#### TOWN OF VERNON

#### Planning & Zoning Commission (PZC)

Virtual Meeting Notice & Agenda

#### Thursday, December 3<sup>rd</sup>, 2020, 7:30 PM

Join Zoom Meeting

#### **Zoom Meeting Information**

https://us02web.zoom.us/j/85649742153?pwd=VURBdXRPN2V0SmlZMitRTnkrWUpuUT09

Meeting ID: 856 4974 2153 Passcode: Tg0kS1

#### AGENDA REVISED December 2, 2020

- 1. Call to Order & Roll Call by Roland Klee, Chairman
- 2. Administrative Actions/Requests
  - 2.1 Amendment/Adoption of Agenda Additional business to be considered under agenda item #6 "Other Business" requires Commission vote
  - 2.2 Approval of the Minutes from the **November 19, 2020**
- 3. New Application(s) for receipt, if any:
  - 3.1 Application [PZ-2020-14] of the Town of Vernon's Planning Department, for a proposed Text Amendment to the Zoning Regulations, Section 15 (Removal of Earth, Sand, and Gravel).
  - 3.2 Application [PZ-2020-15] of the Town of Vernon's Planning Department, for a proposed Text Amendment to the Zoning Regulations, Section 20 (Aquifer Protection) and numerous references throughout other Sections.
  - 3.3 Application [PZ-2020-16] of Square Peg Pizza, Vernon for a Modification of a Site Plan of Development to renovate and update an existing restaurant site and for a Special Permit pursuant to Section 4.9.4.17 to allow a drive-up service window at 226 Talcottville Rd. (Assessor's ID: Map 10, Block 015R, Parcel 0040F).
  - 3.4 Application [PZ-2020-17] of Bohler Engineering for a Modification of a Site Plan of Development to add an additional drive-thru lane with new menu boards, façade, signage, and other minor site revisions at McDonald's, 74 Reservoir Rd. (Assessor's ID: Map 46, Block 0071, Parcel 0019B).
- 4. Public Hearing(s) and Action on Application
- 5. 8-24 Referrals, If any
- 6. Plan of Conservation and Development Update: Vision and Objectives Discussion
- 7. Other Business/Discussion
- 8. Adjournment

Roland Klee, Chairman Planning & Zoning Commission

# **DRAFT MINUTES**

#### RECEIVED BY EMAIL

# TOWN OF VERNON Planning & Zoning Commission (PZC) Thursday, November 19<sup>th</sup>, 2020, 7:30 PM

RECEIVED VERNON TOWN CLERK
20 NOV 23 AM II: 33

Via Zoom Meeting

#### **DRAFT MINUTES**

- 1. Call to Order & Roll Call by Roland Klee, Chairperson at 7:30 PM.
  - Regular members present: Roland Klee, Joseph Miller, Mike Mitchell, Iris Mullan, Jesse Schoolnik and Wes Shorts
  - Alternate Member: Robin Lockwood sitting for Susan Reudgen
  - Absent Members: Susan Reudgen
  - Staff present: George McGregor, Town Planner
  - Recording secretary: Jill Rocco

#### 2. Administrative Actions/Requests

2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote

Robin Lockwood motioned to **ADOPT** the agenda. Joseph Miller seconded and the motion carried unanimously.

2.2 Approval of the Minutes from the **November 5, 2020** 

Joseph Miller motioned to **APPROVE** the minutes from November 5, 2020 with one change. Iris Mullan seconded and the motion carried with Mike Mitchell abstaining.

2.3 Approval of PZC 2021 Meeting Schedule

Wes Shorts motioned to **APPROVE** the 2021 Meeting Schedule. Joseph Miller seconded and the motion carried unanimously.

New Application(s) for receipt, if any:

[PZ-2020-13] 6 Pack, Inc. (Umakiran Buddah, Manager) requests a special permit for the warehousing, sale and distribution of craft beers at 27 Hartford Turnpike, Suite S212 (Assessor ID: Map 01, Block 0158, Parcel 00027) This property is zoned commercial.

• George McGregor, Town Planner, explained the details of the application and recommended a hearing date of December 17, 2020.

Mike Mitchell motioned to **RECEIVE** the application on December 17, 2020. Jesse Schoolnik seconded and the motion carried unanimously.

## 8. Adjournment

Wes Shorts made a motion to ADJOURN at 8:34 PM. Mike Mitchell seconded and the motion carried unanimously.

Jill Rocco Recording Secretary

# **APPLICATION**

1



# TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066-3291 (860) 870-3640 gmcgregor@vernon-ct.gov

## Planning and Zoning Commission Application: (Please check one)

□ Zone Map Change	☐ Site Plan of Development
	☐ Subdivision
Ordinance Text Change	☐ Special Permit
Property Information	
Property Address N/A Assess	or Parcel ID
Property Owner	
Property Owner Address	
Property Owner PhoneEmail	<del></del>
Applicant	
☐ Please Check if Applicant is different than Owner	
Applicant Name Town of Vernon Planning (Town	Planner)
Applicant Address 55 West Main St. Vernon, CT 0	6066
Applicant Phone 860-870-3640 Emai	il gmcgregor@vernon-ct.gov
Project Description	
Please provide a description of request or project (attach Zoning Text Amendment to Section 15 (Removal of Earth, Sand,	additional pages if necessary) and Gravel) of the Town Zoning regulations. See attached Narrative.
Amendment would remove special permit requirement in most	
Submission Requirements  Please confirm that the application submission contains Signatures	ins ALL of the checklist submission requirements (page 2)
The Applicant, undersigned, has reviewed the Town application with complete and accurate information	of Vernon Zoning Regulations and has prepared the n:
Signature of Applicant Heorge Mc Planer	At the second second

#### Amendment to Section 15: Removal of Earth, Sand, Gravel

#### Narrative and Draft Amendment Language

#### November 23, 2020

Issue:

Today the Zoning Regulations require a special permit, public hearing, and PZC approval for all land disturbance activities is excess of 50 cubic yard and/or ½ acre of earth moving/grading, etc. This level of activity is relatively small. Moreover, most triggers for a special permit accompany a site plan or subdivision application. They are, most often, incidental to another review process. Requiring a special permit for grading related to an approved site plan, subdivision, or building permit is burdensome to businesses and property owners, as well as unnecessary, as the technical review related to earth moving et. al. will take place by the Town Engineer and other experts during the course of a land development application. Other activities which are not significant would continue to be exempted from any review.

The amendment, therefore, would no longer require a special permit for grading and earth moving, especially if related to an existing, standard approval process. Yes, there would no longer be a public hearing. However, these requests are technical in nature and often related to an underlying application. Site Plans, on their own, do not require public hearings; so why would the grading associated with the site plan require one? This amendment streamlines review, saves property owners and business time and money, while continuing to relying upon Staff expertise.

**Proposed Solution:** 

Revisions to Section 15 addressing exemptions and Administrative review in most cases. In most cases, no special permit review, public hearing, or PZC approval would be required.

### Amendment Draft Without Strike-though

- 15.1.1 Grading, fill, excavation or removal, remediation, or sale of earth, loam, top soil, sand, gravel, clay, peat, humus or stone is permitted without additional review under the following circumstances:
  - 15.1.1.1 A residentially zoned lot with a primary residential structure for which a building permit has been obtained.
  - 15.1.1.2 Necessary and incidental to activities associated with an approved subdivision or site plan.
  - 15.1.1.3 Bona fide agricultural activities.

- 15.1.1.4 Remediation of contaminated soils.
- 15.1.1.5 When the amount of material does not exceed 500 cubic yards, or when less than 1 acre is disturbed. (not associated with any approved plan or permit)
- In all other cases, a minor modification application permit may be approved by the Town Engineer or his assigns for the grading fill, excavation or removal, remediation, or sale of earth, loam, topsoil, sand, gravel, clay, peat, humus or stone on site. Submission review requirements include (but are not limited to) map & site plans detailing:
  - 15.1.2.1 The area of disturbance.
  - Existing contour lines; final contour lines are 1"=40' or other acceptable scale.
  - 15.1.2.3 Existing and proposed drainage.
  - 15.1.2.4 Erosion and sediment control.
  - 15.1.2.5 Access to disturbed area.
  - 15.1.2.6 Narrative explanation of project purpose.
- 15.1.3 Permission may be granted subject to the following conditions:
  - 15.1.3.1 The activities shall be completed in substantial conformance with approved plans.
  - 15.1.3.2 Upon completion, the premises shall be free of all debris.
  - 15.1.3.3 No land disturbance activities shall take place within 20 feet of any residentially zoned property line.
  - 15.1.3.4 No processing of materials which originated offsite.
  - 15.1.3.5 An erosion control or performance bond may be required by the Town Engineer.

#### 15.1 - Provisions:

- of earth, loam, topsoil top soil, sand, gravel, clay, peat, humus or stone for sale or for use other than on the premises for which such grading, fill, excavation or removal shall be made. The is permitted without additional review under the following activities are excluded from obtaining a Special Permit from the Planning & Zoning Commission provided the following conditions are met: 1) the amount of material involved does not exceed fifty (50) cubic yards and 2) no more than one half (1/2) acre of land is disturbed. circumstances:
  - 15.1.1.1 Bona fide construction or alteration of a structure for which a building permit has been issued.
  - 15.1.1.2 The landscaping of an existing structure.
  - 15.1.1.3 The construction of a water hole for fire protection.
  - 15.1.1.4 The construction of a drainage field, septic tank or dry well.
  - 15.1.1.5 The construction of a pond for agriculture or conservation purposes.
    - 15.1.1.6 \_\_\_\_\_ A residentially zonezoned lot which has on itwith a primary residential structure. for which a building permit has been obtained.
    - 15.1.1.2. Necessary and incidental to activities associated with an approved subdivision or site plan.
    - 15.1.1.3 Bona fide agricultural activities.
    - 15.1.1.4 Remediation of contaminated soils.
    - 15.1.1.5 When the amount of material does not exceed 500 cubic yards, or when less than 1 acre is disturbed. (not associated with any approved plan or permit)
- In all cases other than those referred to above, the Planning & Zoning commission cases, a minor modification application permit may grant Special Permit approval be approved by the Town Engineer or his assigns for the removal, deposit, grading fill, excavation or grading removal, remediation, or sale of earth, loam, topsoil, sand, gravel, clay, stone, peat-or, humus. The maps and plans shall include the following: or stone on site. Submission review requirements include (but are not limited to) map & site plans detailing:
  - \_\_\_\_\_15.1.2.1—\_\_\_\_The area to be excavated. of disturbance.

- 15.1.2.2— Existing contour lines on the premises and; final contour lines resulting from the intended excavation or removal shown on a map drawn to agre 1" =40' or other acceptable scale not more than forty (40) feet to the inch and with a contour interval not to exceed five (5) feet...
- 15.1.2.3—\_\_\_\_Existing and proposed drainage on the premises.\_.
- 15.1.2.4 <u>Surrounding properties</u> <u>Erosion</u> and <u>streets. sediment</u> control.
- 15.1.2.5 Proposed truck access to the property. Access to disturbed area.
- 15.1.2.6 Proposed commencement and completion data.
  - 15.1.2.7 Purpose Narrative explanation of excavation. project
  - 15.1.3. The Commission may grant permission for a limited period of time not exceeding five years if it shall find that such excavation or removal will not result in the creation of any sharp declivities, pits, or depressions, soil erosion or fertility problems, permanently depressed land values, or create any drainage or sewerage problems or other conditions which would impair the use of the property in accordance with the zoning regulations and that such excavation or removal will be in harmony with the general purpose and intent of the zoning regulations. Permission shall be granted only upon the following conditions:
- 15.1.3 Permission may be granted subject to the following conditions:
  - 15.1.3.1 <u>That the premises The activities</u> shall be <u>filled or excavated</u>

    <u>and gradedcompleted</u> in <u>conformitysubstantial</u>

    <u>conformance</u> with <u>the proposed contourapproved</u> plans as <u>approved</u>.
  - 15.1.3.2—That slopes shall not exceed thirty (30) degrees to the horizontal.
  - 15.1.3.3 That only such equipment as is necessary for the digging, leveling, and carting away of excavated material shall be utilized at or maintained on the site. Further, it is the specific intention of the Commission to permit on site only equipment that is used in the incidental processing of excavated material for the purposes of trucking off-site.

- 15.1.3.4 That there will be no sharp declivities, pits, or depressions and that proper drainage will be provided to avoid stagnant water and sewerage problems.
  - 15.1.3.5 That after fill, excavation or removal Upon completion, the premises shall be cleared free of all debris.
- 15.1.3.6 That top layer of arable soil for a depth of at least four (4) inches shall be set aside and retained on the premises and shall be re-spread over the premises and appropriately seeded upon completion of the excavation or removed, in accordance with approved contour lines.
- 15.1.3.7 That no excavation shall be made nearer to the side and rear property lines than the distance of twenty (20) feet in all residential zones, the measurements to be taken to the top of slopes.
  - 15.1.3.3 No land disturbance activities shall take place within 20 feet of any residentially zoned property line.
  - 15.1.3.8 There shall not be any 4 No processing of any material, materials which originated off site offsite.
- 15.1.3.9 There shall be no buildings erected on 5 An erosion control or performance bond may be required by the premises without appropriate approvals.
- 15.2 In all zoning districts, excavation, removal of fill which in the opinion of the Building Inspector, Town Engineer, and Town Planner are of such a minor nature that the public health and safety will not be adversely affected, may be exempt from obtaining Commission approval if a minor modification approval is obtained provided the quantities outlines in Section 15.1.1 are not exceeded.

15.3 - In all situations when approval is obtained for fill, excavation, or removal of material, the property owner shall be responsible and liable for any damage to public infrastructure, which includes but is not limited to sidewalks, curbs, roadways, and drainage systems.

