



STATE OF CONNECTICUT – COUNTY OF
TOLLAND INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT
06029-0187

www.ellington-ct.gov

TEL. (860) 870-3120

TOWN PLANNER'S OFFICE

FX (860) 870-3122

**PLANNING AND ZONING COMMISSION
REGULAR MEETING AGENDA
MONDAY, APRIL 26, 2021, 7:00 PM
SENIOR CENTER GREAT ROOM, 40 MAPLE ST, ELLINGTON, CT**

**IN-PERSON PUBLIC ATTENDANCE LIMITED DUE TO COVID19 RESTRICTIONS
ZOOM ATTENDANCE INSTRUCTIONS PROVIDED**

I. CALL TO ORDER:

II. PUBLIC COMMENTS (On non-agenda items):

III. PUBLIC HEARING(S): (Notice requirements met and hearings may commence unless otherwise indicated)

1. Z202020 - Joseph & Mary Holloy and Heather Holloy-Farr & Christopher Farr, owners/ applicants, pursuant to Section 3.1 of the Ellington Zoning Regulations request for a Special Permit for a dormitory at 154 Crystal Lake Road, APN 095-021-0001, and 156 Crystal Lake Road, APN 095-021-0000, in the RAR (Rural Agricultural Residential) Zone. (Continued from March 22, 2021 meeting.)
2. Z202101 - Ellington Enterprises, owner/applicant, pursuant to Section 4.1 of the Ellington Zoning Regulations request for a Special Permit and Site Plan Modification for the construction of a 9,600 sf building with wash bay at 77 Meadow Brook Road, APN 091-009- 0000 in an I - Industrial Zone. (Opening of hearing to be tabled to May 24, 2021)
3. Z202104 – Big Y Foods, Inc., owner/ applicant, pursuant to Table 4.1 Permitted Uses & Uses Requiring Special Permit - Commercial & Industrial Zones request for Special Permit to allow medical, business, professional and financial office; personal services business; restaurants, tavern entertainment; and veterinarian, small animal hospital and commercial kennel at 140 West Road, APN 046-001-0000 in a PC (Planned Commercial) Zone.
4. Z202105 – Robert Binkowski, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (40X80) at 3 Deer Run, APN 084-026-0000, in a R (Residential) Zone.
5. Z202106 – Andre & Amanda Nowzarinezhad, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached structure (35X60) accessory to a single-family home at 57 Windermere Avenue, APN 011-019-0000, in an IP (Industrial Park) Zone.

PUBLIC HEARING(S) continued:

6. Z202107 – Seventy-One Abbott Road, LLC, owner/ Jeff Zanelli, applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit for an agricultural-related business office within existing building #1 and minor Site Plan Modification for parking and construction of covered entrance at 78 Abbott Road, APN 033-012-0000, in a RAR (Rural Agricultural Residential) Zone.

7. Z202108 - Text amendment to Ellington Zoning Regulation Section 2.1.10 Highway Clearance Setback to update collector streets for consistency with Section 6.5 Sidewalks and Fee-in-lieu-of Sidewalks (Effective 11/1/2020) and Section 6.6 Access Management (Effective 4/1/2021); as well as consider current traffic patterns, to fix incorrectly listed street names and account for changes to roadway design associated with road realignments.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Request for informal discussion regarding a potential development for properties on Windermere Avenue for Designed Multi-Family.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of Planning and Zoning Commission March 22, 2021 Regular Meeting Minutes.

2. Correspondence:
 - a. Memo from Timothy W. Webb, Director of Public Works/Water Pollution Control Authority Administrator for a potential expansion to the sanitary sewer district to include Planned Commercial and agricultural properties along Jobs Hill Road and Tomoka Avenue.

 - b. Discussion: draft text amendment to add Low Impact Development Standards to the Ellington Zoning Regulations.

 - c. Discussion: Public Act 21-3 an Act Concerning the Outdoor Sale of Goods and Provision of Food and Beverage Service.

 - d. Letter from Pullman & Comley, dated April 6, 2021, for petition for declaratory ruling for a solar array at 277 Sadds Mill Road, Ellington, CT, for CTEC Solar, LLC.

VII. ADJOURNMENT:

Next Planning and Zoning Commission Regular Meeting is scheduled for May 24, 2021

Join meeting via ZOOM Communications: Due to COVID-19, in-person attendance is limited to maximum occupancy based on fixed seating arrangements meeting social distancing requirements. Attendance for this meeting is also available using the online video conferencing provider Zoom Meeting. Details to attend the meeting virtually are provided on the meeting agenda and posted on the Town of Ellington’s webpage (www.ellington-ct.gov) under Agenda & Minutes, Planning & Zoning Commission. For questions and assistance please contact the Ellington Planning Department at 860-870-3120.

Join Zoom Meeting via link:
<https://zoom.us/j/96589322000>
Meeting ID: 965 8932 2000
Passcode: 281080

Join Zoom Meeting by phone:
1-646-558-8656 US (New York)
Meeting ID: 965 8932 2000
Passcode: 281080

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <div style="background-color: yellow; padding: 2px;">2202104</div> Date Received 3/10/2021
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Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Big 4 Foods, Inc
 Mailing Address: 2145 ROOSEVELT AVE P.O. Box 7840
SPRINGFIELD, MA. 01104-7840
 Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 413 504-4101

Secondary Contact Phone #: 413 504-4703

Signature: Samuel McCarthy Date: 3-12-21

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____
 Mailing Address: _____
Same as owner

 Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: 140 WEST ROAD RTE 83 ELLINGTON, CT.

Assessor's Parcel Number (APN): 046 - 001 - 0000 Existing Zone: PC Proposed Zone: _____
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

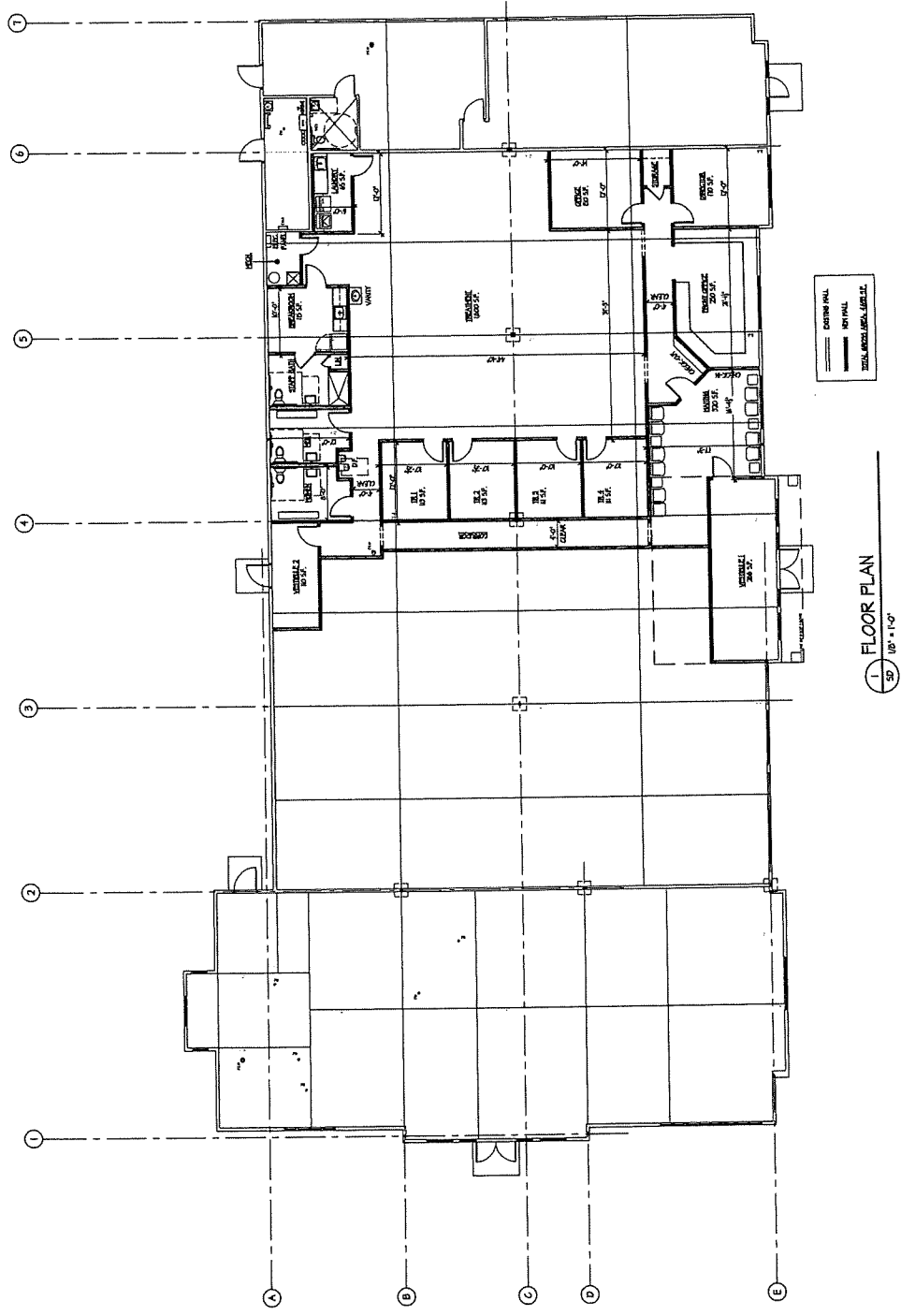
Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (If more space is needed, please attach additional sheets)

BIG 4 WOULD LIKE TO LEASE 4079 SQUARE FEET OF VACANT SPACE TO
PHYSICAL THERAPY / REHAB FACILITY. BIG 4 WILL HAVE ROUGHLY 4000 SQ FT
OF SPACE IN THE CONVENIENCE STORE BUILDING AND 2100 SQ FT IN THE
BACK BUILDING AVAILABLE. WE WOULD LIKE A SPECIAL PERMIT FOR
OFFICE : MED. BYS. PROF FINANCIAL, PERSONAL SERVICES BUSINESS, RESTAURANTS,
TAVERN ENTERTAINMENT, VETERINARIAN SMALL ANIMAL HOSPITAL AND
COMMERCIAL KENNEL



DECEMBER 18, 2020
Project No. 20-27

FLOOR PLAN
INTEGRATED REHABILITATION SERVICES
ELLINGTON, CONNECTICUT 06029



0 2 4 8 16 32 FT

140 West Road (Owner, Big Y Foods Inc.)

Use		Total Square Footage*	Net Floor Area*	Calculation	Required Spaces	Existing Spaces in Phase 1
Building 1						
Unit 1	Gas Station	N/A	N/A	N/A	5	
Unit 1	Covenience Store	2135	1708	1800/200	9	
Unit 1	Drive Thru Restaurant	900	720	800/100	8	
Unit 2	Vacant**	4000	3200	3200/100	32	
Unit 3	Physical Therapy Office	4079	3263	3300/150	22	
Unit 4	Retail - Verizon	1400	1120	1200/200	6	
Building 2						
Unit 1	Vacant**	2100	1680	1800/100	18	
TOTAL REQUIRED					100	77

*Total Square Footage and Net Floor Area are taken from Building Plans and PZC approved site plan. Site Plan calculated NFA as 80% of total area.

** Vacant unit parking requirement calculated using highest parking demand square footage ratio (restaurant)

Updated March 2021

ZONING DATA TABLE

Zone: Planned Commercial and Rural Agricultural Residential
 Zoning Data Analysis based upon Planned Commercial Zone

Regulation	Section	Required	Proposed
Maximum Lot Area	Section 4.21	3 Acres	8,704 Acres
Minimum Width	Section 4.21	200 Feet	508.50 Feet
Minimum Front Yard	Section 4.21	100 Feet	158 Feet
Minimum Side Yard	Section 4.21	10 Feet	20 Feet and 60 Feet
Minimum Rear Yard	Section 4.21	20 Feet	204 Feet
Maximum Building Height	Section 4.23	30 Feet	30.8 Feet
Maximum Lot Coverage	Section 4.23	60 Percent	30.8 Percent
Maximum Parking	Section 4.24	125 Spaces	143 Spaces

(1) 50 feet side yard requirement when existing residential property or zone, except where occupancy only

DEVELOPMENT DATA

Building	Square Feet	Use	Phase
Building 1-A	3,072 Sq. Ft.	Restaurant	Phase 1
Building 1-B	8,720	Retail	Phase 1
Pump Island	6 Fuel Islands	Gas Station	Phase 1
Building 2	2,128 Sq. Ft.	Retail	Phase 2
Building 3	14,150 Sq. Ft.	Retail	Phase 2

PHASE 1 DEVELOPMENT DATA

Building	Square Feet	Use
Building 1-A	3,072 Sq. Ft.	Restaurant
Building 1-B	8,720 Sq. Ft.	Retail
Pump Island	6 Fuel Islands	Motor Vehicle Gasoline
Building 2	2,128 Sq. Ft.	Retail

Required Parking for Phase 1

Retail Trade Uses: 1 Parking Space for each 200 square feet of floor area
 Restaurant: 1 Parking Space for each 100 square feet of floor area

Motor Vehicle Gasoline: 8 Spaces

Required Parking Calculations for Phase 1

Assumes 80% car load rate of all retail Trade Uses and Restaurant buildings
 Retail Trade Uses: 8,120 Sq. Ft. = 121 Sq. Ft. x 100% = 8,120 Sq. Ft. Retail Floor Area
 Restaurant: 3,072 Sq. Ft. / 1 Parking Space for each 200 Sq. Ft. Retail Floor Area =
 15.36 Spaces
 2,128 Sq. Ft. / 1 Parking Space for each 100 Sq. Ft. Retail Floor Area =
 21.28 Spaces
Total Required Spaces for Phase 1 =
 8,120 Sq. Ft. / 1 Parking Space for each 200 Sq. Ft. = 40.6 Spaces
 21.28 Spaces
 8 Spaces
Total Required Spaces for Phase 1 =
 69.96 Spaces
 70 Spaces
Estimated Existing Spaces:
 Estimated Existing Spaces: 72 Spaces
Total Required Spaces for Phase 1 =
 78 Spaces

PHASE 2 DEVELOPMENT DATA

Building	Square Feet	Use
Building 3	14,150 Sq. Ft.	Retail

Required Parking for Phase 2

Retail Trade Uses: 1 Parking Space for each 200 square feet of floor area

Required Parking Calculations for Phase 2

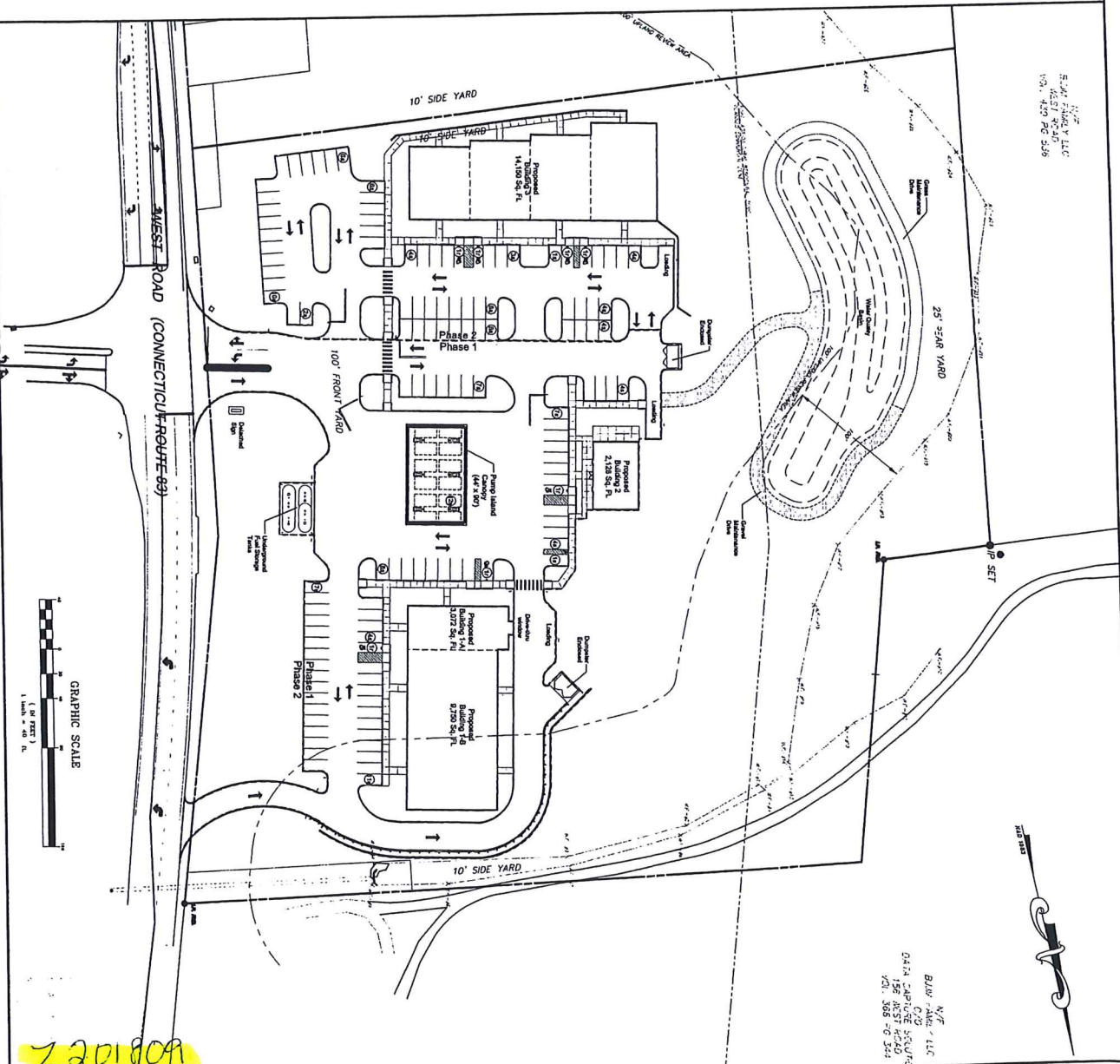
Assumes 80% car load rate of all retail Trade Uses
 Retail Trade Uses: 14,150 Sq. Ft. / 1 Parking Space for each 200 Sq. Ft. Retail Floor Area =
 70.75 Spaces
Total Required Spaces for Phase 2 =
 71 Spaces

Estimated Existing Spaces

Estimated Existing Spaces: 62 Spaces

Total Required Spaces for Phase 2 =

64 Spaces



201809

MA-1

MASTER PLAN
 PROPOSED FOR
BIG Y
 WEST ROAD
 ELLINGTON, CONNECTICUT

No.	Date	Description
1	04-20-2018	P2C Submitted

Revisions:

Date: 04-20-2018 Drawn by: KLL Job no: 18108
 Scale: 1" = 40' Checked by: GAN Sheet no: 2 OF 22



F. A. Hesketh & Associates, Inc.
 8 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 844-8000
 www.fahweb.com mail@fahweb.com

Barbra Galovich

From: Westford Lirot <wlirot@ncdhd.org>
Sent: Monday, April 05, 2021 3:31 PM
To: Barbra Galovich; Mike Caronna
Cc: John Colonese
Subject: RE: Staff Review Z202104 - ~~104~~ West Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

No Comments regarding the Special Permit for the Physical therapy space. Some of the other proposed potential uses listed on the application involving food service or personal services may require additional review and or licensing by Local Health.

Thank you,
Wes

Westford Lirot, B.S. R.S.
Registered Sanitarian
North Central District Health Department
Stafford Field Office
(O) 860-684-5609
(Fax) 860-684-1768
Enfield Office
860-745-0383 Ext. 121



From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Sent: Monday, April 5, 2021 1:16 PM
To: Michael Caronna <mcaronna@ncdhd.org>; Westford Lirot <wlirot@ncdhd.org>
Subject: FW: Staff Review Z202104 - ~~104~~ West Road

Hi Guys,

Hope you are doing well. The attachments for this application are too large so this email is one of two.

Barbra

From: Barbra Galovich
Sent: Monday, April 05, 2021 1:11 PM
To: 'Jim York' <jyork@ellington-ct.gov>; 'kim bechard' <kbechard@ellington-ct.gov>; 'Lori Spielman'

Barbra Galovich

From: Timothy Webb
Sent: Monday, April 05, 2021 1:36 PM
To: Barbra Galovich; James York; Kim Bechard; Lori Spielman; Mike Caronna; Raymond Martin; Sydney Kern; Westford Lirot
Cc: Lisa Houlihan
Subject: RE: Staff Review Z202104 - 104 West Road

No impact to DPW, WPCA would be billing off water consumption. Assessment for the overall facility has been processed

From: Barbra Galovich
Sent: Monday, April 05, 2021 1:11 PM
To: James York <JYork@ELLINGTON-CT.GOV>; Kim Bechard <KBechard@ELLINGTON-CT.GOV>; Lori Spielman <lspielman@ELLINGTON-CT.GOV>; Mike Caronna <mcaronna@ncdhd.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Timothy Webb <twebb@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: Staff Review Z202104 - 104 West Road

Hi,

Hope you are doing well. Please see the attached documentation with Staff Review Sheet. This application will be discussed at the PZC meeting on Monday, April 26, 2021.
Please provide your comments/concerns on or before April 16, 2021.

Thank you in advance for your review.
Barbra

Barbra Galovich, CZET
Land Use Assistant
Town of Ellington
55 Main Street
Ellington, CT 06029
(860) 870-3120

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <u>2202105</u> <hr/> Date Received <u>3/17/2021</u>
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Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: ROBERT T BINKOWSKI
 Mailing Address: 3 DEER RUN
ELLINGTON, CT 06029
 Email: ROOBINK2280@GMAIL.COM

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860 614 0811

Secondary Contact Phone #: 860 570-8009

Signature: Robert J Binkowski Date: 3/17/2021

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

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Applicant's Information (if different than owner)

Name: _____
 Mailing Address: _____
Same as owner

 Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: 3 DEER RUN

Assessor's Parcel Number (APN): 084 - 026 - 0000 Existing Zone: R Proposed Zone: N/A.
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.

