

TOWN OF VERNON  
**Planning & Zoning Commission (PZC)**  
Virtual Meeting Notice & Agenda  
**Thursday, March 18, 2021 7:30 PM**

Join Zoom Meeting

**Zoom Meeting Information**

<https://us02web.zoom.us/j/82151294398?pwd=VHpgR0RtbjlyNEFtSIJCQUFDM20wUT09>

**Meeting ID: 821 5129 4398    Passcode: Q5BD6V**

**By Phone: (646) 876 9923    Meeting ID: 821 5129 4398    Passcode: 574480**

AGENDA

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
  - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #7 "Other Business" requires Commission vote
  - 2.3 Approval of the Minutes from the **March 4, 2021**.
3. **New Application(s) for receipt, if any:**
  - 3.1 Application **[PZ-2021-05]** of Shaun Gately, Economic Development Coordinator, to amend the zoning regulations to permit temporary, permanent and seasonal outdoor dining.
4. **Public Hearing(s) and Action on Applications:**
  - 4.1 Application **[PZ-2021-02]** Krause Realty Trust, requests a zone change for two parcels, one located at 34 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00002) and the other located at 42 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00001). Both parcels are currently zoned R-27. The requested change is to rezone 1.1457 acres of the parcels to Commercial, in order to merge that portion into adjacent Commercial land to provide additional inventory parking at an automobile dealership, and to rezone 1.2407 acres of the parcels to Open Space Zone.
  - 4.2 Application **[PZ-2021-03]** Krause Realty Trust, requests a site plan of development approval for the expansion of parking areas for inventory storage at an automobile dealership, one located at 6 Hartford Tpke., (Assessor's ID: Map 01, Block 0159, Parcel 0001B), another located at 34 Acorn Rd., (Assessor's ID: Map 01, Block 0159A, Parcel 00002), and the last at 42 Acorn Rd., (Assessor's ID: Map 01, Block 0159A, Parcel 00001).
5. **8-24 Referrals, If any**
6. **Plan of Conservation and Development Update**
7. **Other Business/Discussion**
8. **Adjournment**

Roland Klee, Chairman

Planning & Zoning Commission

# **DRAFT MINUTES**

TOWN OF VERNON  
**Planning & Zoning Commission (PZC)**  
**Thursday, March 4, 2021 7:30 PM**

Via Zoom Meeting

Draft Minutes

1. **Call to Order & Roll Call by Roland Klee, Chairman @ 7:30PM**

- Regular members present: Roland Klee, Robin Lockwood, Mike Mitchell, Joseph Miller, Iris Mullan, Susan Reudgen and Jesse Schoolnik
- Alternate Member: Carl Bard
- Absent Members: -
- Staff present: George McGregor, Town Planner
- Recording secretary: Jill Rocco

2. **Administrative Actions/Requests**

- 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #7 "Other Business" requires Commission vote

Robin Lockwood moved to **ADOPT** the agenda as submitted. Joseph Miller seconded and the motion carried unanimously.

- 2.3 Approval of the Minutes from the **February 18, 2021**.

Susan Reudgen moved to **APPROVE** the minutes from February 18, 2021. Mike Mitchell seconded and the motion carried unanimously.

3. **New Application(s) for receipt, if any:**

NONE

4. **Public Hearing(s) and Action on Applications:**

4.1 Application [**PZ-2021-04**] Ernesto Aulet, requests a special permit pursuant to Section 4.10.4.4, to allow an Automotive Repair Shop at 77 Industrial Park Rd., Assessor's ID: Map 28, Block 133, Parcel 5H). This property is zoned Industrial.

- Chairman Roland Klee, read the following teleconference rules into the record:
  1. Any member of the public who wishes to provide public comment may participate remotely via computer with a microphone and ZOOM link or via telephone call-in number
  2. We ask that all participants "MUTE" their phones and that the meeting organizer may mute participants if excessive noise or feedback interrupts the meeting.
  3. Speakers are encouraged to use the ZOOM Chat function to alert the host that they would like to speak.

4. At the appropriate time, the Chairman will call for public comment. Speakers should unmute their phones by pressing \*6 and then clearly identify their name and address.

5. Speakers should direct their comments through the Chairman

6. Please be patient.

- Town Planner George McGregor read the legal notice into the record.
- Legal notice was published in the Journal Inquirer on February 20, 2021 and February 27, 2021.
- Proper notice has been provided to the COG, adjoining towns and the Town Clerk.
- Town Planner George McGregor explained the details of the application and presented a map of the specifics.
- Staff report was provided with two specific conditions.
- Mark Peterson, Engineer with Gardner & Peterson Associates, LLC of 178 Hartford Tpke., Tolland, CT, spoke representing the applicant in regards to the application.
- Discussion ensued.
- Roland Klee, Chairman, opened the Public Hearing at 7:42 PM.
- No one spoke in favor of or opposed.
- Ann Letendre, 29 Gottier Dr., spoke with comments.
- Discussion ensued.
- Mark Peterson of Gardner & Peterson Associates LLC, responded.

Robin Lockwood moved to close the Public Hearing at 7:51 PM. Joseph Miller seconded and the motion carried unanimously.

Susan Reudgen made a motion that the Planning and Zoning Commission Approve **PZ-2021-04**, a special permit automotive repair shop based upon a finding that the special permit meets the relevant general special permit criteria of 17.3.1, subject to the following conditions:

1. All towing and repair functions shall take place inside the +-8,000 sf area defined as Suite 1 of 77 Industrial Park Drive, as shown on the Site plan dated 2-24-21, prepared by Gardner & Peterson. The project shall be developed in substantial conformance with the referenced Site Plan, including all notes.
2. No outdoor activity is permitted. No towed vehicles, stored vehicles, or vehicles under repair are permitted outside of the facility. There shall be no outdoor storage area.
3. Per site plan installation of a catch basin hood in the last catch basin prior to the outlet at the nearby stream.
4. Per site plan a spill kit be provided within the building should a discharge of vehicle fluids occur.



Robin Lockwood seconded and the motion carried unanimously.

5. **8-24 Referrals, If any**

**NONE**

6. **Plan of Conservation and Development Update**

- Town Planner, George McGregor gave a brief update that he is working with the firm SLR on draft strategies and making changes per commission in regards to goals and objectives.
- April 1, 2021 meeting, they will share a draft on future land use map and categories.

7. **Other Business/Discussion**

7.1 Draft PZC Meeting Procedures Summary, dated February 25, 2021.

- The commission discussed the “Guide to Planning and Zoning Commission Meetings” that was supplied with the agenda and on the Town website.

Other discussion:

- Outdoor dining zoning ordinance Executive Order was discussed.
- Executive session was discussed – how it should happen during a Zoom meeting
- Building permits

8. **Adjournment**

Susan Reudgen moved to **ADJOURN** at 8:20 PM. Mike Mitchell seconded and the motion carried unanimously.

Jill Rocco  
Recording Secretary

**APPLICATION**  
**For Receipt**

**TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)**

**APPLICATION**

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

*The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.*

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

**I. APPLICANT:**

Name: Shaun Gately - TOV Economic Develop.

Title: \_\_\_\_\_

Company: Town of Vernon

Address: 55 West Main St.

Vernon Ct 06066

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

**II. PROPERTY OWNER (S):**

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Company: N/A

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

### III. PROPERTY

Address: \_\_\_\_\_

Assessor's ID Code:      Map # \_\_\_\_\_ Block # \_\_\_\_\_ Lot/Parcel # \_\_\_\_\_

Land Record Reference to Deed Description: Volume: \_\_\_\_\_ Page \_\_\_\_\_

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☐ No

☐ Yes

☐ No work will be done in regulated area

☐ Work will be done in the regulated area

☐ IWC application has been submitted

☐ IWC application has not been submitted

Zoning District \_\_\_\_\_

Is this property located within five hundred (500) feet of a municipal boundary?

☐ No

☐ Yes:

☐ Bolton

☐ Coventry

☐ Ellington

☐ Manchester

☐ South Windsor

☐ Tolland

N/A

Check if Historic Status Applies:

☐ Located in historic district:

☐ Rockville

☐ Talcottville

☐ Individual historic property

#### IV. PROJECT

Project Name: Text Amendment to Zoning Regulations

Project Contact Person:

Name: Shaun Gately

Title: \_\_\_\_\_

Company: Town of Vernon

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

## V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose:

Text Amendment to Zoning Regulations

General Activities:

To Amend the zoning regulations  
to permit temporary, permanent and  
seasonal outdoor dining.

## VI. APPROVAL (S) REQUESTED

### Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

\_\_\_\_ Other Special Permit(s). Cite ZR Section and describe activity:

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\_\_\_\_ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

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**Zoning:**

\_\_\_\_ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

☒ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

\_\_\_\_ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

*See Zoning Regulations Section 22 for application fee schedules.*


\_\_\_\_ Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

  
\_\_\_\_\_  
Signature

\_\_\_\_\_  
Signature

  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

***TO BE FILLED IN BY THE PLANNING DEPARTMENT***

Date Application Submitted \_\_\_\_\_

Date Application Received by Commission \_\_\_\_\_

PZC File: \_\_\_\_\_



**Town of Vernon Outdoor Dining**  
**Draft Zoning Regulations Amendment**

**March 8, 2021**

**Revised March 11, 2021**

Narrative: With the Governors Executive Orders due to expire, The Town of Vernon proposes to amend the Town Zoning Regulations to address temporary, seasonal, and permanent outdoor dining as permitted accessory uses.

**Add New Section**

**3.31 Outdoor Dining.** Nothing in these regulations shall prohibit temporary outdoor dining on a seasonal basis, where tables, chairs, and other items are located for patrons of any use where food and beverages are served. The following regulations apply:

3.31.1 **Location.** Outdoor dining may be located anywhere on the parcel (including the parking lot) or on an adjacent properly zoned vacant parcel and except as 3.31.2.

3.31.2 **Required Yards.** Outdoor dining is permitted in any required yard, except in cases where the outdoor dining is located in a required yard which abuts a residential district; or when permanent structures are proposed.

3.31.2 **Accessibility.** Outdoor dining areas shall not block handicap parking spaces or handicap ramps. All outdoor dining shall be ADA accessible.

3.31.3 **Parking.** Outdoor dining shall not be included in parking calculation, unless outdoor dining replaced existing parking spaces. Then, adequate parking must be demonstrated.

3.31.4 **Enclosures.** For outdoor dining in a parking lot, adjacent to, or where vehicular conflicts are present, a safety barrier, approved by the fire Marshal, shall be installed. The safety barrier shall be constructed of heavy planters with vegetation.

3.31.5 **Seasonality.** All tables, chairs, trash receptacles, barriers, etc...shall be removed at the end of each outdoor dining season.

3.31.6 **Lighting.** Glare falling outside the outdoor dining area is prohibited.

3.31.7 **Application process.** A temporary outdoor dining and activity application is required on annual basis and shall be effective March 1 of each year.

3.31.8 **Permanent structures.** If permanent structures are proposed, such as decking or canopies, the minor modification site plan process is required.

# **APPLICATION**

**2**

## **TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)**

### **APPLICATION**

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

*The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.*

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

#### **I. APPLICANT:**

Name: The Krause Realty Trust

Title: \_\_\_\_\_

Company: \_\_\_\_\_

Address: 24 Hartford Turnpike

Vernon, CT 06066

Telephone: 860-649-6550

Fax: \_\_\_\_\_

E-mail: pkrause@krausecars.com

#### **II. PROPERTY OWNER (S):**

Name: Same as applicant

Title: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

### III. PROPERTY

Address: 34 and 42 Acorn Road

Assessor's ID Code:    Map #    \* Block #    \* Lot/Parcel #    \*    \*See attached Addendum

Land Record Reference to Deed Description: Volume:    \* Page    \*

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

   No

  X   Yes

   No work will be done in regulated area

  X   Work will be done in the regulated area

  X   IWC application has been submitted (approved by IWC on 1/26/2021)

   IWC application has not been submitted

Zoning District   R-27  

Is this property located within five hundred (500) feet of a municipal boundary?

   No

  X   Yes:

   Bolton

   Coventry

   Ellington

  X   Manchester

   South Windsor

   Tolland

Check if Historic Status Applies:

   Located in historic district:

   Rockville

   Talcottville

   Individual historic property

#### IV. PROJECT

Project Name: Subaru Zone Change

Project Contact Person:

Name: Dorian R. Famiglietti

Title: Attorney for Applicant

Company: Kahan, Kerensky & Capossela, LLP

Address: 45 Hartford Turnpike

Vernon, CT 06066

Telephone: 860-646-1974 Fax: 860-647-8302

E-mail: dfamiglietti@kkc-law.com

## **V. PZC APPLICATION PROJECT SUMMARY**

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Zone Change of subject parcels - see attached Addendum

General Activities: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

## **VI. APPROVAL (S) REQUESTED**

### **\_\_\_\_ Subdivision or Resubdivision**

- \_\_\_\_ Subdivision (Sub. Sec. 4, 5, 6)
- \_\_\_\_ Resubdivision (Sub. Sec. 4, 5, 6)
- \_\_\_\_ Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- \_\_\_\_ Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- \_\_\_\_ Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

### **\_\_\_\_ Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)**

### **\_\_\_\_ Site Plan of Development (POD) (ZR Sec. 14)**

- \_\_\_\_ POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- \_\_\_\_ Modification of an approved POD (ZR Sec. 14.1.1.1)
- \_\_\_\_ Minor modification of a site POD (ZR Sec. 14.1.1.2)

### **\_\_\_\_ Special Permit(s) (ZR Section 17.3)**

- \_\_\_\_ Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- \_\_\_\_ Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- \_\_\_\_ Special Permit for use in a district (ZR Sec. 1.2 & 4)
- \_\_\_\_ Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- \_\_\_\_ Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- \_\_\_\_ Special Permit for parking (ZR Sec. 4; 12; 21.4)
- \_\_\_\_ Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- \_\_\_\_ Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- \_\_\_\_ Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- \_\_\_\_ Special Permit for massage (ZR Sec. 2.76-78; 4)
- \_\_\_\_ Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- \_\_\_\_ Special Permit for dumps and/or incinerators (ZR Section 8)

\_\_\_\_ Other Special Permit(s). Cite ZR Section and describe activity:

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\_\_\_\_ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

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  X   **Zoning:**

  X   Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)  
\_\_\_\_ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

\_\_\_\_ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

*See Zoning Regulations Section 22 for application fee schedules.*

\_\_\_\_ Dealer or Repairer License (location approval for DMV)

## **VII. APPLICATION CONDITIONS / STIPULATIONS**

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

**THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.**

**APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.**



Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

*TO BE FILLED IN BY THE PLANNING DEPARTMENT*

Date Application Submitted \_\_\_\_\_

Date Application Received by Commission \_\_\_\_\_

PZC File: \_\_\_\_\_

## ADDENDUM TO ZONE CHANGE APPLICATION

Applicant: Krause Realty Trust  
Property: 34 Acorn Road  
          42 Acorn Road  
Date: February 16, 2021

### Properties involved:

34 Acorn Road                      Zone: R-27  
Assessor's Parcel:              01-159A-00002  
Vernon Land Records:          Volume 2662, Page 61

42 Acorn Road                      Zone: R-27  
Assessor's Parcel:              01-159A-00001  
Vernon Land Records:          Volume 2662, Page 61

The Krause Realty Trust (the "Applicant") is the owner of the two (2) above referenced properties, having acquired the same in June, 2020. The Applicant seeks to use a portion of these properties to provide additional inventory parking (for new cars) for its Subaru dealership, which is operated on adjacent properties at 6, 14 and 24 Hartford Turnpike. The details of the proposed parking area are set forth on sheets 5 and 6 of the attached plan set, for informational purposes. Note – a separate Application for Site Plan Approval to create the proposed parking area is being submitted for the Commission's consideration and approval simultaneously herewith.

To accomplish this objective, the Applicant proposes to reconfigure the lots lines of the subject parcels (as shown on sheet 2 of the attached plan set) into Parcels A and B, such that:

- Parcel A, containing 1.1457 acres of the subject parcels, will then be merged into adjacent property of the Applicant at 6 Hartford Turnpike; and
- Parcel B, containing 1.2407 acres of the subject parcels, will remain as a separate lot.

It should be noted that the lot line reconfiguration does NOT require zoning, subdivision or resubdivision approval because no new lots are being created. Two (2) lots exist today (34 and 42 Acorn Road) and one (1) lot will exist after the lot line reconfiguration.

