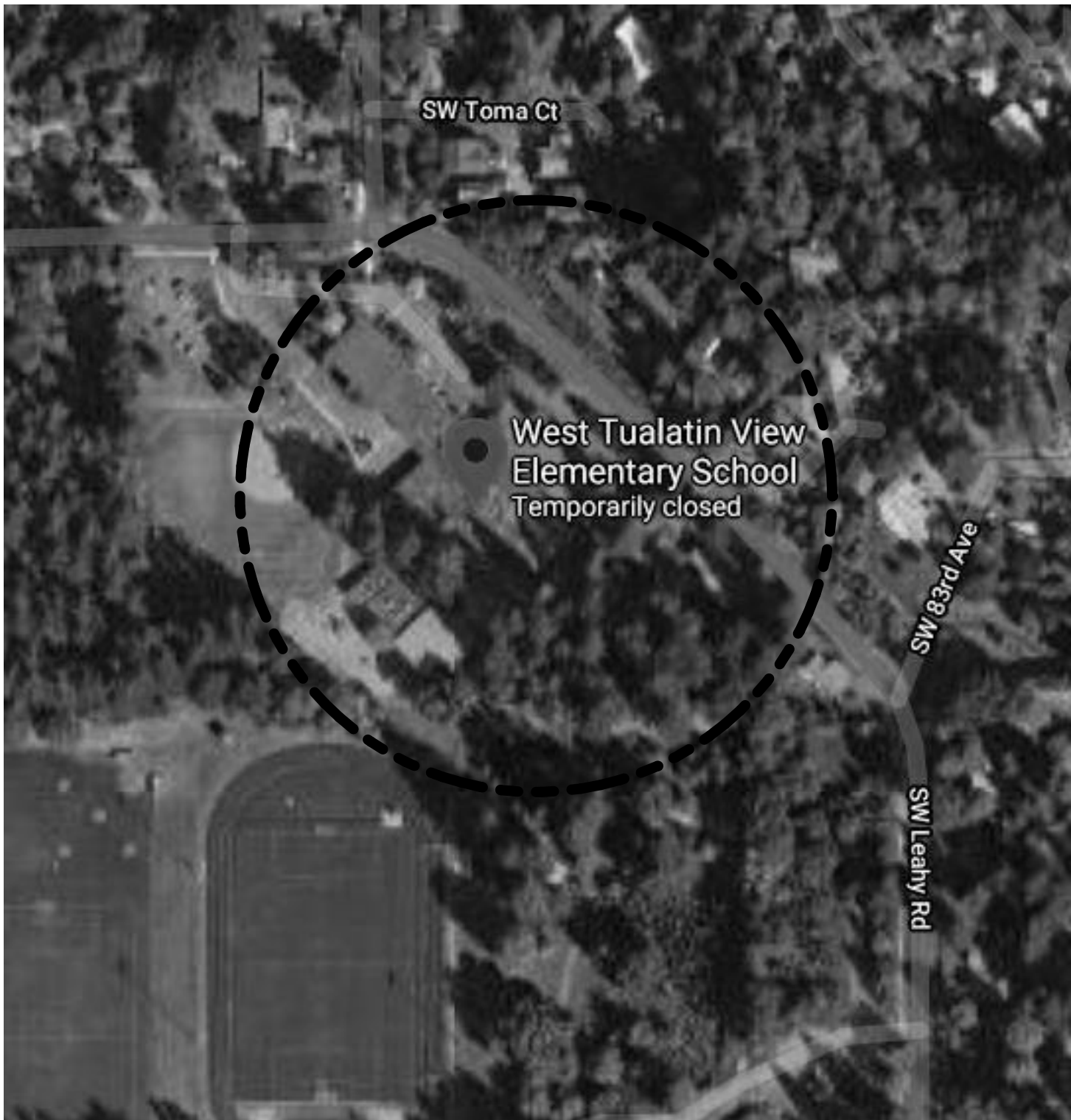


BEAVERTON SCHOOL DISTRICT
WEST TUALATIN VIEW ELEMENTARY SEWER REPLACEMENT

8800 SW Leahy Rd, Portland, OR 97225



LOCATION PLAN

CONTACT INFORMATION

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PERMITTING JURISDICTION
WASHINGTON COUNTY
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HILLSBORO, OR 97124
(503) 846-4530

ASBESTOS ABATEMENT
REPORT

PREPARED BY
TRC
4105 SE INTERNATIONAL WAY, SUITE 505
MILWAUKIE, OR 97222
(503) 387-3251

PROJECT DESCRIPTION

REPAIR AND REPLACE SEWER PIPING TO IMPROVE THE SANITARY WASTE DEFICIENCIES OF THE WEST TUALATIN VIEW ELEMENTARY SCHOOL IN COMPLIANCE WITH SITE OBSERVATIONS BY BSD AND KCL ENGINEERING.

- CLASSROOM SINKS ARE SERVED BY 1 1/2" GALVANIZED STEEL SANITARY PIPING THAT IS PAST ITS USEFUL LIFE.
- SITE SANITARY WASTE PIPING HAS SIGNIFIGANT ROOT INTRUSION AND IS PAST ITS USEFUL LIFE.

PROJECT INCLUDES ASBESTOS ABATEMENT WORK. REFER TO THE ASBESTOS ABATEMENT CONTRACTOR BID DOCUMENT AND SPECIFICATIONS INCLUDED AT THE END OF THE PROJECT MANUAL.

APPLICABLE CODES

- 2019 OREGON STRUCTURAL SPECIALTY CODE
- 2017 OREGON PLUMBING SPECIALTY CODE

PROPERTY DATA

ADDRESS
8800 SW LEAHY RD,
PORTLAND, OR 97225

MAP AND TAX LOT ID
1S102AD00600

ZONING
INSTITUTIONAL DISTRICT (INST)

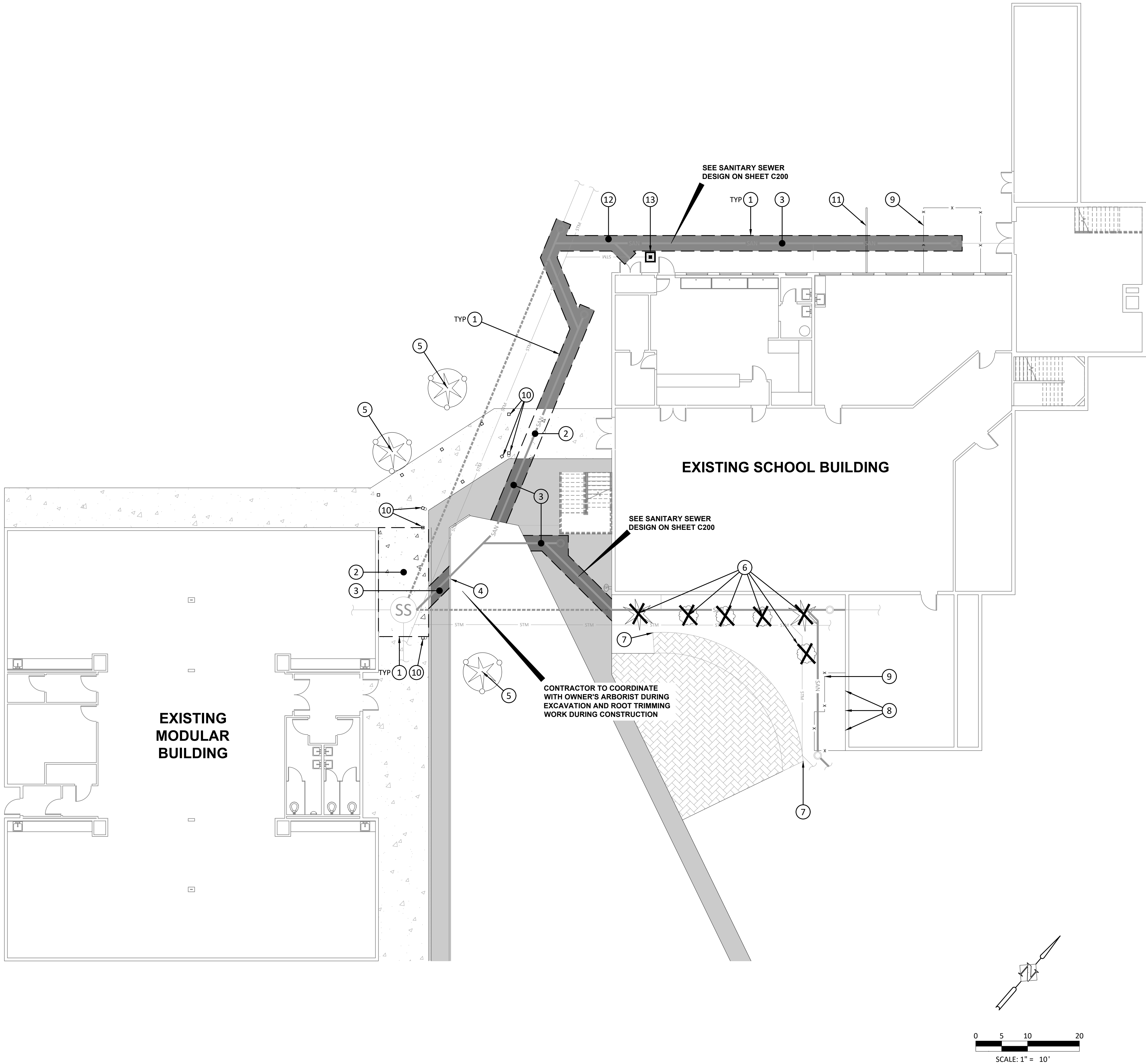
SITE AREA
7.05 ACRES

SHEET INDEX

SHEET NUMBER	SHEET NAME
GENERAL	
G000	COVER SHEET
CIVIL	
C100	CIVIL SITE PLAN
C200	UTILITY PLAN
C300	CIVIL DETAILS
LANDSCAPE	
L100	PLANTING PLAN
ARCHITECTURAL	
AD-201	DEMOLITION FIRST FLOOR PLAN - AREA A
AD-202	DEMOLITION FIRST FLOOR PLAN - AREA B
AD-203	DEMOLITION BASEMENT FLOOR PLAN - AREA E
A-201	FIRST FLOOR PLAN - AREA A
A-202	FIRST FLOOR PLAN - AREA B
A-203	BASEMENT FLOOR PLAN -AREA E
A-231	ENLARGED REFLECTED CEILING PLANS
A-601	INTERIOR ELEVATIONS
PLUMBING	
P201	PLUMBING PLAN - BASEMENT AREA E
P202	PLUMBING PLAN - MAIN LEVEL AREA A
P203	PLUMBING PLAN - MAIN LEVEL AREA B

Plot Date & Time:

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CONSTRUCTION NOTES:

- 1 SAWCUT CLEAN LINE AND MATCH EXISTING CONCRETE SIDEWALK AND/OR ASPHALT PAVEMENT. RECONSTRUCT EXISTING AS NEEDED IF DAMAGED DURING CONSTRUCTION. CONSTRUCT SIDEWALK TO NEAREST EXISTING PANEL.
- 2 CONSTRUCT CONCRETE SIDEWALK PER DETAIL 1 ON SHEET C300. MATCH EXISTING SLOPES AND ELEVATIONS. CROSS SLOPE NOT TO EXCEED 2%. CONTRACTOR TO NOTIFY ENGINEER IF ANY PROPOSED SLOPES EXCEED 2% PRIOR TO CONSTRUCTION.
- 3 CONSTRUCT AC PAVEMENT SECTION PER DETAIL 2 ON SHEET C300, OR MATCH EXISTING, WHICHEVER IS THICKER. MATCH EXISTING SLOPES AND ELEVATIONS.
- 4 REMOVE AND REINSTALL WOODEN CURB. INSTALL 1/2" DIAMETER 2'-6" LONG GALV. STEEL PIPE AT 4'-0" ON CENTER WITH TWO PER TIMBER MINIMUM.
- 5 PROTECT EXISTING TREE. INSTALL TREE PROTECTION FENCING PER DETAIL 9 ON SHEET C300.
- 6 REMOVE TREE.
- 7 REMOVE EXISTING 2' RETAINING WALL AS REQUIRED FOR SANITARY SEWER TRENCHING. CONTRACTOR TO REINSTALL RETAINING WALL BLOCKS TO EXISTING CONDITIONS.
- 8 PROTECT EXISTING MECHANICAL EQUIPMENT AND CONCRETE PADS.
- 9 REMOVE AND REINSTALL FENCING AS REQUIRED.
- 10 PROTECT EXISTING COLUMN AND FOOTING.
- 11 REMOVE AND REINSTALL BIKE RACK.
- 12 REINSTALL CROSSWALK STRIPING PAINT WITHIN SAWCUT LIMITS TO MATCH EXISTING COLOR AND WIDTH.
- 13 INSTALL INLET PROTECTION PER DETAIL 8 ON SHEET C300.

GENERAL NOTES:

CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT PRIOR TO GRADING IN THE RIGHT-OF-WAY.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL CONSTRUCTION WITH OWNER AND OWNER'S FACILITIES DEPARTMENT. CONTRACTOR TO PROVIDE OWNER WITH AN ACCESS PLAN THAT FACILITATES 24 HOUR EMERGENCY, VEHICLE, AND PEDESTRIAN ACCESS TO THE CAMPUS.

WORK SHALL CONFORM WITH WASHINGTON COUNTY STANDARDS, THE INTERNATIONAL BUILDING CODE (IBC), OREGON PLUMBING SPECIALTY CODE (OPSC) AND THE UNIFORM PLUMBING CODE (UPC). IT IS CONTRACTOR'S RESPONSIBILITY TO ENSURE WORK IS PERFORMED IN COMPLIANCE WITH LOCAL CODE AND REGULATIONS.

THE CONTRACTOR SHALL PROVIDE ALL WORK ILLUSTRATED ON THE DRAWINGS AND ALL INCIDENTAL WORK CONSIDERED NECESSARY TO COMPLETE THE PROJECT IN A MANNER ACCEPTABLE TO THE OWNER INCLUDING MITIGATING CONFLICTS WITH EXISTING UTILITIES, CONNECTING EXISTING UTILITIES TO PROPOSED FACILITIES, AND FIELD VERIFYING EXISTING UTILITIES PRIOR TO PROJECT COMPLETION.

THE CONTRACTOR SHALL KEEP AN APPROVED AND UPDATED SET OF DRAWINGS ON THE PROJECT SITE AT ALL TIMES. THE CONTRACTOR SHALL KEEP A SET OF PLANS MARKED UP WITH AS-BUILT CONDITIONS AND CHANGES FOR FUTURE AS-BUILT RECORD DRAWINGS.

EXISTING CONDITIONS SHOWN ON THE PLAN ARE COMPILED FROM EXISTING AS-BUILTS AND SITE VISITS PERFORMED BY HHPR. THE ENGINEER, COUNTY, AND UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF SUCH RECORDS. THE ENGINEER MAKES NO GUARANTEE, OR WARRANTY, THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, WHETHER ACTIVE OR ABANDONED. THE CONTRACTOR IS RESPONSIBLE TO POT-HOLE AND VERIFY CRITICAL UTILITY CROSSINGS AND CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IN A TIMELY MANNER IF CONFLICTS ARISE. CONTRACTOR ASSUMES ALL RISK AND SCHEDULE DELAYS IF THE CONTRACTOR DOES NOT POT-HOLE PRIOR TO CONSTRUCTION AND COORDINATE WITH ENGINEER.

THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OR ORS 757.541 TO 757.571. THE CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY AT LEAST 48 BUSINESS-DAY HOURS PRIOR TO EXCAVATING, BORING, OR POTHOLING. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OF ALIGNMENT CONFLICTS.

THE CONTRACTOR SHALL EXPOSE AND VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL CONNECT AND/OR MATCH EXISTING UTILITIES AND PROPOSED IMPROVEMENTS IN CONFORMANCE WITH THE INTENT OF THESE PLANS TO PROVIDE COMPLETE AND FULLY OPERATIONAL SYSTEMS.

PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THESE DRAWINGS, SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AS INCIDENTAL TO THE CONTRACT. EXISTING UTILITIES ARE LIKELY TO REQUIRE CONNECTION TO THE PROPOSED IMPROVEMENTS. COORDINATE WITH OWNERS FACILITIES DEPARTMENT. THE SCHOOL WILL REQUIRE UNINTERRUPTED WATER SERVICE AND THE IRRIGATION SYSTEM MUST REMAIN FULLY OPERATIONAL. CONTRACTOR TO COORDINATE WITH FACILITIES.

CONTRACTOR SHALL CONFIRM ALL REQUIRED PERMITS AND LICENSES HAVE BEEN ISSUED BEFORE STARTING CONSTRUCTION

CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE WASHINGTON COUNTY INSPECTOR 48 HOURS BEFORE INSPECTION.

CONSTRUCTION VEHICLES ARE NOT ALLOWED TO BE STAGED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL.

ANY ALTERATION OR VARIANCE FROM THESE PLANS, EXCEPT MINOR FIELD ADJUSTMENTS NEEDED TO MEET EXISTING FIELD CONDITIONS, SHALL FIRST BE APPROVED BY THE APPLICABLE AGENCY REPRESENTATIVE. ANY ALTERATION OR VARIANCE FROM THESE PLANS SHALL BE DOCUMENTED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE PROJECT ENGINEER.

CONTRACTOR SHALL PROVIDE THE NECESSARY EROSION PROTECTION TO MINIMIZE EROSION AND IMPACT TO ADJACENT PROPERTIES.

OPEN TRENCHES SHALL BE STRICTLY LIMITED TO A MAXIMUM OF 100 FEET UNLESS LIMITED TO A LESSER AMOUNT BY PERMIT. NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN AT NIGHT.

CONTRACTOR SHALL MAINTAIN AND COORDINATE ACCESS TO THE MAIN BUILDING AT ALL TIMES AS PRACTICAL. OWNER SHALL BE NOTIFIED 24-HOURS IN ADVANCE OF ANY ACCESS CLOSURES.

AT THE END OF EACH WORK DAY THE CONTRACTOR SHALL CLEAN UP THE PROJECT AREA AND LEAVE IT IN A NEAT AND SECURED MANNER. UPON COMPLETION, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL.

CONTRACTOR SHALL PROTECT EXISTING WATER SERVICE LINES. ALL DISTURBED WATER SERVICE LINES SHALL BE REPAIRED AS DIRECTED BY ENGINEER.

ALL MATERIAL SUPPLIERS SHALL SUBMIT TO THE ENGINEER PROOF OF MATERIAL(S) TESTED IN ACCORDANCE WITH SPECIFICATIONS. BY ACCEPTANCE OF THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR CERTIFIES THAT ALL MATERIALS DELIVERED TO THE JOB SITE WILL MEET OR EXCEED THOSE SPECIFICATIONS. ANY MATERIAL NOT CONFORMING SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST TO THE OWNER.

ALL SURVEY MONUMENTS OF RECORD MUST BE PRESERVED. IN THE EVENT A MONUMENT IS DISTURBED, CONTRACTOR IS RESPONSIBLE TO SECURE THE SERVICES OF A REGISTERED PROFESSIONAL LAND SURVEYOR TO REFERENCE AND REPLACE THE MONUMENT.

GENERAL SITE PREPARATION:

ALL EARTHWORK, EXCAVATION, BACKFILL TO FOLLOW REQUIREMENTS OUTLINED IN CURRENT PROJECT SPECIFICATIONS.

PRIOR TO BEGINNING CONSTRUCTION, ALL AREAS OF THE SITE THAT WILL RECEIVE FOUNDATIONS, STRUCTURAL FILL, FLOOR SLABS, OR PAVEMENT SHOULD BE STRIPPED OF TOP SOIL, ROOTS, UNSUITABLE FILLS, I.E. AND EXCAVATED TO NON-ORGANIC, NATIVE UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.

THE CONTRACTOR SHALL PRUNE ALL VEGETATION, AS NECESSARY, AWAY AND UP FROM THE AREA OF WORK. THE CONTRACTOR SHALL PROTECT ALL EXISTING LANDSCAPING THAT IS TO REMAIN. ARBORIST SHALL BE CONTACTED IF SIGNIFICANT ROOTS ARE UNCOVERED.

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Suite 100
Portland, OR 97209

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Phone: 503.212.4612

Consultants:

HHPR Harper
Houf Peterson
Righellis Inc.
ENGINEERS • PLANNERS
LANDSCAPE ARCHITECTS • SURVEYORS
530 Center Street NE, Suite 200, Salem, OR 97301
Phone: 503.365.1131 www.hhpr.com fax: 503.221.1171

Stamp:



BEAVERTON SCHOOL DISTRICT
BSD WEST TV SEWER

8800 SW LEAHY RD, PORTLAND, OR. 97225

Project No: 20160.01

Date: 3/15/2021

100% CONSTRUCTION
DOCUMENTS

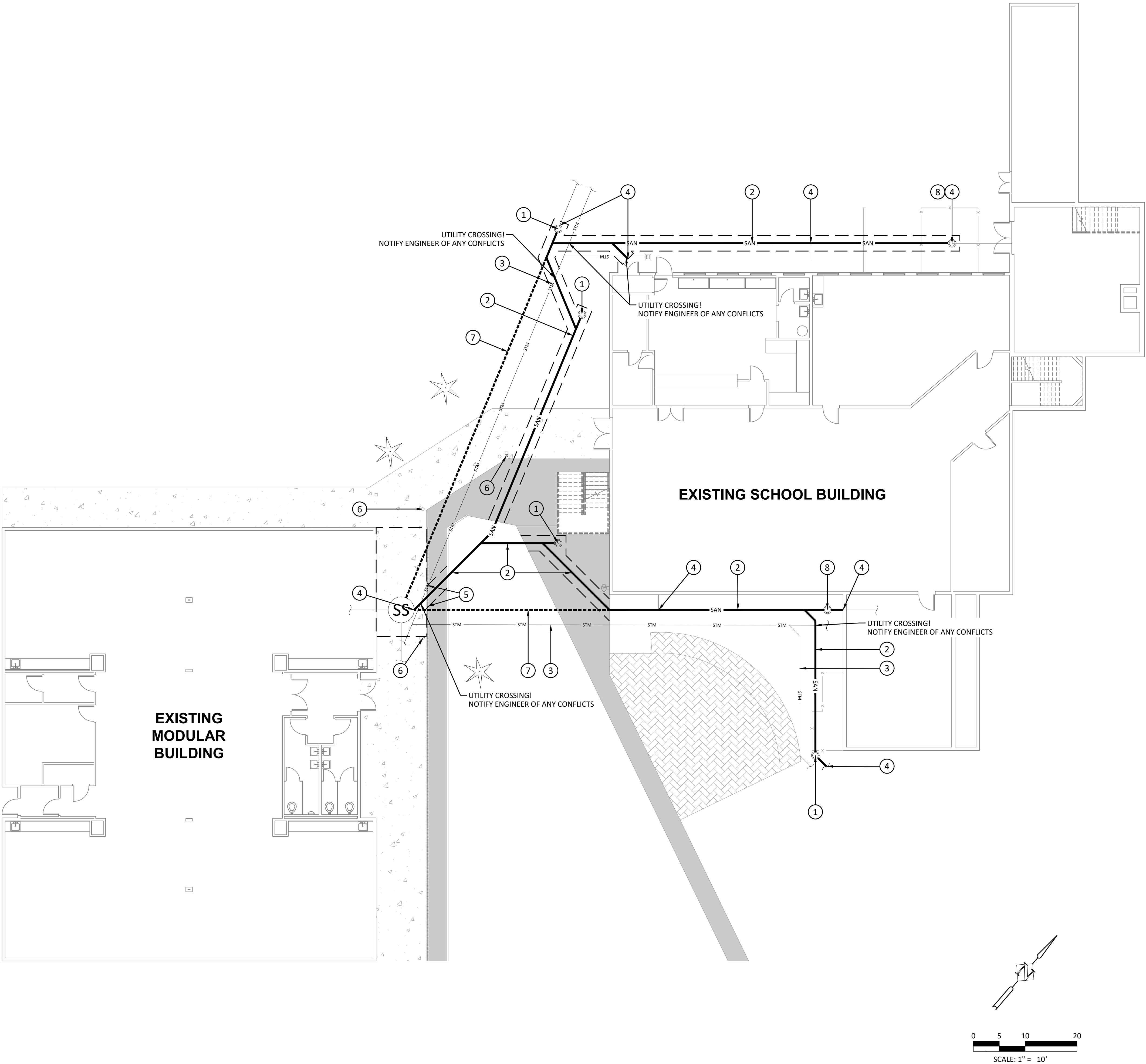
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CIVIL SITE PLAN

Drawing #:

C100

Plot Date & Time:

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CONSTRUCTION NOTES:

- 1 INSTALL STANDARD CLEANOUT. SEE DETAIL 4 ON SHEET C300.
- 2 REMOVE AND REPLACE FAILED SANITARY SEWER PIPE IN LOCATION SHOWN ON PLANS. CONTRACTOR TO VERIFY POSITIVE DRAINAGE. BACKFILL TRENCH PER DETAIL 7 ON SHEET C300.
- 3 PROTECT EXISTING STORM SEWER.
- 4 CONNECT TO EXISTING SANITARY SEWER PER DETAIL 6 ON SHEET C300. CONTRACTOR TO VERIFY POSITIVE DRAINAGE.
- 5 REMOVE, PROTECT AND REINSTALL TRENCH DRAIN WITHIN SANITARY SEWER TRENCHING LIMITS. SEE DETAIL 3 ON SHEET C300.
- 6 PROTECT EXISTING ROOF DRAIN PIPING. RECONNECT TO EXISTING STORM SEWER IF DISRUPTED BY CONSTRUCTION.
- 7 ABANDON EXISTING SANITARY SEWER IN PLACE AND FILL WITH FLOWABLE CLSM (CONTROLLED LOW STRENGTH MATERIAL).
- 8 INSTALL TWO-WAY CLEANOUT. SEE DETAIL 5 ON SHEET C300.

GENERAL NOTES:

SANITARY SEWER:

ALL SANITARY SEWER CONSTRUCTION TO WITHIN THREE (3) FEET OF THE BUILDING SHALL BE PVC ASTM D3034 SDR 35 AND IN ACCORDANCE WITH WASHINGTON COUNTY, THE INTERNATIONAL BUILDING CODE (IBC) AND OREGON PLUMBING SPECIALTY CODE.

PRIVATE SANITARY SEWER PIPE WITHIN THREE (3) FEET OF THE BUILDING SHALL BE DRAIN WASTE VENT (DWV), IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE (IBC) AND OREGON PLUMBING SPECIALTY CODE.

HORIZONTAL LINES CONNECTING WITH OTHER HORIZONTAL LINES SHALL ENTER THROUGH 45 DEGREE WYE BRANCH. TEE BRANCH IS NOT ALLOWED.

WHERE SANITARY LINES CROSS WATER LINES, THE SYSTEMS NEED TO BE CONSTRUCTED SUCH THAT THE CROSSING WILL OCCUR AT THE CENTER OF A PIPE SEGMENT FOR BOTH LINES.

PRIOR TO TESTING AND INSPECTION OF THE SANITARY PIPELINE, ALL PARTS OF THE SYSTEM SHALL BE CLEANED OF ALL DEBRIS.

TESTING OF PRIVATE SANITARY PIPELINE SHALL BE IN ACCORDANCE WITH OREGON PLUMBING SPECIALTY CODE.

TRACER WIRE - 12-GAUGE STRANDED OR SOLID COPPER INSULATED HIGH MOLECULAR WEIGHT POLYETHYLENE (HMW-PE) TRACER WIRE. THE HMW-PE INSULATED COVER SHALL BE GREEN AND A MINIMUM 45 MIL THICK. THE WIRE SHALL BE RATED FOR 140 DEGREES FAHRENHEIT. INSTALL TRACER WIRE IN ALL TRENCHES FOR SANITARY SEWERS. PLACE THE TRACER WIRE DIRECTLY OVER THE PIPE CENTERLINE AND ON TOP OF THE PIPE ZONE MATERIAL, PARALLEL TO, AND ALONG THE ENTIRE LENGTH OF ALL NONMETALLIC PIPE.

CONTRACTOR IS TO DETERMINE AND PROVIDE ALL NECESSARY FITTINGS AND BENDS FOR UTILITY DESIGN.

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ENGINEERING

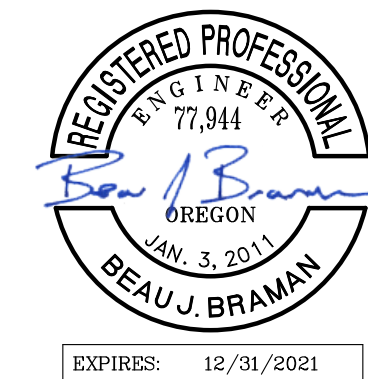
312 NW 10th Ave
Suite 100
Portland, OR 97209

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Consultants:

Harper
Houf Peterson
Righellis Inc.
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530 Center Street NE, Suite 200, Salem, OR 97301
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Stamp:



BEAVERTON SCHOOL DISTRICT
BSD WEST TV SEWER
8800 SW LEAHY RD, PORTLAND, OR. 97225

Project No: 20160.01

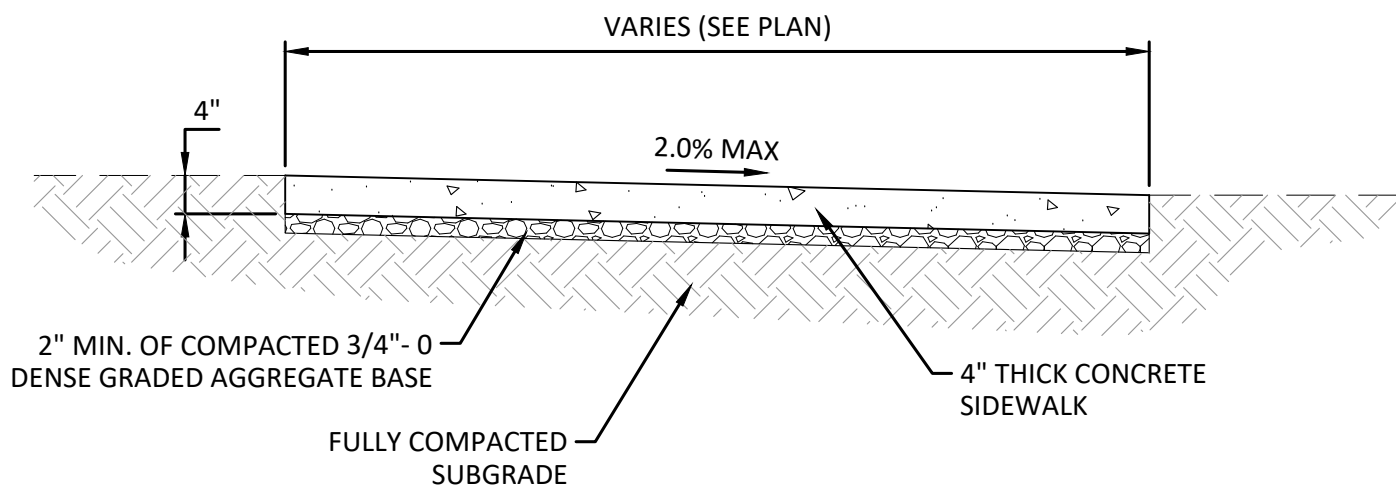
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100% CONSTRUCTION
DOCUMENTS

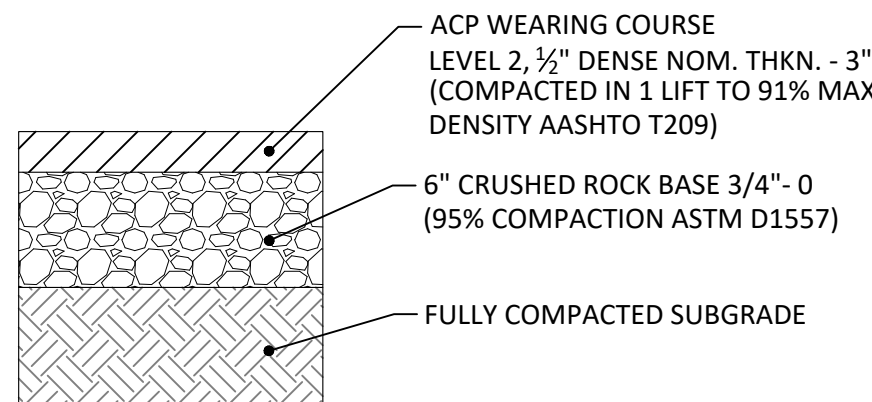
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Drawing #:

