural Agricultural Residential) Zone. (Continued from March 22, 2021 meeting.)

Time: 7:01 PM

Seated: Hoffman, Kelly, Sandberg, Francis, Swanson, Moser and Radziwon

Attorney Bruce Fader of Jacobs, Walker, Rice & Barry, LLC, 146 Main Street, Manchester, CT, Heather Hollay-Farr, 154 Crystal Lake Road, and Mary Hollay, 156 Crystal Lake Road, were present to represent the application.

Chairman Hoffman noted the public hearing is a continuation from the last meeting of March 22, 2021. Attorney Fader stated he would like to review a couple of issues and noted he spoke with Lisa Houlihan, Town Planner and Attorney Dorian Famiglietti, Ellington Town Attorney since the last meeting. Attorney Fader stated that according to Ms. Houlihan's interpretation of accessory use, it can only be used with 156 Crystal Lake Road. He noted that upon a discussion with the Town Attorney, he has a signed Affidavit from the two parties located at 154 and 156 Crystal Lake Road. He reiterated that there was a Zoning Permit issued back in 2009 for 156 Crystal Lake Road for the barn, which he

stated is proof that 156 Crystal Lake Road is being used for agricultural use. Attorney Fader said he provided the Planning Office with a signed affidavit and a sketch of the floor plan of the accessory apartment. Attorney Fader said his client has exhausted all other options, other than what they applied for within the proposed Special Permit application. He said that he had a conversation with Ms. Houlihan about possibly dropping the current application and waiting for the new statute that is currently under consideration regarding accessory apartments. His simple answer was no, because that particular proposal doesn't have a certainty of passing legislation. Attorney Fader requested the commission to approve the Special Permit with a list of conditions.

Ms. Houlihan showed on the screen the documents that were provided by Attorney Fader noting all commission members received a copy for tonight's meeting. She stated she believes the commission is looking for a path for the owners to resolve the violations on the property. She explained the application resulted from an enforcement order issued for the accessory dwelling built without permits. The land was subdivided into 154 and 156 Crystal Lake Road in 2005, the zoning regulations at that time had definitions for a farm and in order for a property to be a farm it's required to have at least three acres. Ms. Houlihan reviewed a plan that was provided for the subdivision back in 2005 that shows a proposed barn and proposed two bedroom dwelling to be located on 154 Crystal Lake Road (11 acres) and the structures on 156 Crystal Lake Road (1.77 acres) were existing. She noted the Certificate of Occupancy was issued by the Building Official, not the ZEO, and noted the application for Zoning Permit from 2008 for the accessory structure at 156 Crystal Lake Road stated it was for a 36X40 shed to replace an older structure. She explained the living area on the second floor was constructed without any building or zoning oversight. Ms. Houlihan reiterated that Attorney Fader came before the commission back in July of 2021 for an informal discussion pertaining to the project and the commission stated that the proposal did not fit within a dormitory concept.

Chairman Hoffman spoke about diversify within Connecticut and the proposed application does look like an accessory apartment. We have accessory apartment regulations within the primary dwelling and the State is looking to allow a detached accessory apartment on one parcel of land. He suggested to revise the current accessory apartment regulations.

Vice Chairman Kelly agreed with Chairman Hoffman and asked why the floor plan shows two bathrooms. Attorney Fader stated there is one and a half baths. He stated that 156 Crystal Lake Road was considered a farm back when the Zoning Permit was issued in 2008 for the 36x40 shed.

Secretary Sandberg stated the accessory apartment would be the best option and the proposed dormitory functions like an apartment. Commission Swanson and Alternates Moser and Radziwon agreed with Secretary Sandberg. Chairman Hoffman suggested the commission revise their regulations, noting they should proceed without waiting for legislation. Ms. Houlihan will draft a revised accessory apartment section of the Zoning Regulations for the commission to review taking into consideration what the State is proposing for accessory apartments.

Chairman Hoffman reiterated the commission is looking to help the applicant, but at this point they have no additional solutions. Attorney Fader suggested to his client to withdraw the application for now rather than the commission deny it. Heather Hollay-Farr stated she definitely wants to be in compliance. She feels that they are within the farming use, but doesn't want to jeopardize her parents parcel. Attorney Fader confirmed withdrawal of the application.

BY CONSENSUS, ACCEPTED WITHDRAWAL OF APPLICATION Z202020 - Joseph & Mary Hollay and Heather Hollay-Farr & Christopher Farr, owners/ applicants, pursuant to Section 3.1 of the Ellington Zoning Regulations request for a Special Permit for a dormitory at 154 Crystal Lake Road, APN 095-021-0001, and 156 Crystal Lake Road, APN 095-021-0000, in the RAR (Rural Agricultural Residential) Zone.