# **APPLICATION 2**

PZ 2020-15



# TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066-3291 (860) 870-3640 gmcgregor@vernon-ct.gov

## Planning and Zoning Commission Application: (Please check one)

☐ Zone Map Change  Ordinance Text Change	<ul><li>☐ Site Plan of Development</li><li>☐ Subdivision</li><li>☐ Special Permit</li></ul>
Property Information	
Property Address N/A Assess	sor Parcel ID
Property Owner	
Property Owner Address	
Property Owner PhoneEmail_	
Applicant	
☐ Please Check if Applicant is different than Owner	
Applicant Name Town of Vernon Planning (Town	Planner)
Applicant Address 55 West Main St. Vernon, CT C	06066
Applicant Phone 860-870-3640 Ema	iil gmcgregor@vernon-ct.gov
Project Description	
Please provide a description of request or project (attach Text Amendment to Section 20 (Aquifer Protection). State Statute requires the	additional pages if necessary)  Aquifer Protection regulations to be separate and distinct from the Zoning Ordinance.
In July of 2019, the PZC adopted new Aquifer Protection reg	
This amendment deletes Section 20 and amends the numero	ous references to Section 20 throughout the Zoning Regulations.
Submission Requirements	
Please confirm that the application submission conta	ins ALL of the checklist submission requirements (page 2)
Signatures	
The Applicant, undersigned, has reviewed the Town application with complete and accurate information	of Vernon Zoning Regulations and has prepared the n:
Signature of Applicant Merger Planner	Date/1-23-20

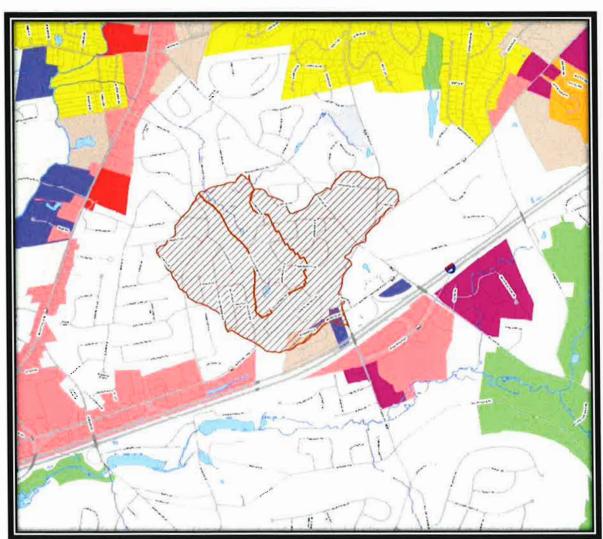
## **AQUIFER PROTECTION AREA REGULATIONS**

## Amendment Narrative

## November 23, 2020

On July 18, 2019, the Planning and Zoning Commission adopted new Aquifer Protection Area Regulations, based on revised Aquifer mapping provided by the Connecticut Department of Energy and Environmental Protection (DEEP) in coordination with the Connecticut Water Company. The Aquifer Protection Regulations are intended to protect Connecticut's major sources of public drinking water, wells, and ground water.

DEEP statutory requirements dictate that the Aquifer Regulations be a separate and distinct regulatory scheme set apart from the Zoning Regulations. The revised mapping of "Level A" public water resources are the areas which must be protected under the DEEP Regulations. The PZC, as part of the adoption process, approved what is deemed the final regulatory Aquifer Protection Area Map:



This area is the only area in Vernon subject to the Aquifer Protection Area Regulations.

By requiring the Aquifer Protection Area to be separated from the Zoning Ordinance, it renders Section 20 of the Zoning Regulation – Aquifer Protection as void, relative to the State Aquifer Statute. Therefore, Section 20 needs to be deleted, renamed, or amended, as it is no longer dispositive and conflicts with the Aquifer Regulations adopted in 2019. Section 20 of the Zoning Regulations applied Aquifer regulations to a much larger mapped area in multiple locations and based on less accurate mapping protocols. The new mapping is specific, accurate, and final based on exact public well locations, as provided by Connecticut Water.

The amendment would delete and remove Section 20 from the Zoning Regulations. Note, there are also almost three dozen other references to Section 20 throughout the Zoning regulations; these would be amendment as well and are detailed at the end of this narrative. This is likely the cleanest and most efficient approach. The Adopted Aquifer Protection Area Regulations approved last year act to protect Vernon's bona fide public ground water drinking supplies based on scientific mapping of CT water well resources.

The current Aquifer Protection provisions casts a much wider net with protected areas mapped across town, essentially overlaid atop both the Hockanum and Tankerhoosen river corridors. These areas extend well beyond specific and identified level A aquifers.

In order to remove the existing conflicts associated with the separately adopted Aquifer Protection ordinance and Section 20, it may be best to eliminate outright Section 20, then consider other natural resource standards at a later time, perhaps after completion of the POCD.

## **AQUIFER PROTECTION AREA AMENDMENT**

## Specific deletions by section

1	L.	Table of Contents	II	Delete Section 20
2	2.	Section 2 Definitions	2.5	Delete Section 2.5
3	3.	Section 4.1.1.8	Amend to "Maximum lot coverage 25%"	Delete "when not in An aquifer protection zone"
4	1.	Section 4.1.1.8.1		Delete entire
	5.	Section 4.2.1.8	Amend to "Maximum lot coverage 25%"	Delete "when not in an aquifer protection zone"
(	<b>5</b> .	Section 4.2.1.8.1		Delete entire
	7.	Section 4.3.1.8	Amend to "Maximum lot coverage 25%	Delete" when not in an aquifer protection zone"
:	8.	Section 4.3.1.8.1		Delete entire
	9.	Section 4.4.1.8	Amend to "Maximum lot coverage 25%	Delete "when not in an aquifer protection zone"
	10	. Section 4.4.1.8.1		Delete entire
	11	. Section 4.5.1.8	Amend to "Maximum lot coverage 25%"	Delete "when not in An aquifer protection zone"
	12	. Section 4.5.1.8.1		Delete entire

13. Section 4.6.1.7	Amend to "Maximum lot coverage 25%"	Delete "when not in an aquifer protection zone"
14. Section 4.6.1.7.1		Delete entire
15. Section 4.7.4.6		Delete "If this area is in an aquifer protection zone"
16. Section 4.9.4.15.6		Delete "If this area is in an aquifer protection zone"
17. Section 4.10.4.11.6		Delete "if this area is in an aquifer protection zone"
18. Section 4.14.4.12.6		Delete "if this area is in an aquifer protection zone"
19. Section 4.15.3.10.6		Delete "if this area is in an aquifer protection zone"
20. Section 4.16.3.11.4		Delete "if this area is in an aquifer protection zone"
21. Section 4.17.3.24.6		Delete "if this area is in an aquifer protection zone"
22. Section 4.18.3.3.6		Delete "if this area is in an aquifer protection zone"
23. Section 4.19.3.2.6		Delete "if this area is in an aquifer protection zone"

24. Section 4.20.4.13.6	Delete "if this area is in an aquifer protection zone"
25. Section 4.21.5.11.6	Delete "if this area is in an aquifer protection zone"
26. Section 4.22.8.4	Delete "if this area is in an aquifer protection zone"
27. Section 4.23.5.21.2	Delete "if this area is in an aquifer protection zone"
28. Section 4.24.4.2	Delete entire (also 4.24.4.2.1)
	(dist) 4.24.4.2.1)
29. Section 4.24.4.3.15.5.1.4	Delete
29. Section 4.24.4.3.15.5.1.4 30. Section 4.25.4.2	
	Delete
30. Section 4.25.4.2	Delete Delete entire

# **APPLICATION 3**

## TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

## APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

#### I. APPLICANT:

Name: John Maffe		
Title: Owner		
	Peg Pizzeria, Vernon	
Address: 624 Hebron	Ave Bldg 3 Ste 100	
Glastonbur	y, CT 06033	
Telephone: 860-966-6	401 Fax:	
E-mail jay@squarep	egpizzeria.com	
Name: John Maffe	II. PROPERTY OWNER (S):	
Name: John Maffe		
Title: Owner Company: Matte		
Title: Owner Company: Matte	Investments LLC n Ave Bldg 3 Ste 100	

## III. PROPERTY

Address: 226 Talcottville Rd Vernon, CT 06066	
Assessor's ID Code: Map # 10 Block # 015R tot/Parcel # 0040F 2669 188	
Land Record Reference to Deed Description: Volume: Page	
Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15 2.23, 2.24, 3.11; 4)	,
X No Yes  X No work will be done in regulated area  Work will be done in the regulated area	
IWC application has been submitted IWC application has not been submitted	
Zoning District Zone C - Commercial District	
Is this property located within five hundred (500) feet of a municipal boundary?	
X No Yes:	
Bolton	
Coventry Ellington	
ManchesterSouth Windsor	
Tolland	
Check if Historic Status Applies:	
Located in historic district:	
Rockville Talcottville	
Individual historia accepte	

## IV. PROJECT

Project Name: Square Peg Pizzeria, Vernon	
Project Contact Person:	
Name: John Maffe	_
Title: Owner	_
Company: Square Peg Pizzeria Vernon LLC	_
Address: 226 Talcottville Rd	
Vernon, CT 06066	
Telephone: 860-966-6401 Fax:	_
E-mail: jay@squarepegpizzeria.com	

## V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Co	onvert former restaurant to new restaurant
General Act	ivities: Interior building modifications, new exterior dining patio,
drive thru	window addition, rear building cooler enclosure, misc site work
f <u>or exam</u> r	ole: restriping, dumpster enclosure etc.
	VI. APPROVAL (S) REQUESTED
Su	bdivision or Resubdivision
	Subdivision (Sub. Sec. 4, 5, 6)  Resubdivision (Sub. Sec. 4, 5, 6)  Minor modification f subdivision or resubdivision (Sub. Sec. 4.6)  Town acceptance of a road (Sub. Sec. 6.5-6. 8 & 9)  Amendment of Subdivision Regulations (Sub. Sec. II)
See Subdiv	rision Regulations Sec. 4 for application fee schedules.
Soîl l	Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)
X Site	Plan of Development (POD) (ZR Sec. 14)
-	POD approval (ZR Sec. 14.1.1.1; 14.1.2)  Modification of an approved POD (ZR Sec. 14.1.1.1)  Minor modification of a site POD (ZR Sec. 14.1.1.2)
X Spec	cial Permit(s) (ZR Section 17.3)
	Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20) Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)  Special Permit for use in a district (ZR Sec. 1.2 & 4)
	Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)  Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)  Special Permit for parking (ZR Sec. 4; 12; 21.4
•	Special Permit for elderly housing (ZR Sec. 2.60; 17.4) Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4) Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
,	Special Permit for massage (ZR Sec. 2.76-78; 4)  Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)  Special Permit for dumps and/or incinerators (ZR Section 8)

	Other Special Permit(s). Cite ZR Section and describe activity:  Section 4. 9. 4. 17 - Drive thru window
	Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe actions
-	Zoning:
	Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)  Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)
	Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)
Zon	ning Regulations Section 22 for application fee schedules.
_	Dealer or Repairer License (location approval for DMV)

#### VII. APPLICATION CONDITIONS / STIPULATIONS

The following the visions apply to Mrive intermediate to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4.5.7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.

APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING LINDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

Signature	12-2-2020 Date
Signature	Date

## TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted	
Date Application Received by Commission	
PZC File:	

#### Planning and Zoning Attachment:

#### **Project Narrative**

The project site is located on the east side of Connecticut Route 83 (Talcottville Road) and is comprised Of approximately 0.78 acres of land. The site consists of a one story vacant building of approximately 1,850 square feet whose former use was a restaurant. The site is serviced by two driveways. Parking striping indicates one way traffic movement around the building. There are currently approximately 34 parking spaces on site. Chiller/ freezer units are located immediately behind the building. A detached shed is located in the northeast corner of the site parking area.

The proposed activity consists of interior building and exterior building and site renovations. The building would be converted to a new pizzeria restaurant with interior seating for forty people and exterior patio seating for twenty people. Outdoor dining would be seasonal. A drive thru window is proposed on the north side of the building for pizza pick up with a dedicated drive thru lane with queing for three vehicles. There is no ordering from the drive thru lane as this is completed in advance from off site. Other exterior improvements consist of parking re-striping; new dumpster pad with fence enclosure; repairing existing outdoor concrete patio, fire pit and retractable awning; a rear building addition to enclose the freezer/ cooler and landscape improvements.

There are no improvements planned to site utilities or storm drainage features, Site topography would remain unchanged. Parking modifications result in a slight decrease in bituminous pavement coverage. New plantings consist of several ornamental deciduous trees and woody ornamentals, herbaceous perennials and ornamental grasses around the patio.

Based on the applicants existing pizzeria location in a neighboring community, traffic queing for the three vehicles at the drive thru window is the maximum number of vehicles which can be expected at any one time. The site egress drive at the intersection of Connecticut Route 83 is approximately 24 feet in width and consists of both right and left turn movements. Stop signs are proposed on both sides of the egress drive. Connecticut Route 83 consists of two northbound and two southbound thru lanes with a double yellow line. Connecticut Route 83 is uniform in alignment in the vicinity of the site egress drive and offers sight lines in both directions from the egress drive.

The applicant feels the new pizzeria will provide a new dining experience for the residents of Vernon and the planned interior and exterior building renovations and exterior site improvements will be an enhancement for the community.

Record and Return To:

Lear Thomas Teler + Magle

33 Connecticit Blvd

Fast Hartford G 0018

## WARRANTY DEED

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING: KNOW YE, THAT TALCOTTVILLE ROAD, LLC, a Connecticut limited liability company, with an office located in the Town of Norwich, County of New London, and State of Connecticut, hereinafter referred to as the Grantor, for consideration of THREE HUNDRED TWENTY-FIVE THOUSAND (\$325,000.00) DOLLARS received to its full satisfaction of MAFFE INVESTMENTS, LLC, a Connecticut limited liability company, with a principal place of business in the Town of Glastonbury, County of Hartford, and State of Connecticut, hereinafter referred to as the Grantee, does give, grant, bargain, sell and confirm unto the said MAFFE INVESTMENTS, LLC, that certain piece or parcel of land with the buildings and improvements thereon, located in the Town of Vernon, known as 226 Talcottville Road, and more particularly bounded and described in Schedule 'A' annexed hereto and made a part hereof. As part consideration hereof, the Grantee herein assumes and agrees to pay all taxes and assessments hereinafter becoming due and payable.

TO HAVE AND TO HOLD, the above granted and bargained premises, with the appurtenances thereof, unto the said Grantee, its successors and assigns forever, to them and their own proper use and behoof.

AND ALSO, the said Grantor does for its successors and assigns, covenant with the said Grantee, its successors and assigns forever, that at and until the ensealing of these presents it is well seized of the premises, as a good indefeasible estate in FEE SIMPLE; and it has good right to bargain and sell the same in manner and form as is above written; and that the same is free from all encumbrances whatsoever, except as hereinbefore mentioned.

AND FURTHERMORE, it the said Grantor by these presents binds itself and its successors and assigns forever to WARRANT AND DEFEND the above granted and bargained premises unto the said Grantee, its successors and assigns forever, against all claims and demands whatsoever, except as hereinbefore mentioned.

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal this 3 day of August, 2020.