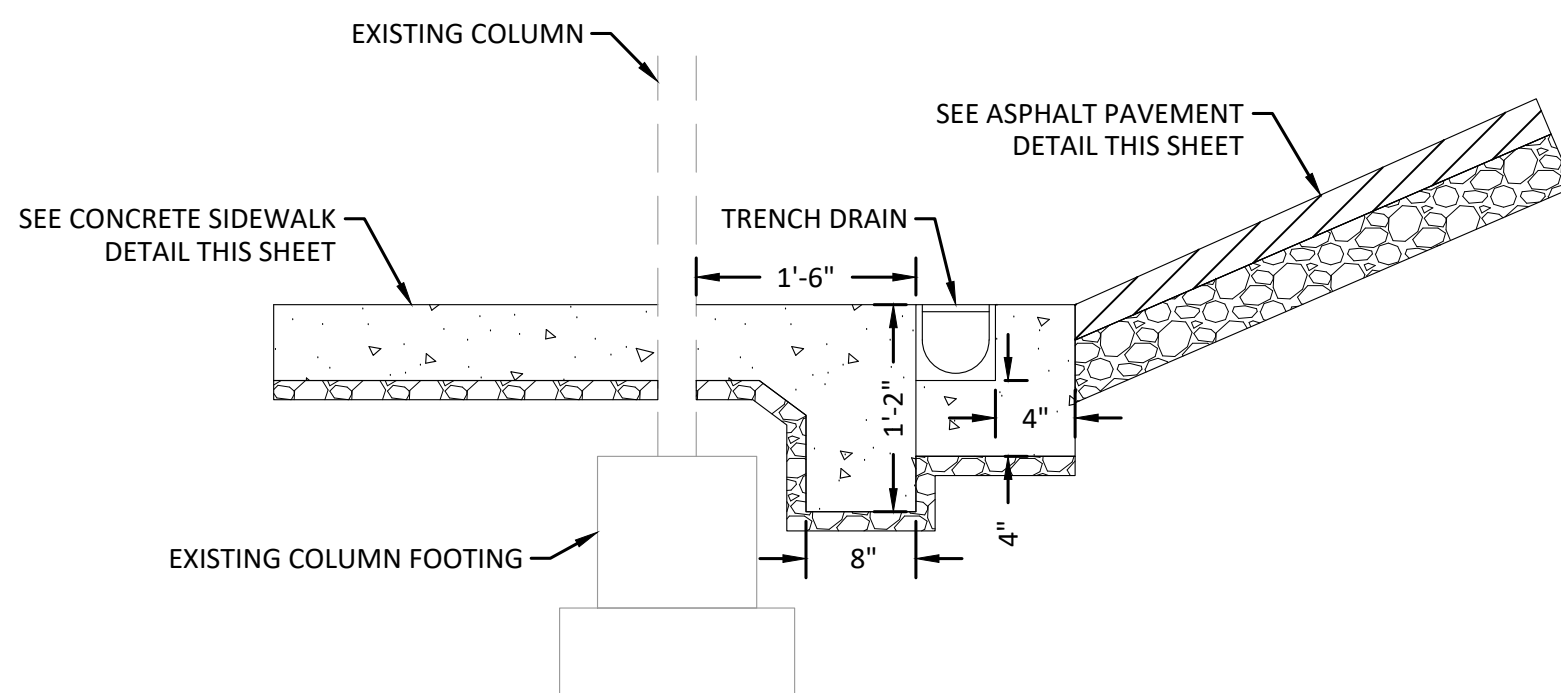
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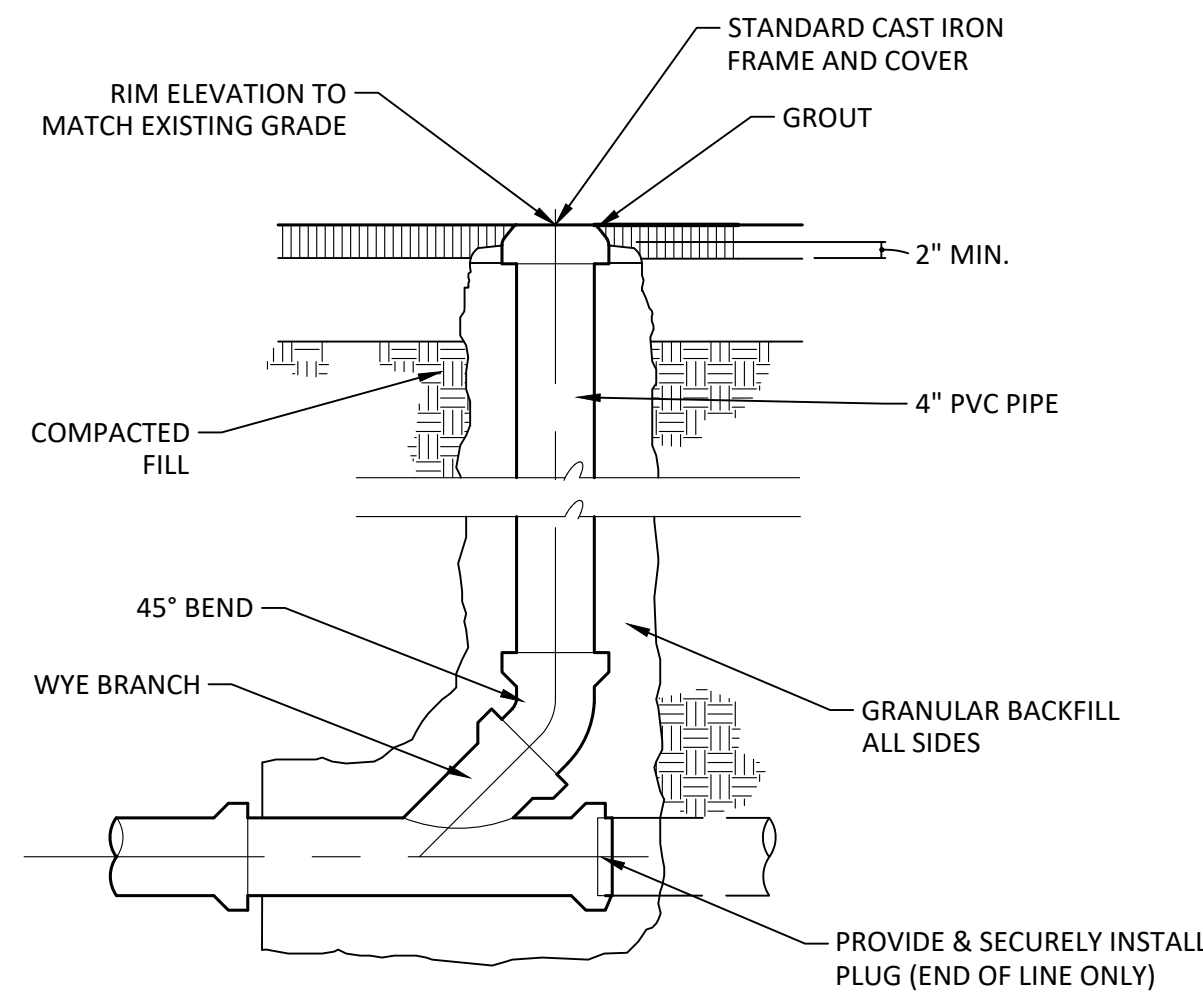
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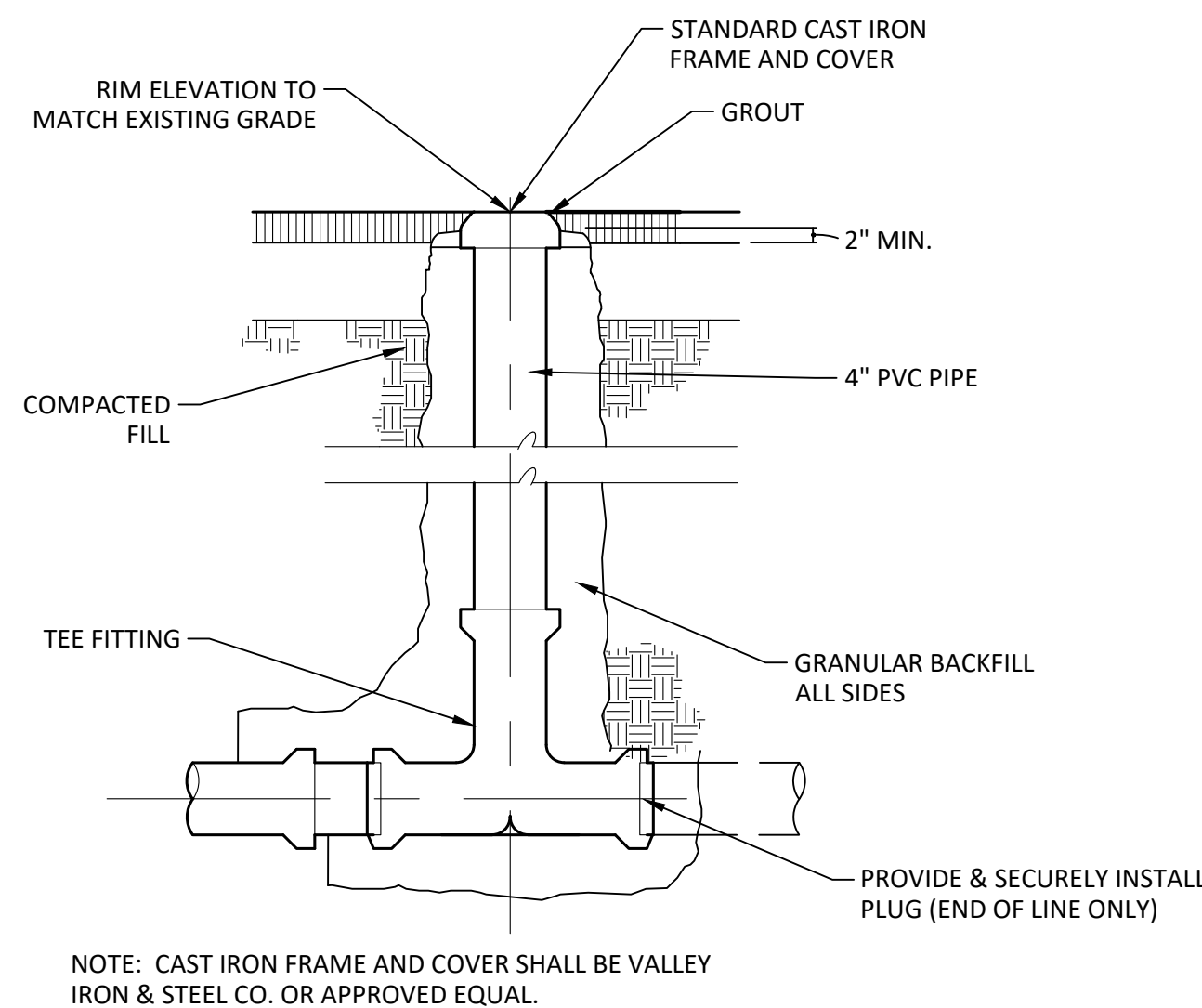
2 ASPHALT PAVEMENT SECTION
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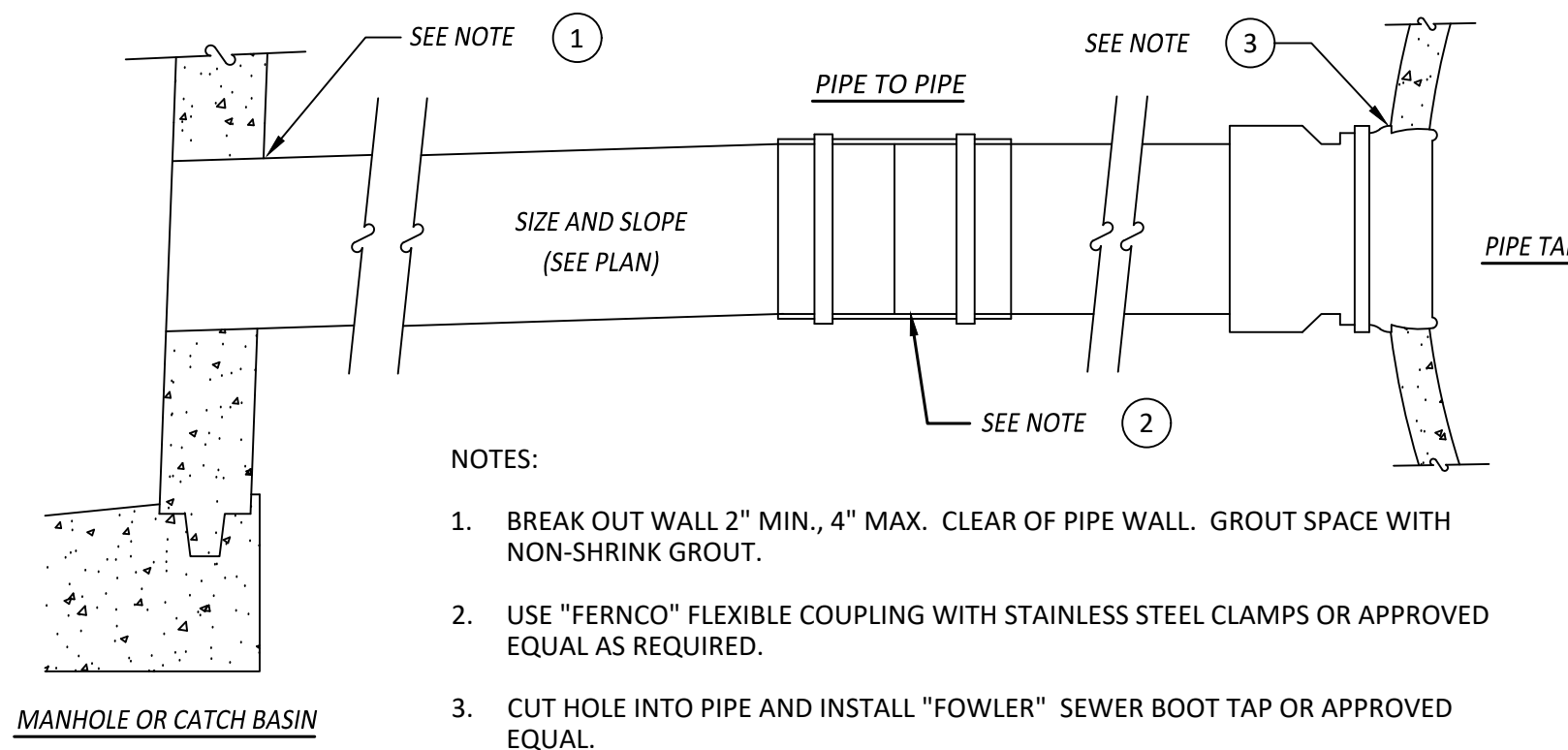
3 COLUMN FOOTING/TRENCH DRAIN
NTS



