



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120

TOWN PLANNER'S OFFICE

FAX (860) 870-3122

DESIGN REVIEW BOARD SPECIAL MEETING AGENDA THURSDAY, MAY 20, 2021, 7:00 P.M.

ZOOM MEETING

(INSTRUCTIONS TO JOIN VIRTUAL MEETING PROVIDED BELOW)

I. CALL TO ORDER:

II. PUBLIC COMMENTS (On Non-Agenda Items):

III. NEW BUSINESS:

1. Review of design elements for Z202101 - Ellington Enterprises, owner/applicant, pursuant to Section 4.1 of the Ellington Zoning Regulations request for a Special Permit and Site Plan Modification for the construction of a 9,600 sf building with wash bay at 77 Meadow Brook Road, APN 091-009-0000 in an I - Industrial Zone.

IV. ADMINISTRATIVE BUSINESS:

1. Approval of January 14, 2021 Special Meeting Minutes
2. Correspondence/Discussion:

V. ADJOURNMENT:

Note: Next regular meeting is scheduled for June 17, 2021

In order to comply with COVID-19 limited in-person meetings and social distancing requirements, this meeting will be conducted using the online video conferencing service provider Zoom. Meeting details will be provided on the Agenda and posted on the Ellington webpage (www.ellington-ct.gov), Agenda & Minutes, Design Review Board.

Join Zoom Meeting via link:
<https://zoom.us/j/98944901777>
Meeting ID: 989 4490 1777
Password: 259594

Join Zoom Meeting by phone:
1-646-558-8656 US (New York)
Meeting ID: 989 4490 1777
Password: 259594

Town of Ellington

Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input checked="" type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24		Application # 2202101 Date Received 1/20/2021
<div style="display: flex; justify-content: space-between;"><div style="width: 48%;"><p>Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.</p><p>Owner's Information</p><p>Name: <u>Ellington Enterprises</u></p><p>Mailing Address: <u>PO Box 331</u> <u>Ellington CT 06029</u></p><p>Email: <u>Dstavens@barberutilities.com</u></p><p>WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p><p>Primary Contact Phone #: <u>(860) 872 2330</u></p><p>Secondary Contact Phone #: <u>(860) 508 6533</u></p><p>Signature: <u>[Signature]</u> Date: <u>1-20-2021</u></p><p><small>By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.</small></p></div><div style="width: 48%;"><p>Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.</p><p>Applicant's Information (if different than owner)</p><p>Name: <u>Same as owner</u></p><p>Mailing Address: _____</p><p>Email: _____</p><p>WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? <input type="checkbox"/> Yes <input type="checkbox"/> No</p><p>Primary Contact Phone #: _____</p><p>Secondary Contact Phone #: _____</p><p>Signature: _____ Date: _____</p><p><small>By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.</small></p></div></div>		
<p>Street Address: <u>77 Meadow Brook Road</u></p> <p>Assessor's Parcel Number (APN): <u>091</u> - <u>009</u> - <u>0000</u> Existing Zone: <u>I</u> Proposed Zone: <u>N/A</u> <small>(If unaware of APN, please ask staff for assistance)</small></p> <p>Public Water: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Public Sewer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).</i></p> <p>Is parcel within 500' to any municipal boundary? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.</i></p> <p>Is the project in a public water supply watershed area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.</i></p>		
<p>Description of Request (If more space is needed, please attach additional sheets)</p> <p style="height: 100px; border: 1px solid black; margin-top: 10px;">See attached sheet(s)</p> <div style="text-align: right; margin-top: 20px;">JAN 20 2021</div>		

Project Narrative

Property Description: Located a half mile west of Route 83 on a seven-acre piece of industrial zoned property is 77 Meadow Brook Road. Made up of two lots, five and two acres a piece, its currently owned by Ellington Enterprises, the property is home to Barber Utilities. Here, Barber occupies all seven acres as well as the current 6600 sq ft building (Building 1) and the newly constructed 1800 sq ft building (Building 2). On site Barber uses the area to recycle materials for road construction. They recycle materials that include sand, rock, concrete and black top. Additionally, they store their fleet of trucks and equipment. As Barber expands their operation their needs for buildings and warehousing expand as well.

Proposed Building: Approximately 100 feet north of the existing Building 1 is the proposed location of a new 120' x 80' clear span steel building (Building 3). The building will match the existing Building 1 in appearance when it comes to shape and color. The siding will be tan with brown trim. Building 3 will have four garage doors across the front and one in the rear. One side of the building would be open storage measuring 90' x 80'. The other 30' x 80' would be the location of a new wash bay.

This new wash bay would aid in Barber's ability to keep their fleet of vehicles and equipment in good condition as well as help keep the environment protected. An oil-water separator would be installed to keep oil, grease and other contaminants out of the town's sewer system. In addition to an oil-water separator, a sediment basin will be installed on the storm system to catch any unintended run-off. This basin would keep silts and sands out of the stream that eventually discharges into Broad Brook. A storm water management plan is currently being processed. Heat for the Building 3 will be provided by a 1000-gallon buried propane tank.

Applicable zoning regulations will be adhered to. Parking for the building will be provided by the existing front parking lot which is currently oversized for what is necessary. Currently providing 40 parking spaces in the front of existing Building 1, this is more than enough for the 25 employees. If expansion occurs for Barber, Ellington Enterprises or any other future client of Ellington Enterprises, more parking could be provided.

Site Improvements: In addition, the necessary requirements of constructing Building 3 are just the start of the site improvements. There are three existing storage containers on the eastern side of the property line. The storage provided by this building would allow for the removal of these trailers.

Summary: By constructing this new building, Ellington Enterprises would help facilitate growth in a local company. This in return would add future tax base to the town. As Barber would expand the addition of jobs and equipment would stem from this proposed project.

A-100

ENGINEER: FB
ARCHITECT:
PROJECT MOR:
DRAFTED BY: BF

FLOOR PLAN

77 MEADOW BROOK ROAD
ELLINGTON, CONNECTICUT

BARBER UTILITIES

PROJECT NAME:

