

TOWN OF VERNON
CONSERVATION COMMISSION
Vernon, CT
Meeting Notice
Monday, April 19, 2021, 7:00 PM

Join Zoom Meeting

<https://us02web.zoom.us/j/82404363665?pwd=dktSVUFmTG1XWHVrZjVkdVdhUTFYdz09>

Meeting ID: 824 0436 3665

Passcode: QM0aGP

Or Dial In:

(646) 876 9923

Meeting ID: 824 0436 3665

Passcode: 520821

AGENDA

1. Call to Order and roll call
 2. Administrative Actions/Requests
 - 2.1 Amendment(s) to Agenda, if any
 - 2.2 Approval of the Minutes of the March 15, 2021 meeting
 - 2.3 Communications received not related to Agenda items, if any
 - 2.4 Letters sent by Conservation Commission last month, if any
 - 2.5 Organizational considerations
 3. Open Space Program Update
 4. New Business
 - 4.1 Review of Pending Planning & Zoning Applications or Inland Wetlands
 - Application **[IWC-2021-04]**, of Rashid Hamid, for a wetlands re-designation and a wetlands permit by Commission, for the development of a +-70 unit townhouse residential project, at 291 and 293 Talcottville Rd. (Assessor ID: Map 3 Block 4 Parcels 9A & 9E) and at 27, 32, 37, 38, and 46 Naek Rd. (Assessor ID: Map 3 Block 4 Parcels 008-8,7,4, 6, 5).
 - 4.2 Natural Resources
 - Vernal Pools
 - Bolton Lakes Issues
 - Non-Point Source Pollution
 5. Other Business/Goals/Discussion
 - 5.1 Future Activities
 - a) Annual Goals
 - b) Potential Activities
 - 5.2 POCD updates
 - Draft Future Land Use Narrative and Maps-Link Below
- <https://www.vernon-ct.gov/departments-services/departments/planning-and-development/pocd>

6. Adjournment C. Ryan Goad, Chairman-Conservation Commission

DRAFT MINUTES

**Town of Vernon, CT Conservation Commission
Regular Meeting via Zoom Teleconference
Monday, March 15, 2021 at 7:00 PM**

Zoom Weblink Information

<https://us02web.zoom.us/j/87961298391?pwd=N2NZeHpvM2JNdStTMWNza1ZsSINUdz09>

Meeting ID: 879 6129 8391 Passcode: A2j1nF

Dial In Information:

Phone Number: (646) 876-9923 Meeting ID: 879 6129 8391 Passcode: 758750

DRAFT MEETING MINUTES

- 1. Call to Order and Roll Call** Chairperson Ryan Goad called the meeting to order at 7:00PM.
Regular members present: Ryan Goad, Richard Clark, James Simon
Members absent: Jason Seacat
Staff members present: George McGregor, Town Planner
Recording Secretary: Kathleen Minor

- 2. Administrative Actions/Requests**
 - 2.1. Amendment(s) to Agenda** – none
 - 2.2. Approval of the Minutes of the January 25, 2020 2021 Meeting**

Ryan Goad, seconded by James Simon, made a motion to approve the minutes from the January 25, 2021 regular meeting as presented. Motion carried unanimously.

- 2.3. Communications received not related to Agenda items** – none
- 2.4. Letters sent by Conservation Commission last month**

Ryan Goad has had email correspondence with Marty Sitler, Director of Parks and Recreation, regarding commission recruitment posters

- 2.5. Organizational considerations** – no discussion

- 3. Open Space Program Update**

Discussion ensued regarding the future vision of the Conservation Commission's roll in Open Space now that it is maxed.

- 4. New Business**
 - 4.1. Review of Pending Planning & Zoning Applications**

Application **IWC-2101-01**, of Richard and Julie Clay for a wetlands permit by commission, for the construction of a +- 2,400 s.f. single-family home located at 58 Wildwood Rd., (Assessors ID: Map 52, Block 0139, Parcel 00050)

James Simon, seconded by Richard Clark, made a motion for Ryan Goad to send an email to the Town Planner with the commission's recommendation to leave existing vegetation along the lake side. Motion carried unanimously.

Application **IWC-2101-02**, of Pamela Gieras for a wetlands permit by Commission, for the construction of a +-2,200 s.f. single-family home located at 7 Beechwood Rd. (Assessors ID: Map 52, Block 140F, Parcel 00005)

No action taken by commission

Application **PZ-2021-02**, of Krause Realty Trust, requesting a zone change for two parcels, one located at 34 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00002) and the other located at 42 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00001). Both parcels are currently zoned R-27. The requested change is to rezone 1.1457 acres of the

parcels to Commercial, in order to merge that portion into adjacent Commercial land to provide additional inventory parking at an automobile dealership, and to rezone 1.2407 acres of the parcels to Open Space Zone.

Town Planner provided updates to project. No action taken.

4.2. Natural Resources –

- 4.2.1. Vernal Pools – No discussion
- 4.2.2. Bolton Lake Issues

Ryan Goad provided updates regarding the status of the Watershed Management Plan and the Small Town Economic Assistance Program (STEAP) Grant being used. An email will be sent to the commission.

Discussion ensued regarding the trails throughout town. Town Planner George McGregor will reach out to the Director of Parks and Recreation, Marty Sitler, and ask him to join a future meeting.

- 4.2.3. Non-Point Source Pollution – No discussion

5. Other Business/Goals/Discussion

- 5.1. Future Activities – No discussion**
 - 5.1.1. Annual Goals
 - 5.1.2. Potential Activities
- 5.2. POCD Updates**

Town Planner George McGregor updated the commission on the status and progress of the POCD.

- 6. Adjournment –** Richard Clark, seconded by James Simon, made a motion to adjourn the meeting at 7:53 PM. Motion carried unanimously.

Respectfully submitted,



Kathleen Minor
Recording Secretary

APPLICATION

1

RECEIVED

MAR 18 2021



TOWN OF VERNON
TOWN PLANNERS OFFICE
INLAND WETLANDS COMMISSION (IWC)

APPLICATION

This form is to be used to apply to the Vernon Inland Wetlands Commission (IWC) for approval for a redesignation of a wetlands area, a change to the Inland Wetlands and Watercourses Regulations, and/or a permit to conduct a regulated activity in a wetland, watercourse, or upland review area (URA), which are defined as areas within one hundred (100) feet from the boundary of a wetland, watercourse, or intermittent watercourse and areas within two hundred (200) feet from the boundary of Gage's Brook, Hockanum River, Ogden Brook, Railroad Brook, Tankerhoosen River, Valley Falls Pond, Walker Reservoir East, Walker Reservoir West. Any activity that the Commission determines is likely to impact or affect wetlands or watercourses may be considered a regulated activity. **Provide all the information requested.**

The Applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property. Said interest shall be explained. If the applicant is not the property owner, written permission for this Application must be obtained from the property owner and submitted by letter signed by the property owner authorizing submission of the Application.

The Applicant understands that the Application is complete only when all information and documents required by IWC have been submitted and that any approval by the IWC relies upon complete and accurate information being provided by the Applicant. Incorrect information provided by the Applicant may make the approval invalid. The IWC may require additional information to be provided by the Applicant.

I. APPLICANT (S)

Name: Rashid Hamid

Title: President

Company: Naek Construction Co., Inc.

Address: 27 Naek Road, Vernon, CT 06066

Telephone: 860-875-1895 Fax: 860-872-3251

E-mail: rashidnaek@aol.com

II. PROPERTY OWNERS

Name: The Rashid Hamid Family, LLP

Title: N/A

Company: c/o Naek Construction Company, Inc.

Address: 27 Naek Road

Vernon, CT 06066

Telephone: 860-875-1895 Fax: 860-872-3251

E-mail: rashidnaek@aol.com

III. PROPERTY

Address: 291 and 293 Talcottville Road and 26, 32, 37, 38, and 46 Naek Road

Assessor ID Code: Map # 03 Block # 0004 Lot/Parcel # See attachment

Land Record Reference to Deed Description: Volume: _____ Page See attachment

USGA Location:

Circle the Map Quadrangle Name: Manchester # 38 XRockville #39

Circle the Sub regional Drainage Basin #: 3108 X4500 4502 4503

Zoning District: PDZ-Gerber Farm Area

IV. PROJECT

Project Name: Village at Naek Road

Project Contact Person:

Name: Rashid Hamid

Title: President

Company: Naek Construction Co., Inc.

Address: 27 Naek Road

Vernon, CT 06066

Telephone: 860-875-1895 Fax: 860-872-3251

E-mail: rashidnaek@aol.com

V. PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "The Town of Vernon Inland Wetlands and Watercourses Regulations".

Purpose: Development of the Village at Naek Road, a residential townhouse community

General Activities: Site preparation, grading, and installation of utilities for construction of 70 townhouse dwelling units in 17 buildings, with driveways, sidewalks, lighting, storm drainage, amenities, and other related improvements.

Regulated Activities:

Watercourse disturbance (linear feet): None.

Wetlands disturbance (acres or sq. ft.): None.

Upland Review Area (URA)disturbance: 4.0 acres for construction of stormwater basin, storm drainage, buildings, driveways, utilities, and parking areas.

Nonregulated activities & activities outside URA: 8.2 acres for construction of stormwater basin, storm drainage, buildings, driveways, utilities, sidewalks, and parking areas.

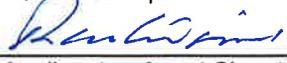
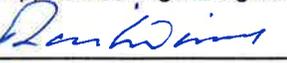
VI. APPLICATION

- Redesignation of Wetlands
- Amendment of Inland Wetlands and Watercourses Regulations
- Modification of a Wetlands Redesignation
- Wetlands Permit
 - Non-significant activity
 - Significant activity with less than 1/2 acre site disturbance
 - Significant activity with site disturbance from 1/2 acre to and including 2 acres
 - Significant activity with site disturbance greater than 2 acres
 - Commission modification of a wetland permit in effect
 - Modification of a wetland permit by the Wetlands Agent
- Approval of a license by the Wetlands Agent for activities in an upland
- Appeal of a decision by the Wetlands Agent
- Subdivision review per CGS Section 8-26
- Jurisdictional ruling regarding permitted and nonregulated uses
- Waiver, reduction, or delayed payment of fees (attach statement of justification)
 - Waiver
 - Reduction to \$ _____
 - Delay of payment to _____

VII. CERTIFICATION AND SIGNATURE

I, the undersigned Applicant or applicant's Agent, hereby certify that I have reviewed the "Town of Vernon Inland Wetlands and Watercourses Regulations" and have prepared this Application with complete and accurate information.

Property Owner, Applicant, or Applicant's Agent:

	Rashid Hamid	_____
Applicant or Agent Signature	Printed Name	Date
	Rashid Hamid	_____
Owner's Signature, if different	Printed Name	Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

DATE APPLICATION SUBMITTED _____
DATE APPLICATION RECEIVED BY COMMISSION _____
IWC FILE: _____

TOWN OF VERNON INLAND WETLANDS COMMISSION (IWC)
SUPPLEMENT TO APPLICATION

**PURPOSE AND DESCRIPTION OF PROPOSED ACTIVITY,
PROPOSED EROSION AND SEDIMENTATION CONTROLS AND
OTHER MANAGEMENT PRACTICES**

The Vernon Inland Wetlands and Watercourses Regulations require a statement of the purpose and a description of the proposed activity and proposed erosion and sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including, but not limited to, measures to (1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, (3) in the following order of priority: restore, enhance, and create productive wetland or watercourse resources; and (4) mitigate the impact of the proposed activity.

