

TOWN OF VERNON  
**Planning & Zoning Commission (PZC)**  
Virtual Meeting Notice & Agenda  
**Thursday, December 3<sup>rd</sup>, 2020, 7:30 PM**

Join Zoom Meeting

**Zoom Meeting Information**

<https://us02web.zoom.us/j/85649742153?pwd=VURBdXRPN2V0SmIZMitRTnkrWUpuUT09>

**Meeting ID:** 856 4974 2153 **Passcode:** Tg0kS1

**By Phone:** 646 876 9923

**Meeting ID:** 856 4974 2153

**Passcode:** 584544

AGENDA REVISED December 2, 2020

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
  - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote
  - 2.2 Approval of the Minutes from the **November 19, 2020**
3. **New Application(s) for receipt, if any:**
  - 3.1 Application [**PZ-2020-14**] of the Town of Vernon's Planning Department, for a proposed Text Amendment to the Zoning Regulations, Section 15 (Removal of Earth, Sand, and Gravel).
  - 3.2 Application [**PZ-2020-15**] of the Town of Vernon's Planning Department, for a proposed Text Amendment to the Zoning Regulations, Section 20 (Aquifer Protection) and numerous references throughout other Sections.
  - 3.3 Application [**PZ-2020-16**] of Square Peg Pizza, Vernon for a Modification of a Site Plan of Development to renovate and update an existing restaurant site and for a Special Permit pursuant to Section 4.9.4.17 to allow a drive-up service window at 226 Talcottville Rd. (Assessor's ID: Map 10, Block 015R, Parcel 0040F).
  - 3.4 Application [**PZ-2020-17**] of Bohler Engineering for a Modification of a Site Plan of Development to add an additional drive-thru lane with new menu boards, façade, signage, and other minor site revisions at McDonald's, 74 Reservoir Rd. (Assessor's ID: Map 46, Block 0071, Parcel 0019B).
4. **Public Hearing(s) and Action on Application**
5. **8-24 Referrals, If any**
6. **Plan of Conservation and Development Update:** Vision and Objectives Discussion
7. **Other Business/Discussion**
8. **Adjournment**

Roland Klee, Chairman  
Planning & Zoning Commission

# **DRAFT MINUTES**

TOWN OF VERNON  
Planning & Zoning Commission (PZC)  
Thursday, November 19<sup>th</sup>, 2020, 7:30 PM

**RECEIVED BY EMAIL**  
RECEIVED  
VERNON TOWN CLERK  
20 NOV 23 AM 11:33

Via Zoom Meeting

DRAFT MINUTES

1. **Call to Order & Roll Call by Roland Klee, Chairperson at 7:30 PM.**

- Regular members present: Roland Klee, Joseph Miller, Mike Mitchell, Iris Mullan, Jesse Schoolnik and Wes Shorts
- Alternate Member: Robin Lockwood sitting for Susan Reudgen
- Absent Members: Susan Reudgen
- Staff present: George McGregor, Town Planner
- Recording secretary: Jill Rocco

2. **Administrative Actions/Requests**

- 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote

Robin Lockwood motioned to **ADOPT** the agenda. Joseph Miller seconded and the motion carried unanimously.

- 2.2 Approval of the Minutes from the **November 5, 2020**

Joseph Miller motioned to **APPROVE** the minutes from November 5, 2020 with one change. Iris Mullan seconded and the motion carried with Mike Mitchell abstaining.

- 2.3 Approval of PZC 2021 Meeting Schedule

Wes Shorts motioned to **APPROVE** the 2021 Meeting Schedule. Joseph Miller seconded and the motion carried unanimously.

3. **New Application(s) for receipt, if any:**

**[PZ-2020-13]** 6 Pack, Inc. (Umakiran Buddah, Manager) requests a special permit for the warehousing, sale and distribution of craft beers at 27 Hartford Turnpike, Suite S212 (Assessor ID: Map 01, Block 0158, Parcel 00027) This property is zoned commercial.

- George McGregor, Town Planner, explained the details of the application and recommended a hearing date of December 17, 2020.

Mike Mitchell motioned to **RECEIVE** the application on December 17, 2020. Jesse Schoolnik seconded and the motion carried unanimously.

8. **Adjournment**

Wes Shorts made a motion to ADJOURN at 8:34 PM. Mike Mitchell seconded and the motion carried unanimously.

Jill Rocco  
Recording Secretary



# **APPLICATION**

**1**



# TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066-3291  
(860) 870-3640  
gmcgregor@vernon-ct.gov

## Planning and Zoning Commission Application: (Please check one)

☐ Zone Map Change

☒ Ordinance Text Change

☐ Site Plan of Development

☐ Subdivision

☐ Special Permit

### Property Information

Property Address N/A Assessor Parcel ID \_\_\_\_\_

Property Owner \_\_\_\_\_

Property Owner Address \_\_\_\_\_

Property Owner Phone \_\_\_\_\_ Email \_\_\_\_\_

### Applicant

☐ Please Check if Applicant is different than Owner

Applicant Name Town of Vernon Planning (Town Planner)

Applicant Address 55 West Main St. Vernon, CT 06066

Applicant Phone 860-870-3640 Email gmcgregor@vernon-ct.gov

### Project Description

Please provide a description of request or project (attach additional pages if necessary)

Zoning Text Amendment to Section 15 (Removal of Earth, Sand, and Gravel) of the Town Zoning regulations. See attached Narrative.

Amendment would remove special permit requirement in most cases, replaced with an Administrative review process.

### Submission Requirements

☒ Please confirm that the application submission contains ALL of the checklist submission requirements (page 2)

### Signatures

*The Applicant, undersigned, has reviewed the Town of Vernon Zoning Regulations and has prepared the application with complete and accurate information:*

Signature of Applicant *George M. Shigor* Date *11-23-20*  
*Town Planner*

## **Amendment to Section 15: Removal of Earth, Sand, Gravel**

### **Narrative and Draft Amendment Language**

**November 23, 2020**

**Issue:**

Today the Zoning Regulations require a special permit, public hearing, and PZC approval for all land disturbance activities in excess of 50 cubic yard and/or ½ acre of earth moving/grading, etc. This level of activity is relatively small. Moreover, most triggers for a special permit accompany a site plan or subdivision application. They are, most often, incidental to another review process. Requiring a special permit for grading related to an approved site plan, subdivision, or building permit is burdensome to businesses and property owners, as well as unnecessary, as the technical review related to earth moving et. al. will take place by the Town Engineer and other experts during the course of a land development application. Other activities which are not significant would continue to be exempted from any review.

The amendment, therefore, would no longer require a special permit for grading and earth moving, especially if related to an existing, standard approval process. Yes, there would no longer be a public hearing. However, these requests are technical in nature and often related to an underlying application. Site Plans, on their own, do not require public hearings; so why would the grading associated with the site plan require one? This amendment streamlines review, saves property owners and business time and money, while continuing to rely upon Staff expertise.

**Proposed Solution:** Revisions to Section 15 addressing exemptions and Administrative review in most cases. In most cases, no special permit review, public hearing, or PZC approval would be required.

### **Amendment Draft Without Strike-through**

15.1.1 Grading, fill, excavation or removal, remediation, or sale of earth, loam, top soil, sand, gravel, clay, peat, humus or stone is permitted without additional review under the following circumstances:

- 15.1.1.1 A residentially zoned lot with a primary residential structure for which a building permit has been obtained.
- 15.1.1.2 Necessary and incidental to activities associated with an approved subdivision or site plan.
- 15.1.1.3 Bona fide agricultural activities.

- 15.1.1.4 Remediation of contaminated soils.
  - 15.1.1.5 When the amount of material does not exceed 500 cubic yards, or when less than 1 acre is disturbed. (not associated with any approved plan or permit)
- 15.1.2 In all other cases, a minor modification application permit may be approved by the Town Engineer or his assigns for the grading fill, excavation or removal, remediation, or sale of earth, loam, topsoil, sand, gravel, clay, peat, humus or stone on site. Submission review requirements include (but are not limited to) map & site plans detailing:
  - 15.1.2.1 The area of disturbance.
  - 15.1.2.2 Existing contour lines; final contour lines are 1" =40' or other acceptable scale.
  - 15.1.2.3 Existing and proposed drainage.
  - 15.1.2.4 Erosion and sediment control.
  - 15.1.2.5 Access to disturbed area.
  - 15.1.2.6 Narrative explanation of project purpose.
- 15.1.3 Permission may be granted subject to the following conditions:
  - 15.1.3.1 The activities shall be completed in substantial conformance with approved plans.
  - 15.1.3.2 Upon completion, the premises shall be free of all debris.
  - 15.1.3.3 No land disturbance activities shall take place within 20 feet of any residentially zoned property line.
  - 15.1.3.4 No processing of materials which originated offsite.
  - 15.1.3.5 An erosion control or performance bond may be required by the Town Engineer.

~~SECTION~~Section 15 — REMOVAL OF EARTH, SAND, AND GRAVEL

**15.1 — Provisions:**

~~15.1.1 — There shall be no grading~~ Grading, fill, excavation or removal, remediation, or sale of earth, loam, ~~topsoil~~top soil, sand, gravel, clay, peat, humus or stone ~~for sale or for use other than on the premises for which such grading, fill, excavation or removal shall be made.~~ The is permitted without additional review under the following activities are excluded from obtaining a Special Permit from the Planning & Zoning Commission provided the following conditions are met: 1) the amount of material involved does not exceed fifty (50) cubic yards and 2) no more than one half (1/2) acre of land is disturbed. circumstances:

~~15.1.1.1 — Bona fide construction or alteration of a structure for which a building permit has been issued.~~

~~15.1.1.2 — The landscaping of an existing structure.~~

~~15.1.1.3 — The construction of a water hole for fire protection.~~

~~15.1.1.4 — The construction of a drainage field, septic tank or dry well.~~

~~15.1.1.5 — The construction of a pond for agriculture or conservation purposes.~~

~~15.1.1.6 —~~ \_\_\_\_\_ A residentially zonezoned lot which has on it with a primary residential structure- for which a building permit has been obtained.

~~15.1.1.2. —~~ \_\_\_\_\_ Necessary and incidental to activities associated with an approved subdivision or site plan.

~~15.1.1.3~~ \_\_\_\_\_ Bona fide agricultural activities.

~~15.1.1.4~~ \_\_\_\_\_ Remediation of contaminated soils.

~~15.1.1.5~~ \_\_\_\_\_ When the amount of material does not exceed 500 cubic yards, or when less than 1 acre is disturbed. (not associated with any approved plan or permit)

15.1.2 ~~In all cases other than those referred to above, the Planning & Zoning commission~~ cases, a minor modification application permit may grant Special Permit approval be approved by the Town Engineer or his assigns for the removal, deposit, grading fill, excavation or gradingremoval, remediation, or sale of earth, loam, topsoil, sand, gravel, clay, stone, peat or, humus. The maps and plans shall include the following: or stone on site. Submission review requirements include (but are not limited to) map & site plans detailing:

\_\_\_\_\_ 15.1.2.1 — \_\_\_\_\_ The area to be excavated- of disturbance.



15.1.2.2— ~~Existing contour lines on the premises and; final contour lines resulting from the intended excavation or removal shown on a map drawn to aare 1" =40' or other acceptable scale not more than forty (40) feet to the inch and with a contour interval not to exceed five (5) feet.~~

15.1.2.3— ~~Existing and proposed drainage on the premises.~~

15.1.2.4— ~~Surrounding properties~~ Erosion and ~~streets.~~ sediment control.

15.1.2.5— ~~Proposed truck access to the property.~~ Access to disturbed area.

15.1.2.6— ~~Proposed commencement and completion data.~~

15.1.2.7— ~~Purpose~~ Narrative explanation of ~~excavation.~~ project

~~15.1.3.~~ The Commission may grant permission for a limited period of time not exceeding five years if it shall find that such excavation or removal will not result in the creation of any sharp declivities, pits, or depressions, soil erosion or fertility problems, permanently depressed land values, or create any drainage or sewerage problems or other conditions which would impair the use of the property in accordance with the zoning regulations and that such excavation or removal will be in harmony with the general purpose and intent of the zoning regulations. Permission shall be granted only upon the following conditions:-

15.1.3 Permission may be granted subject to the following conditions:

15.1.3.1— ~~That the premises~~ The activities shall be ~~filled or excavated and graded~~ completed in ~~conformity~~ substantial conformance with ~~the proposed contour~~ approved plans ~~as approved.~~

15.1.3.2— ~~That slopes shall not exceed thirty (30) degrees to the horizontal.~~

~~15.1.3.3— That only such equipment as is necessary for the digging, leveling, and carting away of excavated material shall be utilized at or maintained on the site. Further, it is the specific intention of the Commission to permit on site only equipment that is used in the incidental processing of excavated material for the purposes of trucking off site.~~

~~15.1.3.4 That there will be no sharp declivities, pits, or depressions and that proper drainage will be provided to avoid stagnant water and sewerage problems.~~

~~15.1.3.5 That after fill, excavation or removal~~ Upon completion, the premises shall be ~~cleared~~free of all debris.

~~15.1.3.6 That top layer of arable soil for a depth of at least four (4) inches shall be set aside and retained on the premises and shall be re-spread over the premises and appropriately seeded upon completion of the excavation or removed, in accordance with approved contour lines.~~

~~15.1.3.7 That no excavation shall be made nearer to the side and rear property lines than the distance of twenty (20) feet in all residential zones, the measurements to be taken to the top of slopes.~~

15.1.3.3 No land disturbance activities shall take place within 20 feet of any residentially zoned property line.

~~15.1.3.8 There shall not be any 4~~ No processing of any ~~material, materials~~ which originated ~~off site~~offsite.

~~15.1.3.9 There shall be no buildings erected on 5~~ An erosion control or performance bond may be required by the premises ~~without appropriate approvals.~~

~~15.2 In all zoning districts, excavation, removal of fill which in the opinion of the Building Inspector, Town Engineer, and Town Planner are of such a minor nature that the public health and safety will not be adversely affected, may be exempt from obtaining Commission approval if a minor modification approval is obtained provided the quantities outlines in Section 15.1.1 are not exceeded.~~

~~15.3—In all situations when approval is obtained for fill, excavation, or removal of material, the property owner shall be responsible and liable for any damage to public infrastructure, which includes but is not limited to sidewalks, curbs, roadways, and drainage systems.~~



## **APPLICATION 2**



# TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066-3291  
(860) 870-3640  
gmcgregor@vernon-ct.gov

## Planning and Zoning Commission Application: (Please check one)

☐ Zone Map Change

☒ Ordinance Text Change

☐ Site Plan of Development

☐ Subdivision

☐ Special Permit

### Property Information

Property Address N/A Assessor Parcel ID \_\_\_\_\_

Property Owner \_\_\_\_\_

Property Owner Address \_\_\_\_\_

Property Owner Phone \_\_\_\_\_ Email \_\_\_\_\_

### Applicant

☐ Please Check if Applicant is different than Owner

Applicant Name Town of Vernon Planning (Town Planner)

Applicant Address 55 West Main St. Vernon, CT 06066

Applicant Phone 860-870-3640 Email gmcgregor@vernon-ct.gov

### Project Description

Please provide a description of request or project (attach additional pages if necessary)

Text Amendment to Section 20 (Aquifer Protection). State Statute requires the Aquifer Protection regulations to be separate and distinct from the Zoning Ordinance.

In July of 2019, the PZC adopted new Aquifer Protection regulations consistent with DEEP guidance and State law.

This amendment deletes Section 20 and amends the numerous references to Section 20 throughout the Zoning Regulations.