SEAL

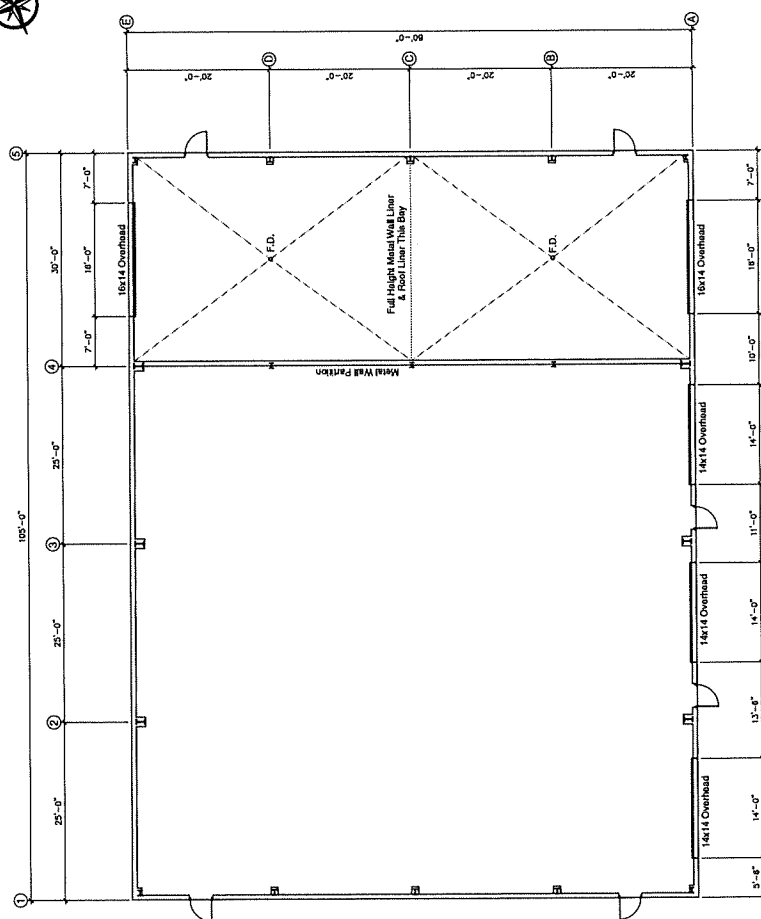
CONSULTANTS:



PDS ENGINEERING &
CONSTRUCTION, INC.

107 LAUREL STREET
ELLINGTON, CT 06029
Telephone (860) 242-5000
Fax (860) 242-0187

DATE: 4-20-2021 ISSUE: P&Z APPLICATION



FLOOR PLAN
1/8"=1'-0"

A-200

ENGINEER: FB
ARCHITECT:
PROJECT MGR:
DRAFTED BY: BF

SCALE

PROJECT NAME:

BARBER UTILITIES

77 MEADOW BROOK ROAD
ELLINGTON, CONNECTICUT

DRAWING TITLE:
EXTERIOR ELEVATIONS

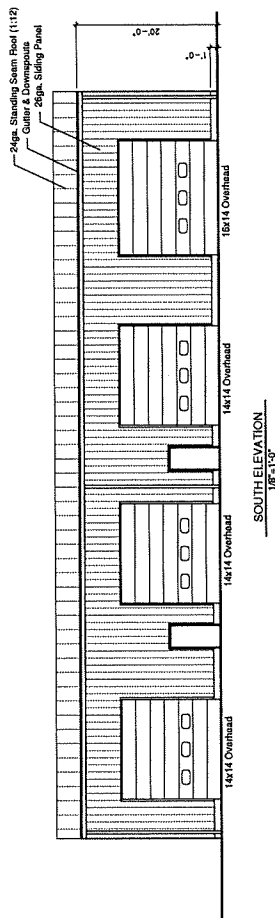
CONSULTANTS:



PDS ENGINEERING &
CONSTRUCTION, INC.

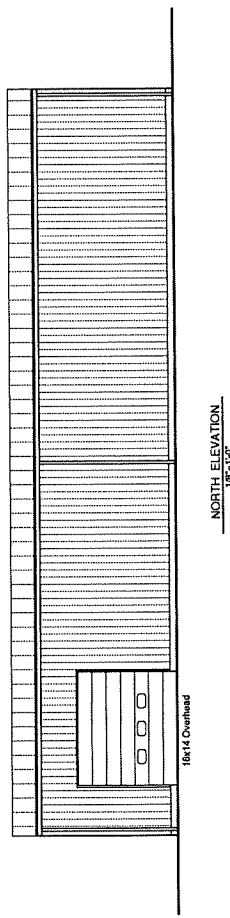
1000 Main Street
Ellington, CT 06029
Telephone: (860) 243-0060
Fax: (860) 243-0067

DATE: 4-20-2021
ISSUE: PAZ APPLICATION

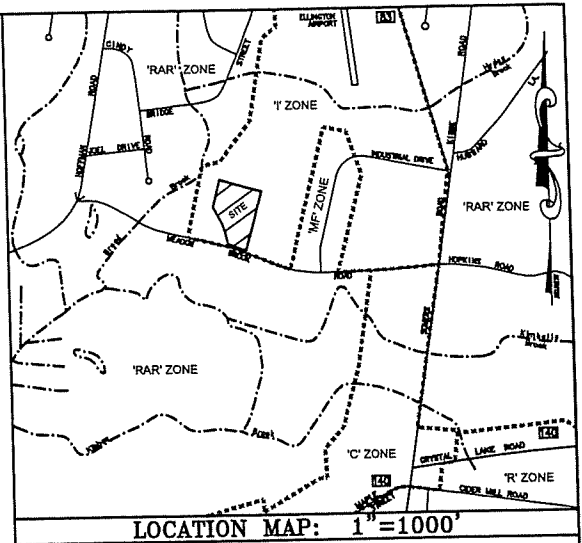


WEST ELEVATION
1/8" = 1'-0"

EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

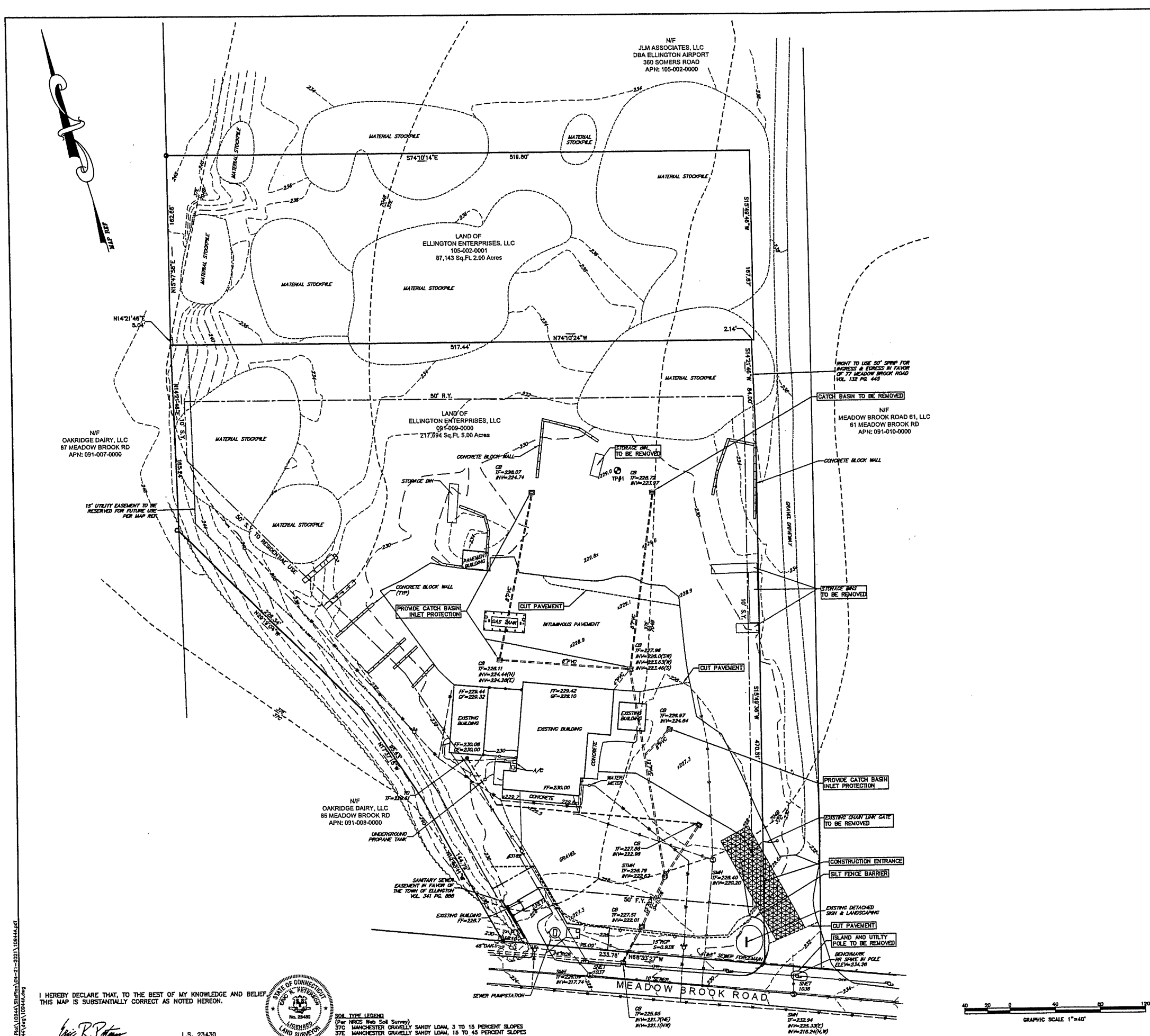


- NOTES:
- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY AND A REPRESENTATIVE RESURVEY SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED ON THE PLAN REFERENCED IN NOTE 3A & 3B BELOW. ELEVATIONS DEPICTED ON THIS PLAN ARE BASED ON THE ELEVATIONS DEPICTED ON THE PLAN REFERENCED IN NOTE 3C.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS:
A. "SITE PLAN/SPECIAL PERMIT PREPARED FOR BARBER UTILITIES, LLC OWNER ELLINGTON ENTERPRISES, LLC 77 MEADOW BROOK ROAD ELLINGTON, CONNECTICUT ASSessor's MAP #091-009-0000 & 105-002-0001 ZONE: INDUSTRIAL" BY J.R. RUSSO & ASSOCIATES, LLC. DATE: 1-21-13.
B. "PROPERTY SURVEY LAND OF ELLINGTON ENTERPRISES LLC ELLINGTON, CONNECTICUT" BY SHINDLER SURVEYS, DATE: 8/28/01.
C. "AS BUILT GRAVITY PLAN AND PROFILE MEADOW BROOK ROAD SANITARY SEWER SYSTEM AIRPORT SEWER EXTENSION ELLINGTON, CONNECTICUT" PREPARED BY BUCK & BUCK, LLC DATE: MARCH 2004. REVISED: 2/29/06.
 - THESE PARCELS AND ADJUTING PARCELS ARE LOCATED IN THE INDUSTRIAL 'I' ZONE.
 - ON JANUARY 3, 2005 THE TOWN OF ELLINGTON ZONING BOARD OF APPEALS GRANTED A VARIANCE OF SECTION 5.2 - AREA & YARD REQUIREMENTS TO REDUCE THE FRONT YARD SETBACK FROM 50 FEET TO 20 FEET AND TO REDUCE THE SIDE YARD SETBACK FROM 50 FEET TO 38 FEET FOR A PUMP STATION.
 - THE TOWN OF ELLINGTON INLAND WETLANDS AND WATERCOURSE MAPPING DOES NOT DEPICT WETLANDS WITHIN THESE PARCELS OR WITHIN 100 FEET OF THESE PARCELS.
 - THESE PARCELS ARE LOCATED IN FLOOD ZONE 'X' AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN PER FIRM FLOOD INSURANCE RATE MAP TOWN OF ELLINGTON, CONNECTICUT TOLLAND COUNTY PANEL 5 OF 15 COMMUNITY PANEL NUMBER 090159 0005 C MAP REVISED FEBRUARY 5, 1997.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4435.

LEGEND	
	PROPERTY LINE
	IRON PIPE FOUND
	ZONING SETBACK
	EASEMENT
	UTILITY POLE
	OVERHEAD WIRES
	SIGN
	ELEVATION CONTOUR
	EXISTING ELEVATION
	EDGE EX. PAVEMENT
	EX. SANITARY SEWER
	EX. STORM DRAINAGE
	EX. WATER SERVICE
	EX. TREE LINE
	SOIL LINE (WEB SOIL SURVEY)
	SILT FENCE BARRIER

**IMPROVEMENT LOCATION SURVEY
EROSION & SEDIMENT CONTROL PLAN
ELLINGTON ENTERPRISES, LLC**
APN: 091-009-0000 & 105-002-0001
77 MEADOW BROOK ROAD
ELLINGTON, CONNECTICUT
GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT
PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS		SCALE	DATE	SHEET NO.	MAP NO.
BY	E.R.P.	1"=40'	04-21-2021	1 OF 5	10944 A

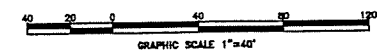


I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.



SOIL TYPE LEGEND
(Per NRCS Web Soil Survey)
37C MANCHESTER GRAVELLY SANDY LOAM, 3 TO 15 PERCENT SLOPES
37E MANCHESTER GRAVELLY SANDY LOAM, 15 TO 45 PERCENT SLOPES
704B ENFIELD SILT LOAM, 3 TO 8 PERCENT SLOPES



NOTES:

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 - "PROPERTY SURVEY LAND OF ELLINGTON ENTERPRISES LLC ELLINGTON, CONNECTICUT" BY SHINDLER SURVEYS, DATE: 9/28/01.
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ZONING TABLE:
ZONE: INDUSTRIAL (I) ZONE

	REQUIRED:	PROPOSED:
MIN. LOT AREA:	40,000 SQ.FT.	217,894 SQ.FT.
MIN. LOT WIDTH:	200 FT	333.78 FT
FRONT YARD:	50 FT	331 FT
SIDE YARD:	10 FT	69 FT
REAR YARD:	50 FT	125 FT
BUILDING HEIGHT:	35 FT	23 FT 4 IN
LOT COVERAGE:	60%	37.5%

*MAY BE REDUCED TO 50 FEET ALONG ANY ROADWAY NOT DESIGNED AS A COLLECTOR ROAD, ARTERIAL ROAD OR STATE HIGHWAY.