Is the project in a public water supply watershed area? Yes No If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.

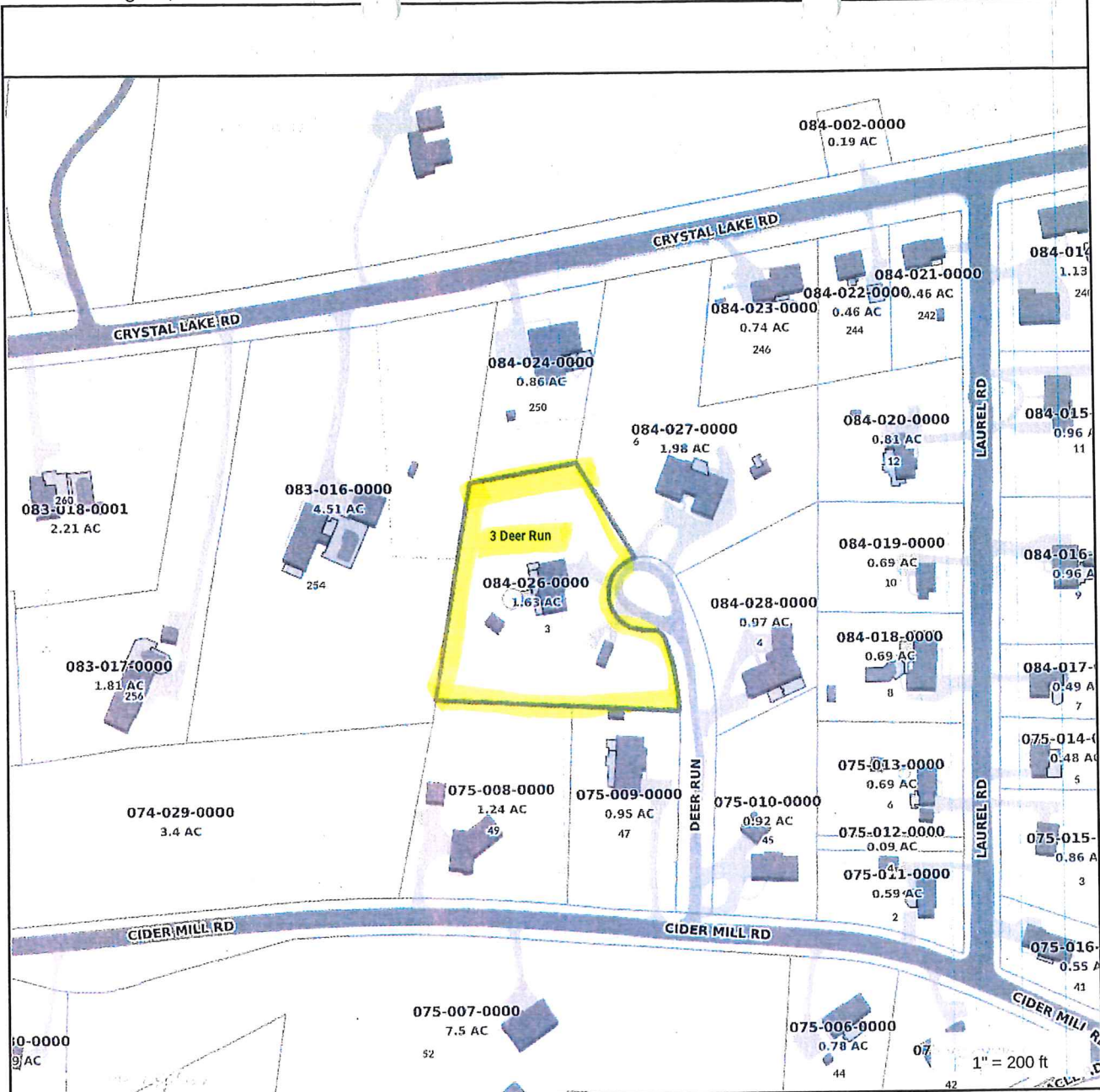
Description of Request (If more space is needed, please attach additional sheets)

PROPOSED 40 X 80 BARN ON EXISTING LOT
with HOUSE on LOT. BARN will be used FOR
STORAGE OF Household Vehicles, BOAT, AND TRACTORS
LAWN MOWERS.

RECEIVED

MAR 17 2021

TOWN OF ELLINGTON
PLANNING DEPARTMENT



Property Information

Property ID 084 026 0000
 Location 3 DEER RUN
 Owner BINKOWSKI JANET K + ROBERT J



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 7/23/2020
 Data updated 7/23/2020

From: [Austin Binkowski](#)
To: [Barbra Galovich](#)
Cc: robbink2280@gmail.com
Subject: Binkowski steel building plans.
Date: Monday, April 05, 2021 1:46:32 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

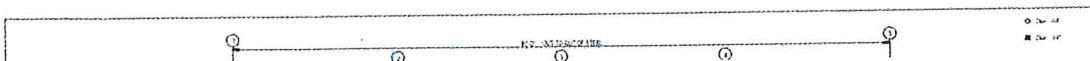
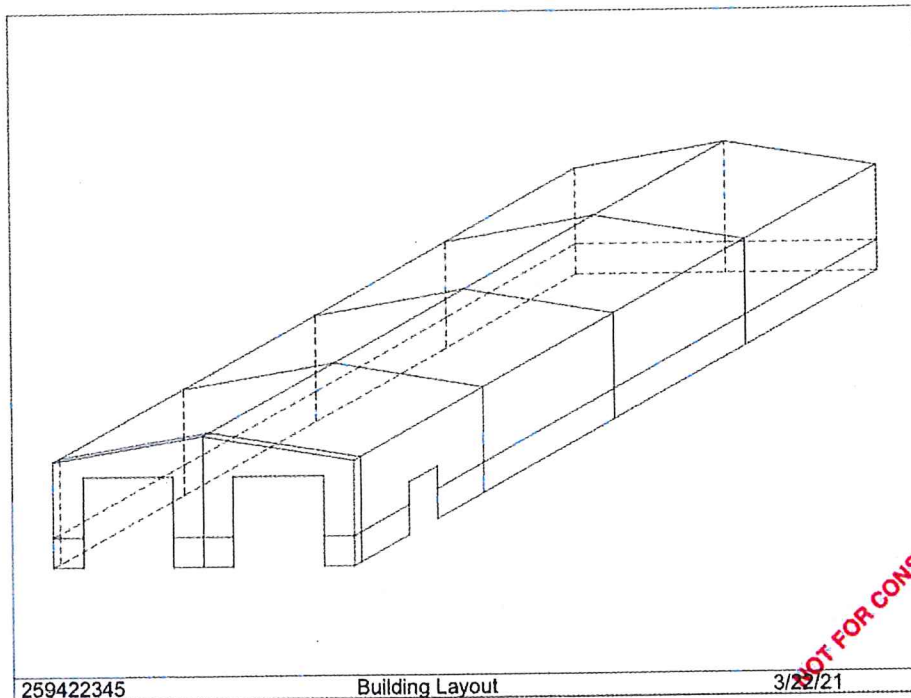
To whomever may concern,
I have attached plans and a sketch of the proposed building, for the property 3 deer run Ellington, CT. If you have any questions you can reach me at this email or by phone
Austin- (860)-882-4189
Robert- (860)-614-0811

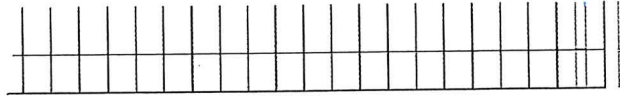
Thank you,
Austin

1:36



Done Ellington, CT 40x80 Prelim Dr... 





SIDEWALL SHEETING & TRIM, FRAME LINE C
PAGE 21 OF 24 (1/20) - PLAN 010

NOT FOR CONSTRUCTION

ENDWALL FRAMING, FRAME LINE 1

ENDWALL SHEETING & TRIM, FRAME LINE 1

PAGE 22 OF 24 (1/20) - PLAN 010

DATE	1/11/10	BY	MM
DESCRIPTION	1/11/10	CHKD	MM
LOCATION	1/11/10	APP'D	MM
REVISION	1/11/10	DATE	1/11/10

NOT FOR CONSTRUCTION

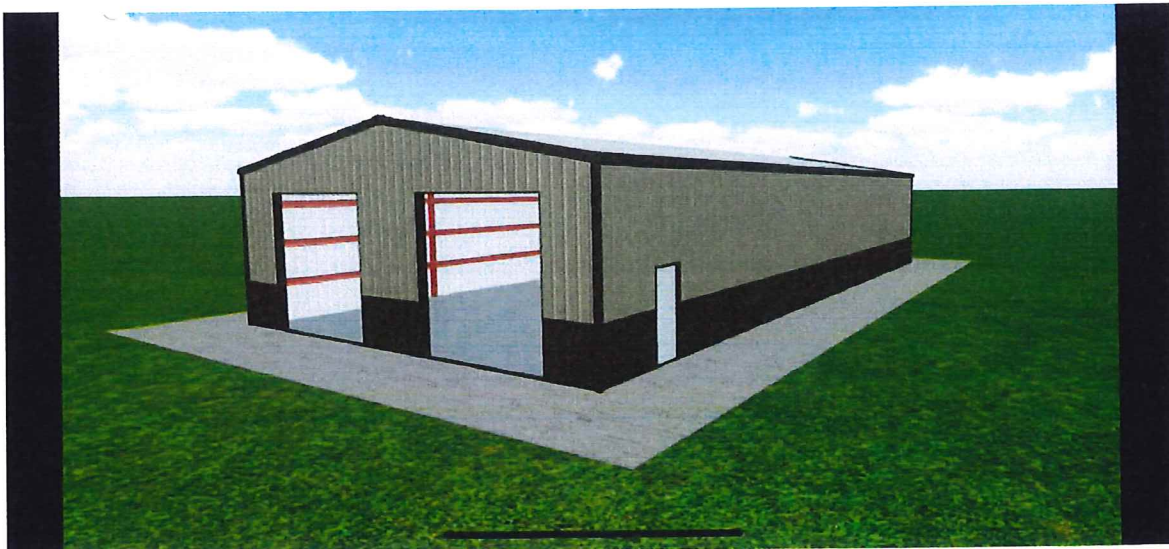
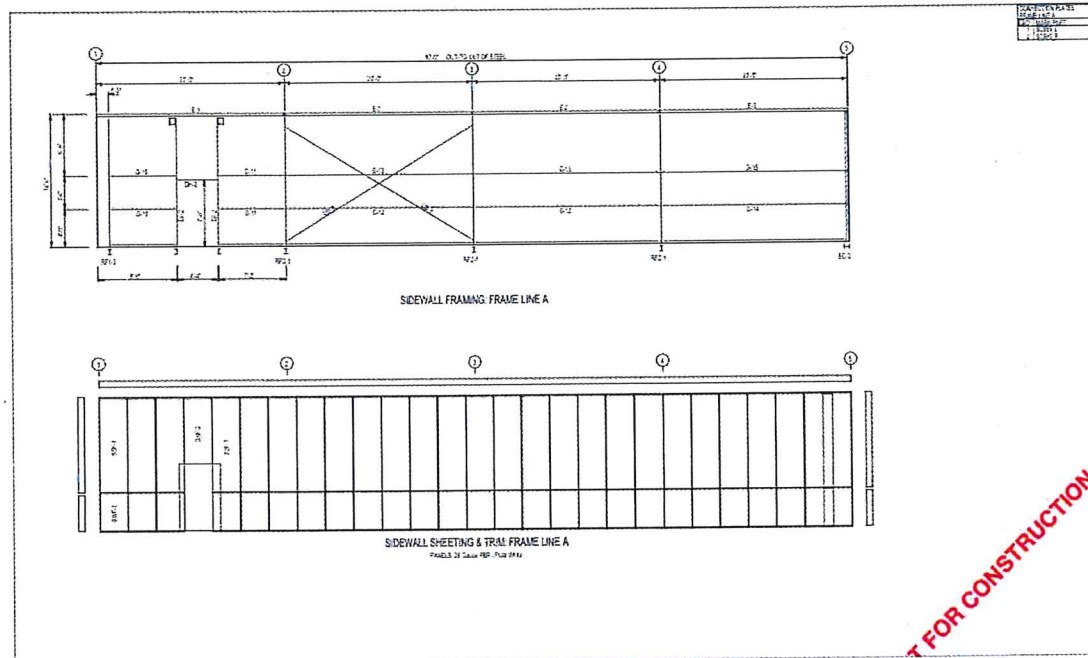
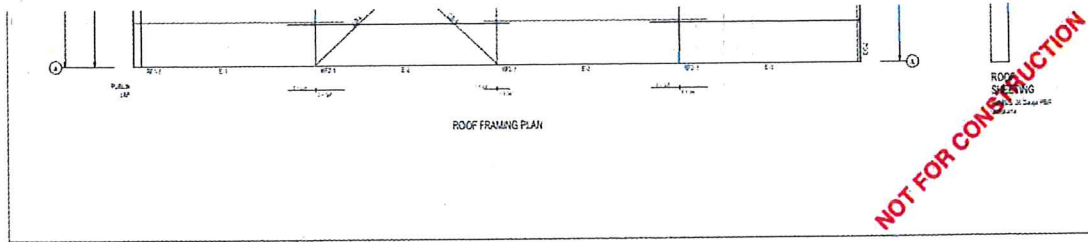
ENDWALL FRAMING, FRAME LINE 5

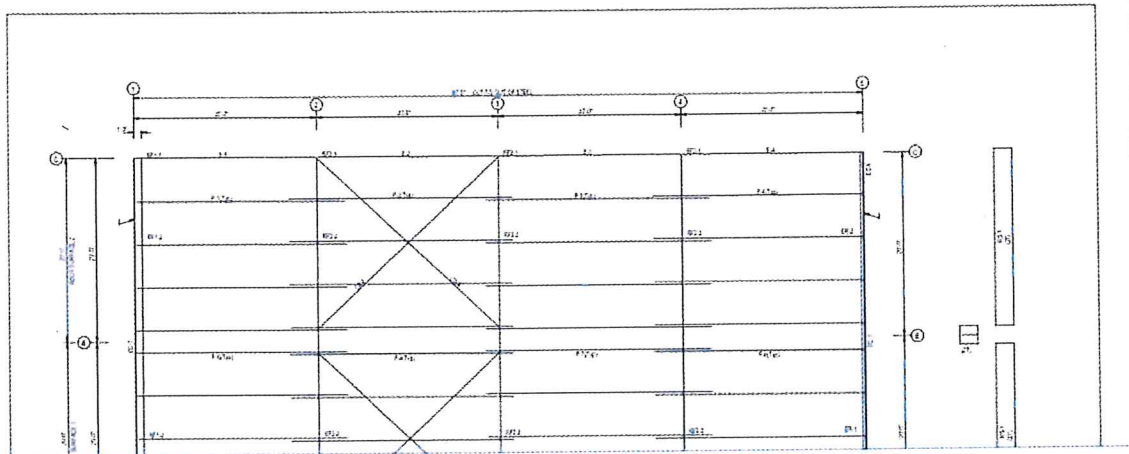
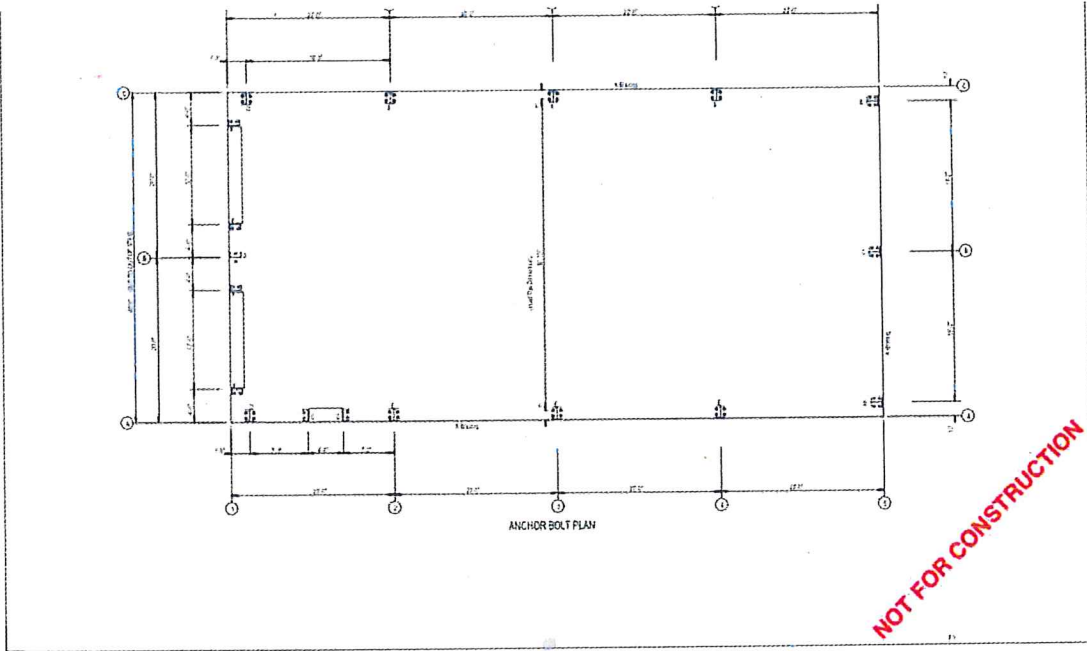
ENDWALL SHEETING & TRIM, FRAME LINE 5

PAGE 23 OF 24 (1/20) - PLAN 010

DATE	1/11/10	BY	MM
DESCRIPTION	1/11/10	CHKD	MM
LOCATION	1/11/10	APP'D	MM
REVISION	1/11/10	DATE	1/11/10

NOT FOR CONSTRUCTION

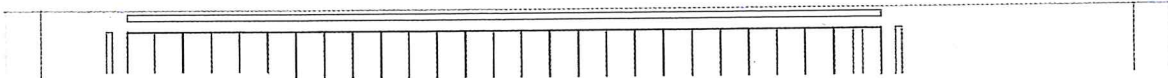




1:36



Done Ellington, CT 40x80 Prelim Dr...



ML

CONTRACT	DATE	REVISION	BY	DATE
001	01	1	ML	11/10
002	01	2	ML	12/10
003	02	1	ML	12/10



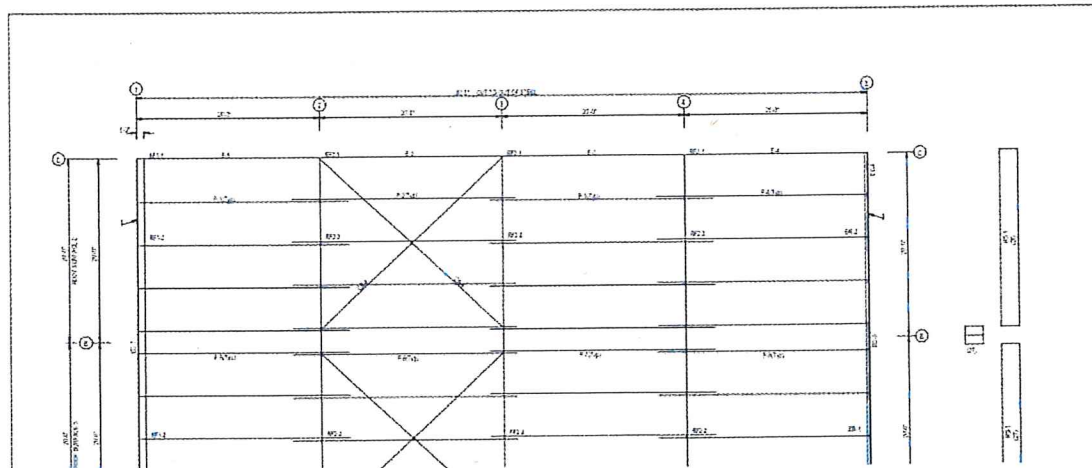
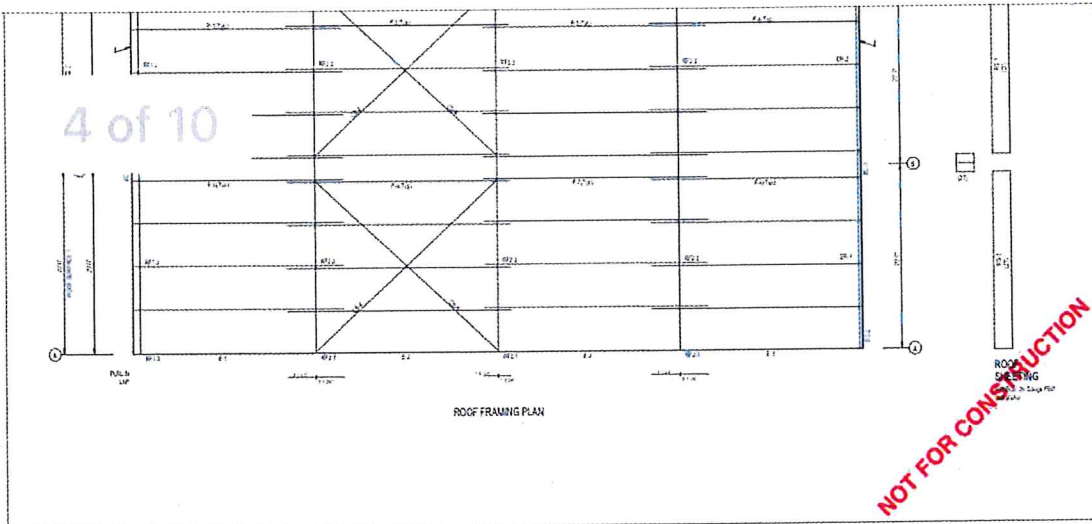
1:36