This application requests approval of a zone change (as shown on sheets 3 and 4 of the attached plan set) as follows:

- **Parcel A will be changed from R-27 to Commercial; and**
- **Parcel B will be changed from R-27 to the Open Space Zone.**

In addition, to further protect Parcel B from future development, the Applicant proposes to place a Conservation Easement over Parcel B.

Upon approval of the Commission of the proposed zone change, the Applicant will file with the Town Clerk a lot line reconfiguration map reflecting the adjustments shown on sheet 2 of the plan set. Per the attached legal opinion issued by Town Attorney Louis A. Spadaccini, dated

October 2, 2017, the Commission has the authority to condition the zone change upon the subsequent filing of the lot line adjustment map.

The Applicant does not expect the proposed zone change to have a negative impact on traffic on the surrounding roadways. The proposed parking area will be used for storage of additional inventory only and, as such, will not generate additional trips to the dealership. Furthermore, the proposed parking area will be accessed solely by means of the existing curb cut and driveway areas associated with 6 Hartford Turnpike and will not require the creation of a new access drive from Acorn Road. Still further, with the rezoning of Parcel B to the Open Space Zone, it will eliminate the possibility of a driveway associated with future development of that lot from Acorn Road. Instead, Parcel B will remain undeveloped and there will be no need for vehicular access to the same from Acorn Road.

The Applicant and its consultants will make a full presentation of the application at the public hearing.

**Blackwell & Spadaccini LLC**  
*Attorneys at Law*

David H. Blackwell, Esq.  
Louis A. Spadaccini, Esq.

October 2, 2017

Shaun Gately, Economic Development Director  
Marina Rodriguez, Director of Planning  
Town of Vernon  
14 Park Place  
Vernon, CT 06066

**Re: Proposed Zone Change – Suburban Subaru, Hartford Turnpike**

Dear Shaun and Marina:

You have asked that I provide a legal opinion regarding a couple of issues concerning a proposed zone change of two rear lots owned by Suburban Subaru that are currently zoned residential. As part of the proposed zone change, Suburban Subaru seeks to adjust the lot lines between the residential rear lots and the abutting commercial dealership parcel so that the two rear lots would be eliminated with one conforming residential lot remaining and the balance of the land merged into the adjacent dealership parcel.

You have asked whether Suburban Subaru must first complete a lot line adjustment prior to seeking the zone change or can the Vernon Planning and Zoning Commission make its zone change approval subject to a condition requiring the lot line adjustment. It is my opinion that the zone change can be conditioned upon the subsequent filing of a lot line adjustment. This is a sensible way to handle this matter given that the lot line adjustment would not be necessary if the zone change is not approved.

A lot line adjustment does not require approval from the Planning and Zoning Commission. "[a] minor lot line adjustment between two existing lots, whereby no new lot is created, does not constitute a 'subdivision' as defined by [General Statutes] § 8-18 and, thus, does not require municipal approval" Goodridge v. Zoning Board of Appeals, 58 Conn.App. 760, 765-66, 755 A.2d 329 cert. denied, 254 Conn. 930, 761 A.2d 753 (2000); McCrann v. Town Plan & Zoning Commission, 161 Conn. 65, 70, 282 A.2d 900 (1971).

While a Planning and Zoning Commission cannot make a zone change conditional upon the approval of a separate public agency, it may attach conditions to an approval so as to bring an application into conformity with the regulations. *See, R.Fuller, 9 Connecticut Practice Series: Land Use and Law Practice (4<sup>th</sup> Ed. 2015) Sec. 22.16.* A condition that Suburban Subaru file a lot line adjustment to make the boundary lines of the properties consistent with the zone change is appropriate as it does not require the approval of any other agency. Requiring the lot line adjustment prior to the approval of the zone

Page 2.

Shaun Gately, Economic Development Director

Marina Rodriguez, Director of Planning

October 2, 2017

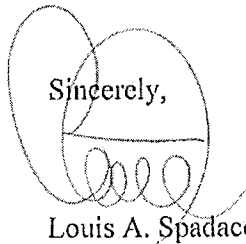
change potentially creates an undesirable split zoning of the parcel containing the dealership if the zone change is not approved.

You have also asked whether the Plan of Conservation and Development is binding upon the Planning and Zoning Commission when considering a zone change. It is my opinion that the Plan of Conservation and Development is advisory only.

The Connecticut Supreme Court has repeatedly recognized that "a town plan is merely advisory. Lathrop v. Planning & Zoning Commission, 164 Conn. 215, 223, 319 A.2d 376 (1973); Spada v. Planning & Zoning Commission, 159 Conn. 192, 200, 268 A.2d 376 (1970); Dooley v. Town Plan & Zoning Commission, 154 Conn. 470, 473, 226 A.2d 509 (1967). The purpose of the [town] plan is to set forth the most desirable use of land and an overall plan for the town.... [S]ee Mott's Realty Corporation v. Town Plan & Zoning Commission, 152 Conn. 535, 538, 209 A.2d 179 (1965). Purtill v. Town Plan & Zoning Commission, 146 Conn. 570, 572, 153 A.2d 441 (1959)." (Citation omitted.) Smith v. Zoning Board of Appeals, 227 Conn. 71, 87-88, 629 A.2d 1089 (1993), cert. denied, 510 U.S. 1164, 114 S.Ct. 1190, 127 L.Ed.2d 540 (1994). The development plan is the planning commission's recommendation on the most desirable uses of all land within the community, including all public and private uses from street layouts to industrial sites. *T. Tondro, Connecticut Land Use Regulation* (2d Ed.1992) pp. 203-204. Because the overall objectives contained in the town plan must be implemented by the enactment of specific regulations, the plan itself can operate only as an interpretive tool. See, e.g., Raybestos-Manhattan, Inc. v. Planning & Zoning Commission, 186 Conn. 466, 475, 442 A.2d 65 (1982). Smith v. Zoning Board of Appeals, supra, at 88, 629 A.2d 1089." Avalonbay Communities, Inc. v. Town of Orange, 256 Conn. 557, 574-575 (2001).

If you have any questions or need any further information, please do not hesitate to call.

Sincerely,

A handwritten signature in dark ink, appearing to read "Louis A. Spadaccini". The signature is written in a cursive style with a large, looping initial "L".

Louis A. Spadaccini

USE THIS FORM ONLY IF THE REQUIREMENTS OF  
8.3(a)/22-a-42a(b) OF THE C.G.S. MUST BE MET

RECEIPT FOR DOCUMENTS SUBMITTED FOR PUBLIC INSPECTION

TO: VERNON TOWN CLERK  
FROM: Dorian R. Famiglietti  
REFERENCE: Zone Change Application - 34 and 42 Acorn Road  
DATE: February \_\_, 2021

The attached documents, consisting of:

1. Copy of Zone Change Application, Applicant = The Krause Realty Trust  
Property = 34 and 42 Acorn Road, Vernon
2. Copy of Zone Change Plans prepared by Messier Survey, LLC, dated

Are being submitted for public inspection under CGS 8-3(a)/22a-42a (b).

Received: \_\_\_\_\_

Vernon Town Clerk \_\_\_\_\_  
Signature

Date: \_\_\_\_\_

Return to:  
Krause Realty Trust  
24 Hartford Turnpike  
Vernon, CT 06066

**STATUTORY FORM WARRANTY DEED**

IT, **ANTHOS ACORN 32-34, LLC**, a Connecticut limited liability company, having a place of business in the Town of Nanuet, and State of New York (the "Grantor"),

for the consideration of SIXTY-FIVE THOUSAND AND 00/100 DOLLARS (\$65,000.00) paid grants to **KRAUSE REALTY TRUST**, having a place of business in the Town of Vernon, County of Tolland and State of Connecticut (the "Grantee")

with WARRANTY COVENANTS:

A certain piece or parcel of land, situated in the Town of Vernon, County of Tolland and State of Connecticut, known as 34 Acorn Road (Parcel No. 01159A00002) and 42 Acorn Road (Parcel No. 01159A00001), and more fully described in Schedule A attached hereto and made a part hereof.

Said premises are subject to any and all provisions of any ordinance, municipal regulation, or public or private law.

Said premises are subject to Taxes due the Town of Vernon on the List of October 1, 2019, which taxes the Grantee herein assumes and agrees to pay as part consideration for this conveyance.

Said premises are subject to the following:

As to both 34 Acorn Road 42 Acorn Road:

- (a) A utility easement in favor of The Connecticut Light and Power Company dated June 4, 1956 and recorded June 21, 1956 in Volume 107 at Page 30 of the Vernon Land Records.
- (b) Caveat dated June 15, 1978 and recorded June 21, 1978 in Volume 336 at Page 10 of the Vernon Land Records.
- (c) Notice dated August 15, 1980 and recorded August 18, 1980 in Volume 388 at Page 163 of the Vernon Land Records.
- (d) Certificate of Taking dated October 22, 1980 and recorded October 22, 1980 in Volume 394 at Page 264 of the Vernon Land Records.
- (e) Certificate of Notice of Assessments and Deferral of Payments recorded April 3, 1991 in Volume 828 at page 246 of the Vernon Land Records.

CONVEYANCE TAX RECEIVED  
STATE \$ 4487.50  
LOCAL \$ 4162.50  
KAREN C. DAIGLE  
TOWN CLERK OF VERNON

- (f) Affidavit dated December 27, 2008 and recorded December 28, 2007 in Volume 1971 at page 239 of the Vernon Land Records.
- (g) Building lines, notes, sanitary easements and 20' conservation easement to be deeded to the Town of Vernon as shown on map.

As to 42 Acorn Road only:

- (h) Certificate of Notice of Installment Payment of Assessment of Benefits recorded March 23, 1983 in Volume 451 at page 129 of the Vernon Land Records.

As to 34 Acorn Road only:

- (i) Certificate of Notice of Installment Payment of Assessment of Benefits recorded March 23, 1983 in Volume 451 at page 127 of the Vernon Land Records.
- (j) Certificate of Notice of Installment Payment of Assessment Benefits recorded March 23, 1983 in Volume 451 at page 128 of the Vernon Land Records.

*(signature page to follow)*



Signed this 16 day of June, 2020.

Signed, sealed and delivered  
in the presence of:

Cheryl Adler

ANTHOS ACORN 32-34, LLC

By: [Signature]  
Haralambos Kostopoulos  
Its Member, duly authorized

STATE OF NEW YORK )

) ss.

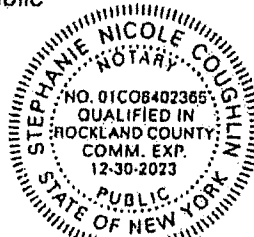
June 16 2020

COUNTY OF Rockland

On this 16 day of June, 2020, before me, Stephanie Coughlin the undersigned officer, personally appeared Haralambos Kostopoulos who acknowledged himself to be the Member of ANTHOS ACORN 32-34, LLC, and that he as such Member, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the limited liability company by himself as Member, duly authorized.

[Signature]  
Notary Public

Grantee's Address:  
24 Hartford Turnpike  
Vernon, CT 06066



## SCHEDULE A

### LEGAL DESCRIPTION

A certain piece or parcel of land situated in the Town of Vernon, County of Tolland and State of Connecticut, shown as "LOT 1" on a map entitled "ACORN ROAD VERNON, CONNECTICUT REAR LOT APPLICATION 2.68 ACRES, ALL LOTS - ZONE R-27 PREPARED FOR HOMEOWNERSHIP ASSISTANCE 549 BURNSIDE AVE EAST HARTFORD, CT JOB NO: 04-P34 DRAWN BY: T.I. DESIGNED BY: T.I. CHECKED BY: T.I. DATE: 3/1/06 SCALE: 1" = 40' DRAWING NO: C1 ENGINEERS: INGA CONSULTING ENGINEERS ANDREW T. INGA 139 WHITNEY STREET HARTFORD, CONNECTICUT REG. 14894 PHONE 860-233-4991 SURVEYOR: OSWALD BUNT REGISTERED LAND SURVEYOR WINDSOR, CONNECTICUT REG. 12048 REVISIONS 0 3/1/06 1 6/7/06 Conservation easement, driveway turn around 2 7/21/06 Relocate Road and Detention Basin" said map has been filed as map #5036 in the land records of the Town of Vernon where a more particular description may be had.

A certain piece or parcel of land situated in the Town of Vernon, County of Tolland and State of Connecticut, shown as "LOT 2" on a map entitled "ACORN ROAD VERNON, CONNECTICUT REAR LOT APPLICATION 2.68 ACRES, ALL LOTS - ZONE R-27 PREPARED FOR HOMEOWNERSHIP ASSISTANCE 549 BURNSIDE AVE EAST HARTFORD, CT JOB NO: 04-P34 DRAWN BY: T.I. DESIGNED BY: T.I. CHECKED BY: T.I. DATE: 3/1/06 SCALE: 1" = 40' DRAWING NO: C1 ENGINEERS: INGA CONSULTING ENGINEERS ANDREW T. INGA 139 WHITNEY STREET HARTFORD, CONNECTICUT REG. 14894 PHONE 860-233-4991 SURVEYOR: OSWALD BUNT REGISTERED LAND SURVEYOR WINDSOR, CONNECTICUT REG. 12048 REVISIONS 0 3/1/06 1 6/7/06 Conservation easement, driveway turn around 2 7/21/06 Relocate Road and Detention Basin" said map has been filed as map #5036 in the land records of the Town of Vernon where a more particular description may be had.

RECORDED IN  
VERNON LAND RECORDS  
KAREN C. DAIGLE  
VERNON TOWN CLERK  
ON JUN 22 2020 AT 03:01 PM



+

-

34 acorn

No results found



Posted 2/16/2021

RECEIVED  
VERNON TOWN CLERK

USE THIS FORM ONLY IF THE REQUIREMENTS OF  
8.3(a)/22-a-42a(b) OF THE C.G.S. MUST BE MET

21 FEB 16 PM 1:01

RECEIPT FOR DOCUMENTS SUBMITTED FOR PUBLIC INSPECTION

TO: VERNON TOWN CLERK  
FROM: Dorian R. Famiglietti  
REFERENCE: Zone Change Application - 34 and 42 Acorn Road  
DATE: February 16, 2021

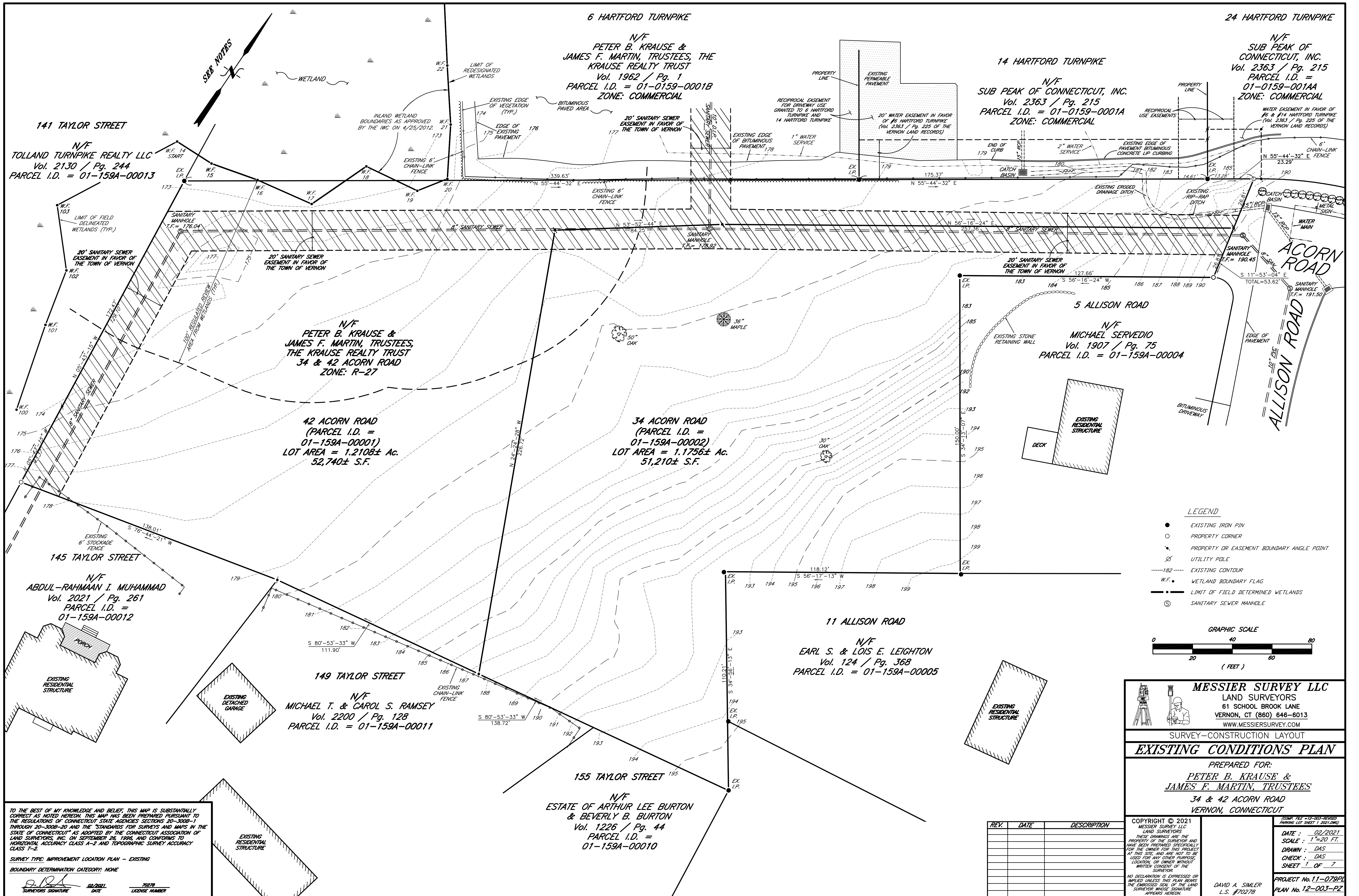
The attached documents, consisting of:

1. Copy of Zone Change Application, Applicant = The Krause Realty Trust  
Property = 34 and 42 Acorn Road, Vernon
2. Copy of Zone Change Plans prepared by Messier Survey, LLC, dated 02/2012  
(7 sheets)

Are being submitted for public inspection under CGS 8-3(a)/22a-42a (b).