### Submission Requirements

☒ Please confirm that the application submission contains ALL of the checklist submission requirements (page 2)

### Signatures

**The Applicant, undersigned, has reviewed the Town of Vernon Zoning Regulations and has prepared the application with complete and accurate information:**

Signature of Applicant George McShay Date 11-23-20  
Town Planner

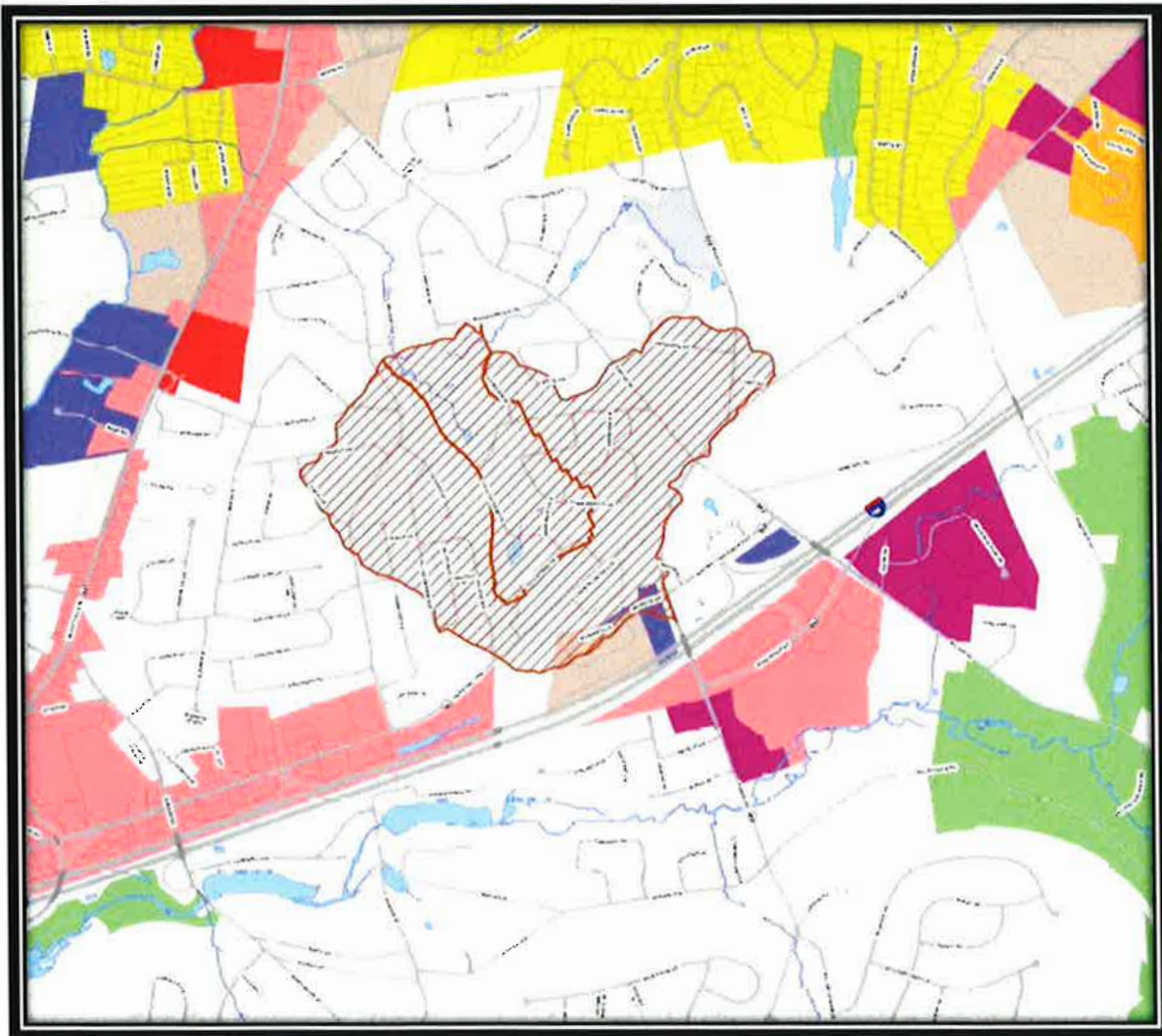
# AQUIFER PROTECTION AREA REGULATIONS

## Amendment Narrative

November 23, 2020

On July 18, 2019, the Planning and Zoning Commission adopted new Aquifer Protection Area Regulations, based on revised Aquifer mapping provided by the Connecticut Department of Energy and Environmental Protection (DEEP) in coordination with the Connecticut Water Company. The Aquifer Protection Regulations are intended to protect Connecticut's major sources of public drinking water, wells, and ground water.

DEEP statutory requirements dictate that the Aquifer Regulations be a separate and distinct regulatory scheme set apart from the Zoning Regulations. The revised mapping of "Level A" public water resources are the areas which must be protected under the DEEP Regulations. The PZC, as part of the adoption process, approved what is deemed the final regulatory Aquifer Protection Area Map:



This area is the only area in Vernon subject to the Aquifer Protection Area Regulations.

By requiring the Aquifer Protection Area to be separated from the Zoning Ordinance, it renders Section 20 of the Zoning Regulation – Aquifer Protection as void, relative to the State Aquifer Statute. Therefore, Section 20 needs to be deleted, renamed, or amended, as it is no longer dispositive and conflicts with the Aquifer Regulations adopted in 2019. Section 20 of the Zoning Regulations applied Aquifer regulations to a much larger mapped area in multiple locations and based on less accurate mapping protocols. The new mapping is specific, accurate, and final based on exact public well locations, as provided by Connecticut Water.

The amendment would delete and remove Section 20 from the Zoning Regulations. Note, there are also almost three dozen other references to Section 20 throughout the Zoning regulations; these would be amendment as well and are detailed at the end of this narrative. This is likely the cleanest and most efficient approach. The Adopted Aquifer Protection Area Regulations approved last year act to protect Vernon's bona fide public ground water drinking supplies based on scientific mapping of CT water well resources.

The current Aquifer Protection provisions casts a much wider net with protected areas mapped across town, essentially overlaid atop both the Hockanum and Tankerhoosen river corridors. These areas extend well beyond specific and identified level A aquifers.

In order to remove the existing conflicts associated with the separately adopted Aquifer Protection ordinance and Section 20, it may be best to eliminate outright Section 20, then consider other natural resource standards at a later time, perhaps after completion of the POCD.

## **AQUIFER PROTECTION AREA AMENDMENT**

### **Specific deletions by section**

1. Table of Contents	ii	Delete Section 20
2. Section 2 Definitions	2.5	Delete Section 2.5
3. Section 4.1.1.8	Amend to "Maximum lot coverage 25%"	Delete "when not in An aquifer protection zone"
4. Section 4.1.1.8.1		Delete entire
5. Section 4.2.1.8	Amend to "Maximum lot coverage 25%"	Delete "when not in an aquifer protection zone"
6. Section 4.2.1.8.1		Delete entire
7. Section 4.3.1.8	Amend to "Maximum lot coverage 25%"	Delete "when not in an aquifer protection zone"
8. Section 4.3.1.8.1		Delete entire
9. Section 4.4.1.8	Amend to "Maximum lot coverage 25%"	Delete "when not in an aquifer protection zone"
10. Section 4.4.1.8.1		Delete entire
11. Section 4.5.1.8	Amend to "Maximum lot coverage 25%"	Delete "when not in An aquifer protection zone"
12. Section 4.5.1.8.1		Delete entire

13. Section 4.6.1.7	Amend to "Maximum lot coverage 25%"	Delete "when not in an aquifer protection zone"
14. Section 4.6.1.7.1		Delete entire
15. Section 4.7.4.6		Delete "If this area is in an aquifer protection zone..."
16. Section 4.9.4.15.6		Delete "If this area is in an aquifer protection zone..."
17. Section 4.10.4.11.6		Delete "if this area is in an aquifer protection zone..."
18. Section 4.14.4.12.6		Delete "if this area is in an aquifer protection zone..."
19. Section 4.15.3.10.6		Delete "if this area is in an aquifer protection zone..."
20. Section 4.16.3.11.4		Delete "if this area is in an aquifer protection zone..."
21. Section 4.17.3.24.6		Delete "if this area is in an aquifer protection zone..."
22. Section 4.18.3.3.6		Delete "if this area is in an aquifer protection zone..."
23. Section 4.19.3.2.6		Delete "if this area is in an aquifer protection zone..."

24. Section 4.20.4.13.6	Delete "if this area is in an aquifer protection zone..."
25. Section 4.21.5.11.6	Delete "if this area is in an aquifer protection zone..."
26. Section 4.22.8.4	Delete "if this area is in an aquifer protection zone..."
27. Section 4.23.5.21.2	Delete "if this area is in an aquifer protection zone..."
28. Section 4.24.4.2	Delete entire (also 4.24.4.2.1)
29. Section 4.24.4.3.15.5.1.4	Delete
30. Section 4.25.4.2	Delete entire
31. Section 4.25.4.3.16.5.1.4	Delete
32. Section 20	Delete in entire
33. Section 22.2.13.7	Delete entire

## **APPLICATION 3**



**TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)**

**APPLICATION**

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

*The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.*

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

**I. APPLICANT:**

Name: John Maffe

Title: Owner

Company: Square Peg Pizzeria, Vernon

Address: 624 Hebron Ave Bldg 3 Ste 100

Glastonbury, CT 06033

Telephone: 860-966-6401 Fax: \_\_\_\_\_

E-mail: jay@squarepegpizzeria.com

**II. PROPERTY OWNER (S):**

Name: John Maffe

Title: Owner

Company: Maffe Investments LLC

Address: 624 Hebron Ave Bldg 3 Ste 100

Glastonbury

Telephone: 860-966-6401 Fax: \_\_\_\_\_

E-mail: jay@squarepegpizzeria.com

### III. PROPERTY

Address: 226 Talcottville Rd Vernon, CT 06066

Assessor's ID Code: Map # 10 Block # 015R Lot/Parcel # 0040F

Land Record Reference to Deed Description: Volume: 2669 Page 188

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☒ No

☐ Yes

☒ No work will be done in regulated area

☐ Work will be done in the regulated area

☐ IWC application has been submitted

☐ IWC application has not been submitted

Zoning District Zone C - Commercial District

Is this property located within five hundred (500) feet of a municipal boundary?

☒ No

☐ Yes:

☐ Bolton  
☐ Coventry  
☐ Ellington  
☐ Manchester  
☐ South Windsor  
☐ Tolland

Check if Historic Status Applies:

☐ Located in historic district:

☐ Rockville  
☐ Talcottville

☐ Individual historic property

#### IV. PROJECT

Project Name: Square Peg Pizzeria, Vernon

Project Contact Person:

Name: John Maffe

Title: Owner

Company: Square Peg Pizzeria Vernon LLC

Address: 226 Talcottville Rd

Vernon, CT 06066

Telephone: 860-966-6401 Fax: \_\_\_\_\_

E-mail: jay@squarepegpizzeria.com

## V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Convert former restaurant to new restaurant

General Activities: Interior building modifications, new exterior dining patio,  
drive thru window addition, rear building cooler enclosure, misc site work  
for example: restriping, dumpster enclosure etc.

## VI. APPROVAL (S) REQUESTED

### Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

       Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

  X   Site Plan of Development (POD) (ZR Sec. 14)

- X   POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

  X   Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- X   Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

X   Other Special Permit(s). Cite ZR Section and describe activity:

           Section 4. 9. 4. 17 - Drive thru window

\_\_\_\_\_

\_\_\_\_\_

       Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

       **Zoning:**

       Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

       Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

       Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

*See Zoning Regulations Section 22 for application fee schedules.*

       Dealer or Repairer License (location approval for DMV)

## **VII. APPLICATION CONDITIONS / STIPULATIONS**

~~The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.~~ **Section 4-9-4-17 Drive thru window**

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

**THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.**


**APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC**

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

  
\_\_\_\_\_  
Signature

\_\_\_\_\_  
Signature

12-2-2020  
Date

\_\_\_\_\_  
Date

***TO BE FILLED IN BY THE PLANNING DEPARTMENT***

Date Application Submitted \_\_\_\_\_

Date Application Received by Commission \_\_\_\_\_

PZC File: \_\_\_\_\_

## Planning and Zoning Attachment:

### Project Narrative

The project site is located on the east side of Connecticut Route 83 ( Talcottville Road ) and is comprised of approximately 0.78 acres of land. The site consists of a one story vacant building of approximately 1,850 square feet whose former use was a restaurant. The site is serviced by two driveways. Parking striping indicates one way traffic movement around the building. There are currently approximately 34 parking spaces on site. Chiller/ freezer units are located immediately behind the building. A detached shed is located in the northeast corner of the site parking area.

The proposed activity consists of interior building and exterior building and site renovations. The building would be converted to a new pizzeria restaurant with interior seating for forty people and exterior patio seating for twenty people. Outdoor dining would be seasonal. A drive thru window is proposed on the north side of the building for pizza pick up with a dedicated drive thru lane with queing for three vehicles. There is no ordering from the drive thru lane as this is completed in advance from off site. Other exterior improvements consist of parking re-striping; new dumpster pad with fence enclosure; repairing existing outdoor concrete patio, fire pit and retractable awning; a rear building addition to enclose the freezer/ cooler and landscape improvements.

There are no improvements planned to site utilities or storm drainage features, Site topography would remain unchanged. Parking modifications result in a slight decrease in bituminous pavement coverage. New plantings consist of several ornamental deciduous trees and woody ornamentals, herbaceous perennials and ornamental grasses around the patio.

Based on the applicants existing pizzeria location in a neighboring community, traffic queing for the three vehicles at the drive thru window is the maximum number of vehicles which can be expected at any one time. The site egress drive at the intersection of Connecticut Route 83 is approximately 24 feet in width and consists of both right and left turn movements. Stop signs are proposed on both sides of the egress drive. Connecticut Route 83 consists of two northbound and two southbound thru lanes with a double yellow line. Connecticut Route 83 is uniform in alignment in the vicinity of the site egress drive and offers sight lines in both directions from the egress drive.

The applicant feels the new pizzeria will provide a new dining experience for the residents of Vernon and the planned interior and exterior building renovations and exterior site improvements will be an enhancement for the community.



**Record and Return To:**

Lester Gorin, Teller + Nagle  
33 Connecticut Blvd  
East Hartford Ct 06108

**WARRANTY DEED**

**TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME,**  
**GREETING: KNOW YE, THAT TALCOTTVILLE ROAD, LLC,** a Connecticut limited liability company, with an office located in the Town of Norwich, County of New London, and State of Connecticut, hereinafter referred to as the Grantor, for consideration of **THREE HUNDRED TWENTY-FIVE THOUSAND (\$325,000.00) DOLLARS** received to its full satisfaction of **MAFFE INVESTMENTS, LLC,** a Connecticut limited liability company, with a principal place of business in the Town of Glastonbury, County of Hartford, and State of Connecticut, hereinafter referred to as the Grantee, does give, grant, bargain, sell and confirm unto the said **MAFFE INVESTMENTS, LLC,** that certain piece or parcel of land with the buildings and improvements thereon, located in the Town of Vernon, known as 226 Talcottville Road, and more particularly bounded and described in Schedule 'A' annexed hereto and made a part hereof. As part consideration hereof, the Grantee herein assumes and agrees to pay all taxes and assessments hereinafter becoming due and payable.

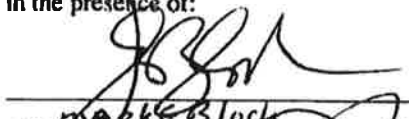
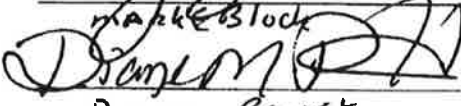
**TO HAVE AND TO HOLD,** the above granted and bargained premises, with the appurtenances thereof, unto the said Grantee, its successors and assigns forever, to them and their own proper use and behoof.

**AND ALSO,** the said Grantor does for its successors and assigns, covenant with the said Grantee, its successors and assigns forever, that at and until the ensembling of these presents it is well seized of the premises, as a good indefeasible estate in **FEE SIMPLE;** and it has good right to bargain and sell the same in manner and form as is above written; and that the same is free from all encumbrances whatsoever, except as hereinbefore mentioned.