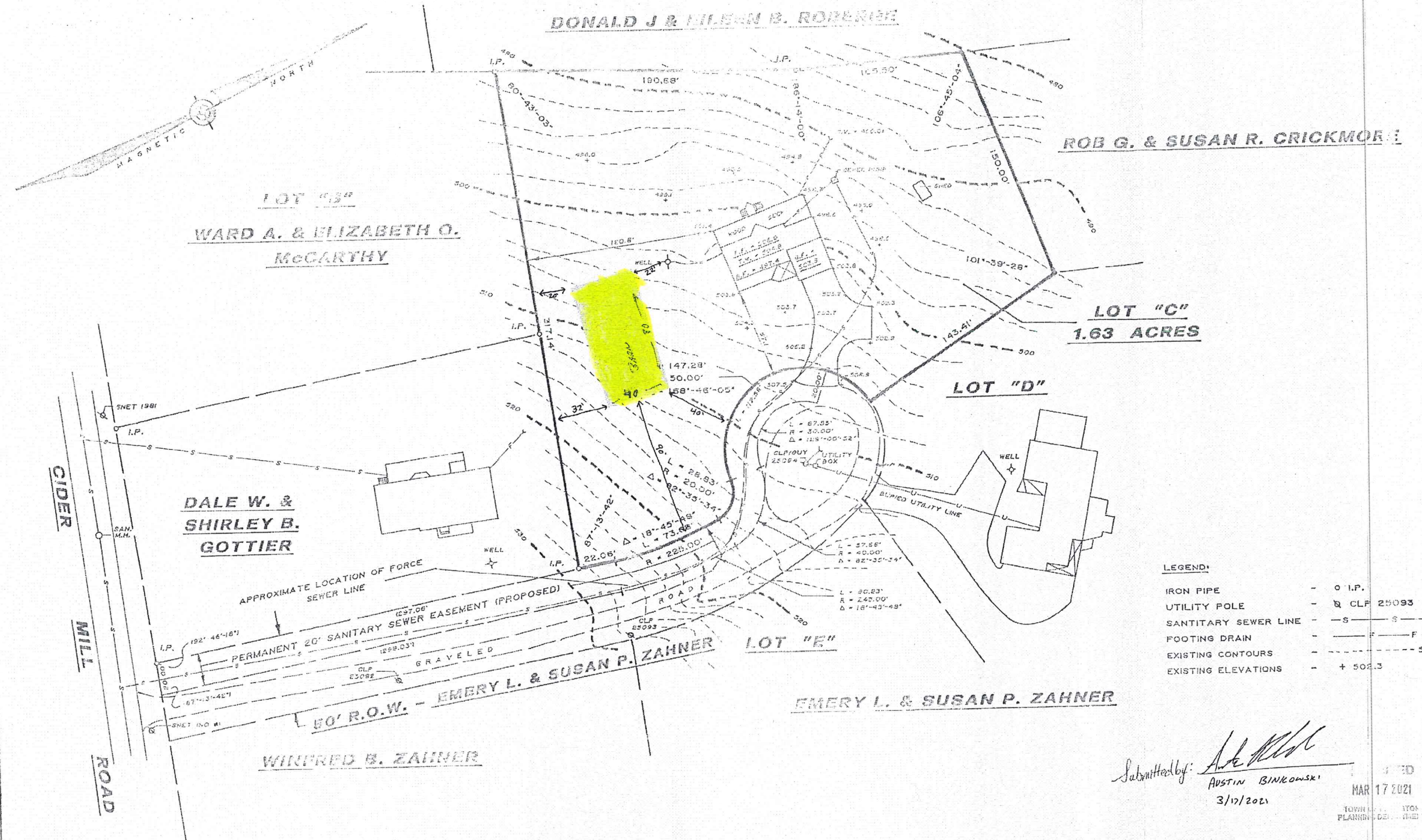


Done Ellington, CT 40x80 Prelim Dr...



4 of 10

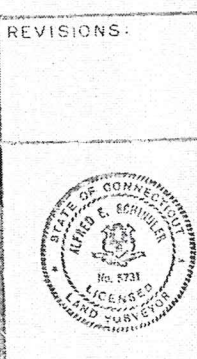




- NOTES:**
1. THE A-2 ACCURACY AND LOT DESIGNATIONS SHOWN HEREON ARE BASED UPON A PRIOR SURVEY PREPARED BY THIS OFFICE ENTITLED: "SUBDIVISION PLAN LAND OF JOHN & RUTH ZAHNER ELLINGTON, CONN. SCALE 1"=40' CERTIFIED SUBSTANTIALLY CORRECT ACCURACY A-2 ALFRED E. SCHINDLER L.S. 5731 AUG. 25, 1971".
 2. EMERY L. & SUSAN P. ZAHNER ARE TO PROVIDE A 20' SANITARY SEWER SEWER EASEMENT FOR LOT 'C' AS SHOWN ABOVE.
 3. LOT 'C' IS CONVEYED TOGETHER WITH AND SUBJECT TO AN EASEMENT TO USE THE 50' R.O.W. OUT TO CIDER MILL ROAD AS SHOWN HEREON.



ALFRED E. SCHINDLER
 LAND SURVEYOR
 No. 5731
 REGISTRATION No.
 9-22-92
 L.S. 5731



Submitted by: *Austin Binkowski*
 AUSTIN BINKOWSKI
 3/17/2021

MAR 17 2021
 TOWN OF ELLINGTON
 PLANNING DEPARTMENT

REVISIONS:			
AS-BUILT PLAN OF LOT "C"			
PROPERTY OF JANET K. & ROBERT J. BINKOWSKI			
ELLINGTON, CONNECTICUT			
ALFRED E. SCHINDLER LAND SURVEYOR ELLINGTON, CONNECTICUT			
DRAWN BY	SCALE	DATE	JOB NO.
A.E.S.	1" = 40'	9/22/92	915-2

3 Deer Run



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 7/23/2020
Data updated 7/23/2020

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # 202106 <hr/> Date Received 3/18/2021
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Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Andre + Amanda Nowzarinezhad
 Mailing Address: 57 Windermere Ave
Ellington, CT 06029
 Email: andre.nowzari@gmail.com
 WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No
 Primary Contact Phone #: (860) 280-5878
 Secondary Contact Phone #: (860) 878-4967
 Signature: [Signature] Date: 3/17/2021

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: Same as owner
 Mailing Address: _____
 Email: mandagir1416@gmail.com
 WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No
 Primary Contact Phone #: _____
 Secondary Contact Phone #: _____
 Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: 57 Windermere Ave, Ellington, CT 06029 Industrial
 Assessor's Parcel Number (APN): 011 - 019 - 0000 Existing Zone: IP Park Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).

Is parcel within 500' to any municipal boundary? Yes No

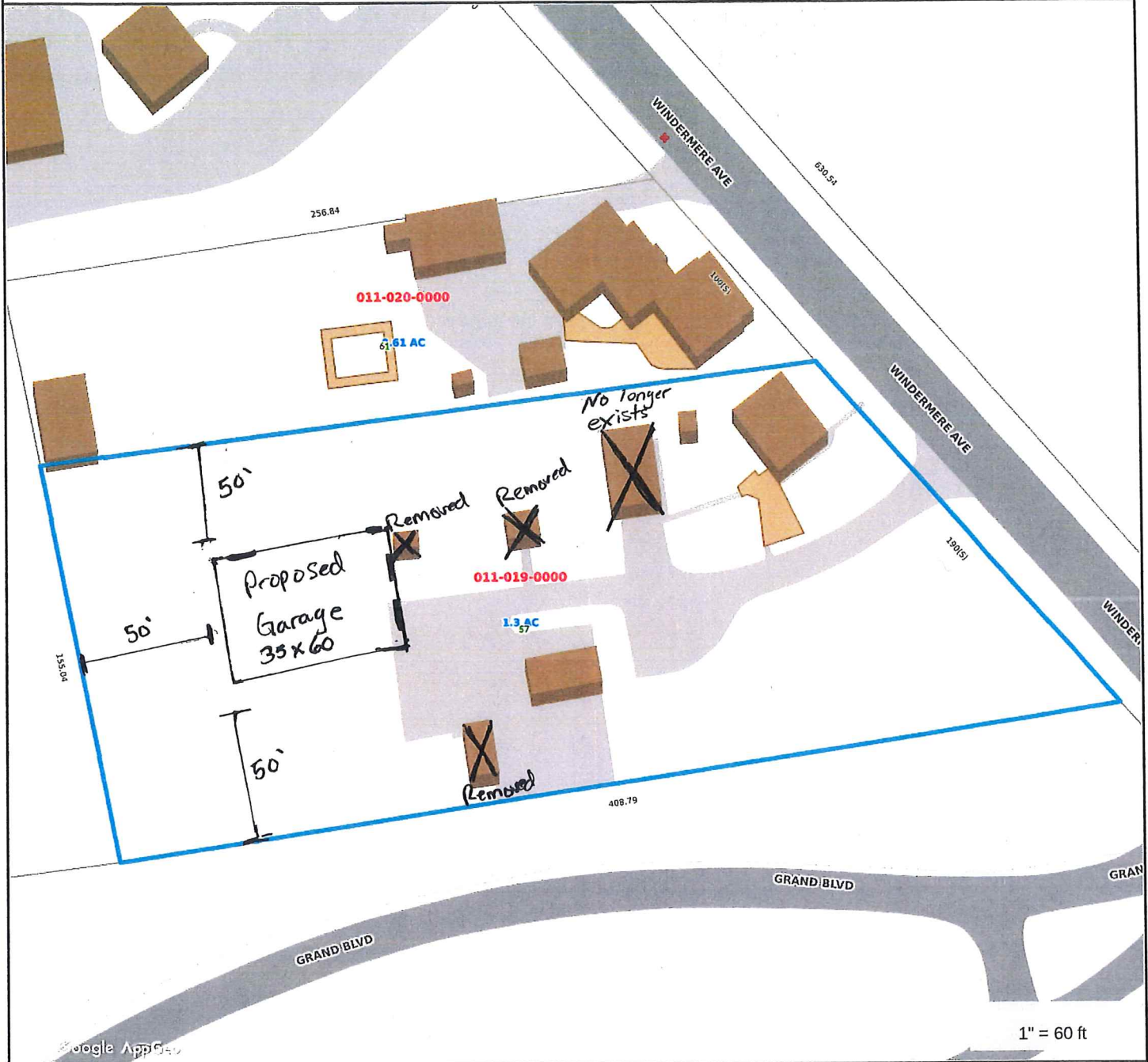
Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.

Is the project in a public water supply watershed area? Yes No If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.

Description of Request (If more space is needed, please attach additional sheets)

Request is for a 35x60 garage building in backyard property. Garage will be for personal use only. We have multiple tractors, cars, toys, etc that we would like to store all in one building. Garage would be 50' from all property lines. Currently there's only a kloter-farm drop shed and two vinyl huts up. The huts and another small shed would be coming down most likely. Property is zoned industrial and we would like this garage. Thank you.

RECEIVED
MAR 18 2021
PLANNING DEPARTMENT



Property Information

Property ID 011 019 0000
 Location 57 WINDERMERE AVE
 Owner NOWZARINEZHAD ANDRE + ABBRUZZESE AMANDA



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 7/23/2020
 Data updated 7/23/2020

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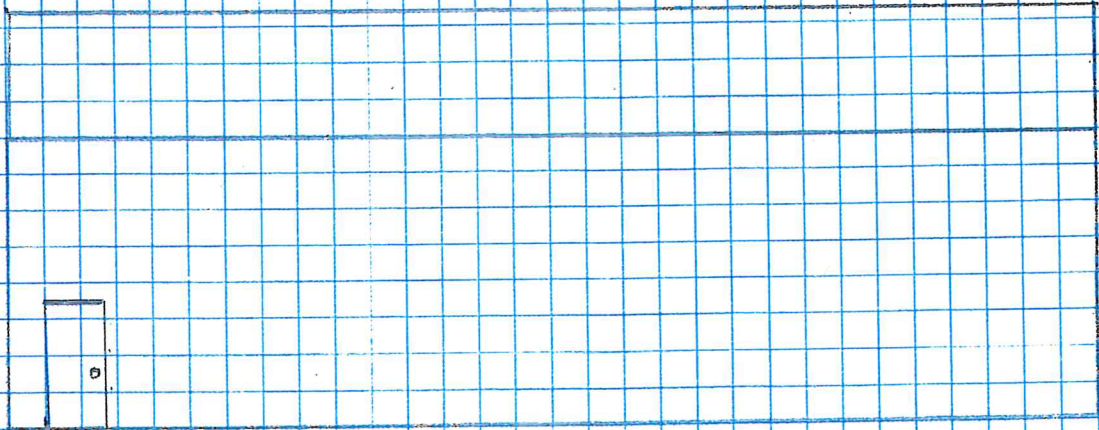
MAR 18 2021

**TOWN OF ELLINGTON
 PLANNING DEPARTMENT**

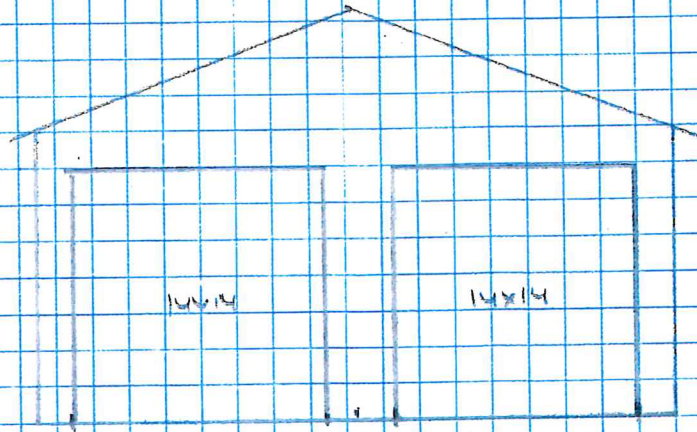
3/18/21

ANDRE
NOWZARINEZHAD

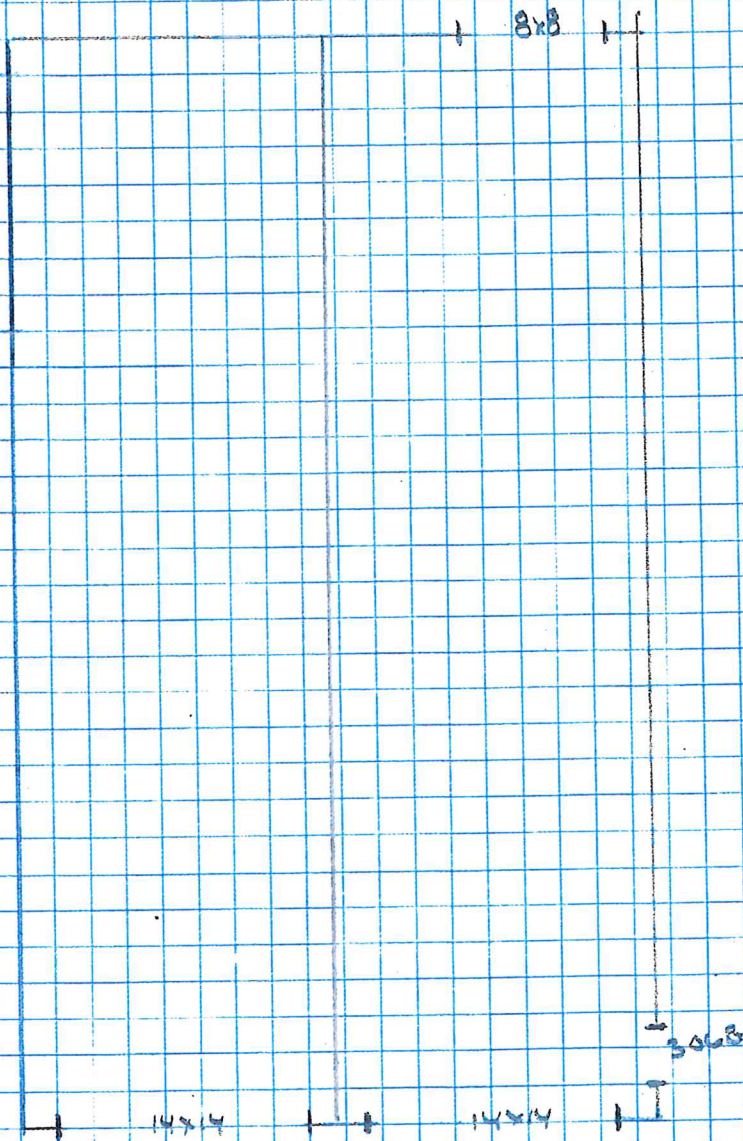
35460716



Ⓐ EAVE

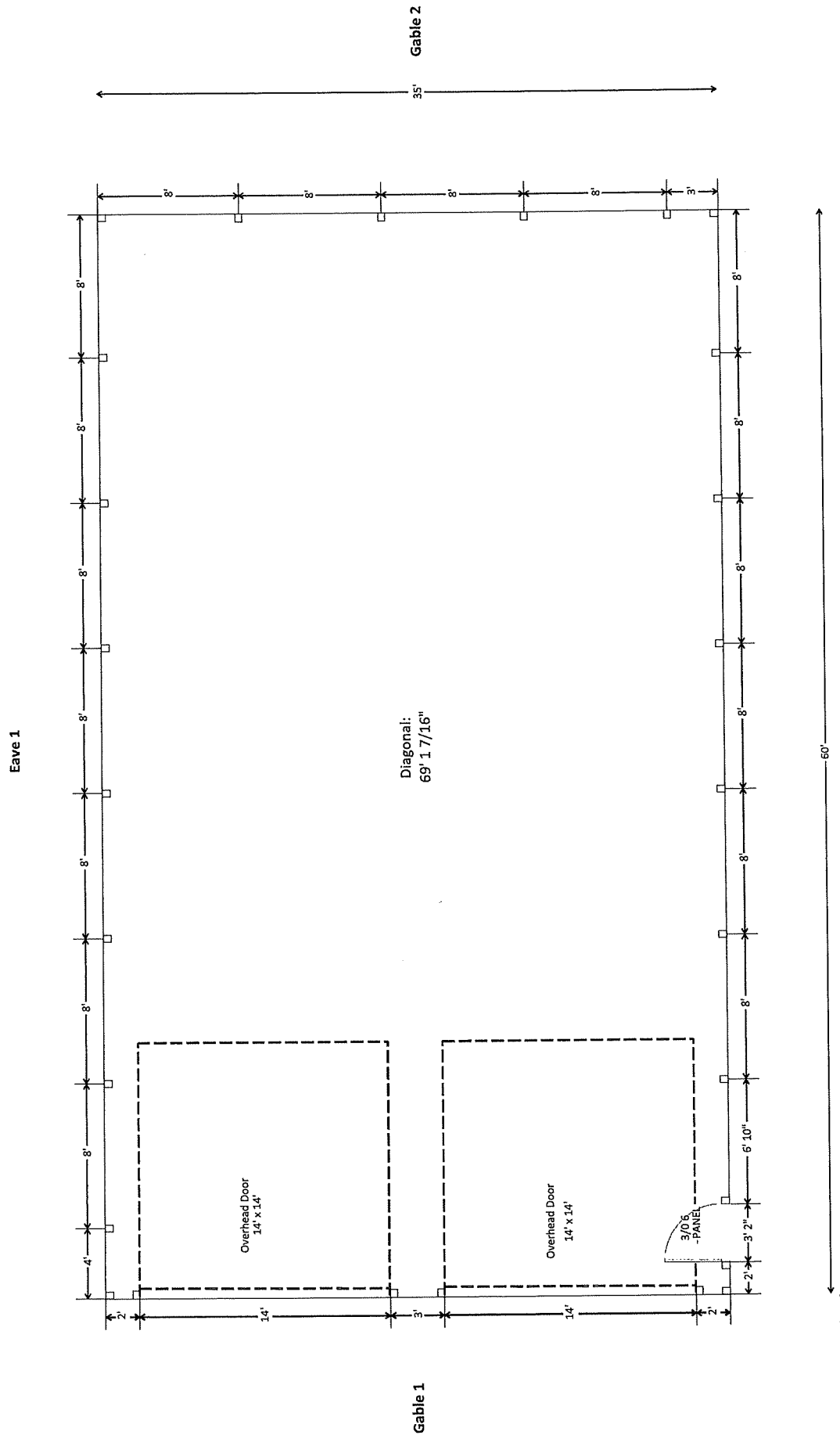


FRONT EAVE



Floor Plan / Post Layout

Dimensions:
 35' wide x 60' long x
 16' inside height
 (above finished floor)