LEGEND

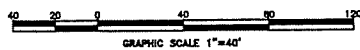
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○	IRON PIPE FOUND
- - -	ZONING SETBACK
- - -	EASEMENT
—○—	UTILITY POLE
—	OVERHEAD WRES
—	SIGN
—	ELEVATION CONTOUR
—	EXISTING ELEVATION
—	PROPOSED ELEVATION
—	EDGE EX. PAVEMENT
—	EX. SANITARY SEWER
—	PROPOSED SANITARY SEWER
—	EX. STORM DRAINAGE
—	EX. WATER SERVICE
—	PROPOSED WATER SERVICE
—	PROPOSED LIGHT
—	EX. TREELINE
—	SOIL LINE (WEB SOIL SURVEY)



REVISIONS

IMPROVEMENT LOCATION SURVEY
SITE PLAN
ELLINGTON ENTERPRISES, LLC
APN: 091-009-0000 & 105-002-0001
77 MEADOW BROOK ROAD
ELLINGTON, CONNECTICUT
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BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	04-21-2021	2 OF 5	10944 A



SOIL TYPE LEGEND
(Per NRCS Web Soil Survey)
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37E MANCHESTER GRAVELLY SANDY LOAM, 15 TO 45 PERCENT SLOPES
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L.S. 23430
REGISTRATION NO.

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF
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Eric R. Peterson
L.S. 23430
REGISTRATION NO.

10944.dwg 10/24/14



D-Series Size 1 LED Wall Luminaire



Specifications

Luminaire
Width: 13-3/4"
Depth: 4"
Height: 6-3/8"

Back Box (BBW, ELCW)
Width: 13-3/4"
Depth: 4"
Height: 6-3/8"



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBDXTD

Product	SKU	Qty	Notes	Notes	Notes	Notes	Notes	Notes	Notes
DSXW1 LED	DSXW1	100	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD

Product	SKU	Qty	Notes	Notes	Notes	Notes	Notes	Notes	Notes
DSXW1 LED	DSXW1	100	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD

Product	SKU	Qty	Notes	Notes	Notes	Notes	Notes	Notes	Notes
DSXW1 LED	DSXW1	100	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD

Product	SKU	Qty	Notes	Notes	Notes	Notes	Notes	Notes	Notes
DSXW1 LED	DSXW1	100	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD	1000 40K T3M MVOLT DBDXTD

Filename: 77 Meadow Brook Road - Site Lighting - Ellington.AGI

Luminaire Schedule	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
W2	1	W2	SINGLE	5309	45.7	0.900	Lithonia DSXW1 LED 20C 700 40K T2M MVOLT BBW DBLXD
W4	7	W4	SINGLE	5554	45.7	0.900	Lithonia DSXW1 LED 20C 700 40K T4M MVOLT BBW DBLXD

Calculation Summary	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Footcandle	0.37	3.5	0.0	N.A.	N.A.

Greg Loda
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

website: www.lightingaffiliates.com
Voice Number: (860) 721-1171 x 219
Email Address: gloda@lightingaffiliates.com

LEGEND	Symbol	Description
PROPERTY LINE	---	PROPERTY LINE
IRON PIPE FOUND	o	IRON PIPE FOUND
ZONING SETBACK	---	ZONING SETBACK
UTILITY POLE	o	UTILITY POLE
OVERHEAD WIRES	---	OVERHEAD WIRES
SIGN	o	SIGN
ELEVATION CONTOUR	---	ELEVATION CONTOUR
EXISTING ELEVATION	---	EXISTING ELEVATION
EX. SANITARY SEWER	---	EX. SANITARY SEWER
PROPOSED LIGHT	o	PROPOSED LIGHT

SITE PLAN

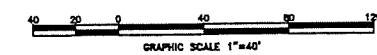
EXTERIOR LIGHTING PLAN

ELLINGTON ENTERPRISES, LLC
APN: 091-009-0000 & 105-002-0001
77 MEADOW BROOK ROAD
ELLINGTON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS	BY	SCALE	DATE	SHEET NO.	MAP NO.
	E.R.P.	1"=40'	04-21-2021	3 OF 5	10944 A



GENERAL EROSION AND SEDIMENT CONTROL NOTES

CONSTRUCTION SCHEDULE &
EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: ELLINGTON ENTERPRISES, LLC

LOCATION: 77 MEADOW BROOK ROAD, ELLINGTON, CT

PROJECT DESCRIPTION: CONSTRUCTION OF NEW BUILDING WITH WASH BAY

PARCEL AREA: 7 AC.

RESPONSIBLE PERSONNEL: DAVID STAVENS (860) 872-2330

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
EXCAVATE FOR BUILDING FOUNDATION	INSTALL ANTI-TRACKING PAD		
INSTALL SEWER, DRAINAGE AND UTILITIES	INSTALL SILT FENCE BARRIERS DOWNGRADE OF CONSTRUCTION ACTIVITY AS SHOWN		
GRADE SITE FOR PAVING	INSTALL INLET PROTECTION IN EXISTING CATCH BASINS		
FINAL GRADE AND FINAL PAVE	PROTECT INFILTRATION BALLY AREAS FROM DISTURBANCE AND COMPACTION		
	TOPSOIL SEED AND MULCH SLOPES		
	INSPECT AND MAINTAIN SEDIMENT BARRIERS WEEKLY AND AFTER RAIN EVENTS OVER 0.5-INCH.		
	REMOVE SEDIMENT FROM DRAINAGE STRUCTURES		
	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		

PROJECT DATES:
DATE OF CONSTRUCTION START: JUNE 1, 2021
DATE OF CONSTRUCTION COMPLETION: AUGUST 31, 2021

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SURFACE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEDS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDING SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING IF TRAFFIC HAS LEFT THE SOIL COMPACTED. THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	1.0	3/1-8/15, 8/15-10/15
WINTER RYE	120	3.0	4/15-7/1, 8/15-10/15
SUDANGRASS	30	0.7	5/15-8/1

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCSS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.
STRAW MULCH IS TO BE APPLIED TO SEEDBED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 80 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	20	0.48	4/1-8/15, 8/15-10/1
CREeping RED FESCUE	20	0.48	4/1-8/15, 8/15-10/1
PERENNIAL RYEGRASS	5	0.10	4/1-8/15, 8/15-10/1
TOTAL	45	1.00	