**AND FURTHERMORE,** it the said Grantor by these presents binds itself and its successors and assigns forever to **WARRANT AND DEFEND** the above granted and bargained premises unto the said Grantee, its successors and assigns forever, against all claims and demands whatsoever, except as hereinbefore mentioned.

**IN WITNESS WHEREOF,** the Grantor has hereunto set its hand and seal this 3<sup>rd</sup> day of August, 2020.

Signed, Sealed and Delivered  
in the presence of:

  
Mark Block  
  
Doriane Provost

**TALCOTTVILLE ROAD, LLC**

By:   
Lester Gorin, Member

CONVEYANCE TAX RECEIVED  
STATE \$ \$4,062.50  
LOCAL \$ \$812.50  
KAREN C. DAIGLE  
TOWN CLERK OF VERNON

STATE OF CONNECTICUT )  
COUNTY OF NEW LONDON )

On this the 3<sup>rd</sup> day of August, 2020, before me, the undersigned officer, personally appeared Lester Gorin, Member of **TALCOTTVILLE ROAD, LLC**, duly authorized, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained, as her free act and deed and the free act and deed of said company

**IN WITNESS WHEREOF**, I hereunto set my hand and official seal.

Comm. Of the Superior Court/Notary Public

M:\users\MEB\CorinSale of Vernon\Warranty Deed.doc

A certain piece or parcel of land, with all improvements thereon known as 228 Telcottville Road, situated in the Town of Vernon, County of Tolland and State of Connecticut, more particularly bounded and described as follows:

COMMENCING at a point in the easterly line of the highway now known as Connecticut Route 83 at the northwest corner of land formerly of one Karenkraut; thence running N 19° 22' E along said highway line a distance of 169.86 feet; thence running N 81° 23' E a distance of 226.48 feet along land now or formerly of Andrew J. Ashland and Joseph F. Toth; thence running S 19° 22' W a distance of 169.86 feet along other land of said Ashland and Toth to land formerly of one Greenberg; thence running S 81° 23' W a distance of 226.48 feet to the point and place of beginning, along land now or formerly of said Greenberg and of said Karenkraut, in part by each.

Being the same premises conveyed to Lester Gorin by Quit Claim Deed dated February 13, 1998 and recorded in Volume 1134 at Page 253 of the Vernon Land Records.

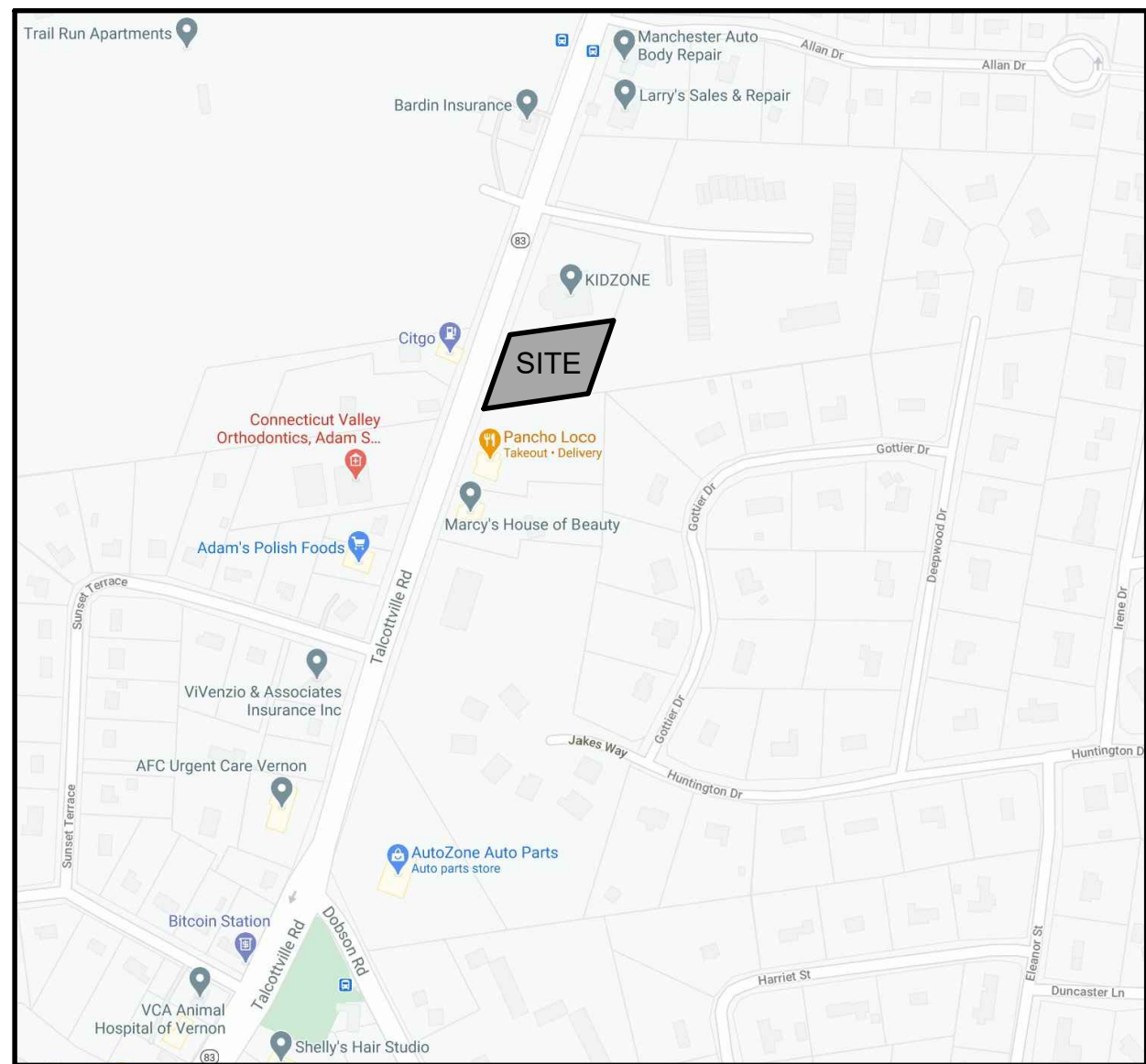
SCHEDULE A

RECORDED IN  
VERNON LAND RECORDS  
KAREN C. DAIGLE  
VERNON TOWN CLERK  
ON AUG 04, 2020 AT 02:38 PM

# SQUARE PEG PIZZERIA - VERNON

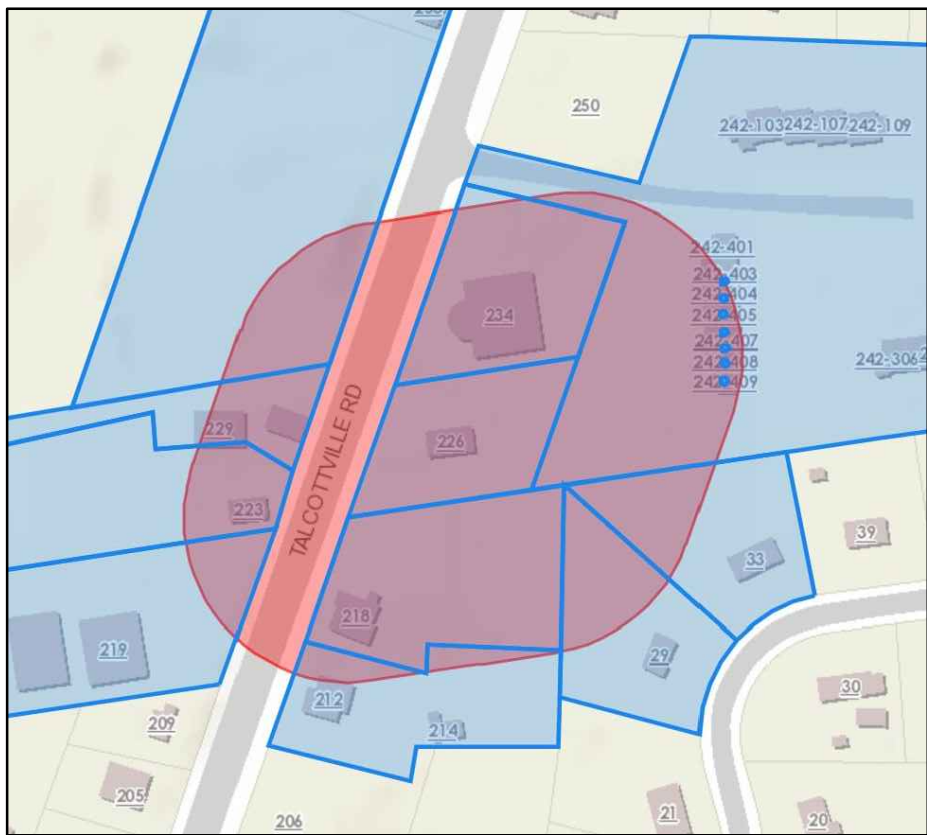
## 226 TALCOTTVILLE ROAD (CT RTE 83)

### VERNON, CONNECTICUT



VICINITY MAP

LIST OF DRAWINGS	
1	COVER SHEET
2	SITE SURVEY
3	SITE PLAN
4	CONSTRUCTION DETAILS
SA-2	FLOOR PLAN
SA-4	ELEVATIONS



200' ABUTTERS MAP

**Property Owner**  
MAFFE INVESTMENTS, LLC  
624 Hebron Avenue  
Glastonbury, CT 06033

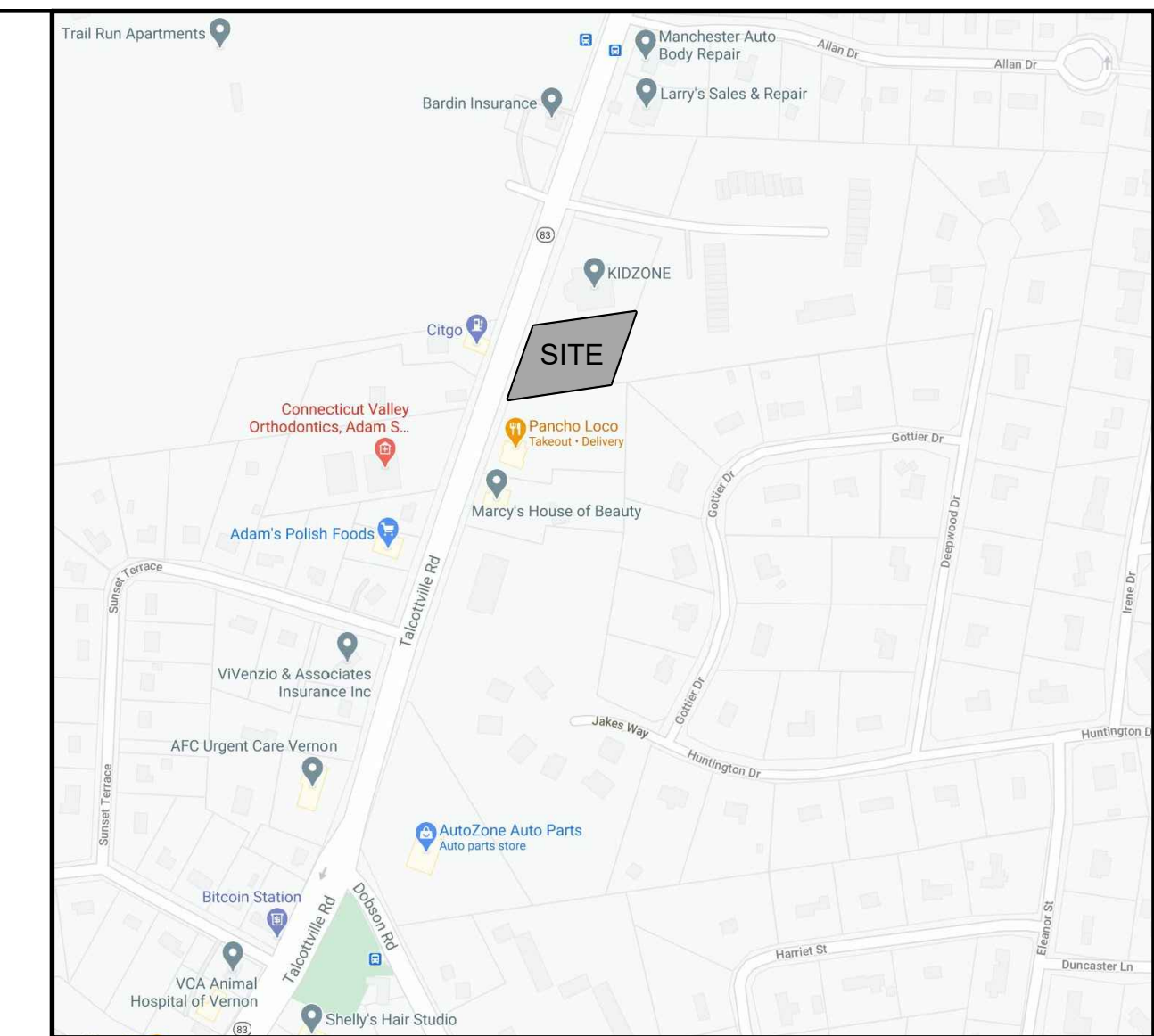
**Civil Engineer**  
CLOSE JENSEN & MILLER, P.C.  
1137 Silas Deane Highway  
Wethersfield, CT 06109  
(TEL.) 860-563-9375  
(FAX) 860-721-1802

**Architect**  
VINCENT BABAK ARCHITECTURE, LLC  
195 Tunxis Hill Road, Suite 203  
Fairfield, CT 06825  
(TEL.) 203-903-6203