Signed, Sealed and Delivered

in the presence of:

TALCOTTVILLE ROAD, LLC

By:

DIANIE PROVUST

CONVEYANCE TAX RECEIVED STATE \$ \$4,062.50 LOCAL \$ \$812.50 KAREN C. DAIGLE TOWN CLERK OF VERNON

## VOL: 2669 PG: 189 INST: 2462

	ss: Moewich
COUNTY OF NEW LON	ON }
B	y
On this the	day of August, 2020, before me, the undersigned officer, personally appeared
	CALCOTTVILLE ROAD, LLC, duly authorized, known to me (or satisfactorily
proven) to be the person w	hose name is subscribed to the within instrument and acknowledged that she

executed the same for the purposes therein contained, as her free act and deed and the free act and deed of

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

STATE OF CONNECTICUT |

said company

Comm. Of the Syperior Court/Notary Public

M:\users\MEB\ClorinSale of Vernon\Warranty Deed.doc

A pertain piece or parcet of land, with all improvements thereon known as 226 Talcottville Road, situated in the Town of Vernon, County of Tolland and State of Connecticut, more particularly bounded and described as follows:

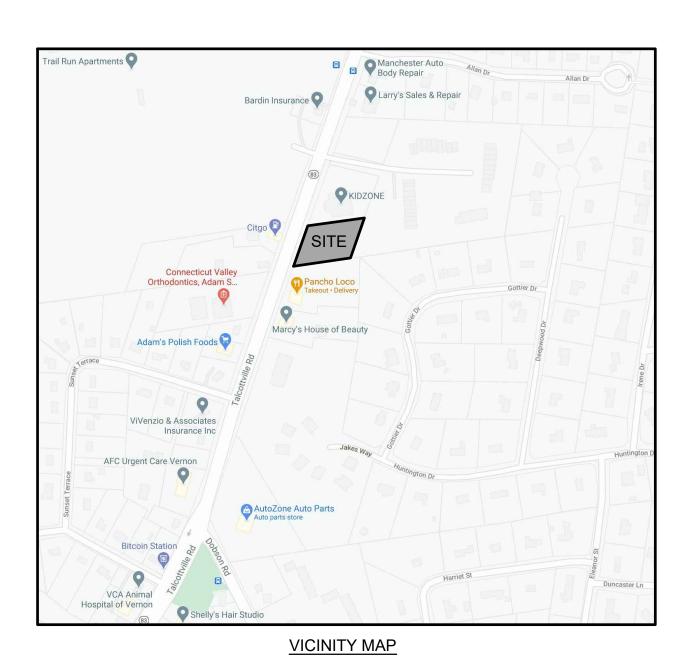
COMMENCING at a point in the easterly line of the highway now known as Connecticut Route 83 at the northwest comer of land formerly of one Karenkraut; thence running N 19° 22' E along said highway line a distance of 169.86 feet; thence running N 81° 23' E a distance of 226.48 feet along land now or formerly of Andrew J. Ashland and Joseph F. Toth; thence running S 19° 22' W a distance of 169.86 feet along other land of said Ashland and Toth to land formerly of one Greenberg; thence running S 81° 23' W a distance of 226.48 feet to the point and place of beginning, along land now or formerly of said Greenberg and of said Karenkraut, in part by each.

Being the same premises conveyed to Lester Gorin by Quit Claim Deed dated February 13, 1998 and recorded in Volume 1134 at Page 253 of the Vernon Land Records.

SCHEDULE A

RECORDED IN VERNON LAND RECORDS KAREN C. DAIGLE VERNON TOWN CLERK ON AUG 04, 2020 AT 02:38 PM

# SQUARE PEG PIZZERIA - VERNON 226 TALCOTTVILLE ROAD (CT RTE 83) VERNON, CONNECTICUT



LIST OF DRAWINGS

1 COVER SHEET
2 SITE SURVEY
3 SITE PLAN
4 CONSTRUCTION DETAILS
SA-2 FLOOR PLAN
SA-4 ELEVATIONS



200' ABUTTERS MAP

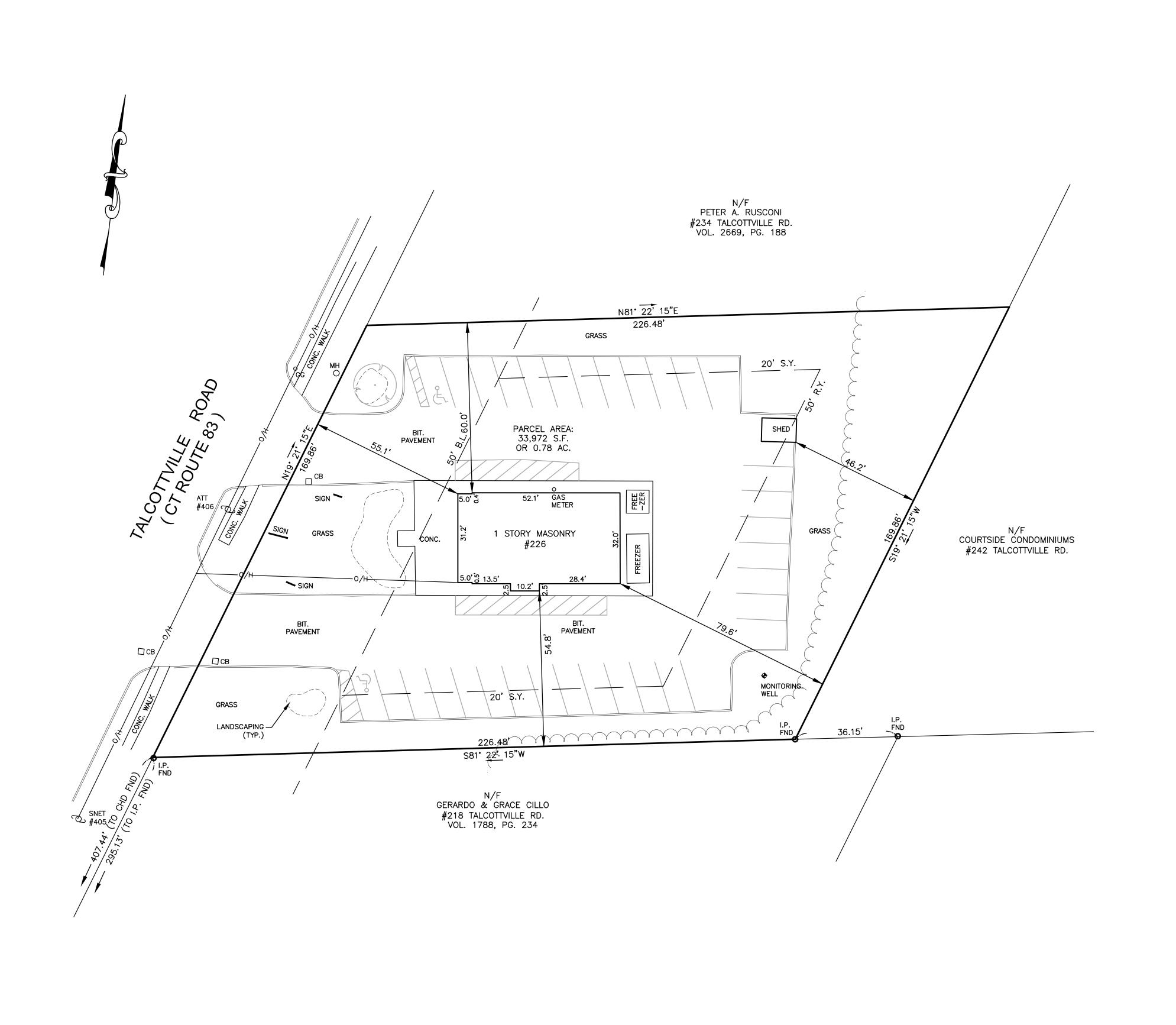
Property Owner
MAFFE INVESTMENTS, LLC
624 Hebron Avenue

Glastonbury, CT 06033

Civil Engineer
CLOSE JENSEN & MILLER, P.C.
1137 Silas Deane Highway

1137 Silas Deane Highway Wethersfield, CT 06109 (TEL.) 860-563-9375 (FAX) 860-721-1802 Architect
VINCENT BABAK ARCHITECTURE, LLC

195 Tunxis Hill Road, Suite 203 Fairfield, CT 06825 (TEL.) 203-903-6203



VICINITY MAP

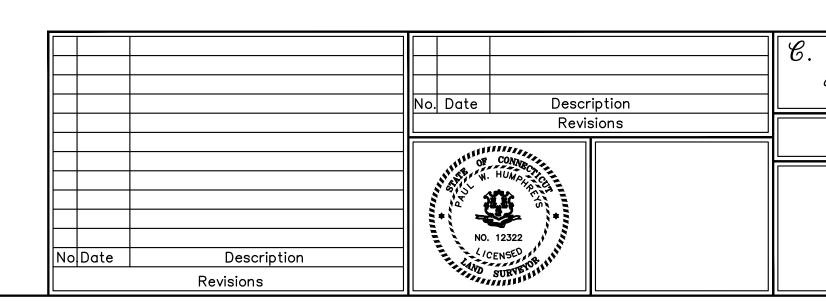
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED OCT. 26, 2018 AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUG. 29, 2019. THIS IS A PROPERTY SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO DEPICT THE POSITION OF BOUNDARIES WITH RESPECT TO LOCATIONS OF ALL BOUNDARY MONUMENTATION; APPARENT IMPROVEMENTS AND FEATURES; RECORD EASEMENTS AND VISIBLE EVIDENCE OF THE USE THEREOF; RECORD AND APPARENT MEANS OF INGRESS AND EGRESS; LINES OF OCCUPATION AND DEED RESTRICTIONS PERTAINING TO THE LOCATION OF BUILDINGS OR OTHER

2. THIS SURVEY WAS PREPARED DURING THE PANDEMIC OF 2020 AT WHICH TIME THE TOWN HALL LAND RECORDS VAULT ACCESS WAS LIMITED. SURVEYOR REFERENCED HEREON RELIED ON TITLE RESEARCH DERIVED FROM ON-LINE RECORDS AND OTHER SOURCES AND IS UNABLE TO PREPARE A PROPER

SURVEY TITLE SEARCH AT THIS TIME. 3. THIS SURVEY IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

> PAUL W. HUMPHREYS, L.S. LIC. NO. 12322



GRAPHIC SCALE

Close, Jensen & Miller, P. C. P.C. Check Consulting Engineers, Land Planners & Surveyors Designed  $\mathcal{M}$ . 1137 Silas Deane Highway, Wethersfield, Conn. 06109, Tel. (860)563-9375 Drawn Checked Scale

PROPERTY SURVEY

PROPERTY OF MAFFE INVESTMENTS, LLC 226 TALCOTTVILLE ROAD

CONNECTICUT

VERNON,

12/01/20 Date Sheet Job No. File No.

MAP REFERENCES:

4-12-65" BY JOHN MAZZOCHI.

APPROVED 10-94" PROJECT 146-11.

1. "PROPOSED SUBDIVISION PREPARED FOR ROBERT LUDWIG &

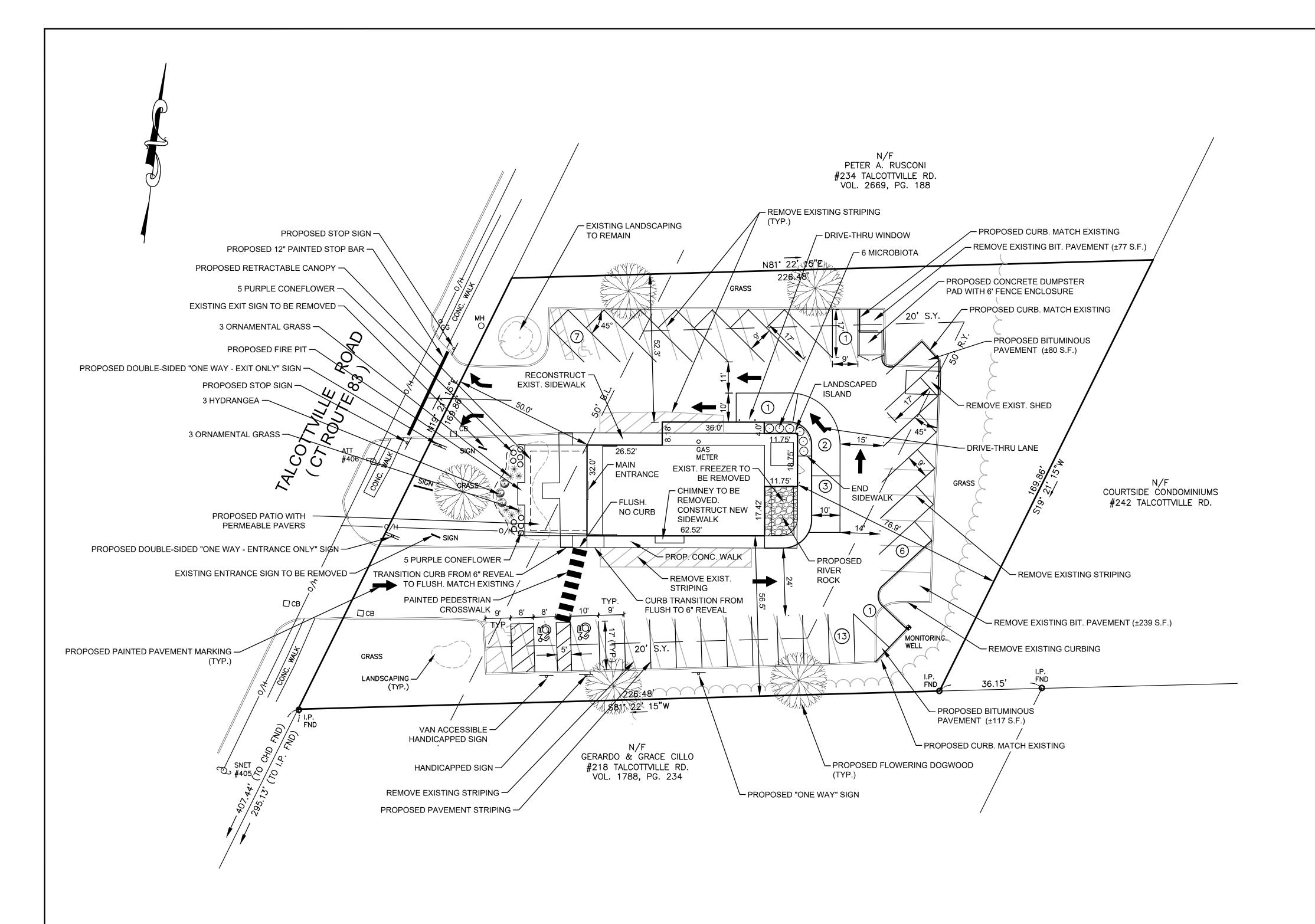
ARTHUR GOTTIER, VERNON, CONN., SCALE: 1"=50', DATE:

OF VERNON, TALCOTTVILLE ROAD FROM PITKIN ROAD

2. " PRELIMINARY RIGHT OF WAY SURVEY, STATE OF CONNECTICUT

DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, TOWN

NORTHEASTERLY TO WINDSORVILLE ROAD, SCALE: 1"= 40',



PLANT SCHEDULE				
QUANTITY	<u>LATIN NAME</u> COMMON NAME	SIZE	<u>TYPE</u>	COMMENTS
DECIDUOUS T	REES			
5	Cornus Florida 'Cherokee Brave' Flowering Dogwood	2½" Caliper	B&B	Straight Trunk
DECIDUOUS SHRUBS				
3	Hydrangea Macrophylla 'Summer Beauty' Hydrangea 'Summer Beauty'	#3	Container	
CONIFEROUS SHRUBS				
6	<i>Microbiota Decussata</i> Siberian Carpet Cypress	#3	Container	
ORNAMENTAL GRASS				
6	Pennisetum Alopecuroides 'Hameln' Dwarf Fountain Grass	#3	Container	
HERBACEOUS PERENNIALS				
10	Echinacea 'Prairie Splendor'	#1	Container	

'Prairie Splendor' Cone Flower

Container

## SEED BED PREPARATION

. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED ON THE DESIGNATED AREAS AND EVENLY SPREAD TO A DEPTH OF AT LEAST SIX (6) INCHES. IT SHALL BE IN SUFFICIENT DEPTH TO COMPENSATE FOR ANY SHRINKAGE AND THE TOPSOIL SHALL BE MEASURED PERPENDICULAR TO THE PLANE OF THE FINISHED GRADE. IRREGULARITIES IN THE SURFACE RESULTING FROM OPERATIONS THEREOF SHALL BE CORRECTED TO PREVENT THE FORMATION OF DEPRESSIONS WHERE WATER WILL STAND. TOPSOIL SHALL NOT BE PLACED OR WORKED WHEN IT IS FROZEN, EXCESSIVELY DRY OR WET OR IN A CONDITION OTHERWISE DETRIMENTAL TO THE PROPOSED SEEDING.