Andre Nowzarinezhad
 57 Windermere Avenue
 Ellington CT 0602



Gable 1



Eave 1



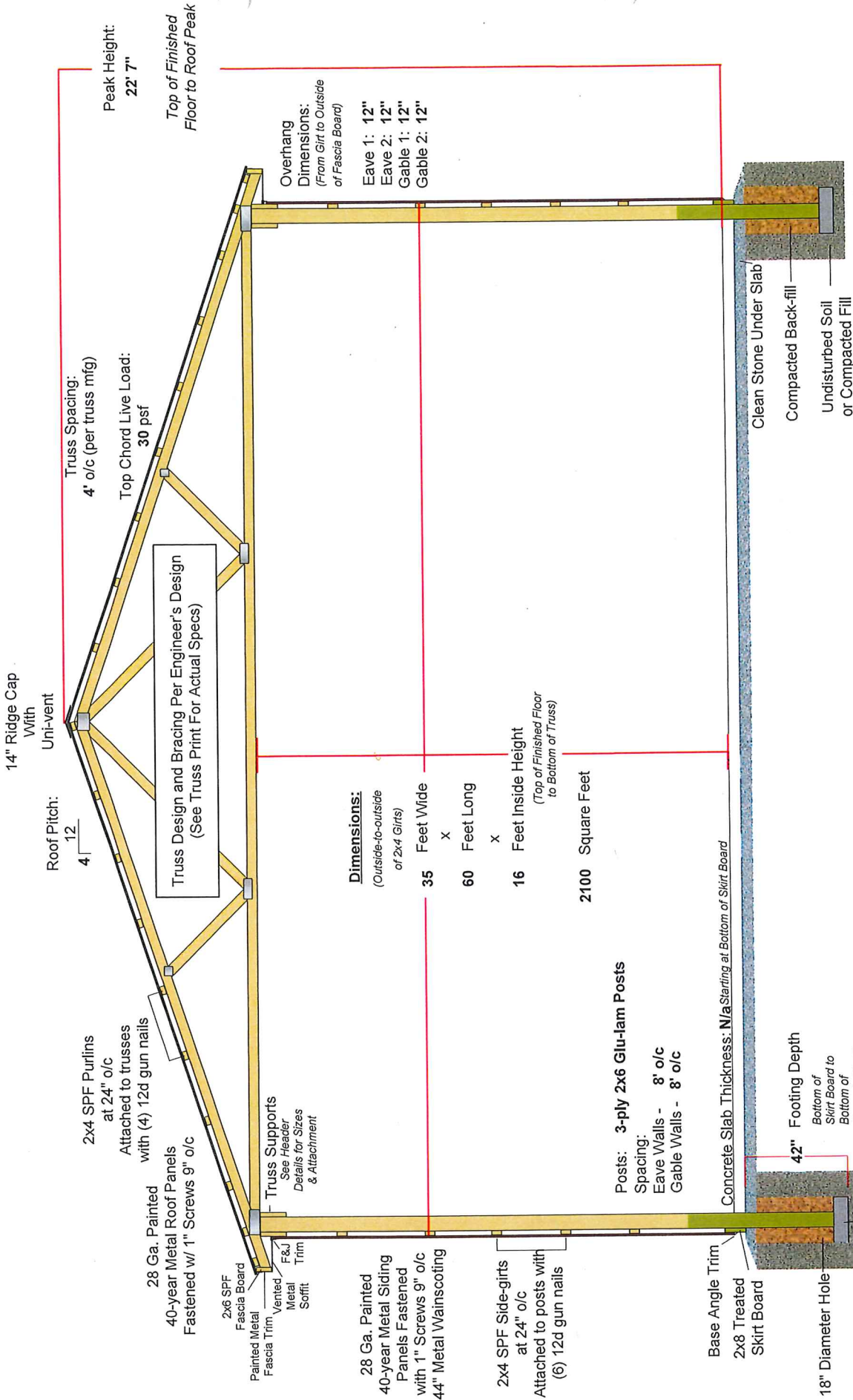
Gable 2



Eave 2

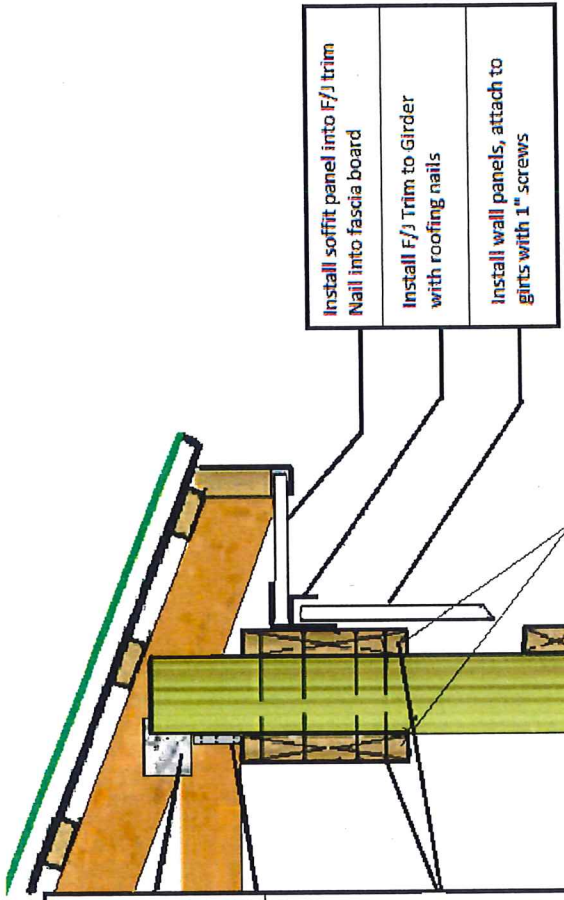
Andre Nowzarinezhad
57 Windermere Avenue
Ellington CT 0602

Pole Building Cross Section (Not To Scale)



Andre Nowzarinezhad
57 Windermere Avenue
Ellington CT 0602

TRUSS SUPPORT CONNECTION DETAILS



Attaching Trusses at Post
Engineered wooden roof truss attached to post or truss block w/ (8) 12D nails

Truss tied to support with the Simpson H2.5 hurricane ties fastened per mfg specifications

Truss Supports
8 ft span on eaves: (3) 2x10 MSR
OR
(2) 1.75" x 7.25" LVL

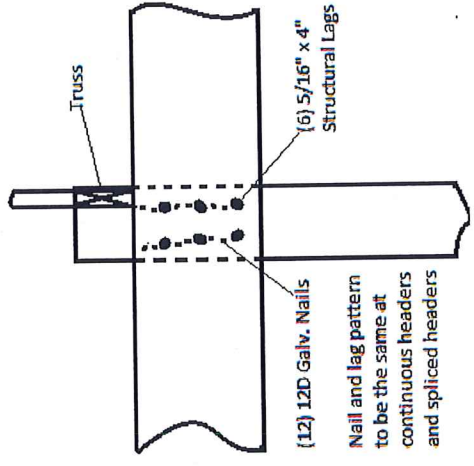
(2) Truss supports (1) attached to each side of post.
If additional supports are required, optional locations are as follows:
a) notched into post along side of main support
b) stacked under main support and attached per schedule

Install soffit panel into F/J trim
Nail into fascia board

Install F/J Trim to Girder
with roofing nails

Install wall panels, attach to girts with 1" screws

Truss Connection at Post



Attaching Trusses at Truss Block
Engineered wooden roof truss attached to post of truss block w/ (8) 12D nails

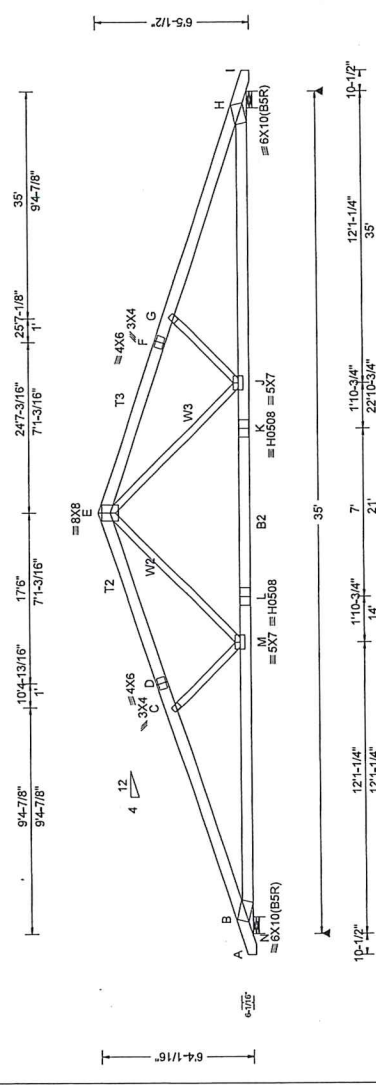
Truss tied to support with Simpson H2.5 hurricane ties fastened per mfg specifications

Truss connection block installed between supports with (8) 12D nails

Truss Support Fasteners

Truss Connection at Truss Block

SECN: 868086 COMN Ply: 1 Job Number: 25525 Cut: R 6997 / Ref: 14466970001 T107
 FROM: /Z5525 /Lanc Pole/Nowzarnehzad Qty: 14 Truss Label: 40Ags/sk25/412-cat2 / SLS 04/08/2021



Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg Pr in PSF)	Def/CSI Criteria	Maximum Reactions (lbs)
TCLL: 40.00 TCDL: 5.00 BCLL: 0.00 BCDL: 7.00 Des Ld: 52.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 48.0"	Wind Std: ASCE 7-10 Speed: 115 mph Enclosure: Closed Risk Category: II EXP: C, Kzt: NA Mean Height: 15.00 ft TCDL: 3.0 psf BCDL: 1.8 psf MWFRS P: 0.18 C&C Dist at: 3.50 ft Loc. from eave: Any Wind Duration: 1.60	Pg: 40.0 Pf: 33.6 Lr: - Snow Duration: 1.15 Building Code: IBC 2015 TPI Std: 2014 Rep Fac: No FT/RT/PT: 2(2)/2(2)/2(0) Plate Type(s): WAVE_HS	PP Deflection in Loc L/Defl L/# VERT(LL): 0.479 J 869 240 VERT(CL): 0.623 J 668 240 HORZ(LL): 0.148 J - - HORZ(CL): 0.193 J - - Creep Factor: 2.0 Max TC CSI: 0.928 Max BC CSI: 0.993 Max Web CSI: 0.719 VIEW Ver: 20.02.01D.0218.17	Gravity Loc R+ / R- / Rh / Rw / U / RL N 3825 /- /- /1084 /646 /241 H 3825 /- /- /1084 /646 /- Wind reactions based on MWFRS N Brg Width = 8.2 Min Req = 3.9 H Brg Width = 8.2 Beams: N & H are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. E-F 2592 -7496 C-D 2564 -7557 F-G 2564 -7657 D-E 2592 -7496 G-H 2829 -8663

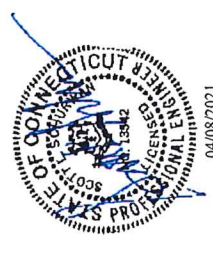
Maximum Bot Chord Forces Per Ply (lbs)	Maximum Web Forces Per Ply (lbs)
Chords Tens.Comp. B-M 8031 -2503 K-J 5477 -1584 C-D 2564 -7557 F-G 2564 -7657 D-E 2592 -7496 G-H 2829 -8663	Chords Tens.Comp. M-L 5477 -1584 J-H 8031 -2509 L-K 5477 -1584 Webs Tens.Comp. C-M 733 -1665 E-J 2164 -651 M-E 2164 -651 J-G 733 -1665

Lumber
 Top chord: 2x6 SP 2400f-2.0E; T2;
 Bot chord: 2x6 SP SS Dense; B2 2x6 SP #1;
 Webs: 2x4 SP Slud; W2,W3 2x4 SPF #1/#2;

Purlins
 In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:
 Chord Spacing(in oc) Start(ft) End(ft)
 TC 24 -0.88 17.50
 TC 24 17.50 35.88
 BC 85 0.15 34.85
 Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Loading
 Bottom chord checked for 10.00 psf non-concurrent bottom chord live load applied per IBC-15 section 1607.
 Truss designed for unbalanced snow loads.
 Slope reduction based on Unobstructed Slippery Surface.

Wind
 Wind loads based on MWFRS with additional C&C member design.
 Bottom chord bracing may be spaced 120' oc when this truss design is used in post-frame construction.



04/08/2021

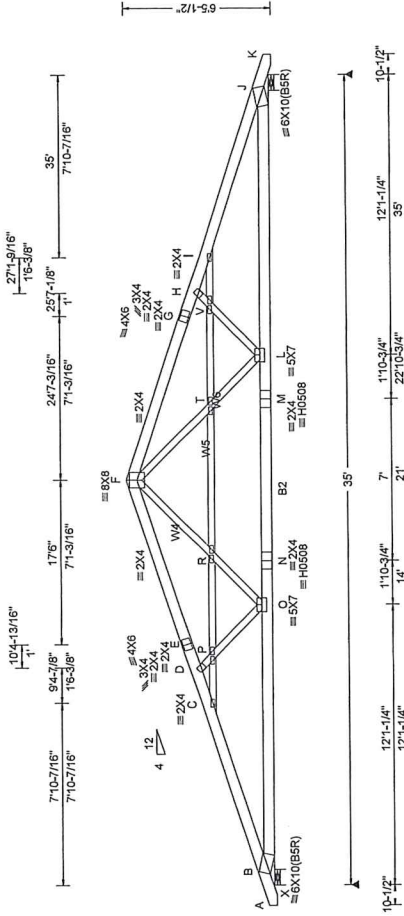
****WARNING** READ AND FOLLOW ALL NOTES ON THIS DRAWING!**
****IMPORTANT** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS**
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI Building Component Safety Information, by TPI and SBCA for safety practices prior to performing these functions. Installers should have a properly braced per BCSI. Unless noted otherwise, top chord lateral restraint of webs shall have bracing installed per BCSI sections B3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. Refer to job's General Notes page for additional information.

Alpine, a division of ITW Building Components Group Inc, shall not be responsible for any decrease in strength or any failure to build the truss in conformance with the design shown on this drawing and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.

For more information see these web sites: Alpine: alpineitw.com, SBCA: sbcinstitute.com, TPI: tpinetw.com, ICC: iccsafe.org, AWC: awc.org

ALPINE
 BUILDING COMPONENTS
 514 Earth City Expressway
 Suite 242
 Earth City, Missouri 63045

SECN: 866084 COMIN Ply: 1 Job Number: 25525 Curt: R 6697 (Ref: 114668970001 T108
 FROM: City: 2 /25525 /Anc Pole/Novzainezhad DwgNo: 088.2.1-1004.56983
 Truss Label: 40Ags/ge35/412-cat2 / SLS 04/08/2021



Wind Criteria	Snow Criteria (Pg 9 in PSF)	Defl/CSI Criteria	Maximum Reactions (lbs)
Wind Criteria Wind Std: ASCE 7-10 Speed: 115 mph Enclosure: Closed Risk Category: II EXP. C, Kzt: NA Mean Height: 15.00 ft TCDF: 3.0 psf BCLL: 1.8 psf MWFRS: Parallel Dist: 0 to h/2 C&C Dist: 35.0 ft Loc. from endwall: Any G.Cpf: 0.16 Wind Duration: 1.60	Snow Criteria (Pg 9 in PSF) Pg: 40.0 Ct: 1.2 CAT: II Pf: 33.6 Ce: 1.0 Lr: - Cs: 0.94 Snow Duration: 1.15 Building Code: IBC 2015 TPI Std: 2014 Rep Fac: No FT/RT/PT: 2(2)/2(2)/2(0) Plate Type(s): W/AVE, HS VIEW Ver: 20.02.01D.0218.17	Defl/CSI Criteria PP Deflection in Loc L/def L/# VERT(LL): 0.467 L 891 240 VERT(CL): 0.608 L 684 240 HORZ(TL): 0.157 L - - HORZ(TL): 0.204 L - - Creep Factor: 2.0 Max TC CSI: 0.916 Max BC CSI: 0.967 Max Web CSI: 0.600	Maximum Reactions (lbs) Gravity / Non-Gravity Loc R+ / R- / Rh / Rw / U / RL X 3825 / - / - / 1084 / 646 / 241 Y 3825 / - / - / 1084 / 646 / - Wind reactions based on MWFRS X Brg Width = 8.2 Min Req = 3.9 Y Brg Width = 8.2 Min Req = 3.9 Bearings X & Y are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens. Comp. Chords Tens. Comp. B-C 2892 - 8838 F-G 2252 - 6605 C-D 2412 - 7157 G-H 2223 - 6666 D-E 2223 - 6666 H-I 2412 - 7157 E-F 2252 - 6605 I-J 2892 - 8838

Maximum Web Forces Per Ply (lbs)	Maximum Bot Chord Forces Per Ply (lbs)
Webs Tens. Comp. Webs Tens. Comp. C-P 565 - 1430 F-T 1901 - 478 D-P 514 - 1337 T-L 1911 - 481 P-O 567 - 1416 T-V 496 - 1302 P-R 495 - 1302 L-V 567 - 1416 O-R 1911 - 480 V-H 514 - 1337 R-F 1901 - 478 V-I 565 - 1430 R-T 489 - 1285	Chords Tens. Comp. Chords Tens. Comp. B-O 8220 - 2571 M-L 6253 - 1878 O-N 6253 - 1878 L-J 8220 - 2577 N-M 6253 - 1878

Wind
 Wind loads based on MWFRS with additional C&C member design.
 Bottom chord bracing may be spaced 120'oc when this truss design is used in post-frame construction.
 Laterally brace end wall. Gable end and top wall plate are not braced by truss top chord. All other members shall be laterally braced by ceiling diagram or by other means as specified by the building designer.

Loadings
 Bottom chord checked for 10.00 psf non-concurrent bottom chord live load applied per IBC-15 section 1607.
 Slope reduction based on Unobstructed Slippery Surface.

Purlins
 In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:
 Chord Spacing (in oc) Start (ft) End (ft)
 TC 24 -0.88 17.50
 TC 24 17.50 35.88
 BC 84 0.15 34.65
 Apply purlins to any chords above below fillers at 24' OC unless shown otherwise above.



*****WARNING*** READ AND FOLLOW ALL NOTES ON THIS DRAWING INCLUDING THE INSTALLERS**
*****IMPORTANT*** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS**
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSJ (Building Component Safety Information) by TPI and SBCEA for safety practices prior to performing these functions. All installers and fabricators shall have a properly braced per BCSJ. Unless noted otherwise, top and bottom chord lateral restraint of webs shall have bracing installed per BCSJ sections B3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. Refer to Job's General Notes page for additional information. It is the responsibility of the building designer to build the truss in conformance with the acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI-1 S&C-2.
 For more information see these web sites: Alpine: alpinehw.com; TPI: tpi.net; SBCEA: sbceaindstry.com; ICC: iccsafe.org; AVC: avc.org



57 Windermere Ave



Property Information

Property ID 011 019 0000
 Location 57 WINDERMERE AVE
 Owner NOWZARINEZHAD ANDRE + ABBRUZZESE AMANDA



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 7/23/2020
 Data updated 7/23/2020

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input checked="" type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <u>2202107</u> Date Received <u>3/19/2021</u>
--	--

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information
Name: 71 Abbott Road, LLC / Jon Foster
Mailing Address: 78 Abbott Road
Ellington, CT 06029
Email: jfosterfarm@cox.net
WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No
Primary Contact Phone #: 860-995-5424
Secondary Contact Phone #: _____
Signature: [Signature] Date: 3/19/21
By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than an owner)
Name: Jeff Zanelli
Mailing Address: 78 Abbott Road
Ellington, CT 06029
Email: Jeff@dunnandfoster.com
WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No
Primary Contact Phone #: 860-301-2968
Secondary Contact Phone #: _____
Signature: [Signature] Date: 3/19/21
By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: 78 Abbott Road, Ellington, CT 06029

Assessor's Parcel Number (APN): 033 - 012 - 0000 Existing Zone: RAR Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (if more space is needed, please attach additional sheets)

See Attached

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MAR 19 2021
TOWN OF ELLINGTON
PLANNING DEPARTMENT

March 19,2021

J. Foster Farm and Dunn & Foster Tobacco write to request a Special Permit/Site Plan Modification for 78 Abbott Road, Ellington.

The building that houses our offices (Building #1) is only half occupied and we have the opportunity to offer that unused space as an office to a close associate of ours, Foundation Cigar Company. Foundation is a Connecticut-based cigar company looking to move their office to a tobacco farm within the Connecticut River Valley. (Until recently, their offices have been in Windsor)

Much of Foundation's brand and marketing focus is on highlighting the history and uniqueness of the high-quality wrapper tobacco grown in the Valley. Having an office on a farm such as ours would only deepen their connection to the Valley and continue to raise awareness of our areas as the Napa Valley of cigar wrapper tobacco. Learning from the precipitous decline of CT Shade tobacco during the 1990's and its eventual disappearance from the Valley, we know that engaging, educating and enticing the end consumer towards our style of tobacco is important to our continued growth and success. Having Foundation on a farm at the heart of the Valley will help to continue our efforts of having a robust market for our product.

Over the last several years, J Foster Farm/Dunn & Foster and Foundation have joined forces on several fronts. Tobacco for a number of Foundation's cigars is grown in Ellington on J Foster Farm's land as well as that of Rothe Homestead Farm. Our two companies collaborate on improving our tobacco growing, curing and processing operations, as well as working together to supply CT-grown tobaccos to other premium cigar manufacturers. We also routinely provide strategy and management advising to each other's businesses.

Our proposal is to turn roughly 2,500 square feet of Building #1 at 78 Abbott Road into offices for Foundation. This would include office space for 6 staff and communal space for staff meetings and occasional meetings with small groups of vendors.

Narrative Specific to "Section 8.3.2 Standards for Granting Special Permit"

- 1. The location and size of the proposed structures and intensity of the use in relation to the size of the lot will be in harmony with the orderly development of the area and compatible with other uses.**

The proposed use would be in line with existing use of the property. No new structures would be built and only modest alterations to the existing structure would be necessary. The only exterior alteration would be the building of a moderately sized entrance pavilion on the northeast side of the building as an entrance to the new offices. (There is currently no exterior walk door on the half of the building, only a garage door.)

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TOWN OF ELLINGTON
PLANNING DEPARTMENT

March 19, 2021

Regarding the intensity of use, Foundation has an office-based staff of six, a number of whom travel domestically and internationally on a regular basis, so the volume of traffic and additional people on site would be minimal. Additionally, the nature of Foundation's business means that the staff on site are office-based, and thus basically contained to working inside.

- 2. The kind, size and height of the structures on the lot will not hinder or discourage the appropriate use of adjoining property or diminish the value thereof.**

Other than adding the entrance pavilion, not other structures will be built as part of this Special Permit. Additionally, Building #1 is not readily visible from Abbott Road or adjoining properties.