2. Z202101 - Ellington Enterprises, owner/applicant, pursuant to Section 4.1 of the Ellington Zoning

Regulations request for a Special Permit and Site Plan Modification for the construction of a 9,600 sf building with wash bay at 77 Meadow Brook Road, APN 091-009- 0000 in an I - Industrial Zone. (Opening of hearing to be tabled to May 24, 2021)

BY CONSENSUS, TABLE OPENING OF HEARING TO THE NEXT MEETING ON MONDAY, MAY 24, 2021, 7:00 PM FOR Z202101 - Ellington Enterprises, owner/applicant, pursuant to Section 4.1 of the Ellington Zoning Regulations request for a Special Permit and Site Plan Modification for the construction of a 9,600 sf building with wash bay at 77 Meadow Brook Road, APN 091-009- 0000 in an I - Industrial Zone.

3. Z202104 – Big Y Foods, Inc., owner/ applicant, pursuant to Table 4.1 Permitted Uses & Uses Requiring Special Permit - Commercial & Industrial Zones request for Special Permit to allow medical, business, professional and financial office; personal services business; restaurants, tavern entertainment; and veterinarian, small animal hospital and commercial kennel at 140 West Road, APN 046-001-0000 in a PC (Planned Commercial) Zone.

Time: 7:36 PM

Seated: Hoffman, Kelly, Sandberg, Francis, Swanson, Moser and Radziwon

Mathew D'Amour of Big Y Foods Corporation, 2145 Roosevelt Avenue, Springfield, MA, was present to represent the application.

Ms. Houlihan explained Big Y (Express) is looking for approval for more uses at their establishment, noting approval is present for retail, restaurant and the gas station. Mr. D'Amour said they are looking to expand the uses for the tenant space.

Ms. Houlihan read the list of proposed uses on the application to allow medical, business, professional and financial office; personal services business; restaurants, tavern entertainment; and veterinarian, small animal hospital and commercial kennel. She reviewed the staff comments provided to Planning Department from North Central District Health Department stated any use involving food service or personal service may require additional review and/or licensing by local health, and comments from the Water Pollution Control Authority stating billing will be based on water consumption.

Ms. Houlihan explained the original site development plan included two phases, however approval is only present for phase one which represents current site conditions. She noted there are currently 77 constructed parking spaces and 50 are dedicated to support current tenants. There's 5,000 s.f. of net floor area (nfa) that is vacant/unleased and potential future uses, depending on parking calculations, may exceed the number of spaces constructed. Prior to tenant occupancy and changes in occupants, application for Zoning Permit is required and the Zoning Enforcement Officer calculates parking availability during review. A reasonable condition of approval could require monitoring of parking and in the event the number of constructed parking is exceeded based on tenant mix the applicant could be required to construct more parking at that time.

Secretary Sandberg asked about the commercial kennel portion of the request. Mr. D'Amour said the intended request was for pet grooming rather than commercial kennel. Secretary Sandberg suggested to change the word "commercial" to "indoor" kennel. If an outdoor kennel is requested, then they would need to come back to the commission for approval.

No one from the public spoke regarding the application.

MOVED (SWANSON) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR Z202104 – Big Y Foods, Inc., owner/ applicant, pursuant to Table 4.1 Permitted Uses & Uses Requiring Special Permit - Commercial & Industrial Zones request for Special Permit to allow medical, business, professional and financial office; personal services business; restaurants, tavern

entertainment; and veterinarian, small animal hospital and commercial kennel at 140 West Road, APN 046-001-0000 in a PC (Planned Commercial) Zone.

MOVED (SANDBERG) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITIONS Z202104 – Big Y Foods, Inc., owner/ applicant, pursuant to Table 4.1 Permitted Uses & Uses Requiring Special Permit - Commercial & Industrial Zones request for Special Permit to allow medical, business, professional and financial office; personal services business; restaurants, tavern entertainment; and veterinarian, small animal hospital and indoor kennel at 140 West Road, APN 046-001-0000 in a PC (Planned Commercial) Zone.

CONDITIONS OF APPROVAL:

- Zoning permit shall be obtained prior to occupancy and/or change in occupancy;
 - At time of application for zoning permit for new occupancy or change in occupancy, if the parking demand for the mix of tenants exceed the number of parking spaces constructed for phase 1 site improvements additional parking spaces shall be constructed according to Section 6.2.3 Number of Parking Spaces of the Ellington Zoning Regulations.
4. Z202105 – Robert Binkowski, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (40X80) at 3 Deer Run, APN 084-026-0000, in a R (Residential) Zone.

Time: 7:43 PM

Seated: Hoffman, Kelly, Sandberg, Francis, Swanson, Moser and Radziwon

Robert Binkowski, 3 Deer Run, was present to represent the application. Mr. Binkowski stated that his son has a few personal trucks that he is working on and they have a car trailer that they would like to put into the proposed 40 x 80 detached accessory structure. Their home is located at the end of Deer Run. Mr. Binkowski provided the commission with a favorable letter from the neighbors who live at 6 Deer Run. Mr. Binkowski said the building is going to be made of steel and will be insulated.

In response to Chairman Hoffman, Mr. Binkowski said there will be no commercial operations and confirmed the building is for personal use only and it will be a dry building.

No one from the public spoke regarding the application.

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR Z202105 – Robert Binkowski, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (40X80) at 3 Deer Run, APN 084-026-0000, in a R (Residential) Zone.

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITION Z202105 – Robert Binkowski, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (40X80) at 3 Deer Run, APN 084-026-0000, in a R (Residential) Zone.