The report from George Logan, Professional Wetland Scientist, Associate Wildlife Biologist, Soil Scientist, and Ecologist, at REMA Ecological Services, LLC provides this information.

**ALTERNATIVE THAT WOULD CAUSE LESS OR NO
ENVIRONMENTAL IMPACT TO
WETLANDS OR WATERCOURSES**

The Regulations require the Applicant to state an alternative which would cause less or no environmental impact to wetlands or watercourses and why the alternative as set forth in the application was chosen, with all such alternatives diagramed on a site plan or drawing. Because the proposed activities will not have any environmental impact to wetlands or watercourses, no statement of alternatives is necessary.

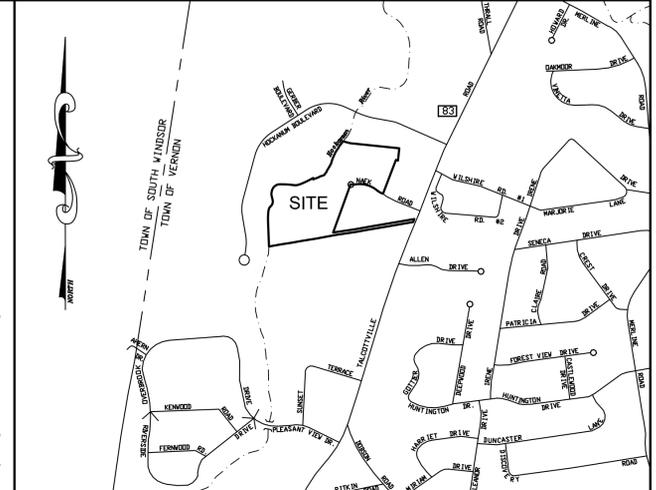
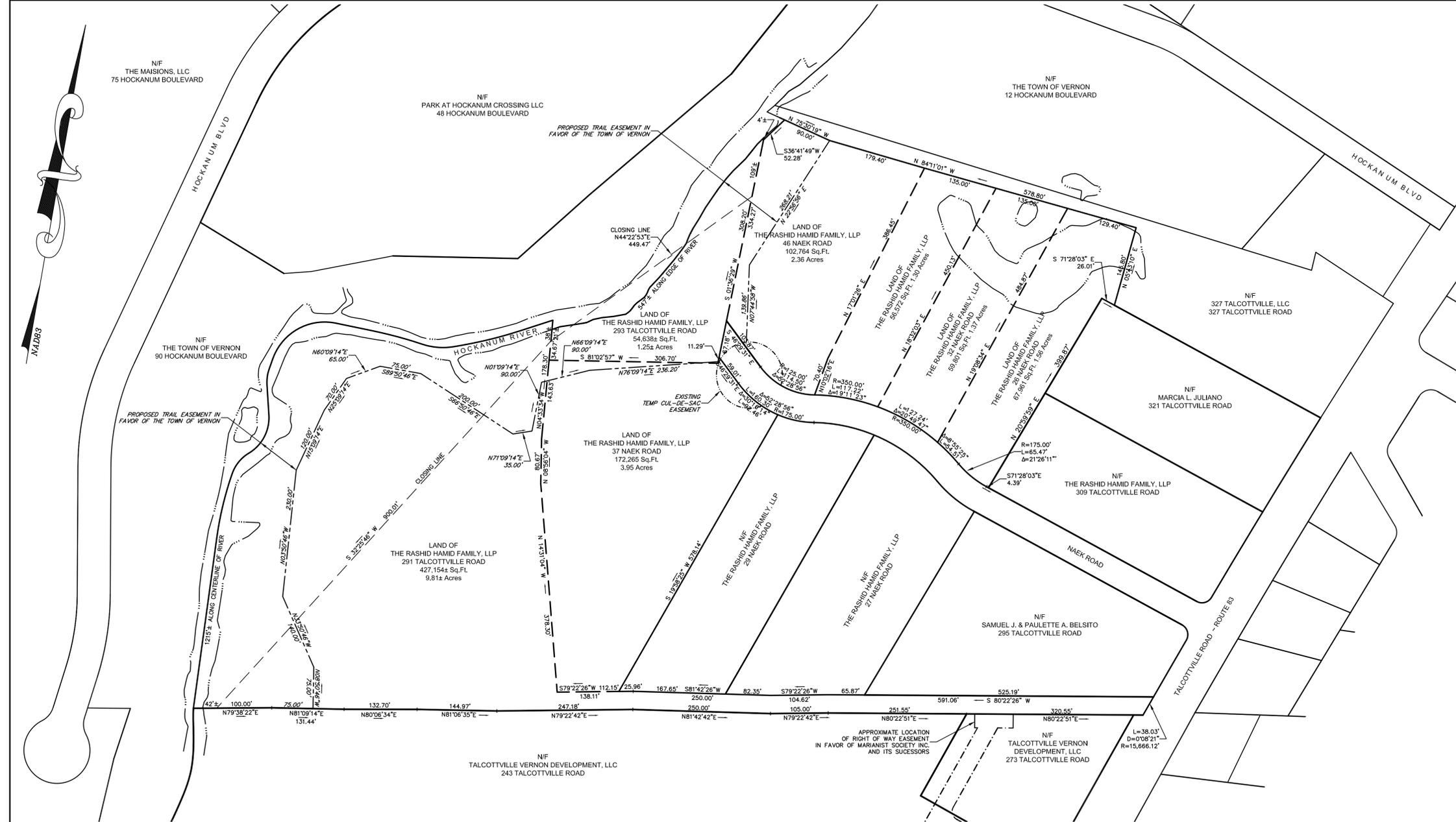
**ECOLOGICAL COMMUNITIES AND
FUNCTIONS OF WETLANDS OR WATERCOURSES**

The Regulations require descriptions of the following: (1) the ecological communities and functions of the wetlands or watercourses involved with the Application and the effects of the proposed activity on these communities and wetland functions; and (2) how the Applicant will change, diminish, or enhance the ecological communities and functions of the wetlands or watercourses involved in the application and each alternative which would cause less or no environmental impact to wetlands or watercourses, and a description of why each alternative considered was deemed neither feasible nor prudent.

The report from George Logan, Professional Wetland Scientist, Associate Wildlife Biologist, Soil Scientist, and Ecologist, at REMA Ecological Services, LLC provides this information.

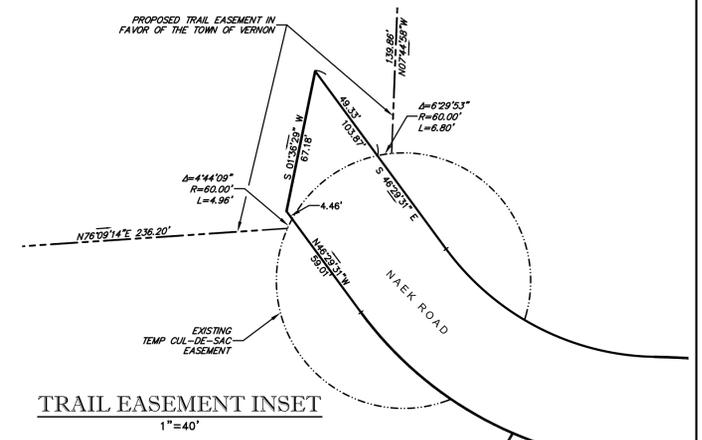
STATEMENTS AND CERTIFICATIONS BY APPLICANT

1. The Applicant is familiar with all the information provided in the Application.
2. The Applicant certifies the accuracy of the Application and all supporting information.
3. The Applicant is aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.
4. The Applicant authorizes the members and agents of the Commission to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.
5. The Applicant certifies the following:
 - a. No portion of the property on which the regulated activity is proposed is located within 500 feet of the boundary of an adjoining municipality;
 - b. No traffic attributable to the completed project on the site will use streets within an adjoining municipality to enter or exit the site;
 - c. No sewer or water drainage from the project site will flow through and impact the sewage or drainage system within an adjoining municipality; and
 - d. No water run-off from the improved site will impact streets or other municipal or private property within an adjoining municipality.



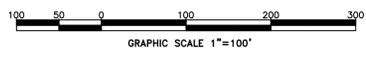
LOCATION MAP SCALE: 1"=1000'

- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-3.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED THE CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 PER THE MAP REFERENCED IN NOTE 3.B. ELEVATIONS DEPICTED ON THIS PLAN REFER TO THE NAVD 88 DATUM PER THE MAP REFERENCED IN NOTE 3.C.
 - MAP REFERENCES:
 - A. "PROPERTY MAPPED FOR BERTHA BRAY ROUTE 83 VERNON, CT" BY FUSS & O'NEILL INC. DATE: JULY 1985.
 - B. "PLAN OF FIRST CUT TAX ID 03-0004-0009 243 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: MAY 15, 2015.
 - C. "TOPOGRAPHIC SURVEY TAX ID 03-0004-0009 TAX ID 03-0004-0009B 243 & 253 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: OCTOBER 26, 2017, REVISED 1/8/2018.
 - D. "RESUBDIVISION OF LOT 3 TO BE KNOWN AS SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 12-27-85, REVISED 1-27-86.
 - E. "RESUBDIVISION - LOT #3 SONA INDUSTRIAL PARK LAND OF NAEK CONSTRUCTION CO. INC. VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-21-90, REVISED 5/9/91.
 - F. "AS-BUILT PLAN & SEWAGE PUMPING STATION NAEK ROAD SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-28-87, REVISED 12-6-88.
 - THESE PARCELS ARE LOCATED IN THE PLANNED DEVELOPMENT ZONE (PDZ): GERBER FARM AREA.
 - 291 TALCOTTVILLE ROAD IS IN FAVOR OF AN EASEMENT OVER A PORTION OF 243 & 253 TALCOTTVILLE ROAD FOR THE RIGHT TO PASS AND REPASS BY FOOT OR BY VEHICLE AS DESCRIBED IN VOL. 2540, PAGE 129 IN THE VERNON LAND RECORDS.
 - TOPOGRAPHY DEPICTED ON THESE PLANS WAS PROVIDED BY GOLDEN AERIAL SURVEYS.
 - WETLANDS DEPICTED ON THESE PARCELS WERE DELINEATED BY REMA ECOLOGICAL SERVICES, LLC.
 - THESE PARCELS ARE NOT LOCATED WITHIN THE LEVEL A AQUIFER PROTECTION AREA AS DEPICTED ON THE ZONING MAP VERNON, CT DATED 7/31/2020.
 - 291 & 293 TALCOTTVILLE ROAD, AND 27, 32, 37, 38 & 46 NAEK ROAD SHALL BE COMBINED INTO ONE PARCEL PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY. THE TOTAL AREA OF THE COMBINED PARCELS IS 941,200± sq. ft. 21.6± acres.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.