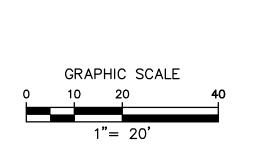
2. APPLY COMMERCIAL FERTILIZER, LIME AND ANY OTHER SOIL ADDITIVES ACCORDING TO THE REQUIREMENTS AND RATES RECOMMENDED BY SOIL TEST RESULTS.

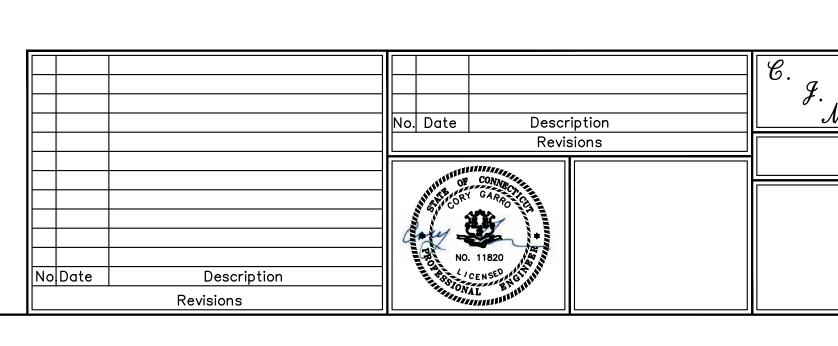
## **SEED MIXTURE:**

30% DALLAS TALL FESCUE 30% FALCON IV TALL FESCUE 30% SUNGAZER TALL FESCUE

10% SPF 30 TEXAS HYBRID KY BLUEGRASS

SEED AT THE RATE OF 3-4 LBS./1,000 SQ.FT. SEED AVAILABLE AT THE CHAS. C. HART SEED CO. WETHERSFIELD, CT.







## **VICINITY MAP**

## **GENERAL NOTES:**

- 1. BEARINGS SHOWN ARE BASED ON STATE OF CONNECTICUT GRID COORDINATE SYSTEM NAD 83.
- 2. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM WITH THE SPECIFICATIONS FOR THE TOWN OF VERNON AND CONNDOT FORM 818, LATEST
- 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER AND TOWN ENGINEER BEFORE PROCEEDING.
- 4. ALL UNSUITABLE MATERIAL DISCOVERED DURING CONSTRUCTION SHALL BE REMOVED OR DISPOSED OF IN A SUITABLE MANNER. SAID MATERIAL SHALL INCLUDE TREES, BRUSH, ORGANIC MATERIAL, ETC.
- 5. SOLID WASTE DISPOSAL SHALL BE DUMPSTER WITH PRIVATE COLLECTION.

ZONING TABLE					
ZONE: C - COMMERCIAL	REQUIRED	EXISTING	PROPOSED		
MIN. LOT AREA	22,000 S.F.	33,972 S.F.	33,972 S.F.		
MIN. LOT WIDTH	100'	169.86'	169.86'		
MIN. FRONT YARD	50'	55.1'	50.0'		
MIN. REAR YADR	50'	48.2' (SHED)	76.9'		
MIN. SIDE YARD	20'	54.8'	52.3'		
MIN. FLOOR AREA	1,000 S.F.	1,850 S.F.	2,500 S.F.		
MAX. LOT COVERAGE	60%	57.3%	54.9%		

## PARKING REQUIREMENTS:

VERNON,

1 SPACE / EACH 50 S.F. OPEN TO THE PUBLIC (EXCLUDING OUTDOOR PATIO)

1.383 S.F. ÷ 50 = 27.66 OR 28 SPACES REQUIRED

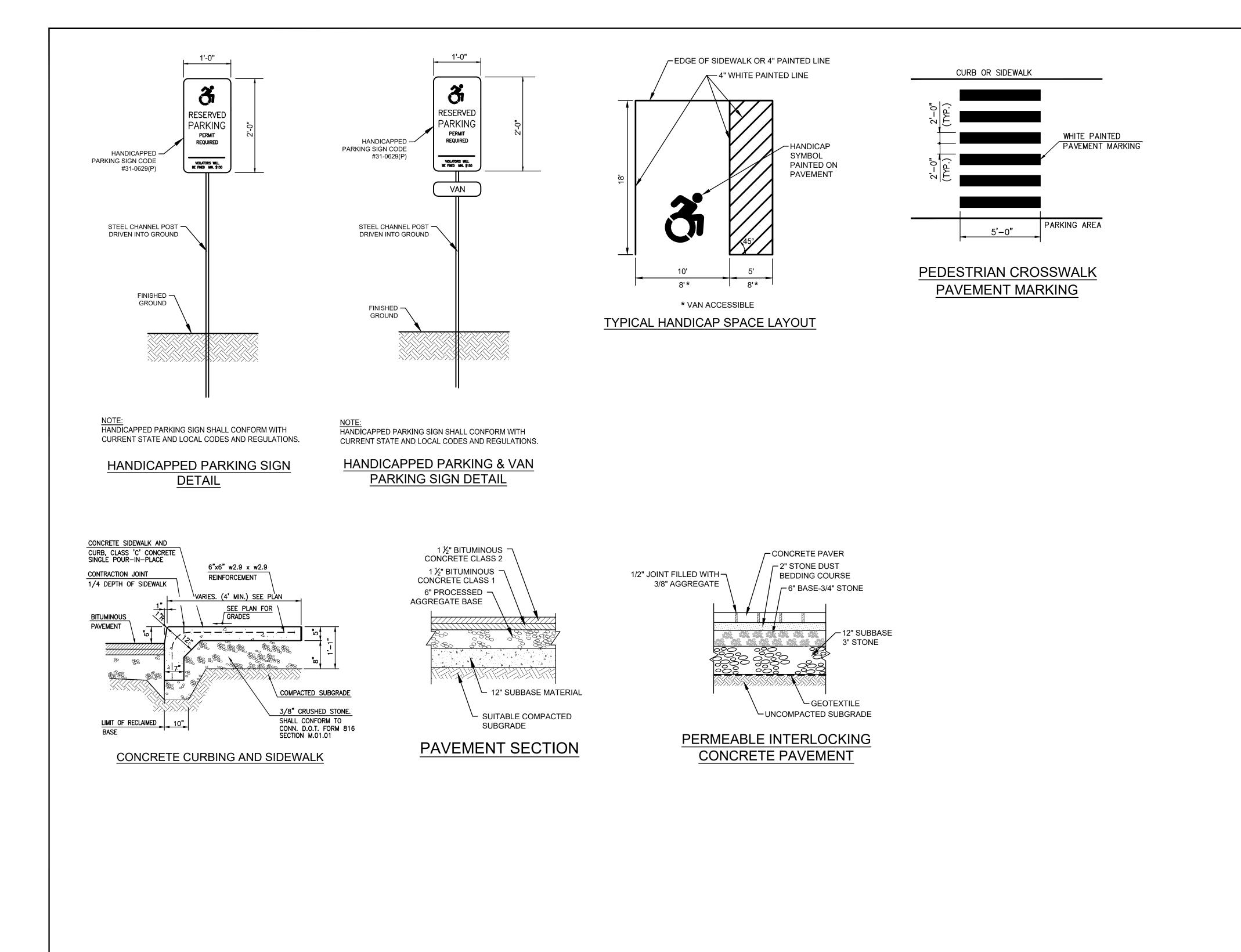
28 SPACES PROPOSED (INCLUDING 2 HANDICAPPED SPACES)

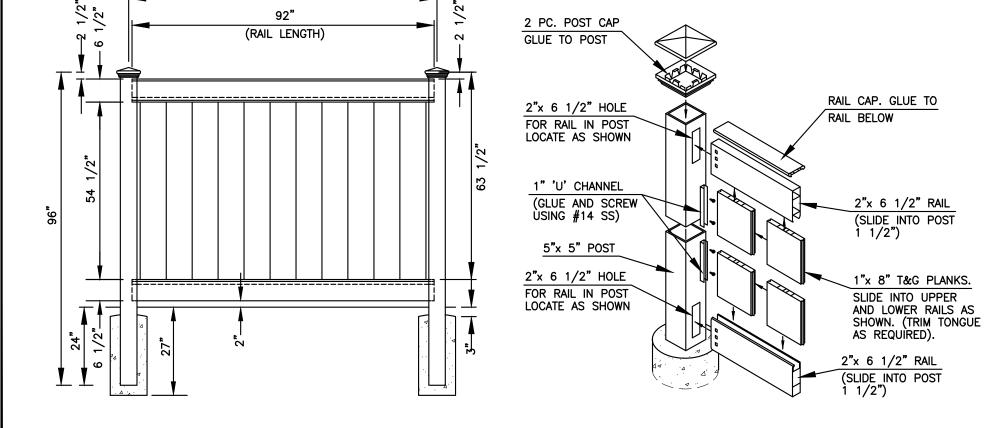
Close, Jensen & Miller, P. C. Compiled P.C. Check Consulting Engineers, Land Planners & Surveyors Designed 1137 Silas Deane Highway, Wethersfield, Conn. 06109, Tel. (860)563-9375 Drawn Checked SITE PLAN Scale 12/01/20 Date Of Sheet SQUARE PEG PIZZERIA - VERNON 226 TALCOTTVILLE ROAD

CONNECTICUT

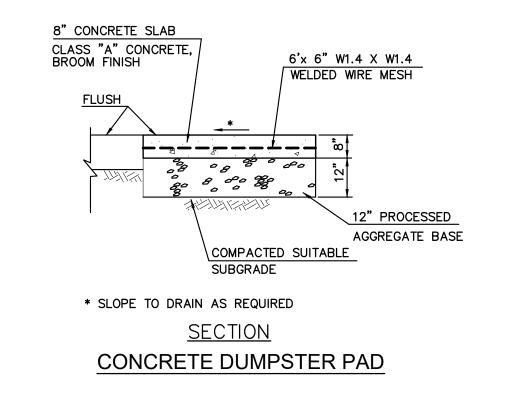
Job No.

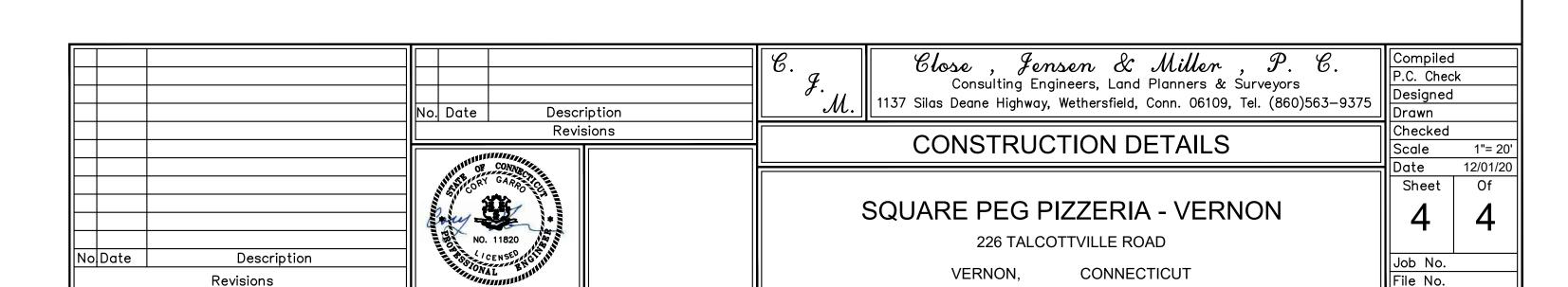
File No.