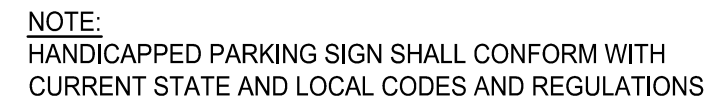








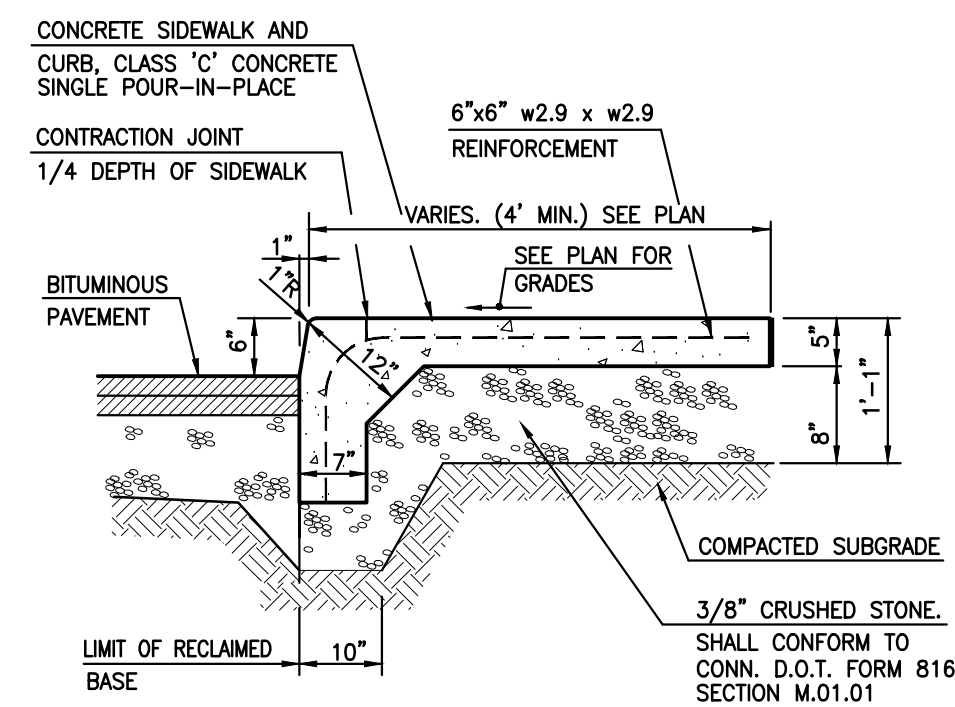




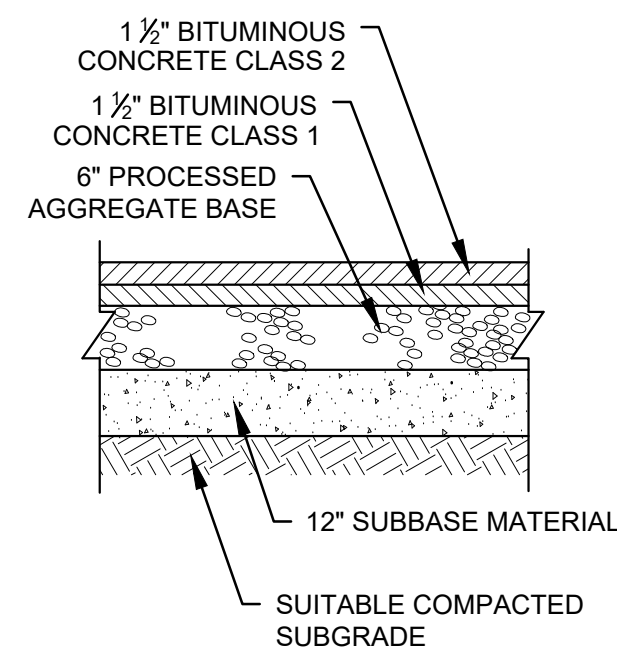
### HANDICAPPED PARKING SIGN DETAIL



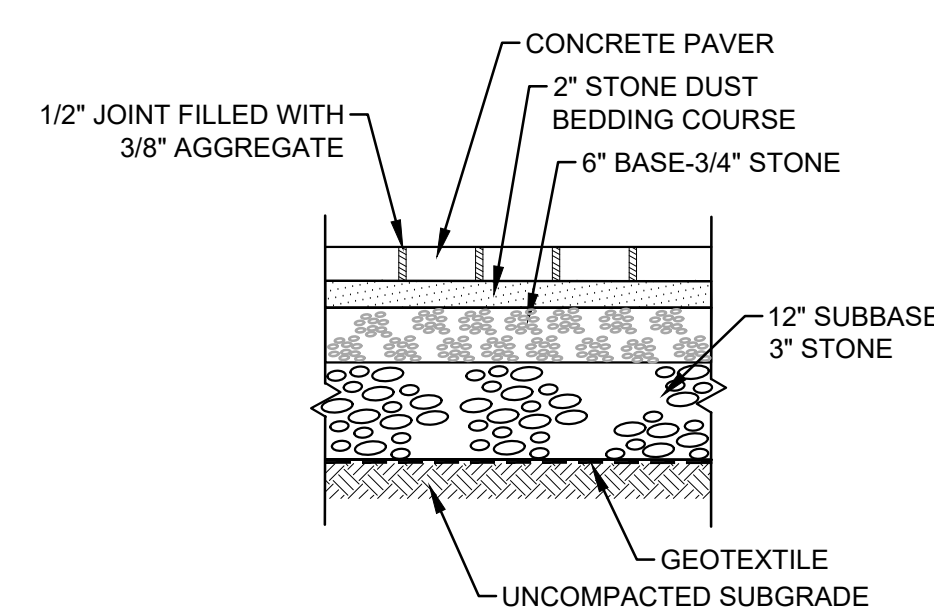
### HANDICAPPED PARKING & VAN PARKING SIGN DETAIL



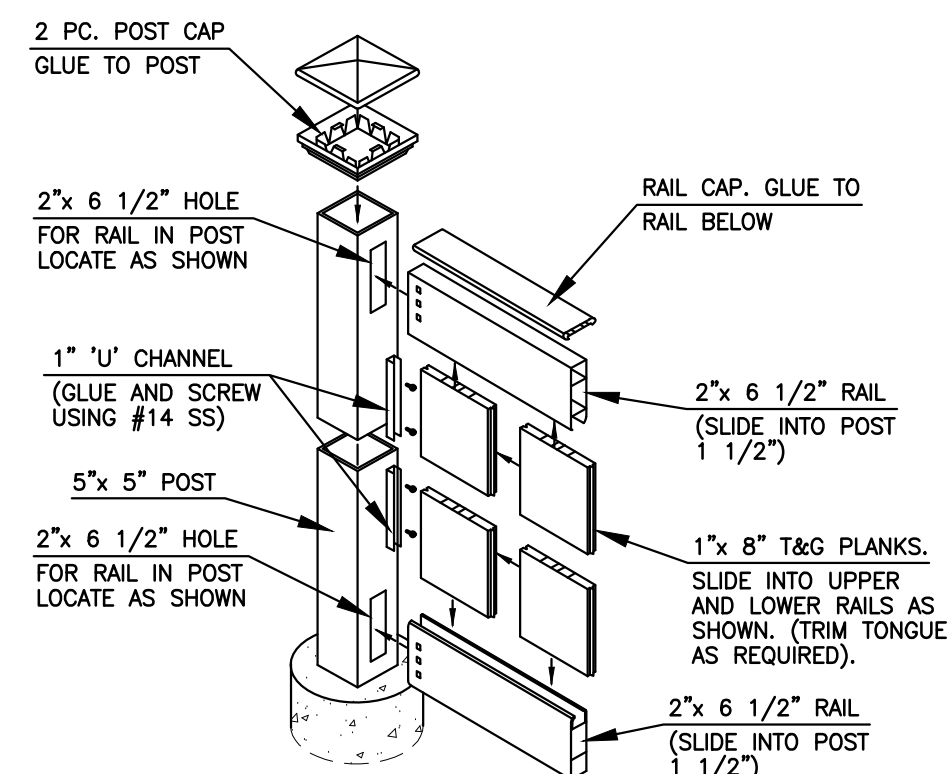
### CONCRETE CURBING AND SIDEWALK



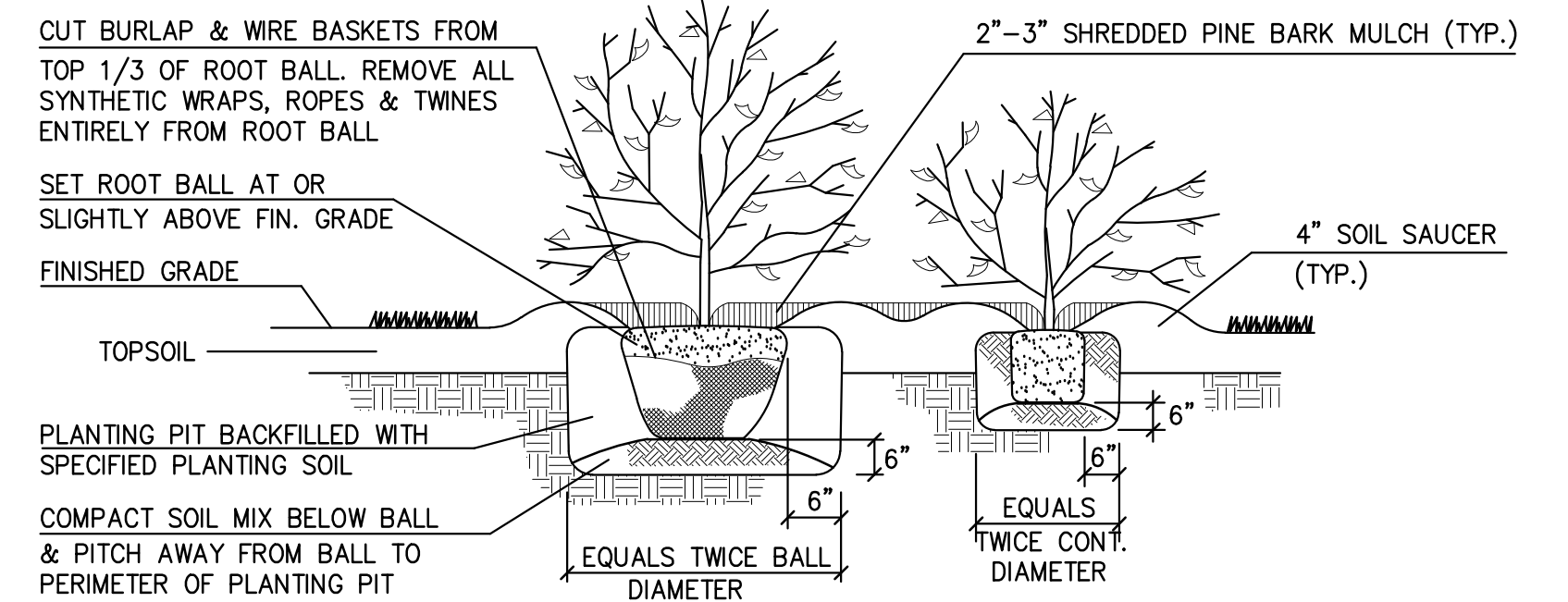
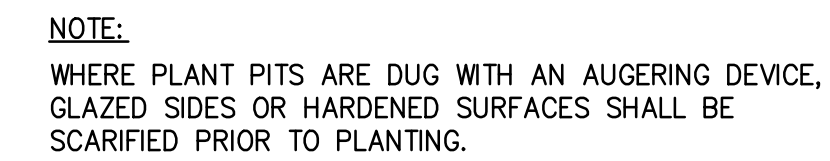
PAVEMENT SECTION



PERMEABLE INTERLOCKING  
CONCRETE PAVEMENT



SECTION  
CONCRETE DUMPSTER PAD

BALLED AND BURLAPPEDCONTAINER GROWN

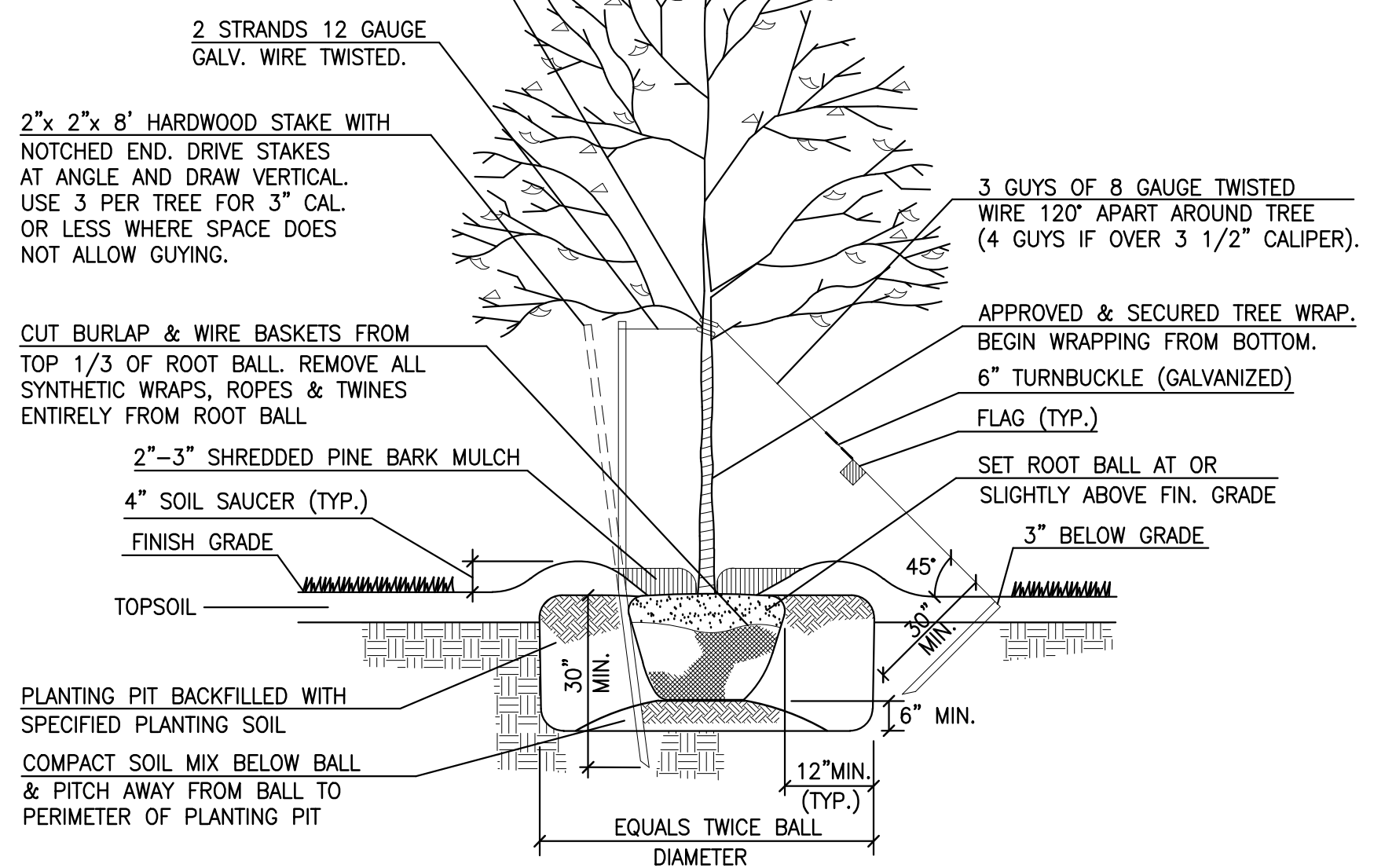
SHRUB PLANTING DETAIL

PRUNING SHALL BE IN ACCORDANCE WITH APPROVED HORTICULTURAL STANDARDS IN ORDER TO PRESERVE THE NATURAL FORM OF THE SPECIFIC PLANT. IF APPLICABLE & APPROVED BY THE LANDSCAPE ARCHITECT, ONE FOURTH TO ONE THIRD OF THE WOOD SHALL BE REMOVED BY THINNING OUT TO BALANCE ROOT LOSS DUE TO TRANSPLANTING.

NOTE:

WHERE PLANT PITS ARE DUG WITH AN AUGERING DEVICE, GLAZED SIDES OR HARDENED SURFACES SHALL BE SCARIFIED PRIOR TO PLANTING.


GARDEN HOSE - MIN. 2 PLY. POSITION  
ABOVE 1ST SET OF BRANCHES.