TRAIL EASEMENT INSET 1"=40'

C:\Projects\57688\SitePlan\03-17-2021\57688.dwg
57688.dwg (5/7/2021) 57688.dwg



I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

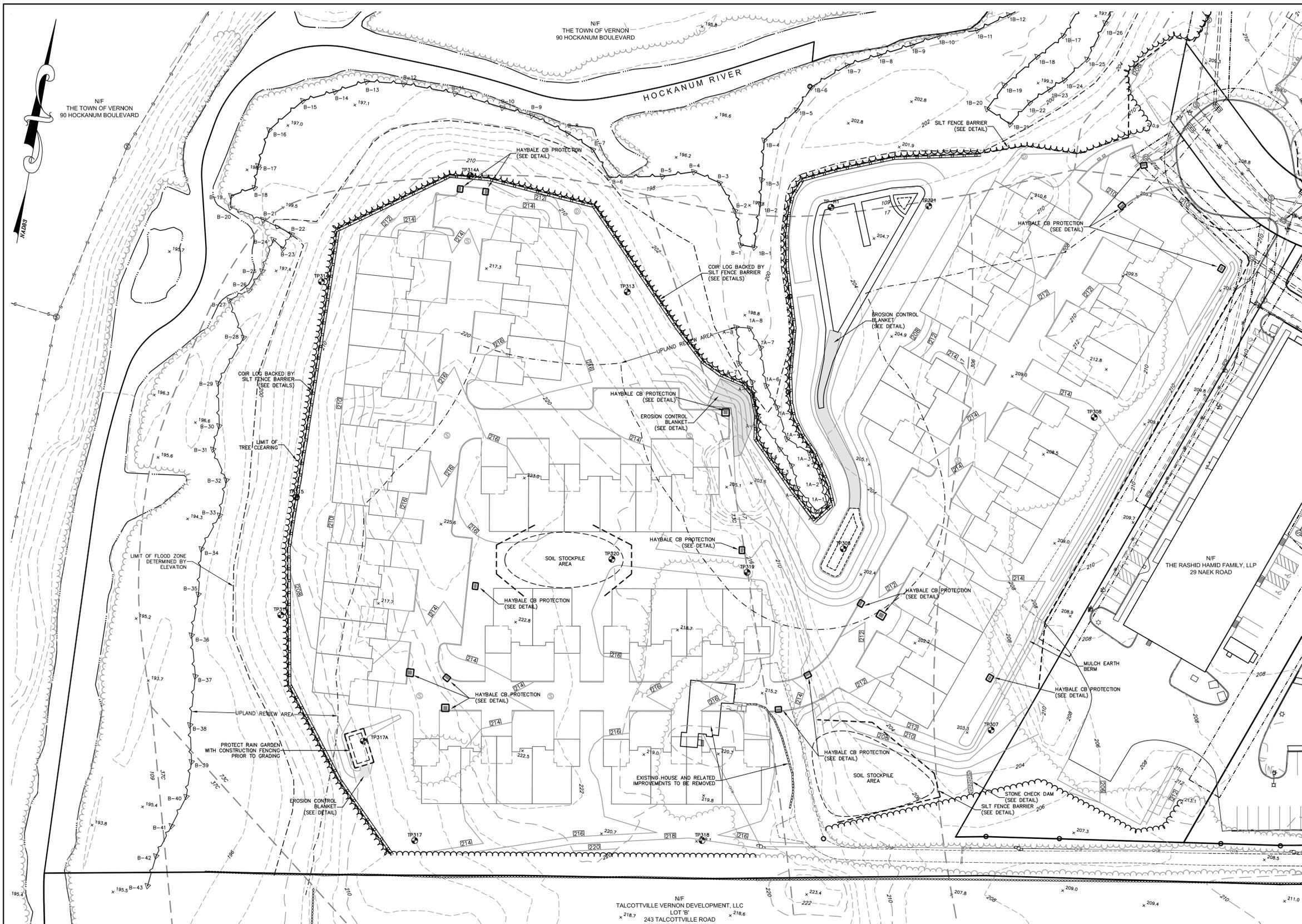
Eric R. Peterson
ERIC R. PETERSON

L.S. 23430
REGISTRATION NO.



REVISIONS

IMPROVEMENT LOCATION SURVEY				
SITE PLAN OF DEVELOPMENT				
THE VILLAGE AT NAEK ROAD				
291 & 293 TALCOTTVILLE ROAD				
27, 32, 37, 38 & 46 NAEK ROAD				
VERNON, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=100'	03-17-2021	1 OF 10	57688



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS 1-3.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED THE CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 PER THE MAP REFERENCED IN NOTE 3.B. ELEVATIONS DEPICTED ON THIS PLAN REFER TO THE NAVD 88 DATUM PER THE MAP REFERENCED IN NOTE 3.C.
 - MAP REFERENCES:
 - A. "PROPERTY MAPPED FOR BERTHA BRAY ROUTE 83 VERNON, CT" BY FUSS & O'NEILL INC. DATE: JULY 1985.
 - B. "PLAN OF FIRST CUT TAX ID 03-0004-0009 243 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: MAY 15, 2015.
 - C. "TOPOGRAPHIC SURVEY TAX ID 03-0004-0009 TAX ID 03-0004-0009B 243 & 253 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: OCTOBER 26, 2017, REVISED 1/8/2018.
 - D. "RESUBDIVISION OF LOT 3 TO BE KNOWN AS SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 12-27-85, REVISED 1-27-86.
 - E. "RESUBDIVISION - LOT #3 SONA INDUSTRIAL PARK LAND OF NAEK CONSTRUCTION CO. INC. VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-21-90, REVISED 5/9/91.
 - F. "AS-BUILT PLAN & SEWAGE PUMPING STATION NAEK ROAD SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-28-87, REVISED 12-6-88.
 - THESE PARCELS ARE LOCATED IN THE PLANNED DEVELOPMENT ZONE (PDZ): GERBER FARM AREA.
 - 291 TALCOTTVILLE ROAD IS IN FAVOR OF AN EASEMENT OVER A PORTION OF 243 & 253 TALCOTTVILLE ROAD FOR THE RIGHT TO PASS AND REPASS BY FOOT OR BY VEHICLE AS DESCRIBED IN VOL. 2540, PAGE 129 IN THE VERNON LAND RECORDS.
 - TOPOGRAPHY DEPICTED ON THESE PLANS WAS PROVIDED BY GOLDEN AERIAL SURVEYS.
 - WETLANDS DEPICTED ON THESE PARCELS WERE DELINEATED BY REMA ECOLOGICAL SERVICES, LLC.
 - THESE PARCELS ARE NOT LOCATED WITHIN THE LEVEL A AQUIFER PROTECTION AREA AS DEPICTED ON THE ZONING MAP VERNON, CT DATED 7/31/2020.
 - 291 & 293 TALCOTTVILLE ROAD, AND 27, 32, 37, 38 & 46 NAEK ROAD SHALL BE COMBINED INTO ONE PARCEL PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY. THE TOTAL AREA OF THE COMBINED PARCELS IS 941,200± sq. ft. 21.6± acres.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPINGS, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

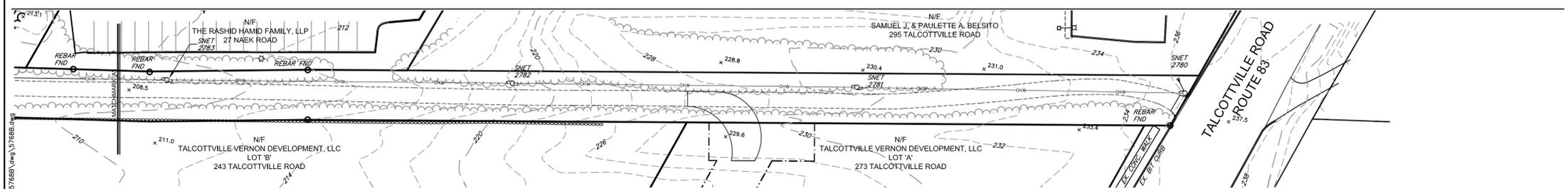
Eric R. Peterson
 ERIC R. PETERSON L.S. 23430
 REGISTRATION NO.

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

George T. Logan
 GEORGE T. LOGAN, MS, PWS
 Registered Soil Scientist



EXISTING	LEGEND	PROPOSED
---	PROPERTY BOUNDARY	---
---	ZONING SETBACK	---
---	EASEMENT	---
○	IRON PIN/PIPE FOUND	○
□	MONUMENT FOUND	□
---	ELEVATION CONTOUR	---
x203.5	SPOT ELEVATION	x203.5
---	TREE LINE	---
---	SANITARY SEWER	---
---	CATCH BASIN/CULVERT	---
○	STORM MANHOLE	○
---	FOOTING DRAIN	---
---	WATER MAIN	---
---	HYDRANT	---
---	GAS MAIN	---
---	LIGHT	---
---	UTILITY POLE	---
---	OVERHEAD WIRES	---
---	SIGN	---
---	TEST PIT	---
---	SOIL CLASSIFICATION	---
---	SILT FENCE	---
---	COIR LOG	---



IMPROVEMENT LOCATION SURVEY
EROSION & SEDIMENT CONTROL PLAN
THE VILLAGE AT NAEK ROAD
 291 & 293 TALCOTTVILLE ROAD
 27, 32, 37, 38 & 46 NAEK ROAD
 VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

REVISIONS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	03-17-2021	3 OF 10	5768B



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-3.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED THE CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 PER THE MAP REFERENCED IN NOTE 3.B. ELEVATIONS DEPICTED ON THIS PLAN REFER TO THE NAVD 88 DATUM PER THE MAP REFERENCED IN NOTE 3.C.
 - MAP REFERENCES:
 - "PROPERTY MAPPED FOR BERTHA BRAY ROUTE 83 VERNON, CT" BY FUSS & O'NEILL INC. DATE: JULY 1985.
 - "PLAN OF FIRST CUT TAX ID 03-0004-0009 243 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: MAY 15, 2015.
 - "TOPOGRAPHIC SURVEY TAX ID 03-0004-0009 TAX ID 03-0004-0009B 243 & 253 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: OCTOBER 26, 2017, REVISED 1/8/2018.
 - "RESUBDIVISION OF LOT 3 TO BE KNOWN AS SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 12-27-85, REVISED 1-27-86.
 - "RESUBDIVISION - LOT #3 SONA INDUSTRIAL PARK LAND OF NAEK CONSTRUCTION CO. INC. VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-21-90, REVISED 5/9/91.
 - "AS-BUILT PLAN & SEWAGE PUMPING STATION NAEK ROAD SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-28-87, REVISED 12-6-88.
 - THESE PARCELS ARE LOCATED IN THE PLANNED DEVELOPMENT ZONE (PDZ): GERBER FARM AREA.
 - 291 TALCOTTVILLE ROAD IS IN FAVOR OF AN EASEMENT OVER A PORTION OF 243 & 253 TALCOTTVILLE ROAD FOR THE RIGHT TO PASS AND REPASS BY FOOT OR BY VEHICLE AS DESCRIBED IN VOL. 2540, PAGE 129 IN THE VERNON LAND RECORDS.
 - TOPOGRAPHY DEPICTED ON THESE PLANS WAS PROVIDED BY GOLDEN AERIAL SURVEYS.
 - WETLANDS DEPICTED ON THESE PARCELS WERE DELINEATED BY REMA ECOLOGICAL SERVICES, LLC.
 - THESE PARCELS ARE NOT LOCATED WITHIN THE LEVEL A AQUIFER PROTECTION AREA AS DEPICTED ON THE ZONING MAP VERNON, CT DATED 7/31/2020.
 - 291 & 293 TALCOTTVILLE ROAD, AND 27, 32, 37, 38 & 46 NAEK ROAD SHALL BE COMBINED INTO ONE PARCEL PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY. THE TOTAL AREA OF THE COMBINED PARCELS IS 941,200± sq. ft. 21.6± acres.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.



THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

George T. Logan
GEORGE T. LOGAN, MS, PWS
Registered Soil Scientist

EXISTING	LEGEND	PROPOSED
---	PROPERTY BOUNDARY	---
---	ZONING SETBACK	---
---	EASEMENT	---
○	IRON PIN/PIPE FOUND	○
□	MONUMENT FOUND	□
800	ELEVATION CONTOUR	800
x203.5	SPOT ELEVATION	x203.5
---	TREE LINE	---
---	SANITARY SEWER	---
---	CATCH BASIN/CULVERT	---
---	STORM MANHOLE	---
---	FOOTING DRAIN	---
---	WATER MAIN	---
---	HYDRANT	---
---	GAS MAIN	---
---	LIGHT	---
---	UTILITY POLE	---
---	OVERHEAD WIRES	---
---	SIGN	---
---	TEST PIT	---
---	SOIL CLASSIFICATION	---



IMPROVEMENT LOCATION SURVEY

SITE GRADING PLAN
THE VILLAGE AT NAEK ROAD
291 & 293 TALCOTTVILLE ROAD
27, 32, 37, 38 & 46 NAEK ROAD
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT



REVISIONS				
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	03-17-2021	4 OF 10	5768B



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-3.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED THE CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 PER THE MAP REFERENCED IN NOTE 3.B. ELEVATIONS DEPICTED ON THIS PLAN REFER TO THE NAVD 88 DATUM PER THE MAP REFERENCED IN NOTE 3.C.
 - MAP REFERENCES:
 - A. "PROPERTY MAPPED FOR BERTHA BRAY ROUTE 83 VERNON, CT" BY FUSS & O'NEILL INC. DATE: JULY 1985.
 - B. "PLAN OF FIRST CUT TAX ID 03-0004-0009 243 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: MAY 15, 2015.
 - C. "TOPOGRAPHIC SURVEY TAX ID 03-0004-0009 TAX ID 03-0004-0009B 243 & 253 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: OCTOBER 26, 2017, REVISED 1/8/2018.
 - D. "RESUBDIVISION OF LOT 3 TO BE KNOWN AS SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 12-27-85, REVISED 1-27-86.
 - E. "RESUBDIVISION - LOT #3 SONA INDUSTRIAL PARK LAND OF NAEK CONSTRUCTION CO. INC. VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-21-90, REVISED 5/9/91.
 - F. "AS-BUILT PLAN & SEWAGE PUMPING STATION NAEK ROAD SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-28-87, REVISED 12-6-88.
 - THESE PARCELS ARE LOCATED IN THE PLANNED DEVELOPMENT ZONE (PDZ): GERBER FARM AREA.
 - 291 TALCOTTVILLE ROAD IS IN FAVOR OF AN EASEMENT OVER A PORTION OF 243 & 253 TALCOTTVILLE ROAD FOR THE RIGHT TO PASS AND REPASS BY FOOT OR BY VEHICLE AS DESCRIBED IN VOL. 2540, PAGE 129 IN THE VERNON LAND RECORDS.
 - TOPOGRAPHY DEPICTED ON THESE PLANS WAS PROVIDED BY GOLDEN AERIAL SURVEYS.
 - WETLANDS DEPICTED ON THESE PARCELS WERE DELINEATED BY REMA ECOLOGICAL SERVICES, LLC.
 - THESE PARCELS ARE NOT LOCATED WITHIN THE LEVEL A AQUIFER PROTECTION AREA AS DEPICTED ON THE ZONING MAP VERNON, CT DATED 7/31/2020.
 - 291 & 293 TALCOTTVILLE ROAD, AND 27, 32, 37, 38 & 46 NAEK ROAD SHALL BE COMBINED INTO ONE PARCEL PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY. THE TOTAL AREA OF THE COMBINED PARCELS IS 941,200± sq. ft. 21.6± acres.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

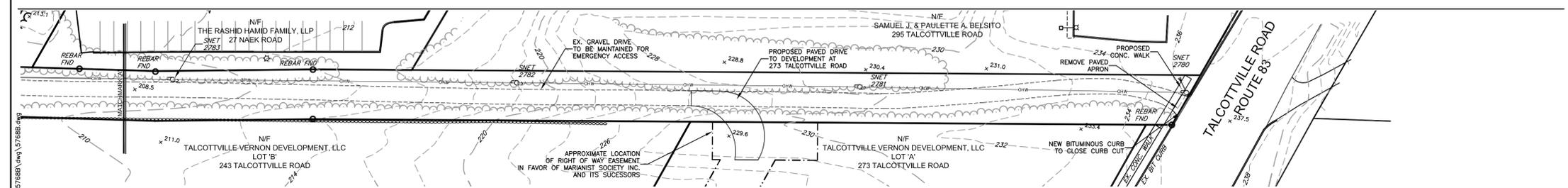
Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

George T. Logan, MS, PWS
GEORGE T. LOGAN, MS, PWS
Registered Soil Scientist



EXISTING	LEGEND	PROPOSED
---	PROPERTY BOUNDARY	---
---	ZONING SETBACK	---
---	EASEMENT	---
○	IRON PIN/PIPE FOUND	○
□	MONUMENT FOUND	□
---	ELEVATION CONTOUR	---
○	SPOT ELEVATION	○
---	TREE LINE	---
---	SANITARY SEWER	---
---	CATCH BASIN/CULVERT	---
○	STORM MANHOLE	○
---	FOOTING DRAIN	---
---	WATER MAIN	---
---	HYDRANT	---
---	GAS MAIN	---
---	LIGHT	---
---	UTILITY POLE	---
---	OVERHEAD WIRES	---
---	SIGN	---
---	TEST PIT	---
---	SOIL CLASSIFICATION	---



IMPROVEMENT LOCATION SURVEY

SITE GRADING PLAN

THE VILLAGE AT NAEK ROAD
291 & 293 TALCOTTVILLE ROAD
27, 32, 37, 38 & 46 NAEK ROAD
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	03-17-2021	5 OF 10	5768B



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-3.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED THE CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 PER THE MAP REFERENCED IN NOTE 3.B. ELEVATIONS DEPICTED ON THIS PLAN REFER TO THE NAVD 88 DATUM PER THE MAP REFERENCED IN NOTE 3.C.
 - MAP REFERENCES:
 - "PROPERTY MAPPED FOR BERTHA BRAY ROUTE 83 VERNON, CT" BY FUSS & O'NEILL INC. DATE: JULY 1985.
 - "PLAN OF FIRST CUT TAX ID 03-0004-0009 243 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: MAY 15, 2015.
 - "TOPOGRAPHIC SURVEY TAX ID 03-0004-0009 TAX ID 03-0004-0009B 243 & 253 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: OCTOBER 26, 2017, REVISED 1/8/2018.
 - "RESUBDIVISION OF LOT 3 TO BE KNOWN AS SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 12-27-85, REVISED 1-27-86.
 - "RESUBDIVISION - LOT #3 SONA INDUSTRIAL PARK LAND OF NAEK CONSTRUCTION CO. INC. VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-21-90, REVISED 5/9/91.
 - "AS-BUILT PLAN & SEWAGE PUMPING STATION NAEK ROAD SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-28-87, REVISED 12-6-88.
 - THESE PARCELS ARE LOCATED IN THE PLANNED DEVELOPMENT ZONE (PDZ): GERBER FARM AREA.
 - 291 TALCOTTVILLE ROAD IS IN FAVOR OF AN EASEMENT OVER A PORTION OF 243 & 253 TALCOTTVILLE ROAD FOR THE RIGHT TO PASS AND REPASS BY FOOT OR BY VEHICLE AS DESCRIBED IN VOL. 2540, PAGE 129 IN THE VERNON LAND RECORDS.
 - TOPOGRAPHY DEPICTED ON THESE PLANS WAS PROVIDED BY GOLDEN AERIAL SURVEYS.
 - WETLANDS DEPICTED ON THESE PARCELS WERE DELINEATED BY REMA ECOLOGICAL SERVICES, LLC.
 - THESE PARCELS ARE NOT LOCATED WITHIN THE LEVEL A AQUIFER PROTECTION AREA AS DEPICTED ON THE ZONING MAP VERNON, CT DATED 7/31/2020.
 - 291 & 293 TALCOTTVILLE ROAD, AND 27, 32, 37, 38 & 46 NAEK ROAD SHALL BE COMBINED INTO ONE PARCEL PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY. THE TOTAL AREA OF THE COMBINED PARCELS IS 941,200± sq. ft. 21.6± acres.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

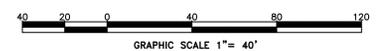
Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.



THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

George T. Logan
GEORGE T. LOGAN, MS, PWS
Registered Soil Scientist

EXISTING	LEGEND	PROPOSED
---	PROPERTY BOUNDARY	---
---	ZONING SETBACK	---
---	EASEMENT	---
○	IRON PIN/PIPE FOUND	○
□	MONUMENT FOUND	□
---	SANITARY SEWER	---
---	CATCH BASIN/CULVERT	---
---	STORM MANHOLE	---
---	FOOTING DRAIN	---
---	WATER MAIN	---
---	HYDRANT	---
---	GAS MAIN	---
---	LIGHT	---
---	UTILITY POLE	---
---	OVERHEAD WIRES	---
---	SIGN	---



IMPROVEMENT LOCATION SURVEY

UTILITY PLAN
THE VILLAGE AT NAEK ROAD
291 & 293 TALCOTTVILLE ROAD
27, 32, 37, 38 & 46 NAEK ROAD
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT



REVISIONS		PROFESSIONAL ENGINEERS		LAND SURVEYORS	
BY	SCALE	DATE	SHEET NO.	MAP NO.	
E.R.P.	1"=40'	03-17-2021	6 OF 10	5768B	



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-3.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED THE CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 PER THE MAP REFERENCED IN NOTE 3.B. ELEVATIONS DEPICTED ON THIS PLAN REFER TO THE NAVD 88 DATUM PER THE MAP REFERENCED IN NOTE 3.C.
 - MAP REFERENCES:
 - A. "PROPERTY MAPPED FOR BERTHA BRAY ROUTE 83 VERNON, CT" BY FUSS & O'NEILL INC. DATE: JULY 1985.
 - B. "PLAN OF FIRST CUT TAX ID 03-0004-0009 243 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: MAY 15, 2015.
 - C. "TOPOGRAPHIC SURVEY TAX ID 03-0004-0009 TAX ID 03-0004-0009B 243 & 253 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: OCTOBER 26, 2017, REVISED 1/8/2018.
 - D. "RESUBDIVISION OF LOT 3 TO BE KNOWN AS SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 12-27-85, REVISED 1-27-86.
 - E. "RESUBDIVISION - LOT #3 SONA INDUSTRIAL PARK LAND OF NAEK CONSTRUCTION CO. INC. VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-21-90, REVISED 5/9/91.
 - F. "AS-BUILT PLAN & SEWAGE PUMPING STATION NAEK ROAD SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-28-87, REVISED 12-6-88.
 - THESE PARCELS ARE LOCATED IN THE PLANNED DEVELOPMENT ZONE (PDZ): GERBER FARM AREA.
 - 291 TALCOTTVILLE ROAD IS IN FAVOR OF AN EASEMENT OVER A PORTION OF 243 & 253 TALCOTTVILLE ROAD FOR THE RIGHT TO PASS AND REPASS BY FOOT OR BY VEHICLE AS DESCRIBED IN VOL. 2540, PAGE 129 IN THE VERNON LAND RECORDS.
 - TOPOGRAPHY DEPICTED ON THESE PLANS WAS PROVIDED BY GOLDEN AERIAL SURVEYS.
 - WETLANDS DEPICTED ON THESE PARCELS WERE DELINEATED BY REMA ECOLOGICAL SERVICES, LLC.
 - THESE PARCELS ARE NOT LOCATED WITHIN THE LEVEL A AQUIFER PROTECTION AREA AS DEPICTED ON THE ZONING MAP VERNON, CT DATED 7/31/2020.
 - 291 & 293 TALCOTTVILLE ROAD, AND 27, 32, 37, 38 & 46 NAEK ROAD SHALL BE COMBINED INTO ONE PARCEL PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY. THE TOTAL AREA OF THE COMBINED PARCELS IS 941,200± sq. ft. 21.6± acres.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPINGS, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