CONDITION OF APPROVAL: Detached garage shall not be used for commercial operations.

5. Z202106 – Andre & Amanda Nowzarinezhad, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached structure (35X60) accessory to a single-family home at 57 Windermere Avenue, APN 011-019-0000, in an IP (Industrial Park) Zone.

Time: 7:46 PM

Seated: Hoffman, Kelly, Sandberg, Francis, Swanson, Moser and Radziwon

Andre & Amanda Nowzarinezhad, 57 Windermere Avenue were present to represent the application. Mr. Nowzarinezhad said they recently bought the house with a carport. He noted they have a couple antique tractors and would like to store everything inside the new building. The structure will be insulated. They are not proposing to install a bathroom, but they'd like to add electricity in the future. Mr. Nowzarinezhad noted they will be removing two old sheds from the property.

No one from the public spoke regarding the application.

MOVED (SANDBERG) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR Z202106 – Andre & Amanda Nowzarinezhad, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached structure (35X60) accessory to a single-family home at 57 Windermere Avenue, APN 011-019-0000, in an IP (Industrial Park) Zone.

MOVED (SANDBERG) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITION Z202106 – Andre & Amanda Nowzarinezhad, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached structure (35X60) accessory to a single-family home at 57 Windermere Avenue, APN 011-019-0000, in an IP (Industrial Park) Zone.

CONDITION OF APPROVAL: Detached garage shall not be used for commercial operations.

6. Z202107 – Seventy-One Abbott Road, LLC, owner/ Jeff Zanelli, applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit for an agricultural-related business office within existing building #1 and minor Site Plan Modification for parking and construction of covered entrance at 78 Abbott Road, APN 033-012-0000, in a RAR (Rural Agricultural Residential) Zone.

Time: 7:54 PM

Seated: Hoffman, Kelly, Sandberg, Francis, Swanson, Moser and Radziwon

Jeff Zanelli, 20 Ridgefield Drive, South Windsor, CT and Nick Melillo, Foundation Cigar Company, were present via Zoom to represent the application. Mr. Zanelli stated Building #1 at 78 Abbott Road has some empty space and Foundation Cigar Company is looking for office space. They have had business relationships for over 20 years. Foundation Cigar Company has a staff of six they are looking to move into the empty space in the north portion of Building #1.

Chairman Hoffman asked if the office space would have any retail. Mr. Zanelli said no retail will be conducted out of the building and it will not be opened to the public. The space will be utilized for their staff and occasionally they will have a meeting with vendors. The only exterior renovations would be to add an entryway to the northeast side of the building, and all other renovations will be inside.

Ms. Houlihan said upon circulation to staff for comments, the following comments were provided to the Planning Department. The Building Official noted, "Construction will have to adhere to ADA accessibility regulations" and the Fire Marshal noted the Fire Prevention Codes speak to Fire Department Access Roads and cover roadways, fire lanes, parking lots lanes, combinations thereof and the like. Said codes include various provisions to ensure access areas remain unobstructed, support loads of fire apparatus in all-weather driving surfaces and other considerations. Compliance to these codes will be required prior to construction and occupancy and should be conditions of approval. Ms. Houlihan asked the applicant if the current driveway would support emergency service vehicles. Mr. Zanelli responded there has been tractor trailer trucks in and out of the site on a regular

basis, and agreed they will adhere to ADA compliance and Fire Prevention Codes per the Building Official's and Fire Marshal's comments.

Commission Swanson inquired about the parking requirements. Mr. Zanelli explained the parking area is large and is made of recycled concrete.

No one from the public spoke regarding the application.

MOVED (FRANCIS) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR Z202107 – Seventy-One Abbott Road, LLC, owner/ Jeff Zanelli, applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit for an agricultural-related business office within existing building #1 and minor Site Plan Modification for parking and construction of covered entrance at 78 Abbott Road, APN 033-012-0000, in a RAR (Rural Agricultural Residential) Zone.

MOVED (FRANCIS) SECONDED (SANDBERG) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITIONS Z202107 – Seventy-One Abbott Road, LLC, owner/ Jeff Zanelli, applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit for an agricultural-related business office within existing building #1 and minor Site Plan Modification for parking and construction of covered entrance at 78 Abbott Road, APN 033-012-0000, in a RAR (Rural Agricultural Residential) Zone.

CONDITIONS OF APPROVAL:

- Special permit granted for office space for foundation Cigar Company to occupy 2,500 square feet of Building 1.
 - Approval includes construction of a moderately sized entrance pavilion to access the new offices.
 - Construction of offices, parking, entrance, and other site improvements shall adhere to Americans with Disabilities Act and fire prevention codes.
7. Z202108 - Text amendment to Ellington Zoning Regulation Section 2.1.10 Highway Clearance Setback to update collector streets for consistency with Section 6.5 Sidewalks and Fee-in-lieu-of Sidewalks (Effective 11/1/2020) and Section 6.6 Access Management (Effective 4/1/2021); as well as consider current traffic patterns, to fix incorrectly listed street names and account for changes to roadway design associated with road realignments.