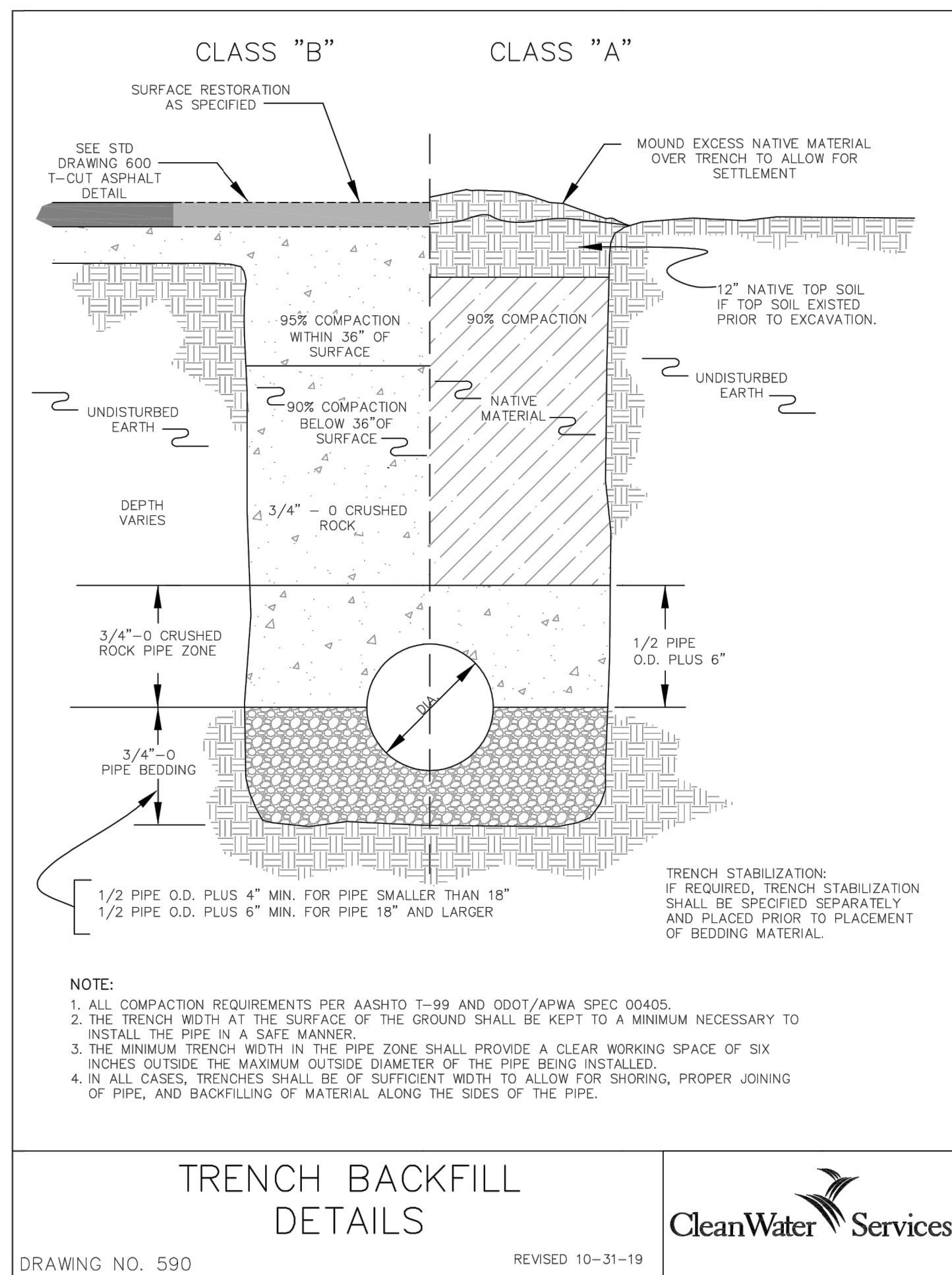
4 STANDARD CLEANOUT
NTS



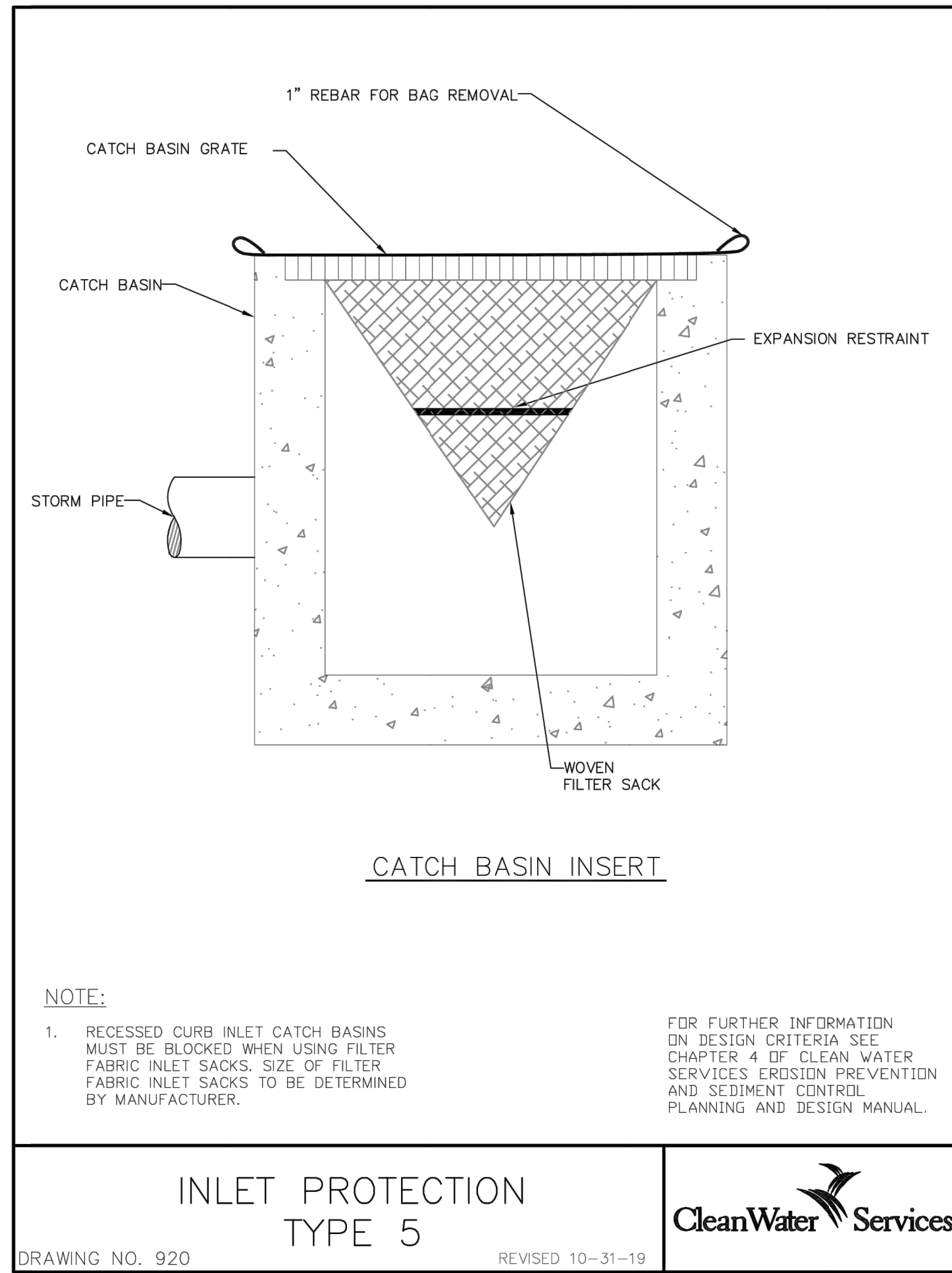
5 TWO-WAY CLEANOUT
NTS



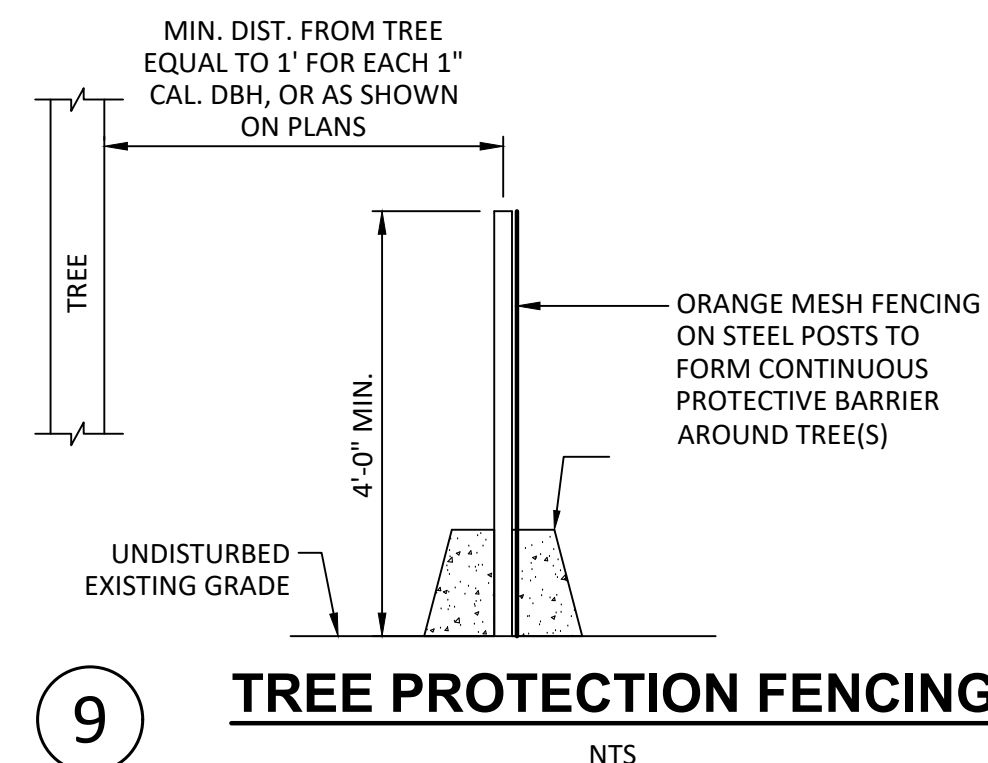
6 PIPE CONNECTION TO EXISTING
NTS



7 TRENCH BACKFILL DETAILS
NTS



8 INLET PROTECTION DETAILS
NTS



9 TREE PROTECTION FENCING
NTS

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Stamp:

REGISTERED PROFESSIONAL
ENGINEER
77,844
OREGON
JAN. 3, 2011
BEAU J. BRAMAN

EXPIRES: 12/31/2021

BEAVERTON SCHOOL DISTRICT
BSD WEST TV SEWER

8800 SW LEAHY RD, PORTLAND, OR. 97225

Project No: 20160.01

Date: 3/15/2021

100% CONSTRUCTION DOCUMENTS

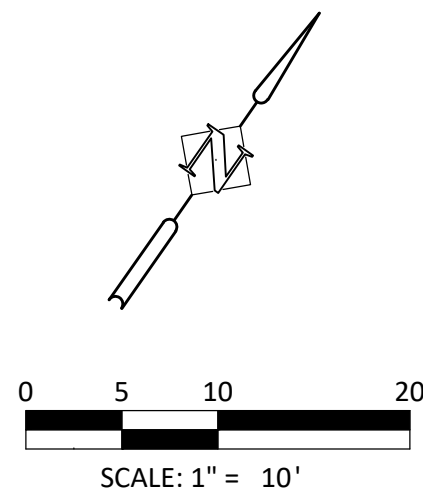
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Drawing #: C300

Plot Date & Time:

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SHADOW MIX BY SUNMARK SEEDS, 6 LBS PER 1000 SF





SHEET NOTES - DEMOLITION PLAN

- A. All dimensions shown are to face of core U.N.O. Do not measure drawings to determine dimensions. Large scale details take precedence over smaller scale drawings.
- B. All areas of demolition shall be cleared and cleaned of all items and prepared to receive new construction, unless noted otherwise.
- C. Verify limits of demolition prior to commencing work.
- D. Contractor shall field verify all existing construction and related conditions prior to starting demolition or new construction.
- E. Contractor to inform architect of any discrepancies within drawings or between drawings and field conditions before commencement of affected work.
- F. For additional demolition information, see all consultant's drawings.
- G. Locate and verify existence and use of existing utilities. Take necessary measures to protect and preserve function and condition of any utilities to be repaired, replaced, or reused in new construction. Coordinate work with architect, consultants and owner.
- H. Coordinate with owner regarding any work that is to occur in the ceiling of the floor below so as not to disrupt the functions of the owner's occupied area. Contractor to replace ceiling to match existing adjacent construction and finish, unless noted otherwise.
- I. Removal of existing plumbing fixtures shall include capping of piping and waste lines. See plumbing drawings for more information.
- J. Contractor shall take proper measures to protect areas outside the area of work from dust, air particulates, and debris. Coordinate with Architect, Engineer and Owner to protect against infiltration of all of the above into the remaining occupied areas.
- K. Demolition Work to take place prior to interior improvements. Provide such measures as necessary to prevent property damage or bodily injury.
- L. All interior Patching and Repair shall occur as part of this scope of work, U.N.O. Contractor shall protect all existing exposed construction from damage resulting from or related to demolition and construction operations.
- M. Contractor shall repair or replace any existing construction to remain that is damaged in the course of the work to its original condition.
- N. Where interruption of the building's Life Safety System is required to perform the work as described in the Construction Documents, or to coordinate with owner's operations, the Contractor shall provide interim Life Safety measures to comply with local code and owner's requirements.
- O. Contractor is responsible for all waste removal and site clean up during performance of and at completion of the Work.

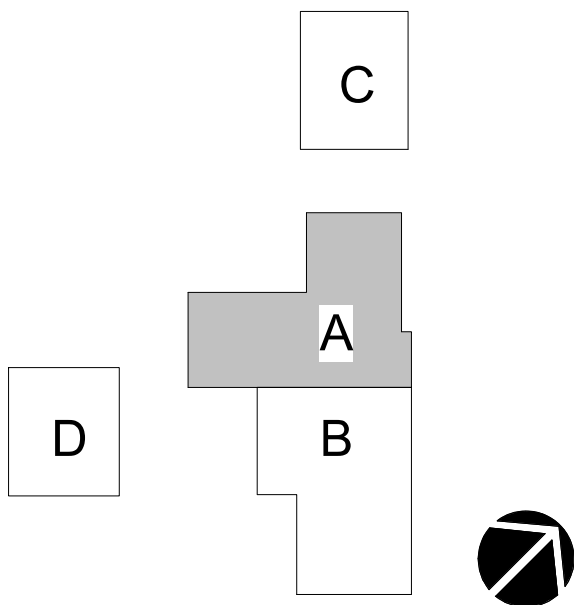
LEGEND - DEMOLITION PLAN

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- SECTION OF GYPSUM WALL BOARD FINISH TO BE DEMOLISHED
- REMOVE FLOOR FINISH
- DEMOLISH AREA OF EXISTING CONCRETE SLAB
- (E) 1" CERAMIC TILE, PROTECT DURING CONSTRUCTION
- DEMOLISH AREA OF (E) 1" CERAMIC TILE AND AREA OF (E) CONCRETE SLAB BELOW

KEYNOTES - DEMOLITION PLAN

- DF 1 (E) Freezer, Prep Station, and Range Hood to be removed, or salvaged, and protected during construction.
- DF 2 Remove cabinet back and base panel as required for replacement of drain pipe. Protect (E) sink and adjacent conduit during construction. See Plumbing for detail.
- DF 3 Demolish drinking fountain and sanitary branch line. See plumbing for detail.
- DF 4 Demolish (E) floor drain.
- DF 5 Remove (E) door. Salvage and protect for reinstallation. Door frame to remain. Protect during construction.
- DF 6 (E) Concrete curb to be demolished to trench width. Preserve (E) hollow metal door frame. Salvage and protect (E) metal threshold.
- DF 7 Demolish portion of 5/8" gypsum wall board as required for replacement of sanitary drain pipe. See Plumbing for detail. See Sheet A-231 for ceiling demo scope.
- DF 8 Remove casework, plumbing fixture, and tackboard to allow for replacement of drain pipe above concrete slab. Salvage and protect for reinstallation.