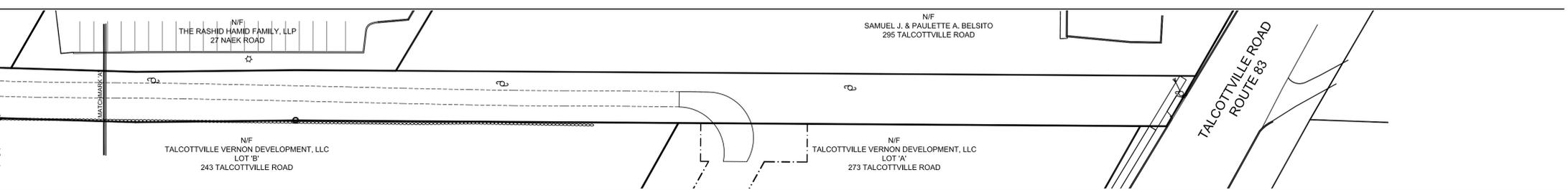
Eric R. Peterson
 ERIC R. PETERSON L.S. 23430
 REGISTRATION NO.



THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

George T. Logan, MS, PWS
 GEORGE T. LOGAN, MS, PWS
 Registered Soil Scientist

EXISTING	LEGEND	PROPOSED
---	PROPERTY BOUNDARY	---
---	ZONING SETBACK	---
---	EASEMENT	---
○	IRON PIN/PIPE FOUND	○
□	MONUMENT FOUND	□
---	SANITARY SEWER	---
---	CATCH BASIN/CULVERT	---
○	STORM MANHOLE	○
---	FOOTING DRAIN	---
---	WATER MAIN	---
---	HYDRANT	---
---	GAS MAIN	---
---	LIGHT	---
---	UTILITY POLE	---
---	OVERHEAD WIRES	---
---	SIGN	---



IMPROVEMENT LOCATION SURVEY

SITE GRADING PLAN

THE VILLAGE AT NAEK ROAD

291 & 293 TALCOTTVILLE ROAD

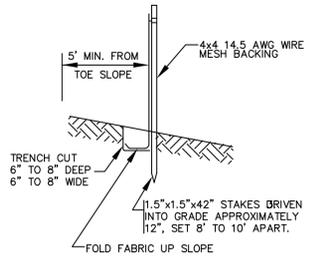
27, 32, 37, 38 & 46 NAEK ROAD

VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

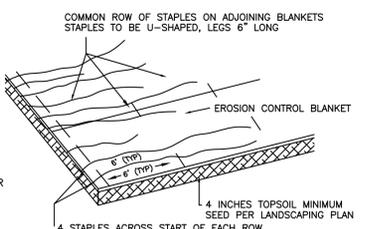
178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

REVISIONS	BY	SCALE	DATE	SHEET NO.	MAP NO.
	E.R.P.	1"=40'	03-17-2021	7 OF 10	5768B



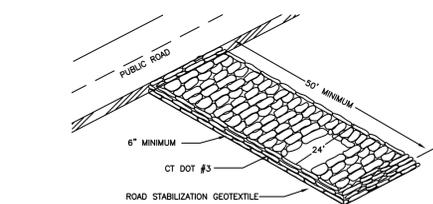
- NOTES:**
- SEDIMENT CONTROL FABRIC TO BE A GEOTEXTILE MATERIAL TREATED TO RESIST DEGRADATION FROM EXPOSURE TO SUNLIGHT.
 - USE ONLY GEOTEXTILES WHICH ARE ALREADY ON THE CONNECTICUT DEPARTMENT OF TRANSPORTATION'S GEOTEXTILE APPROVED LIST OF GEOTEXTILES.
 - AFTER FOLDING FABRIC EDGE, BACKFILL TRENCH WITH TAMPED ORIGINAL SOIL OR AGGREGATE.
 - INSTALL PER 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
 - FABRIC SHALL BE PREFABRICATED WITH 4"x4" 14.5 AWG WIRE MESH BACKING.

SILT FENCE INSTALLATION
NOT TO SCALE

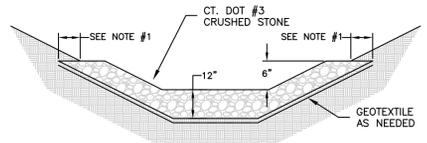


- NOTES:**
- APPLY ON SLOPES STEEPER THAN 3:1.
 - EROSION CONTROL BLANKET TO BE NORTH AMERICAN GREEN S 150 DOUBLE NET STRAW BLANKET OR EQUAL.
 - INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

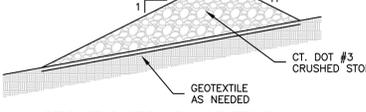
EROSION CONTROL BLANKET



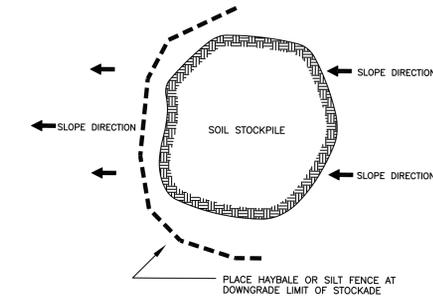
CONSTRUCTION ENTRANCE



- NOTES:**
- KEY STONE INTO THE DITCH BANKS AND EXTEND INTO THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW FROM FLANKING THE CHECK DAM.

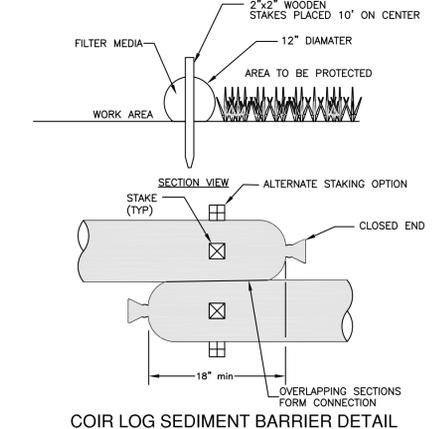


STONE CHECK DAM DETAIL

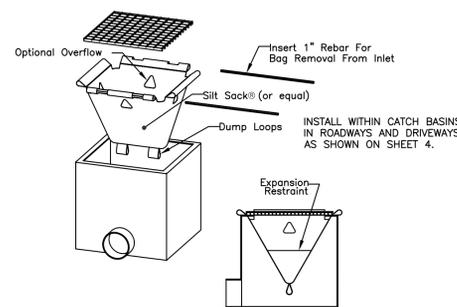


STOCKPILE EROSION PROTECTION DETAIL

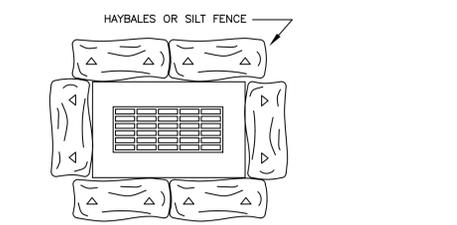
- INSTALLATION INSTRUCTIONS:**
- CLEAR THE INSTALLATION AREA OF ANY DEBRIS, TREES, ROCKS OR LARGE OBSTRUCTIONS. SOCKS ARE DESIGNED TO COME IN CONTACT WITH THE SOIL, SO ANY STUMPS OR POTENTIAL OBSTRUCTIONS SHOULD BE REMOVED.
 - DIG A SHALLOW TRENCH IN THE LOCATION WHERE THE LOGS NEED TO BE PLACED.
 - PLACE THE LOGS IN THE TRENCH AND BACKFILL WITH SOIL SO THAT THE LOGS ARE TIGHTLY PACKED AGAINST THE SLOPE. ADJACENT LOGS SHOULD BE EITHER POSITIONED SO THAT THE ENDS FIT TIGHTLY AGAINST EACH OTHER AND ENDS SHOULD BE JOINED/SECURED TOGETHER WITH COIR TWINE OR OTHER SUITABLE TIES OR OVERLAPPED AS DESCRIBED BELOW.
 - FILTER MEDIA TO BE A COARSE COMPOSTED MATERIAL SPECIFICALLY DESIGNED FOR REMOVAL OF SOLIDS AND SOLUBLE POLLUTANTS FROM STORMWATER RUNOFF.
 - 10 L.F. ON EACH END SHALL BE PLACED AT A 30° ANGLE UP-SLOPE TO PREVENT END-AROUND FLOW.