Time: 8:30 PM

Seated: Hoffman, Kelly, Sandberg, Francis, Swanson, Moser and Radziwon

Ms. Houlihan reviewed the recently approved text amendments for Sections 6.5 & 6.6 that expressly exclude Hopkins Road, and add Lower Butcher Road, Tomoka Avenue, and Meadow Brook Road. She referred to the Route 140 road re-alignment project changing the design of Broad Brook Road from functioning as a collector road. The proposed amendment adds Tomoka Avenue and Meadow Brook Road and places the word "Lower" before Butcher Road to the collector streets portion of Section 2.1.10 Highway Clearance Setback. She said the proposed text amendment was sent to the Capitol Region Council of Government (CRCOG) as statutorily required. A response was received from CRCOG, dated April 22, 2021, finding no apparent conflict with regional plans and polices or the concerns of neighboring towns. She also noted a copy of the proposal was sent to the East Windsor Town Planner.

No one from the public was present to speak to the application.

MOVED (SANDBERG) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR Z202108 - Text amendment to Ellington Zoning Regulation Section 2.1.10 Highway

Clearance Setback to update collector streets for consistency with Section 6.5 Sidewalks and Fee-in-lieu-of Sidewalks (Effective 11/1/2020) and Section 6.6 Access Management (Effective 4/1/2021); as well as consider current traffic patterns, to fix incorrectly listed street names and account for changes to roadway design associated with road realignments.

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE Z202108
- Text amendment to Ellington Zoning Regulation Section 2.1.10 Highway Clearance Setback to update collector streets for consistency with Section 6.5 Sidewalks and Fee-in-lieu-of Sidewalks (Effective 11/1/2020) and Section 6.6 Access Management (Effective 4/1/2021); as well as consider current traffic patterns, to fix incorrectly listed street names and account for changes to roadway design associated with road realignments. **EFFECTIVE DATE: MAY 1, 2021**

II. OLD BUSINESS: None

III. NEW BUSINESS:

1. Request for informal discussion regarding a potential development for properties on Windermere Avenue for Designed Multi-Family.

Joe Bivano of J&M Realty Connections and John Sandberg of 39 Windermere Avenue were present for informal discussion. J&M is looking to potentially develop/redevelop approximately 8 acres of land involving 4 separate parcels along the southern portion of Windermere Avenue. Two of the mentioned proposals may be considered under Section 3.6 Designed Multi-Family Regulations and may be consistent with the Plan of Conservation and Development (POCD) by providing workforce or elderly housing. Mr. Bivano also discussed constructing a possible self-storage facility or mixed-use development on the parcels. After a brief roundtable between Mr. Bivano and the commission, Commissioner Francis suggested J&M conduct an environmental study on the old dump site located to the rear of 47 Windermere Avenue before any decisions were made by the applicant on how to move forward with a proposals.

NO MOTIONS OR DECISIONS MADE.

2. S202101 – Sunset Valley Farms, LLC owner/ David Moser, applicant, request for re-subdivision of 42.34 acres for two (2) lots for 55 Kreyssig Road, APN 156-004-0001, in a RAR (Rural Agricultural Residential) Zone.

BY CONSENSUS, RECEIVED APPLICATION AND SCHEDULED PUBLIC HEARING FOR MAY 24, 2021, 7:00 PM FOR S202101 – Sunset Valley Farms, LLC owner/ David Moser, applicant, request for re-subdivision of 42.34 acres for two (2) lots for 55 Kreyssig Road, APN 156-004-0001, in a RAR (Rural Agricultural Residential) Zone.

3. Z202109 – Sunset Valley Farms, LLC owner/ David Moser, applicant, pursuant to Section 7.9 – Rear Lot Requirements, request for a Special Permit for one rear lot to construct a single family home with access along the south border of 20 Griswold Road, APN 157-002-0001, associated with S202101 for re-subdivision of 42.34 acres for two (2) lots at 55 Kreyssig Road, in a RAR (Rural Agricultural Residential) Zone.

BY CONSENSUS, RECEIVED APPLICATION AND SCHEDULED PUBLIC HEARING FOR MAY 24, 2021, 7:00 PM FOR Z202109 – Sunset Valley Farms, LLC owner/ David Moser, applicant, pursuant to Section 7.9 – Rear Lot Requirements request for a Special Permit for one rear lot to construct a single family home with access along the south border of 20 Griswold Road, APN 157-002-0001, associated with S202101 for re-subdivision of 42.34 acres for two (2) lots at 55 Kreyssig Road, in a RAR (Rural Agricultural Residential) Zone.

IV. ADMINISTRATIVE BUSINESS:

1. Approval of Planning and Zoning Commission March 22, 2021 Regular Meeting Minutes.
MOVED (SWANSON) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO APPROVE THE MARCH 22, 2021 REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence:

- a. Memo from Timothy W. Webb, Director of Public Works/Water Pollution Control Authority Administrator for a potential expansion to the sanitary sewer district to include Planned Commercial and agricultural properties along Jobs Hill Road and Tomoka Avenue.