TURF MANAGEMENT PLAN

- Soil Testing**
A composite soil sample from the subject property will be collected and delivered to a University of Connecticut Cooperative Extension office for testing of soil nutrient levels (i.e., pH, nitrogen, phosphorus, calcium, magnesium, potassium) prior to a fertilizer application. The Extension office will recommend a fertilizer application rate based upon these test results. The actual fertilizer application rate will follow this recommendation. This will ensure against an excessive fertilizer application, which could lead to chemical leaching or export.
- Slow-Release Fertilizers**
Slow-release fertilizers will be applied to lawns, planted trees and shrubs. These can include, but are not limited to, organic-based fertilizers. A variety of commercial slow-release nitrogen fertilizer products are available (e.g., Milorganite, Isobutyrdene diurea, coated urea, etc.). Advantages of slow-release fertilizers include the supply of a steady nitrogen source, and reduced nitrogen leaching. By combining small amounts of soluble nitrogen sources with slow release nitrogen products, nitrogen availability can be extended without a threat of leaching.
- Fertilizer Application Schedule**
Fertilizer will be applied three times annually to the subject property: early to late May (after the threat of frost and weather has passed), late August to early September, and mid-September to mid-October. If the soil test indicates a need for lime, it will be applied at the last fertilization date.
- Integrated Pest Management (IPM)**
IPM is an integrated, preventative approach to maintaining healthy turf and landscape plants. IPM recognizes that, although chemicals are an important component of a turf management plan, other strategies are available to maintain a healthy lawn. A central premise of IPM is to treat pest problems as they arise on an as-needed basis only, using a variety of biological (e.g., natural predators), chemical and cultural (e.g., disease-resistant seed) practices.

To be successful, IPM requires periodic monitoring by an experienced practitioner to detect pest problems at an early stage and develop an effective, environmentally responsible action plan. It is recommended that the contractor that is hired to maintain the grounds have training and experience in the practice of IPM.

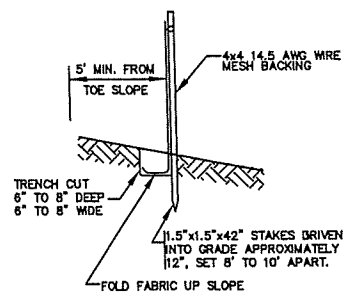
NOTES:

- SEDIMENT CONTROL FABRIC TO BE A GEOTEXTILE MATERIAL TREATED TO RESIST DEGRADATION FROM EXPOSURE TO SUNLIGHT.
- USE ONLY GEOTEXTILES WHICH ARE ALREADY ON THE CONNECTICUT DEPARTMENT OF TRANSPORTATION'S GEOTEXTILE APPROVED LIST OF GEOTEXTILES.
- AFTER FOLDING FABRIC EDGE, BACKFILL TRENCH WITH TAMPED ORIGINAL SOIL OR AGGREGATE.
- INSTALL PER 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- FABRIC SHALL BE PREFABRICATED WITH 4"x4" 14.5 AWG WIRE MESH BACKING.

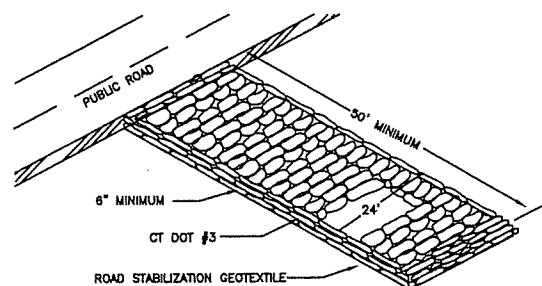
TEST PIT DATA:

OBSERVED BY ERIC PETERSON, PE
GARDNER & PETERSON ASSOCIATES, LLC
04/23/2021

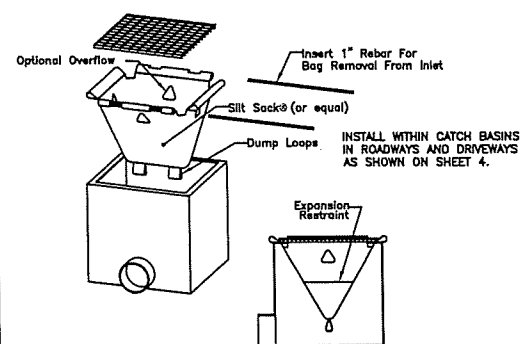
TP1:

0-18" FILL
18-27" FIRM MEDIUM SAND W/ COBBLES
27-90" LOOSE FINE SAND
90-98" BROWN SILTY CLAY
NO MOTTLING, LEDGE, SEEPAGE, ROOTS
RESTRICTIVE @ 90"
PERM #3 & #7 @ 48": RATE=60 IN/HR

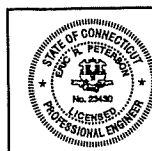
SILT FENCE INSTALLATION



CONSTRUCTION ENTRANCE



CATCH BASIN INLET PROTECTION



REVISIONS

EROSION & SEDIMENT CONTROL
NOTES AND DETAILS
ELLINGTON ENTERPRISES, LLC
APN: 091-009-0000 & 105-002-0001
77 MEADOW BROOK ROAD
ELLINGTON, CONNECTICUT

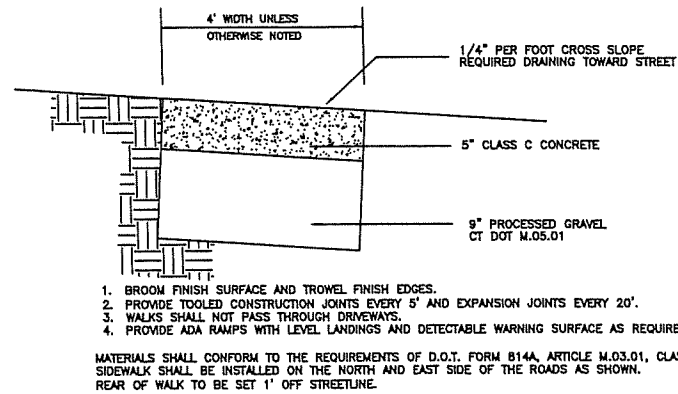
GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE

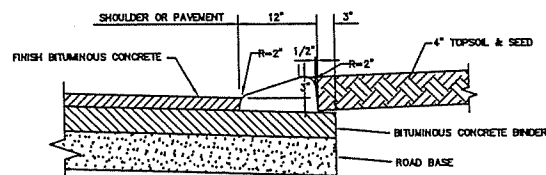
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	04-21-2021	4 OF 5	10944 A