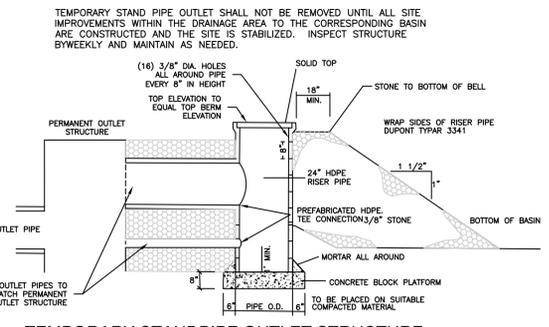
COIR LOG SEDIMENT BARRIER DETAIL



CATCH BASIN INLET PROTECTION



CATCH BASIN AT LOW POINT



TEMPORARY STANDPIPE OUTLET STRUCTURE FOR SEDIMENT BASIN

TEST PIT DATA:
WITNESSED BY E. PETERSON, P.E.
GARDNER & PETERSON ASSOCIATES, LLC

- 06/02/2020
TP 303:
0-9" TOPSOIL
9-14" COARSE LOAMY SAND
14-108" COARSE SAND W/ COBBLES
- TP 305:
0-13" TOPSOIL
13-22" Y.BR. FINE SANDY LOAM
22-72" R.BR. TILL, COMPACT
MOTTLING @ 16"
SEEPAGE @ 68"
- TP 307:
0-18" TOPSOIL/FILL
18-30" Y.BR. FINE SANDY LOAM
30-72" R.BR. TILL
MOTTLING @ 18"
SEEPAGE @ 40"
- TP 308:
0-38" SAND & GRAVEL FILL
38-44" BURIED TOPSOIL
44-138" SAND & GRAVEL
SHDN @ 108"
PERM @ 58" RATE: 190 FT/DAY
- TP 310:
0-11" TOPSOIL
11-28" BR. FINE SANDY LOAM
28-84" FIRM R.BR. SILT
84-144" MED. SAND W/ COBBLES, SOME SILT
GW @ 126"
PERM #1 @ 115" RATE: 70 FT/DAY
STANDPIPE SET: DRY ON 06/16/2020
- TP 311:
0-11" TOPSOIL
11-102" BR. SAND & GRAVEL
102-144" COMPACT FINE SAND W/ SILT
PERM #2 @ 50" RATE: 61 FT/DAY
- TP 312:
0-16" TOPSOIL
16-32" FINE SANDY LOAM
32-144" SAND & GRAVEL
PERM #3 @ 36" RATE: 41 FT/DAY
- TP 313:
0-7" TOPSOIL
7-15" Y.BR. FINE SANDY LOAM
15-43" R.BR. LOAMY SAND W/ COBBLES, SOMEWHAT FIRM
LEDGE @ 43"
- TP 314:
LEGE @ 24"
- TP 314A:
0-36" FRACTURED ROCK
- TP 315:
LEGE @ 36" (WEST)
LEGE @ 30" (EAST)
- TP 316:
0-4" TOPSOIL
4-33" BR. FINE SANDY LOAM W/ COBBLES
33-54" BR. COMPACT TILL W/ FLAT BOULDERS
54-78" SAND & GRAVEL W/ BOULDERS
LEGE @ 78"
PERM #12 @ 23" RATE: 0.4 FT/DAY
- TP 317:
0-10" TOPSOIL
10-58" BONEY BR. FINE SANDY LOAM
LEGE @ 58"
- TP 317A:
0-8" TOPSOIL
8-30" BR. FINE SANDY LOAM W/ COBBLES
30-78" R.BR. COMPACT TILL W/ FLAT BOULDERS
LEGE @ 78"
- TP 318:
0-8" TOPSOIL
8-36" Y.BR. FINE SANDY LOAM W/ COBBLES, FIRM
36-60" R.BR. TILL W/ COBBLES
60-80" DECOMPOSED LEGE
- TP 319:
0-9" TOPSOIL
9-24" Y.BR. LOAMY SAND W/ COBBLES
24-60" SAND & GRAVEL
60-132" COARSE SAND
PERM #70 @ 36" RATE: 370 FT/DAY
- TP 320:
LEGE @ 32"
- TP 321:
0-12" TOPSOIL
12-20" Y.BR. FINE SANDY LOAM
20-116" SAND & GRAVEL
SEEPAGE @ 116"
- 08/16/2020
TP 11:
0-6" TOPSOIL
6-28" Y.BR. FINE SANDY LOAM
28-36" MED. SAND W/ COBBLES
PERM #1 @ 32" RATE: 17 FT/DAY

TEMPORARY STAND PIPE OUTLET SHALL NOT BE REMOVED UNTIL ALL SITE IMPROVEMENTS WITHIN THE DRAINAGE AREA TO THE CORRESPONDING BASIN ARE CONSTRUCTED AND THE SITE IS STABILIZED. INSPECT STRUCTURE BIWEEKLY AND MAINTAIN AS NEEDED.

(16) 3/8" DIA. HOLES ALL AROUND PIPE EVERY 8" IN HEIGHT TOP ELEVATION TO EQUAL BOTTOM ELEVATION

TO BE PLACED ON SUITABLE COMPACTED MATERIAL

Maintenance Schedule

Maintenance Item	Frequency	Maintenance
Underground Stormwater Chambers	Visual Inspection Semi-Annually	<ul style="list-style-type: none"> Remove inspection port caps to verify that runoff has infiltrated & leaves/debris are not collecting in system. Check sediment depth and vacuum when 6" of sediment has accumulated.
Catch Basins	Monthly	<ul style="list-style-type: none"> Inspect grates for litter and debris and remove as needed Remove sediment in sumps immediately after spring snowmelt
Grass Swale	Monthly	<ul style="list-style-type: none"> Maintain grass at a height of 4 to 6 inches during the growing season Remove debris/sediment in swale Check for evidence of water overflowing swale.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULPACIKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULPACIKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	1.0	3/1-6/15, 8/1-10/15
WINTER RYE	120	3.0	4/15-7/1, 8/15-10/15
SUDANGRASS	30	0.7	5/15-8/1

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDBED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	20	0.45	4/1-6/15, 8/15-10/1
CREeping RED FESCUE	20	0.45	4/1-6/15, 8/15-10/1
PERENNIAL RYEGRASS	5	0.10	4/1-6/15, 8/15-10/1
TOTAL	45	1.00	

TURF MANAGEMENT PLAN

- Soil Testing**
A composite soil sample from the subject property will be collected and delivered to a University of Connecticut Cooperative Extension office for testing of soil nutrient levels (i.e., pH, nitrogen, phosphorus, calcium, magnesium, potassium) prior to a fertilizer application. The Extension office will recommend a fertilizer application rate based upon these test results. The actual fertilizer application rate will follow this recommendation. This will ensure against an excessive fertilizer application, which could lead to chemical leaching or export.
 - Slow-Release Fertilizers**
Slow-release fertilizers will be applied to lawns, planted trees and shrubs. These can include, but are not limited to, organic-based fertilizers. A variety of commercial slow-release nitrogen fertilizer products are available (e.g., Milorganite, isobutylidene diurea, coated ureas, etc.). Advantages of slow-release fertilizers include the supply of a steady nitrogen source, and reduced nitrogen leaching. By combining small amounts of soluble nitrogen sources with slow release nitrogen products, nitrogen availability can be extended without a threat of leaching.
 - Fertilizer Application Schedule**
Fertilizer will be applied three times annually to the subject property: early to late May (after the threat of cool, wet weather has passed), late August to early September, and mid-September to mid-October. If the soil test indicates a need for lime, it will be applied at the last fertilization date.
 - Integrated Pest Management (IPM)**
IPM is an integrated, preventative approach to maintaining healthy turf and landscape plants. IPM recognizes that, although chemicals are an important component of a turf management plan, other strategies are available to maintain a healthy lawn. A central premise of IPM is to treat pest problems as they arise on an as-needed basis only, using a variety of biological (e.g., natural predators), chemical and cultural (e.g., disease-resistant seed) practices.
- To be successful, IPM requires periodic monitoring by an experienced practitioner to detect pest problems at an early stage and develop an effective, environmentally responsible action plan. It is recommended that the contractor that is hired to maintain the grounds have training and experience in the practice of IPM.

CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: THE VILLAGE A NAEK ROAD
LOCATION: NAEK ROAD - VERNON, CT
PROJECT DESCRIPTION: MULTI-FAMILY HOUSING DEVELOPMENT
PARCEL AREA: 21.6 AC.
RESPONSIBLE PERSONNEL: R.HAMID, NAEK CONSTRUCTION, 27 NAEK ROAD, VERNON, CT 860-875-1895

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CLEAR TREES AND BRUSH	INSTALL ANTI-TRACKING PAD		
REMOVE STUMPS	INSTALL SILT FENCE BARRIERS DOWNGRADE OF CONSTRUCTION ACTIVITY AS SHOWN		
EXCAVATE SEDIMENT BASINS AND ROUGH GRADE SITE	INSTALL INLET PROTECTION IN EXISTING GATCH BASINS		
	PROTECT INFILTRATION GALLEY AREAS FROM DISTURBANCE AND CONSTRUCTION		
	PROTECT STOCKPILE AREAS WITH SILT FENCE		
	INSTALL EROSION BLANKET ON SLOPES STEEPER THAN 3:1		
	INSPECT AND MAINTAIN SEDIMENT BARRIERS WEEKLY AND AFTER RAIN EVENTS OVER 0.5-INCH.		
EXCAVATE FOR BUILDING FOUNDATIONS	PROTECT STOCKPILE AREAS WITH SILT FENCE		
INSTALL SEWER, DRAINAGE AND UTILITIES	INSTALL HAYBALES AROUND NEW CATCH BASIN INLETS ONCE INSTALLED		
INSTALL PAVEMENT BINDER COAT IN AREAS WHERE FOUNDATIONS AND UTILITIES ARE COMPLETE	TOPSOIL, SEED AND MULCH AREA TO EACH BUILDING AS IT IS COMPLETED		
FINAL GRADE AND FINAL PAVE	TOPSOIL, SEED AND MULCH REMAINDER OF SITE		
	REMOVE SEDIMENT FROM DRAINAGE STRUCTURES AND INSTALL INFILTRATION TRENCHES WITHIN BASIN.		
	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		

PROJECT DATES:
DATE OF CONSTRUCTION START: JULY 1, 2021
DATE OF CONSTRUCTION COMPLETION: NOVEMBER 30, 2022

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

PROJECT NARRATIVE

The purpose of this project is to construct nineteen new apartment buildings and the driveways, parking and utilities to service them. The proposed buildings are to be serviced by public sanitary sewer and water, and the new buildings will be accessed by two new curb cuts off Mount Vernon Drive.

Initial construction will commence at the northerly portion of the site and conclude at the southerly portion of the site. The schedule of construction activities from the northerly, to the middle, to the southerly portion of the site shall generally follow the same sequence. Construction activities shall commence with the installation of the construction entrance and sedimentation barriers, followed by tree cutting and stumping. The rain garden area and infiltration gully areas shall be protected from construction activities and compaction prior to rough grading. Rough grading shall commence with the excavation of the sediment trap and/or sediment basin as depicted. Installation of the drainage structures, and piping shall proceed as the construction schedule allows. Leave grade 6" below catch basin tops to prevent silt laden runoff from entering the drainage system.

During rough grading, haybales or silt fence shall be installed as shown at the toe of cut and fill slopes. Installation of drainage structures and piping may proceed as the construction schedule allows.

Completion of storm drainage and utility installation is to be followed by placing processed gravel, and final grading of the paved areas. All erosion control measures shall be maintained and upgraded as needed until stable vegetative growth has been established. At all times erosion of exposed and stockpiled materials shall be prevented using measures specified in these plans. Once the site is stabilized, sediment within the basin will be removed and the sediment will be seeded as depicted on these plans.

Proposed soil erosion and sediment control measures were designed using criteria set forth by the "Connecticut Guidelines for Soil Erosion and Sediment Control", revised to 2002.

PROJECT NARRATIVE

The purpose of this project is to construct 18 new multi-family buildings and the driveway, parking and utilities to service the buildings. The proposed buildings are to be serviced by public water and sanitary sewer. A house currently exists on the property which will be removed and the existing curb cut along Talcottville Road will be closed. Access to the site will be from new curb cuts off of NaeK Road.

Construction activities shall commence with the installation of the construction entrances followed by tree cutting. Sedimentation barriers shall be installed prior to stumping. The infiltration gully areas shall be protected from construction activities and compaction prior to rough grading. Inspect condition of sedimentation barriers prior to rough grading.

Rough grading shall commence with the excavation of the sediment basins as depicted. Installation of the drainage structures, and piping shall proceed as the construction schedule allows. Leave grade 6" below catch basin tops to prevent silt laden runoff from entering the drainage system. The middle of each building shall be rough graded to shed runoff back towards the center of the site drives.

Completion of storm drainage and utility installation is to be followed by placing processed gravel, and final grading of the paved areas. The first coat of all paved site drives shall be installed once all foundations have been poured. The installation of the infiltration trenches within the stormwater extension shall be completed once the site is paved and a vegetative growth on disturbed areas has been established. All erosion control measures shall be maintained and upgraded as needed until stable vegetative growth has been established. At all times erosion of exposed and stockpiled materials shall be prevented using measures specified in these plans. Once the site is stabilized, sediment within the basin will be removed and the sediment will be seeded as depicted on these plans.

Proposed soil erosion and sediment control measures were designed using criteria set forth by the "Connecticut Guidelines for Soil Erosion and Sediment Control", revised to 2002.