BY CONSENSUS, SUPPORT THE POTENTIAL SANITARY SEWER DISTRICT EXPANSION AND USE OF AMERICAN RESCUE PLAN FUNDS TO INCLUDE PLANNED COMMERCIAL AND OAKRIDGE DAIRY/AGRICULTURAL PROPERTIES ALONG JOBS HILL ROAD AND TOMOKA AVENUE.

- b. Discussion: draft text to add Low Impact Development to the Ellington Zoning Regulations.

Ms. Houlihan said the draft incorporates an initiative from the POCD and ties into the MS4 requirements that have to be adopted this year. The proposed text was shared with Tim Webb, Director of Public Works and Dana Steele, Town Engineer for their comments. Mr. Webb suggested adding curbless roads as a LID technique.

BY CONSENSUS, AGREED TO REVIEW DRAFT PROPOSAL AND DISCUSS AT THE NEXT REGULAR MEETING ON MAY 24, 2021.

- c. Discussion: Public Act 21-3 an Act Concerning the Outdoor Sale of Goods and Provision of Food and Beverage Service.

Ms. Houlihan briefly explained the Act, noting it's effective through March 31, 2022. She asked the commission if they support staff continuing to oversee plans to expand outdoor dining improvements for existing food establishments.

BY CONSENSUS, DELEGATED REVIEW OF SITE PLAN MODIFICATIONS FOR EXPANSION OF OUTDOOR DINING FOR EXISTING FOOD ESTABLISHMENTS TO PLANNING DEPARTMENT STAFF, PURSUANT TO SPECIAL ACT 21-3.

- d. Letter from Pullman & Comley, dated April 6, 2021, for petition for declaratory ruling for a solar array at 277 Sadds Mill Road, Ellington, CT, for CTEC Solar, LLC.

Ms. Houlihan reviewed the proposed solar project at 277 Sadds Mill Road. They are looking to develop approximately 30 acres of the land near the existing composting business and will be cutting some trees. The project is exempt from local oversight and is under the jurisdiction of the Connecticut Siting Council. The Board of Selectmen (BOS) has the right to hold public hearings if they choose to.

V. ADJOURNMENT:

MOVED (FRANCIS) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO ADJOURN THE PLANNING & ZONING COMMISSION MEETING AT 8:42 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk

Town of Ellington

Planning Department

55 Main ST., PO Box 187, Ellington, CT, 06029/Phone: 860-870-3120/Fax: 860-870-3122/houlihan@ellington-ct.gov

MEMO

DATE: May 19, 2021
TO: Planning and Zoning Commission
FROM: Lisa M. Houlihan, AICP, Town Planner
SUBJECT: Working Draft - Low Impact Development Regulations

Pursuant to MS4 requirements and POCD recommendations, I've been working with the Town Engineer and Public Works Director to draft regulations for low impact development (LID) standards. During this process, we've discussed abandoning the regulation amendment and pursuing a LID Guide so there's more flexibility when creating site development plans. We continue to discuss the topic. For the meantime, the following represents the latest working draft regulation.

WORKING DRAFT (5-19-2021) ZONING REGULATION AMENDMENT **NEW SECTION - LOW IMPACT DEVELOPMENT**

Section 6.7 Low Impact Development

- A. **Purpose** Low Impact Development, or LID, is a site design and stormwater management strategy that mimics predevelopment hydrology through use of small-scale controls integrated throughout the site, as close to its source as practical, to manage runoff volume and water quality. LID techniques ~~replace~~ **supplement** conventional centralized stormwater management methods that use large, structural practices installed at low end of development sites, commonly called end-of-pipe systems, with site development techniques that integrate natural features, existing hydrology and soils into design elements to create a more ecologically functional site and aesthetically pleasing landscape-features as vital elements of the ecosystem.
- B. **Applicability** LID techniques shall be used for all site development plan applications for commercial, industrial, multi-family and non-residential uses in residential zones that involve an increase in impervious surface.
- C. **General Requirements** Site development applications shall include strategic placement of lot-level controls to reduce runoff volume and pollutant loads through infiltration, evapotranspiration, and reuse of stormwater runoff, to the greatest extent practicable. Site development applications shall be guided by the principles of the 2004 Connecticut Stormwater Quality Manual **and LID Appendix dated August 2011**, as may be amended. When LID measures cannot be accomplished because of

May 19, 2021

existing site constraints like soil permeability, slope, depth to water table and bedrock, detailed explanation shall be provided substantiating why LID site design elements are limited.

D. **Site Design Standards** that must be considered to the ~~maximum~~ **greatest** extent practicable are designs that:

1. fit the existing terrain,
2. limit land disturbance,
3. reduce or disconnect impervious areas,
4. preserve and utilize natural drainage systems,
5. provide setbacks and vegetated buffers to adjacent natural resources,
6. minimize creation of steep slopes,
7. maintain pre-development vegetation,
8. reduce use of storm sewers,
9. reduce parking lot sizes,
10. use permeable surface materials,
11. reduce hydraulic connectivity of impervious surfaces,
12. modify/increase runoff travel time, and
13. other standards requested by the commission or its agents.