Received: Zone Change Application - Krause Realty  
Vernon Town Clerk [Signature]  
Signature  
Date: Feb. 16, 2021

See Town Clerk for full text.

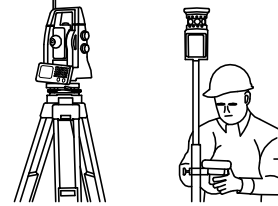


TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1996, AND CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC SURVEY ACCURACY CLASS 1-2.

SURVEY TYPE: IMPROVEMENT LOCATION PLAN - EXISTING  
BOUNDARY DETERMINATION CATEGORY: NONE

*[Signature]* 02/2021 70278  
SURVEYORS SIGNATURE DATE LICENSE NUMBER

REV.	DATE	DESCRIPTION



**MESSIER SURVEY LLC**  
LAND SURVEYORS  
61 SCHOOL BROOK LANE  
VERNON, CT (860) 646-6013  
WWW.MESSIERSURVEY.COM

SURVEY-CONSTRUCTION LAYOUT

**EXISTING CONDITIONS PLAN**

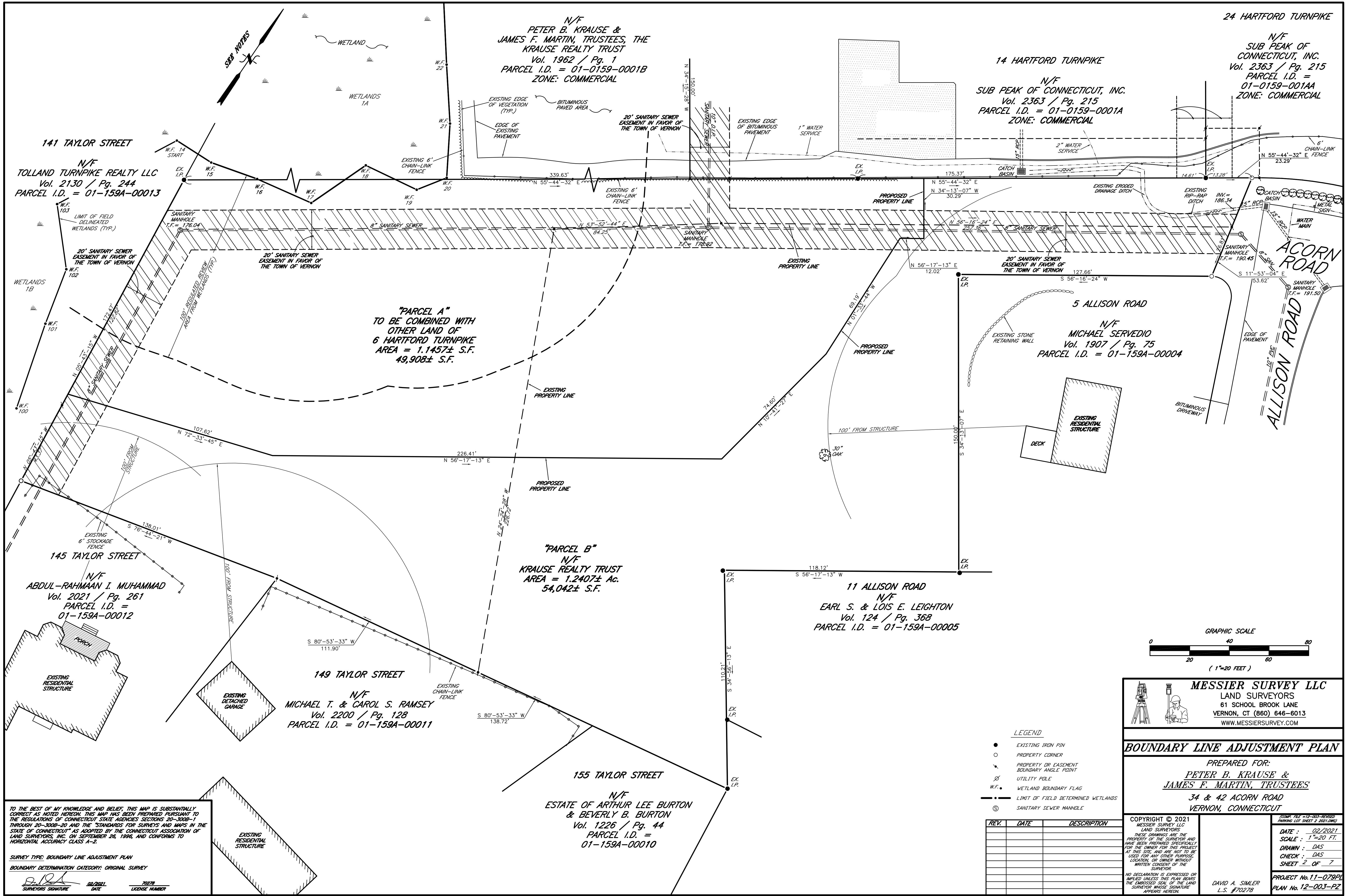
PREPARED FOR:  
**PETER B. KRAUSE &  
JAMES F. MARTIN, TRUSTEES**  
34 & 42 ACORN ROAD  
VERNON, CONNECTICUT

COPYRIGHT © 2021  
MESSIER SURVEY LLC  
LAND SURVEYORS  
THESE DRAWINGS ARE THE  
PROPERTY OF THE SURVEYOR AND  
HAVE BEEN PREPARED SPECIFICALLY  
FOR THE OWNER FOR THIS PROJECT  
AT THIS SITE AND ARE NOT TO BE  
USED FOR ANY OTHER PURPOSE  
WITHOUT THE WRITTEN CONSENT OF THE  
SURVEYOR.  
NO DECLARATION IS EXPRESSED OR  
IMPLIED UNLESS THIS PLAN BEARS  
THE EMBOSSED SEAL OF THE LAND  
SURVEYOR WHOSE SIGNATURE  
APPEARS HEREON.

DATE : 02/2021  
SCALE : 1"=20' FT.  
DRAWN : DAS  
CHECK : DAS  
SHEET 1 OF 7

PROJECT No. 11-079PL  
PLAN No. 12-003-P2



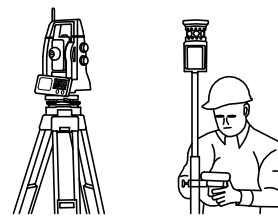


TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1996, AND CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

SURVEY TYPE: BOUNDARY LINE ADJUSTMENT PLAN  
BOUNDARY DETERMINATION CATEGORY: ORIGINAL SURVEY

*[Signature]* 02/2021 70278  
SURVEYORS SIGNATURE DATE LICENSE NUMBER

LEGEND		
●	EXISTING IRON PIN	
○	PROPERTY CORNER	
↗	PROPERTY OR EASEMENT BOUNDARY ANGLE POINT	
⊕	UTILITY POLE	
W.F. ●	WETLAND BOUNDARY FLAG	
---	LIMIT OF FIELD DETERMINED WETLANDS	
⊙	SANITARY SEWER MANHOLE	
REV.	DATE	DESCRIPTION



**MESSIER SURVEY LLC**  
LAND SURVEYORS  
61 SCHOOL BROOK LANE  
VERNON, CT (860) 646-6013  
WWW.MESSIERSURVEY.COM

**BOUNDARY LINE ADJUSTMENT PLAN**

PREPARED FOR:

**PETER B. KRAUSE &  
JAMES F. MARTIN, TRUSTEES**

**34 & 42 ACORN ROAD  
VERNON, CONNECTICUT**

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MESSIER SURVEY LLC  
LAND SURVEYORS

THESE DRAWINGS ARE THE PROPERTY OF THE SURVEYOR AND HAVE BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF THE SURVEYOR.

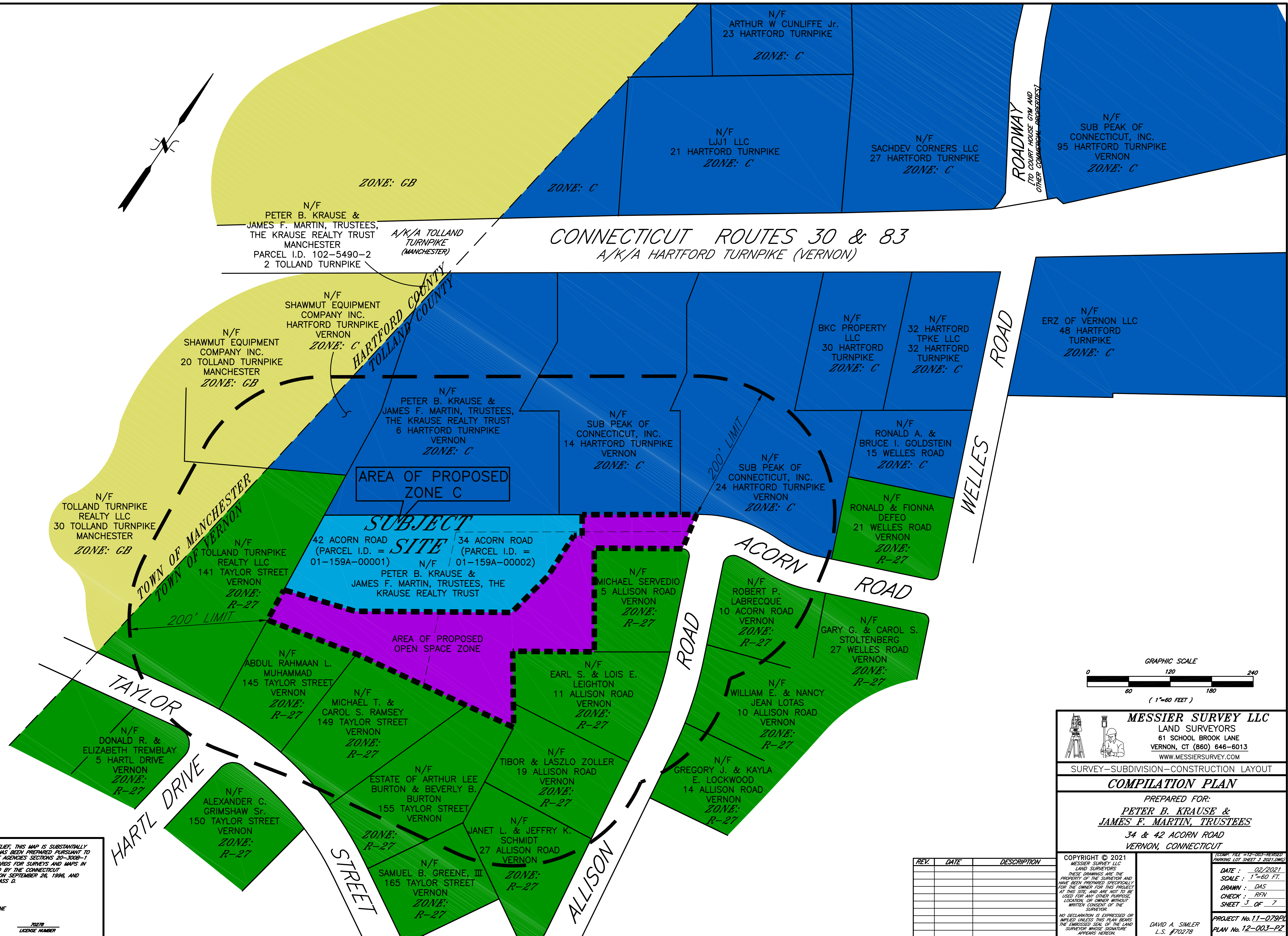
NO DECLARATION IS EXPRESSED OR IMPLIED UNLESS THIS PLAN BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

DATE : 02/2021  
SCALE : 1"=20' FT.  
DRAWN : DAS  
CHECK : DAS  
SHEET 2 OF 7

PROJECT No. 11-079PL  
PLAN No. 12-003-P2

DAVID A. SIMLER  
L.S. #70278





TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996, AND CONFORMS TO HORIZONTAL ACCURACY CLASS D.