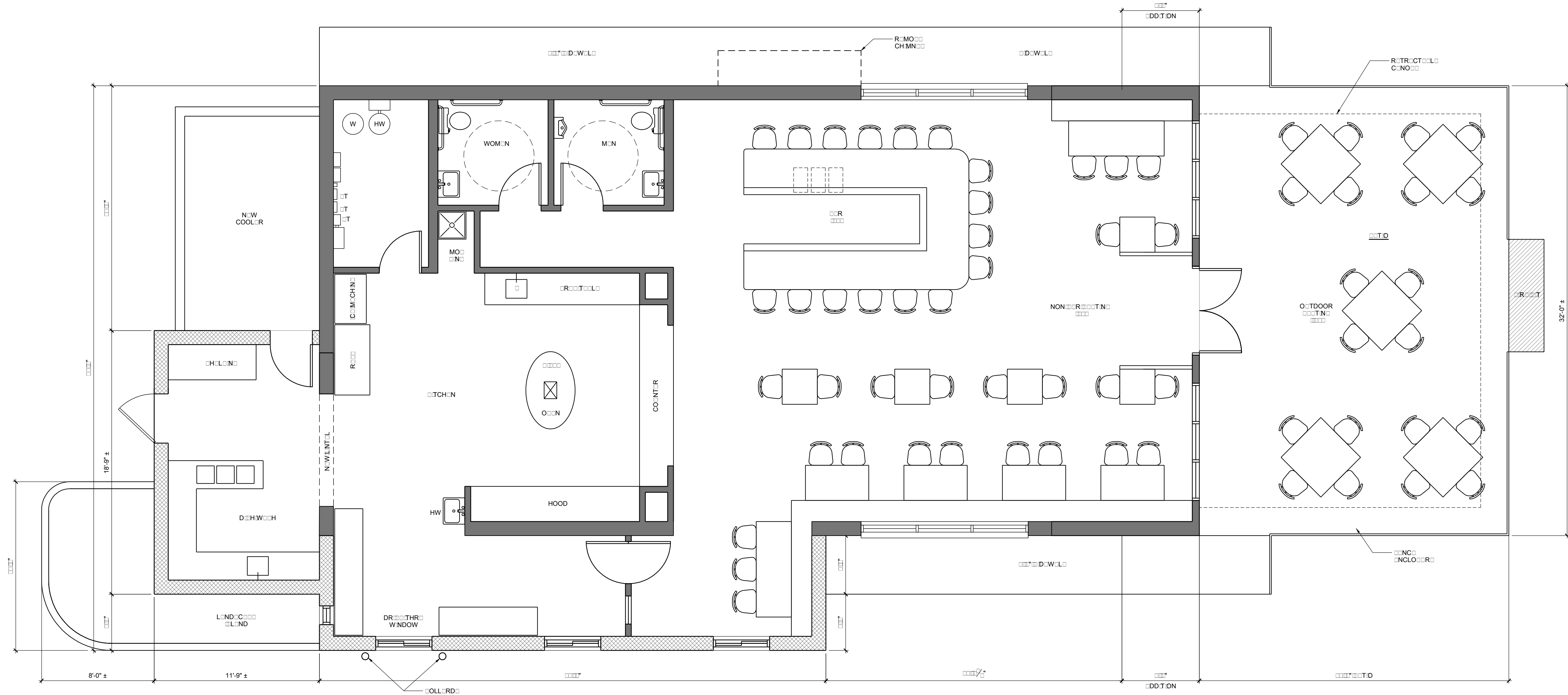


### TREE PLANTING DETAIL

NOTE:

DECIDUOUS TREES 3" CALIPER OR LESS & EVERGREEN TREES 8' OR LESS TO BE STAKED.

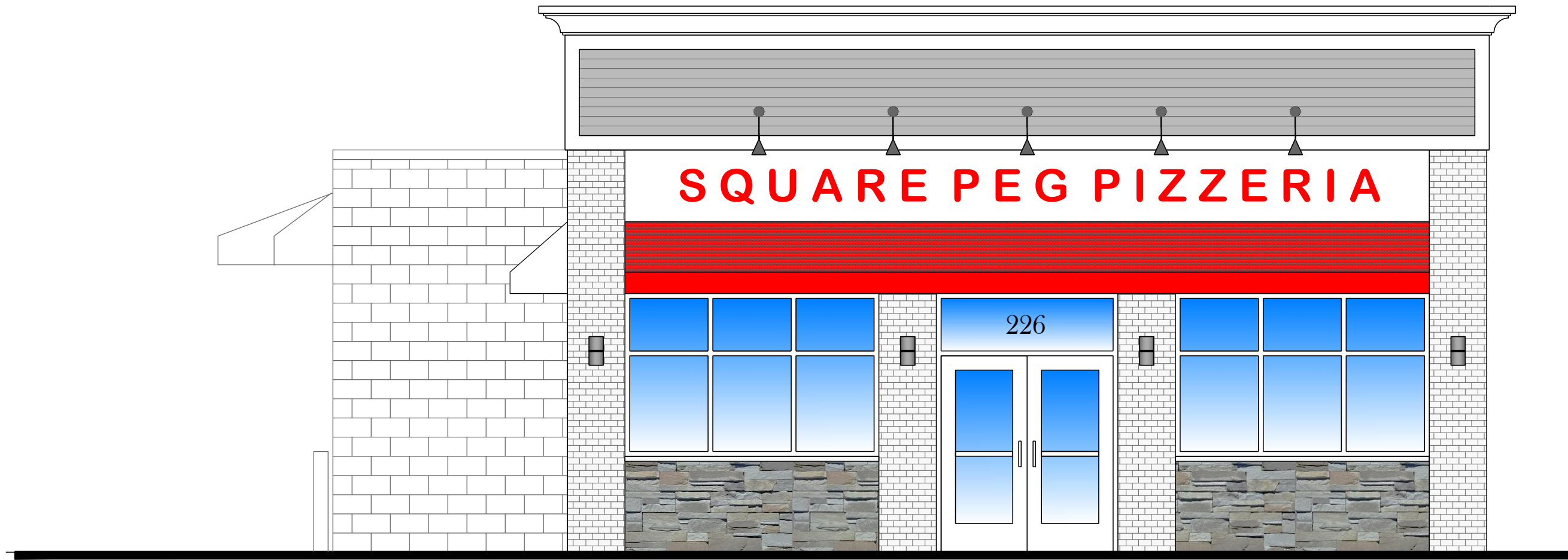
						<i>C. J. M.</i>			<i>Close, Jensen &amp; Miller, P. C.</i> Consulting Engineers, Land Planners & Surveyors 1137 Silas Deane Highway, Wethersfield, Conn. 06109, Tel. (860)563-9375			Compiled _____ P.C. Check _____ Designed _____ Drawn _____ Checked _____ Scale 1"= 20' Date 12/01/20 Sheet 4 Of 4 Job No. _____ File No. _____	
			No. Date Description Revisions			CONSTRUCTION DETAILS							
						SQUARE PEG PIZZERIA - VERNON 226 TALCOTTVILLE ROAD VERNON, CONNECTICUT							
No. Date Description Revisions													



1 SCHEMATIC FLOOR PLAN  
SCALE: 1/4" = 1'-0"

No.	Date	Issue Notes
Architect VINCENT BABAK ARCHITECTURE, LLC 195 TUNXIS HILL ROAD, SUITE 203 FAIRFIELD, CT 06825 TELE: 203-903-6203		
Consultant		
Project Title SQUARE PEG PIZZERIA 226 Talcothville Rd. Vernon, CT		
Sheet Title SCHEMATIC PLAN		
Project Manager NS	Project ID -----	
Drawn By NS	Scale 1/4" = 1'-0"	
Reviewed By ED	Sheet No. SA-2	
Date 11-28-20		
CAD File Name SA2.dwg		





1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

No.	Date	Issue Notes
<div><div></div><div></div></div>		
Architect		
VINCENT BABAK ARCHITECTURE, LLC		
195 TUNXIS HILL ROAD, SUITE 203		
FAIRFIELD, CT 06825		
TELE: 203-903-6203		
Consultant		
Project Title		
SQUARE PEG PIZZERIA		
226 Talcothville Rd.		
Vernon, CT		
Sheet Title		
ELEVATIONS		
Project Manager	Project ID	
==	- - - -	
Drawn By	Scale	Sheet No.
NS	1/4" = 1'-0"	
Reviewed By	SA-4	
ED		
Date		
11-25-20		
CAD File Name		
SA-2.dwg		

## **APPLICATION 4**

**TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)**

**APPLICATION**

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

*The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.*

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

**Provide all the information requested:**

**I. APPLICANT:**

Name: Matthew Tyler, EIT

Title: Design Engineer

Company: Bohler

Address: 16 Old Forge Road Suite A, Rocky Hill, CT 06067

Telephone: 860-333-8900 Fax: \_\_\_\_\_

E-mail: mt Tyler@bohlereng.com

**II. PROPERTY OWNER (S):**

Name: Hayes family limited partnership & Conyers Family Limited Partnership II

Title: \_\_\_\_\_

Company: \_\_\_\_\_

Address: 1471 Pleasant Valley Road Manchester, CT 06040

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

05/05/2015

### III. PROPERTY

Address: 74 Reservoir Road

Assessor's ID Code: Map # 46 Block # 71 Lot/Parcel # 19B

Land Record Reference to Deed Description: Volume:        Page       

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

       No

  X   Yes

  X   No work will be done in regulated area  
       Work will be done in the regulated area

       IWC application has been submitted  
  X   IWC application has not been submitted

Zoning District Commercial (C)

Is this property located within five hundred (500) feet of a municipal boundary?

  X   No

       Yes:

       Bolton  
       Coventry  
       Ellington  
       Manchester  
       South Windsor  
       Tolland

Check if Historic Status Applies:

       Located in historic district:

       Rockville  
       Talcottville

       Individual historic property

#### IV. PROJECT

**Project Name:** McDonald's

**Project Contact Person:**

**Name:** Matthew Tyler

**Title:** Design Engineer

**Company:** Bohler Engineering

**Address:** 16 Old Forge Road Suite A, Rocky Hill, CT 06067

**Telephone:** 860-333-8900 **Fax:**

**E-mail:** mtyler@bohlereng.com

## V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: ADA Compliance

General Activities: Minor site modifications for ADA compliance,  
additional drive-thru lane with new menu boards and features to  
improve stacking, new facade and signage.

## VI. APPROVAL (S) REQUESTED

### Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

       Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

  X   Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- X   Minor modification of a site POD (ZR Sec. 14.1.1.2)

       Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

\_\_\_\_ Other Special Permit(s). Cite ZR Section and describe activity:

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\_\_\_\_ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

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\_\_\_\_ **Zoning:**

\_\_\_\_ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

\_\_\_\_ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

\_\_\_\_ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

*See Zoning Regulations Section 22 for application fee schedules.*

\_\_\_\_ Dealer or Repairer License (location approval for DMV)

## **VII. APPLICATION CONDITIONS / STIPULATIONS**

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

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**APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.**




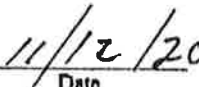
Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

  
\_\_\_\_\_  
Signature

  
\_\_\_\_\_  
Date

**TO BE FILLED IN BY THE PLANNING DEPARTMENT**

Date Application Submitted \_\_\_\_\_

Date Application Received by Commission \_\_\_\_\_

PZC File: \_\_\_\_\_



McDonald's Corporation  
110 N. Carpenter Street  
Chicago, IL 60607-2101  
(312) 720-4404  
[Kevin.Hyde@us.mcd.com](mailto:Kevin.Hyde@us.mcd.com)

September 30, 2020

**BY CERTIFIED MAIL – RETURN RECEIPT REQUESTED**

Hayes Family Limited Partnership  
Conyers Family Limited Partnership II  
1471 Pleasant Valley Road  
Manchester, CT 06040

Stanley Falkenstein  
Falkenstein, Meggers, Paul & Robinson, P.C.  
113 East Center Street  
Manchester, CT 06040-5234

Re: Route 31 Mile Hill Road, Vernon CT (the "Premises")  
L/C: 006-0439 File #43038  
Ground Lease dated August 28, 2002, between Hayes Family Limited Partnership and Conyers Family Limited Partnership, as Landlord, and McDonald's Corporation, as Tenant, as amended (collectively the "Lease")

Dear Sir or Madam:

Pursuant to the terms of the Lease, McDonald's would like to obtain your consent as Landlord to make certain alterations and improvements to the Premises as are depicted on the enclosed site plan dated September 21, 2020 (collectively the "Site Enhancements Work"), which work includes, but may not be limited to, the addition of a side-by-side drive-thru and related facilities.

Tenant agrees that the Site Enhancements Work, when accomplished, will be done in a good, workmanlike manner and further agrees to hold you harmless from any liens or claims attaching to the Premises by reason of the Site Enhancements Work. The Site Enhancements Work is to be done at the sole cost and expense of McDonald's.

If the Site Enhancements Work meets with your approval, please sign the enclosed copy of this letter in the space provided below and return it in the enclosed self-addressed envelope to my attention. Please also execute the attached Town of Vernon Planning & Zoning Commission (PZC) Application. If possible, please also e-mail a signed copy of the letter to the following e-mail address: ["legalclearance@us.mcd.com"](mailto:legalclearance@us.mcd.com).

Your written response within twenty (20) days is required. Please note that pursuant to the Lease, your approval shall only be from an appearance standpoint only and shall not be unreasonably withheld, and shall be conclusively deemed granted if you do not respond within twenty (20) days after receipt of this correspondence. You, as Landlord, are currently in default for failure to respond to previous requests for consent, therefore I ask that you respond as soon

as possible to this request. This request for consent is made without prejudice to McDonald's claims against Landlord for Landlord's prior default, and McDonald's reserves all of its rights against Landlord with respect to same.

If you have any questions regarding this matter, please do not hesitate to contact me at (312) 720-4404 or by email at Kevin.Hyde@us.mcd.com. Thank for your cooperation and prompt attention to this matter.

Sincerely,

McDONALD'S CORPORATION



Senior Counsel  
U.S. Legal Department

Enclosure

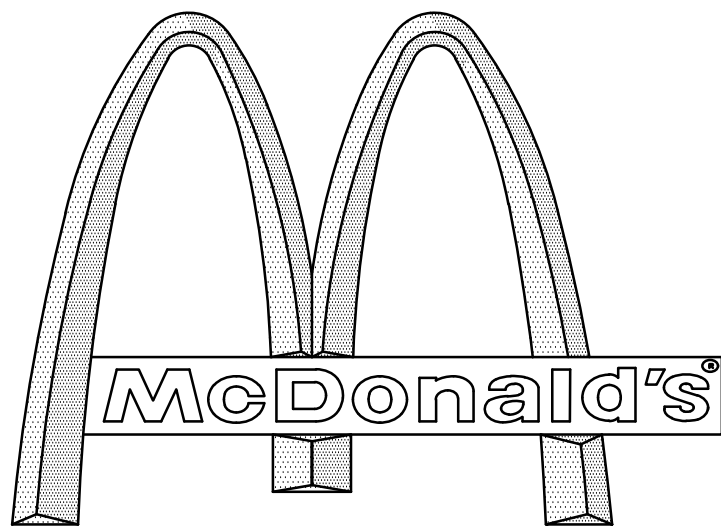
AGREED AND CONSENTED TO THIS 9<sup>th</sup> DAY OF November, 2020