EROSION & SEDIMENT CONTROL DETAILS

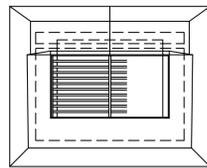
REVISIONS

SITE PLAN OF DEVELOPMENT
THE VILLAGE AT NAEK ROAD
291 & 293 TALCOTTVILLE ROAD
27, 32, 37, 38 & 46 NAEK ROAD
VERNON, CONNECTICUT

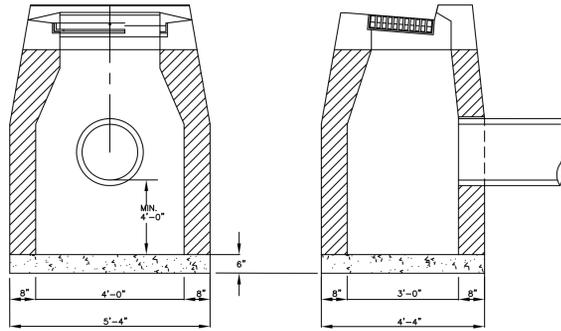
GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

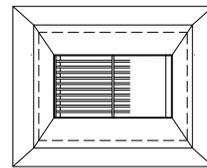
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	03-17-2021	8 OF 10	57688



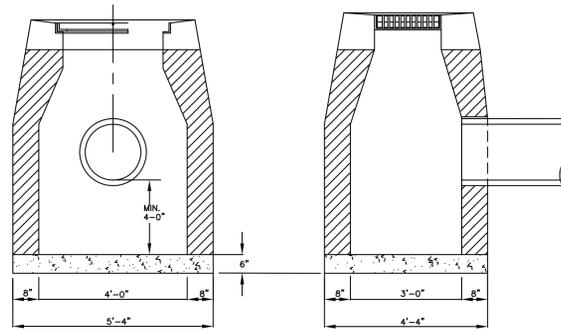
- NOTES:
1. TYPE 'C' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 2. STRUCTURE TO BE PRECAST CLASS 'A' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 3. SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB. WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETING FROM THE CATCH BASIN.
 4. WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.



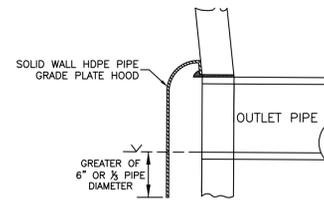
TYPE "C" CATCH BASIN



- NOTES:
1. TYPE 'C-L' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 2. STRUCTURE TO BE PRECAST CLASS 'A' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 3. SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB. WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETING FROM THE CATCH BASIN.
 4. WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.

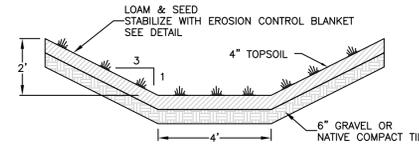


TYPE "C-L" CATCH BASIN

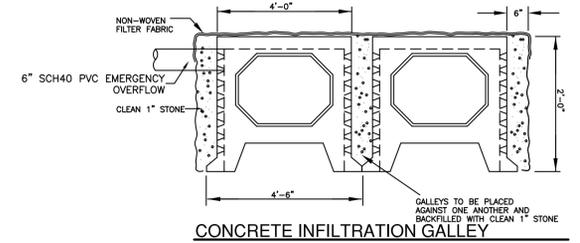


CATCH BASIN HOOD DETAIL (CB 5, 16, 21 & 30)

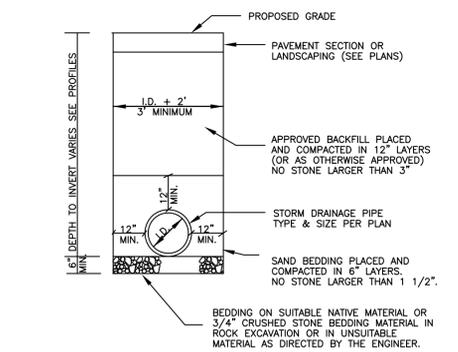
- NOTES:
1. HOOD SHALL BE E.J. PRESCOTT, INC. HDPE CATCH BASIN HOOD OR EQUAL.
 2. HOOD SHALL BE FABRICATED TO FIT SHAPE OF THE STRUCTURE.
 3. HOOD SHALL BE SEALED TO THE STRUCTURE WITH AN OIL RESISTANT FOAM GASKET.
 4. VENT HOLES SHALL BE INSTALLED ON THE TOP OF THE HOOD TO PROVIDE AIR FLOW INTO PIPE.
 5. HOOD SHALL BE INSTALLED TO THE STRUCTURE WITH STAINLESS STEEL ANCHOR STUDS AND NUTS AS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.



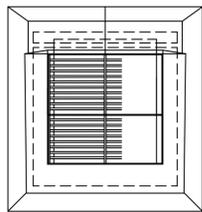
GRASS-LINED SWALE



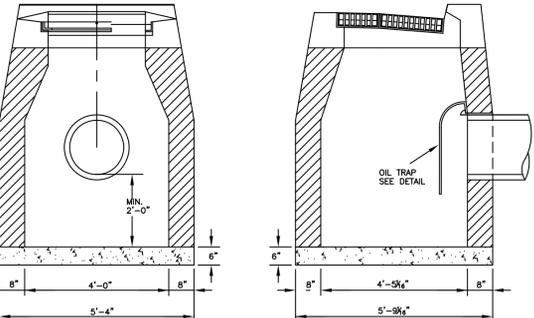
CONCRETE INFILTRATION GALLEY



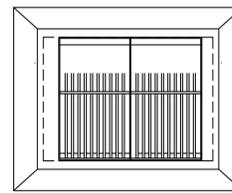
STORM DRAIN TRENCH DETAIL



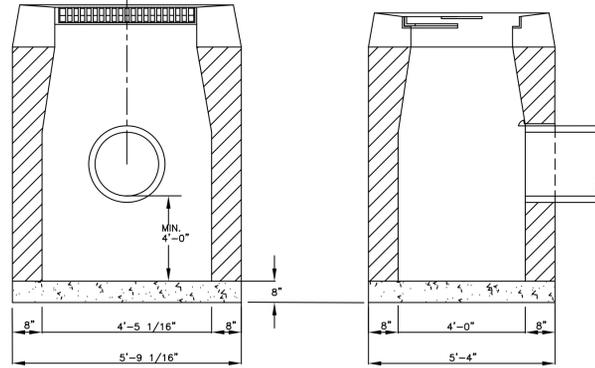
- NOTES:
1. TYPE 'C' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 2. STRUCTURE TO BE PRECAST CLASS 'A' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 3. SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB. WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETING FROM THE CATCH BASIN.
 4. WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.



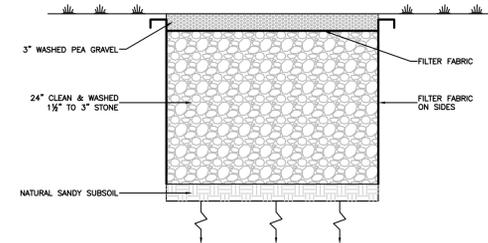
DOUBLE CATCH BASIN "C" TYPE I (CB 5, 25 & 27)



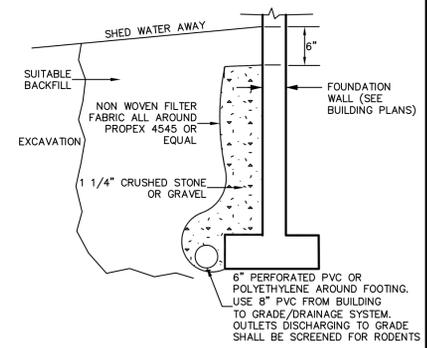
- NOTES:
1. TYPE 'C-L' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 2. STRUCTURE TO BE PRECAST CLASS 'A' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 3. SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB. WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETING FROM THE CATCH BASIN.
 4. WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.



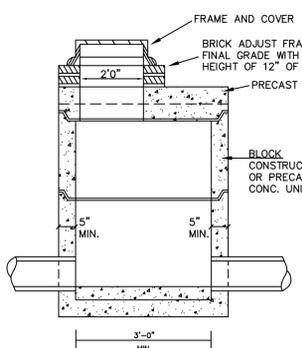
DOUBLE CATCH BASIN C-L TYPE 1 (CB 15)



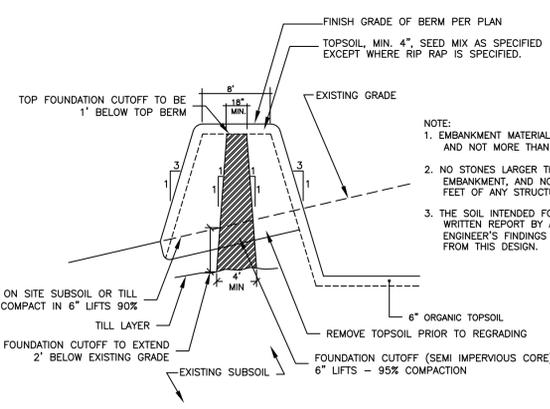
INFILTRATION TRENCH LOCATED WITHIN STORMWATER BASIN



FOUNDATION DRAIN DETAIL

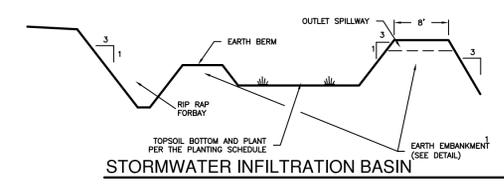


STORM MANHOLE

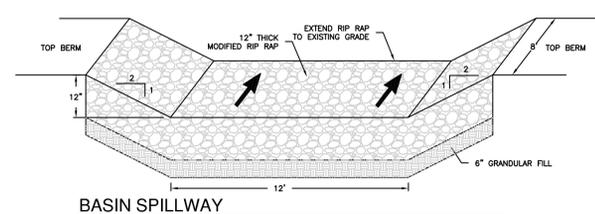


STORMWATER BASIN EMBANKMENT DETAIL

- NOTE:
1. EMBANKMENT MATERIAL SHALL CONTAIN AT LEAST 15% PASSING THE #200 SIEVE AND NOT MORE THAN 50% PASSING THE #20 SIEVE.
 2. NO STONES LARGER THAN 6" SHALL BE ALLOWED WITHIN THE COMPACTED EMBANKMENT, AND NO STONES LARGER THAN 3" SHALL BE ALLOWED WITHIN TWO FEET OF ANY STRUCTURE.
 3. THE SOIL INTENDED FOR THE EMBANKMENT SHALL BE LABORATORY TESTED WITH A WRITTEN REPORT BY A LICENSED PROFESSIONAL ENGINEER PROVIDING THE ENGINEER'S FINDINGS AND ANY SUGGESTED DESIGN PARAMETERS IF AT A VARIANCE FROM THIS DESIGN.