SURVEY TYPE: COMPILATION PLAN  
BOUNDARY DETERMINATION CATEGORY: NONE

*[Signature]* 02/2021 70278  
SURVEYORS SIGNATURE DATE LICENSE NUMBER

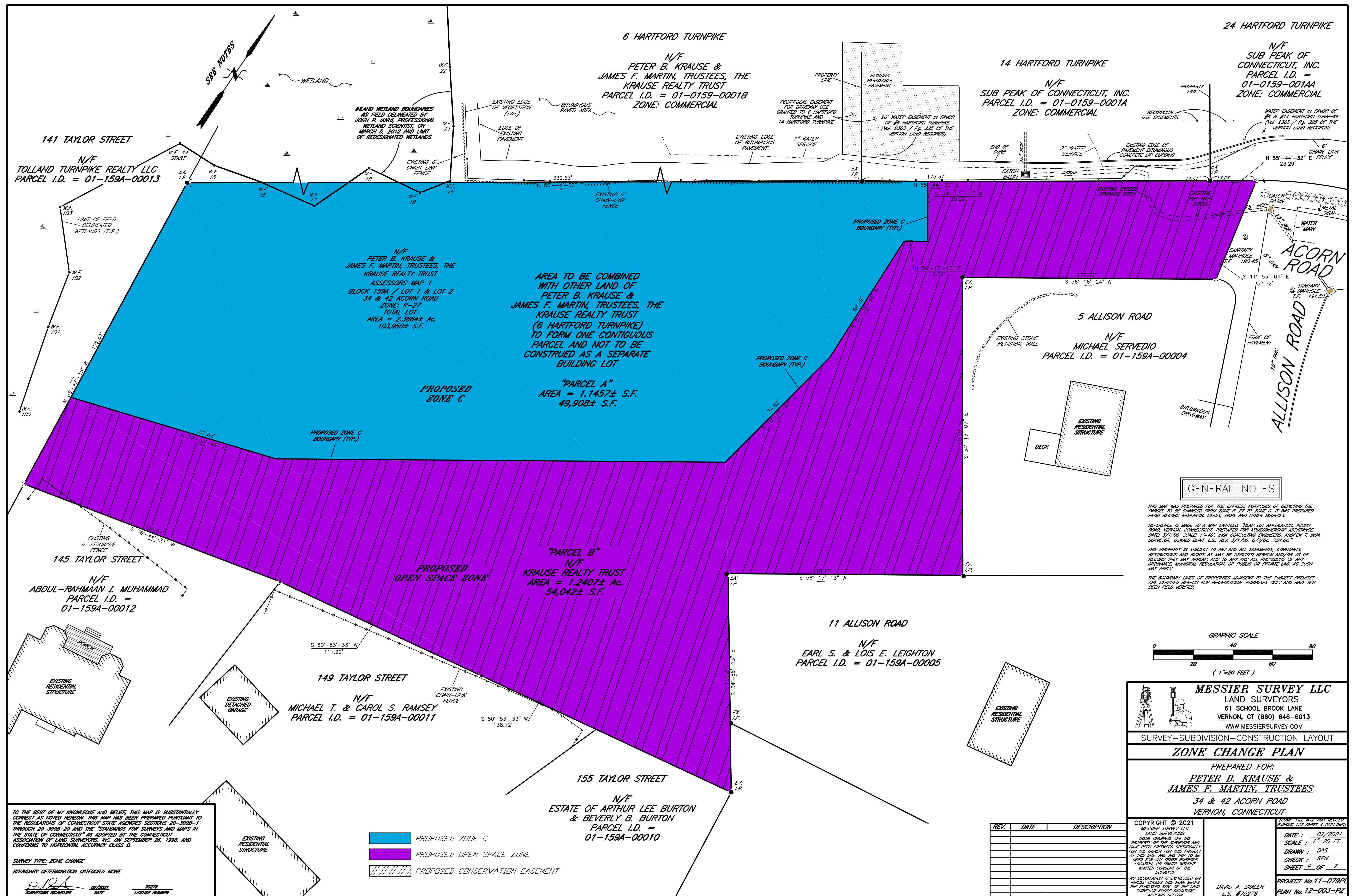
REV.	DATE	DESCRIPTION

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MESSIER SURVEY LLC  
LAND SURVEYORS  
THESE DRAWINGS ARE THE  
PROPERTY OF THE SURVEYOR AND  
HAVE BEEN PREPARED SPECIFICALLY  
FOR THE OWNER FOR THIS PROJECT.  
AT THIS SITE AND ARE NOT TO BE  
USED FOR ANY OTHER PURPOSE.  
LOCATION OR OWNER WITHOUT  
WRITTEN CONSENT OF THE  
SURVEYOR.  
NO DECLARATION IS EXPRESSED OR  
IMPLIED UNLESS THIS PLAN BEARS  
THE EMBOSSED SEAL OF THE LAND  
SURVEYOR WHOSE SIGNATURE  
APPEARS HEREON.

DAVID A. SIMLER  
L.S. #70278

(COMP. FILE #12-003-REVISED)  
PARKING LOT SHEET 3 2021(LWS)  
DATE : 02/2021  
SCALE : 1"=60' FT.  
DRAWN : DAS  
CHECK : RFN  
SHEET 3 OF 7  
PROJECT No. 11-079PL  
PLAN No. 12-003-P2















EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE

1. THE PROPOSED DEVELOPMENT ON THIS PROPERTY WILL INCLUDE CONSTRUCTION OF A NEW PARKING AREA. THE WORK ON THE SITE WILL INVOLVE REMOVAL, DEPOSITION AND REGRADING OF SOIL ON THE PROPERTY.
2. CONSTRUCTION IS EXPECTED TO COMMENCE DURING THE SUMMER OF 2021 AND BE COMPLETED AT A DATE TO BE DETERMINED.
3. DURING THE ENTIRE PERIOD OF WORK ON THE SITE, VEHICULAR ACCESS AND EGRESS TO THE WORK AREA SHALL BE BY THE EXISTING DRIVEWAY LOCATION ENTERING THE SITE FROM E HARTFORD TURNPIKE.
4. PRIOR TO ANY CONSTRUCTION ACTIVITY COMMENCING ON THE SITE, A STAKED GEOTEXTILE SILT FENCE SEDIMENT BARRIER SHALL BE INSTALLED DOWN-GRADIENT OF AND SURROUNDING THE WORK AREA.
5. IN GENERAL, EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION PRACTICES SHALL BE AS DESCRIBED HEREIN AND/OR AS SHOWN ON THE PROJECT DRAWINGS AND AS FURTHER DETAILED IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION, DEP BULLETIN 34. \*
6. AFTER THE INITIAL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE, THE CONSTRUCTION SHALL PROCEED IN THE FOLLOWING RECOMMENDED SEQUENCE:

- A. CLEAR AND GRUB AREAS OF PROPOSED WORK, INCLUDING ANY NECESSARY REMOVAL OF EXISTING SITE FEATURES AND DISCONNECTION OF EXISTING UTILITY SERVICES. DISPOSE OF MATERIALS REMOVED OFF-SITE.
- B. STRIP AND STOCKPILE ANY EXISTING TOPSOIL FROM WORK AREAS. RING STOCKPILES WITH A PROTECTIVE BARRIER OF STAKED GEOTEXTILE SILT FENCE AND/OR STAKED HAYBALES.
- C. EXCAVATE AND ROUGH GRADE FOR NEW & MODIFIED PARKING AREA; PERMANENTLY STABILIZE FINISHED CUT & FILL SLOPES.
- D. EXCAVATE FOR NEW PARKING LOT. REMOVE EXCESS SUBSOIL FROM SITE AND/OR STOCKPILE ON-SITE AS DESCRIBED FOR TOPSOIL STOCKPILES.
- E. COMMENCE CONSTRUCTION OF PARKING LOT SUPERSTRUCTURES.
- F. TEMPORARILY STABILIZE DISTURBED AREAS WHERE PERMANENT STABILIZATION IS NOT YET POSSIBLE OR FEASIBLE.
- G. INSTALL AND GRADE BASE FOR PARKING LOT.
- H. PLACE BINDER COURSE OF PAVEMENT FOR PARKING LOT.
- I. BACKFILL, SPREAD TOPSOIL AND FINISH GRADE REMAINING DISTURBED AREAS.
- J. PERMANENTLY RESTABILIZE ALL RESTORED DISTURBED AREAS AND PERFORM LANDSCAPING.
- K. PLACE FINISH PAVEMENT COURSE ON PARKING LOT.
- L. MAINTAIN AND REPAIR PERMANENTLY STABILIZED AREAS AS NECESSARY.
- M. REMOVE AND DISPOSE OF TEMPORARY EROSION & SEDIMENT CONTROL BARRIERS AND DISPOSE OF ACCUMULATED SEDIMENT.

7. ALL AREAS NOT OTHERWISE TREATED SHALL BE RESTORED BY PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF GRASS COVER IN ACCORDANCE WITH THE FOLLOWING PROCEDURE:
- A. PLACE, SPREAD & FINE GRADE TOPSOIL TO OBTAIN A MINIMUM SETTLED DEPTH OF 6 INCHES. RAKE THE SURFACE TO REMOVE LARGE STONES AND OTHER DEBRIS.
- B. APPLY LIMESTONE TO THE PREPARED TOPSOIL AT A RATE OF 3 TONS/ACRE OR 135 LBS./1000 SQUARE FEET.
- C. APPLY 10-10-10 OR EQUIVALENT FERTILIZER AT A RATE OF 300 LBS./ACRE OR 7.5 LBS./1000 SQUARE FEET, OR AS OTHERWISE ESTABLISHED BY LABORATORY TESTING OF SAMPLES OF THE ACTUAL TOPSOIL PLACED AND SPREAD ON THE AREAS TO BE PLANTED.
- D. WORK LIME AND FERTILIZER INTO THE TOPSOIL UNIFORMLY TO A DEPTH OF 4 INCHES BY HAND OR WITH SUITABLE EQUIPMENT, FOLLOWING THE FINISH CONTOURS, UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.
- E. SMOOTH AND FIRM THE PREPARED TOPSOIL AND REMOVE ALL LARGE STONES AND ALL OTHER EXTRANEOUS DEBRIS AND SOIL CLUMPS FROM THE SURFACE. NOTE: ALL TRAFFIC SHALL BE PREVENTED FROM ENTERING THE AREAS WHERE THE SEEDBED HAS BEEN PREPARED AND IS READY FOR SEEDING. SEEDING SHOULD OCCUR WITHIN 7 DAYS AFTER THE SEEDBED PREPARATION IS COMPLETE.
- F. SPREAD GRASS SEED UNIFORMLY ON THE PREPARED TOPSOIL SURFACE BY HAND OR MECHANICAL MEANS AND LIGHTLY RAKE IN BY HAND TO OBTAIN A MAXIMUM OF 1/4 INCH-1/2 INCH OF SOIL COVER OVER THE SEED.
- G. THE SEED MIXTURE AND APPLICATION RATE FOR ALL FINISHED PERMANENT LAWN AREAS SHALL BE AS FOLLOWS:
- | GRASS SEED TYPE     | PROPORTION BY WEIGHT | SEEDING RATE               |
|---------------------|----------------------|----------------------------|
| KENTUCKY BLUEGRASS  | 45% 20 LBS./ACRE     | 0.45 LBS./1000 SQUARE FEET |
| CREeping RED FESCUE | 45% 20 LBS./ACRE     | 0.45 LBS./1000 SQUARE FEET |
| PERENNIAL RYEGRASS  | 10% 5 LBS./ACRE      | 0.10 LBS./1000 SQUARE FEET |
- ONLY "CERTIFIED" SEED VARIETIES SHALL BE USED, AS LISTED IN ARTICLE M, 13.04 OF CONNECTICUT G.O.T. "FORM B14A," AS AMENDED.

THE GRASS SEED MIXTURE MAY BE APPLIED BY ANY AGRONOMICALLY ACCEPTABLE PROCEDURE. SEEDING RATES SHALL BE INCREASED BY 10 PERCENT WHEN HYDROSEEDING OR FROST CRACK SEEDING.

SEEDING SHOULD BE PERFORMED ONLY DURING THE PERIODS OF APRIL 1 TO JUNE 15 AND AUGUST 15 TO OCTOBER 1.

IMMEDIATELY FOLLOWING SEEDING, UNIFORMLY MULCH THE SURFACE BY HAND OR MACHINE WITH STRAW OR HAY FREE FROM WEEDS AND COARSE MATTER AT A RATE OF 90-100 LBS/1000 SQUARE FEET. ANCHOR MULCH IMMEDIATELY AFTER SPREADING BY APPLICATION OF A LIQUID MULCH BINDER OR MULCH NETTING APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

- G. IF FINAL GRADING WILL BE DELAYED FOR MORE THAN 30 DAYS AFTER THE INITIAL LAND DISTURBANCE ACTIVITIES ARE COMPLETED AND/OR IF NOT SEASONABLY POSSIBLE TO PERFORM PERMANENT SEEDING, AND/OR IF INCOMPATIBLE WITH ONGOING CONSTRUCTION OPERATIONS, TEMPORARILY SEED THE DISTURBED AREAS WITH PERENNIAL RYEGRASS HAVING A MINIMUM PURITY OF 98 PERCENT AND A MINIMUM GERMINATION OF 90 PERCENT, APPLIED AT A RATE OF 2 LBS./1000 SQUARE FEET; AND/OR APPLY MULCH CONSISTING OF WEED-FREE STRAW OR HAY OR AIR-DRIED WOOD CHIPS FREE OF COARSE MATTER, APPLIED AT A RATE OF 70-90 LBS/1000 SQUARE FEET FOR STRAW OR HAY, OR 185-275 LBS/1000 SQUARE FEET FOR WOOD CHIPS. PLANTING DATES FOR TEMPORARY SEEDING SHALL BE MARCH 15 TO JUNE 15 AND AUGUST 1 TO OCTOBER 15. THIS MEASURE SHALL ALSO APPLY TO STOCKPILED TOPSOIL AND SUBSOIL.
- H. WHETHER PERMANENTLY OR TEMPORARILY STABILIZED, MAINTAIN AND REPAIR ALL NEWLY RESTORED AREAS UNTIL VEGETATION IS WELL ESTABLISHED AND GROWING SELF-SUFFICIENTLY.

8. INsofar AS POSSIBLE, DISTURBANCE OF THE LAND SHALL BE LIMITED TO THE MINIMUM AMOUNT NECESSARY TO COMPLETE THE PROPOSED WORK. THE LIMITS OF DISTURBANCE SHALL BE ESTABLISHED IN THE FIELD PRIOR TO STARTING ANY ACTUAL CONSTRUCTION ACTIVITIES AND SHALL BE GENERALLY AS SHOWN BY THE PROPOSED WORK ON THE IMPROVEMENT LOCATION PLAN DRAWINGS.
9. GRADING TAKING PLACE AS THE SITE WORK PROGRESSES SHALL BE DONE IN A MANNER TO ALLOW DRAINAGE TOWARD OVERSION DITCHES AND EROSION AND SEDIMENT CONTROL BARRIERS. SILT FENCE AND/OR HAYBALE EROSION AND SEDIMENT CONTROL CHECKS SHALL ALWAYS BE PLACED IMMEDIATELY AFTER A CUT SLOPE HAS BEEN GRADED AND BEFORE A FILL SLOPE HAS BEEN MADE. CONCENTRATED RUNOFF SHALL NOT BE PERMITTED TO OVERTFLOW NEWLY GRADED AREAS. SEDIMENT BARRIERS OR OTHER EROSION AND SEDIMENT CONTROL MEASURES, SOIL STOCKPILES SHALL BE PLACED IN LOCATIONS AWAY FROM NATURAL OR CREATED WATERWAYS AND DRAINAGE DITCHES, AND RINGED WITH A PROTECTIVE SILT FENCE OR HAYBALE SEDIMENT BARRIER.
10. ALL DISTURBED AREAS, REGARDLESS OF THEIR LOCATION ON THE SITE, SHALL BE FINE GRADED AND STABILIZED AS SOON AS PRACTICABLE FOLLOWING SUBSTANTIAL COMPLETION OF SURROUNDING CONSTRUCTION. WHERE SEASONABLY POSSIBLE AND WHERE ONGOING CONSTRUCTION ACTIVITIES PERMIT, THE DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED AS DESCRIBED ABOVE. WHEN PERMANENT STABILIZATION IS NOT TIMELY OR POSSIBLE, THE DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED AS ALSO DESCRIBED ABOVE.
11. STOCKPIILING OF BUILDING MATERIALS SHALL BE CONFINED TO THE AREAS OF DISTURBANCE. VEHICULAR MOVEMENT SHALL BE LIMITED TO ESTABLISHED DRIVEWAY AND PARKING AREAS. NO UNNECESSARY ENCROACHMENT OF CONSTRUCTION EQUIPMENT OR OTHER VEHICLES SHALL BE ALLOWED IN NON-CONSTRUCTION PORTIONS OF THE PROPERTY. VEHICULAR ACCESS TO AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL BE RESTRICTED TO THE MINIMUM NECESSARY TO PERFORM ESSENTIAL AND REQUIRED ACTIVITIES.
12. DURING THE PERIOD OF CONSTRUCTION, ALL DISTURBED AREAS OF THE CONSTRUCTION ACTIVITY THAT HAVE NOT BEEN PERMANENTLY STABILIZED, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, IMMEDIATELY AFTER EACH RAINSTORM WITH A RAINFALL TOTAL OF ONE-HALF INCH OR GREATER, AND AT LEAST DAILY DURING A MAJOR STORM EVENT OR DURING A PERIOD OF PROLONGED RAINFALL. ACCUMULATED DEPOSITS OF SEDIMENT AND SILT SHALL BE PERIODICALLY REMOVED FROM THE UP-STREAM SIDE OF THE EROSION AND SEDIMENT CONTROL CHECKS, AND UPON ESTABLISHMENT OF PERMANENT SEEDING AND MULCHING, SUCH MATERIALS REMOVED SHALL BE TRANSPORTED FROM THE IMMEDIATE WORK AREA AND SPREAD AND STABILIZED IN NON-WETLAND AREAS WHICH ARE NOT SUBJECT TO EROSION, OR WHICH ARE NOT TO BE PAVED OR BUILT UPON. SILT FENCING AND OTHER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPLACED AS NECESSARY THROUGHOUT THE DURATION OF THE WORK ON THE SITE IN ORDER TO MAINTAIN COMPLETE AND INTEGRAL EROSION AND SEDIMENT CONTROL PROTECTION, ALSO THROUGHOUT THE DURATION OF THE WORK ON THIS SITE, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES BEYOND THOSE SHOWN ON THE PLANS AND/OR PRESCRIBED HEREIN SHALL BE IMPLEMENTED AS MAY BE DEEMED NECESSARY BY SITE CONDITIONS AND/OR AS OFFERED BY THE TOWN OF SOUTH WINDSOR. ONCE IN PLACE, ALL EROSION AND SEDIMENT CONTROL FACILITIES AND MEASURES ARE TO REMAIN IN PLACE AND IN PROPER FUNCTIONING CONDITION, AND BE CONTINUOUSLY MAINTAINED, UNTIL ALL DISTURBED AREAS UPGRADIENT OF SAID FACILITIES ARE PERMANENTLY STABILIZED, OR THEIR CONTINUED USE IS NO LONGER APPROPRIATE FOR THE ONGOING DEVELOPMENT. FOLLOWING SUCH PERMANENT STABILIZATION, THE FACILITIES SHALL BE DISMANTLED, REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
13. IF DE-WATERING OPERATIONS ARE NECESSARY IN ORDER TO PERFORM THE REQUIRED WORK, WATER PUMPED FROM THE EXCAVATION AND OTHER POORLY DRAINED AREAS SHALL BE FREE FROM SILT AND SHALL BE DISCHARGED TO TEMPORARY SEDIMENT/STILLING BASINS PRIOR TO RELEASE TO PROPERLY PROTECTED DRAINAGE SYSTEMS OR WETLANDS AREAS. AS A MINIMUM, DISCHARGE WATER SHALL BE DIRECTED TOWARDS SECURELY INSTALLED HAYBALE EROSION AND SEDIMENTATION CHECK DAMS, OR OTHER ACCEPTABLE SEDIMENT TRAPPING MEASURES, PRIOR TO ENTERING ANY DRAINAGE SYSTEMS OR WETLANDS AREAS.
14. PRIOR TO COMMENCING ANY DISTURBANCE OF THE SOIL OR PERFORMING ANY OTHER WORK ON THIS SITE, THE PROPERTY OWNER SHALL DESIGNATE A PERSON TO BE PERSONALLY RESPONSIBLE FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN AND ENFORCING THE PRESCRIBED EROSION AND SEDIMENTATION CONTROL SAFEGUARDS DURING THE PERIOD OF OPERATIONS ON THIS SITE. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES THROUGHOUT THE WORK PERIOD, INFORMING ALL PARTIES ENGAGED ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PROPER TOWN AGENCIES AND OFFICIALS OF ANY TRANSFER OF THIS RESPONSIBILITY AND CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED. THE PERSON SO DESIGNATED FOR THE STATED RESPONSIBILITY SHALL PROVIDE THE TOWN OF VERNON WITH TELEPHONE NUMBERS OR OTHER MEANS BY WHICH HE/SHE MAY BE CONTACTED AT ALL TIMES.