By: Richard R. Hyde  
Its: Manager



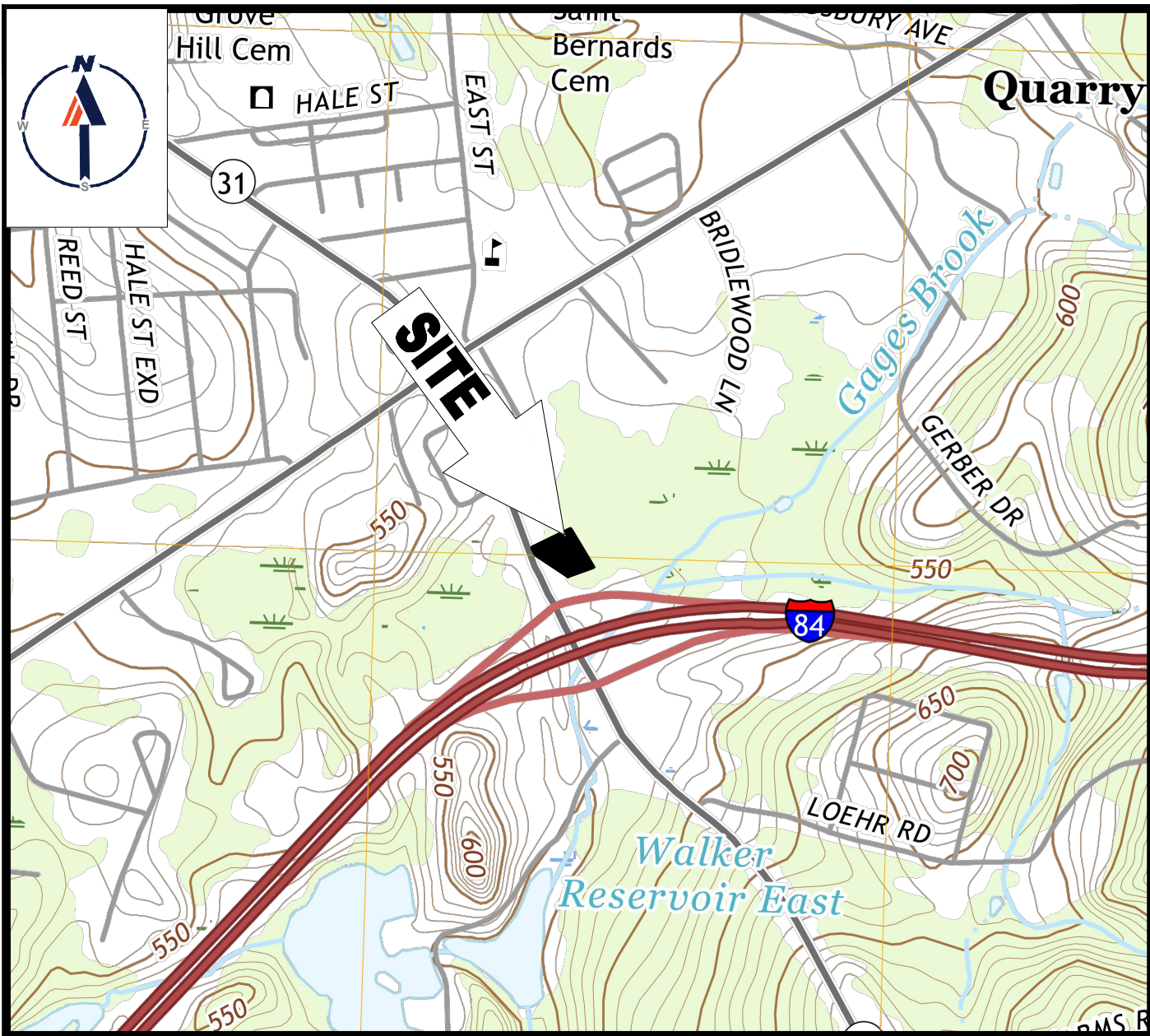
SITE DEVELOPMENT PLANS

FOR:  
EXISTING



WITH DRIVE-THRU

LOCATION OF SITE:  
74 RESERVOIR ROAD,  
TOWN OF VERNON  
TOLLAND COUNTY,  
CONNECTICUT  
MAP 46, BLOCK 71, LOT 19B



LOCATION MAP  
SCALE: 1"=1000'  
PLAN REFERENCE: USGS ROCKVILLE, CT QUADRANGLE 2018



AREA PLAN  
SCALE: 1"=150'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 8
GENERAL NOTES SHEET	C-2 OF 8
DEMOLITION & EROSION CONTROL PLAN	C-3 OF 8
SITE PLAN	C-4 OF 8
GRADING PLAN	C-5 OF 8
DETAIL SHEET	C-6 OF 8
DETAIL SHEET	C-7 OF 8
DETAIL SHEET	C-8 OF 8
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 OF 1
FLOOR PLAN (BY OTHERS)	A1.0
BUILDING ELEVATIONS (BY OTHERS)	A2.0
BUILDING ELEVATIONS (BY OTHERS)	A2.1

SHEET INDEX

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

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COMPLIANCE CHECK

DATE

CONSTRUCTION CHECK

DATE

CONSTRUCTION CHECK

DATE

PROJECT No.:  
CT182026

CAD I.D. #:  
CT182026ss0.dwg

GENERAL NOTES:  
1. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.  
2. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.  
3. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.  
4. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.  
5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.  
6. ALL ELEVATIONS SHOWN ARE BASED UPON: NAVD 88 PER SURVEY NOTE #7.  
7. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.  
8. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION  
(SEE PAVEMENT DETAIL)  
  
FLEXIBLE PAVEMENT SECTION:  
-1.5" CLASS 2 TOP COURSE  
-1.5" CLASS 1 BASE COURSE  
-6.0" GRANULAR BASE  
-6.0" GRANULAR SUBBASE  
  
RIGID PAVEMENT SECTION:  
-6.0" 4500 PSI AIR-ENTRAINED CONCRETE  
-8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE  
-6.0" GRANULAR BASE  
-6.0" GRANULAR SUBBASE  
  
NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

PARKING INFORMATION  

23	EXISTING SPACES	
3	PROPOSED SPACES	8.0' X 22.0' @ PARALLEL
2	PROPOSED SPACES	9.0' X 16.0' @ 72.8°
1	PROPOSED SPACES	8.0' X 20.0' @ 90° W/ 8' AISLE
1	PROPOSED SPACES	10.0' X 20.0' @ 90° W/ 8' AISLE

UTILITY INFORMATION  

	SIZE	TYPE	LOCATION
SANITARY SEWER	VARIES	PVC	RESERVOIR ROAD R.O.W
WATER	TBD	UNKNOWN	RESERVOIR ROAD R.O.W
STORM SEWER	12"	CPP	OFF-SITE
ELECTRIC	UNKNOWN	UNKNOWN	RESERVOIR ROAD R.O.W
GAS	UNKNOWN	PROPANE	ON-SITE

SURVEY INFORMATION  
PREPARED BY: CONTROL POINT ASSOCIATES, INC.  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
JOB #: 03-180127  
DATE: OCTOBER 12, 2018

TYPICAL LEGEND  

EXISTING	PROPERTY LINE	PROPOSED
---	SETBACK	
---	EASEMENT	
---	CURB	
⊙	STORM MANHOLE	
⊙	SEWER MANHOLE	
⊙	CATCH BASIN	
△ W#5	WETLAND FLAG	
---	WETLAND LINE	
× 54.83	SPOT ELEVATION	100.00
× TC 54.58	TOP & BOTTOM OF CURB	TC=100.00 BC=99.50
---	CONTOUR	
---	FLOW ARROW	
---	PAINTED ARROW	
---	OVERHEAD WIRE	
---	GAS LINE	
---	TELEPHONE LINE	
---	ELECTRIC LINE	
---	WATER LINE	
---	SEWER LINE	

ENTITLEMENT SET  
STREET ADDRESS  
74 RESERVOIR ROAD  
  
TOWN  
VERNON  
  
STATE  
CONNECTICUT  
  
COUNTY  
TOLLAND  
  
SHEET I.D.  
006-0439  
  
PLAN DESCRIPTION  
COVER SHEET

BY

DATE

REV

DESCRIPTION

STATUS

DATE

BY

DRAWN BY:

09/21/20

MLT

PLAN CHECKED

AS-BUILT

SHEET NO.

C-1

OF 8

G.P. FITZGERALD

PROFESSIONAL ENGINEER

McDonald's

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BOSTON REGION  
110 NORTH CARPENTER STREET  
CHICAGO, IL

PLAN APPROVALS

SIGNATURE

DATE

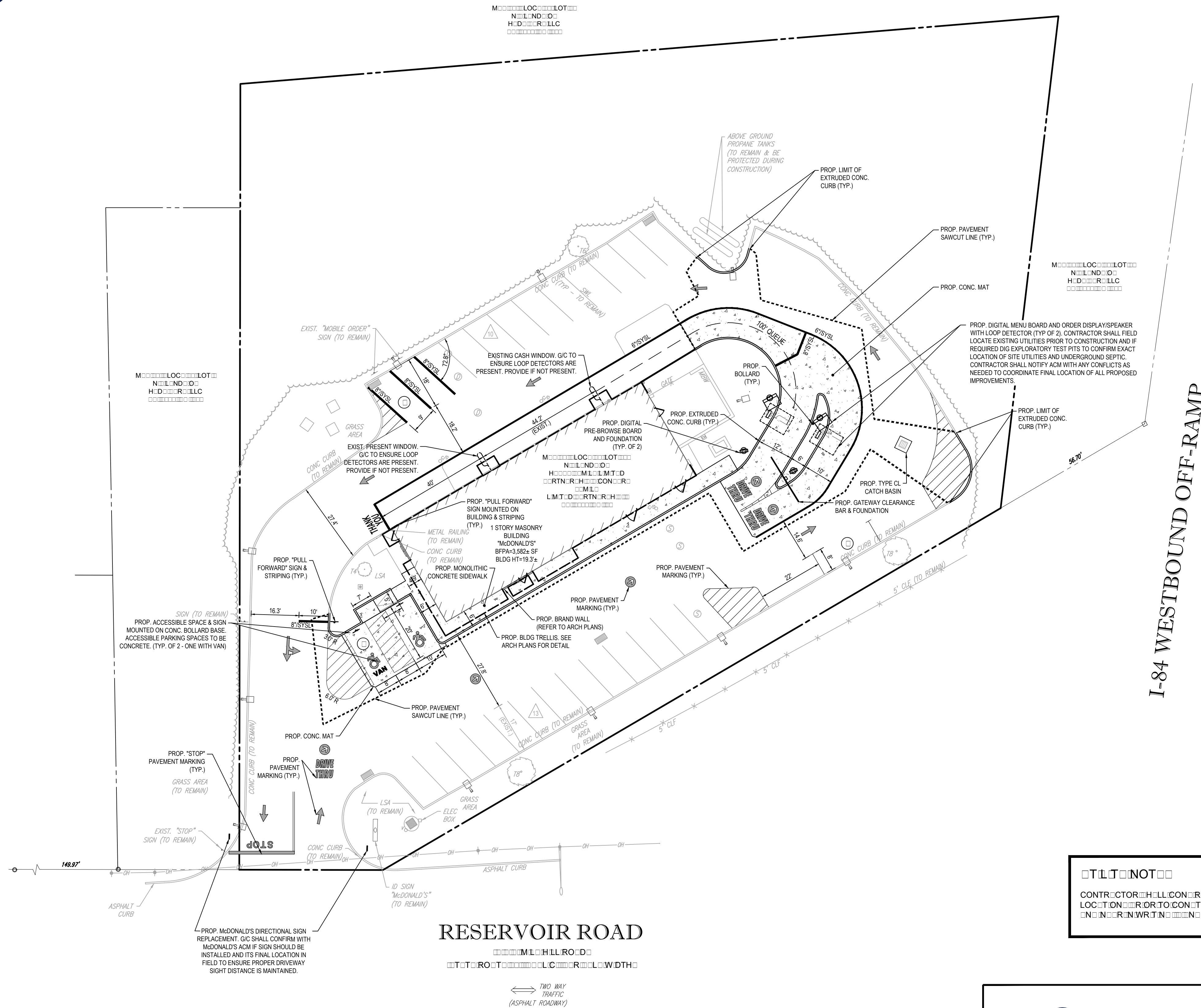
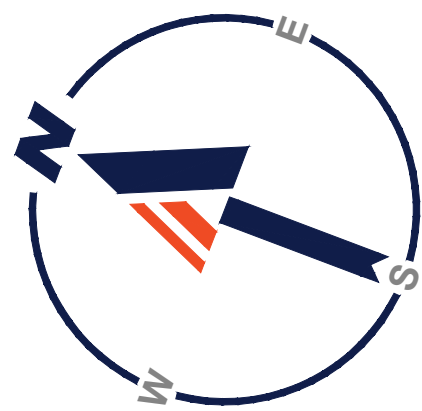
APPROVED McDONALD'S AGENT

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LAND USE / ZONING INFORMATION & NOTES

1. APPLICANT / OWNER:  
CONYERS FAMILY LTD PARTNERSHIP II  
1471 PLEASANT VALLEY ROAD  
MANCHESTER, CT 06040
2. PARCEL:  
MAP 46, BLOCK 71, LOT 19B  
74 RESERVOIR ROAD  
TOWN OF VERNON  
TOLLAND COUNTY, CT

ZONING ANALYSIS TABLE			
CONTRACT	COMMERCIAL		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	22,000 SF	60,585 SF	NO CHANGE
MINIMUM LOT WIDTH	100'	168.4'	NO CHANGE
MIN. FRONT SETBACK	50'	57.6'	57.9'
MIN. SIDE SETBACK	20'	45.6'	48.5'
MIN. REAR SETBACK	50'	106.8'	112.3'
MIN. FLOOR AREA	1,000 SF	3,582 SF	NO CHANGE
PARKING SPACES	30	45	30
PARKING CRITERIA (9x18)	1 PER 50 SF OF PUBLIC FLOOR AREA 1,475 SF / 50 SF = 29.5 ~ 30 SPACES		
ACCESSIBLE PARKING SPACES	2	2	2
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE: 8x18' W/ 5' ACCESS AISLE) (VAN ACCESSIBLE SPACE: 8x18' W/ 8' ACCESS AISLE)	TOTAL PARKING 26 TO 50 = 2 ACCESSIBLE SPACES (VAN ACCESSIBLE SPACES = 1 / 6 SPACES)		

SIGN SUMMARY TABLE			
TYPE	ALLOWED	NOTED	REQUIRED
FRONT SIGNAGE	YES	NO	NO CHANGE
REAR SIGNAGE	YES	NO	NO CHANGE
DRIVE-THRU SIGNAGE	YES	NO	NO CHANGE
NON-DRIVE-THRU SIGNAGE	YES	NO	NO CHANGE
DRIVE-THRU SIGNAGE	YES	NO	NO CHANGE
REAR SIGNAGE	YES	NO	NO CHANGE
TOTAL SIGNAGE	YES	NO	NO CHANGE

NOT TO SCALE FOR CLARIFICATION

PAVEMENT STRIPING  
LEGEND

- 6"SYSL = 6" SINGLE YELLOW SOLID LINE
- 8"SYSL = 8" SINGLE YELLOW SOLID LINE
- 4"SYSL = 4" SINGLE WHITE SOLID LINE

REFER TO GENERAL NOTES  
SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE  
LAYOUT PURPOSES ONLY

DOOR PULL NOTE: NEW SIDEWALK  
CONSTRUCTION SHALL BE ADA  
COMPLIANT WITH EDGE OF NEW  
SIDEWALK AND ANY OBSTRUCTION,  
INCLUDING RAILINGS, BEING  
INSTALLED A MINIMUM OF 24" FROM  
THE DOOR LATCH.

CONTRACTOR SHALL CONFIRM ALL TILT DRAIN  
LOCATION PRIOR TO CONSTRUCTION AND SHALL  
INDICATE IN WRITING IN CONSTRUCTION DOCUMENTS

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
PROGRAM MANAGEMENT  
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COMMISSIONING	DATE
CONSTRUCTION	DATE
CONSTRUCTION	DATE
PROJECT NO.	CT
CLIENT	CT

INTENT	DATE
CONSTRUCTION	DATE
TOWN	CONNECTICUT
COUNTY	TOLLAND
PROJECT	DATE
CLIENT	DATE

G.P. FITZGERALD  
PROFESSIONAL ENGINEER

McDonald's

NOT TO SCALE FOR CLARIFICATION

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NOT TO SCALE FOR CLARIFICATION

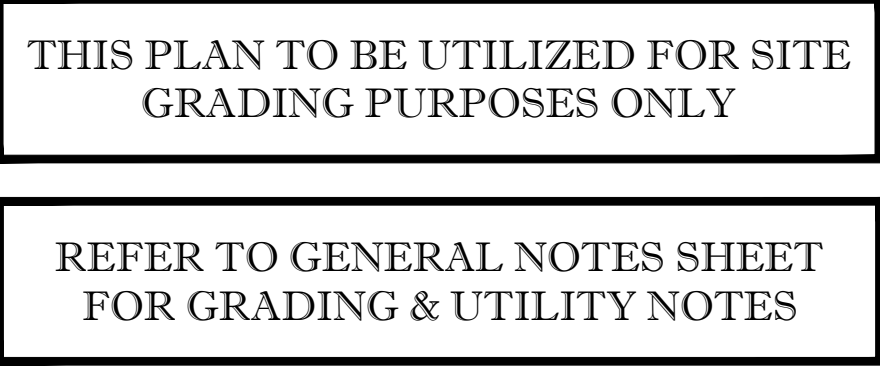
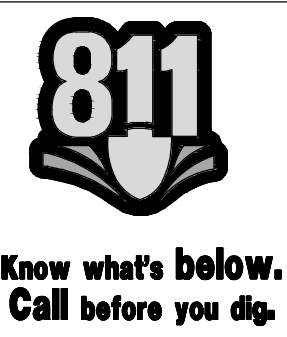
PROJECT	DATE
CLIENT	DATE
PROJECT	DATE
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PROJECT	DATE
CLIENT	DATE

C-4



Know what's below.  
Call before you dig.