STORMWATER INFILTRATION BASIN

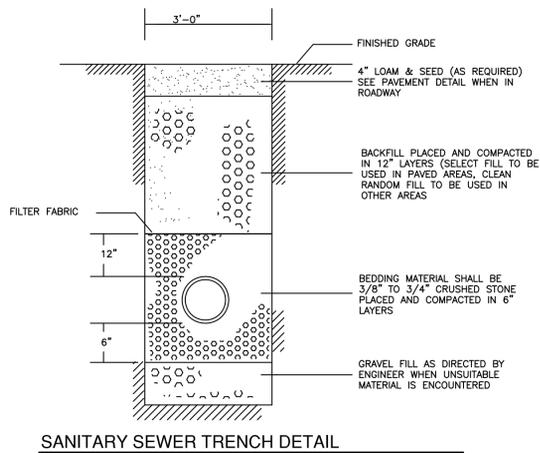


BASIN SPILLWAY

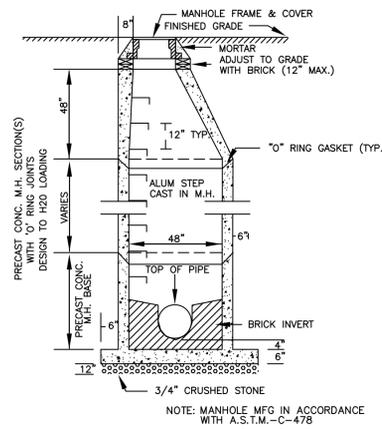


CONSTRUCTION DETAILS
 SITE PLAN OF DEVELOPMENT
 THE VILLAGE AT NAEK ROAD
 291 & 293 TALCOTTVILLE ROAD
 27, 32, 37, 38 & 46 NAEK ROAD
 VERNON, CONNECTICUT

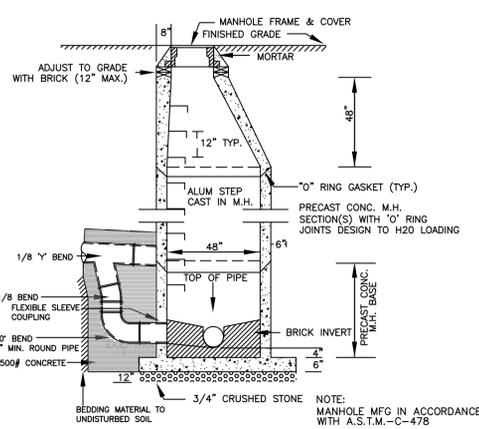
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	03-17-2021	9 OF 10	57688



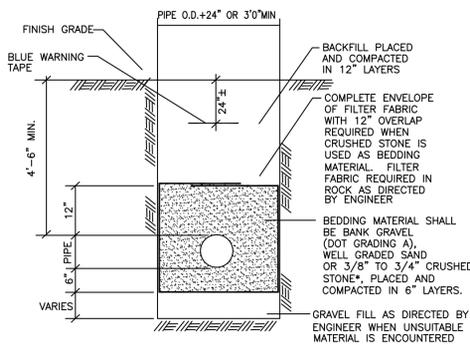
SANITARY SEWER TRENCH DETAIL



TYPICAL PRECAST MANHOLE DETAIL



TYPICAL PRECAST DROP MANHOLE DETAIL

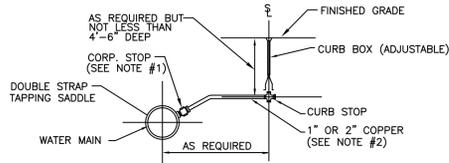


CONNECTICUT WATER COMPANY NOTES:
 1. FIELD-LOK GASKETS ARE REQUIRED ON THE (2) PIPE JOINTS BEFORE AND AFTER ALL FITTINGS.
 2. MEGALUG RESTRAINTS ARE REQUIRED AT ALL FITTINGS.
 3. ALL BENDS, TEES, OFFSETS, HYDRANTS, AND DEAD ENDS REQUIRE THRUST BLOCKS.

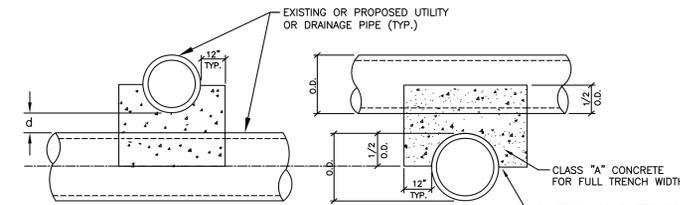
*CRUSHED STONE SHALL ONLY BE USED IN HIGH GROUNDWATER CONDITIONS AS DIRECTED BY THE ENGINEER

WATER TRENCH DETAIL

NOTES:
 1. THE TOP OF THE CORPORATION AND THE FIRST THREE (3) FEET OF COPPER TUBING SHALL BE INSTALLED NO HIGHER THAN THE TOP OF THE WATER MAIN.
 2. NO INTERMEDIATE SIZES (i.e. 3/4", 1-1/2", 1-3/4") ARE ALLOWED FOR COPPER SERVICES. ANY SERVICE REQUIREMENT GREATER THAN 2" COPPER SHALL BE CLDIP (4" MIN.) WITH THE SHUT-OFF LOCATED AT THE MAIN. COPPER TUBING SHALL BE CONTINUOUS BETWEEN THE CORPORATION STOP AND THE CURB STOP.



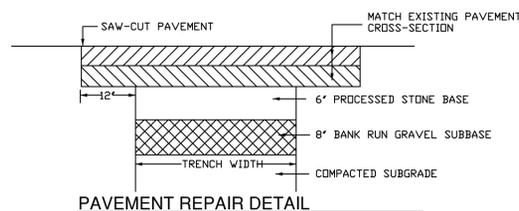
WATER SERVICE CONNECTION



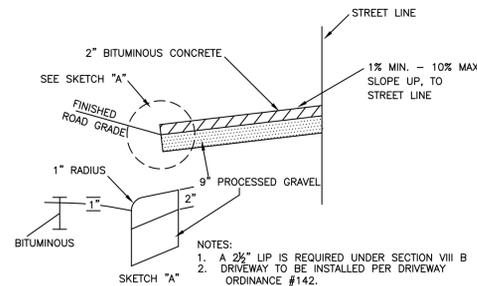
CONCRETE PIPE CRADLE WHEN d ≤ 12"

NOTES:
 1. d = DISTANCE BETWEEN UTILITY AND DRAINAGE PIPES.
 2. SUPPORTS SHALL BE INSTALLED WHERE SPECIFIED ON THE PLANS AND WHERE DIRECTED BY THE ENGINEER.
 3. CRUSHED STONE SUPPORTS SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY OR DRAINAGE PIPE AND CONCRETE PIPE CRADLES SHALL BE PAID FOR AS "MISCELLANEOUS CONCRETE".

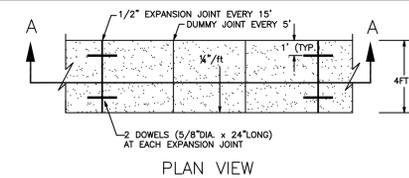
TYPICAL UTILITY SUPPORTS



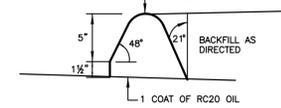
PAVEMENT REPAIR DETAIL



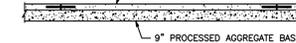
TYPICAL DRIVEWAY DETAIL



PLAN VIEW

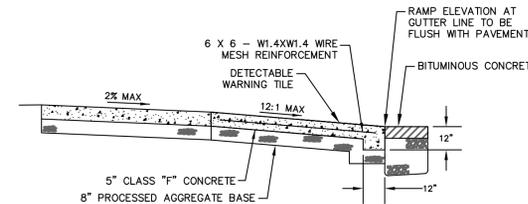


BIT. CONC. CURB

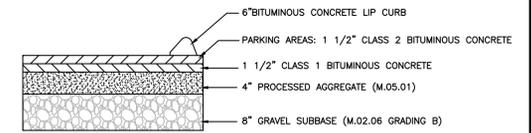


4\"/>

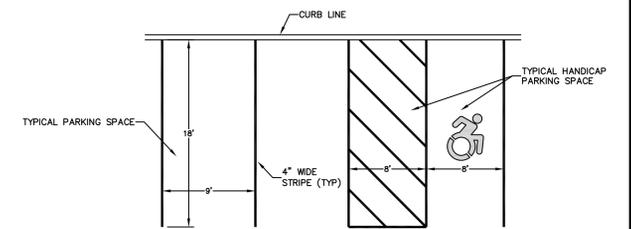
NOTE: PROVIDE TACTILE WARNING STRIP CONFORMING WITH SECTION 705 OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN AT ALL RAMPS, CHANGES IN SURFACE MATERIAL AND AS REQUIRED BY SAID STANDARDS.



SIDEWALK RAMP DETAIL

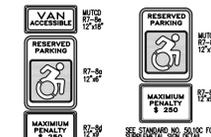


BITUMINOUS PAVEMENT CROSS SECTION



PAINTED PARKING STALL DETAIL

PAVEMENT MARKING NOTES:
 1. All work to conform to Form 816, Section 12.09 and the manufacturer's instructions and recommendations for application.
 2. Lines shall be four (4) inches wide, except as noted, and 15 mils thick, colored white, except as noted.
 3. Paint shall be either white or tinted ready-mixed paint conforming to AASHTO M70, Type 1.
 4. Epoxy Resins shall conform to Form 816 and project requirements for layout of crosswalks. Install glass beads by free fall method.
 5. Prior to painting, sweep pavement with power broom supplemented with hand brooms to eliminate loose material and dust.
 6. After applying paint, erect suitable barriers to prevent tracking of paint before drying. Retouch and paint all markings which become smeared, discolored, worn, or otherwise marred before final acceptance of the project. Remove any evidence of smearing of paint.



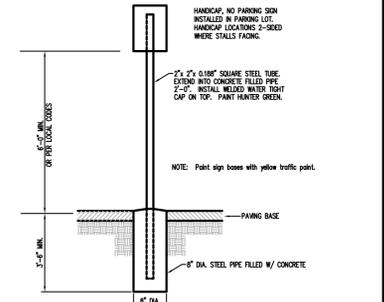
HANDICAP SIGN

NOTE: ALL STRIPES TO BE 4" PAINTED WHITE

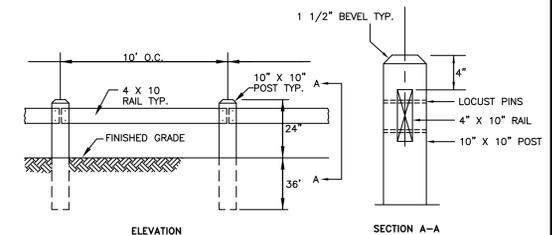


PAINTED HANDICAP SYMBOL

NOTES:
 1. PROVIDE DETECTABLE WARNING FOR CURB RAMPS. DETECTABLE WARNING SHALL CONSIST OF TRUNCATED DOME SURFACE ON RIGID TACTILE PAVING TILES. TILES SHALL BE 2'x3' FOR 4' WIDE RAMPS AND 2'x4' FOR 5' WIDE RAMPS. TILE COLOR SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE.
 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT HANDICAP SPACING, GRADING SIGNAGE AND APPURTENANCE IN ACCORDANCE WITH CURRENT FEDERAL, STATE OR LOCAL CODES. THE CONTRACTOR SHALL CONSULT WITH THE LOCAL BUILDING OFFICIAL TO OBTAIN CURRENT INFORMATION



ACCESSIBLE PARKING AND SIGNAGE STANDARDS



WESTERN RED CEDAR GUIDE RAIL



CONSTRUCTION DETAILS
 SITE PLAN OF DEVELOPMENT
 THE VILLAGE AT NAEK ROAD
 291 & 293 TALCOTTVILLE ROAD
 27, 32, 37, 38 & 46 NAEK ROAD
 VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT
 PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	03-17-2021	10 OF 10	57688