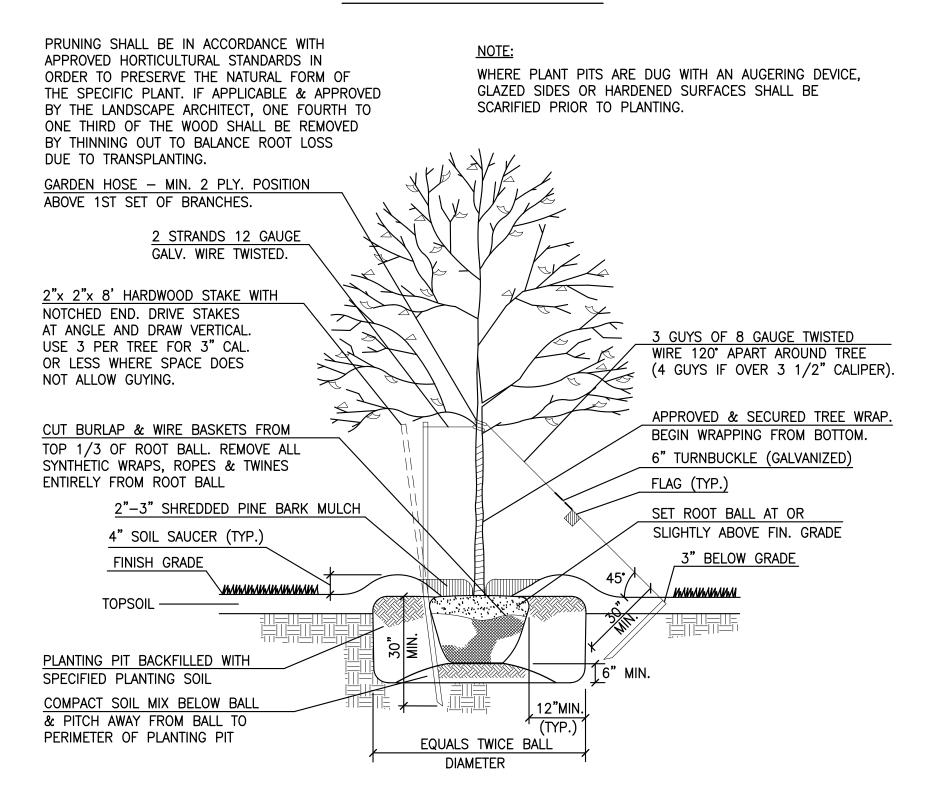




WHERE PLANT PITS ARE DUG WITH AN AUGERING DEVICE, GLAZED SIDES OR HARDENED SURFACES SHALL BE SCARIFIED PRIOR TO PLANTING. CUT BURLAP & WIRE BASKETS FROM 2"-3" SHREDDED PINE BARK MULCH (TYP.) TOP 1/3 OF ROOT BALL. REMOVE ALL SYNTHETIC WRAPS, ROPES & TWINES ENTIRELY FROM ROOT BALL SET ROOT BALL AT OR SLIGHTLY ABOVE FIN. GRADE 4" SOIL SAUCER FINISHED GRADE TOPSOIL -PLANTING PIT BACKFILLED WITH SPECIFIED PLANTING SOIL **EQUALS** COMPACT SOIL MIX BELOW BALL TWICE CONT & PITCH AWAY FROM BALL TO **EQUALS TWICE BALL** DIAMETER PERIMETER OF PLANTING PIT DIAMETER

BALLED AND BURLAPPED CONTAINER GROWN

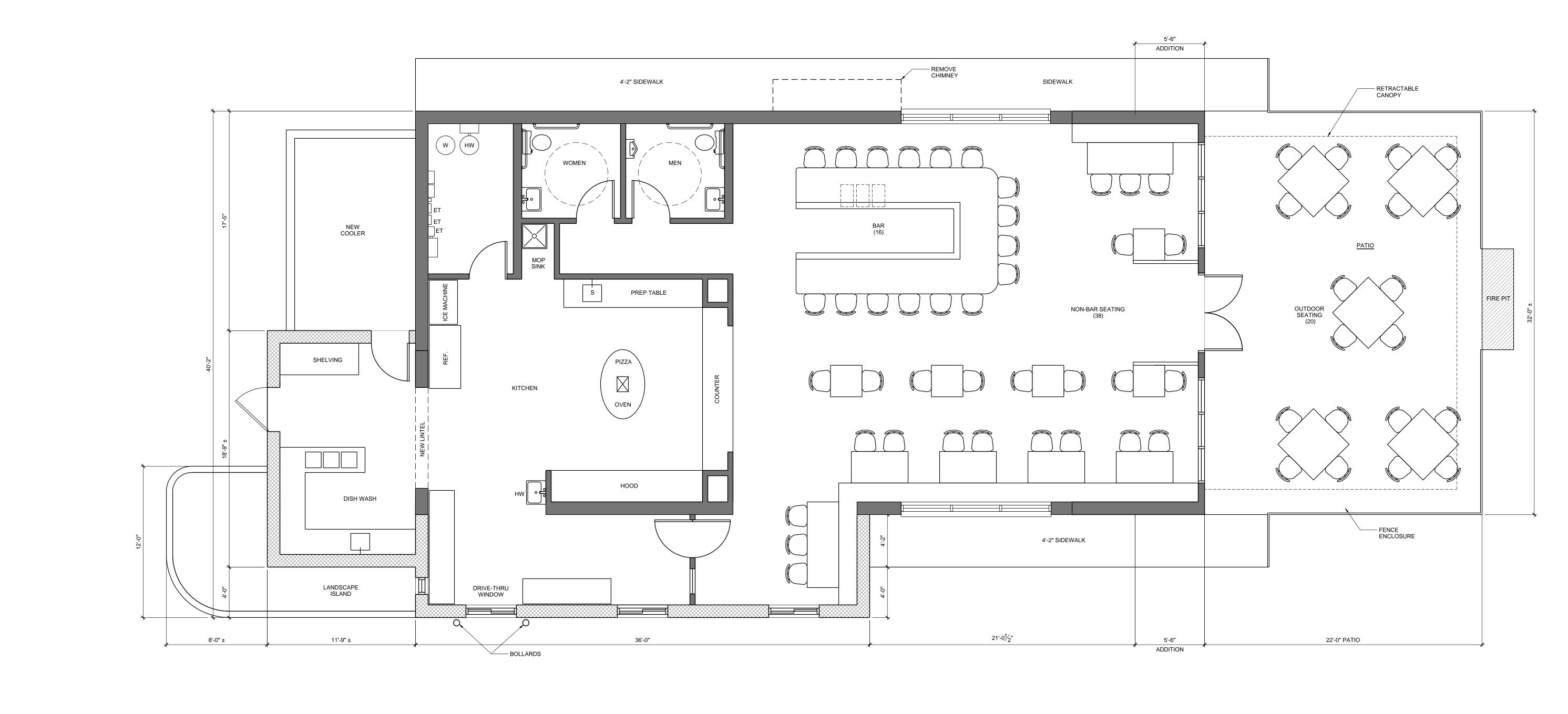
## SHRUB PLANTING DETAIL

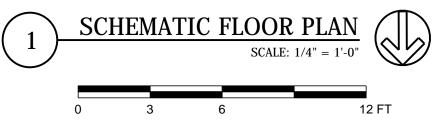


## TREE PLANTING DETAIL

<u>Note</u>

DECIDUOUS TREES 3" CALIPER OR LESS & EVERGREEN TREES 8' OR LESS TO BE STAKED.





No.	Date	Issue Notes	
/ / 			
1			/

VINCENT BABAK ARCHITECTURE, LLC

195 TUNXIS HILL ROAD, SUITE 203

FAIRFIELD, CT 06825

TELE: 203-903-6203

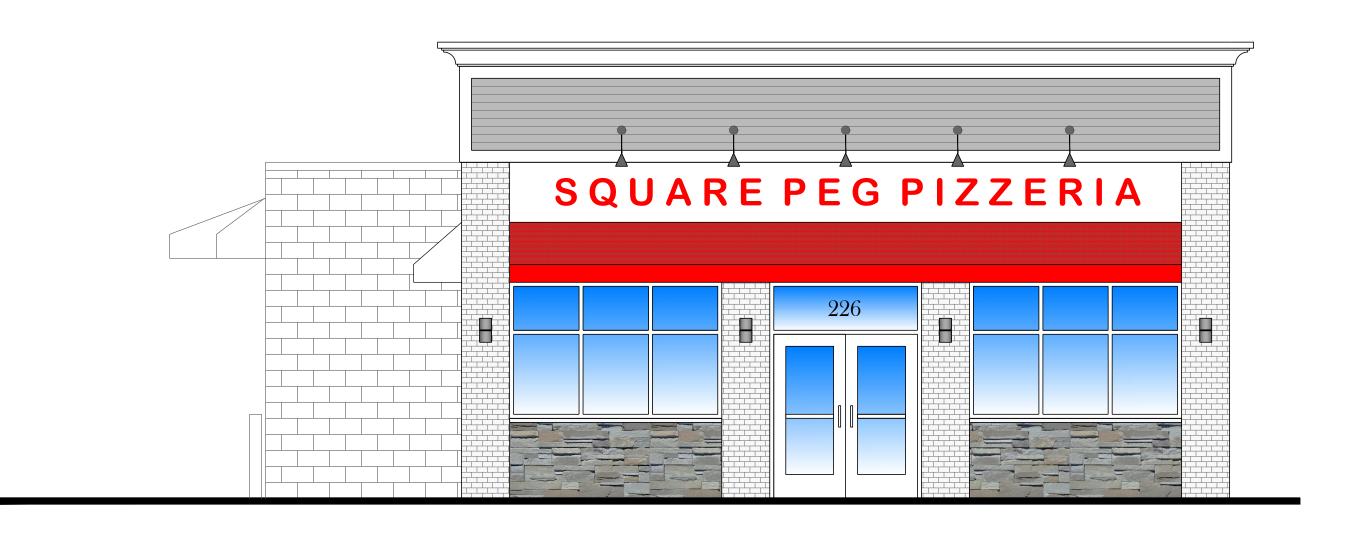
onsultant

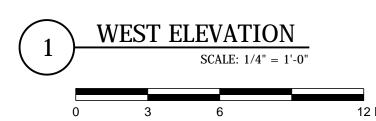
SQUARE PEG PIZZERIA
226 Talcottville Rd.
Vernon, CT

Title

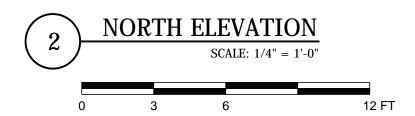
SCHEMATIC PLAN

-	
Drawn By NS	Scale 1/4" = 1'-0"
Reviewed By ED	Sheet No.
Date 11-28-20	3A-Z
CAD File Name	









No.	Date	Issue Note	es
/			

VINCENT BABAK ARCHITECTURE, LLC

195 TUNXIS HILL ROAD, SUITE 203

FAIRFIELD, CT 06825

TELE: 203-903-6203

Consultant

SQUARE PEG PIZZERIA

226 Talcottville Rd. Vernon, CT

ELEVATIONS

Project ID
Scale
1/4" = 1'-0"
Sheet No.
1 3A-4

# **APPLICATION 4**

### TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

### APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

I APPLICANT.

Provide all the information requested:

	40 (	M & DICALITY
Jame:	Matthew Tyler, EIT	
itle:	Design Engineer	
Company:	Bohler	
Address:	16 Old Forge Road Suite A,	Rocky Hill, CT 06067
elephone	860-333-8900	Fax:
E-mail	mtyler@bohlereng.com	
Name: H	layes family limited partnership & Co	onyers Family Limited Partnership II
Address:		
Telephon		4
E-mail:		20

05/05/2015

1

## III. PROPERTY

Address: 74 Re	servoir Road
Assessor's ID Code:	Map # 46 Block # 71 LovParcel # 19B
Land Record Reference	to Deed Description: Volume: Page
Does this site contain a 2.23, 2.24, 3.11; 4)	watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15,
No	Yes  X No work will be done in regulated area Work will be done in the regulated area
	IWC application has been submitted IWC application has not been submitted
Zoning District Col	mmercial (C)
Is this property located	within five hundred (500) feet of a municipal boundary?
_X_No Yes:	
	Bolton Coventry Ellington Manchester South Windsor Tolland
Check if Historic Sta	site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 3.11; 4)  No Yes  No work will be done in regulated area  Work will be done in the regulated area  IWC application has been submitted  X IWC application has not been submitted  Strict Commercial (C)  perty located within five hundred (500) feet of a municipal boundary?  X No  Yes:  Bolton  Coventry  Ellington  Manchester  South Windsor
Locate	d in historic district:
	Rockville Talcottville
Indivi	iual historic property

## IV. PROJECT

Project Naz	ne: McDonaid's			
Project Ca	Hact Person:			
Name:	Matthew Tyler			
Title:	Design Engineer			
Company:	Bohler Engineering			
Address;	16 Old Forge Road Suit	e A, Rocky Hill, CT 06067		
Telephone	860-333-8900	Fax:		
E-mail:	mtyler@bohlereng.com			

### V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: _	ADA (	Compliance
General A	ctivities:	Minor site modifications for ADA compliance,
additio	nal drive	e-thru lane with new menu boards and features to
improv	e stack	ing, new facade and signage.
		VI. APPROVAL (S) REQUESTED
	Subdivisio	n or Resubdivision
	Resu Min Tow	livision (Sub. Sec. 4, 5, 6) bdivision (Sub. Sec. 4, 5, 6) or modification f subdivision or resubdivision (Sub. Sec. 4.6) on acceptance of a road (Sub. Sec. 6.5-6. 8 & 9) andment of Subdivision Regulations (Sub. Sec. II)
See Subd	livision Re	egulations Sec. 4 for application fee schedules.
Soi	il Erosion	and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)
X Sit	e Plan of	Development (POD) (ZR Sec. 14)
Sı	Mo _X_Min	D approval (ZR Sec. 14.1.1.1; 14.1.2) diffication of an approved POD (ZR Sec. 14.1.1.1) nor modification of a site POD (ZR Sec. 14.1.1.2) mit(s) (ZR Section 17.3)
•	Sp	ecial Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20) ocial Permit for excavation (ZR Sec. 2.52; 2.79; 15) ecial Permit for use in a district (ZR Sec. 1.2 & 4)
	Sp	ecial Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4) ecial Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7) ecial Permit for parking (ZR Sec. 4; 12; 21.4
	S	pecial Permit for elderly housing (ZR Sec. 2.60; 17.4) pecial Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4) pecial Permit for serving alcohol (ZR Sec. 2.103, 17.1)
	S	pecial Permit for massage (ZR Sec. 2.76-78; 4) pecial Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23) pecial Permit for dumps and/or incinerators (ZR Section 8)

Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe
 Zoning:
Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)  Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)
Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.

#### VII. APPLICATION CONDITIONS / STIPULATIONS

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.

APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

Geolean P. Hayle	11/12/20
Signature	Date

## TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted	
Date Application Received by Commission	
PZC File:	



McDonald's Corporation 110 N. Carpenter Street Chicago, IL 60607-2101 (312) 720-4404 Kevin.l-lyde@us.mcd.com

September 30, 2020

# BY CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Hayes Family Limited Partnership Conyers Family Limited Partnership II 1471 Pleasant Valley Road Manchester, CT 06040

Stanley Falkenstein Falkenstein, Meggers, Paul & Robinson, P.C. 113 East Center Street Manchester, CT 06040-5234

Re:

Route 31 Mile Hill Road, Vernon CT (the "Premises")

L/C: 006-0439 File #43038

Ground Lease dated August 28, 2002, between Hayes Family Limited Partnership and Conyers Family Limited Partnership, as Landlord, and McDonald's Corporation, as Tenant, as amended (collectively the "Lease")

### Dear Sir or Madam:

Pursuant to the terms of the Lease, McDonald's would like to obtain your consent as Landlord to make certain alterations and improvements to the Premises as are depicted on the enclosed site plan dated September 21,2020 (collectively the "Site Enhancements Work"), which work includes, but may not be limited to, the addition of a side-by-side drive-thru and related facilities.

Tenant agrees that the Site Enhancements Work, when accomplished, will be done in a good, workmanlike manner and further agrees to hold you harmless from any liens or claims attaching to the Premises by reason of the Site Enhancements Work. The Site Enhancements Work is to be done at the sole cost and expense of McDonald's.

If the Site Enhancements Work meets with your approval, please sign the enclosed copy of this letter in the space provided below and return it in the enclosed self-addressed envelope to my attention. Please also execute the attached Town of Vernon Planning & Zoning Commission (PZC) Application. If possible, please also e-mail a signed copy of the letter to the following e-mail address: "legalclearance@us.mcd.com."