GENERAL INSTALLATION SEQUENCE & CHECKLIST

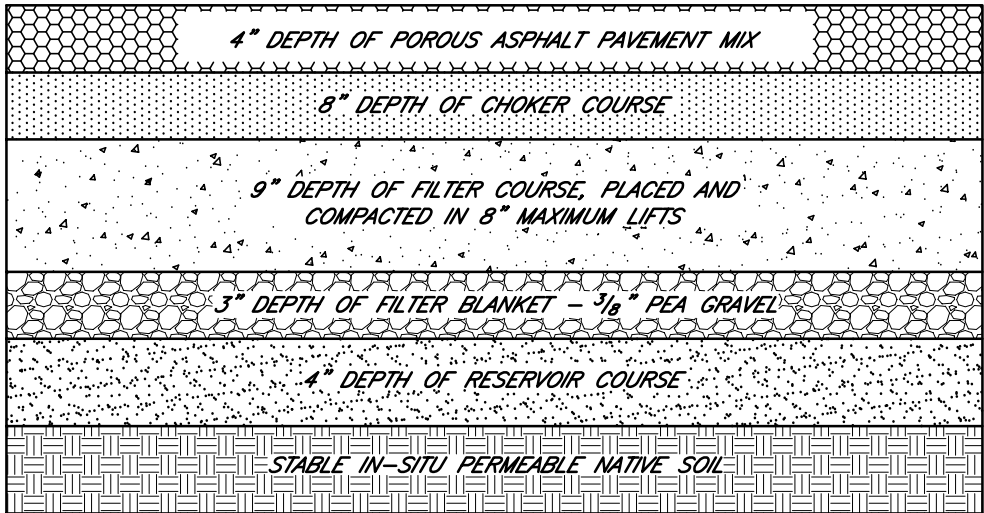
WORK DESCRIPTION/EROSION & SEDIMENT CONTROL MEASURES	LOCATION	DATE MEASURES INSTALLED	INITIALS OF INSTALLER	DATE MEASURES REMOVED	INITIALS OF PERSON REMOVING MEASURES
INSTALL SEDIMENT BARRIERS	DOWNSLOPE OF AREAS TO BE DISTURBED				
CONSTRUCT NECESSARY TEMPORARY OVERSION BERMS AND SNAILES FOR DRAINAGE CONTROL DURING ROUGH GRADING OPERATIONS	WHERE REQUIRED				
CLEAR & GRUB	AREAS TO BE DEVELOPED				
STRIP AND STOCKPILE TOPSOIL FROM WORK AREAS; STOCKPILE ANY EXCESS SUBSOIL NOT REMOVED FROM SITE. PLACE SEDIMENT BARRIERS AROUND STOCKPILES & STABILIZE PILES	WORK AREAS				
PLACE TOPSOIL AND ESTABLISH PERMANENT VEGETATIVE COVER FOR ALL CUT AND FILL SLOPES	WHERE REQUIRED				
INSTALL ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES AS REQUIRED OR ORDERED	WHERE REQUIRED				
INSPECT AND MAINTAIN AS NECESSARY ALL EROSION & SEDIMENT CONTROL MEASURES; REMOVE ACCUMULATED SEDIMENT FROM BEHIND HAYBALE & SILT FENCE BARRIERS	ENTIRE SITE				
TEMPORARILY STABILIZE DISTURBED AREAS WHERE PERMANENT STABILIZATION IS NOT YET POSSIBLE OR FEASIBLE	ROUGH - GRADED AREAS OUTSIDE OF PARKING AND DRIVEWAY LOCATIONS				
INSPECT AND MAINTAIN AS NECESSARY ALL EROSION & SEDIMENT CONTROL MEASURES; REMOVE ACCUMULATED SEDIMENT FROM BEHIND HAYBALE AND SILT FENCE BARRIERS	ENTIRE SITE				
PLACE TOPSOIL, COMPLETE FINAL GRADING, AND PERMANENTLY STABILIZE ALL REMAINING DISTURBED AREAS	ENTIRE SITE				
LANDSCAPE SITE	AS REQUIRED				
MAINTAIN AND REPAIR ALL RESTABILIZED AREAS UNTIL PERMANENT VEGETATIVE COVER IS COMPLETELY ESTABLISHED AND SELF-SUSTAINING	ENTIRE SITE				
REMOVE AND DISPOSE OF TEMPORARY SEDIMENT CONTROL BARRIERS AND DISPOSE OF ACCUMULATED SEDIMENT	ENTIRE SITE				

CHECKLIST FOR MAINTENANCE OF MEASURES

LOCATION MAINTENANCE	DESCRIPTION	DATE OF MAINTENANCE	INITIALS OF RESPONSIBLE PERSON
SEDIMENT BARRIERS AND TEMPORARY SEDIMENT TRAPS	INSPECT REGULARLY AND DURING AND AFTER RAIN STORMS. REPAIR OR REPLACE AS REQUIRED. REMOVE ACCUMULATED SEDIMENT AND DEBRIS		
ENTIRE SITE	MAINTAIN TEMPORARY VEGETATIVE AND OTHER MEASURES AS REQUIRED. MAINTAIN ALL PERMANENTLY STABILIZED AREAS UNTIL SECURE		

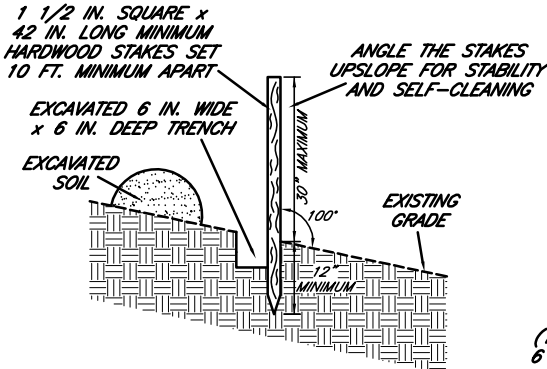
PROJECT DATES

DESCRIPTION	DATE	INITIALS
DATE OF GROUNDBREAKING FOR PROJECT		
DATE OF TEMPORARY STABILIZATION		
DATE OF FINAL STABILIZATION		

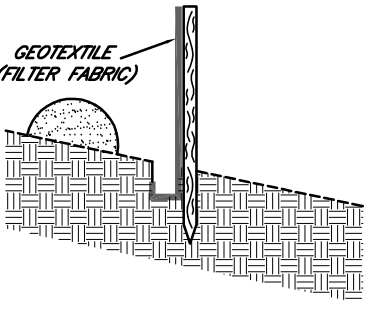


PERVIOUS PAVEMENT CROSS SECTION (NOT TO SCALE)

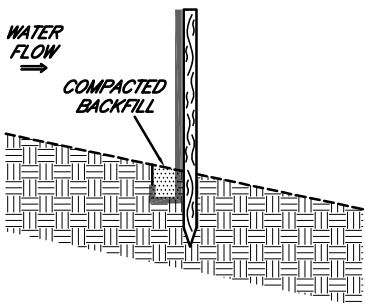
INSTALLATION PROCEDURE



(1) SET STAKES AND EXCAVATE A 6 IN. WIDE x 6 IN. DEEP TRENCH ON THE UPSLOPE SIDE OF THE STAKES ALONG THE LINE OF THE STAKES. PLACE EXCAVATED SOIL UPSLOPE OF THE TRENCH.

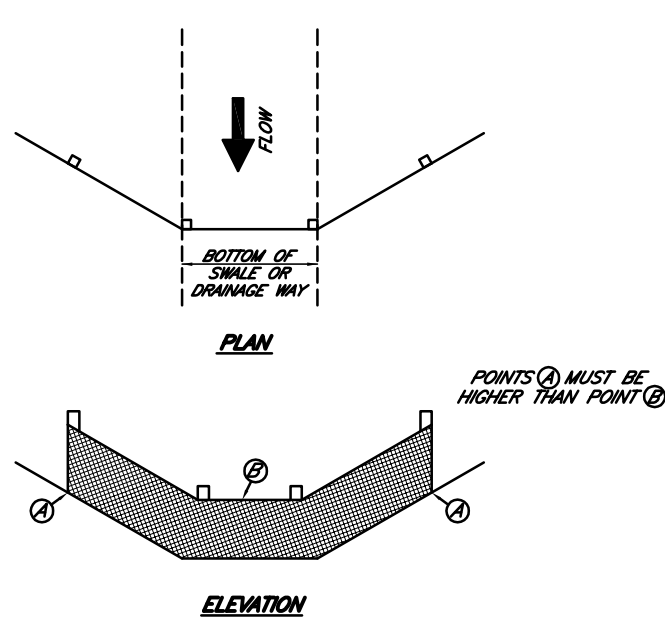


(2) ATTACH GEOTEXTILE (FILTER FABRIC) TO THE STAKES WITH STAPLES SPACED A MAXIMUM OF 18 INCHES APART AND ALTERNATE THEIR POSITION FROM PARALLEL TO THE AXIS OF THE STAKE TO PERPENDICULAR. OR PER THE MANUFACTURER'S RECOMMENDATION. EXTEND THE FABRIC A MINIMUM OF 6 INCHES INTO THE TRENCH AND FOLDED UP ONTO THE UPSLOPE TRENCH FACE.



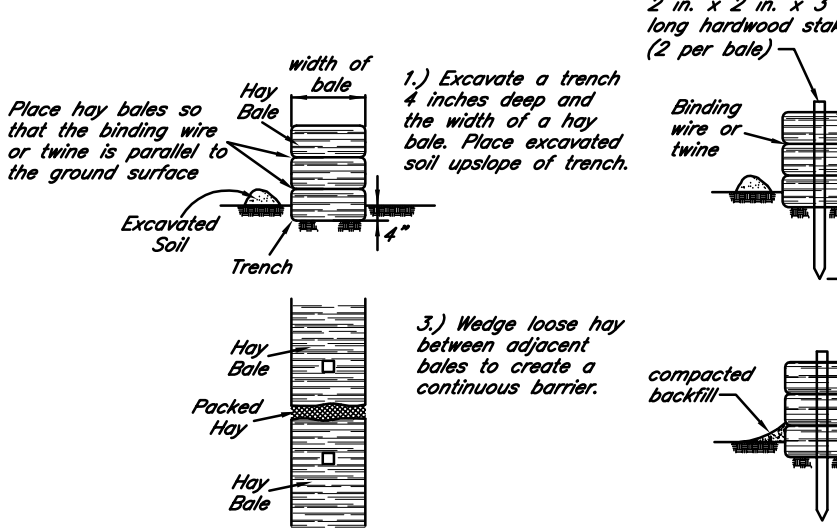
(3) BACKFILL THE TRENCH WITH THE PREVIOUSLY EXCAVATED SOIL AND COMPACT.

TYPICAL INSTALLATION IN A SNALE OR DRAINAGE WAY



GEOTEXTILE SILT FENCE SEDIMENT BARRIER INSTALLATION NOT TO SCALE

INSTALLATION PROCEDURE



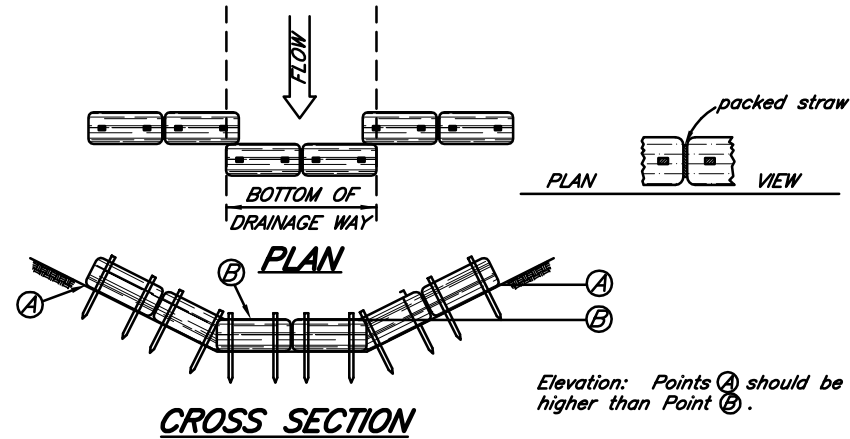
(1) Excavate a trench 6 inches deep and the width of a hay bale. Place excavated soil upslope of trench.

(2) Place haybale and stake the first stake at an angle towards the first bale. Place two stakes per hay bale, each a minimum of 18 inches into the ground.

(3) Wedge loose hay between adjacent bales to create a continuous barrier.

(4) Backfill and compact the excavated soil as shown along the uphill side of the hay bales to prevent pumping.