KEY PLAN



1 DEMOLITION FIRST FLOOR PLAN - AREA A
1/8" = 1'-0"

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Oh

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DEBORAH K. RANDE
PORTLAND, OR
12/31/2022
#5530
STATE OF OREGON

Beaverton School District
West Tualatin View Elementary School
Piping

8800 SW Leahy Rd, Portland, OR 97225

Project No: 90064
Date: 3/15/2021
100% Construction Documents

Revision

Date

Drawing Name:
DEMOLITION FIRST FLOOR PLAN - AREA B

Drawing #:
AD-202

SHEET NOTES - DEMOLITION PLAN

- A. All dimensions shown are to face of core U.N.O. Do not measure drawings to determine dimensions. Large scale details take precedence over smaller scale drawings.
- B. All areas of demolition shall be cleared and cleaned of all items and prepared to receive new construction, unless noted otherwise.
- C. Verify limits of demolition prior to commencing work.
- D. Contractor shall field verify all existing construction and related conditions prior to starting demolition or new construction.
- E. Contractor to inform architect of any discrepancies within drawings or between drawings and field conditions before commencement of affected work.
- F. For additional demolition information, see all consultant's drawings.
- G. Locate and verify existence and use of existing utilities. Take necessary measures to protect and preserve function and condition of any utilities to be repaired, replaced, or reused in new construction. Coordinate work with architect, consultants and owner.
- H. Coordinate with owner regarding any work that is to occur in the ceiling of the floor below so as not to disrupt the functions of the owner's occupied area. Contractor to replace ceiling to match existing adjacent construction and finish, unless noted otherwise.
- I. Removal of existing plumbing fixtures shall include capping of piping and waste lines. See plumbing drawings for more information.
- J. Contractor shall take proper measures to protect areas outside the area of work from dust, air particulates, and debris. Coordinate with Architect, Engineer and Owner to protect against infiltration of all of the above into the remaining occupied areas.
- K. Demolition Work to take place prior to interior improvements. Provide such measures as necessary to prevent property damage or bodily injury.
- L. All interior Patching and Repair shall occur as part of this scope of work, U.N.O. Contractor shall protect all existing exposed construction from damage resulting from or related to demolition and construction operations.
- M. Contractor shall repair or replace any existing construction to remain that is damaged in the course of the work to its original condition.
- N. Where interruption of the building's Life Safety System is required to perform the work as described in the Construction Documents, or to coordinate with owner's operations, the Contractor shall provide interim Life Safety measures to comply with local code and owner's requirements.
- O. Contractor is responsible for all waste removal and site clean up during performance of and at completion of the Work.

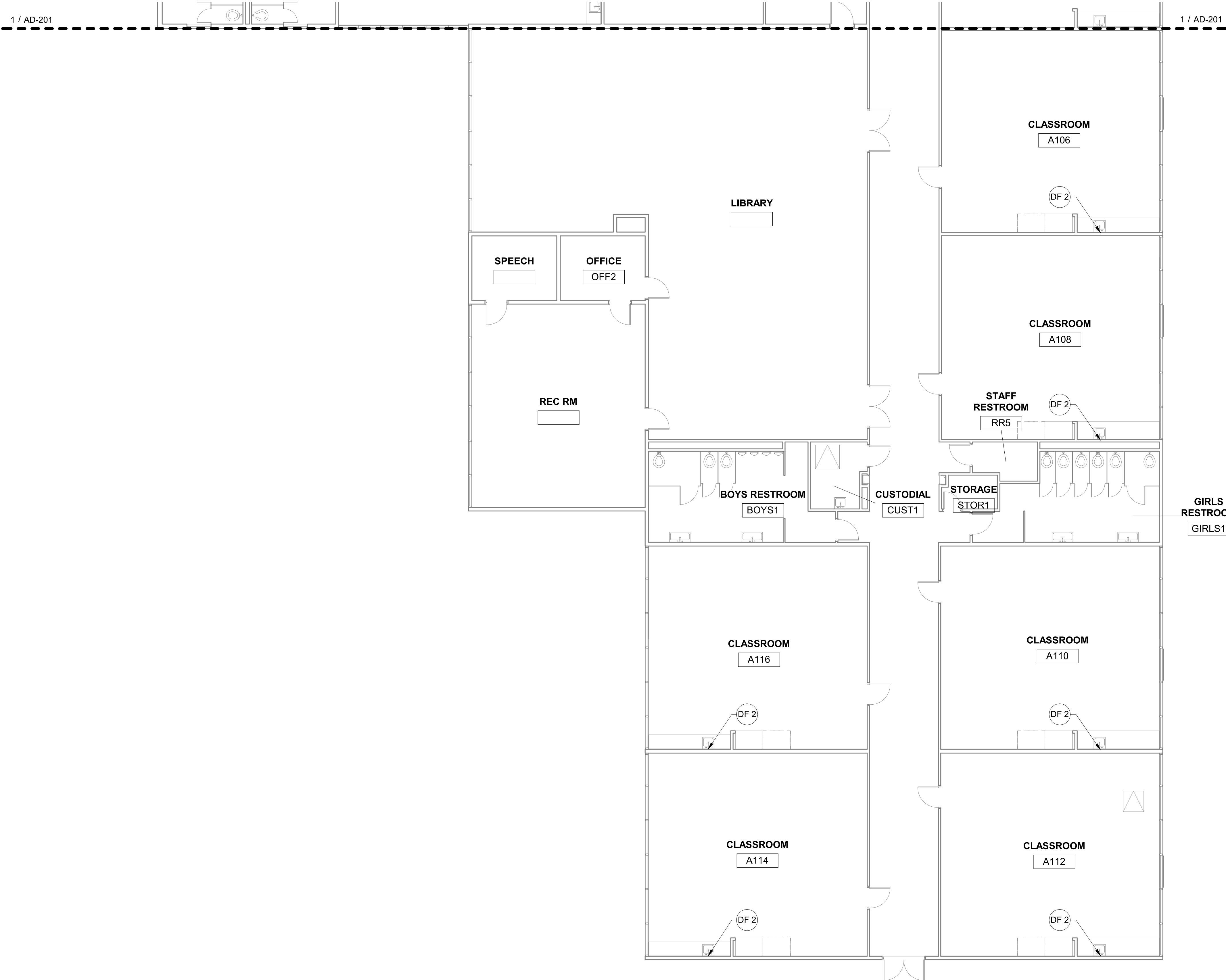
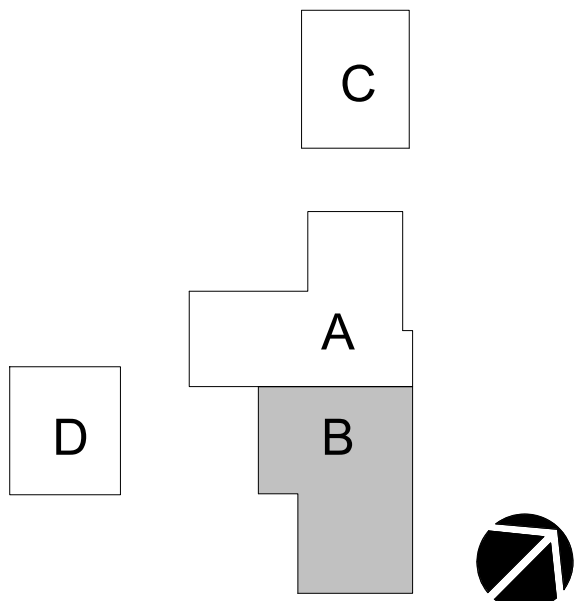
LEGEND - DEMOLITION PLAN

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- SECTION OF GYPSUM WALL BOARD FINISH TO BE DEMOLISHED
- REMOVE FLOOR FINISH
- DEMOLISH AREA OF EXISTING CONCRETE SLAB
- (E) 1" CERAMIC TILE, PROTECT DURING CONSTRUCTION
- DEMOLISH AREA OF (E) 1" CERAMIC TILE AND AREA OF (E) CONCRETE SLAB BELOW

KEYNOTES - DEMOLITION PLAN

- DF 1 (E) Freezer, Prep Station, and Range Hood to be removed, or salvaged, and protected during construction.
- DF 2 Remove cabinet back and base panel as required for replacement of drain pipe. Protect (E) sink and adjacent conduit during construction. See Plumbing for detail.
- DF 3 Demolish drinking fountain and sanitary branch line. See plumbing for detail.
- DF 4 Demolish (E) floor drain.
- DF 5 Remove (E) door. Salvage and protect for reinstallation. Door frame to remain. Protect during construction.
- DF 6 (E) Concrete curb to be demolished to trench width. Preserve (E) hollow metal door frame. Salvage and protect (E) metal threshold.
- DF 7 Demolish portion of 5/8" gypsum wall board as required for replacement of sanitary drain pipe. See Plumbing for detail. See Sheet A-231 for ceiling demo scope.
- DF 8 Remove casework, plumbing fixture, and tackboard to allow for replacement of drain pipe above concrete slab. Salvage and protect for reinstallation.

KEY PLAN



1 DEMOLITION FIRST FLOOR PLAN - AREA B
1/8" = 1'-0"

SHEET NOTES - DEMOLITION PLAN

- A. All dimensions shown are to face of core U.N.O. Do not measure drawings to determine dimensions. Large scale details take precedence over smaller scale drawings.
- B. All areas of demolition shall be cleared and cleaned of all items and prepared to receive new construction, unless noted otherwise.
- C. Verify limits of demolition prior to commencing work.
- D. Contractor shall field verify all existing construction and related conditions prior to starting demolition or new construction.
- E. Contractor to inform architect of any discrepancies within drawings or between drawings and field conditions before commencement of affected work.
- F. For additional demolition information, see all consultant's drawings.
- G. Locate and verify existence and use of existing utilities. Take necessary measures to protect and preserve function and condition of any utilities to be repaired, replaced, or reused in new construction. Coordinate work with architect, consultants and owner.
- H. Coordinate with owner regarding any work that is to occur in the ceiling of the floor below so as not to disrupt the functions of the owner's occupied area. Contractor to replace ceiling to match existing adjacent construction and finish, unless noted otherwise.
- I. Removal of existing plumbing fixtures shall include capping of piping and waste lines. See plumbing drawings for more information.
- J. Contractor shall take proper measures to protect areas outside the area of work from dust, air particulates, and debris. Coordinate with Architect, Engineer and Owner to protect against infiltration of all of the above into the remaining occupied areas.
- K. Demolition Work to take place prior to interior improvements. Provide such measures as necessary to prevent property damage or bodily injury.
- L. All interior Patching and Repair shall occur as part of this scope of work. U.N.O. Contractor shall protect all existing exposed construction from damage resulting from or related to demolition and construction operations.
- M. Contractor shall repair or replace any existing construction to remain that is damaged in the course of the work to its original condition.
- N. Where interruption of the building's Life Safety System is required to perform the work as described in the Construction Documents, or to coordinate with owner's operations, the Contractor shall provide interim Life Safety measures to comply with local code and owner's requirements.
- O. Contractor is responsible for all waste removal and site clean up during performance of and at completion of the Work.

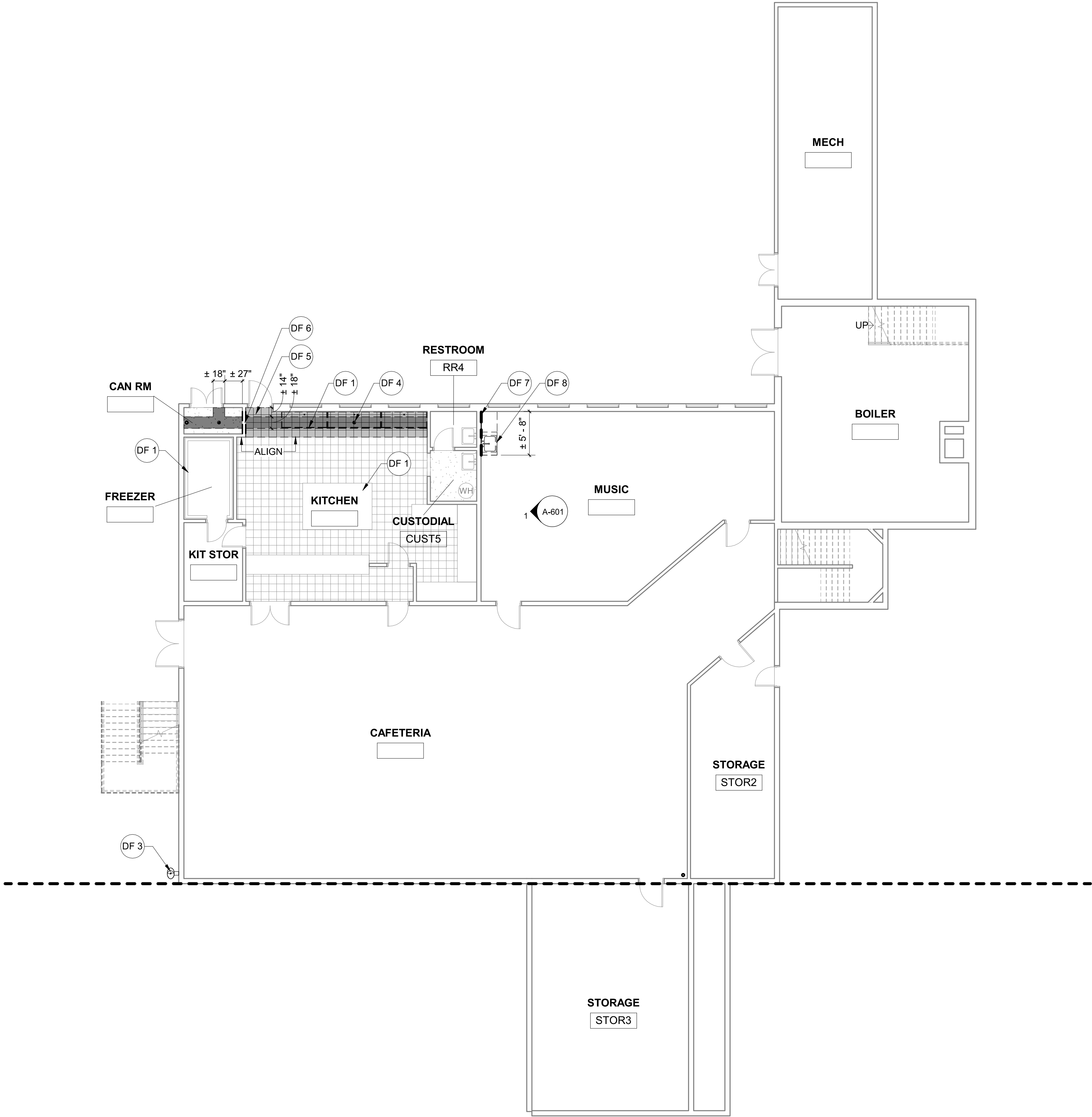
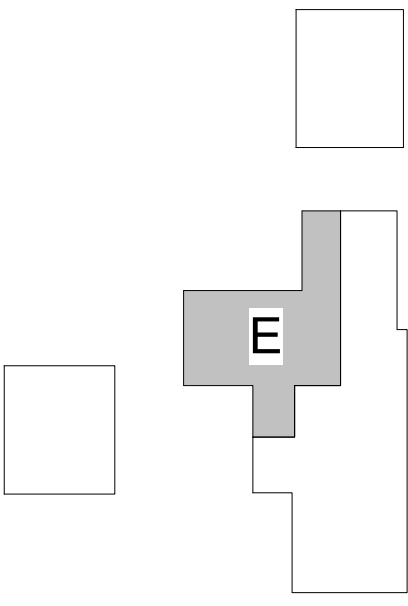
LEGEND - DEMOLITION PLAN

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- SECTION OF GYPSUM WALL BOARD FINISH TO BE DEMOLISHED
- REMOVE FLOOR FINISH
- DEMOLISH AREA OF EXISTING CONCRETE SLAB
- (E) 1" CERAMIC TILE, PROTECT DURING CONSTRUCTION
- DEMOLISH AREA OF (E) 1" CERAMIC TILE AND AREA OF (E) CONCRETE SLAB BELOW

KEYNOTES - DEMOLITION PLAN

- DF 1 (E) Freezer, Prep Station, and Range Hood to be removed, or salvaged, and protected during construction.
- DF 2 Remove cabinet back and base panel as required for replacement of drain pipe. Protect (E) sink and adjacent conduit during construction. See Plumbing for detail.
- DF 3 Demolish drinking fountain and sanitary branch line. See plumbing for detail.
- DF 4 Demolish (E) floor drain.
- DF 5 Remove (E) door. Salvage and protect for reinstallation. Door frame to remain. Protect during construction.
- DF 6 (E) Concrete curb to be demolished to trench width. Preserve (E) hollow metal door frame. Salvage and protect (E) metal threshold.
- DF 7 Demolish portion of 5/8" gypsum wall board as required for replacement of sanitary drain pipe. See Plumbing for detail. See Sheet A-231 for ceiling demo scope.
- DF 8 Remove casework, plumbing fixture, and tackboard to allow for replacement of drain pipe above concrete slab. Salvage and protect for reinstallation.