Your written response within twenty (20) days is required. Please note that pursuant to the Lease, your approval shall only be from an appearance standpoint only and shall not be unreasonably withheld, and shall be conclusively deemed granted if you do not respond within twenty (20) days after receipt of this correspondence. You, as Landlord, are currently in default for failure to respond to previous requests for consent, therefore I ask that you respond as soon

as possible to this request. This request for consent is made without prejudice to McDonald's claims against Landlord for Landlord's prior default, and McDonald's reserves all of its rights against Landlord with respect to same.

If you have any questions regarding this matter, please do not hesitate to contact me at (312) 720-4404 or by email at Kevin.Hyde@us.mcd.com. Thank for your cooperation and prompt attention to this matter.

Sincerely,

McDONALD'S CORPORATION

Senior Counsel
U.S. Legal Department

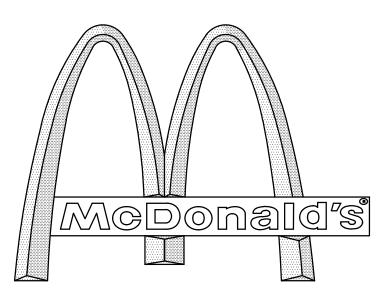
**Enclosure** 

AGREED AND CONSENTED TO THIS 9th DAY OF November , 2020

Ite. Magneson

# SITE DEVELOPMENT PLANS

FOR: EXISTING

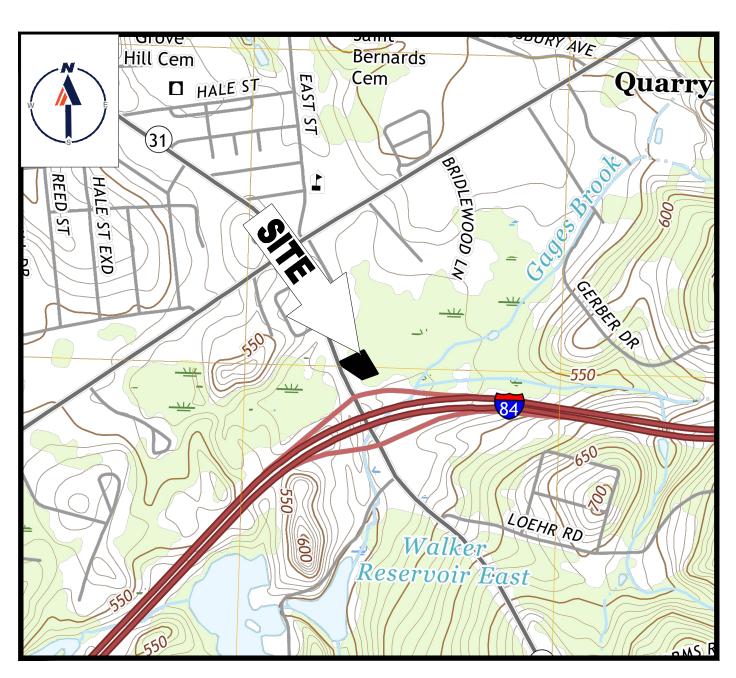


WITH DRIVE-THRU

LOCATION OF SITE:

74 RESERVOIR ROAD, TOWN OF VERNON TOLLAND COUNTY, CONNECTICUT

MAP 46, BLOCK 71, LOT 19B



LOCATION MAP SCALE: 1"=1000'
PLAN REFERENCE: USGS ROCKVILLE, CT QUADRANGLE 2018



AREA PLAN SCALE: 1"=150'

C-1 OF 8
C-2 OF 8
C-3 OF 8
C-4 OF 8
C-5 OF 8
C-6 OF 8
C-7 OF 8
C-8 OF 8
1 OF 1
A1.0
A2.0
A2.1

# SHEET INDEX

BOHLER//	
SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING	
PROGRAM MANAGEMENT	
LANDSCAPE ARCHITECTURE	
SUSTAINABLE DESIGN	(
PERMITTING SERVICES	
TRANSPORTATION SERVICES	
TRANSPORTATION SERVICES	
THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES	I

M	COMPLIANCE CHECK DATE
_	CONSTRUCTION CHECK DATE
	CONSTRUCTION CHECK DATE
	PROJECT No.: CT182026
RITTEN	CAD I.D. #: CT182026ss0.dwg

<ol> <li>ALL ELEVATIONS SHOWN ARE BASED UPON, NAVD 88 PER SURVEY NOTE #7.</li> <li>ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.</li> <li>LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.</li> </ol>				DESCRIPTION				
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GENERAL NOTES:

1. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY

2. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES,

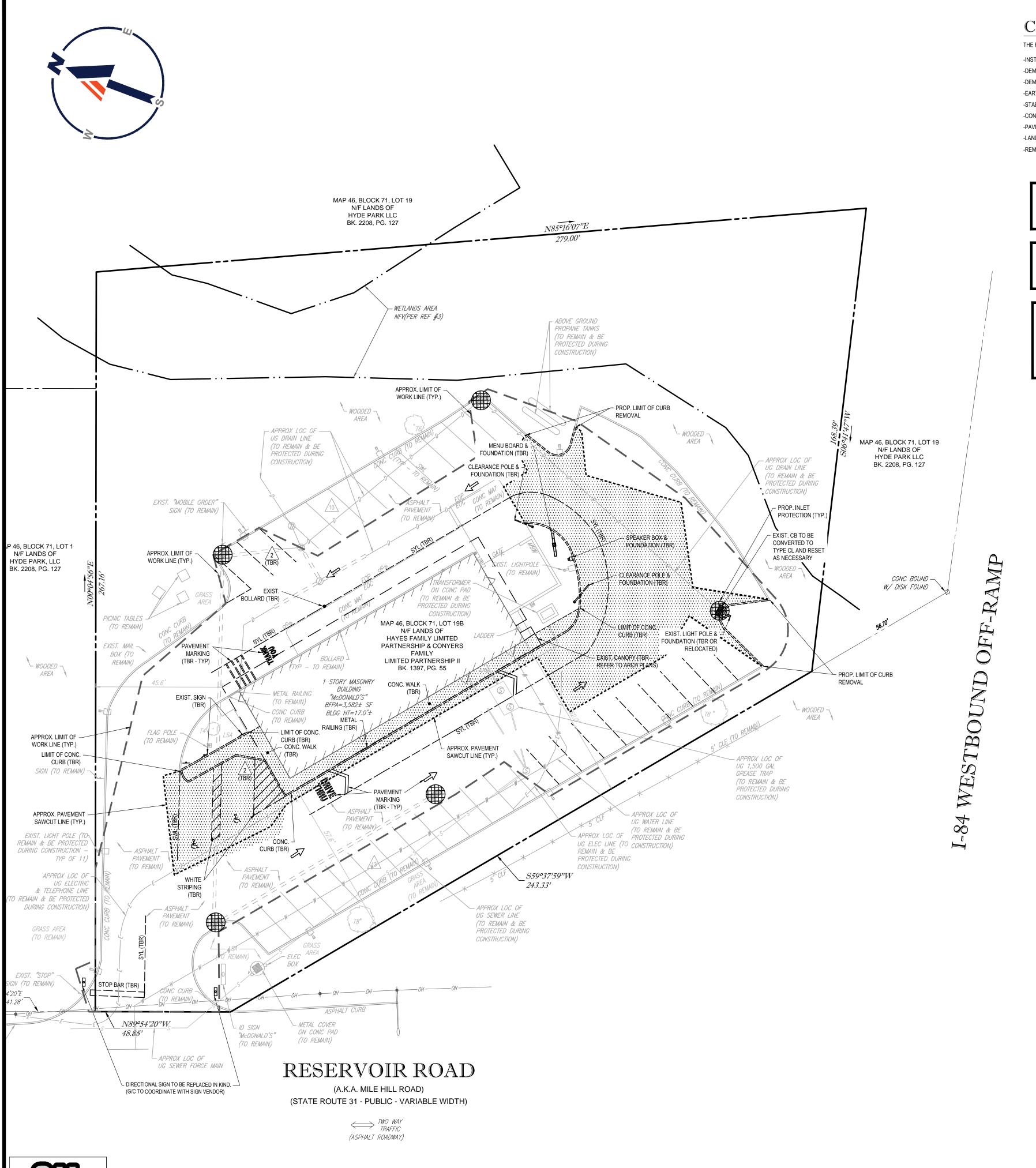
4. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS

SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION. 5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER

CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.

ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

THE GENERAL CONTRACTOR.



# CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED.

-INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
-DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
-DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
-EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
-STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING

-STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
-CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
-PAVE PARKING LOT

-LANDSCAPING PER OPERATOR

-REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL & SOIL EROSION CONTROL PURPOSES ONLY

## **UTILITY NOTE:**

CONTRACTOR SHALL CONFIRM ALL UTILITY & DRAINAGE LOCATIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER IN WRITING IF ANY CONFLICTS OCCUR.

# EROSION & SEDIMENT CONTROL NOTES

- 1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL
- 2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE
  AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME
  APPLIES FOR ALL SLOPES GREATER THAN 8%.
- 4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- 5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- 6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- 7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- 8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- 9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- 10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
- 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
- 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER1,000 SF).
- 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
- 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- 11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- 12. WETLANDS WILL BE PROTECTED W/strawBALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND
- 13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED,

# MULCH

 LOCATION PROTECT AREA
 MULCH STRAW
 RATE (1000 SF) 100 POUNDS

 WINDY AREA
 SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)\*
 185-275 POUNDS 100 POUNDS

 MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1
 JUTE MESH OR EXCELSIOR MAT
 AS REQUIRED

REATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

\* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING

ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS): USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

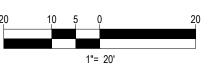
PROFESSIONAL ENGINEER

DATE

09/21/20 ML

# EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- 2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- 3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- 4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- 5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR straw AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- 6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF Straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- 7. MULCHING REQUIREMENTS:
- 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
- 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- 7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- 8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- 9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- 10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- 11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.





TRANSPORTATION SERVICES

THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOF AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES

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PERMITTING SERVICES

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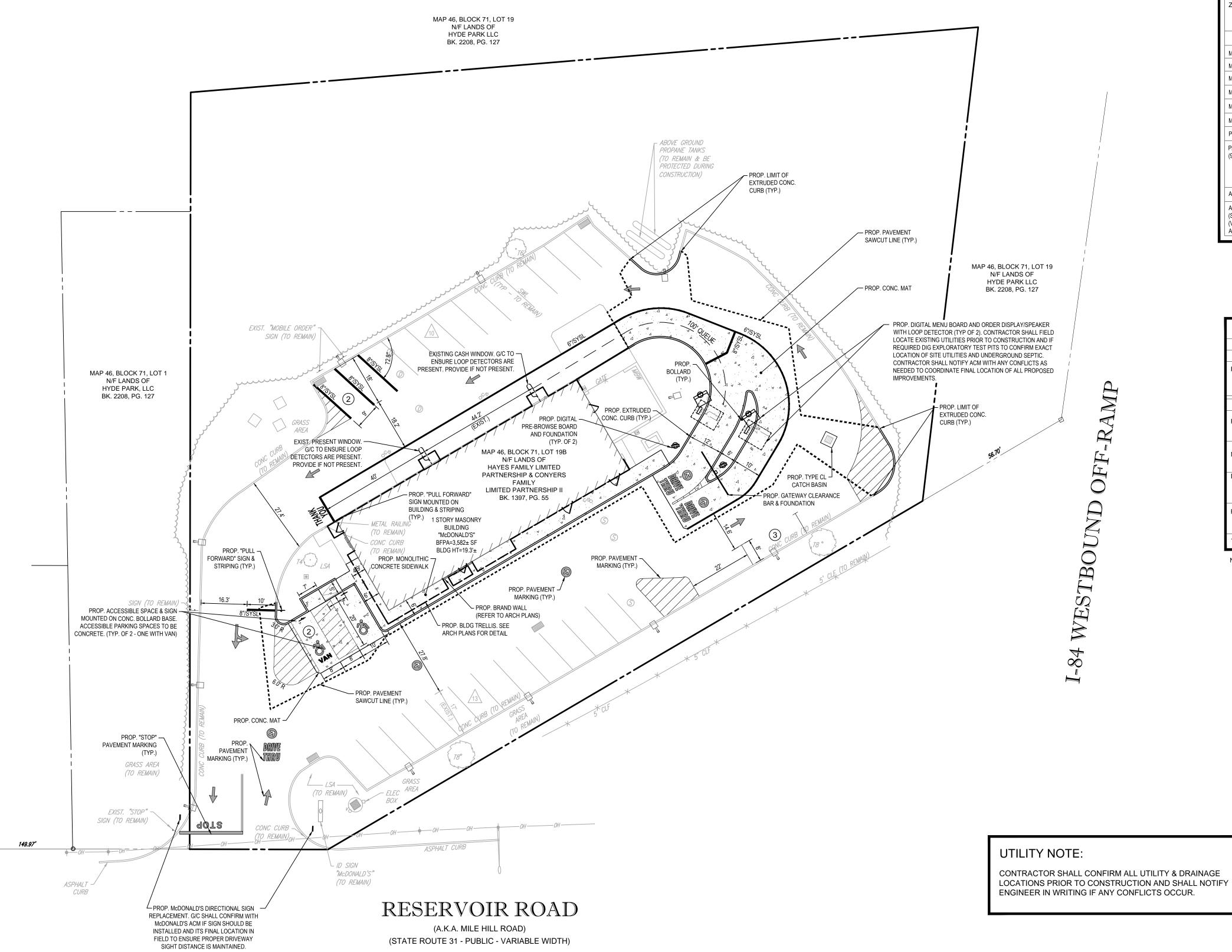
ENTITLEMENT SET STREET ADDRESS 74 RESERVOIR ROAD TOWN STATE STATUS CONNECTICUT **VERNON** DRAWN BY: COUNTY PLAN CHECKED TOLLAND AS-BUILT SITE I.D. PLAN DESCRIPTION SHEET NO. DEMOLITION & EROSION

CONTROL PLAN

P:\18\CT182026\Drawings\Plan Sets\REV0 - SBS\CT182026ss0.dwg, 03-Demo, 4/23/2010, 10:17:14 AM, kbohnenberger, XeroX51

Know what's below.

Call before you dig.