TYPICAL INSTALLATION IN A SNALE OR DRAINAGE WAY



STAKED HAY BALE SEDIMENT BARRIER INSTALLATION NOT TO SCALE

**MESSIER SURVEY LLC**  
LAND SURVEYORS  
61 SCHOOL BROOK LANE  
VERNON, CT (860) 646-6013  
WWW.MESSIERSURVEY.COM

SURVEY-CONSTRUCTION LAYOUT

**EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

PREPARED FOR:  
**PETER B. KRAUSE & JAMES F. MARTIN, TRUSTEES**  
34 & 42 ACORN ROAD  
VERNON, CONNECTICUT

COPYRIGHT © 2021  
MESSIER SURVEY LLC  
LAND SURVEYORS  
THESE DRAWINGS ARE THE PROPERTY OF THE SURVEYOR AND HAVE BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF THE SURVEYOR.  
NO DECLARATION IS EXPRESSED OR IMPLIED UNLESS THIS PLAN BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

DAVID A. SIMLER  
L.S. #70278

DATE : 02/2021  
SCALE : AS NOTED  
DRAWN : DAS  
CHECK : DAS  
SHEET 7 OF 7

PROJECT No. 11-079PL  
PLAN No. 12-003-P2

# **APPLICATION**

**3**

## TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

### APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

*The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.*

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

#### **I. APPLICANT:**

Name: The Krause Realty Trust

Title: \_\_\_\_\_

Company: \_\_\_\_\_

Address: 24 Hartford Turnpike  
Vernon, CT 06066

Telephone: 860-649-6550 Fax: \_\_\_\_\_

E-mail pkrause@krausecars.com

#### **II. PROPERTY OWNER (S):**

Name: Same as applicant

Title: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax \_\_\_\_\_

E-mail: \_\_\_\_\_

### III. PROPERTY

Address: 6 Hartford Turnpike; 34 Acorn Road; 42 Acorn Road

Assessor's ID Code:      Map # \* Block # \* Lot/Parcel # \*      \*See attached Addendum

Land Record Reference to Deed Description: Volume: \* Page \*

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

   No      X Yes

   No work will be done in regulated area

X Work will be done in the regulated area

X IWC application has been submitted (approved by IWC on 1/26/2021)

   IWC application has not been submitted

Zoning District See attached Addendum

Is this property located within five hundred (500) feet of a municipal boundary?

   No

X Yes:

   Bolton

   Coventry

   Ellington

X Manchester

   South Windsor

   Tolland

Check if Historic Status Applies:

   Located in historic district:

   Rockville

   Talcottville

   Individual historic property

#### IV. PROJECT

Project Name: Subaru Parking Expansion

Project Contact Person:

Name: Dorian R. Famiglietti

Title: Attorney for Applicant

Company: Kahan, Kerensky & Capossela, LLP

Address: 45 Hartford Turnpike

Vernon, CT 06066

Telephone: 860-646-1974 Fax: 860-647-8302

E-mail: dfamiglietti@kkc-law.com

## **V. PZC APPLICATION PROJECT SUMMARY**

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Expansion of parking areas for inventory storage

General Activities: See attached Addendum

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## **VI. APPROVAL (S) REQUESTED**

### **Subdivision or Resubdivision**

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6, 8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

  X   **Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)**

  X   **Site Plan of Development (POD) (ZR Sec. 14)**

- X   POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

### **Special Permit(s) (ZR Section 17.3)**

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
  
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
  
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
  
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)



\_\_\_\_\_ Other Special Permit(s). Cite ZR Section and describe activity:

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\_\_\_\_\_ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

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\_\_\_\_\_ **Zoning:**

\_\_\_\_\_ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

\_\_\_\_\_ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

\_\_\_\_\_ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

*See Zoning Regulations Section 22 for application fee schedules.*

\_\_\_\_\_ Dealer or Repairer License (location approval for DMV)

## **VII. APPLICATION CONDITIONS / STIPULATIONS**

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

**If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.**

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

**THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.**

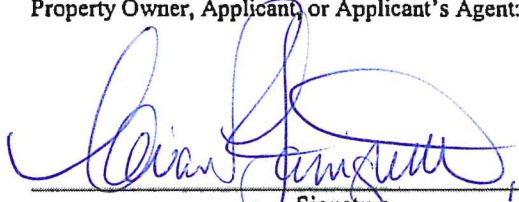
**APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.**

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

	<u>2/16/2021</u>
Signature	Date
<u>Dorian R. Langstedt, atty for owner/applicant</u>	
Signature	Date

*TO BE FILLED IN BY THE PLANNING DEPARTMENT*

Date Application Submitted \_\_\_\_\_

Date Application Received by Commission \_\_\_\_\_

PZC File: \_\_\_\_\_

## ADDENDUM TO SITE PLAN APPLICATION

Applicant: Krause Realty Trust  
Property: 6 Hartford Turnpike  
34 Acorn Road  
42 Acorn Road  
Date: February 16, 2021

### Properties involved:

6 Hartford Turnpike                      Zone: Commercial  
Assessor's Parcel:                      01-0159-0001B  
Vernon Land Records:                  Volume 1962, Page 1

34 Acorn Road                              Zone: R-27  
Assessor's Parcel:                      01-159A-00002  
Vernon Land Records:                  Volume 2662, Page 61

42 Acorn Road                              Zone: R-27  
Assessor's Parcel:                      01-159A-00001  
Vernon Land Records:                  Volume 2662, Page 61

The Krause Realty Trust (the "Applicant") is the owner of the three (3) above referenced properties. The Applicant presently operates a Subaru car dealership on the property at 6 Hartford Turnpike (as well as on properties at 14 and 24 Hartford Turnpike, however the latter 2 properties are not part of this application). The Applicant acquired the properties at 34 and 42 Acorn Road in June, 2020 in order to provide additional parking area for the car dealership.

The Applicant seeks to use a portion of the Acorn Road properties to provide additional inventory parking (for new cars) for its Subaru dealership. The details of the proposed parking area are set forth on sheets 5 and 6 of the attached plan set.

To accomplish this objective, the Applicant proposes to reconfigure the lots lines of the Acorn Road properties (as shown on sheet 2 of the attached plan set) into Parcels A and B, such that:

- Parcel A, containing 1.1457 acres of the Acorn Road properties, will then be merged into the parcel at 6 Hartford Turnpike; and
- Parcel B, containing 1.2407 acres of the Acorn Road properties, will remain as a separate lot.

It should be noted that the lot line reconfiguration does NOT require zoning, subdivision or resubdivision approval because no new lots are being created. Two (2) lots exist today (34 and 42 Acorn Road) and one (1) lot will exist after the lot line reconfiguration.

The Applicant, by separate application, has requested approval of a zone change (as shown on sheets 3 and 4 of the attached plan set) as follows:

- Parcel A will be changed from R-27 to Commercial; and
- Parcel B will be changed from R-27 to the Open Space Zone.

Once Parcel A is rezoned to Commercial, the use of that parcel for parking associated with the car dealership is permitted, subject to site plan approval (see Section 4.9.2.12 of the Zoning Regulations). As such, this application seeks approval of the site improvements necessary to create the additional parking area on Parcel A, the details of which are set forth on sheets 5 and 6 of the plan set. Those site improvements include installation of:

- 33,689 SF of permeable/porous pavement;
- Security fencing (with privacy screening);
- Low level solar lighting mounted on poles approx. 3 ft high (see specifications attached);
- Grading per the attached site plan; and
- Plantings per the attached site plan.

In addition to the proposed improvements, the Applicant proposes to place a Conservation Easement over Parcel B to further protect that parcel from future development.

In addition to the site plan approval, since the plan contemplates the disturbance of over ½ acre of land, the proposal also requires approval of the Erosion and Sediment Control Plan (see Section 18 of the Zoning Regulations). Details of the proposed erosion controls are also shown on sheets 5 and 7 of the plan set.

The Applicant does not expect the proposed improvements to have a negative impact on traffic on the surrounding roadways. The proposed parking area will be used for storage of additional inventory only and, as such, will not generate additional trips to the dealership. Furthermore, the proposed parking area will be accessed solely by means of the existing curb cut and driveway areas associated with 6 Hartford Turnpike and will not require the creation of a new access drive from Acorn Road. Still further, with the rezoning of Parcel B to the Open Space Zone and placement of a Conservation Easement over it, it will eliminate the possibility of a driveway associated with future development of that lot from Acorn Road. Instead, Parcel B will remain undeveloped and there will be no need for vehicular access to the same from Acorn Road.

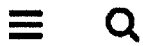
The Applicant and its consultants will make a full presentation of the application at the Commission's meeting on this application.

📞 1-800-985-4129 (tel:1-800-985-4129) | ✉ sales@outdoorsolarstore.com (mailto:sales@outdoorsolarstore.com)

👤 Sign In (/account/login) | Register (/account/register)

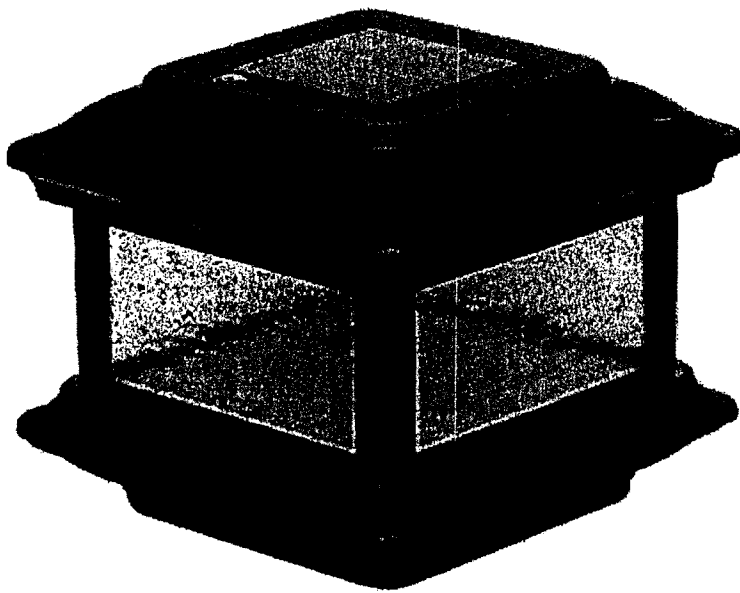
Outdoor  
SolarStore.com (/)

**FREE SHIPPING**  
ON ALL ORDERS OVER \$75!  
(/pages/shipping-policy)



🛒 0 (/cart)

🏠 (/) / Solar Fence Cap Lights (/collections/solar-fence-post-lights) / Colonial Solar Cap Light - Black



(//cdn.shopify.com/s/files/1/1670/6415/products/Colonial\_Solar\_Fence\_Light\_1024x1024.jpg?v=1521729295)



## Colonial Solar Cap Light - Black

Availability: **In Stock** ★★★★★ 8 reviews

Quantity :

-	1	+
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**\$35.00** Add To Cart

## MORE INFO

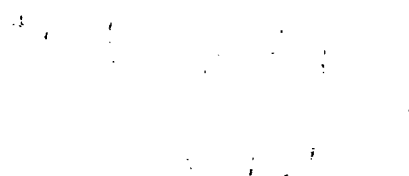
### COLONIAL BLACK SOLAR CAP FENCE POST LIGHT

With its cast aluminum construction, black powder coated finish and real pebble style glass panels, the Colonial solar powered fence post light is both stylish and durable.

Get 12 hours of vivid white lighting out of its two super bright, solar powered LED lights and illuminate any outdoor deck, patio or property line!

### SPECIFICATIONS:

- Model Number: SL088
- Finish Color: Black
- Material: Heavy Duty Vinyl
- Total LED's: 2 Super Bright LED Lights
- LED Color: White
- Battery: AA Ni- MH rechargeable
- Operating Time: 10-12 hours
- Operation: Auto On/Off (Dusk Till Dawn)
- **Fits These Post Sizes: 3.5" x 3.5"**
- 1X Cap Light
- **1 Year Manufacturer Warranty**



## REVIEWS

STATUTORY FORM WARRANTY DEED

**HRK ASSOCIATES, LLC**, a Connecticut limited liability company having an office in Coral Gables, Florida, formerly known as HRK Associates, for consideration paid, grants to **PETER B. KRAUSE and JAMES F. MARTIN, AS TRUSTEES OF THE KRAUSE REALTY TRUST DATED OCTOBER 30, 2007**, having an address of 24 Hartford Turnpike, Vernon, CT 06066, with **WARRANTY COVENANTS**, those certain pieces or parcels of land, situated in the Towns of Vernon and Manchester, County of Tolland and State of Connecticut, known as 6 Hartford Road, Vernon, and being more particularly bounded and described on Exhibit A attached hereto and made a part hereof.

BALANCE OF PAGE INTENTIONALLY LEFT BLANK

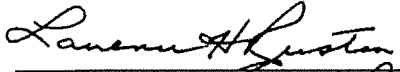
CONVEYANCE TAX RECEIVED  
STATE \$ 10070.63  
TOWN \$ 2517.66  
Bernice K. Dixon  
TOWN CLERK OF VERNON

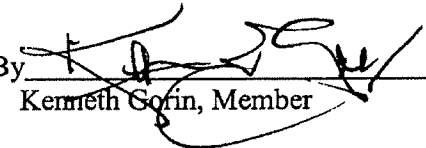


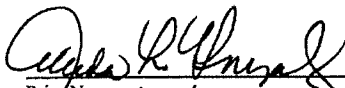
Signed this 30 day of October, 2007.

Witnessed by:

HRK ASSOCIATES, LLC

  
Print Name: Lawrence H. Rustin

By   
Kenneth Gorin, Member

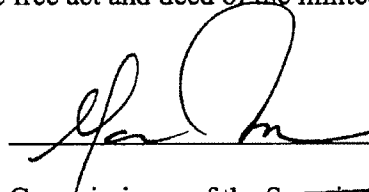
  
Print Name: Aleida L. Gonzalez

ACKNOWLEDGMENT ON FOLLOWING PAGE

STATE OF FLORIDA     )  
                                  ) ss.  
COUNTY OF DADP     )

October 30, 2007

Personally appeared, Kenneth Gorin, Member of HRK Associates, LLC a Connecticut limited liability company, signer of the foregoing instrument and acknowledged the same to be his free act and deed as such member and the free act and deed of the limited liability company, before me.



~~Commissioner of the Superior Court~~  
Notary Public  
My Commission Expires: \_\_\_\_\_



Grantee's Mailing Address:

24 Hartford Turnpike  
Vernon, CT 06066

EXHIBIT A

First Piece

That certain piece or parcel of land located on Route 83 in the Town of Vernon, County of Tolland and State of Connecticut, bounded and described as follows:

- NORTHERLY: by Route #83, Two Hundred (200) feet;
- EASTERLY: by land now or formerly of Ted Trudon, Inc., Two Hundred Twenty-Eight and Thirty-Four One-Hundredths (228.34) feet;
- SOUTHERLY: by land now or formerly of L. P. Fitzgerald, Inc. designated as Lots No. 22, 23 and 24, in part by each in all, Two Hundred (200) feet, as shown on a certain map entitled, "Map of The Country Square Property of Franklin G. Welles Welles Road, Vernon, Conn. Scale 1" = 50' Nov. 8, 1955 Hayden L. Griswold, C.E."; and
- WESTERLY: by land now or formerly of Shawmut Equipment Co., Inc., Two Hundred Twenty-Eight and Thirty-Four One-Hundredths (228.34) feet.

The Northwest corner of the premises herein is at a point situated Seven Hundred Eighty-One and Seventy-Five One-Hundredths (781.75) feet westerly of the intersection of the westerly line of Welles Road with the Southerly line of Route #83, as measured along said Southerly line of Route #83.

Second Piece

That certain or piece or parcel of land situated in the Towns of Manchester and Vernon, in the State of Connecticut, more particularly bounded and described as follows:

Beginning at a Connecticut Highway Department monument on the Southerly street line of Tolland Turnpike, said monument being on the Manchester-Vernon Town Line, thence N 55°44'32" E 12.00' along the Southerly street line of Tolland Turnpike to a point, which point is the Northwest corner of property of Hyman R. and Roslyn M. Goralnick, thence S 5°20'28" E 228.34' along the Westerly property line of Hyman R. and Roslyn M. Goralnick to a point, then N 15°43'21" E 210.62' to a point on the Southerly street line of Tolland Turnpike, the last course running through property of the Shawmut Equipment Company, Inc., thence N 55°44'32" E 32.00' to the point of beginning. Said parcel contains 0.101 acres.

Being a certain piece or parcel of land known as Parcel A as shown on a map or plan entitled: Subdivision Plan for Shawmut Equipment Company, Inc., 20 Tolland Turnpike, Manchester, CT., dated 2-20-86, revised 4-11-86, Fuss & O'Neill, Inc. Consulting Engineers, and recorded in the Manchester Land Records; and as shown on a map entitled: Property Mapped for Shawmut Equipment Company, Inc., 20 Tolland Turnpike, Manchester, CT., dated 2-20-86, Fuss & O'Neill, Inc. Consulting Engineers, and recorded in the Vernon Land Records.