KEY PLAN





SHEET NOTES - FLOOR PLAN

- A. All dimensions are to face of finish, U.N.O.
B. All dimensions to be field verified.
C. Floor Plan Keynotes (F#) are consistent across all Floor Plan sheets. Not all keynotes are used on each sheet.
D. See Enlarged Plans, where applicable, for wall types, notes, and dimensions.
E. Coordinate all work with other trades.
F. Contractor is responsible for maintaining slope to floor drain.

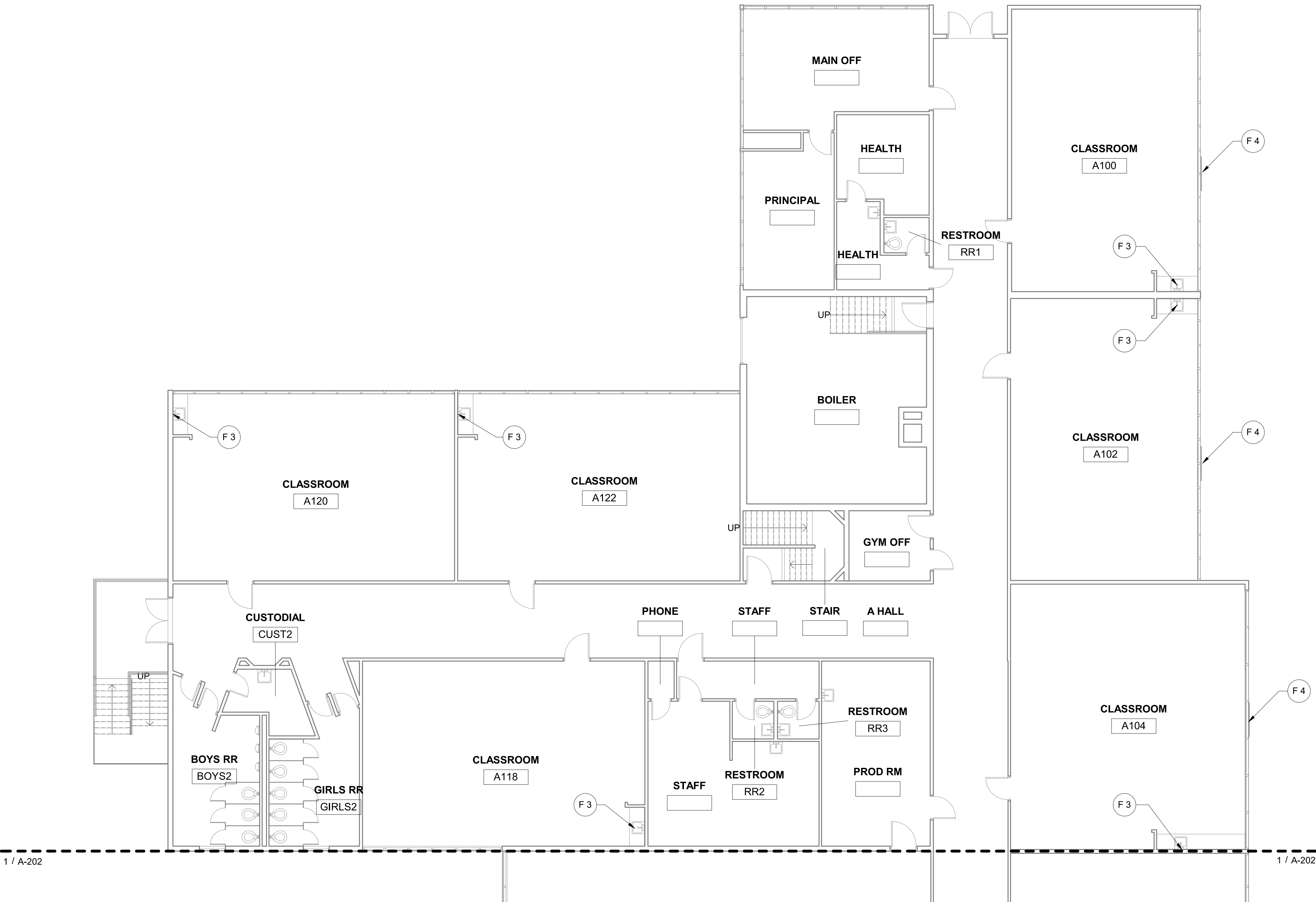
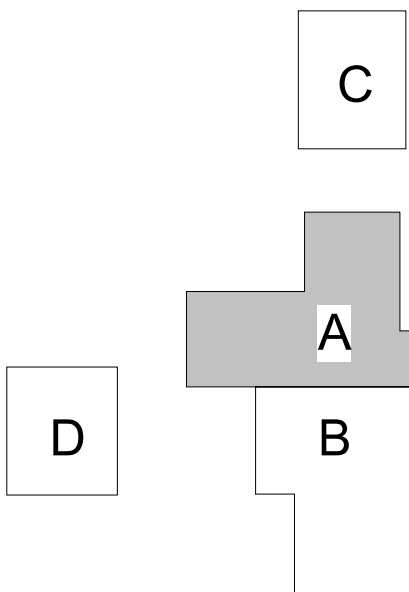
LEGEND - FLOOR PLAN

- EXISTING WALL TO REMAIN
SECTION OF NEW GYPSUM WALL BOARD
PATCH AND REPAIR CONCRETE WHERE NECESSARY
(E) 1" SQ. CERAMIC TILE, PROTECT DURING CONSTRUCTION
NEW 1" SQ. CERAMIC TILE

KEYNOTES - FLOOR PLAN

- F 1 New concrete slab - patch and repair flooring to match existing.
F 2 (E) Crawl space access hatch.
F 3 Install new cabinet back and base panel as required at sink. Protect (E) sink and adjacent conduit during construction. See Plumbing for detail.
F 4 Access pipe replacement through crawl space below or exterior vent. See Plumbing, typ.
F 5 New 1"x1" ceramic tile flooring to match existing. Tile replacement to start at (E) tile joint.
F 6 Reinstall salvaged sinks.
F 7 New floor drain at existing branch location. Slope concrete to drain.
F 8 Reinstall salvaged door in (E) hollow metal frame. Reinstall salvaged aluminum transition. Patch tile on vertical face.
F 9 (E) Freezer, Prep Station, Range Hood to be reinstalled if salvaged. Protect during construction.
F 10 Patch and prepare surface to receive new wall finish to match (E) at sanitary drain pipe replacement. See Sheet A-231 for new ceiling scope.
F 11 Reinstall casework and sink.

KEY PLAN





SHEET NOTES - FLOOR PLAN

- A. All dimensions are to face of finish, U.N.O.
B. All dimensions to be field verified.
C. Floor Plan Keynotes (F#) are consistent across all Floor Plan sheets. Not all keynotes are used on each sheet.
D. See Enlarged Plans, where applicable, for wall types, notes, and dimensions.
E. Coordinate all work with other trades.
F. Contractor is responsible for maintaining slope to floor drain.

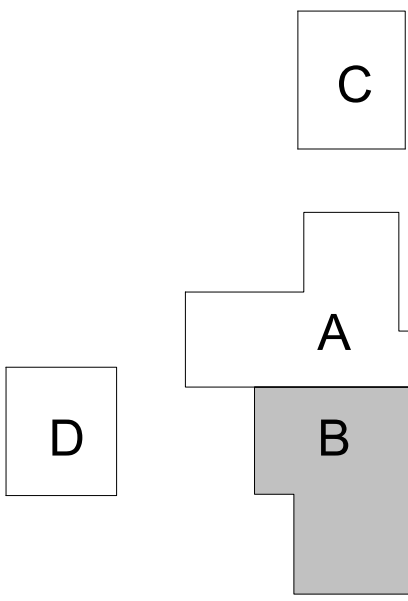
LEGEND - FLOOR PLAN

- EXISTING WALL TO REMAIN
SECTION OF NEW GYPSUM WALL BOARD
PATCH AND REPAIR CONCRETE WHERE NECESSARY
(E) 1" SQ. CERAMIC TILE, PROTECT DURING CONSTRUCTION
NEW 1" SQ. CERAMIC TILE

KEYNOTES - FLOOR PLAN

- F 1 New concrete slab - patch and repair flooring to match existing.
F 2 (E) Crawl space access hatch.
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F 4 Access pipe replacement through crawl space below or exterior vent. See Plumbing, typ.
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F 7 New floor drain at existing branch location. Slope concrete to drain.
F 8 Reinstall salvaged door in (E) hollow metal frame. Reinstall salvaged aluminum transition. Patch tile on vertical face.
F 9 (E) Freezer, Prep Station, Range Hood to be reinstalled if salvaged. Protect during construction.
F 10 Patch and prepare surface to receive new wall finish to match (E) at sanitary drain pipe replacement. See Sheet A-231 for new ceiling scope.
F 11 Reinstall casework and sink.

KEY PLAN



1 / A-201

1 / A-201

1 FIRST FLOOR PLAN - AREA B
1/8" = 1'-0"



SHEET NOTES - FLOOR PLAN

- A. All dimensions are to face of finish, U.N.O.
B. All dimensions to be field verified.
C. Floor Plan Keynotes (F#) are consistent across all Floor Plan sheets. Not all keynotes are used on each sheet.
D. See Enlarged Plans, where applicable, for wall types, notes, and dimensions.
E. Coordinate all work with other trades.
F. Contractor is responsible for maintaining slope to floor drain.

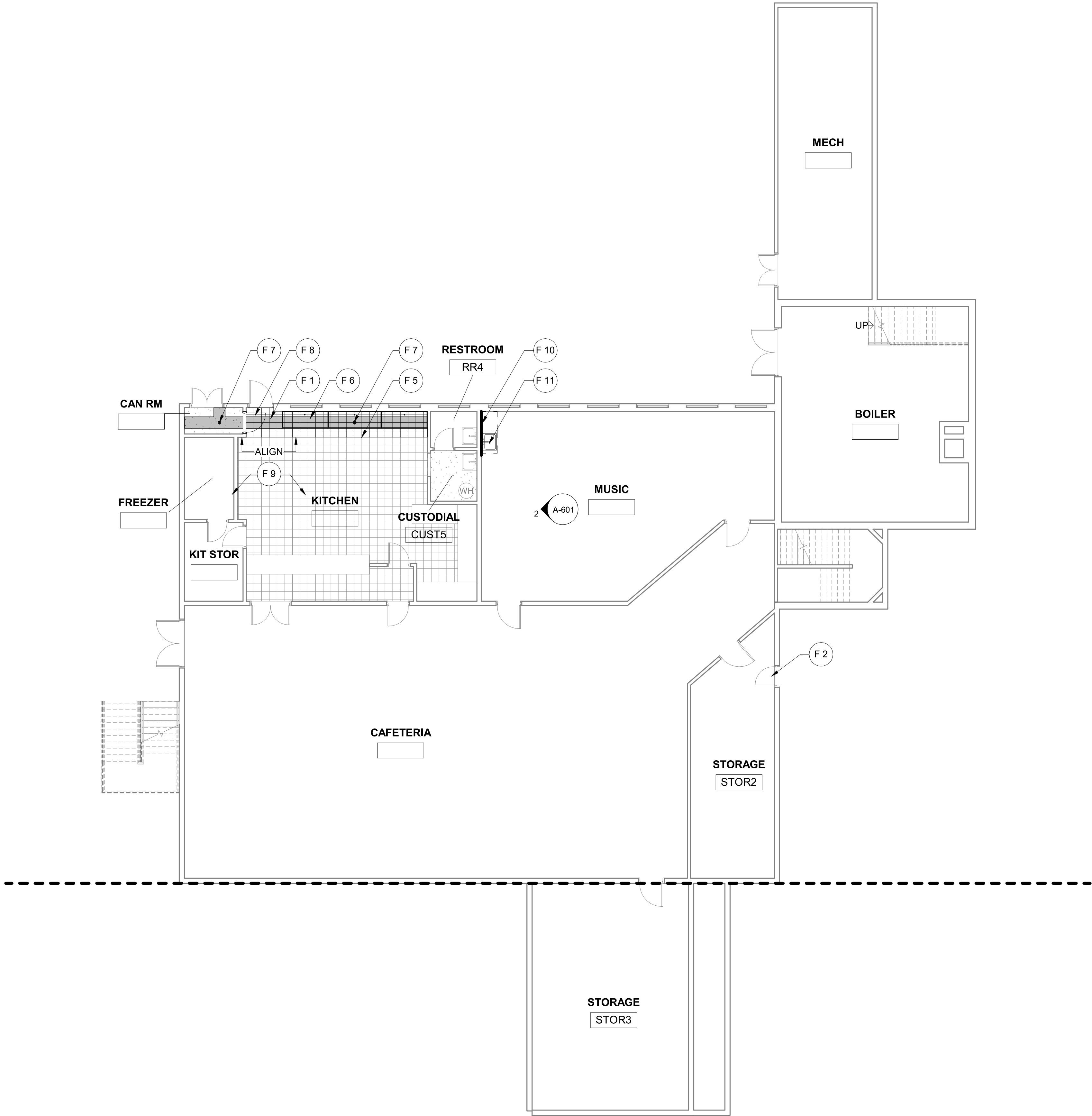
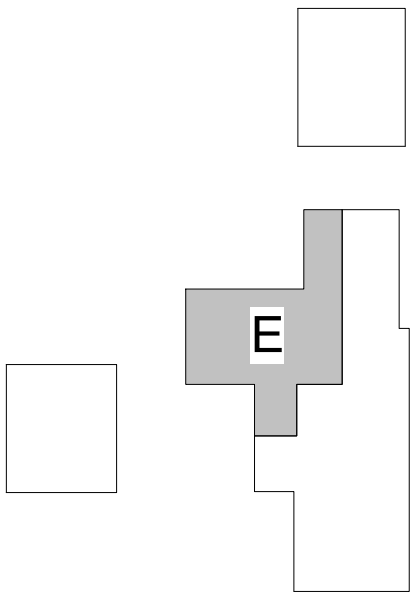
LEGEND - FLOOR PLAN

- EXISTING WALL TO REMAIN
SECTION OF NEW GYPSUM WALL BOARD
PATCH AND REPAIR CONCRETE WHERE NECESSARY
(E) 1" SQ. CERAMIC TILE, PROTECT DURING CONSTRUCTION
NEW 1" SQ. CERAMIC TILE

KEYNOTES - FLOOR PLAN

- F 1 New concrete slab - patch and repair flooring to match existing.
F 2 (E) Crawl space access hatch.
F 3 Install new cabinet back and base panel as required at sink. Protect (E) sink and adjacent conduit during construction. See Plumbing for detail.
F 4 Access pipe replacement through crawl space below or exterior vent. See Plumbing, typ.
F 5 New 1"x1" ceramic tile flooring to match existing. Tile replacement to start at (E) tile joint.
F 6 Reinstall salvaged sinks.
F 7 New floor drain at existing branch location. Slope concrete to drain.
F 8 Reinstall salvaged door in (E) hollow metal frame. Reinstall salvaged aluminum transition. Patch tile on vertical face.
F 9 (E) Freezer, Prep Station, Range Hood to be reinstalled if salvaged. Protect during construction.
F 10 Patch and prepare surface to receive new wall finish to match (E) at sanitary drain pipe replacement. See Sheet A-231 for new ceiling scope.
F 11 Reinstall casework and sink.

KEY PLAN



SHEET NOTES - RCP

- A. Keynotes are not sheet specific.
B. All heights shown are to bottom of grid system or gyp bd AFF, relative to the floor that the ceiling plan is shown on, UNO.
C. Ceiling height is 8'-0" AFF, UNO.
D. Existing ceiling fixtures, smoke detectors, life safety speakers, AV speakers, exit signs, sprinklers, mirrors, fire alarm or signal devices, or other ceiling mounted devices impacted by plumbing improvements are to be removed, salvaged, protected for reinstallation at existing location.
E. Door exit signs to be located 12" clear from, and centered on, the door to which exit is indicated, UNO.
F. Relocate (E) sprinklers, smoke detectors, and speakers as required for ceiling layout
G. Coordinatinate all work with other disciplines; see Plumbing, Civil, and Landscape for additional scope.