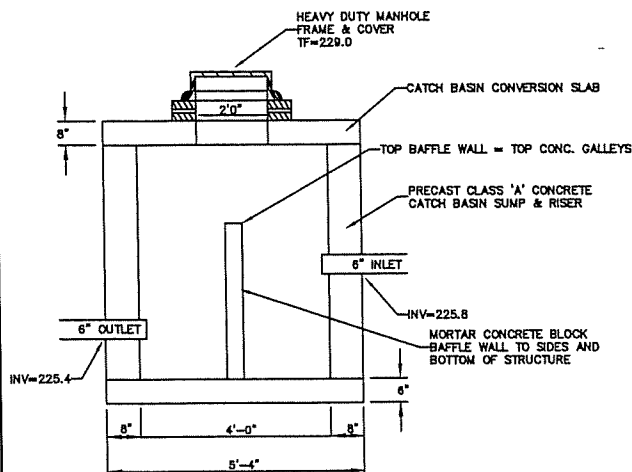


SIDEWALK CROSS-SECTION

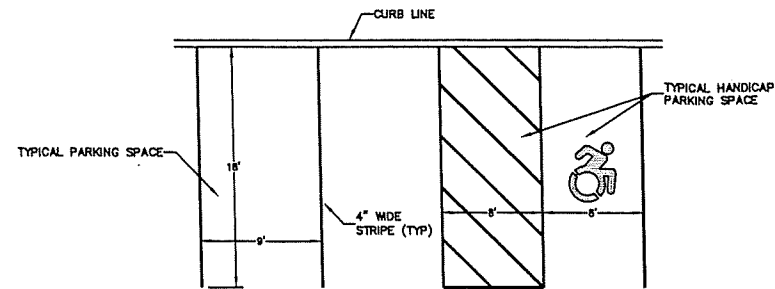


- NOTES:
1. CURBING MATERIAL TO BE CLASS 3 BITUMINOUS CONCRETE PER CONN. D.O.T. FORM 816.
 2. CURBING TO BE LAID ON TOP OF BINDER COURSE.
 3. TACK COAT TO BE APPLIED PRIOR TO CURB PLACEMENT. COATING TO BE APPLIED PER MD4.01.1.d.4, OF FORM 816 AS AMENDED.
 4. THE CAPE COD CURB SHALL BE MACHINE LAID AND LAID ACROSS DRIVEWAY ENTRANCES.

BITUMINOUS CONCRETE CURB CAP COD CURB

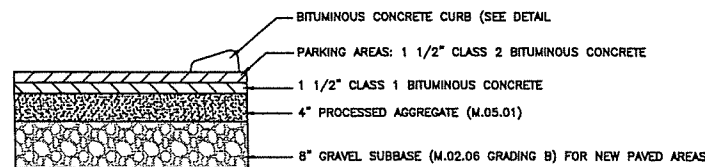


STORM MANHOLE DETAIL



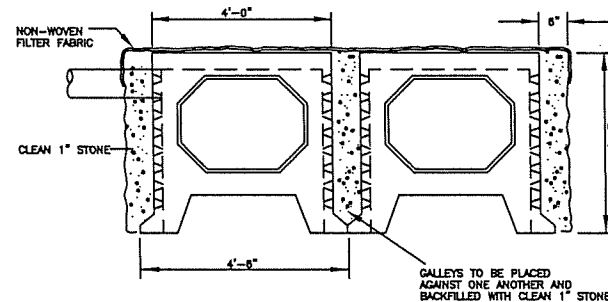
- PAVEMENT MARKING NOTES:
1. All work to conform to Form 816, Section 12.09 and the manufacturer's instructions and recommendations for application.
 2. Lines shall be four (4) inches wide, except as noted, and 15 mils thick, colored white, except as noted.
 3. Point shall be either white or United ready-mixed point conforming to AASHTO M70, Type 1.
 4. Epoxy Resins shall conform to Form 816 and project requirements for layout of crosswalks. Install glass beads by free fall method.
 5. Prior to painting, sweep pavement with power broom supplemented with hand brooms to eliminate loose material and dust.
 6. After applying point, erect suitable barriers to prevent tracking of point before drying. Retouch and point all markings which become erased, discolored, worn, or otherwise marred before final acceptance of the project. Remove any evidence of measuring of point.

PAINTED PARKING STALL DETAIL

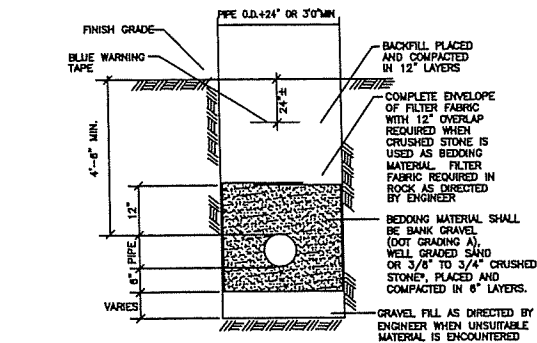


BITUMINOUS PAVEMENT CROSS SECTION

- NOTES:
1. DURING CONSTRUCTION, CARE MUST BE TAKEN NOT TO COMPACT THE UNDERLYING NATURAL SOILS. HEAVY VEHICLES SHALL NOT ENTER THE EXCAVATION OF THE INFILTRATION GALLEYS. THIS AREA SHALL BE FENCED OFF TO PREVENT COMPACTION AT THE INITIATION OF SITE CONSTRUCTION.
 2. ENGINEER SHALL WITNESS THE EXCAVATION AND INSTALLATION OF THE GALLEYS TO ENSURE PROPER SOIL CONDITIONS BELOW SYSTEM.
 3. PLACE NON-WOVEN FILTER OVER INFILTRATION GALLEY AND CLEAN 1\"/>

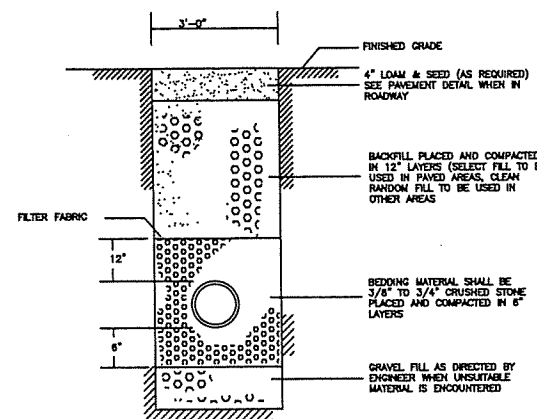


CONCRETE INFILTRATION GALLEY



- CONNECTICUT WATER COMPANY NOTES:
1. FIELD JOINT GASKETS ARE REQUIRED ON THE (2) PIPE JOINTS BEFORE AND AFTER ALL FITTINGS.
 2. MANHOLE RESTRAINTS ARE REQUIRED AT ALL FITTINGS.
 3. ALL BENCH, TEEL, OFFSETS, HYDRANTS, AND DEAD ENDS REQUIRE THRUST BLOCKS.
- *CRUSHED STONE SHALL ONLY BE USED IN HIGH GROUNDWATER CONDITIONS AS DIRECTED BY THE ENGINEER