Being the same premises conveyed to HRK Associates by Statutory Form Quit Claim Deed from Hyman R. Goralnick and Roslyn M. Goralnick dated June 9, 1986 and recorded in Volume 580 at Page 315 of the Vernon Land Records and in Volume 1046 at Page 18 of the Manchester Land Records

Third Piece

those three certain pieces or parcels of land, with the buildings and improvements thereon, situated in the Town of Vernon, County of Hartford and State of Connecticut, being Lots 22, 23 and 24 as shown on a survey entitled: "Property Mapped for L.P. Fitzgerald Ford Inc. Rockville, CT 06066 Acorn Road Vernon, Conn. Scale 1" = 50' Job No. 76-323-D Aug. 1976 Sheet No. 1 of 1 Griswold & Fuss, Inc. Consulting Engineers and Surveyors Manchester, Connecticut", which map is on file in the Vernon Town Clerk's Office to which reference may be made and being more particularly bounded and described as follows:

**BEGINNING** at a point, which point is the northwesterly corner of the premises herein described and is the southwesterly corner of land now or formerly of Austin A. Chambers Co. and which property is also along the easterly boundary of land now or formerly of Garrity Brothers;

**THENCE** from said point and place of beginning in a general easterly boundary of Lot No. 21 on said map, in a general southerly direction, 150 feet, to a point along the northerly side of a proposed road known as Acorn Road;

**THENCE** in a general westerly direction along the northerly boundary of the proposed road known as Acorn Road, a distance of 395 feet, to a point on the general easterly boundary of land now or formerly of Garrity Brothers;

**THENCE** in a general northerly direction along the easterly boundary of land now or formerly of Garrity Brothers, 171.25 feet, to the point and place of beginning.

---

Said premises are conveyed subject to:

AS TO FIRST PIECE

1. Second half real estate taxes to the Town of Vernon on the List of October 1, 2006 and real estate taxes to the Town of Vernon on the List of October 1, 2007, not yet due and payable, which taxes the Grantees assume and agree to pay as part consideration for this deed.
2. Restrictions set forth in a deed from Franklin G. Welles and Dorothy M. Welles to The Austin A. Chambers Company dated September 8, 1958 and recorded in Volume 105 at Page 246 of the Vernon Land Records.
3. Sewer Easement from Hyman R. Goralnick and Rosalyn M. Goralnick to the Town of Vernon dated October 7, 1980 and recorded in Volume 402 at Page 350 of the Vernon Land Records.
4. Caveat by The Water Pollution Control Authority of the Town of Vernon dated March 22, 1982 and recorded in Volume 429 at Page 257 of the Vernon Land Records.
5. Certificate of Notice of Installment Payments of Assessments Of Benefits recorded on March 15, 1983 in Volume 450, Page 5 of the Vernon Land Records.
6. Developers Permit Agreement between Hyman R. Goralnick and Water Pollution Control Authority dated December 12, 1985 and recorded in Volume 547 at Page 126.

AS TO SECOND PIECE

7. Second half real estate taxes to the Town of Vernon on the List of October 1, 2006 and real estate taxes to the Town of Vernon on the List of October 1, 2007, not yet due and payable, which taxes the Grantees assume and agree to pay as part consideration for this deed.
8. Second half real estate taxes to the Town of Manchester on the List of October 1, 2006 and real estate taxes to the Town of Manchester on the List of October 1, 2007, not yet due and payable, which taxes the Grantees assume and agree to pay as part consideration for this deed.
9. Restrictions set forth in a deed from Charles Lazak and Ethel G. Lazak to Harold W. Garrity and Thomas E. Garrity dated January 2, 1947 and recorded in Volume 183 at Page 427 of the Manchester Land Records.

AS TO THIRD PIECE

10. Second half real estate taxes to the Town of Vernon on the List of October 1, 2006 and real estate taxes to the Town of Vernon on the List of October 1, 2007, not yet due and payable, which taxes the Grantees assume and agree to pay as part consideration for this deed.

RECORDED IN  
VERNON LAND RECORDS  
Bernice K. Dixon  
VERNON TOWN CLERK  
ON Nov 01, 2007 AT 11:53A

Return to:  
Krause Realty Trust  
24 Hartford Turnpike  
Vernon, CT 06066

**STATUTORY FORM WARRANTY DEED**

IT, **ANTHOS ACORN 32-34, LLC**, a Connecticut limited liability company, having a place of business in the Town of Nanuet, and State of New York (the "Grantor"),

for the consideration of SIXTY-FIVE THOUSAND AND 00/100 DOLLARS (\$65,000.00) paid grants to **KRAUSE REALTY TRUST**, having a place of business in the Town of Vernon, County of Tolland and State of Connecticut (the "Grantee")

with WARRANTY COVENANTS:

A certain piece or parcel of land, situated in the Town of Vernon, County of Tolland and State of Connecticut, known as 34 Acorn Road (Parcel No. 01159A00002) and 42 Acorn Road (Parcel No. 01159A00001), and more fully described in Schedule A attached hereto and made a part hereof.

Said premises are subject to any and all provisions of any ordinance, municipal regulation, or public or private law.

Said premises are subject to Taxes due the Town of Vernon on the List of October 1, 2019, which taxes the Grantee herein assumes and agrees to pay as part consideration for this conveyance.

Said premises are subject to the following:

As to both 34 Acorn Road 42 Acorn Road:

- (a) A utility easement in favor of The Connecticut Light and Power Company dated June 4, 1956 and recorded June 21, 1956 in Volume 107 at Page 30 of the Vernon Land Records.
- (b) Caveat dated June 15, 1978 and recorded June 21, 1978 in Volume 336 at Page 10 of the Vernon Land Records.
- (c) Notice dated August 15, 1980 and recorded August 18, 1980 in Volume 388 at Page 163 of the Vernon Land Records.
- (d) Certificate of Taking dated October 22, 1980 and recorded October 22, 1980 in Volume 394 at Page 264 of the Vernon Land Records.
- (e) Certificate of Notice of Assessments and Deferral of Payments recorded April 3, 1991 in Volume 828 at page 246 of the Vernon Land Records.

CONVEYANCE TAX RECEIVED  
STATE \$ 487.50  
LOCAL \$ 162.50  
KAREN C. DAIGLE  
TOWN CLERK OF VERNON

(f) Affidavit dated December 27, 2008 and recorded December 28, 2007 in Volume 1971 at page 239 of the Vernon Land Records.

(g) Building lines, notes, sanitary easements and 20' conservation easement to be deeded to the Town of Vernon as shown on map.

As to 42 Acorn Road only:

(h) Certificate of Notice of Installment Payment of Assessment of Benefits recorded March 23, 1983 in Volume 451 at page 129 of the Vernon Land Records.

As to 34 Acorn Road only:

(i) Certificate of Notice of Installment Payment of Assessment of Benefits recorded March 23, 1983 in Volume 451 at page 127 of the Vernon Land Records.

(j) Certificate of Notice of Installment Payment of Assessment Benefits recorded March 23, 1983 in Volume 451 at page 128 of the Vernon Land Records.

*(signature page to follow)*

Signed this 10 day of June, 2020.

Signed, sealed and delivered  
in the presence of:

Cheryl Adler  
\_\_\_\_\_

ANTHOS ACORN 32-34, LLC

By: [Signature]  
Haralambos Kostopoulos  
Its Member, duly authorized

STATE OF NEW YORK )

) ss.

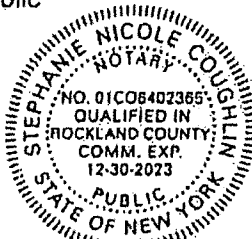
June 10 2020

COUNTY OF Rockland

On this 10 day of June, 2020, before me, Stephanie Coughlin, the undersigned officer, personally appeared Haralambos Kostopoulos who acknowledged himself to be the Member of ANTHOS ACORN 32-34, LLC, and that he as such Member, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the limited liability company by himself as Member, duly authorized.

[Signature]  
Notary Public

Grantee's Address:  
24 Hartford Turnpike  
Vernon, CT 06066





VOL: 2662 PG: 64  
INST: 1884

## SCHEDULE A

### LEGAL DESCRIPTION

A certain piece or parcel of land situated in the Town of Vernon, County of Tolland and State of Connecticut, shown as "LOT 1" on a map entitled "ACORN ROAD VERNON, CONNECTICUT REAR LOT APPLICATION 2.68 ACRES, ALL LOTS - ZONE R-27 PREPARED FOR HOMEOWNERSHIP ASSISTANCE 649 BURNSIDE AVE EAST HARTFORD, CT JOB NO: 04-P34 DRAWN BY: T.I. DESIGNED BY: T.I. CHECKED BY: T.I. DATE: 3/1/06 SCALE: 1" = 40' DRAWING NO: C1 ENGINEERS: INGA CONSULTING ENGINEERS ANDREW T. INGA 139 WHITNEY STREET HARTFORD, CONNECTICUT REG. 14894 PHONE 860-233-4991 SURVEYOR: OSWALD BUNT REGISTERED LAND SURVEYOR WINDSOR, CONNECTICUT REG. 12048 REVISIONS 0 3/1/06 1 6/7/06 Conservation easement, driveway turn around 2 7/21/06 Relocate Road and Detention Basin" said map has been filed as map #5036 in the land records of the Town of Vernon where a more particular description may be had.

A certain piece or parcel of land situated in the Town of Vernon, County of Tolland and State of Connecticut, shown as "LOT 2" on a map entitled "ACORN ROAD VERNON, CONNECTICUT REAR LOT APPLICATION 2.68 ACRES, ALL LOTS - ZONE R-27 PREPARED FOR HOMEOWNERSHIP ASSISTANCE 649 BURNSIDE AVE EAST HARTFORD, CT JOB NO: 04-P34 DRAWN BY: T.I. DESIGNED BY: T.I. CHECKED BY: T.I. DATE: 3/1/06 SCALE: 1" = 40' DRAWING NO: C1 ENGINEERS: INGA CONSULTING ENGINEERS ANDREW T. INGA 139 WHITNEY STREET HARTFORD, CONNECTICUT REG. 14894 PHONE 860-233-4991 SURVEYOR: OSWALD BUNT REGISTERED LAND SURVEYOR WINDSOR, CONNECTICUT REG. 12048 REVISIONS 0 3/1/06 1 6/7/06 Conservation easement, driveway turn around 2 7/21/06 Relocate Road and Detention Basin" said map has been filed as map #5038 in the land records of the Town of Vernon where a more particular description may be had.

RECORDED IN  
VERNON LAND RECORDS  
KAREN C. DAIGLE  
VERNON TOWN CLERK  
ON JUN 22, 2020 AT 03:01 PM

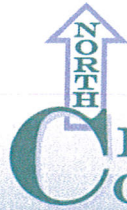


# Land Use Public Notifi...

+

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## CENTRAL CONSERVATION DISTRICT, INC.

AVON ▪ BLOOMFIELD ▪ BOLTON ▪ BRISTOL ▪ BURLINGTON ▪ CANTON ▪ COVENTRY ▪ EAST GRANBY ▪ EAST WINDSOR ▪ EAST HARTFORD ▪ ELLINGTON  
ENFIELD ▪ FARMINGTON ▪ GLASTONBURY ▪ GRANBY ▪ HARTFORD ▪ MANCHESTER ▪ PLAINVILLE ▪ SIMSBURY ▪ SOMERS ▪ SOUTH WINDSOR  
STAFFORD ▪ SUFFIELD ▪ WEST HARTFORD ▪ WETHERSFIELD ▪ TOLLAND ▪ VERNON ▪ WILLINGTON ▪ WINDSOR ▪ WINDSOR LOCKS

Date: March 3, 2021

To: George K. McGregor, AICP, Town Planner  
Town of Vernon Planning & Zoning Commission

From: Barbara Kelly, Program Coordinator, Registered Soil Scientist, SSSSNE  
Certified Erosion Control Professional CPESC #2180  
Mindy Gosselin, Natural Resource Scientist

Re: Site Plan of Development, Suburban Subaru, 6 Hartford Turnpike, Vernon, Connecticut –  
PZ-2021-03

\*\*\*\*\*

This review is conducted pursuant to Section 18 of the Town of Vernon Zoning Regulations. The review is limited to certification of the erosion control plan, based on compliance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (Guidelines).

District staff inspected the site on March 3, 2021. Staff reviewed a 7-page plan set titled "Survey-Subdivision-Construction Layout, Prepared for: Peter B. Krause & James F. Martin, Trustees, 34 & 42 Acorn Road, Vernon, Connecticut" (Plan). The Plan was prepared by Messier Survey, LLC, and dated February 2021.

To the rear of the existing developed 6 Hartford Turnpike parcel, the Plan proposes construction of a 33,689 square foot porous bituminous parking lot on a 2.3864 acre reconfigured lot that is being consolidated from 34 and 42 Acorn Road. Proposed work includes the permeable/porous pavement parking lot, security fencing, associated grading, and plantings on the northern portion of the site. The development also proposes a conservation easement along the southern portion of the site.

### Background & Site Observations

Based on the Natural Resources Conservation Service Web Soil Survey, soils throughout the majority of the proposed construction area are mapped as Saco silt loam on 0 to 3 percent slopes. Manchester-urban land complex on 3 to 15 percent slopes is also mapped on the site. Where work is proposed, the erosion hazard of these soils is slight.

Currently, both 34 and 42 Acorn Road are wooded parcels with a number of large trees and a fairly open understory. The northern portion of the site, which abuts existing parking at 6 Hartford Turnpike, is relatively flat. The southern portion of the site slopes, gently to moderately, uphill toward the southeast. A wetlands complex is located in the northwest corner.

### Comments/Recommendations

The Plan contains a detailed "Erosion and Sediment Control Plan and Construction Sequence" narrative and checklists. Clear guidance is given to promptly providing surface stabilization of any

**Comments/Recommendations (cont'd)**

disturbed soils. The Plan shows placement of perimeter controls, silt fence/hay bales downslope of proposed work areas and around stockpiles. The proposed routing of construction access through 6 Hartford Turnpike will minimize tracking of sediments onto Hartford Turnpike.

Based on the observed site conditions, the soil erosion and sediment control measures incorporated in the Plan are adequate and appropriate. The District hereby certifies that the Plan complies with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.

Thank you for the opportunity to comment.

## **STAFF COMMENTS**





PLANNING  
DEPARTMENT

# TOWN OF VERNON

55 West Main St., VERNON, CT 06066  
(860) 870-3640  
gmcgregor@vernon-ct.gov

## MEMORANDUM

TO: Town of Vernon Planning and Zoning Commission

FROM: George K. McGregor, Town Planner

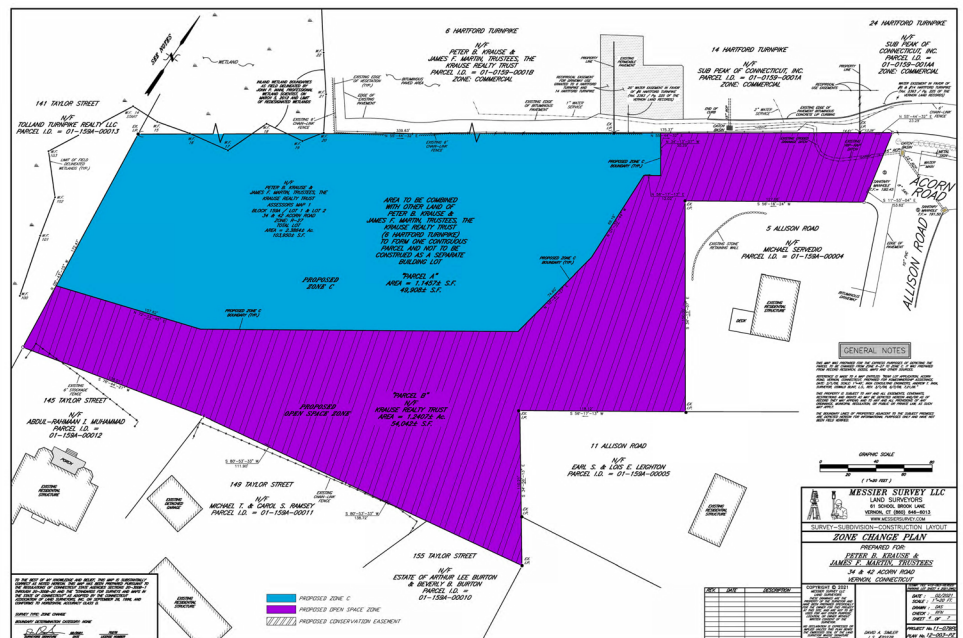
SUBJECT: PZ-2021-02-Zone Change (34 & 42 Acorn Rd., Suburban Subaru)  
PZ-2021-03-Site Plan (6 Hartford Tpke., 34 & 42 Acorn Rd.) Suburban Subaru

DATE: March 18, 2021

### Request

Krause Realty Trust requests a zone change for two parcels, one located at 34 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00002) and the other located at 42 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00001). Both parcels are currently zoned R-27.