- 3. The proposed use will not adversely alter the essential characteristics of the area or adversely affect the value of the neighborhood.**

We feel that the proposed use is in harmony with the characteristics of the area and the footprint of the business moving in is light enough that there will be no adverse effects.

- 4. The parking facilities will be adequate and properly located, and the entrance/exit driveways are laid out to achieve maximum safety, and the existing public roadways are adequate in width and condition to handle future traffic.**

There is more than sufficient parking for the projected additional staff on site. Both the driveways and roads are sufficient for the minimal increase in traffic.

- 5. The proposed plans provide for the conservation of natural features, drainage basins and the protection of the environment of the area.**

The proposed plans are limited in scope and consist mostly of interior renovations to existing space not currently being used. Because of this there will be no impact on the natural features, drainage and surrounding environment.

- 6. The physical elements of the proposed development including road patterns shall be attractive and suitable in relation to the site's characteristics and the style of other buildings and development in the immediate area.**

The proposal includes only a small entrance pavilion to be added to the exterior of the building, which will be architecturally harmonious with the existing buildings on the site.

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MAR 19 2021

TOWNSHIP OF
PLANNING & ZONING

March 19, 2021

- 7. The proposed building materials and other design aspects of the building's architecture, together with proposed landscaping, lighting and signage, are appropriate with respect to the surrounding neighborhood.**

The existing building has outside lights and building materials that are in line with the farm aesthetic of the tobacco barns, warehouses and other buildings on-site. The proposed entrance pavilion will follow that aesthetic and use similar building materials to carry through the look and feel.

- 8. The propose use will not have a detrimental effect on public health, safety, convenience and property values.**

We feel that because the footprint of the site under review is already an existing building, the additional staff on site is minimal, and the inter-related nature of the proposed use, that there will be no detrimental effects.

- 9. The proposed use shall have easy accessibility for fire apparatus, ambulances and police vehicles. The Commission may require to have constructed to Town specifications certain thoroughfares in the development for such purposes.**

There are currently two entrances to the property, both of which meet all requirements for public safety vehicles.

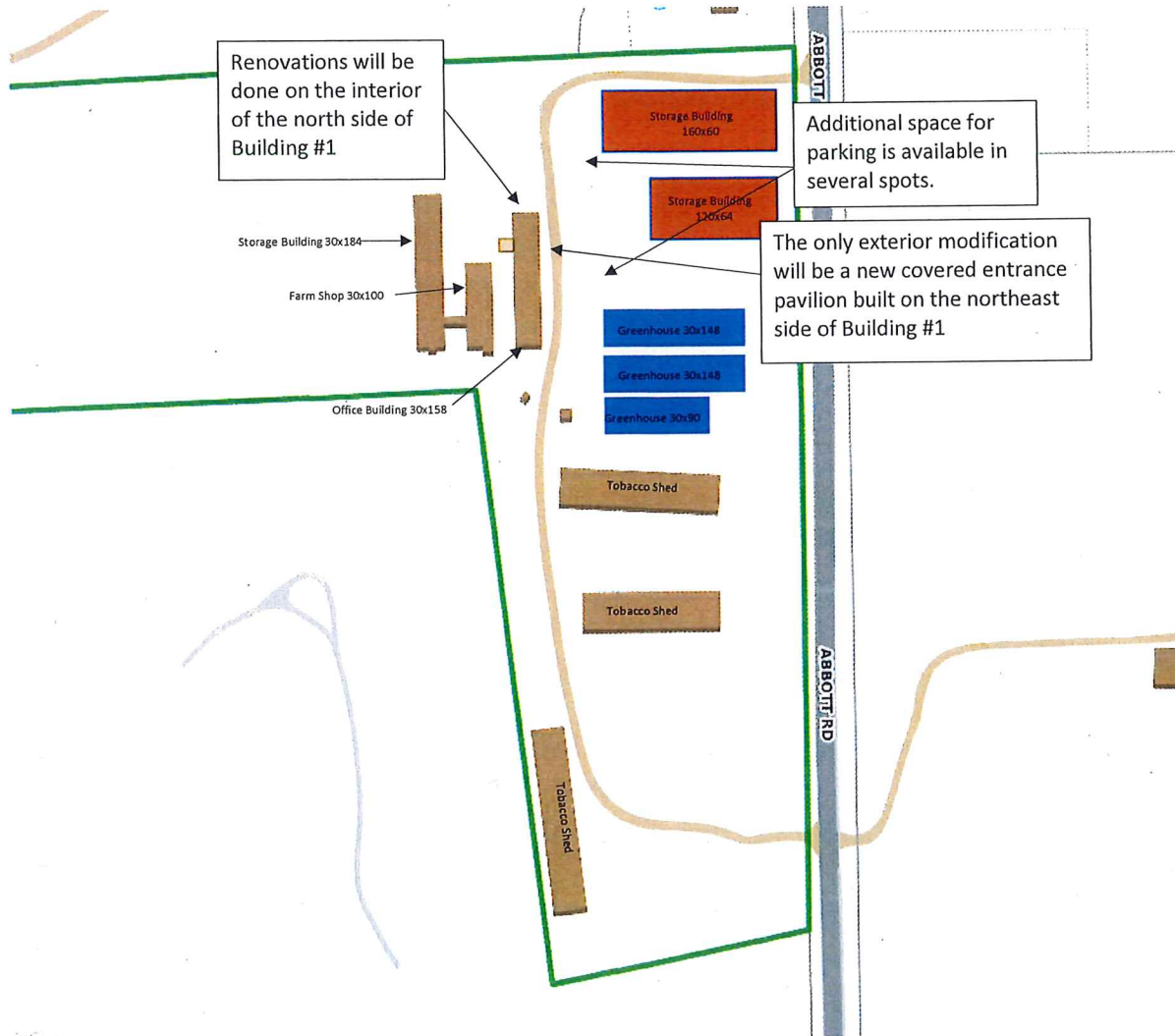
- 10. There are adequate utilities, including water supply and sewerage disposal, to support the proposed use.**

Utilities to the site are more than adequate. The building used as migrant worker housing for more than 50 workers, thus the on-site septic is more than capable of handling additional daily users. A new water filtration system and associated leach field was put in place in 2019 that is capable of providing the daily potable water needs of the proposed additional staff.

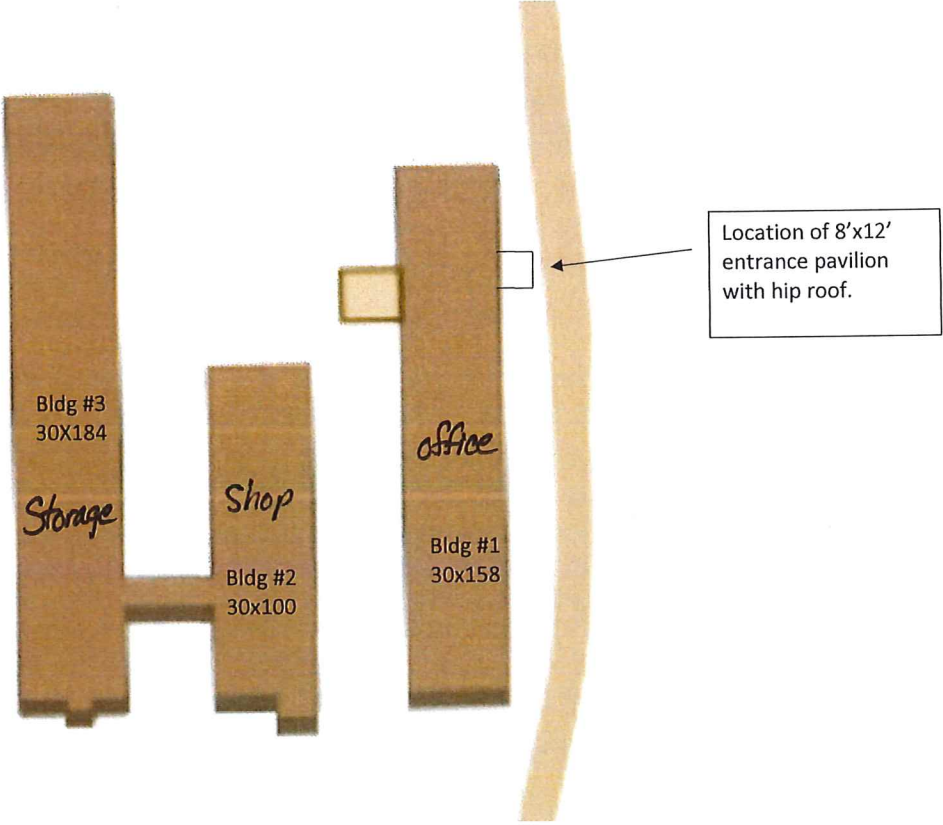
There is sufficient electric service to the building to support the additional office space.

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TOWN OF GILGISHAW
PLANNING DEPARTMENT

78 Abbott Road Site Plan – Page 1 of 2



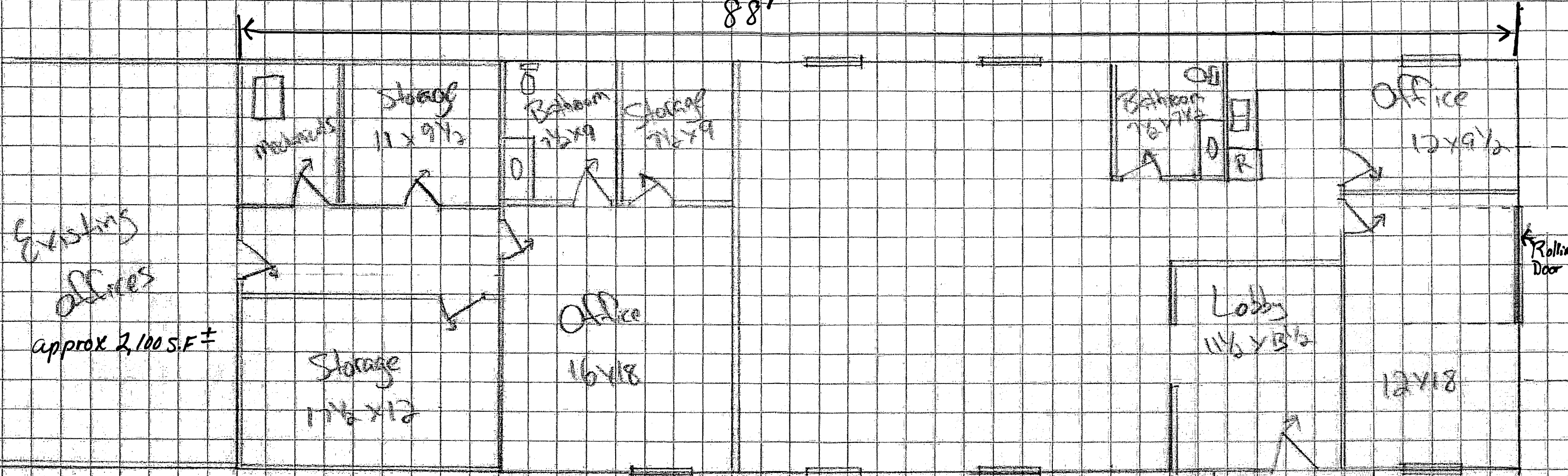
78 Abbott Road Site Plan – Page 2 of 2
Closeup of entrance pavilion siting





Foster Farm / Dunn & Foster
78 Abbott Road

88'



2' = 1 Square

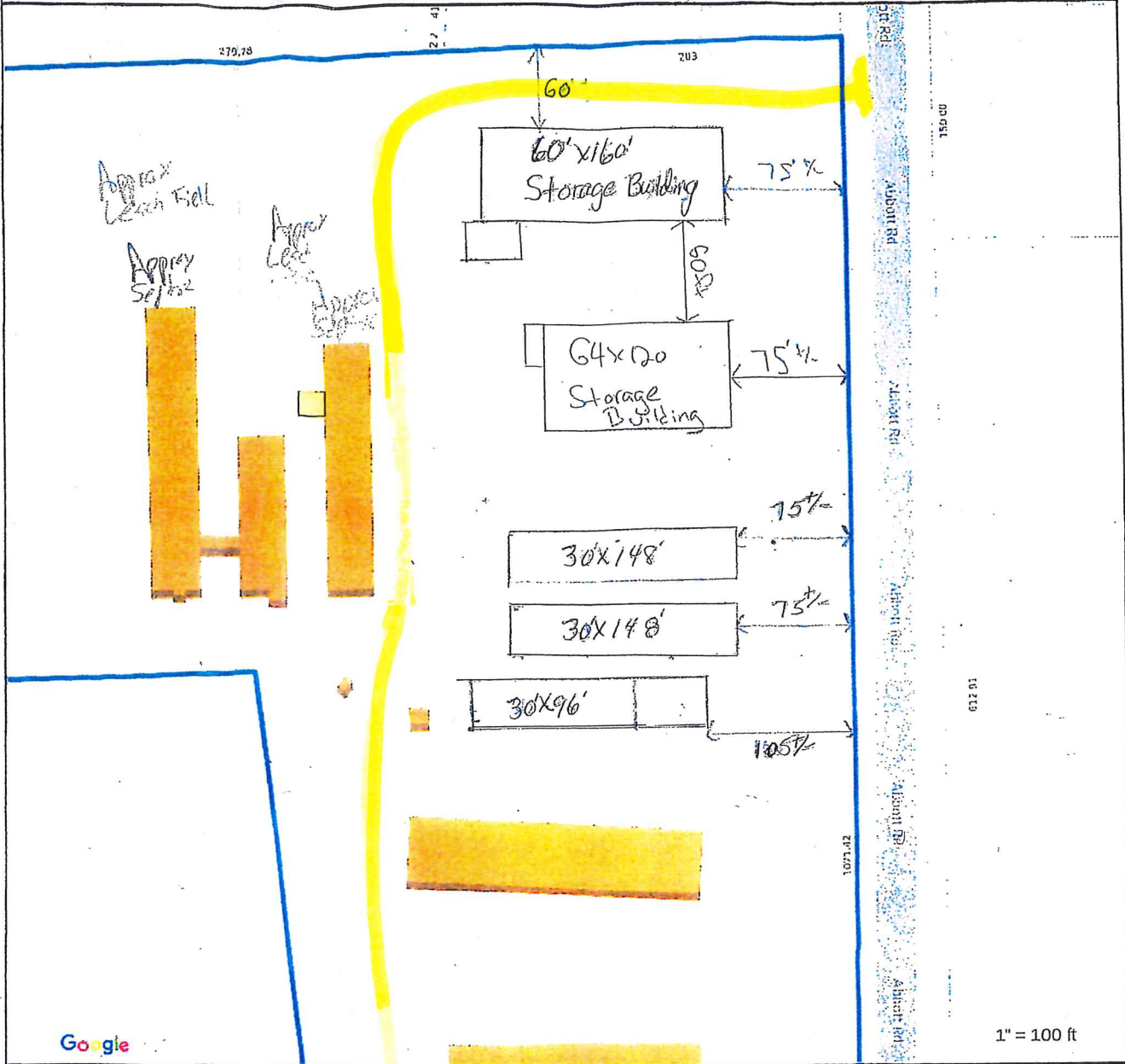
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MAR 19 2021

TOWN
PLANNING

Submitted by [Signature]
Jeff Zselle

Date: 3/19/21

Entrance
12 x 8 Pavilion
w/ Intersection
Hip Roof



1" = 100 ft

Property Information
 Property ID 033-012-0000
 Location 78 ABBOTT RD
 Owner SEVENTY-ONE ABBOTT ROAD LLC



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 7/1/2018
 Data updated 11/19/2018

78 Abbott Road



Property Information

Property ID 033 012 0000
 Location 78 ABBOTT RD
 Owner SEVENTY-ONE ABBOTT ROAD LLC



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 7/23/2020
 Data updated 7/23/2020

Barbra Galovich

From: Barbra Galovich
Sent: Tuesday, April 06, 2021 3:01 PM
To: Jeff@dunnandfoster.com
Cc: Lisa Houlihan
Subject: FW: Staff Review - Z202107 - 78 Abbott Road

Hi Mr. Zanelli,

Hope you are doing well. Please see the below comments from the Building Official, Ray Martin.

Thank you,
Barbra

Barbra Galovich, CZET
Land Use Assistant
Town of Ellington
55 Main Street
Ellington, CT 06029
(860) 870-3120

From: Raymond Martin
Sent: Tuesday, April 06, 2021 1:41 PM
To: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Subject: RE: Staff Review - Z202107 - 78 Abbott Road

Construction will have to adhere to ADA accessibility regulations.

Raymond Martin III
Building Official
Town of Ellington
860-870-3124 office
860-870-3122 fax

From: Barbra Galovich
Sent: Monday, April 05, 2021 1:29 PM
To: James York <JYork@ELLINGTON-CT.GOV>; Kim Bechard <KBechard@ELLINGTON-CT.GOV>; Lori Spielman <lspielman@ELLINGTON-CT.GOV>; Mike Caronna <mcaronna@ncdhd.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Timothy Webb <twebb@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: Staff Review - Z202107 - 78 Abbott Road

Hi,

Hope you are doing well. Please see the attached documentation with Staff Review Sheet. This application will be discussed at the PZC meeting on Monday, April 26, 2021.
Please provide your comments/concerns on or before April 16, 2021.

ELLINGTON PLANNING DEPARTMENT

STAFF REVIEW SHEET

PLANNING & ZONING COMMISSION

Z202107 – 71 Abbott Road, LLC, owner/ Jeff Zanelli, applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit for an agricultural-related business office within existing building #1 and minor Site Plan Modification for parking and construction of covered entrance at 78 Abbott Road, APN 033-012-0000, in a RAR (Rural Agricultural Residential) Zone.

PUBLIC HEARING DATE: April 26, 2021

STAFF REVIEW RETURN DATE: April 16, 2021

DEPARTMENT	COMMENTS AND/OR REQUIREMENTS
Town Engineer	
Building Official	On Page 4 of the permit application the applicant responds to statement #9 with "There are currently two entrances to the property, both of which meet all requirements for public safety vehicles"
North Central District Health Dept	I am not sure what "requirements" the applicant is referencing.
Fire Marshal	After conducting a site inspection on 4/6/21, I recommend that the town engineer evaluate the designated "dirt roadways" on this site for their suitability to support fire apparatus, turning radius, etc.
Public Works Director/WPCA	Page 5 (of 7) of the Permit Application, labeled "78 Abbott Rd Site Plan – Page 1 of 2" does not show 2, newly constructed buildings where 2 arrows are pointing and labeled "Additional space for parking is available in several spot".
Assessor	
Traffic Authority	

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input checked="" type="checkbox"/> Amendment to Regulation <input type="checkbox"/> Site Plan Approval <input type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <div style="background-color: yellow; padding: 2px;">2202108</div> Date Received 3/25/2021
---	--

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Town of Ellington
 Mailing Address: 55 Main St.
Ellington, CT 06029
 Email: planner@Ellington-CT.gov
 WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No
 Primary Contact Phone #: _____
 Secondary Contact Phone #: _____
 Signature: _____ Date: _____

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____
 Mailing Address: T.O.E.

 Email: _____
 WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No
 Primary Contact Phone #: _____
 Secondary Contact Phone #: _____
 Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: N/A.

Assessor's Parcel Number (APN): _____ - _____ - _____ Existing Zone: _____ Proposed Zone: _____
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (If more space is needed, please attach additional sheets)

Attached proposed to update collector streets pursuant to deliberations considered when adopting Section 6.5 Sidewalks and Fee-in-Lieu-of Sidewalks (Effective 11/1/2020) and Section 6.6. Access Management (Effective 4/1/2021); as well as consider traffic patterns, to fix incorrectly listed street names, and acct for changes to roadway design associated with road realignments.

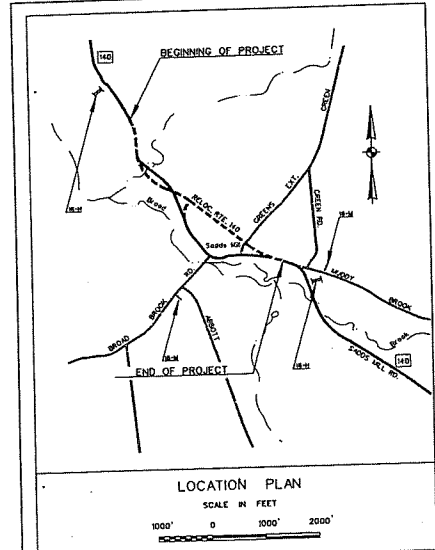
Section 6.5 Sidewalks & Fee In Lieu of Sidewalks (Effective 11/01/2020)

- A. Except as otherwise herein, the owner of land or developer for which a commercial, industrial, mixed-use, Designed Multi-Family development or use listed in Section 3.1.4 (Community / Institutional Uses) is hereafter approved or approved for modification for property fronting on arterial and collector streets listed in Section 2.1.10 (Highway Clearance Setback), except for Hopkins Road, or on Lower Butcher Road, Tomoka Avenue and Meadow Brook Road shall be required to install five (5) foot wide concrete sidewalks along the entire road frontage of the land approved for development in accordance with Town standards. When approved for modification to an existing development, installation of sidewalks shall apply when either of the following is present:
1. The modification involves an increase in floor area by 25% or more accumulatively effective November 1, 2020.
 2. The modification involves an increase in parking by 30 or more spaces accumulatively effective November 1, 2020.
- B. Sidewalks shall be installed concurrently with construction. When, in the opinion of the commission the installation of sidewalks is not advisable or desirable, the commission may require the owner of land to make a payment to the Town in lieu of the installation of sidewalks; the Town shall not be subject to payment of a fee-in-lieu-of sidewalks. If sidewalks exist along a portion of road frontage of the land approved for development, this section shall apply only to the portion of the lot's road frontage where sidewalks do not exist. The commission shall not make such determination until it has received a recommendation from the Director of Public Works and the Town Engineer on the advisability of installing sidewalks.