**BOHLER** 

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SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
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COMPLIANCE CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
<b>PROJECT No.:</b> <b>CT182026</b>	
<b>CAD I.D. #:</b> <b>CT182026ss0.dwg</b>	

ENTIREMENT SET	
STREET ADDRESS	
74 RESERVOIR ROAD	
TOWN	STATE
VERNON	CONNECTICUT
COUNTY	
TOLLAND	
SITE I.D.	PLAN DESCRIPTION
006-0439	GRADING PLAN


STATUS	DATE	BY
DRAWN BY:	09/21/20	MLT
PLAN CHECKED		
AS-BUILT		

SHEET NO.

**C-5**

OF 8

**G.P. FITZGERALD**



**PROFESSIONAL ENGINEER**

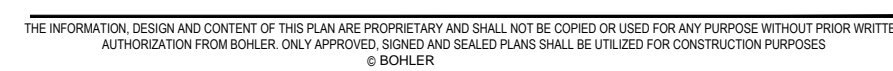
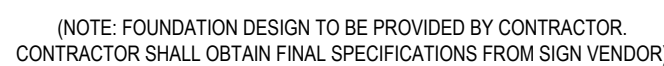
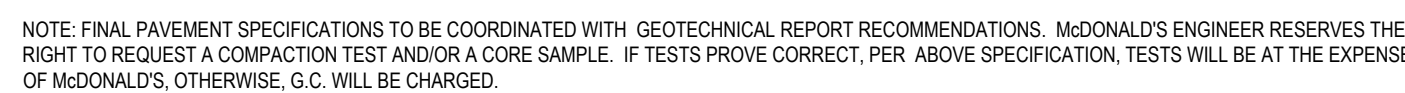
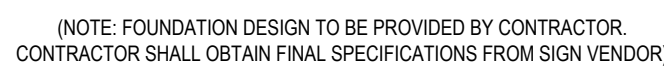
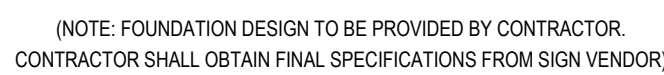
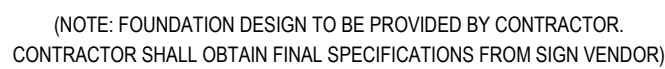
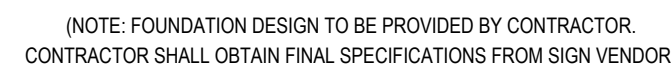
# McDonald's

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ENTIREMENT SET	
STREET ADDRESS	
74 RESERVOIR ROAD	
TOWN	STATE
VERNON	CONNECTICUT
COUNTY	
TOLLAND	
SITE I.D.	PLAN DESCRIPTION
006-0439	DETAIL SHEET

STATUS		DATE	BY
DRAWN BY:		09/21/20	MLT
PLAN CHECKED			
AS-BUILT			
SHEET NO. <span style="font-size: 2em; font-weight: bold;">C-6</span>			

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BOSTON REGION

110 NORTH CARPENTER STREET

CHICAGO, IL

PLAN APPROVALS

SIGNATURE	DATE

APPROVED McDONALD'S AGENT

OFFICE ADDRESS

BOSTON REGION

110 NORTH CARPENTER STREET

CHICAGO, IL

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CHICAGO, IL

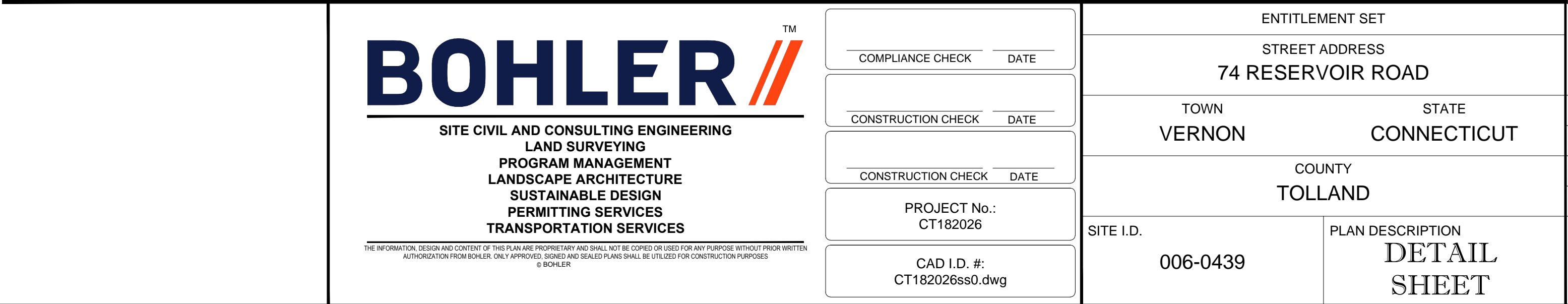
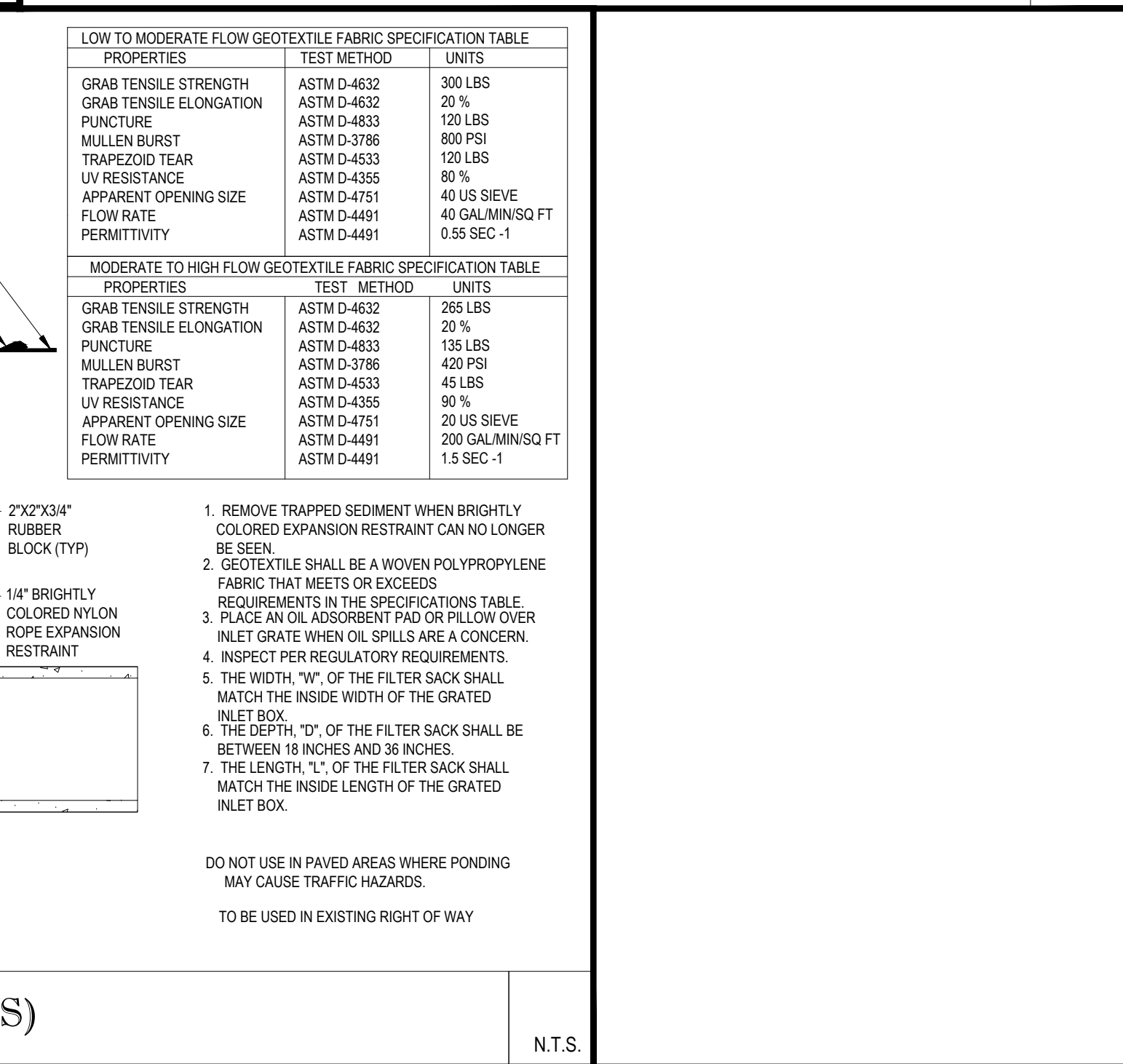
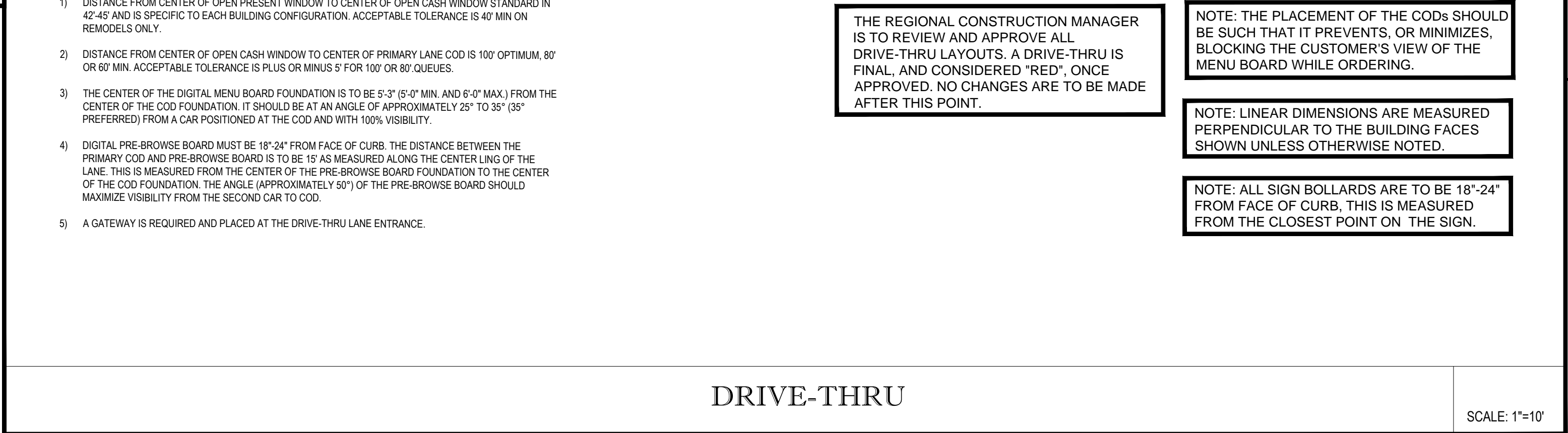
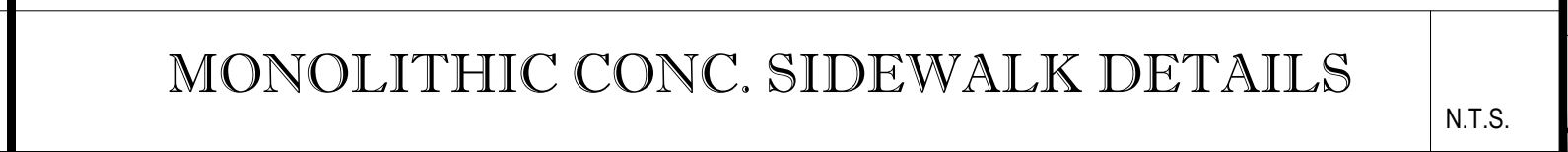
OFFICE ADDRESS

BOSTON REGION

110 NORTH CARPENTER STREET

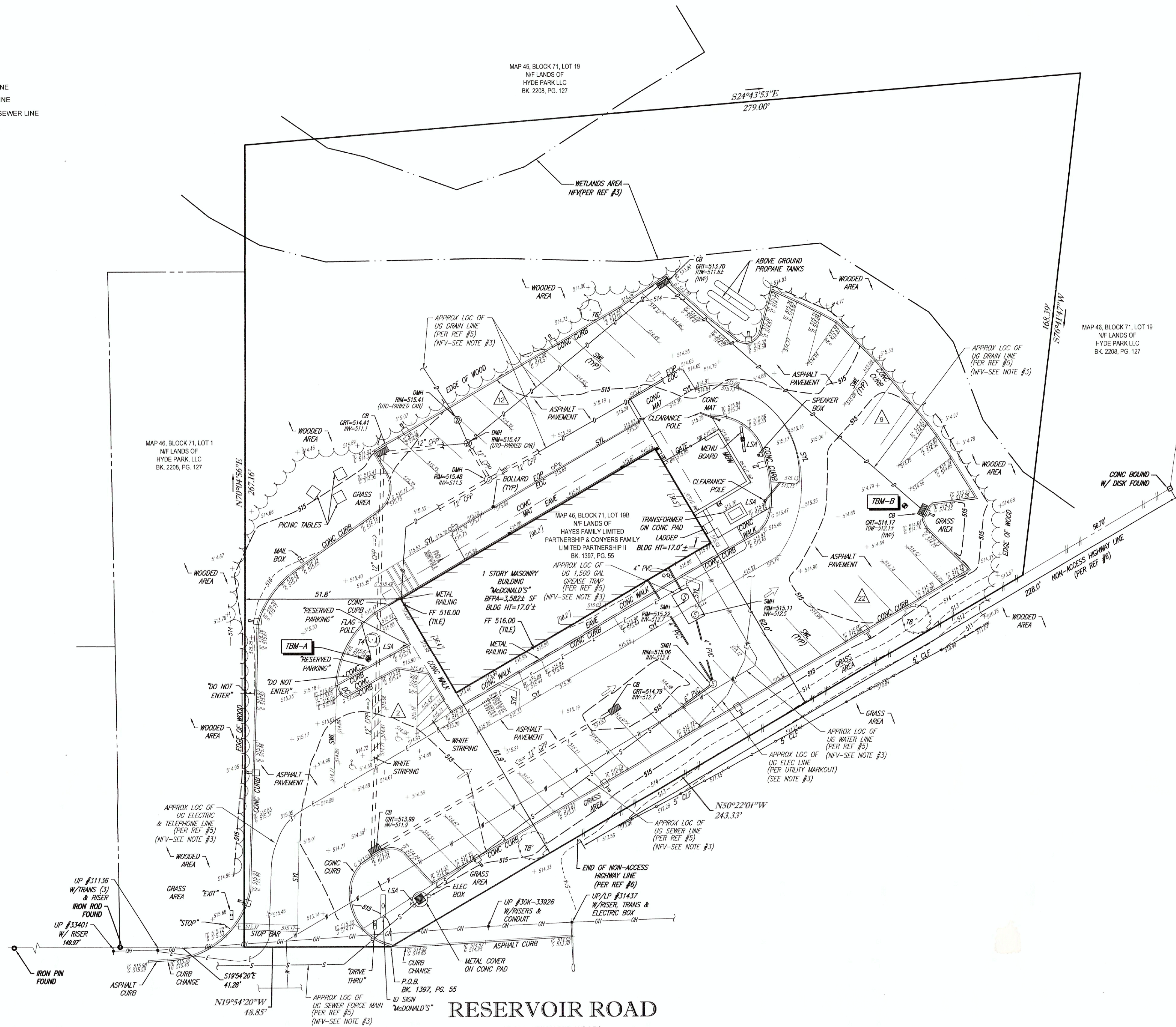
CHICAGO, IL







- LEGEND
- 124 --- EXISTING CONTOUR  
--- 125 --- EXISTING SPOT ELEVATION  
X 123.45 EXISTING TOP OF CURB ELEVATION  
X G 122.85 EXISTING GUTTER ELEVATION  
X TW 123.45 EXISTING TOP OF WALL ELEVATION  
X BW 122.55 EXISTING BOTTOM OF WALL ELEVATION  
X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
- GM GAS METER  
EM ELECTRIC METER  
OH OVERHEAD WIRES  
E APPROX. LOC. UNDERGROUND ELECTRIC LINE  
D APPROX. LOC. UNDERGROUND DRAINAGE LINE  
S APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE  
W APPROX. LOC. UNDERGROUND WATER LINE  
UP UTILITY POLE  
UPLP UTILITY POLE/LIGHT POLE
- AREA LIGHT  
C/O CLEAN OUT  
SIGN  
MAIL BOX  
BOLLARD  
PAINTED ARROWS  
DC DEPRESSED CURB  
CLF CHAIN LINK FENCE  
EDC EDGE OF CONCRETE  
EDP EDGE OF PAVEMENT  
LSA LANDSCAPED AREA  
MC METAL COVER  
(TYP) TYPICAL  
DMH DRAINAGE/STORM MANHOLE  
SMH SANITARY/SEWER MANHOLE  
CATCH BASIN OR INLET  
TREE & TRUNK SIZE
- PARKING SPACE COUNTER  
SWL SOLID WHITE LINE  
STL SOLID YELLOW LINE  
HT HEIGHT  
BLDG BUILDING  
BFFA BUILDING FOOTPRINT AREA  
NVP NO VISIBLE PIPE  
PVC POLYVINYL CHLORIDE PIPE  
CPP CORRUGATED PLASTIC PIPE  
TOW TOP OF WATER  
INV INVERT ELEVATION  
GRT GRATE ELEVATION  
[98.2'] BUILDING DIMENSION  
1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE  
NON-ACCESS HIGHWAY LINE



UTILITIES

THE FOLLOWING COMPANIES WERE NOTIFIED BY CONNECTICUT ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20181904591.