LEGEND - DEMOLITION RCP

- EXISTING TO REMAIN
EXISTING TO BE DEMOLISHED
EXISTING TO REMAIN 2X4 FLUORESCENT TYPICAL
EXISTING TO REMAIN 1X4 FLUORESCENT TYPICAL
(E) GYPSUM WALL BOARD CEILING TO REMAIN
(E) 1' X 1' ACOUSTICAL CEILING TILE TO REMAIN
EXISTING CEILING TO BE DEMOLISHED AS NECESSARY FOR REMOVAL OF SANITARY WASTE PIPE. REMOVE AND SALVAGE LIGHT FIXTURES WHERE NECESSARY.

LEGEND - RCP

- EXISTING TO REMAIN
NEW WALL
(E) 1 X 4 FLUORESCENT TYPICAL
REINSTALLED 1 X 4 FLUORESCENT TYPICAL
(E) 6" X 4' FLUORESCENT PENDANT TYPICAL
PATCH AND REPAIR CEILING AREA. REINSTALL SALVAGED LIGHT FIXTURES TO MATCH EXISTING.

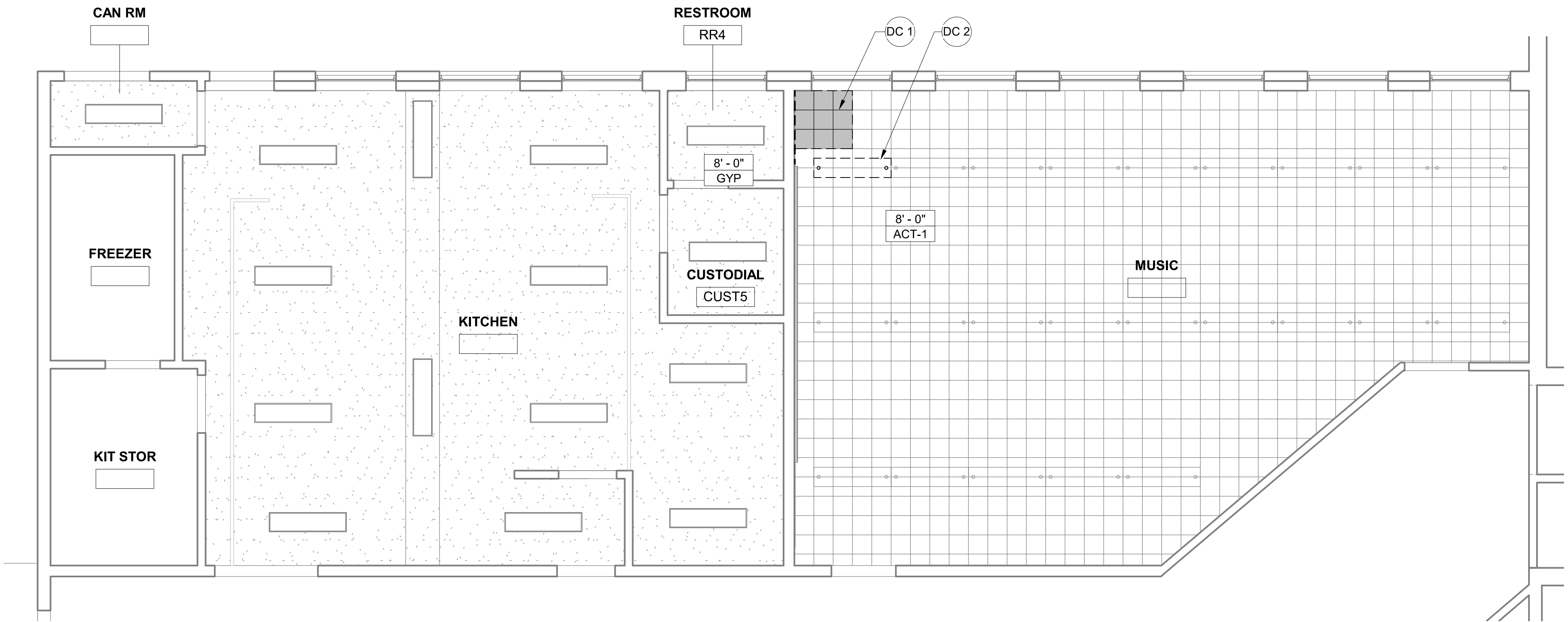
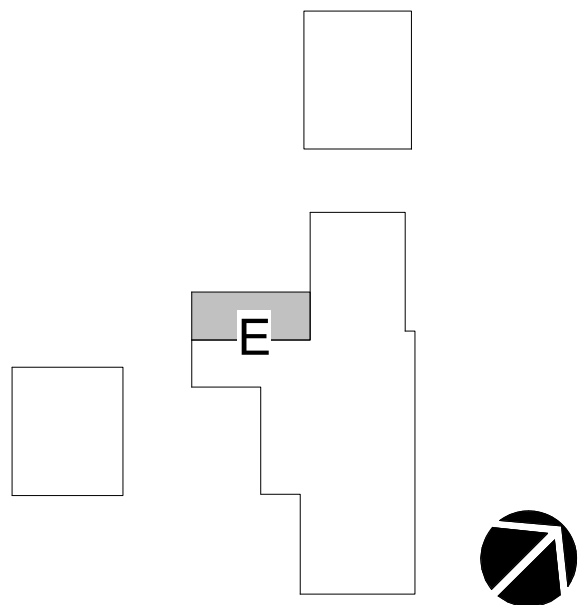
KEYNOTES - ENLARGED
DEMOLITION RCP

- DC #
DC 1 Demolish (E) ceiling as required for piping replacement above.
DC 2 Remove existing light fixture, salvage and protect for reinstallation.

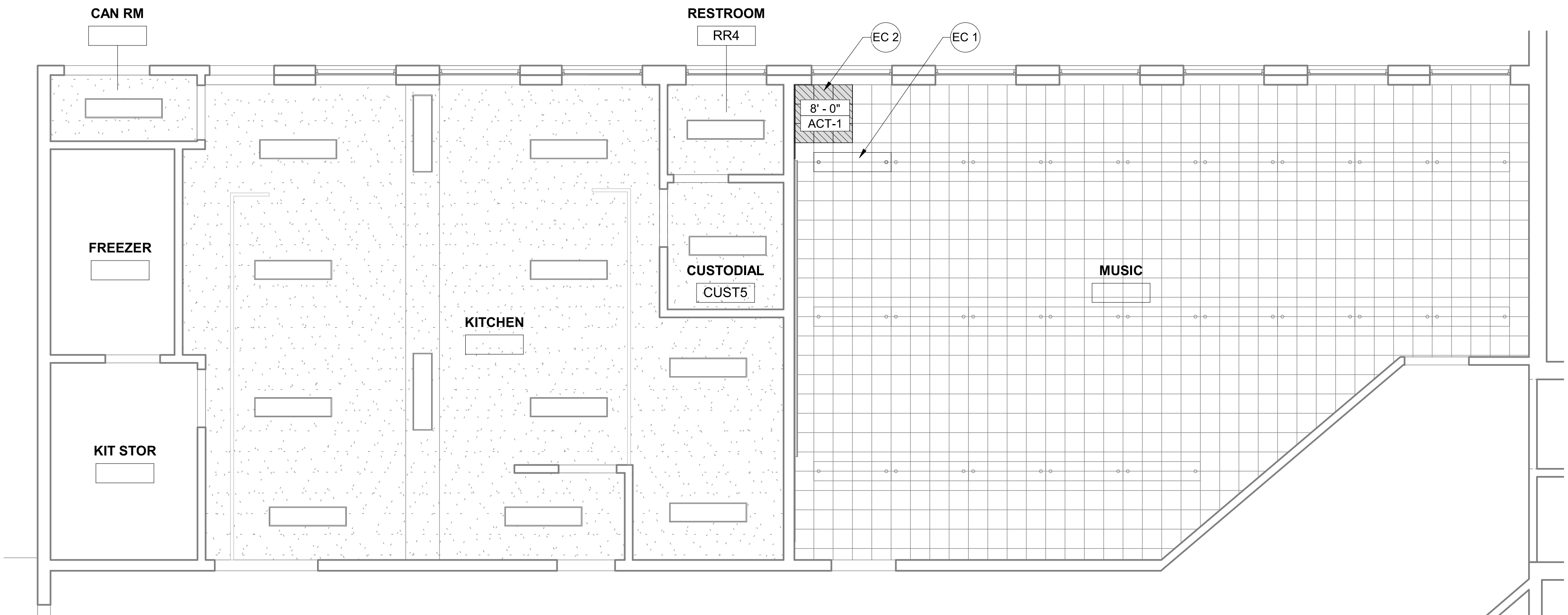
KEYNOTES - ENLARGED RCP

- C #
EC 1 Reinstalled 1x4 pendant light fixture, typ.
EC 2 Install new 1x1 glue - up ACT.

KEY PLAN



1 DEMOLITION ENLARGED REFLECTED CEILING PLAN - BASEMENT
1/4" = 1'-0"



2 ENLARGED REFLECTED CEILING PLAN - BASEMENT
1/4" = 1'-0"

KCL

ENGINEERING

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Suite 100
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info@kclengineering.com
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Consultants:

Oh

OH PLANNING+DESIGN,
ARCHITECTURE

115 NW 1st Ave, Ste. 300
Portland, OR 97209

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f 503.224.5442

Stamp:

REGISTERED ARCHITECT

DEBRA K. HANSE

12/31/2022

#5530

PORTLAND, OR

STATE OF OREGON

Beaverton School District
West Tualatin View Elementary School
Piping

8800 SW Leahy Rd, Portland, OR 97225

Project No: 90064

Date: 3/15/2021

100% Construction Documents

Revision

Date

Drawing Name:
INTERIOR ELEVATIONS

Drawing #:
A-601

1 MUSIC ROOM DEMOLITION INTERIOR ELEVATION - WEST
1/2" = 1'-0"

2 MUSIC ROOM INTERIOR ELEVATION - WEST
1/2" = 1'-0"

SHEET NOTES - INTERIOR ELEVATION

A. All work to comply with 2019 Oregon Structural Specialty Code.
B. Keynotes are not sheet specific.
C. All dimensions shown are to face of finish U.N.O. Do not measure drawings to determine dimensions. Large scale details take precedence over smaller scale drawings.
D. Contractor shall field verify all existing construction and related conditions prior to starting demolition or new construction.
E. Contractor to inform architect of any discrepancies within drawings or between drawings and field conditions before commencement of affected work.
F. Locate and verify existence and use of existing utilities. Take necessary measures to protect and preserve function and condition of any utilities to be repaired, replaced, or reused in new construction. Coordinate work with Architect, Engineer and Owner.
G. All interior patching and repair shall occur in the interior improvements scope of work. Contractor shall protect all existing exposed construction from damage resulting from or related to demolition and construction operations.
H. Contractor shall repair or replace any existing construction to remain that is damaged in the course of the work to its original condition.
I. Where interruption of the building's Life Safety System is required to perform the work as described in the construction documents, or to coordinate with owner's operations, the Contractor shall provide interim Life Safety measures to comply with local code and owner's requirements.
J. Contractor is responsible for all waste removal and site clean up during performance of and at completion of the work.
K. Contractor to coordinate installation and scheduling of Owner or Owner's vendor provided or installed fixtures and equipment.
L. Contractor shall be solely responsible for the design and construction of all shoring and bracing required for construction of the Work. Contractor shall not store construction materials or equipment in a manner such that the design live loads of the structure are exceeded.
M. All features of the Work not fully shown shall be of the same type and character shown for similar conditions. In the event that additional work is required to complete the Work as intended or required by governing codes and safety regulations, yet omitted or not fully shown on the drawings. Contractor must still provide carpentry, mechanical, electrical and/or plumbing work as necessary for Certificate of Occupancy.

LEGEND - DEMOLITION INTERIOR ELEVATION

— — — — — EXISTING TO REMAIN
- - - - - EXISTING TO BE DEMOLISHED
[Hatched Box] EXISTING AREA OF PLYWOOD AND GYPSUM BOARD TO BE DEMOLISHED

LEGEND - INTERIOR ELEVATION

— — — — — EXISTING TO REMAIN
= = = = = NEW CONSTRUCTION
[Solid Grey Box] NEW AREA OF PLYWOOD AND GYPSUM BOARD TO BE DEMOLISHED

KEYNOTES - DEMOLITION INTERIOR ELEVATION

DN 1 Salvage and protect (E) tackboard for reinstallation.
DN 2 Demolish sanitary pipe. See Plumbing for details.
DN 3 Protect (E) pendant lights during construction.
DN 4 (E) Whiteboard to remain. Protect during construction.
DN 5 Protect (E) glulam beam.
DN 6 Remove, salvage and protect wall mounted electrical device for reinstallation.

KEYNOTES - INTERIOR ELEVATION

N 1 Install new wall panel and wood trim to match existing, over new gypsum board. Paint to match existing.
N 2 Reinstall salvaged tackboard.
N 3 Reinstall salvaged electrical device.

MECHANICAL ABBREVIATIONS			
AD	ACCESS DOOR OR AREA DRAIN	FS	FLOOR SINK
AFG	ABOVE FINISHED FLOOR	FTG	FOOTING
AFG	ABOVE FINISHED GRADE	GA	GAGE
CI	CAST IRON	GAL	GALLON
CL	CENTER LINE	GALV	GALVANIZED
COND	CONDENSATE	GC	GENERAL CONTRACTOR
CO	CLEAN OUT	GPH	GALLONS PER HOUR
CONC	CONCRETE	GPM	GALLONS PER MINUTE
CONTR	CONTRACTOR	HB	HOSE BIBB
CP	CONDENSATE PUMP/CIRC. PUMP	LAV	LAVATORY
CU	COPPER	MB	MOP BASIN
DN	DOWN	MH	MANHOLE
DR	DRAIN	NTS	NOT TO SCALE
DS	DOWNSPOUT	OD	OVERFLOW ROOF DRAIN
EJ	EXPANSION JOINT	PVC	POLYVINYL CHLORIDE
EQUIP	EQUIPMENT	SK	SINK
EX	EXISTING	SH	SHOWER
FD	FLOOR DRAIN	SO	STORM OVERFLOW
FDC	FIRE DEPARTMENT CONNECTION	ST	STORM
FLR	FLOOR	TYP	TYPICAL
		UR	URINAL
		WC	WATER CLOSET

PIPING LEGEND - PLUMBING	
SAN	SANITARY
SAN	SANITARY BELOW FLOOR

FITTINGS	
	ELBOW
	ELBOW - DOUBLE BRANCH
	ELBOW - OUTLET DOWN
	ELBOW - OUTLET UP
	ELBOW - LONG RADIUS
	ELBOW - SHORT RADIUS
	45° ELBOW
	TEE - VENT
	TEE - SANITARY
	TEE - OUTLET DOWN
	TEE - OUTLET UP
	TEE - SIDE OUTLET DOWN
	TEE - SIDE OUTLET UP
	CROSS - VENT
	CROSS - SANITARY
	LATERAL
	TEE - SINGLE SWEEP "COMBO WYE"
	REDUCER - CONCENTRIC
	REDUCER - ECCENTRIC
	CAPPED CONNECTION
	FLANGED CONNECTION