E. **Recommended Required LID Practices - one or more of the following practices shall be utilized to retain and infiltrate the Water Quality Volume and Groundwater Recharge Volume (as defined in the CT Stormwater Quality Manual) from all impervious surfaces to the greatest extent practicable:**

1. Bioretention/Rain Garden - Vegetated depression that collects runoff and either filters before discharge or infiltrates runoff into the ground.
2. Dry Well - Gravel or stone filled pit that is located to catch water from roof downspouts or paved areas.
3. **Filter Strips – Bands of dense vegetation planted immediately downstream of a runoff source designed to filter runoff before entering a receiving structure or water body.**
4. Grassed Swale - Shallow channel lined with grass and used to convey and store runoff.
5. **Infiltration Trench - Excavated trench that has been backfilled with stone to form a subsurface basin. Stormwater runoff is diverted into the trench and is stored until it can be infiltrated into the soil, usually over a period of 1-2 days.**
6. Permeable Pavement - Asphalt or concrete rendered porous by aggregate structure.
7. Permeable Paver - Manufactured paving stones containing spaces where water can penetrate into the porous material placed underneath.
8. **Soil amendments – Minerals and organic material added to soil to increase its capacity for infiltration, absorbing moisture and sustaining vegetation.**
9. **Planter box filters – Curbside containers placed below grade, covered with a grate, filled with filter media and planted with a tree in the center.**
10. Vegetated Buffer - An area or strip of vegetated land designed to protect natural resources from development by filtering pollutants in runoff.
11. Vegetated Parking Lot Island - An area within a parking lot that includes one or more management practices and breaks up impervious surface, **and includes small scale management practices such a filter strips, dry swales, sand filter and bioretention.**

F. **Water Conservation Practices shall be utilized as an alternative to required LID practices when such practices are not feasible due to site constraints mentioned in Section C General Requirements.**

1. Cistern - a container that stores larger quantities of rooftop stormwater runoff.
2. Rain Barrel - a barrel designed to retain small volumes of runoff for reuse for gardening and landscaping.
3. Other standards recommended by the commission or its agents.

G. **Implementation of LID Practices**

Rain gardens shall be constructed with soil that is adequately permeable to allow infiltration and fertile enough to support plant life, and installation of rains gardens shall be inspected by a professional hired by the developer to oversee installation and provide written certification of proper installation to the Zoning Enforcement Officer before issuance of zoning compliance.

DRAFT TEXT AMENDMENT - MAY 18, 2021

Additions are bolded and underlined / Deletions are ~~stricken through~~ / Otherwise as currently adopted

Draft text amendment to update various sections of the Ellington Zoning Regulations pursuant to SB-1024 An Act Concerning Zoning Authority, Certain Design Guidelines, Qualifications of Zoning Enforcement Officers and Certain Sewage Disposal Systems as the bill relates to accessory apartments standards.

3.1.2 RESIDENTIAL USES	Rural Agricultural / Residential	Residential	Lake Residential
1. Accessory apartment in accordance with Section 7.1	<u>SP P</u>	<u>SP P</u>	<u>P</u>

Table 6.2.3 Off Street Parking Requirements	
Dwelling - Single Family	2 parking spaces per family unit
<u>Accessory Apartment</u>	<u>1 parking space per accessory apartment</u>

Section 7.1 Accessory Apartments

A. Accessory Apartments are subject to the following restrictions and conditions:

1. Either the primary dwelling unit or accessory apartment shall be owner-occupied. ~~and one of the dwelling units shall be occupied by a person 60 years of age or older, or a handicapped person.~~
2. The usable floor area of the accessory apartment shall have a maximum of **no more than** 1,000 square feet, except that the area of the accessory apartment shall not exceed 50 percent of the usable floor area of the primary dwelling unit. These areas shall be exclusive of garages, porches, or basements.
3. The accessory apartment shall have no more than ~~two~~ **one** bedrooms.
4. **The accessory apartment shall comply with Section 3.2.3 Minimum Yard Setbacks and Section 3.2.4 Building Height & Lot Coverage.**
5. **When an accessory apartment is attached to a primary dwelling unit, the following shall apply:**
 - a. The architectural treatment of the total structure shall be as to portray the character of a single-family dwelling unit.
 - b. The structure shall have only one main entrance on the street side of the structure; all other entrances shall be at the side or to the rear.
6. ~~The primary dwelling unit and the accessory apartment shall have a connecting door between the two dwelling units.~~

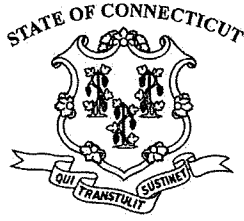
~~Any violation of the terms of the special permit shall be prosecuted in accordance with Connecticut General Statutes.~~

Section 10.2 DEFINITIONS

Accessory Apartment. A subordinate separate dwelling unit that is intended for use as a complete, independent living facility located in a residence constructed as, and having the character of, a single family residence, which subordinate dwelling unit does not substantially alter the character and appearance of the residential structure or its conformity with the character of the neighborhood occupied by a family or a single housekeeping unit that is located on the same lot as a primary dwelling unit and is less square footage than the primary dwelling unit.