Section 6.6 Access Management

- A. **Purpose** Traffic flow and roadway safety can be significantly reduced by the proliferation of access points and intersections along roadways. Access management is a technique used to promote safe movement of vehicles, smooth flow of traffic, preserve the capacity of roadways, reduce vehicular congestion and conflicts, and improve pedestrian and bicyclist safety especially along heavily trafficked roads and state highways.
- B. **Intent** This regulation is intended to control the number, size and location of access points, and the distance between access points, intersections and traffic signals, and require the use of shared access points and interconnections between abutting properties where feasible while allowing proper and adequate access to and from parcels.
- C. **Applicability** As determined by the commission or its agent, this regulation shall apply to Designed Multi-Family developments, division of land into two or more parcels, commercial and industrial developments, and modifications thereto along arterial and collector streets listed in Section 2.1.10 Highway Clearance Setback, (except for Hopkins Road) and along Lower Butcher Road, Tomoka Avenue and Meadow Brook Road.
- D. **General** The commission may require an applicant or owner to:
1. provide a traffic impact analysis, prepared by a professional engineer licensed in Connecticut, containing sufficient details based upon both existing levels of development and projected build out levels of development to review:
 - a. the number and location of necessary access points;
 - b. the nature and type of traffic circulation to and from premises and adjacent properties;
 - c. the relationship of new access points to adjacent properties, roadways, intersections and traffic signals;
 - d. interconnections between properties, parking layouts and internal traffic circulation;
 - e. a site layout depicting the parcel and adjacent parcels depicting roadways and access points; and,
 - f. other information requested by the commission.
 2. close an existing access point or eliminate a proposed access point.
 3. establish or use a shared access point and/or interconnection between properties in a location acceptable to the commission and record an easement on the land records if one does not already exist, defining construction and maintenance responsibility in favor of the abutting property and/or the Town of Ellington in a form acceptable to the town attorney.
- E. The commission may be guided by the Interior Access Concept Plan for Route 83, as may be amended, when considering access management techniques for properties along Route 83.

F.P.A. RECORD NO.	STATE	TOWN	FED. HD. PROJ. NO.	PROJ. NO.	YEAR	ROUTE NO.	SHEET NO.	TOTAL SHEETS
1	CONN.	ELLINGTON	STPR-562(109)	47-104	1995	140	1	69



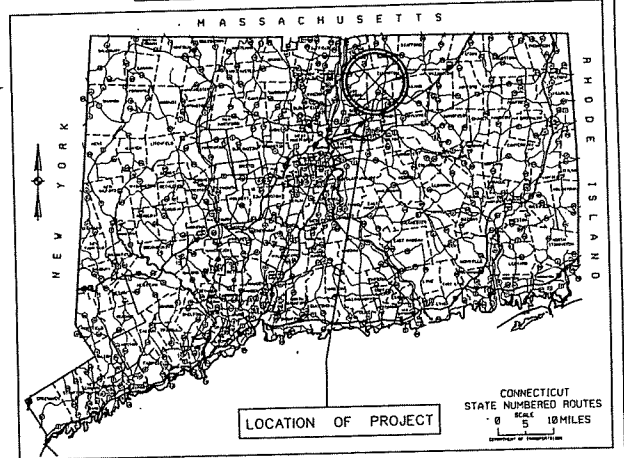
CONNECTICUT DEPARTMENT OF TRANSPORTATION PLAN

FOR REALIGNMENT OF CONN. 140 AT BROAD BROOK ROAD IN THE TOWN(S) OF ELLINGTON

FROM STA. 2+95 TO STA. 35+00
LENGTH 3205 FT.

DESIGN { PLAN 1 IN = 40 FT.
 PROFILE HOR. 1 IN = 40 FT. VERT. 1 IN = 4 FT.
 CROSS SECTIONS 1 IN = 5 FT.
OTHER SCALES AS NOTED

TO BE MAINTAINED BY THE STATE
FEDERAL AID PROJECT NO. STPR-562(109)



1995 SPECIFICATIONS, FORM 811A GOVERN.
ALL ELEVATIONS ON THIS PROJECT BASED ON ASSUMED DATUM.

TOWN NO. 47
PROJECT NO. 104

LIST OF DRAWINGS				
SHEET NO.	TITLE	SHEET NO.	STANDARD DRAWINGS	ENR/A APPRO. DATE
1	TITLE SHEET	201	DISPOSAL OF UNSUITABLE MATERIAL	8/26/91
2,3	DETAILED ESTIMATE SHEETS	507-A	1" WHOLE FRAME AND COVER	9/18/90
4	INDEX PLAN	507-D	TYPE "C" CATCH BASIN DOUBLE GRATE - TYPAND #	12/3/90
5	TYPICAL CROSS SECTIONS	507-H	PRECAST CONCRETE CATCH BASIN TYPE "C" OR "C-L"	12/3/90
6,7	MISCELLANEOUS DETAILS	507-J	TYPE "C-L" CATCH BASIN	8/1/91
8	GRADING PLAN	507-K	CATCH BASIN FRAMES & GRATES	8/26/91
9	PLANTING PLAN	651-A	TYPICAL CCM PIPE INSTALLATIONS	12/3/90
10,11	EROSION AND SEDIMENTATION CONTROL DETAILS	652-A	METAL AND REINFORCED CONCRETE CULVERT D/D	12/3/90
12-15	BORING SHEETS	803	PAVED DITCH	10/15/88
16	SURVEY TIES	811-A	CURBING	4/24/87
17-25	PLAN AND PROFILE SHEETS	910-C	METAL BEAM RAIL TYPE R-11	8/28/91
26-35	RELOCATED ROUTE 140 CROSS SECTIONS	911-A	METAL BEAM RAIL ANCHOR IN EARTH CUTSLOPE AND ANCHOR IN ROCK CUT	8/18/91
36-40	RELOCATED OLD SADDY HILL ROAD CROSS SECTIONS	921-A	SIDEWALKS AND DRIVES	8/1/91
41-49	TRAFFIC SHEETS	930	OBJECT MARKER	8/1/91
		949	PLANTING DETAILS	12/3/90

SHEETS ADDED BY CONSTRUCTION CHANGE ORDER			
SHEET NO.	DESCRIPTION	BY	DATE
24A, 44A-52A	GUIDERAIL AND SLOPE LIMITS REVISIONS	SMF	5/29/96
3A, 8A, 17A, 19A	REMOVED RIPRAP CHANNEL, ADDED		
20A, 34A, 35A	DRIVEWAY AND CHECKDAM, ADDED		
70	DRAINAGE	WKB	8/96

NOTE:
WHEREVER IN THESE PLAN SHEETS F.A.P. NO. RS-562(106) APPEARS,
IT SHALL BE CONSTRUED TO MEAN F.A.P. NO. STPR-562(109).

1 - INDICATES APPROXIMATE LOCATION OF SERIES M-N CONSTRUCTION BOX
I - INDICATES APPROXIMATE LOCATION OF SERIES M-N CONSTRUCTION BOX

STANDARD CONVENTIONS	
North Arrow	City Arrow
Edge of Road	Shell of Road
Grassed Shoulder	Stock Pile
City Road	Utility Station
Highway	Travel Marker Lines
Gravel Sub	SEAL LINE
Water Table	Stone
Concrete and/or Barrier	Gravel
DRIVE	BLANK
Construction	Transmission Tower
Asphalt Pavement	Riprap
Check Hole Point	Utility Pole
Asphalt Pavement	Top Line
Edge of Road	Centerline
Gravel Sub	Bottom Line
Water Table	Highway Line
Stone	Small Line
DRIVE	Property Line
Construction	Of Line
	Construction



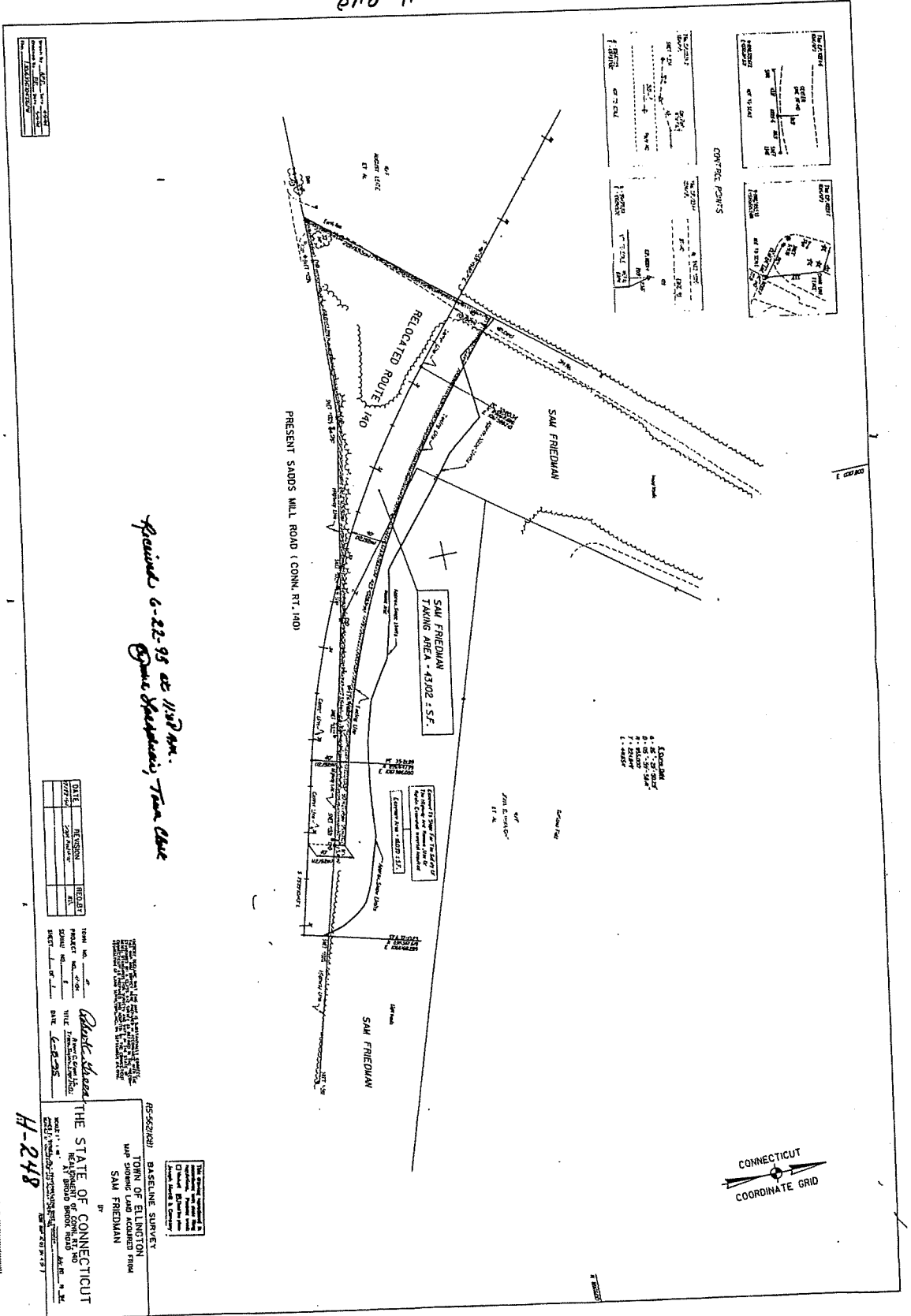
CONSTRUCTION STARTED May 20, 1996
CONSTRUCTION COMPLETED Oct. 30, 1996

U.S. DEPARTMENT OF TRANSPORTATION
FEDERAL HIGHWAY ADMINISTRATION
APPROVED _____ DATE _____
DIVISION ADMINISTRATOR

APPROVAL IS HEREBY CONSTRUED TO MEAN THAT THIS DESIGN WAS PREPARED BY PERSONS BELIEVED TO BE COMPETENT IN DESIGN AND THAT THE DESIGN APPEARS TO CONFORM TO APPLICABLE CRITERIA.
APPROVAL IS NOT TO BE CONSTRUED TO MEAN THAT ALL ASPECTS OF THE DESIGN HAVE BEEN PERSONALLY CHECKED BY THE UNDERSIGNED.

SUBMITTED June 30 1995
Thomas A. Hawley
PRINCIPAL ENGINEER - THOMAS A. HAWLEY
APPROVAL RECOMMENDED July 5 1995
Bradley J. Smith
DIVISION MANAGER OF STATE DESIGN - BRADLEY J. SMITH
APPROVED July 5 1995
Earle R. Mumroe
TRANSPORTATION ENGINEERING ADMINISTRATOR - EARLE R. MUMROE

H-248



*Revised 6-22-98 at 11:58 AM.
Bruce Shattuck, Town Clerk*

Scale	1" = 100'
North Arrow	True North
Projection	NAD 83

DATE	REVISION	REASON
07/27/98	1	ISSUED

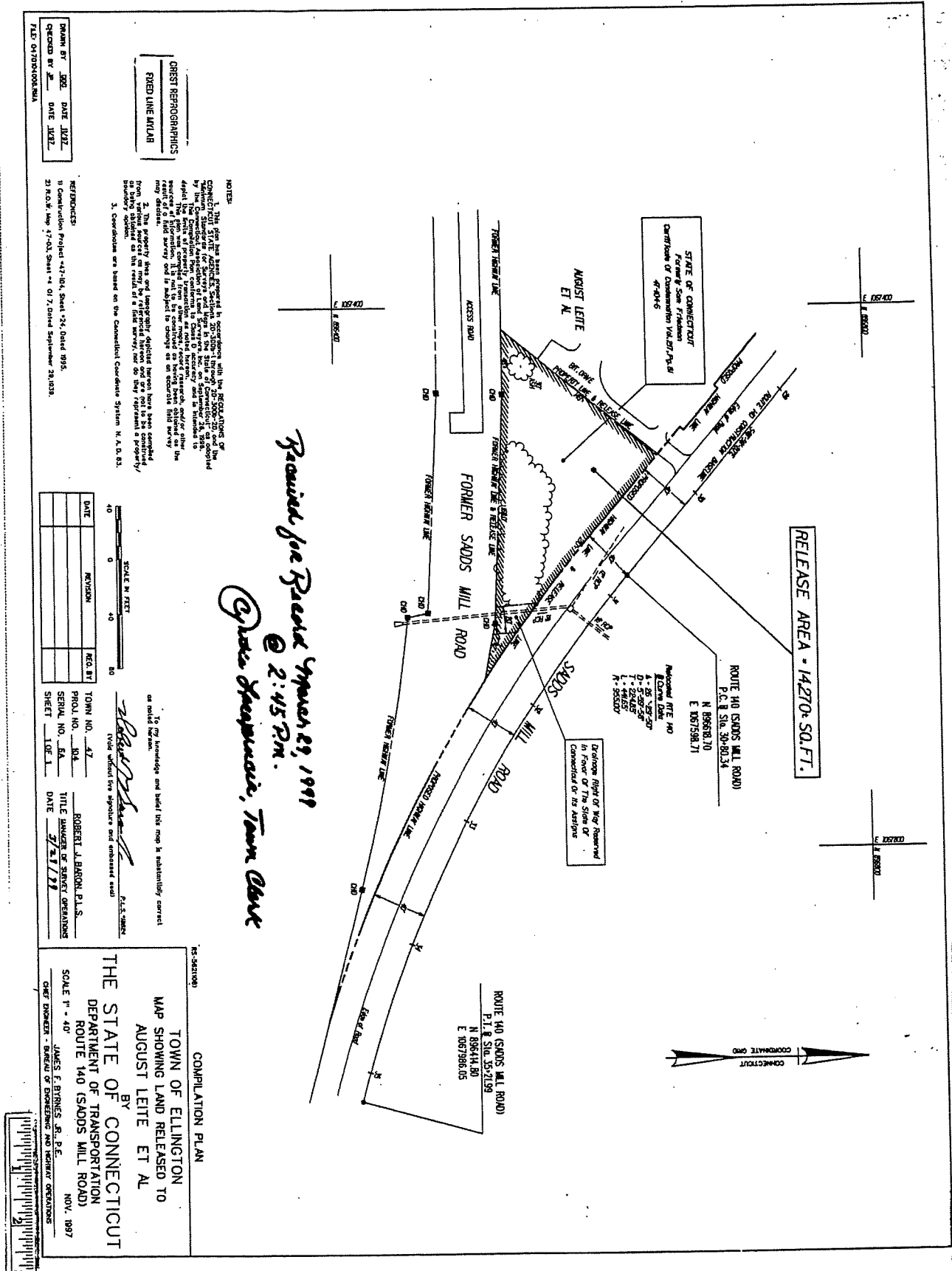
TOWN OF
SADD'S MILL
DATE 6-22-98

BASELINE SURVEY
TOWN OF ELLINGTON
LUMP SUM ACQUIRED FROM
SAM FRIEDMAN



2418

H-436



*Revised for Road Upgrade, 1999
@ 2:45 PM.
Quinn Humphreys, Town Clerk*

GREAT REPROGRAPHICS
FIXED LINE MYLAR

NOTES:
1. This plan has been prepared in accordance with the regulations of the CONNECTICUT STATE AGENCIES...
2. The person who certifies this plan is not responsible for the accuracy of the data provided by the client...
3. Coordinates are based on the Connecticut Coordinate System N.A.D. 83.

DATE	REVISION	REQ. BY

TOWN NO. AZ
PROJ. NO. 08A
SHEET 1 OF 1
DATE 11/17
TITLE MAP SHOWING LAND RELEASED TO AUGUST LEITE ET AL
ROBERT J. BARON, P.L.S.
DATE 11/17

COMPILATION PLAN
TOWN OF ELLINGTON
MAP SHOWING LAND RELEASED TO
AUGUST LEITE ET AL
BY
THE STATE OF CONNECTICUT
DEPARTMENT OF TRANSPORTATION
ROUTE 140 (SADDS MILL ROAD)
NOV. 1997
JAMES F. BYRNES, JR., P.E.
CHIEF ENGINEER - BUREAU OF ENGINEERING AND HIGHWAY OPERATIONS

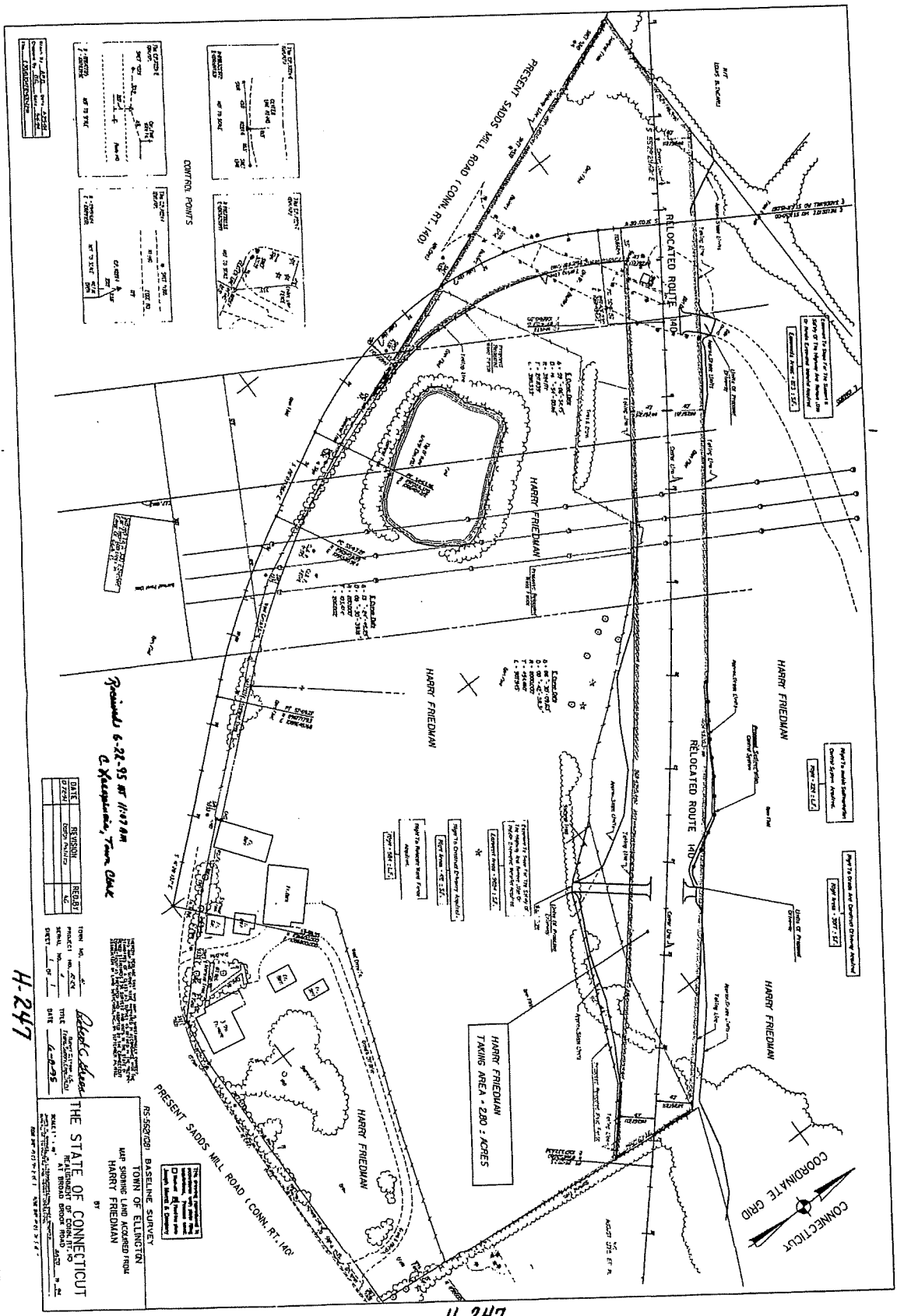
DRAWN BY: JSE
CHECKED BY: JSE
DATE: 11/22
DATE: 11/22

DRAWING NUMBER
H-436

DRAWING NUMBER
H-436

247

H-247



CONTROL POINTS

POINT NO.	DESCRIPTION	COORDINATES (Easting, Northing)
1
2
3
4
5
6
7
8
9
10

DATE	REVISION	REASON
07/21/05	1	...
08/14/05	2	...
08/25/05	3	...