The requested change is to rezone 1.1457 acres of the parcels to Commercial, in order to merge that portion into adjacent Commercial land to provide additional inventory parking at an automobile dealership, and to rezone 1.2407 acres of the parcels to Open Space Zone.



A Site Plan application [PZ-2021-03] proposing the additional inventory parking lot with +-120 spaces is also requested.

**This Staff report addresses both submitted applications.**

## Background

On January 18, 2018, the PZC denied a Zone Change application from Krause Realty of similar but not identical nature to the pending application. In PZ 2017-20, the applicant proposed a zone change from R-27 to Commercial. Then, the proposed area for commercial would increase by 1.33 acres; today that increase is smaller at 1.14 acres. The 2017 application proposed to leave the balance of 1.07 acres as R-27. The current application would zone the balance—1.24 acres to the Open Space District.

The Commission voted 4-3 to Approve PZ 2017-20. However, due to a submitted Petition in opposition, the application was deemed denied for not achieving a two-thirds majority of the full commission.

An second application [PZ 2018-03] was submitted a few weeks later; on March 1, 2018 the Commission found the application was not substantively different and therefore did not accept the application for review.

## Zoning Change

34 and 42 Acorn Rd. are two vacant parcels zoned R-27. They are “flag-shaped” lots each reaching the bend in Acorn Rd. for potential future access. They abut the Suburban Subaru dealership (to the north), owned by the Applicant. The Subaru location has several Hartford Tpke. addresses and is zoned Commercial as is all of this business corridor in the area.

The proposed zone change expands the Commercial zone to the south and utilizes the Open Space Zone to buffer the commercial uses from the established residential neighborhood. The applicant has indicated a willingness to record a conservation easement (or like instrument) to preserve the area in open space.

## Plan of Conservation and Development



The 2012 Plan of Conservation and Development designates the area of Acorn Rd. for Low Density Residential uses. POCD policy recommends the protection of residential neighborhoods through the management of adjacent business uses and by ensuring adequate buffers are in place when business and residential uses abut (p. 76).

The policies of compatibility and protection of abutting residential uses must also be reconciled with the Town’s commitment to business development and retention. The POCD states, “the Town should continue to promote business development in its commercial and industrial zones and work to retain existing businesses” (p. 88).

## **Conformity to the Comprehensive Plan**

Section 8-2 of the General Statutes provides that zoning regulations “shall be made in accordance with a comprehensive plan.” The basic purpose in requiring conformity with a comprehensive plan—essentially the zoning ordinance and zoning map—is to prevent the arbitrary, unreasonable and discriminatory exercise of the zoning power. The requirement of conformity to a comprehensive plan serves as an effective brake upon spot zoning.<sup>1</sup> A community’s comprehensive plan evolves from the history of zoning in the town by the zoning commission, as reflected in the zoning regulations and zoning map. It is not to be confused with the plan of conservation and development, which is a planning concept within the exclusive control of the planning commission and is a blueprint for recommended future development of the community.<sup>2</sup>

## **Inland Wetlands Review**

At their January 26, 2021 regular meeting, the Vernon Inland Wetlands Commission approved (3-0) a wetlands permit for the expansion of the inventory parking area based on the Commission's findings that the application presented no adverse impact to wetlands and watercourses as evaluated by the criteria of Section 10.2 of the Vernon Inland Wetlands Regulations. The IWC approval is subject to the following conditions:

1. The property shall be developed in conformance to the plan set (three pages) dated January 9, 2021, prepared by Messier Survey, LLC.
2. Property shall be developed in conformance with the mitigation measures and maintenance steps contained in the letter (five pages) prepared by REMA, LLC dated January 15, 2021. Following completion of the project a letter must be supplied from REMA to document that all mitigation steps were done according to this plan.
3. A P.E. familiar with porous pavement must sign off both on installation and maintenance.
4. Property owner must maintain maintenance logs for the porous pavement to show compliance with the REMA report dated January 15, 2021.
5. Plan will be modified to include erosion control of the topsoil stockpile during construction and sequence of construction.

The permit shall expire on January 26, 2026 unless otherwise extend by the Inland Wetlands Commission.

## **Site Plan Review**

***Note: The Zone Change Application PZ-2021-02 must be approved prior to action on the site plan.***

The Applicant has submitted a site plan application showing +-120 space parking area to the rear of the Suburban Subaru dealership intended for new car inventory storage. The spaces will be 100% pervious pavement across the area. No new access points are proposed as the parking area will be accessed via

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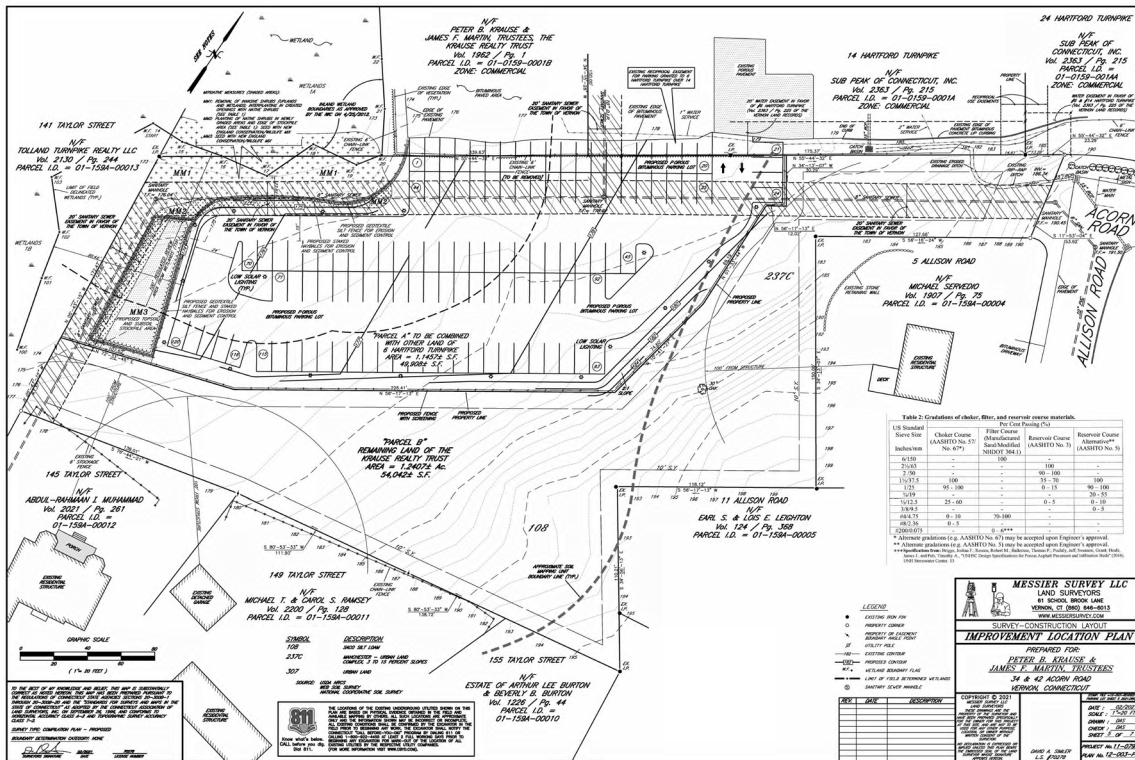
<sup>1</sup> Connecticut Land Use Law and Practice, Third Edition, Volume 9, 2007, § 4:3, pp. 62 & 63.

<sup>2</sup> Connecticut Land Use Law and Practice, Third Edition, Volume 9, 2007, § 4:4, pp. 65 & 66.



expansion of currently existing drives. No access shall be permitted through the residential neighborhood or via Acorn Rd. The parking area is located approximately 110 feet from the nearest residential structure. Because of the irregular shape of the lot, the nearest residential property line varies between 25 feet to 180 feet.

The Site plan meets the requirements of Section 14-Site Plans and meets the Zoning requirements of the Commercial district, Section 4.9.



businesses is a practical method for ensuring they can be successful in Vernon. Therefore, so long as an adequate buffer area is provided to protect the residential uses, the impacts can be mitigated.

The 1.24-acre parcel proposed as an Open Space Zone helps to accomplish this, providing a natural separation between the commercial use and the residential use. It is difficult to find other examples in Vernon where a buffer width of this size and amount of vegetation separates commercial from residential.

**Draft Commission Specific Conditions for Consideration- In the event the PZC considers approval, Staff recommends the following:**

### **PZ 2021-02 Zone Change**

1. Subsequent to the Zone Change, The Applicant shall record a lot-line adjustment in substantial conformance to the "Boundary Line Adjustment Plan" prepared by Messier Survey LLC, dated 02/21 and identified as Sheet 2 in the submitted plan set.

### **PZ 2021-03 Site Plan**

1. The property shall be developed in conformance to the Site plan set (seven pages) dated February, 2021, prepared by Messier Survey, LLC.
2. Property shall be developed in conformance with the mitigation measures and maintenance steps contained in the letter (five pages) prepared by REMA, LLC dated January 15, 2021. Following completion of the project a letter must be supplied from REMA to document that all mitigation steps were done according to this plan.
3. A professional engineer, familiar with porous pavement, must sign off both on installation and a maintenance plan for porous pavement. The maintenance plan shall be submitted to the Town Engineer prior to land disturbance on site.
4. Property owner must maintain maintenance logs for the porous pavement to show compliance with the REMA report dated January 15, 2021.
5. Plan will be modified to include erosion control of the topsoil stockpile during construction and sequence of construction.

**APPLICATION REVIEW COMMENTS**

**FROM:** amarchese@vernon-ct.gov

**TO:** \_\_\_\_\_

**DATE:** 02/18/2021

**APPLICANT:** KRAUSE PETER B & MARTIN JAMES F

**PROJECT:** Suburban Subaru

**LOCATION:** 6 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

\_\_\_\_\_ NO COMMENT

\_\_\_\_\_ COMMENTS ATTACHED

\_\_\_\_\_ PLEASE NOTE THE FOLLOWING COMMENTS:

No comment on zone change

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**APPLICATION REVIEW COMMENTS**

**FROM:** amarchese@vernon-ct.gov

**TO:** \_\_\_\_\_

**DATE:** 02/18/2021

**APPLICANT:** KRAUSE PETER B & MARTIN JAMES F

**PROJECT:** Suburban Subaru

**LOCATION:** 6 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

\_\_\_\_\_ NO COMMENT

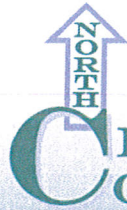
\_\_\_\_\_ COMMENTS ATTACHED

\_\_\_\_\_ PLEASE NOTE THE FOLLOWING COMMENTS:

The proposed site plan appears to conform to the zoning regulations.

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_



## CENTRAL CONSERVATION DISTRICT, INC.

AVON ▪ BLOOMFIELD ▪ BOLTON ▪ BRISTOL ▪ BURLINGTON ▪ CANTON ▪ COVENTRY ▪ EAST GRANBY ▪ EAST WINDSOR ▪ EAST HARTFORD ▪ ELLINGTON  
ENFIELD ▪ FARMINGTON ▪ GLASTONBURY ▪ GRANBY ▪ HARTFORD ▪ MANCHESTER ▪ PLAINVILLE ▪ SIMSBURY ▪ SOMERS ▪ SOUTH WINDSOR  
STAFFORD ▪ SUFFIELD ▪ WEST HARTFORD ▪ WETHERSFIELD ▪ TOLLAND ▪ VERNON ▪ WILLINGTON ▪ WINDSOR ▪ WINDSOR LOCKS

Date: March 3, 2021

To: George K. McGregor, AICP, Town Planner  
Town of Vernon Planning & Zoning Commission

From: Barbara Kelly, Program Coordinator, Registered Soil Scientist, SSSSNE  
Certified Erosion Control Professional CPESC #2180  
Mindy Gosselin, Natural Resource Scientist

Re: Site Plan of Development, Suburban Subaru, 6 Hartford Turnpike, Vernon, Connecticut –  
PZ-2021-03

\*\*\*\*\*

This review is conducted pursuant to Section 18 of the Town of Vernon Zoning Regulations. The review is limited to certification of the erosion control plan, based on compliance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (Guidelines).

District staff inspected the site on March 3, 2021. Staff reviewed a 7-page plan set titled "Survey-Subdivision-Construction Layout, Prepared for: Peter B. Krause & James F. Martin, Trustees, 34 & 42 Acorn Road, Vernon, Connecticut" (Plan). The Plan was prepared by Messier Survey, LLC, and dated February 2021.

To the rear of the existing developed 6 Hartford Turnpike parcel, the Plan proposes construction of a 33,689 square foot porous bituminous parking lot on a 2.3864 acre reconfigured lot that is being consolidated from 34 and 42 Acorn Road. Proposed work includes the permeable/porous pavement parking lot, security fencing, associated grading, and plantings on the northern portion of the site. The development also proposes a conservation easement along the southern portion of the site.

### Background & Site Observations

Based on the Natural Resources Conservation Service Web Soil Survey, soils throughout the majority of the proposed construction area are mapped as Saco silt loam on 0 to 3 percent slopes. Manchester-urban land complex on 3 to 15 percent slopes is also mapped on the site. Where work is proposed, the erosion hazard of these soils is slight.

Currently, both 34 and 42 Acorn Road are wooded parcels with a number of large trees and a fairly open understory. The northern portion of the site, which abuts existing parking at 6 Hartford Turnpike, is relatively flat. The southern portion of the site slopes, gently to moderately, uphill toward the southeast. A wetlands complex is located in the northwest corner.

### Comments/Recommendations

The Plan contains a detailed "Erosion and Sediment Control Plan and Construction Sequence" narrative and checklists. Clear guidance is given to promptly providing surface stabilization of any

**Comments/Recommendations (cont'd)**

disturbed soils. The Plan shows placement of perimeter controls, silt fence/hay bales downslope of proposed work areas and around stockpiles. The proposed routing of construction access through 6 Hartford Turnpike will minimize tracking of sediments onto Hartford Turnpike.

Based on the observed site conditions, the soil erosion and sediment control measures incorporated in the Plan are adequate and appropriate. The District hereby certifies that the Plan complies with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.

Thank you for the opportunity to comment.

## **APPLICATION REVIEW COMMENTS**

**FROM:** dsmith@vernon-ct.gov

**TO:** \_\_\_\_\_

**DATE:** 02/18/2021

**APPLICANT:** KRAUSE PETER B & MARTIN JAMES F

**PROJECT:** Suburban Subaru

**LOCATION:** 6 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

\_\_\_\_\_ NO COMMENT

\_\_\_\_\_ COMMENTS ATTACHED

\_\_\_\_\_ PLEASE NOTE THE FOLLOWING COMMENTS:

the comments provided during the IWC review were addressed in their Approval with conditions. These conditions are equally important to this Application.

If approved,

- A pre-construction meeting with the applicant, design professionals, and site contractor is recommended.
- the applicant will need to provide an As-Built of the completed projects per our Department requirements.

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**APPLICATION REVIEW COMMENTS**

**FROM:** jkenny@vernon-ct.gov

**TO:** \_\_\_\_\_

**DATE:** 02/16/2021

**APPLICANT:** KRAUSE PETER B & MARTIN JAMES F

**PROJECT:** Suburban Subaru

**LOCATION:** 6 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

\_\_\_\_\_ NO COMMENT

\_\_\_\_\_ COMMENTS ATTACHED

\_\_\_\_\_ PLEASE NOTE THE FOLLOWING COMMENTS:

Review of project and site plans found no new curb cuts or changes to existing traffic pattern from Hartford Turnpike. Only expansion of rear lot parking. No need for Traffic Authority Review.

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_