- KEYNOTES
- GENERAL NOTES:
- 1

2

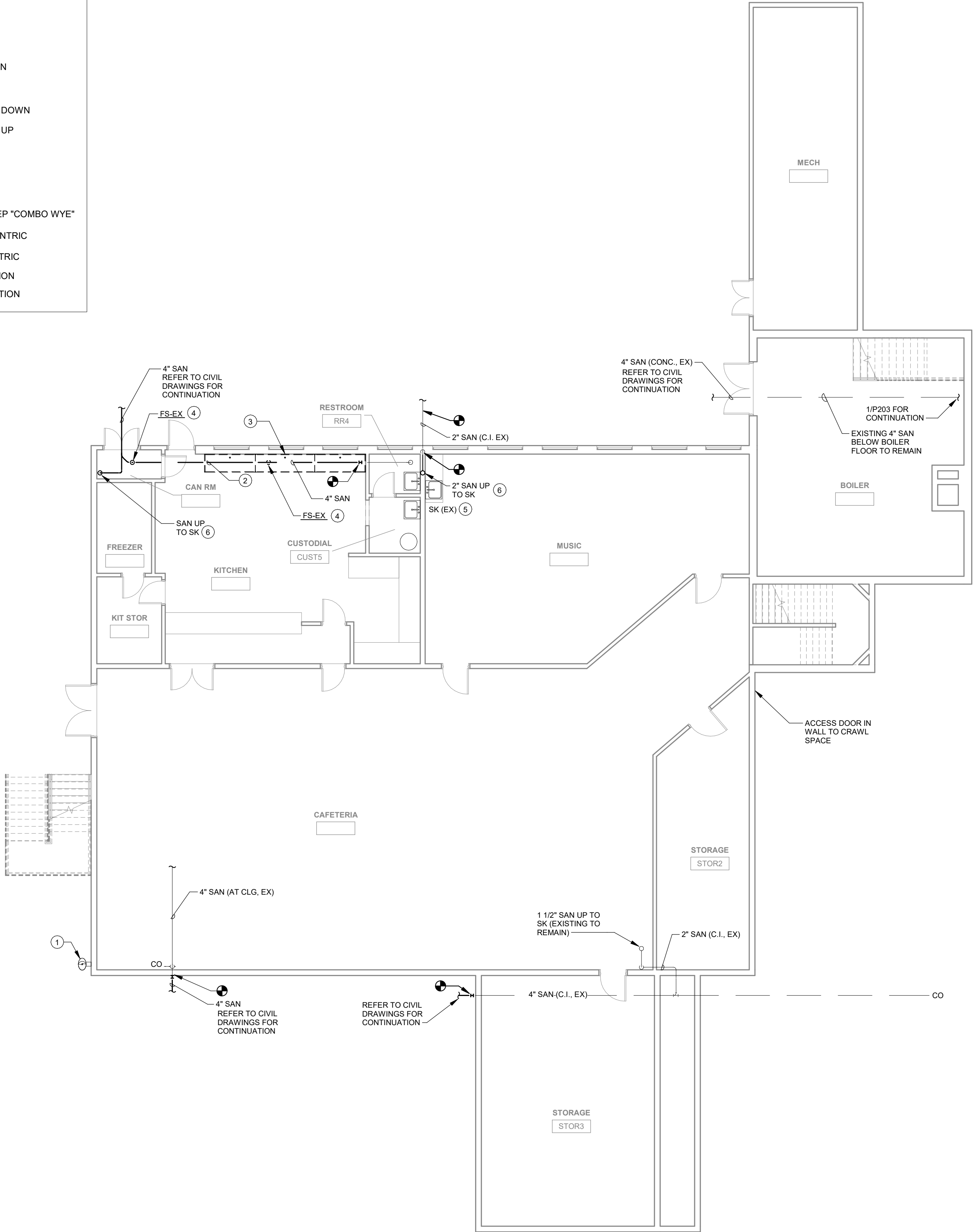
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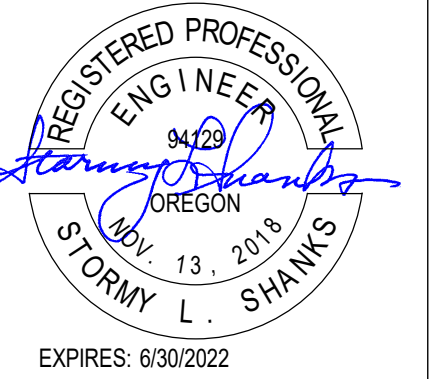
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6
1.

2.
- DEMOLISH DRINKING FOUNTAIN AND SANITARY BRANCH LINE.
REPLACE EXISTING SAN PIPING WHERE SHEAR FAILURE HAS OCCURRED WITH NEW ABS SANITARY PIPING. RECONNECT EXISTING FLOOR SINKS AND EXISTING VENT PIPING BELOW THE FLOOR.
DISCONNECT SINK IN KITCHEN TO ACCOMODATE SEWER WORK. RECONNECT AFTER FLOOR PATCHING IS COMPLETE.
RECONNECT EXISTING FLOOR SINK TO REPLACED SAN UNDER FLOOR.
REPLACE 1 1/2" GALVANIZED SANITARY WASTE FROM THE TRAP OUTLET TO WHERE THE PIPE PENETRATES THE FLOOR SLAB. PROVIDE A CLEANOUT UNDER THE SINK.
REPLACE 1 1/2" GALVANIZED SAN WITH 2" ABS SAN.
- REFER TO P201 FOR GENERAL NOTES & SYMBOLS.
EXISTING CONDITIONS SHOWN IN THE DRAWINGS ARE FROM EXISTING DRAWINGS AND NON-DESTRUCTIVE SITE OBSERVATION. FIELD VERIFY EXISTING CONDITIONS. REPORT SIGNIFICANT DEVIATIONS TO ENGINEER AND MARK ON RED-LINED AS-BUILTS.



1 PLUMBING PLAN - BASEMENT AREA E
1/8" = 1'-0"





BEAVERTON SCHOOL DISTRICT
WEST TUALATIN VIEW ELEMENTARY
SEWER REPLACEMENT
8800 SW Leahy Rd, Portland, OR 97225

Project No: 20160

Date: 03/15/21

100% CONSTRUCTION
DOCUMENTS

Revision Date

Drawing Name:
PLUMBING PLAN - MAIN
LEVEL AREA A

Drawing #:

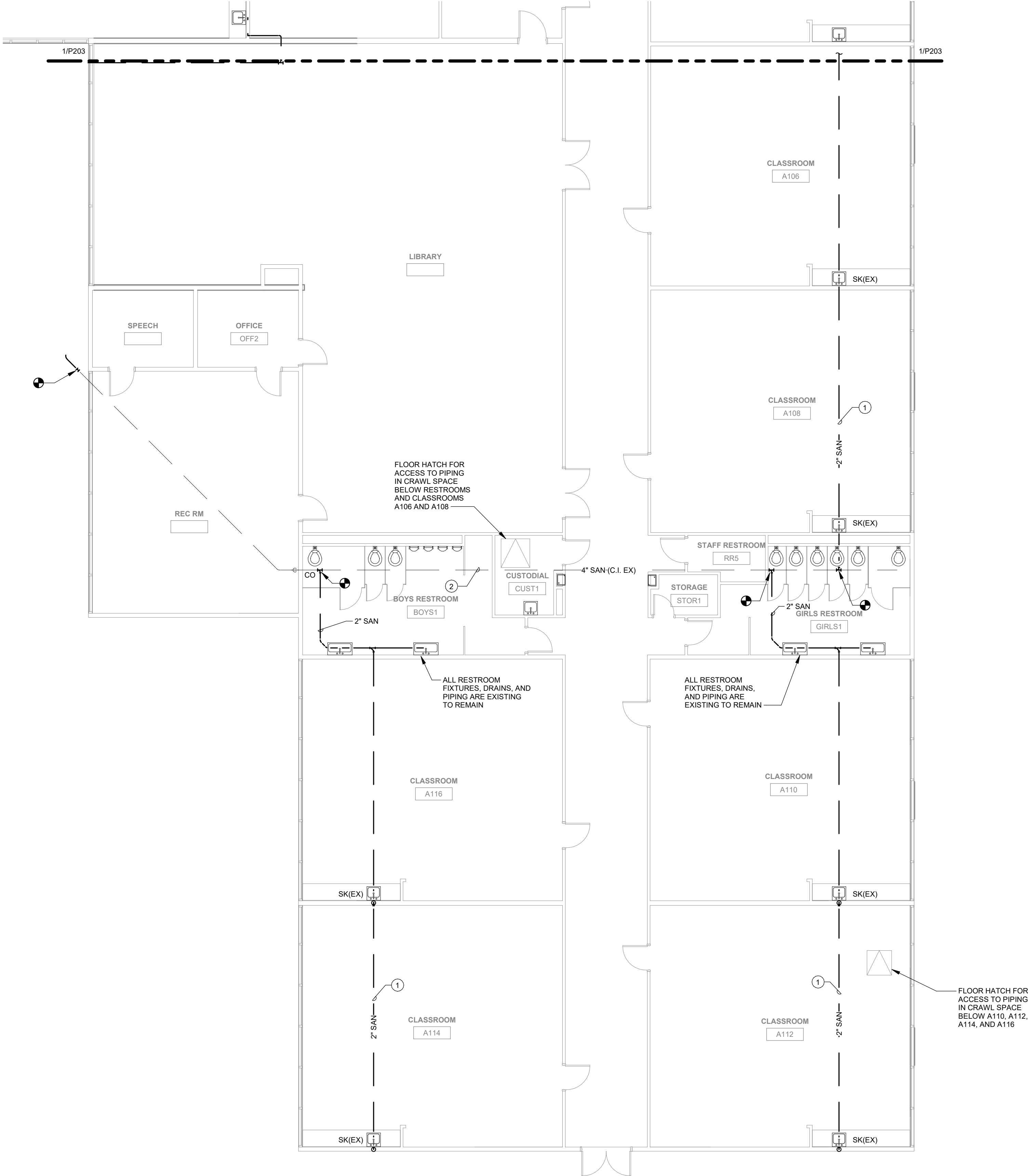
P202

KEYNOTES

1. REPLACE 1-1/2" GALVANIZED SANITARY WASTE PIPING IN CRAWL SPACE WITH NEW 2" ABS SANITARY PIPING AND SUPPORTS. REPLACE THE SANITARY WASTE PIPING UP TO THE TRAP OUTLET OF EACH SINK SERVED AND PROVIDE A NEW CLEANOUT UNDER EACH SINK. RECONNECT EXISTING VENT PIPING AT SINKS.
2. ADD SUPPORTS TO EXISTING 4" CAST IRON SANITARY MAIN IN CRAWL SPACE TO CORRECT THE SLOPE OF THE PIPE. THE PIPE HAS SAGGED AND IS SLOPED UPWARD IN THIS LOCATION.

GENERAL NOTES:

1. REFER TO P201 FOR GENERAL NOTES & SYMBOLS.
2. EXISTING CONDITIONS SHOWN IN THE DRAWINGS ARE FROM EXISTING DRAWINGS AND NON-DESTRUCTIVE SITE OBSERVATION. FIELD VERIFY EXISTING CONDITIONS. REPORT SIGNIFICANT DEVIATIONS TO ENGINEER AND MARK ON RED-LINED AS-BUILTS.



1 PLUMBING PLAN - MAIN LEVEL AREA A
1/8" = 1'-0"





BEAVERTON SCHOOL DISTRICT
WEST TUALATIN VIEW ELEMENTARY
SEWER REPLACEMENT
8800 SW Leahy Rd, Portland, OR 97225

Project No: 20160

Date: 03/15/21

100% CONSTRUCTION
DOCUMENTS

Revision Date

Drawing Name:
PLUMBING PLAN - MAIN
LEVEL AREA B

Drawing #:

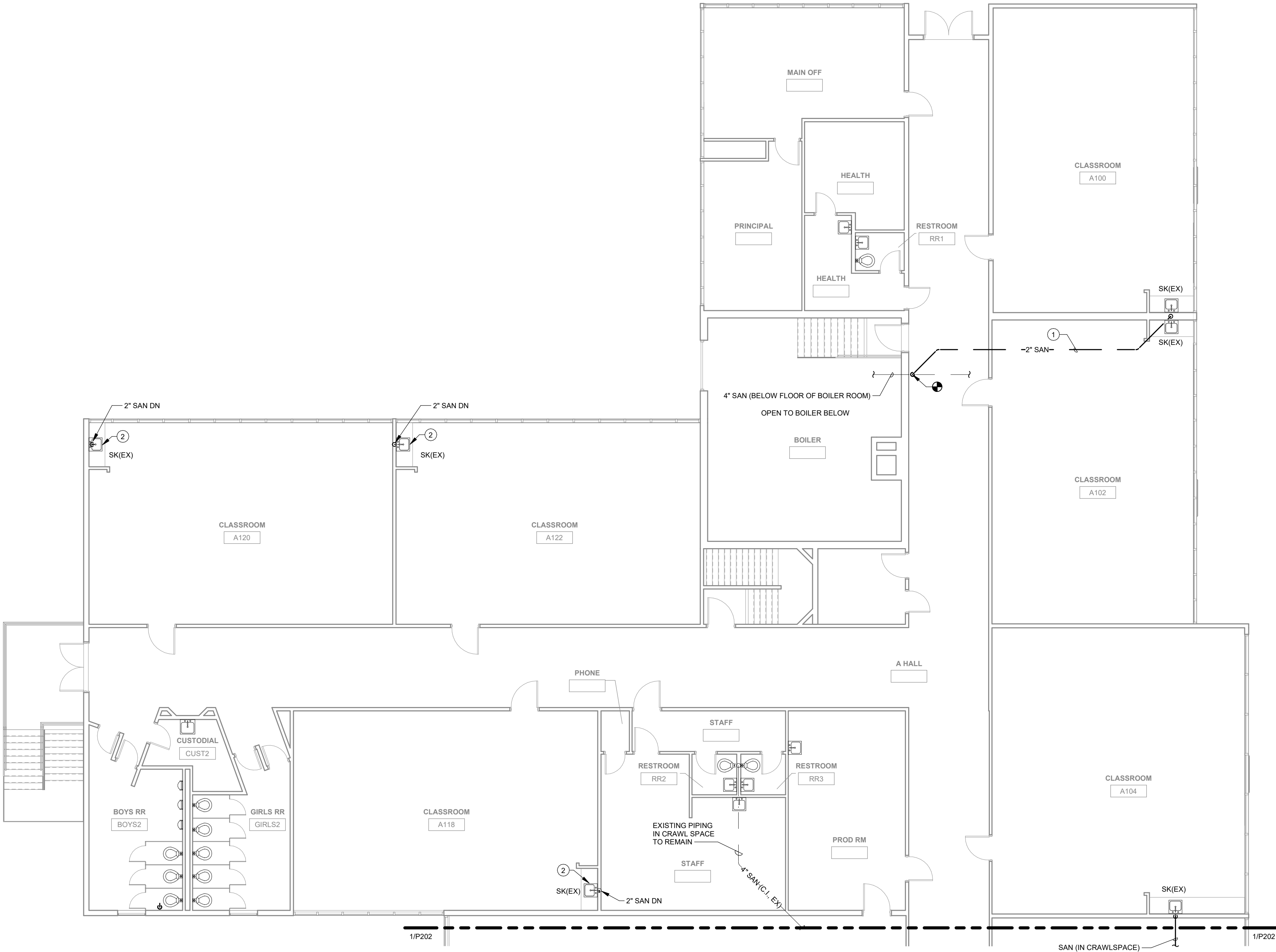
P203

KEYNOTES

- 1 REPLACE 1-1/2" GALVANIZED SANITARY WASTE PIPING IN CRAWL SPACE WITH NEW 2" ABS SANITARY PIPING AND SUPPORTS. REPLACE THE SANITARY WASTE PIPING UP TO THE TRAP OUTLET OF EACH SINK SERVED AND PROVIDE A NEW CLEANOUT UNDER EACH SINK. RECONNECT EXISTING VENT PIPING AT SINKS.
- 2 REPLACE 1-1/2" GALVANIZED SANITARY WASTE PIPE FROM SINK TRAP OUTLET TO SANITARY MAIN BELOW. RECONNECT EXISTING VENT PIPE AT SINK. PROVIDE A CLEANOUT UNDER THE SINK. PATCH WALLS AND CEILINGS BELOW TO MATCH EXISTING.

GENERAL NOTES:

1. REFER TO P201 FOR GENERAL NOTES & SYMBOLS.
2. EXISTING CONDITIONS SHOWN IN THE DRAWINGS ARE FROM EXISTING DRAWINGS AND NON-DESTRUCTIVE SITE OBSERVATION. FIELD VERIFY EXISTING CONDITIONS. REPORT SIGNIFICANT DEVIATIONS TO ENGINEER AND MARK ON RED-LINED AS-BUILTS.



1 PLUMBING PLAN - MAIN LEVEL AREA B
1/8" = 1'-0"