ACCESSORY APARTMENT REGULATIONS - OTHER COMMUNITIES			
Town	Size	Location	Cannot connect detached accessory structure to dwelling and convert to apartment
Weston	Maximum of 800 s.f. in gross floor area (including interior access) and no more than 25% of floor area of principal dwelling	Principal dwelling	Owner occupancy of apt or principal dwelling
Berlin	Conversion in houses that are over 5 years old 400 s.f. - 700 s.f. with small addition of 150 s.f. Balance of principal dwelling must have 900 s.f.	Principal dwelling	By Special Permit
Bloomfield	Minimum of 400 s.f. Maximum of 1/3 of the total square footage of the principal dwelling.	Principal dwelling	One direct interior connection point to principal dwelling. Architecturally incorporated to give appearance of 1 SF dwelling
Brantford	Maximum of 900 s.f. or 30% of gross floor area of principal dwelling.	Principal dwelling and in Accessory Structure	By Special Exception Owner occupancy of apt or principal dwelling Required deed restriction to qualify for B-30g
Cheshire	Maximum of 950 s.f.		No more than 2 bedrooms.
East Hampton	Minimum of 200 s.f. Maximum of 900 s.f.		No more than 2 bedrooms
Essex	Maximum of 1,500 s.f.	Principal dwelling	Owner occupancy of apt or principal dwelling
Ellington	Maximum of 1,000 s.f. or no greater than 50% of floor area of principal dwelling	Principal dwelling	
Enfield	Maximum of 750 s.f. of finished floor area. Balance of principal dwelling must have at least 800 s.f. of finished floor area		
Fairfield	Minimum of 450 s.f. Maximum of 25% of the gross s.f. of the home not including basement and garage)	Principal dwelling	By Special Permit
Granby	Minimum of 450 s.f. Maximum of 1,200 s.f.	Principal dwelling (acre lot)	On properties with 1.5 to 2 times min lot size No garage conversions One apartment in dwelling unit
Greenwich	Maximum of 700 s.f. with approval for 800 s.f. for "good cause shown" No more than 35% of gross floor area of principal dwelling	Principal dwelling	No more than one bedroom
Lebanon	Minimum of 300 s.f. Maximum of less than the principal dwelling size.	Principal dwelling	Owner occupancy of apt or principal dwelling
Marborough	Minimum of 500 s.f. Maximum of 1,200 s.f.	Principal dwelling	One apartment in dwelling unit
Millford	Maximum of 800 s.f.	Principal dwelling	No more than 2 bedrooms
New Hartford	Minimum of 500 s.f. Maximum of 40% of floor area of principal dwelling	Principal dwelling	Must be a part of the principal dwelling.
Old Saybrook	Minimum of 500 s.f. Maximum of 1/3 of total habitable gross floor area of principal dwelling or 1,000 s.f. whichever is less	Principal dwelling	Owner occupancy By Special Exception
Redding	Maximum of 800 s.f. No more than 30% of total floor area.	Principal dwelling	By Special Permit

ACCESSORY APARTMENT REGULATIONS - OTHER COMMUNITIES			
	Size	Location	
Town	Maximum of 900 s.f.	Principal dwelling Accessory building	No more than 1 bedroom Owner occupancy of apt or principal dwelling
Ridgenfield			Zoning permit process Owner occupancy of apt or principal dwelling Accessible from principal dwelling by door One apartment in dwelling unit
Simsbury	Maximum of 600 s.f. or 25% of gross floor area of primary dwelling	Principal dwelling	
Southbury	Minimum of 500 s.f. Maximum of 60% of floor area of main dwelling Outside appearance applies. Health Director sign off. Affidavit of ownership of dwelling unit.	Principal dwelling	
Tolland	Maximum of 900 s.f. or 45% of the total floor area of the principal dwelling, whichever is less (including attached garages and utility rooms, excluding seasonal unheated rooms)	attached	Varies by type
	No maximum size limit.	dwelling	
	Maximum net floor area of 900 s.f.	Existing detached accessory structure	
	maximum net floor area, but not to exceed 45% of floor area of principal dwelling unheated (rooms)	A.S.	
Torrington	Minimum habitable floor area of 400 s.f.; Maximum habitable floor area of 700 s.f.		
Westbrook	Maximum of 800 s.f. No more than 30% of total floor area.	Principal dwelling	By Special Permit
Westport	Maximum of 800 s.f.		
Willton	Maximum of 800 s.f.		



Senate

General Assembly

File No. 561

January Session, 2021

Substitute Senate Bill No. 1026

Senate, April 21, 2021

The Committee on Planning and Development reported through SEN. CASSANO of the 4th Dist., Chairperson of the Committee on the part of the Senate, that the substitute bill ought to pass.

AN ACT CONCERNING TRAINING FOR CERTAIN PLANNING AND ZONING OFFICIALS.

Be it enacted by the Senate and House of Representatives in General Assembly convened:

1 Section 1. (NEW) (*Effective October 1, 2021*) (a) On and after January 1,
2 2023, each member of a municipal planning commission, zoning
3 commission, combined planning and zoning commission and zoning
4 board of appeals shall, within one year of election or appointment to
5 such commission or board, complete not less than five hours of training
6 designed to assist such member in the effective performance of such
7 member's duties. Not less than two hours of such training shall include
8 education on alternative or affordable housing.