TWO WAY TRAFFIC (ASPHALT ROADWAY)

LAND USE / ZONING INFORMATION & NOTES

APPLICANT / OWNER:
 CONYERS FAMILY LTD PARTNERSHIP II
 1471 PLEASANT VALLEY ROAD
 MANCHESTER, CT 06040

2. PARCEL:
MAP 46, BLOCK 71, LOT 19B
74 RESERVOIR ROAD
TOWN OF VERNON
TOLLAND COUNTY, CT

ZONING DISTRICT	COMMERCIAL (C)		
	, ,		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	22,000 SF	60,585 SF	NO CHANGE
MINIMUM LOT WIDTH	100'	168.4'	NO CHANGE
MIN. FRONT SETBACK	50'	57.6'	57.9'
MIN. SIDE SETBACK	20'	45.6'	48.5'
MIN. REAR SETBACK	50'	106.8'	112.3'
MIN. FLOOR AREA	1,000 SF	3,582 SF	NO CHANGE
PARKING SPACES	30	45	30
PARKING CRITERIA (9'x18')	1 PER 50 SF OF PUBLIC FLOOR A 1,475 SF / 50 SF = 29.5 ~ 30 SPAC		
ACCESSIBLE PARKING SPACES	2	2	2
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE- 8'x18' W/ 5' ACCESS AISLE) (VAN ACCESSIBLE SPACE-8'x18' W/ 8' ACCESS	TOTAL PARKING 26 TO 50 = 2 ACCESSIBLE SPACES VAN ACCESSIBLE SPACES= 1 / 6 SPACES		

C	ICNI CIIMM	ARY TABLE	
۵		AKIIADLE	
TYPE	ALLOWED	EXISTING	PROPOSED
SITE SIGNAGE			
FREESTANDING I.D. SIGN	1 @ 80 SF	1 @ 59 S.F.	NO CHANGE
BUILDING SIGNAGE			
FRONT WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH	1 "M" @ 14 S.F.	1 "M" LOGO @ 14 S.F. 1 "McDONALD'S" SIGN @ 34 SF WALL SIGN AREA = 48 SF
	36.4 X 2 = 72.8 S.F.		**************************************
NON DRIVE THRU WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 98.2 X 2 = 196.4 S.F.	1 "M" @ 14 S.F.	1 "M" LOGO @ 14 S.F.
DRIVE THRU WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 98.2 X 2 = 196.4 S.F.	-	-
REAR WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 36.4 X 2 =72.8 S.F.	1 "M" @ 14 S.F.	-
TOTAL BUILDING SIGNAGE	538.4 S.F.	3 @ 42 S.F.	3 @ 62 S.F.

NOTE: ALL SIGNS AREAS ARE "BOXED" FOR CALCULATIONS

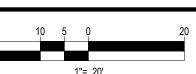
PAVEMENT STRIPING LEGEND

6"/SYSL = 6" SINGLE YELLOW SOLID LINE 8"/SYSL = 8" SINGLE YELLOW SOLID LINE 4"/SWSL = 4" SINGLE WHITE SOLID LINE

REFER TO GENERAL NOTES
SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

DOOR PULL NOTE: NEW SIDEWALK
CONSTRUCTION SHALL BE ADA
COMPLIANT WITH EDGE OF NEW
SIDEWALK AND ANY OBSTRUCTION,
INCLUDING RAILINGS, BEING
INSTALLED A MINIMUM OF 24" FROM
THE DOOR LATCH.





COMPLIANCE CHECK DATE	
CONSTRUCTION CHECK DATE	
CONSTRUCTION CHECK DATE	
PROJECT No.: CT182026	
CAD I.D. #: CT182026ss0.dwg	
	CONSTRUCTION CHECK DATE  CONSTRUCTION CHECK DATE  PROJECT No.: CT182026  CAD I.D. #:

	1"= 20'			
ENTITLEMENT SET				
STREET ADDRESS 74 RESERVOIR ROAD				
	TOWN	STATE		
	VERNON CONNECT			
COUNTY				
TOLLAND				
TE I.D.		PLAN DESCRIPTION		
	006-0439	SITE PLAN		

AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MADONALD'S CORPORATION

DATE OFFICE BOSTON REGION

ADDRESS 110 NORTH CARPENTER STREET

CHICAGO, IL

DATE BY

09/21/20 MLT

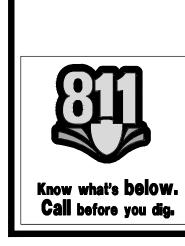
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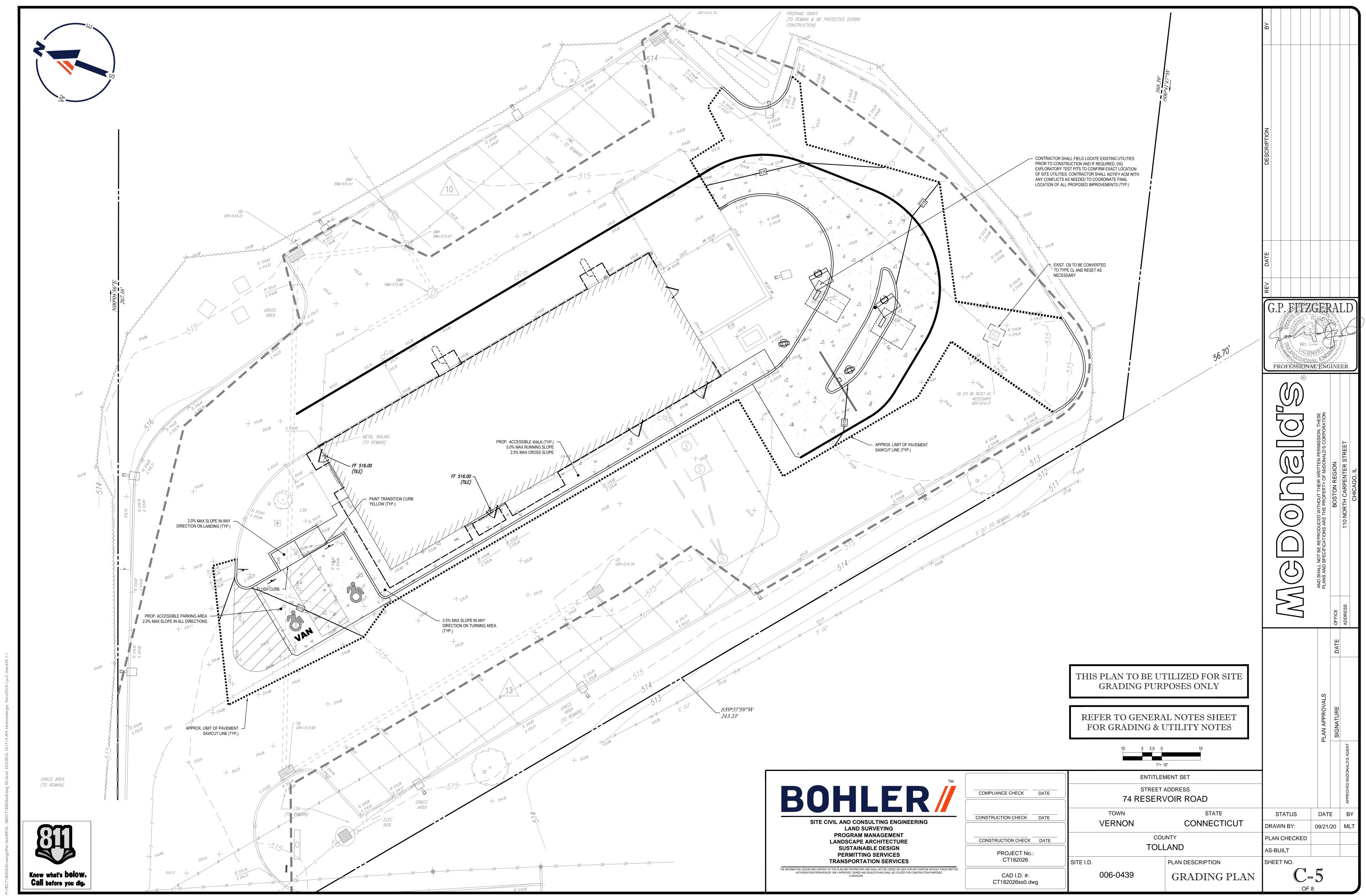
PLAN CHECKED

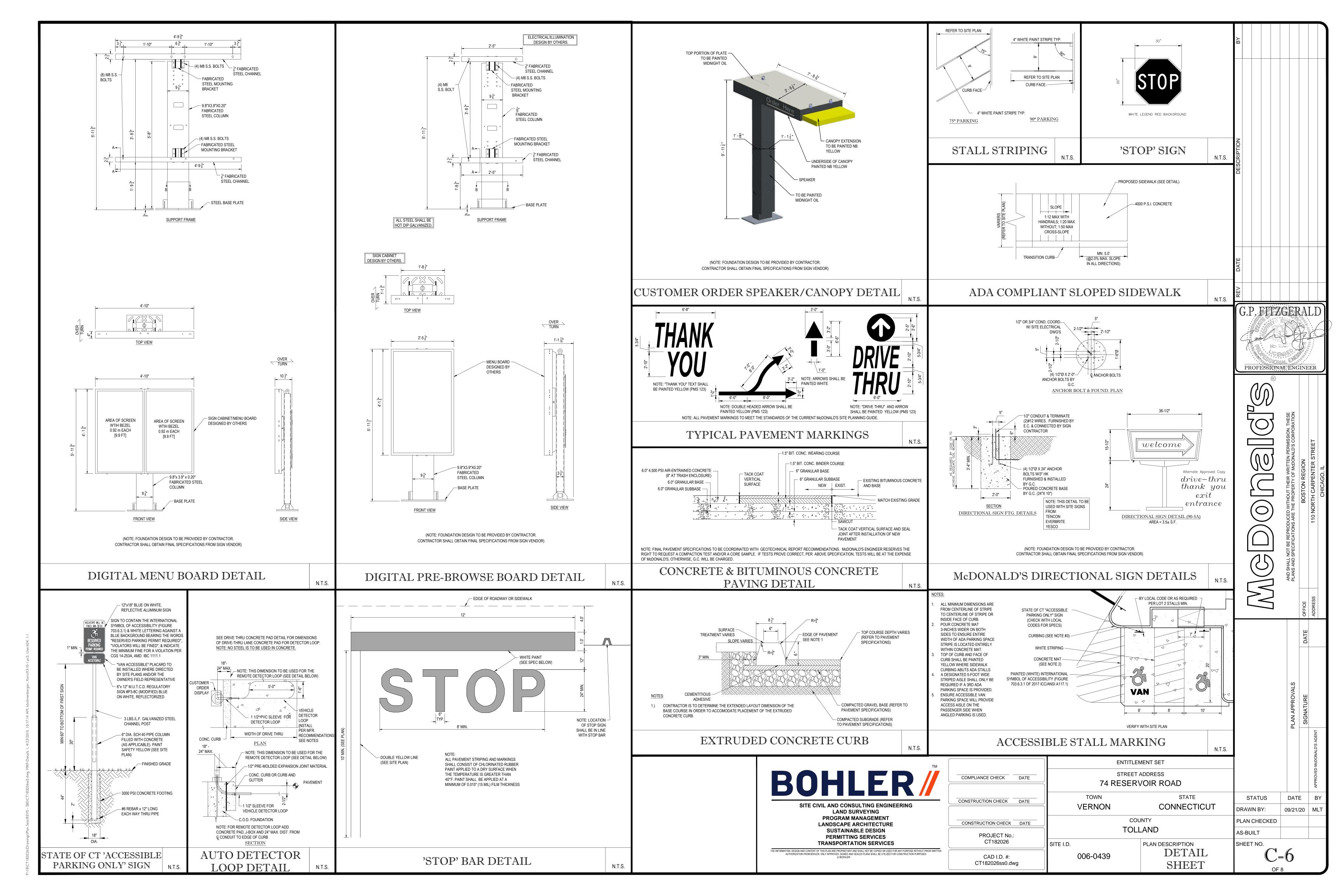
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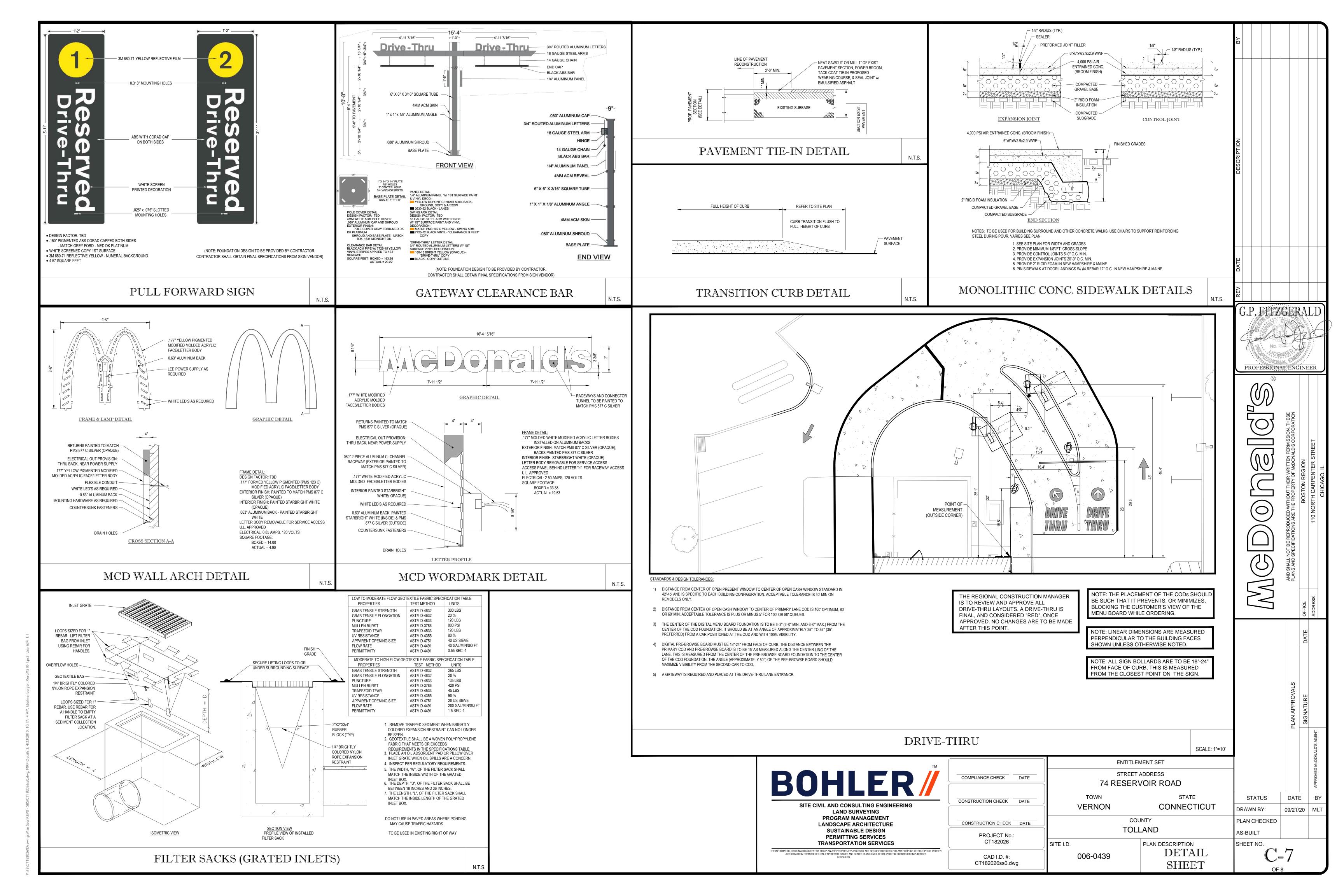
AS-BUILT