PROJECT NO. 05-001
 SHEET NO. 1 OF 1
 DATE 8-25-05

RESERVED BASELINE SURVEY
 TOWN OF ELLINGTON
 MAP SHOWING LAND ACQUIRED FROM
 HARRY FRIEDMAN
 BY
 THE STATE OF CONNECTICUT
 REGISTERED PROFESSIONAL SURVEYOR



H-247

Revised 6-22-05 BY 11/22 AM
C. Mastromarino, Town Clerk

ZONING REFERRAL FORM



FOR: NOTIFICATION OF REFERRALS BY ZONING COMMISSIONS Please fill in, save a copy for your records and send with appropriate attachments by certified mail or electronically to: zoningref@crcog.org			
FROM: <input type="checkbox"/> Zoning Commission <input checked="" type="checkbox"/> Planning and Zoning Commission <input type="checkbox"/> City or Town Council (acting as Zoning Commission)		Municipality: Ellington	
TO: Capitol Region Council of Governments Policy Development & Planning Department 241 Main Street, Hartford, CT 06106		Date of Referral: 3/22/21	
<i>Pursuant to the provisions of Section 8-3b of the General Statutes of Connecticut, as amended, the following proposed zoning amendment is referred to the Capitol Region Council of Governments for comment:</i>			
NATURE OF PROPOSED CHANGE:			
<input type="checkbox"/> Adoption of amendment of ZONING MAP for any area within 500 feet of another Capitol Region Municipality. Attach map showing proposed change.		<input checked="" type="checkbox"/> Adoption or amendment of ZONING REGULATIONS applying to any zone within 500 feet of another Capitol Region Municipality. Attach copy of proposed change in regulations.	
THE CHANGE WAS REQUESTED BY: <input checked="" type="checkbox"/> Municipal Agency: Ellington <input type="checkbox"/> Petition			
DATE PUBLIC HEARING IS SCHEDULED FOR: 4/26/21			
MATERIAL SUBMITTED HEREWITH:			
<input checked="" type="checkbox"/> Regulation Changes	<input type="checkbox"/> Map of Change	<input type="checkbox"/> Supporting Statements	<input type="checkbox"/> Public Notice
<input type="checkbox"/> Other (Specify):			
HAS THIS REFERRAL BEEN SUBMITTED PREVIOUSLY TO CRCOG? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO. IF YES, ON WHAT DATE:			
(FOR USE BY CRCOG)		Name: Barbra Galovich	
Date Received:		Title: Land Use Assistant	
Sent certified/e-mail?		Address: 57 Main Street Ellington, CT 06029	
File Number		Phone: 860-870-3120 Email: Bgalovich@ellington-ct.gov	

BY LAW, THE ZONING COMMISSION SHALL GIVE WRITTEN NOTICE OF ITS PROPOSAL TO THE REGIONAL COUNCIL OF GOVERNMENTS
 NOT LATER THAN THIRTY DAYS BEFORE THE PUBLIC HEARING TO BE HELD IN RELATION TO THE SUBJECT SUBDIVISION.
 NOTICE SHALL BE MADE BY CERTIFIED MAIL, RETURN RECEIPT REQUESTED OR BY EMAIL TO zoningref@crcog.org.

CRCOG-2017

Andover / Avon / Berlin / Bloomfield / Bolton / Canton / Columbia / Coventry / East Granby / East Hartford / East Windsor / Ellington / Enfield / Farmington
 Glastonbury / Granby / Hartford / Hebron / Manchester / Mansfield / Marlborough / New Britain / Newington / Plainville / Rocky Hill / Simsbury / Somers
 South Windsor / Southington / Stafford / Suffield / Tolland / Vernon / West Hartford / Wethersfield / Willington / Windsor / Windsor Locks

A voluntary Council of Governments formed to initiate and implement regional programs of benefit to the towns and the region

From: Lisa Houlihan
Sent: Tuesday, April 20, 2021 11:21 AM
To: Clark Chapin - *East Windsor Town Planner*
Subject: Ellington Zoning Reg Amendment - Section 2.1.10 Highway Clearance Setback
Attachments: Ellington Zoning Text Amend Section 2.1.10 Highway Clearance Setback.pdf

Dear Clark,

Over the last year, the Ellington Planning and Zoning Commission (PZC) processed two regulation amendments enacting strategies from the 2019 Plan of Conservation and Development. The two new regulations are Access Management and Sidewalks & Fee-in-lieu-of Sidewalks applicable to certain developments along heavily trafficked roads. When drafting these regulations the commission analyzed current traffic patterns and identified a few roads that carry considerable local traffic but are not currently identified in local regulations as collector, arterial, etc streets. And, conversely, during review of the two recent referrals from East Windsor potentially impacting land along the East Windsor and Ellington town line, the Ellington PZC noticed that local regulations incorrectly classify Broad Brook Road in Ellington as a collector street. It's worthy to note that thirty or more years ago Broad Brook Road may have been intended to develop as a collector street but the design of the roadway changed when the State realigned Route 140 and the northern intersect with Broad Brook Road in the 90s. Later this month (4/26/2021) the Ellington PZC will consider a regulation amendment updating Section 2.1.10 Highway Clearance Setback to reflect the aforementioned changes. Referral has been sent to the Capitol Region Council of Governments and you should receive a copy of their response once issued - Ellington hasn't received a reply yet, but is expected to receive one Friday. Attached is a copy of the draft regulation amendment and backup information.

Please let me know if you have any questions or would like to discuss further.

Very best regards,

Lisa

Lisa M. Houlihan, AICP
Ellington Town Planner
PO Box 187 / 55 Main Street/ Ellington, CT 06029
Phone: 860-870-3120 / Fax: 860-870-3122
Website: www.ellington-ct.gov/ Email: lhoulihan@ellington-ct.gov /

WINDERMERE AVE

Joe Bivona
J&M Realty Connections
Joejmrealtyconnections@gmail.com
(203) 461-3893

Subject Properties

- 35 Windermere ave. 72,745 sqft
- 39 Windermere ave. 44,867 sqft
- 41 Windermere ave. 22,216 sqft
- 47 Windermere ave. 217,800 sqft

= 8.2 Acres

DMF Zone Industrial Zone

Sewer available but only 2,986 gallons per day allocated according to WPCA

- 35 Windermere - 2300 gallons
- 39 Windermere - 187 gallons
- 41 Windermere - 312 gallons
- 47 windermere - 187 gallons

With bedrooms allocated at 62.5 GPD we get just over half of the amount we'd need for our preferred proposal and just under a 3rd required for our elderly living proposal. Im of the understanding however, that the 2300 gallons allocated for 35 windermere are commercial/retail. We'd be looking for a variance there. We'd be willing to purchase the remaining necessary flow. We're also going to need a rezoning on the parts of the property that are zoned industrial.

After reviewing the town of Ellingtons plan of conservation and development, we've created two proposals under the assumption that 8 acres of the 8.7 are unencumbered.

FIRST - Town houses with 20% affordable housing

48 Total units - 84 beds (will need to purchase X amount of gallons)(1.75beds Per unit)

- 21 2 bed units
(9 - 2 bed 2 bath 1300 sqft 1 car garage -\$2,100.00 / mo)
(12 2 bed 2.5 bath 1800 sqft 2 car garage \$2,600.00 / mo)
- 7 3 bed units
(3 bed 2.5 bath 2100 sqft 2 car garage \$2,900 / mo)
- 9 1 bed units
(1 bed 1.5 bath 1300 sqft 1 car garage \$1,500 / mo)
- 8 affordable housing units
(4 1 bed 1 bath 800 sqft 1 car garage \$650 / mo)
(4 2 bed 1 bath 1100 sqft 1 car garage \$850 / mo)

We'd be willing to add 50%-100% more affordable housing units if granted density bonuses.

- With 8 affordable housing units we'd create 53% of the towns goal of 15 a year.
- With 12 affordable housing units we'd create 80% of the towns goal of 15 a year.
- With 16 affordable housing units we'd exceed the towns desired annual goal.

SECOND - Elderly Housing

100 total units

- 50 1 bed units
(1 bed 1 bath 600 sqft 1 car garage \$700.00/ mo)
- 50 2 bed units
(2 bed 2 bath 800 sqft 2 car garage \$1000.00 /mo)



TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FX (860) 870-3122

**PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES
MONDAY, MARCH 22, 2021, 7:00 PM
SENIOR CENTER MEETING ROOM, 40 MAPLE ST, ELLINGTON, CT**

**IN-PERSON PUBLIC ATTENDANCE LIMITED DUE TO COVID19 RESTRICTIONS
ZOOM ATTENDANCE INSTRUCTIONS PROVIDED**

MEMBERS PRESENT: IN MEETING ROOM: CHAIRMAN ARLO HOFFMAN, VICE CHAIRMAN SEAN KELLY, SECRETARY ROBERT SANDBERG, JR, REGULAR MEMBERS RICCI HIRTH AND MICHAEL SWANSON, AND ALTERNATES JON MOSER AND KEN RADZIWON; VIA ZOOM: REGULAR MEMBER WILLIAM HOGAN

MEMBERS ABSENT: REGULAR MEMBER F. MICHAEL FRANCIS

STAFF PRESENT: VIA ZOOM: LISA HOULIHAN, TOWN PLANNER AND IN MEETING ROOM: BARBRA GALOVICH, RECORDING CLERK

I. CALL TO ORDER: Chairman Hoffman called the meeting to order at 7:03 PM.

II. PUBLIC COMMENTS (On non-agenda items): **None**

III. PUBLIC HEARING(S):

1. Z202020 - Joseph & Mary Hollay and Heather Hollay-Farr & Christopher Farr, owners/ applicants, pursuant to Section 3.1 of the Ellington Zoning Regulations request for a Special Permit for a dormitory at 154 Crystal Lake Road, APN 095-021-0001, and 156 Crystal Lake Road, APN 095-021-0000, in the RAR (Rural Agricultural Residential) Zone. (*Continued from February 22, 2021 meeting.*)

TIME: 7:03 PM

SEATED: Hoffman, Kelly, Sandberg, Hogan, Hirth, Swanson and Radziwon

Attorney Bruce Fader of Jacobs, Walker, Rice & Barry, LLC, 146 Main Street, Manchester, CT, Mark Peterson, Gardner & Peterson, LLC, 178 Hartford Turnpike, Tolland, CT, Heather Hollay-Farr, 154 Crystal Lake Road, and Mary Hollay, 156 Crystal Lake Road, were present to represent the application.

Attorney Fader reviewed the discussion from the previous meeting. He stated the merging of the two lots will present issues for the Hollay family. He referred to having the barn and house with common septic system with lot line adjustment or the possibility of merging the two lots, but there is a current mortgage from the Department of Agriculture on 154 Crystal Lake Road that would violate the mortgage. He said if the Hollay's have a dormitory on 154 Crystal Lake Road with arena, they would need to construct a new septic system, which is not financially feasible for the family. Attorney Fader stated that all of the suggestions present problems.

Mark Peterson reviewed maps which shows the proposed lot line if the Hollay's decide to do a lot line adjustment between the two parcels. Mr. Peterson said he has been in contact with Sean Merrigan,

CT Department of Health's Environmental Engineering Program. He noted that Mr. Merrigan stated in his email dated March 15, 2021 the proposed lot line change to the property could not be allowed due to the following reasons:

First, it would violate CT PHC Section 19-13-B100a (e) that requires the septic system remain on the property of the building its serving when revising a property line. As we discussed, DPH may grant easements for offsite systems for repairs, etc. but would not approve an easement as part of a lot split or lot line revision. If public sewers are not available, no lot line shall be relocated or any other activity performed that affects soil characteristics or hydraulic conditions so as to reduce the potential repair area, unless the local director of health has determined that after the lot line relocation or disturbance of soils on the lot a code-complying area exists for the installation of a subsurface sewage disposal system. In no case shall a relocated lot line violate Subsection (d) of Section 19-13-B103d of the Regulations of Connecticut State Agencies that requires that each subsurface sewage disposal system shall be located on the same lot as the building served. Second, if two or more residences are connected to a single septic system, then the system would be considered a community sewerage system (as defined in CGS 7-245 below) and would require DEEP approval. DPH can grant central system approvals to 2 or more buildings connected to a common system on the same parcel, and in some cases it could be a single family house and a detached in-law building on the same lot - similar to the property in question. In your case the proposed lot line change would create two separate buildings on separate parcels sharing a common system, and therefore require approval from DEEP. "Community sewerage system" means any sewerage system serving two or more residences in separate structures which is not connected to a municipal sewerage system or which is connected to a municipal sewerage system as a distinct and separately managed district or segment of such system.

Attorney Fader stated he submitted a draft lease agreement between the two owners and allowing a Special Permit for the dormitory would be most cost efficient for the Hollay's.

Chairman Hoffman questioned how the parcel has a barn on 1.77 acres when at least 3 acres is required to have any agricultural uses. He noted that the issue was created by the owners when the land was subdivided to receive a grant from the Department of Agriculture. Attorney Fader stated it was an agricultural split. Secretary Sandberg stated the request for the Special Permit is more of an accessory apartment rather than a dormitory. Commissioner Hirth and Swanson agreed with Secretary Sandberg and explained that the commission is trying to work with the applicants and come to a resolution to the zoning violations created for the unpermitted dwelling that meet current zoning regulations.

Attorney Fader expressed if the special permit for the dormitory is denied, it will cost the Hollay Family an additional 15 -30 thousand dollars to install a septic system on 154 Crystal Lake Road.

Alternate Radziwon discussed with Mark Peterson about the lot line adjustment and having two homes on one septic system. He suggested the owners apply to the Department of Energy and Environmental Protection (DEEP) for a community septic system.

Commissioner Hogan stated the proposed lease agreement is inconsistent. He asked for the square footage of the existing horse barn on the upper level that has been converted into living space and requested the footprint of the existing second floor be submitted to the Planning Office and added to the application.

Lisa Houlihan, Town Planner, noted she consulted with the Town Attorney in reference to Attorney Fader's documentation provided to the Planning Department on March 17th. They reviewed the regulations regarding the request for special permit. She noted Section 3.1.1 agricultural uses for "dormitories for farm help accessory to an agricultural operation in Ellington" and Section 10.2 defines

accessory building or use as "a building or use subordinate to and on the same lot with a principal building or use". The dormitory does not meet the technical terms of the regulations and there's lack of authority to grant the special permit.

Tom Thomches, 10 George Drive, Vernon, reiterated from the previous meeting that his concern is what could potentially happen in the future with the farm and the general appearance of the land. He asked if they were utilizing the trailers for hay storage.

MOVED (KELLY) SECONDED (SWANSON) TO CONTINUE THE HEARING TO THE NEXT MEETING ON MONDAY, APRIL 26, 2021, 7:00 PM FOR Z202020 - Joseph & Mary Hollay and Heather Hollay-Farr & Christopher Farr, owners/ applicants, pursuant to Section 3.1 of the Ellington Zoning Regulations request for a Special Permit for a dormitory at 154 Crystal Lake Road, APN 095-021-0001, and 156 Crystal Lake Road, APN 095-021-0000, in the RAR (Rural Agricultural Residential) Zone.

2. Z202101 - Ellington Enterprises, owner/applicant, pursuant to Section 4.1 of the Ellington Zoning Regulations request for a Special Permit and Site Plan modification for the construction of a 9,600 sf building with wash bay at 77 Meadow Brook Road, APN 091-009-0000 in an I - Industrial Zone.

TIME: 8:08 PM

SEATED: Hoffman, Kelly, Sandberg, Hogan, Hirth, Swanson and Moser

BY CONSENSUS, TABLE OPENING OF HEARING TO THE NEXT MEETING ON MONDAY, APRIL 26, 2021, 7:00 PM FOR Z202101 - Ellington Enterprises, owner/applicant, pursuant to Section 4.1 of the Ellington Zoning Regulations request for a Special Permit and Site Plan modification for the construction of a 9,600 sf building with wash bay at 77 Meadow Brook Road, APN 091-009-0000 in an I - Industrial Zone.

3. Z202102 – 267 Jobs Hill Road, LLC, owner/ applicant, pursuant to Section 7.14.3 (C) of the Ellington Zoning Regulations request for a Special Permit for a horse boarding & riding arena operation and Site Plan Approval for the reconstruction and expansion of a horse riding arena and boarding stalls, building connector, storage area and associated site improvements at 267 Jobs Hill Road, APN 159-022-0000 in a RAR (Rural Agricultural Residential) Zone.

Time: 8:08 PM

Seated: Hoffman, Kelly, Sandberg, Hogan, Hirth, Swanson and Moser

Christy Morin, 267 Jobs Hill Road, was present to represent the application. Ms. Morin stated that this past October they lost the entire stall portion of the barn to a fire, which included 22 stalls on the first floor and storage on the second floor. The 60'x120' indoor riding arena and 36'x36' attached storage building survived the fire with minimal damage. She explained the best way to utilize the remaining buildings is to convert the existing riding arena and storage building into a 34 stall horse barn replacing what was lost in the fire and add an attached 70'x192' building to the rear of the existing building. The 70'x192' building will be attached to the existing building by a 16'x25' connector and will contain a 70'x152' indoor riding arena with a 40'x70' storage area. The front 30'x30' building will be used for dry storage. Ms. Morin confirmed the structures will not be used for residential purposes.

Ms. Houlihan explained Ms. Morin received a variance from the Zoning Board of Appeal for the front yard setback and Planning Department received comments dated February 16, 2021 from the Building Official stating, "A CT licensed architect will be required to perform a code analysis of the project. This code analysis will determine how the new proposed structures will affect the existing use. Some things that need to be determined are use group designation for the riding arena, scope of public use, bathrooms, accessibility, height/area of buildings and how that might bring fire sprinklers

as a requirement. Any of these design issues that arise may need input from the State Building Inspector and an architect is equipped to address this.” Ms. Houlihan noted the narrative provided with the application stated the facility’s hours of operation, boarding of horses, riding lessons, pony parties, and summer programs to be provide onsite. After a brief discussion, it was decided that the temporary use of port-a-potty would be acceptable until a septic system is installed.

Alan and Louise Gowdy, 265 Jobs Hill Road, are neighbors of Ms. Morin and they are in favor of the rebuilding of the barn and the owners have been working hard to clean up the site after the fire.

By consensus, the commission granted staff authority to permit signage for the horse facility through application for zoning permit and acknowledged no further review is needed by the commission for the installation of bathroom facilities within the new structures.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR Z202102 – 267 Jobs Hill Road, LLC, owner/ applicant, pursuant to Section 7.14.3 (C) of the Ellington Zoning Regulations request for a Special Permit for a horse boarding & riding arena operation and Site Plan Approval for the reconstruction and expansion of a horse riding arena and boarding stalls, building connector, storage area and associated site improvements at 267 Jobs Hill Road, APN 159-022-0000 in a RAR (Rural Agricultural Residential) Zone.

MOVED (SANDBERG) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITIONS FOR Z202102 – 267 Jobs Hill Road, LLC, owner/ applicant, pursuant to Section 7.14.3 (C) of the Ellington Zoning Regulations request for a Special Permit for a horse boarding & riding arena operation and Site Plan Approval for the reconstruction and expansion of a horse riding arena and boarding stalls, building connector, storage area and associated site improvements at 267 Jobs Hill Road, APN 159-022-0000 in a RAR (Rural Agricultural Residential) Zone.

CONDITIONS OF APPROVAL:

- Onsite sewage disposal system shall be installed within 36 months from the date of the Certificate of Occupancy, subject to approval from North Central District Health Department;
 - Shall comply with Building Department’s requirement;
 - Signage shall comply with the Ellington Zoning Regulations and is subject to issuance of a Zoning Permit.
4. Z202103 – Proposed text amendment to add Section 6.6 - Access Management to the Ellington Zoning Regulations.

Time: 8:30 PM

Seated: Hoffman, Kelly, Sandberg, Hogan, Hirth, Swanson and Moser

Ms. Houlihan said the proposed text was referred to staff for comment and Department of Public Works and the Town Engineer provided written support for the proposal. She reviewed the Capitol Region Council Of Government’s response received March 12, 2021, stating they found no apparent conflict with regional plans and policies or the concerns of neighboring town and commend efforts for incorporating access management regulations to improve traffic flow and roadway safety. They also encouraged the commission to include language that considers pedestrian and bicyclist safety. Ms. Houlihan reviewed the proposed changes from the Town Attorney and explained none of the revisions change the context of the draft language and it does not have to be referred to the CRCOG again. She said if the commission supports the proposal, as modified, the amendment is ready for vote and adoption.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR Z202103 – Proposed text amendment to add Section 6.6 - Access Management to the Ellington Zoning Regulations.

MOVED (KELLY) SECONDED (HOGAN) AND PASSED UNANIMOUSLY TO APPROVE AS MODIFIED FOR Z202103 – Proposed text amendment to add Section 6.6 - Access Management to the Ellington Zoning Regulations.

EFFECTIVE DATE: APRIL 1, 2021

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Z202104 – Big Y Foods, Inc., owner/ applicant, pursuant to Table 4.1 Permitted Uses & Uses Requiring Special Permit - Commercial & Industrial Zones request for Special Permit to allow medical, business, professional and financial office; personal services business; restaurants, tavern entertainment; and veterinarian, small animal hospital and commercial kennel at 140 West Road, APN 046-001-0000 in a PC (Planned Commercial) Zone.