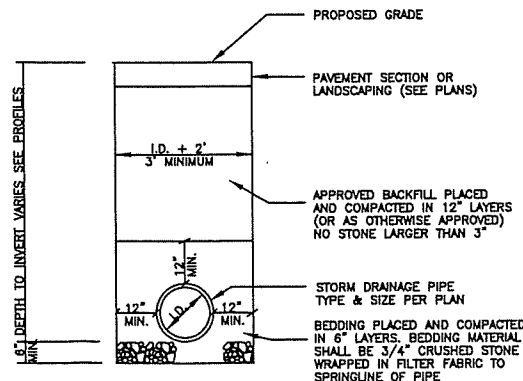
WATER TRENCH DETAIL



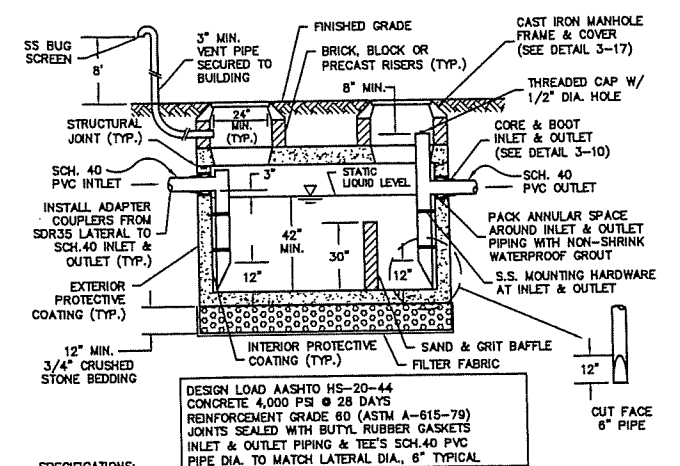
SANITARY SEWER TRENCH DETAIL

- The hydrodynamic separator must be designed to remove a minimum of 80% of the total suspended solids from the water quality flow of 1.22 cfs with an internal bypass of the 10-year design storm flow of 14 cfs. The system must first be approved by the design engineer then submitted to the town for review prior to fabrication. Shop drawing submittals must include:
- "tracked" flow for the specified system and model, which must be equal or exceed the water quality flow
 - "conveyed" flow for the specified system and model, which must be equal or greater than the design storm flow
 - calculations or documentation verifying that 80% (min.) of the average annual total suspended solids will be removed from the water quality flow
 - calculations of the hydraulic grade line elevations for the design storm event in the first structure located upstream of the system and any other critical locations
 - orientation of the system in plan view with respect to the approved site plan (if different than shown on the approved plans)
 - proposed size and elevation of critical weir, orifice, pipe invert elevations, and other design elements that correspond to the hydraulic characteristics of the system

HYDRODYNAMIC SEPARATOR REQUIREMENTS



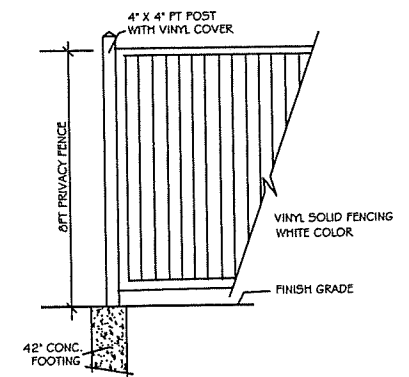
STORM DRAIN TRENCH DETAIL



SPECIFICATIONS:

1. TANK SHALL HAVE A MINIMUM CAPACITY SUFFICIENT TO PROVIDE AT LEAST SIX (6) HOURS OF RETENTION TIME DURING THE AVERAGE DAILY FLOW AND SHALL BE NO LESS THAN 1,000 GALLONS. TANK SHALL BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
2. INTERIOR OF THE TANK AND EXTENSION TO GRADE MANHOLES SHALL BE COATED WITH AN EPOXY PETROLEUM RESISTANT SEALANT. EXTERIOR OF THE TANK AND EXTENSION GRADE MANHOLES SHALL BE COATED WITH A WATERPROOF FOUNDATION SEALANT. THIS INCLUDES THE TANK EXTERIOR TOP AND BOTTOM.
3. STRUCTURAL SEAM OF THE TANK SHALL BE FILLED IN WITH NON-SHRINKING CEMENT OR WATER PLUG AND COATED WITH A WATERPROOF SEALANT. THE HORIZONTAL STRUCTURAL SEAM OF THE TANK SHALL BE LOCATED ABOVE THE STATIC LIQUID LEVEL OF THE TANK.
4. VOIDS BETWEEN INLET AND OUTLET PIPING OF THE TANK SHALL BE GROUTED WITH NON-SHRINKING CEMENT AND COATED WITH A WATERPROOF SEALANT.
5. THE TANK SHALL HAVE EXTENSIONS TO GRADE ABOVE THE INLET AND OUTLET PIPING. THE EXTENSIONS SHALL HAVE FRAME AND MANHOLE COVERS. THE MANHOLES, EXTENSIONS AND ACCESS TO THE TANK SHALL BE AT LEAST TWENTY-FOUR (24) INCHES IN DIAMETER.
6. THE INLET AND OUTLET PIPING SHALL UTILIZE A TEE-PIPE ON THE INTERIOR OF THE TANK. THE OUTLET TEE PIPE SHALL BE EQUIPPED WITH A STAND PIPE RISER EXTENDING UP INTO THE EXTENSION TO GRADE BUT NO CLOSER THAN EIGHT (8) INCHES FROM THE MANHOLE COVER. THE TEE-PIPE SHALL EXTEND SIX (6) TO TWELVE (12) INCHES FROM THE BOTTOM OF THE TANK.
7. THE INLET EXTENSION TO GRADE SHALL INCLUDE A VENT LINE WHICH EXTENDS EIGHT (8) FEET ABOVE FINISHED GRADE AND IS PROPERLY SECURED TO THE BUILDING. THE SIZE OF THE VENT SHALL BE HALF THE SIZE OF THE OUTLET DISCHARGE LINE.
8. THE INCOMING PIPE SHALL NOT INCLUDE ANY SOURCES OF DOMESTIC WASTEWATER. THE OUTLET PIPE SHALL BE CONNECTED TO THE SANITARY SEWER.
9. THE OUTLET PIPE SHALL MATCH THE DIAMETER OF THE CONNECTING LATERAL.
10. THE CONCRETE COVERS PROVIDED BY THE OIL SEPARATOR MANUFACTURER MUST BE REMOVED AND DISCARDED.

SAND & OIL WATER SEPARATOR



SCREEN FENCING DETAIL

	CONSTRUCTION DETAILS ELLINGTON ENTERPRISES, LLC APN: 091-009-0000 & 105-002-0001 77 MEADOW BROOK ROAD ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS			
	BY	SCALE	DATE	SHEET NO.
	E.R.P.	N.T.S.	04-21-2021	5 OF 5
				MAP NO. 10944 A



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120

TOWN PLANNER'S OFFICE

FAX (860) 870-3122

DESIGN REVIEW BOARD SPECIAL MEETING MINUTES THURSDAY, JANUARY 14, 2021, 7:00 P.M. ZOOM MEETING

MEMBERS PRESENT: Chairman Robert Dawson, Michele Beaulieu, Gary Chapin, Ronald Stomberg and Kevin Zahner

STAFF PRESENT: Lisa Houlihan, Town Planner and Barbra Galovich, Recording Clerk

I. CALL TO ORDER:

Chairman Robert Dawson called the meeting to order at 7:09 P.M.