9 (b) Training required pursuant to subsection (a) of this section shall
10 be (1) provided through the Department of Housing or the Land Use
11 Academy at the Center for Land Use Education and Research at The
12 University of Connecticut, or (2) certified by the Connecticut Chapter of
13 the American Planning Association, the planning and zoning section of

14 the Connecticut Bar Association or a similar professional land use
 15 association. Training may be conducted in a variety of formats,
 16 including, but not limited to, electronic media, a video or distance
 17 learning program or in a traditional classroom setting.

18 (c) Not later than March 1, 2024, and annually thereafter, each
 19 planning commission, zoning commission, combined planning and
 20 zoning commission and zoning board of appeals shall submit a
 21 statement to the legislative body of the municipality for such
 22 commission or board affirming compliance with the training
 23 requirement established pursuant to subsection (a) of this section by
 24 each member of such commission or board required to complete such
 25 training in the calendar year ending the preceding December thirty-first,
 26 except that any planning commission may instead include such
 27 statement in the annual report required pursuant to subsection (a) of
 28 section 8-19 of the general statutes.

This act shall take effect as follows and shall amend the following sections:		
Section 1	October 1, 2021	New section

PD *Joint Favorable Subst.*

The following Fiscal Impact Statement and Bill Analysis are prepared for the benefit of the members of the General Assembly, solely for purposes of information, summarization and explanation and do not represent the intent of the General Assembly or either chamber thereof for any purpose. In general, fiscal impacts are based upon a variety of informational sources, including the analyst's professional knowledge. Whenever applicable, agency data is consulted as part of the analysis, however final products do not necessarily reflect an assessment from any specific department.

OFA Fiscal Note

State Impact: None

Municipal Impact: None

Explanation

The bill establishes five hours of training requirements for local officials on zoning commissions, planning commissions, and planning and zoning commissions. This has no fiscal impact as it is anticipated that this training can be provided free of charge.

The Out Years

State Impact: None

Municipal Impact: None

OLR Bill Analysis**sSB 1026*****AN ACT CONCERNING TRAINING FOR CERTAIN PLANNING AND ZONING OFFICIALS.*****SUMMARY**

Beginning January 1, 2023, this bill requires each member of a local planning commission, zoning commission, planning and zoning commission, or zoning board of appeals, to complete at least five hours of training within one year after being elected or appointed to the board or commission. The training must (1) be designed to help the member effectively perform his or her duties and (2) include at least two hours of education on alternative or affordable housing.

Under the bill, the training may be conducted in various formats, including electronic media, a video or distance learning program, or in a traditional classroom setting. The training must be:

1. provided through the housing department or the Land Use Academy at UConn's Center for Land Use Education and Research, or
2. certified by the Connecticut Chapter of the American Planning Association, the Connecticut Bar Association's planning and zoning section, or a similar professional land use association.

The bill requires each board or commission, starting by March 1, 2024, to annually submit to its municipal legislative body a statement affirming its members' compliance with the bill's training requirement. The bill allows planning commissions to instead provide the statement in their annual report to the legislative body.

EFFECTIVE DATE: October 1, 2021

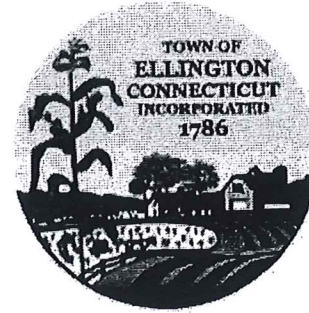
COMMITTEE ACTION

Planning and Development Committee

Joint Favorable Substitute

Yea 17 Nay 9 (03/31/2021)

**TOWN OF ELLINGTON
FIRST SELECTMAN'S OFFICE**



MEMO

To: All Employees
From: Lori Spielman, First Selectman *LS*
Subject: Updated Guidance Regarding COVID-19
Date: May 18, 2021

Per recent guidance from the CDC and the State of Connecticut, the following protocols will be in place, beginning Wednesday, May 19, 2021:

- Masks are not required for anyone working outdoors;
- Fully vaccinated individuals, including employees, residents and visitors, *will not be required* to wear masks while in Town buildings or vehicles; this will be on the honor system, and we will count on individuals to practice personal responsibility;
- Travel restrictions and testing requirements for return-to-work will be lifted — current recommendations are that individuals only get tested for COVID-19 if they are experiencing symptoms;
- Unvaccinated people are to continue wearing masks and social distancing at all times while indoors, for their own protection.

Vaccinated individuals are welcome to continue mask wearing and/or social distancing at their own discretion, depending on their personal comfort levels.

Department Heads should exercise their best judgment regarding unusual situations that may occur, and be willing to be flexible and work with individuals on a case-by-case basis as needed. I ask that you pass this information along to any boards or committees under the purview of your Department.

The use of the drop-boxes and other non-contact transaction options will continue to be promoted.

Any updates to State or Federal guidance and/or recommendations will be taken into account, and any and all of these protocols are subject to change; I appreciate everyone's cooperation as we continue to navigate the ever-changing guidance and recommendations that are presented.