BY CONSENSUS, RECEIVED APPLICATION AND SCHEDULED PUBLIC HEARING FOR APRIL 26, 2021, 7:00 PM FOR Z202104 – Big Y Foods, Inc., owner/ applicant, pursuant to Table 4.1 Permitted Uses & Uses Requiring Special Permit - Commercial & Industrial Zones request for Special Permit to allow medical, business, professional and financial office; personal services business; restaurants, tavern entertainment; and veterinarian, small animal hospital and commercial kennel at 140 West Road, APN 046-001-0000, in a PC (Planned Commercial) Zone.

2. Z202105 – Robert Binkowski, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (40X80) at 3 Deer Run, APN 084-026-0000, in a R (Residential) Zone.

BY CONSENSUS, RECEIVED APPLICATION AND SCHEDULED PUBLIC HEARING FOR APRIL 26, 2021, 7:00 PM FOR Z202105 – Robert Binkowski, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (40X80) at 3 Deer Run, APN 084-026-0000, in a R (Residential) Zone.

3. Z202106 – Andre & Amanda Nowzarinezhad, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached structure (35X60) accessory to a single-family home at 57 Windermere Avenue, APN 011-019-0000, in an IP (Industrial Park) Zone.

BY CONSENSUS, RECEIVED APPLICATION AND SCHEDULED PUBLIC HEARING FOR APRIL 26, 2021, 7:00 PM FOR Z202106 – Andre & Amanda Nowzarinezhad, owner/ applicant, pursuant to Section 3.1.3 request for Special Permit for garages for more than 3 cars per family unit associated with the construction of a detached structure (35X60) accessory to a single-family home at 57 Windermere Avenue, APN 011-019-0000, in a IP (Industrial Park) Zone.

4. Z202107 – 71 Abbott Road, LLC, owner/ Jeff Zanelli, applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit for an agricultural-related business office within existing building #1 and minor Site Plan Modification for parking and construction of covered entrance at 78 Abbott Road, APN 033-012-0000, in a RAR (Rural Agricultural Residential) Zone.

BY CONSENSUS, RECEIVED APPLICATION AND SCHEDULED PUBLIC HEARING FOR APRIL 26, 2021, 7:00 PM FOR Z202107 – 71 Abbott Road, LLC, owner/ Jeff Zanelli, applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit to allow an agricultural-related business office within existing building #1 and minor Site Plan Modification for parking and construction of covered entrance at 78 Abbott Road, APN 033-012-0000, in a RAR (Rural Agricultural Residential) Zone.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of February 22, 2021 Regular Meeting Minutes.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO APPROVE FEBRUARY 22, 2021 REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence:

- a. Referral from East Windsor regarding application PZ-2021-06 SJK Properties, LLC, for a proposed text amendment to Multi Family Development District (MFDD) regulations to allow MFDD within rural areas when certain standards are met.

Ms. Houlihan summarized the new proposed text amendment received from the East Windsor Planning and Zoning Commission for the commission. The applicant, SJK Properties, is only proposing a text amendment versus a text amendment and a zone change like the former applications. The proposal suggests to modify East Windsor's multi-family regulations and allow an increased density from approximately 46/48 units for a single family development to 98 or so units; the last proposal would've allowed approximately 150 units. The new language states "any additional means of egress, except as required by Section 802.17(h) shall only be permitted via a collector or arterial roadway." The road the development is located on in East Windsor is Broad Brook Road which continues into Ellington. However, some years ago Route 140 was realigned and portions of roads abandoned/transferred to abutting landowners and Broad Brook Road in Ellington was redesigned with a 90 degree intersection and stop sign before reaching Route 140. GIS mapping was reviewed in proximity to Quarry Meadows and the current and former configuration of Broad Brook Road. The commission agreed a text amendment should be proposed to update Section 2.1.10 Highway Clearance Setback to reflect the change in roadway design from the Route 140 realignment.

The commission questioned if a traffic study is present for the East Windsor proposal. A traffic report is not required until special permit and site plan approval is sought. If the proposed text amendment is approved, the applicant has to apply for a zone change then special permit and site plan approval. The commission reviewed their comments for the previous proposal and agreed their concerns remain the same for this application.

BY CONSENSUS, REQUESTED A MEMO BE SENT TO EAST WINDSOR PLANNING AND ZONING COMMISSION EXPRESSING CONCERNS FOR INCREASE TO TRAFFIC ON RURAL ROADS, INCREASE IN RUNOFF AND WATER QUALITY ISSUES, CONCERNS FOR NEGATIVE IMPACT TO WETLANDS AND BROAD BROOK.

- b. Referral from Vernon regarding application PZ-2021-05 Town of Vernon for proposed text amendment to the Vernon Zoning Regulations to add a new section 3.31 for temporary, seasonal, and permanent outdoor dining as a permitted accessory uses.

BY CONSENSUS, ENDORSED CONTINUATION OF TEMPORARY OUTDOOR DINING CERTIFICATE PROCESS.

- c. Discussion regarding Municipal Strategies for Regulating Small Cell Wireless Facilities and referral from Ellington Economic Development Commission.

Ms. Houlihan shared documents with the commission pertaining to possible regulations for small wireless facilities.

BY CONSENSUS, REQUESTED STAFF PREPARE DRAFT TEXT AMENDMENT TO ESTABLISH STANDARDS FOR LOCATIONAL AND AESTHETIC CONSIDERATIONS FOR SMALL CELL WIRELESS FACILITIES.

VII. ADJOURNMENT:

MOVED (SWANSON) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO ADJOURN THE PLANNING & ZONING COMMISSION REGULAR MEETING AT 9:06 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

Department of Public Works

RECEIVED

MAR 26 2021

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Timothy Webb
Director/WPCA Admin.

21 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
TEL 860-870-3140 FAX 860-870-3147
www.ellington-ct.gov

WATER POLLUTION CONTROL AUTHORITY MEMORANDUM

To: Lori Spielman, First Selectman

FROM: Timothy M. Webb, Director of Public Works/ WPCA Admin *TMW*

DATE: March 23, 2021

RE: Sanitary Sewer Extension to Jobs Hill and Tomoka Intersection

The Ellington Water Pollution Control Authority has been approached by Oakridge Farms inquiring as to the possible extension of the sanitary sewers to their operation on Jobs Hill Rd. This request was made to allow their operation to process the cleaning of their containers; wastewater from the cleaning would be discharged into the system.

The sewer extension to this area, intersection of Jobs Hill and Tomoka, has been discussed and approved within the Town Plan of Conservation in the recent years. The Ellington WPCA also has allocated flow to this area for development within their recent flow allocation plan. The Ellington WPCA can discharge 1.42MGD to the Vernon Treatment plant. The current flow usage and future Town sewer development has been completed to meet the needs of the community but remain fluid as the Town grows.

With the request from Oakridge and the flow allocated, the WPCA was seeking to extend the sewer to this area and was researching funding recommendations from the Finance Office. At this time the American Rescue Plan, funding for local Governments, has become available with the investment into water and sewers as an acceptable use of the funds.

Conceptual plans and costs have been generated. The cost to extend the sewers to this area is an estimated \$3 million including a new pump station. Oakridge Farms has expressed that the land to construct the pump station would be provide to the Town.

At this time, I would request this project to be placed on the agenda of the Board of Selectmen's meeting to be held on April 12, 2021 for general discussion as it would relate to the use of the American Rescue Plan Funding.

ljs

cc: WPCA Board Members
Tiffany Pignataro, Finance Officer/Treasurer
Lisa Houlihan, Town Planner

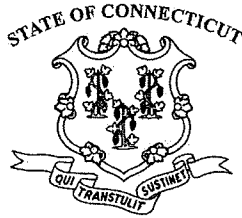
Acceptable Use of Funds for Local Government Under the American Rescue Plan

- (A) To respond to the public health emergency with respect to COVID-19 or its negative economic impacts, including assistance to households, small businesses, and nonprofits, or aid to impacted industries such as tourism, travel, and hospitality;
- (B) To respond to workers performing essential work during the COVID-19 public health emergency by providing premium pay to eligible workers of local government that are performing such essential work, or by providing grants to eligible employers that have eligible workers who perform essential work;
- (C) For the provision of government services to the extent of the reduction in revenue of such local government due to the COVID-19 public health emergency relative to revenues collected in the most recent full fiscal year prior to the emergency; or
- (D) To make necessary investments in water, sewer, or broadband infrastructure.

Local governments cannot use funds for deposit into any pension fund. In addition, cannot be used for directly or indirectly offsetting a tax cut.

Other Key Provisions:

- Funding for towns and cities will be distributed in a modified CDBG formula with entitlement cities (those with a population over 50,000) receiving funding directly from the Treasury Department and non-entitlement towns (those with a population under 50,000) distributed by the State as a passthrough.
- There is a particular provision that will allow states—like Connecticut—to receive additional funds which would have been allocated if the State had county governments. Therefore, Connecticut would not miss on additional funding.
- Funds must be spent by the end of calendar year 2024.
- State and local governments must provide periodic reports to the Treasury Department with a detailed accounting of the use of funds. States and territories must also provide any modifications to tax revenue sources. Funds can be recouped by the Treasury Department if the recipient does not comply with the eligible uses.
- Local governments will receive allocations in two tranches—the first half 60 days after enactment and the other half one year later. For non-entitlement units of local government, those deadlines are the dates for Treasury to send the funding to the state, which has an additional 30 days to distribute to each non-entitlement unit of local government.
- States have NO discretionary authority to change the amount of, or attach additional requirements to, the payments allocated to local governments.
- For non-entitlement towns, funding may not exceed 75% of the most recent adopted local budget as of January 27, 2020. Those funds will be returned to the Treasury Department.



Substitute House Bill No. 6610

Special Act No. 21-3

AN ACT CONCERNING THE OUTDOOR SALE OF GOODS AND PROVISION OF FOOD AND BEVERAGE SERVICE.

Be it enacted by the Senate and House of Representatives in General Assembly convened:

Section 1. (*Effective from passage*) (a) As used in this section:

(1) "Applicable laws of the state" means chapters 14, 97a, 98, 124, 126, 242 and 541 of the general statutes, section 22a-27j of the general statutes and any special act, municipal charter, ordinance, resolution or regulation;

(2) "COVID-19" means the respiratory disease designated by the World Health Organization on February 11, 2020, as coronavirus 2019, and any related mutation thereof recognized by the World Health Organization as a communicable respiratory disease;

(3) "Food establishment" means a food establishment that is licensed or permitted to operate pursuant to section 19a-36i of the general statutes;

(4) "Local enforcement official" means a zoning enforcement officer, or such officer's designee, or building official, or such official's designee;

(5) "Municipality" has the same meaning as provided in section 8-1a

Substitute House Bill No. 6610

of the general statutes; and

(6) "Outdoor activities" means outdoor food and beverage service or outdoor displays of goods for sale. "Outdoor activities" shall not include live entertainment.

(b) Notwithstanding the provisions of section 8-3b of the general statutes, for the period commencing on the effective date of this section and ending March 31, 2022, if a zoning administrator, chairperson of a zoning commission or planning and zoning commission or chief elected official of a municipality finds that a proposal to establish or change a zone or regulation to expand or permit outdoor activities is necessary to respond to or provide economic recovery from the COVID-19 pandemic, such zoning administrator, chairperson or chief elected official may place such proposal on the public hearing agenda of the zoning commission or planning and zoning commission, as applicable, and such commission shall conduct a public hearing and act on such proposal without the need to comply with the requirements of said section of the general statutes.

(c) (1) Notwithstanding any provision of the applicable laws of the state, for the period commencing on the effective date of this section and ending March 31, 2022, any person making a permit application to engage in outdoor activities shall make such application to a local enforcement official, who shall review and make a determination on each such application. If such outdoor activities will occur on a state highway right-of-way, an additional permit application shall be made by such person to the Department of Transportation pursuant to chapter 242 of the general statutes. No local enforcement official shall impose a fee for a permit application under this subsection.

(2) Notwithstanding any provision of the applicable laws of the state, for the period commencing on the effective date of this section and ending March 31, 2022, any person who makes a permit application to a

Substitute House Bill No. 6610

local enforcement official to engage in outdoor activities shall not be required to submit (A) plans stamped by a licensed engineer, landscape architect or architect, (B) a site survey, (C) a parking plan, (D) a traffic study or plan, (E) a sign plan, (F) a soil erosion and sediment control plan, (G) a photometric lighting plan, or (H) a stormwater management plan, provided such person submits, at a minimum, a (i) drawing or illustration, roughly to scale or dimensioned and depicting with reasonable accuracy the outdoor area proposed to be used and what is proposed to be placed, built or erected in the outdoor area, and (ii) written narrative describing any noise, waste management, odor, light pollution or environmental impacts expected in such outdoor area as a result of such outdoor activities and an explanation of how such impacts will be mitigated. The local enforcement official reviewing such application may require an applicant to submit additional information that such officer deems necessary to protect public health, safety or the environment, provided such officer shall consider the need for expedited review of such applications.

(3) Notwithstanding any provision of the applicable laws of the state, for the period commencing on the effective date of this section and ending March 31, 2022, each local enforcement official shall approve, approve with conditions or reject any application for outdoor activities and notify each applicant of such decision in a manner prescribed by the local enforcement official not later than (A) ten days after the receipt of such application, or (B) ten days after the receipt of any additional information requested by the local enforcement official pursuant to subdivision (1) of this subsection. The failure of any local enforcement official to provide such notice shall be deemed to be an approval of such application.

(4) Notwithstanding any provision of the applicable laws of the state, for the period commencing on the effective date of this section and ending March 31, 2022, if a local enforcement official approves with

Substitute House Bill No. 6610

conditions or rejects an application pursuant to subdivision (3) of this subsection, the applicant may appeal such decision, not later than seven days after the receipt of notice of such decision, to the zoning commission, planning and zoning commission or chief elected official of the municipality, as applicable. A public hearing shall not be required for any such appeal.

(5) Notwithstanding any provision of the applicable laws of the state, for the period commencing on the effective date of this section and ending March 31, 2022, nothing in this subsection shall affect an individual's right to submit a complaint to any relevant municipal authority or the right of any such municipal authority to enforce conditions or requirements associated with permitted outdoor activities, impose fines or issue notices of violations or cease and desist orders.

(d) Notwithstanding any provision of the applicable laws of the state, for the period commencing on the effective date of this section and ending March 31, 2022, any person permitted to engage in outdoor activities may engage in such activities (1) on public sidewalks and other pedestrian pathways abutting the area permitted for principal use and on which vehicular access is not allowed, (A) provided a pathway (i) is constructed in compliance with physical accessibility guidelines, as applicable, under the federal Americans with Disabilities Act, 42 USC 12101, et seq., as amended from time to time, and (ii) such pathway extends for the length of the lot upon which the area permitted for principal use is located, is not less than four feet in width, not including any area on a street or highway, and remains unobstructed for pedestrian use, and (B) subject to reasonable conditions imposed by the municipal official or agency that issues right-of-way or obstruction permits, (2) on off-street parking spaces or parking lots associated with the permitted use, notwithstanding any municipal ordinance establishing minimum requirements for off-street parking, (3) on any

Substitute House Bill No. 6610

lot, streetface, yard, court or open space abutting, or noncontiguous lot that is not more than one lot, streetface, yard, court or open space removed from, the area permitted for the principal use, provided (A) such lot, streetface, yard, court or open space is located in a zoning district where outdoor activities are permitted, (B) such use is in compliance with any applicable requirements for access or pathways pursuant to physical accessibility guidelines under the federal Americans with Disabilities Act, 42 USC 12101, et seq., as amended from time to time, and (C) such person obtains written authorization to engage in such outdoor activities from the owner of such lot, streetface, yard, court or open space and provides a copy of such authorization to the zoning commission, and (4) until eleven o'clock p.m. on Friday and Saturday and nine o'clock p.m. on all other days of the week, or until times established by the zoning commission, planning and zoning commission or chief elected official of the municipality, as applicable, whichever is later.

(e) (1) Notwithstanding any provision of the applicable laws of the state, for the period commencing on the effective date of this section and ending March 31, 2022, the Department of Transportation may allow any person to engage in outdoor activities on a nonvehicular portion of a state highway right-of-way, provided the department establishes any conditions on such use, as deemed necessary by the Commissioner of Transportation.

(2) For the period commencing on the effective date of this section and ending March 31, 2022, outdoor activities shall be considered a special event for the purposes of section 14-298-262 of the regulations of Connecticut state agencies.

(3) Notwithstanding any provision of the applicable laws of the state, for the period commencing on the effective date of this section and ending March 31, 2022, any municipality shall request a special event permit from the Department of Transportation before closing any part

Substitute House Bill No. 6610

of a vehicular portion of a state highway right-of-way for outdoor activities, in accordance with the provisions of section 14-298-262 of the regulations of Connecticut state agencies. The Department of Transportation shall expedite its review of any such request.

(4) Notwithstanding any provision of the applicable laws of the state, for the period commencing on the effective date of this section and ending March 31, 2022, any municipal official having jurisdiction over local roads, in consultation with the municipality's local traffic authority, may close a local road to permit outdoor activities without conducting a public hearing, except that if such local road is utilized as part of a public transportation route, such official shall consult with the Department of Transportation.

(f) Notwithstanding any provision of title 30 of the general statutes or any provision of the regulations of Connecticut state agencies, for the period commencing on the effective date of this section and ending March 31, 2022, no entity that is licensed to serve alcoholic beverages shall be required to obtain a patio or extension of use permit to engage in outdoor activities, provided such entity: (1) Complies with the provisions of this section, (2) complies with any rules for outdoor dining, including, but not limited to, safety or social distancing requirements issued by the Governor, the Department of Economic and Community Development or other agency or entity authorized by law or pursuant to an executive order, to issue such requirements in response to the COVID-19 pandemic, (3) complies with any municipal requirements related to outdoor dining or the sale of alcoholic beverages that are consistent with the provisions of this section, (4) complies with any provision of title 30 of the general statutes or regulations of Connecticut state agencies regarding the prohibition of the sale of alcohol to minors or intoxicated persons or regarding restrictions on the times such entity may serve alcoholic beverages, (5) complies with any rules in effect limiting or restricting the sale or consumption of alcoholic

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beverages only to customers who consume food on such entity's premises, (6) does not maintain an outdoor consumer bar, as defined in section 30-62a of the general statutes, and (7) does not provide live entertainment, unless such entertainment was previously permitted in such entity's outdoor space or such entity obtains permission from the applicable municipal official to provide live entertainment, and the provision of such entertainment complies with any relevant safety or social distancing requirements issued by the Governor, the Department of Economic and Community Development or other agency or entity authorized by law or pursuant to an executive order, to issue such requirements in response to the COVID-19 pandemic.

(g) Any outdoor activity allowed pursuant to Executive Order No. 7MM of Governor Ned Lamont prior to the effective date of this section shall be deemed approved and permitted in accordance with the requirements of this section until March 31, 2022, without need for reapplication, (1) provided an additional application shall be made for any expansion of a previously approved outdoor activity, except if such expansion is solely related to alterations to reduce the width of a pathway required pursuant to subdivision (1) of subsection (d) of this section, provided such pathway is not reduced to less than four feet in width, and (2) except that any person engaging in a previously approved outdoor activity on a state highway right-of-way who seeks to continue such outdoor activity after April 19, 2021, shall make an application to the Department of Transportation pursuant to chapter 242 of the general statutes to ensure compliance with relevant federal requirements.

(h) Notwithstanding any provision of the applicable laws of the state, nothing in this section shall alter or affect a nonconforming use or structure or prohibit any person from seeking or obtaining approval for engaging in outdoor activities pursuant to existing municipal zoning regulations.

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(i) For the period commencing on the effective date of this section and ending March 31, 2022, any minimum requirement for off-street parking or requirement prohibiting outdoor activities from taking place on parking lots shall not apply to the extent required to allow outdoor activities alone or in conjunction with any other activity authorized by law, executive order or municipal regulations, including any activity required to enable the response to the COVID-19 pandemic.

(j) The provisions of this section shall be liberally construed to promote the continuation of outdoor activities, as permitted by Executive Order No. 7MM of Governor Ned Lamont.

Approved March 31, 2021

Lee D. Hoffman
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April 6, 2021

Via Certified Mail/Return Receipt Requested

Arlo Hoffman, Chairman
Planning and Zoning Commission
55 Main St.
Ellington, CT 06029

Re: CTEC Solar, LLC ("CTEC") Petition for Declaratory Ruling for a Solar Project to Be Located in Ellington, Connecticut

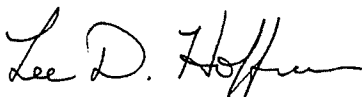
Dear Sir/Madam:

Pursuant to section 16-50j-40(a) of the regulations of the Connecticut Siting Council (the "Council"), we are notifying you that CTEC Solar, LLC intends to file a petition for declaratory ruling with the Council on or shortly after April 9, 2021. This petition will request the Council's approval of the location and construction of a 6.0-megawatt alternating current solar photovoltaic electric generating facility and associated electrical interconnection equipment (the "Project") in Ellington, Connecticut. The Project address is 277 Sadds Mill Road, Ellington (the "Property") and will involve the development of approximately 30.5 acres of the underlying parcels ("Project Area"). The Project Area consists of two parcels; the 99.6 acre parcel to the east of the intersection of Sadds Mill Road and Reeves Road, and the 57.7 acre parcel to the north of that, on the south side of Reeves Road.

The Project consists of solar modules, string inverters, driven post racking, DC string wiring, AC wire runs, transformers, switchgear, metering equipment, security fencing and access roads. The Project will be interconnected with Eversource's electric distribution system.

Once filed, a full copy of the Petition will be placed on file with the Towns of Ellington and East Windsor. If you have any questions regarding the Project, please contact the undersigned or the Council.

Sincerely,



Lee D. Hoffman
Attorney for CTEC Solar, LLC