I. NEW BUSINESS:

1. Review of design elements for Z202024 – Schneider Brothers, LLC, owner/ Earthlight Technologies, LLC, applicant, request for Special Permit for business office, warehousing and storage, and storage yard for building materials and a ground mounted solar array pursuant to Section 7.15.7 and Site Plan Modification for the construction of a commercial building, parking, loading area, outdoor storage yard, common driveway and utilities, ground mounted solar array, and associated site improvements on properties located at 124 West Road, APN 037-003-0000 and 128 West Road, APN 037-003-0002 in a PC (Planned Commercial) Zone.

Guy Hesketh and Ken LaForge, F.A. Hesketh and Associates, Inc., 6 Creamery Brook, East Granby, CT, Everett Skinner, The Barnyard, 120 West Road and Sam Schneider, Earthlight Technologies, LLC, 92 West Road were present to represent the application.

Mr. Hesketh stated the applicant previously received subdivision and zone change approvals from the Planning & Zoning Commission. He said the detention basin and shared access improvements with Barnyard have been constructed and the applicant has received wetlands approval for the proposed site improvements. Mr. Hesketh reviewed the proposed improvements such as the main access drive, building location, employee parking, customer parking, outside storage area and solar array. He reviewed the photometric plan, which includes the wall mounted lighting, parking area lighting and

landscaping proposal for the Earthlight development area. Mr. Hesketh stated the pole lights are proposed to be 25' in height from grade.

Mr. LaForge reviewed the proposed landscaping plan, which includes elm trees that will be 35' on center along the driveway and a variety of trees, such as elm, evergreen, and maple trees, that will be installed within the parking areas. They are planning on planting evergreens to buffer the outside employee's break area to the north side of the building and the outside storage area beyond the main building. He reviewed the landscape schedule and described the different plantings and shrubs to be used on site. Oriental plantings are proposed to be used between the building and the parking areas. Mr. LaForge explained the proposed landscape plan is designed to be consistent with other newer developments along Route 83.

Everett Skinner reviewed the building design, explaining the applicant is proposing to construct a 20,690 sf two story office with a one story warehouse, noting the front of the building will be made of timber frame and reclaimed barn board. The warehouse portion of the building will be constructed with steel and have solar panels on the roof. They are proposing to have a covered loading dock, an 80'x150' outside storage area that will be enclosed by an 8' chain-link fence, and a dumpster enclosure that will be completely screened from the public. Mr. Skinner stated the buildings will be fully fire sprinkled. Mr. Skinner stated the storm drainage will be in the back of the property.

Chairman Dawson stated the applicants did a great job on the presentation and asked if they would be installing lights along the driveway. Mr. Hesketh explained the photometric plan is just for Earthlight's portion of the property. They've completed the grading and installed the street trees in Phase 1 of the project. Chairman Dawson asked if the driveway would be paved and Mr. Hesketh confirmed it would be paved. Chairman Dawson stated he liked the farm-like look of the main building and inquired about adding a cupula to it for aesthetics.

Commissioner Chapin said it is an attractive building and appreciates the applicant for the thorough landscape plan. Mr. Schneider noted the land in front of the building will remain a hayfield for now. Commissioner Beaulieu likes the building and appreciates the use of reclaimed barn wood. She is not too sure about adding a cupula to the building. Commissioner Stomberg stated he appreciated the applicants' efforts and receiving a completed application. He questioned the idea of a cupula and requested the driveway be constructed to handle normal roadway traffic and expressed concerns about another building being erected in front of Earthlight's building that could detract from the favorable design. He suggested the applicant keep in mind that Route 83 is a highway and could possibly be widened in the future.

Mr. Hesketh explained where it is noted, "Possible Future Development" in front of the Earthlight building was for the concept plan required by the Planning & Zoning Commission that was submitted with the zone change and subdivision

proposals for the parcel. Mr. Schneider reiterated they are not planning on developing in front of their proposed building at this time.

Chairman Dawson stated he'd leave it up to the applicant whether or not to add a cupola and reviewed suggestions with the applicant and other Board members.

BY CONSENSUS, THE BOARD GRANTED A POSITIVE REFERRAL TO THE PLANNING & ZONING COMMISSION FOR A BUSINESS OFFICE, WAREHOUSING AND STORAGE, AND STORAGE YARD FOR BUILDING MATERIALS AND A GROUND MOUNTED SOLAR ARRAY PURSUANT TO SECTION 7.15.7 AND SITE PLAN MODIFICATION FOR THE CONSTRUCTION OF A COMMERCIAL BUILDING, PARKING, LOADING AREA, OUTDOOR STORAGE YARD, COMMON DRIVEWAY AND UTILITIES, GROUND MOUNTED SOLAR ARRAY, AND ASSOCIATED SITE IMPROVEMENTS ON PROPERTIES LOCATED AT 124 WEST ROAD, APN 037-003-0000 AND 128 WEST ROAD, APN 037-003-0002.

DISCUSSION/OTHER POSSIBLE CONSIDERATIONS:

- Asphalt paving suggested for roadway;
- Addition of a cupola on main building;
- Design of potential future buildings should be compatible with design used for Earthlight Technologies headquarters.

II. ADMINISTRATIVE BUSINESS:

1. Approval of the November 19, 2020 Special Meeting Minutes

MOVED (CHAPIN), SECONDED (STOMBERG) AND PASSED UNANIMOUSLY TO APPROVE THE NOVEMBER 19 2020 SPECIAL MEETING MINUTES AS WRITTEN.

2. Election of Officers

Chairman:

MOVED (CHAPIN), SECONDED (STOMBERG) TO NOMINATE COMMISSIONER (DAWSON) FOR CHAIRMAN OF THE DESIGN REVIEW BOARD FOR 2021.

COMMISSIONER (DAWSON) ACCEPTED THE NOMINATION. HEARING NO FURTHER NOMINATIONS, NOMINATIONS WERE CLOSED.

BY CONSENSUS, COMMISSIONER (DAWSON) WAS ELECTED CHAIRMAN OF THE DESIGN REVIEW BOARD FOR 2021.

Vice Chairman:

MOVED (DAWSON), SECONDED (BEAULIEU) TO NOMINATE COMMISSIONER (CHAPIN) FOR VICE CHAIRMAN OF THE DESIGN REVIEW BOARD FOR 2021.

COMMISSIONER (CHAPIN) ACCEPTED THE NOMINATION. HEARING NO FURTHER NOMINATIONS, NOMINATIONS WERE CLOSED.

BY CONSENSUS, COMMISSIONER (CHAPIN) WAS ELECTED VICE CHAIRMAN OF THE DESIGN REVIEW BOARD FOR 2021.

III. ADJOURNMENT:

MOVED (BEAULIEU), SECONDED (CHAPIN) AND PASSED UNANIMOUSLY TO ADJOURN THE DESIGN REVIEW BOARD MEETING AT 7:58 P.M.

Respectfully submitted,

Barbra Galovich, Recording Clerk