UTILITY COMPANY  
CONNECTICUT DEPT OF TRANSPORTATION  
CONNECTICUT WATER COMPANY  
EVERSOURCE ELECTRIC  
EVERSOURCE GAS  
FRONTIER COMMUNICATIONS  
TOWN OF VERNON - WPICA

PHONE NUMBER  
860-566-3156  
1-800-286-5700  
860-778-9140  
203-206-6702  
1-800-598-0628  
860-870-3699



THE STATE OF CONNECTICUT REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

## RESERVOIR ROAD

(A.K.A. MILE HILL ROAD)  
(STATE ROUTE 31 - PUBLIC - VARIABLE WIDTH)  
(PER REF #3)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)





THIS IS TO CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND IS SUBSTANTIALLY CORRECT TO THE DEGREE OF ACCURACY SHOWN HEREON.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL.

*James C. Weed*  
**JAMES C. WEED**  
CONNECTICUT PROFESSIONAL LAND SURVEYOR #70249

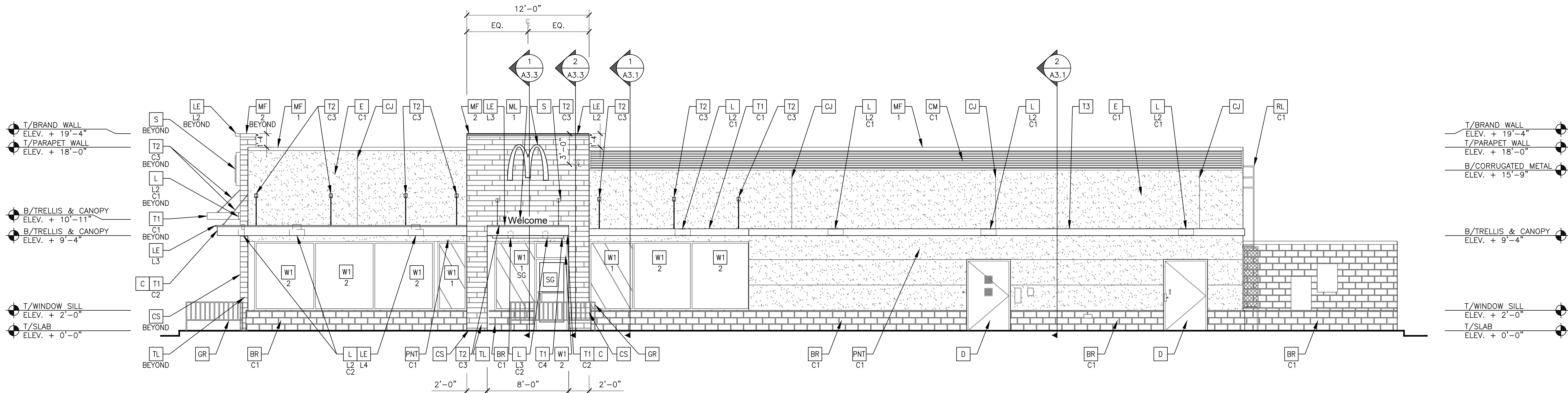


BOUNDARY & TOPOGRAPHIC SURVEY			
FIELD DATE	9-4-18	 <b>McDONALD'S USA, LLC</b> 74 RESERVOIR ROAD MAP 46, BLOCK 71, LOT 19B TOWN OF VERNON L/C# 006-0439 TOLLAND COUNTY, STATE OF CONNECTICUT	
FIELD BOOK NO.	18-11 MA		
FIELD BOOK PGS.	123-125		
FIELD CREW	J.O.		
DRAWN:	R.J.K.	 <b>CONTROL POINT ASSOCIATES, INC.</b> 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 • 508.948.3003 FAX	
REVIEWED	E.L.O.C. A.J.D.		
APPROVED:	J.C.W.		
DATE	10-12-18		
SCALE	1"=20'	FILE NO.	03-180127
DWG. NO.	1 OF 1		

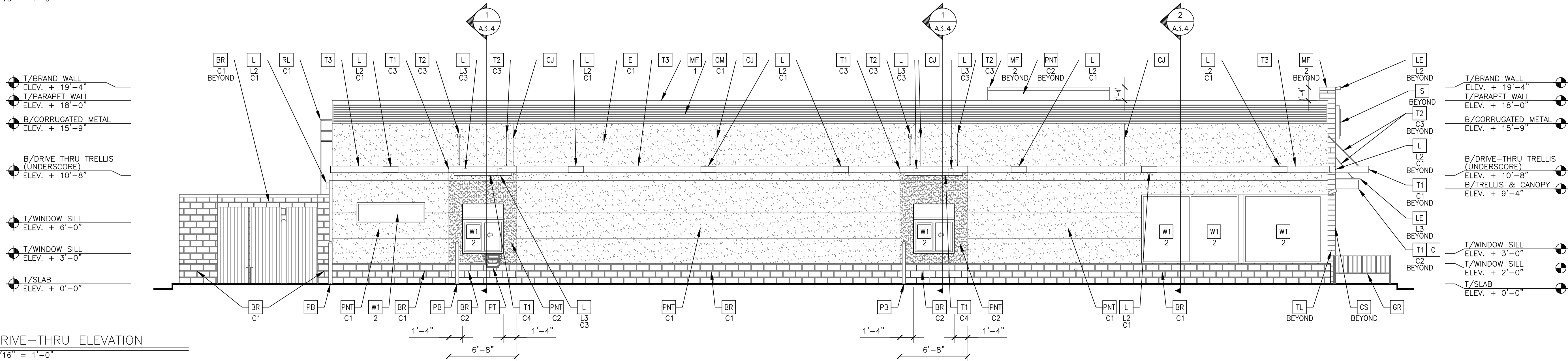








1 NON-DRIVE-THRU ELEVATION  
A2.0 3/16" = 1'-0"



2 DRIVE-THRU ELEVATION  
A2.0 3/16" = 1'-0"

COLOR SCHEME: 'MODERN' SCHEME  
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEY NOTES:

- BR** FACE BRICK  
XX-TYPE:  
C1 = PAINTED MASONRY-COLOR: CHELSEA GRAY  
C2 = PAINTED MASONRY-COLOR: IRON MOUNTAIN
- C** ALUMINUM CANOPY FASCIA SYSTEM  
COLOR: WHITE
- T1** ALUMINUM TRELLIS SYSTEM  
XX-COLOR:  
C1 = CITYSCAPE  
C2 = WHITE  
C3 = CHARCOAL  
C4 = GOLD
- T2** ALUMINUM TRELLIS TIE-BACK SYSTEM  
XX-COLOR:  
C3 = CHARCOAL
- T3** ALUMINUM TRELLIS 2"x8" WALL FASCIA SYSTEM  
XX-COLOR:  
C1 = CITYSCAPE
- RL** ROOF LADDER  
XX-COLOR:  
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
- CJ** CONTROL JOINT  
PAINT EXISTING  
MATCH TO BENJAMIN MOORE OR EQUAL
- PNT** MATCH TO BENJAMIN MOORE OR EQUAL  
XX-COLOR:  
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE  
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- PT** PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)

- L** LIGHT FIXTURE - SEE ELECTRICAL  
XX-TYPE:  
L2 = DOWN ONLY FIXTURE  
L3 = RECESSED DOWN FIXTURE  
COLOR:  
C1 = SILVER  
C2 = WHITE  
C3 = GOLD
- LE** ACCENT LIGHTING - SEE ELECTRICAL  
LED LIGHT  
XX-TYPE:  
L2 = DOWN ONLY FIXTURE  
L3 = INTEGRAL CANOPY FIXTURE  
L4 = FLOOD LIGHT
- MF** METAL FASCIA (COLOR: CITYSCAPE)  
XX-TYPE:  
1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = PRE-FAB CUSTOM ARCADE FASCIA
- ML** METAL LETTERING - BY OTHERS  
X-TYPE:  
1 = 'WELCOME' - COLOR: SILVER
- W1** STOREFRONT AND GLAZING  
X- 1 = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES  
2 = EXISTING WINDOW TO REMAIN  
SG = SAFETY GLASS
- GR** GUARDRAIL - SCRAPE AND PAINT
- SG** SAFETY GLASS

- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- D** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E** HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE. FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
- COLOR: STATOTONE HIGH PERFORMANCE COLORANT -MATCH TO BENJAMIN MOORE OR EQUAL  
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE  
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- CM** CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS  
XX-COLOR:  
C1 = "CITYSCAPE"
- TL** TILE  
EUROWEST: E-WOOD COLLECTION  
COLOR: R9 BLACK SIZE: 6"x36" 1/4 RUNNING BOND  
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI  
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL  
GROUT WIDTH: 1/8" TO 3/16"  
CONTACT: JAN DETER, (714) 937-7500
- CS** OUTSIDE CORNER STRIPS  
RONDEC R0100TSDA BY SCHLUTER SYSTEMS  
ALUMINUM; HEIGHT:10MM COLOR: DARK ANTHRACITE  
COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817
- PB** PIPE BOLLARD - PAINTED YELLOW

TITLE		ELEVATIONS		PROJ.# 180323		A2.0		ELEVATIONS	
SHEET NO.		DESCRIPTION		REMODEL DESIGN PER 2017 MRP CRITERIA SET		CORE 16 EXTERIOR - NON PLAYPLACE		DATE	
DRAWN BY		TS		STD ISSUE DATE		FEB 2017		REV	
REVIEWED BY		PM		DATE ISSUED		01/31/2019		FOR FILING	
SITE ADDRESS		74 RESERVOIR ROAD, ROCKVILLE, CT 06066		CPC		BY		DESCRIPTION	
PREPARED FOR:		McDonald's USA, LLC		PREPARED BY:		skyBorne Technologies		P.O. BOX 825	
© 2016 McDonald's USA, LLC		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for the use of the project described herein and are not intended for use on any other project. Use of these drawings for reference or example on another project requires the express written permission of the engineer. The engineer does not warrant the accuracy of the information provided or the results of the project. The contract documents for this project are not authorized.		Westford, MA 01886		0		03.15.19	
1		04.12.19		REVISED PER PEER COMMENTS		CPC		BY	



Architectural section drawing of a building facade showing structural details, materials, and elevations. The drawing includes a cross-section of a wall with various layers and components labeled with letters and numbers. Key features include a brick wall, a concrete slab, and a corrugated metal roof. Elevation markers on the left and right indicate heights relative to a base level (ELEV. + 0'-0").

**Left Side Elevation Markers:**

- T/BRAND WALL ELEV. + 19'-4"
- T/PARAPET WALL ELEV. + 18'-0"
- B/CORRUGATED METAL ELEV. + 15'-9"
- B/TRELLIS & CANOPY ELEV. + 9'-4"
- T/SLAB ELEV. + 0'-0"

**Right Side Elevation Markers:**

- T/BRAND WALL ELEV. + 19'-4"
- T/PARAPET WALL ELEV. + 18'-0"
- B/CORRUGATED METAL ELEV. + 15'-9"
- B/DRIVE-THRU TRELLIS (UNDERSCORE) ELEV. + 10'-8"
- T/SLAB ELEV. + 0'-0"

**Internal Labels and Components:**

- LE L2 BEYOND
- MF 2 BEYOND
- MF 1
- CM C1
- E C1
- RL C1
- MF 1
- CM C1
- CJ
- MF 2 BEYOND
- PNT C2 BEYOND
- E C1
- T2 C3 BEYOND
- T1 C3 BEYOND
- T1 C4 BEYOND
- L L3 BEYOND
- L C1 BEYOND
- L T3 BEYOND
- C2 BEYOND
- L C1 BEYOND
- C1 BEYOND
- GR
- CS BEYOND
- TL BEYOND
- PNT C1
- T3
- BR C1
- BR C1
- PB
- PNT C1

COLOR SCHEME: 'MODERN' SCHEME  
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

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MATCH TO BENJAMIN MOORE OR EQUAL  
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L3 = RECESSED DOWN FIXTURE  
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LE ACCENT LIGHTING - SEE ELECTRICAL  
XX LED LIGHT:  
L2 = DOWN ONLY FIXTURE  
L3 = INTEGRAL CANOPY FIXTURE  
L4 = FLOOD LIGHT

MF METAL FASCIA (COLOR: CITYSCAPE)  
XX TYPE:  
1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = PRE-FAB CUSTOM ARCADE FASCIA

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W1 STOREFRONT AND GLAZING  
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SEE ASSEMBLY NOTES  
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S	MCDONALD'S SIGNAGE BY OTHERS — UNDER SEPARATE PERMIT.
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CM	CORRUGATED METAL PANEL — SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS
XX	COLOR: C1 = "CITYSCAPE"
TL	TILE EUROWEST: E-WOOD COLLECTION COLOR: R9 BLACK SIZE: 6"X36" 1/4 RUNNING BOND WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI GROUT COLOR: ULTRA COLOR PLUS — 47 CHARCOAL GROUT WIDTH: 1/8" TO 3/16" CONTACT: JAN DETER, (714) 937-7500
CS	OUTSIDE CORNER STRIPS RONDEC 10100TSDA BY SCHLUTER SYSTEMS ALUMINUM; HEIGHT:10MM; COLOR: DARK ANTHRACITE COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817
PB	PIPE BOLLARD — PAINTED YELLOW

SHEET NO.	TITLE	DRAWN BY	TS
			STD ISSUE DATE FEB 2017
PROJECT # 180323	DESCRIPTION REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR - NON PLACE	REVIEWED BY PM	DATE ISSUED
			01/31/2019
SITE ADDRESS		SITE ID	
74 RESERVOIR ROAD, ROCKVILLE, CT 06066		06-0439	

REPREPARED FOR:	© 2016 McDonald's USA, LLC	PREPARED BY:
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PREPARED FOR: **McDonald's USA, LLC**

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