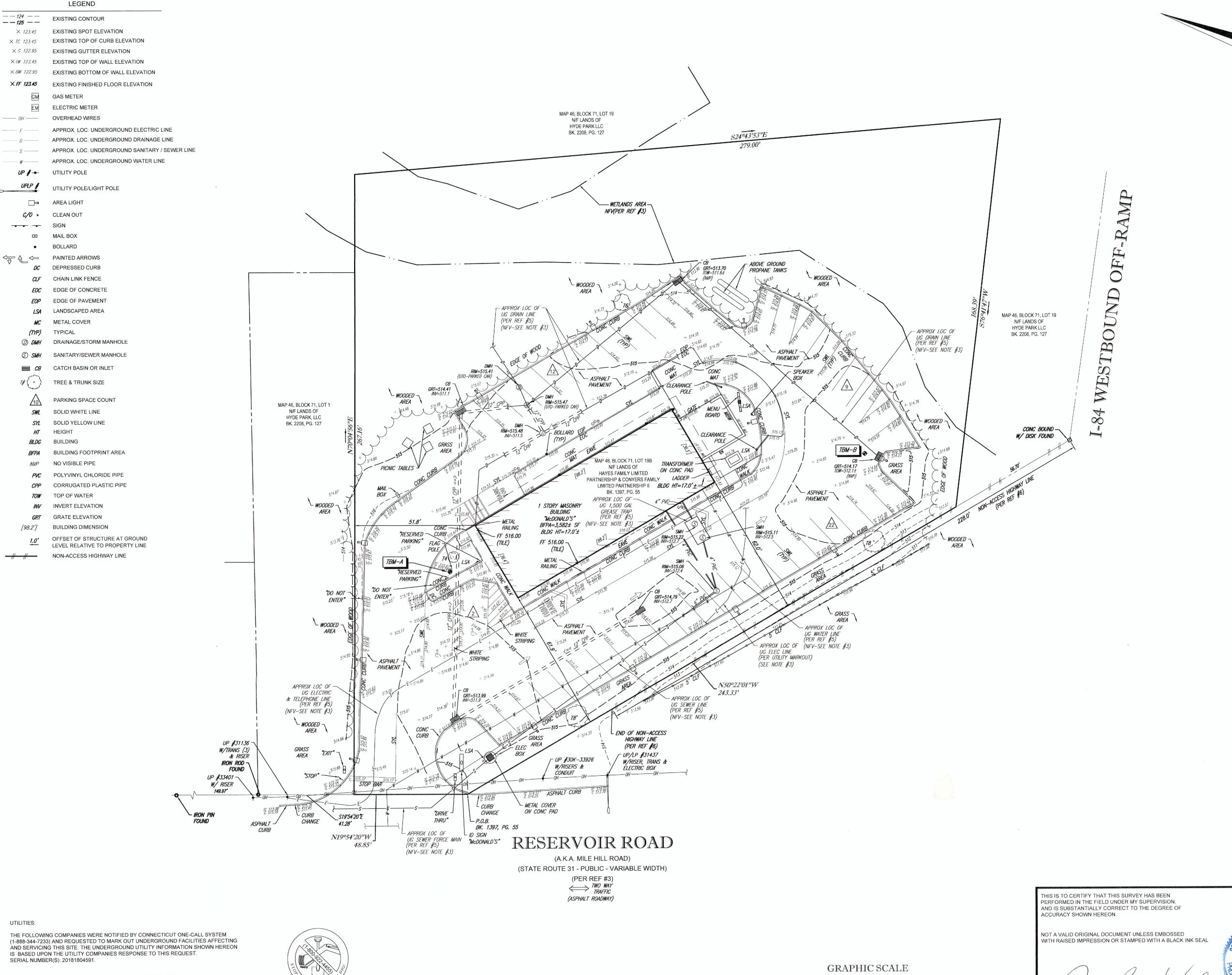
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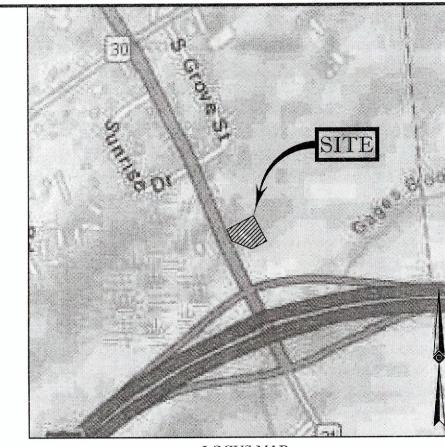












LOCUS MAP ©2013 ESRI WORLD STREET MAPS NOT TO SCALE

#### NOTES:

- 1. THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 AND T-2 SURVEY AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B, EFFECTIVE DATE JUNE 21, 1996. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON SEPTEMBER 26, 1996, BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC., THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON A RESURVEY OF THE SUBJECT PROPERTY.
- 2. PROPERTY KNOWN AS BLOCK 71, LOT 19B AS SHOWN ON THE TOWN OF VERNON, TOLLAND COUNTY, STATE OF CONNECTICUT; TAX MAP NO. 46.

### AREA = 60,585 SQUARE FEET OR 1.390 ACRES.

- 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR
- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- 5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) PER REF. #2
- 7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
  - TEMPORARY BENCH MARKS SET:

TBM-A: BOLT ON FLAG POLE BASE. ELEVATION = 516.31'

TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT. ELEVATION = 514.49'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

- 8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- 9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD

# REFERENCES:

- 1. THE TAX ASSESSOR'S MAP OF ROCKVILLE, TOLLAND COUNTY, SHEET #46.
- 2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF VERNON, CONNECTICUT, TOLLAND COUNTY, ONLY PANEL PRINTED," COMMUNITY-PANEL NUMBER 090131 0005 C, MAP REVISED: AUGUST 9, 1999.
- ALTA/ACSM LAND TITLE SURVEY FOR MCDONALD'S CORPORATION, PROPERTY LOCATED AT LOT 19 / BLOCK 71 / MAP 46, RESERVOIR ROAD, A/K/A MILE HILL ROAD (STATE ROUTE 31) VERNON, CONNECTICUT," PREPARED BY MBA ENGINEERING, INC., DATED MARCH 12, 2002.
- MAP ENTITLED "MCDONALD'S, SITE PLAN, MAP #46, LOTS 1 & 19, BLOCK #71, VERNON, CONNECTICUT, TOLLAND COUNTY," PREPARED BY BOHLER ENGINEERING, P.C., DATED MARCH 6, 2002. LAST REVISED NOVEMBER 12, 2002. SHEET 2 OF 13. FILED AS PLAN 4345 WITH THE TOWN OF VERNON.
- 5. MAP ENTITLED "MCDONALD'S, UTILITY & DRAINAGE PLAN, MAP #46, LOTS 1 & 19, BLOCK #71, VERNON, CONNECTICUT, TOLLAND COUNTY," PREPARED BY BOHLER ENGINEERING, P.C., DATED MARCH 6, 2002. LAST REVISED NOVEMBER 12, 2002. SHEET 4 OF 13.
- 6. MAP ENTITLED "CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF VERNON INTERSTATE 84 FROM THE MANCHESTER TOWN LINE EASTERLY TO THE TOLLAND TOWN LINE" DATED

AUGUST 15, 1991. SHEET 14 OF 14.

AMES C. WEED

ONNECTICUT PROFESSIONAL LAND SURVEYOR #70249

TELD BOOK N 18-11 MA FIELD BOOK PG 123-125 IELD CREW J.O.

BOUNDARY & TOPOGRAPHIC SURVEY McDONALD'S USA, LLC 74 RESERVOIR ROAD

McDonald's® MAP 46, BLOCK 71, LOT 19B TOWN OF VERNON L/C# 006-0439 TOLLAND COUNTY, STATE OF CONNECTICUT

CONTROL POINT A S S O C I A T E S, I N C.

ALBANY, INT 51621/3040

CHALFONT, PA 2157129800

CHALFONT, PA 2157129800 352 TURNPIKE ROAD

MANHATTAN, NY 6467800411 MT LAUREL, NJ 609857209 WARREN, NJ 908668009 DWG. NO.

1 OF 1

SOUTHBOROUGH, MA 01772 R.J.K. 508.948.3000 - 508.948.3003 FAX PPROVED: 10-12-18 1"=20' 03-180127

( IN FEET ) 1 inch = 20 ft.

CONNECTICUT DEPT OF TRANSPORTATION CONNECTICUT WATER COMPANY EVERSOURCE ELECTRIC EVERSOURCE GAS

FRONTIER COMMUNICATIONS TOWN OF VERNON - WPCA

PHONE NUMBER 860-566-3156 1-800-286-5700 800-778-9140 203-206-5702 1-800-598-0628 860-870-3699

THE STATE OF CONNECTICUT REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

ACCORDANCE WITH THE 2015 IBC - TABLE 1108.2.7.1. NEW RECEIVERS TO BE CONNECTED TO THE EXISTING ANNOUNCEMENT SYSTEM (SPEAKER SYSTEM).

WHEN APPLICABLE, CONTRACTOR TO PROVIDE RECEIVERS FOR ASSISTIVE LISTENING SYSTEMS I

CONTRACTOR TO VERIFY WITH TRELLIS AND ACCENT BAND MANUFACTURER FOR MOUNTING REQUIREMENTS.

CONTRACTOR TO VERIFY ALL FINISHES WITH McDONALD'S ACM PRIOR TO ORDERING. ALL AREAS OF NEW WORK ARE TO BE PREPPED & FINISHES ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS.

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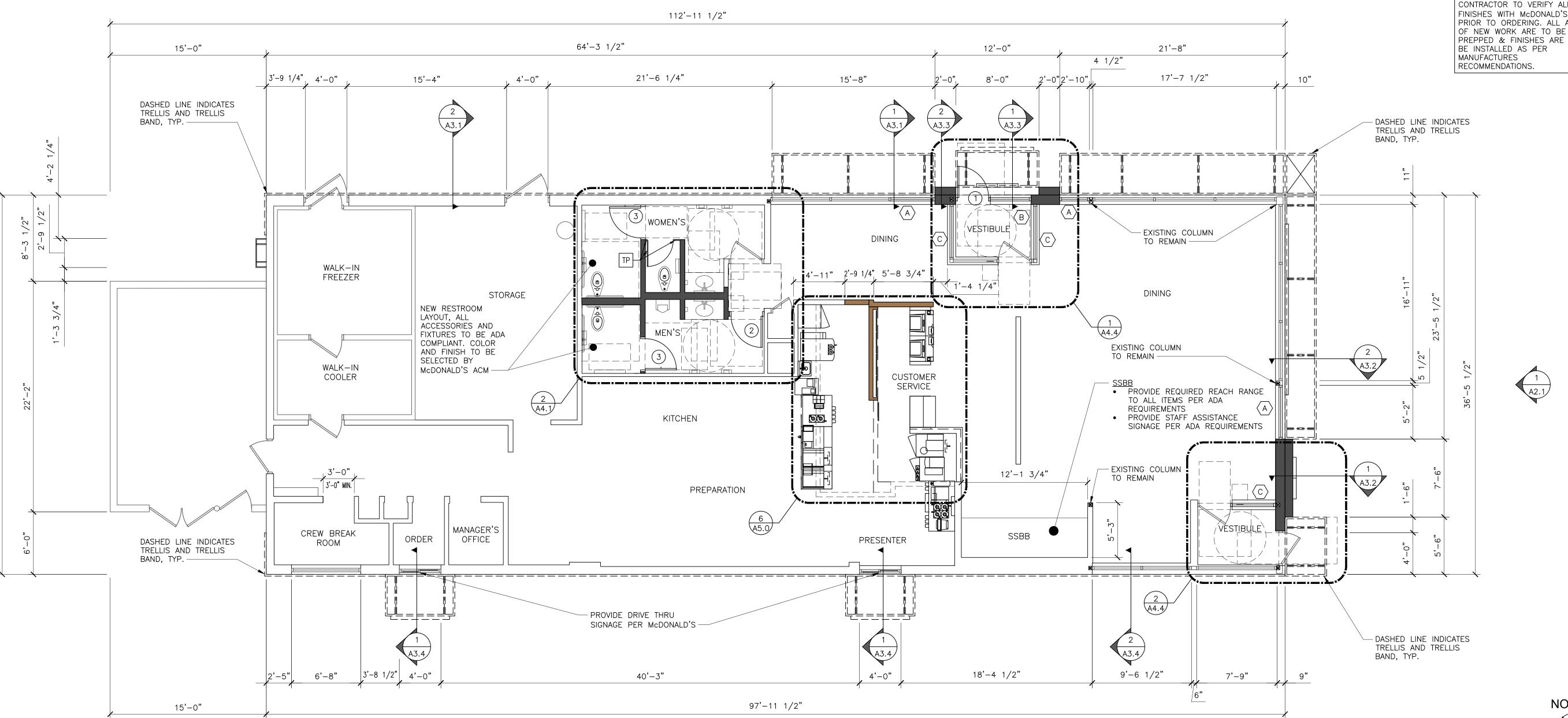
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PROJ.# 180323

FLOOR PLAN

WALL-MOUNTED A/VS MUST BE INSTALLED IN ADDITION TO THE CEILING UNITS PER #2 ABOVE.



112'-11 1/2"

RANGES, AND ALL OTHER ADA REGULATED ITEMS TO BE COMPLIANT WITH THE 2010 ADA STANDARDS. CONTRACTOR TO NOTIFY THE DIRECTIONAL SIGNAGE MUST BE E.O.R. OF ANY DISCREPANCIES BETWEEN THE PROVIDED AT THE BUILDING PLANS SHOWN AND CODES REFERENCED ENTRANCES TO MAKE PEOPLE ABOVE PRIOR TO THE START OF AWARE OF EXISTENCE AND LOCATION OF THE RESTROOMS.

CONSTRUCTION. FIRE ALARM NOTES

(IF REQUIRED/ADDED/TRIGGERED BY FIRE MARSHALL OR LOCAL/STATE AHJ): 1. ALL PULL-STATIONS MUST MEET ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA ALLOWS A MAX. REACH HEIGHT OF 48" AS LONG AS THE REACH IS NOT OVER AN OBSTRUCTION GREATER THAN 10" DEEP. THE MAX. REACH HEIGHT TO THE OPERABLE MECHANISM ALLOWED FOR COMPLIANCE WITH 2010 ADA STANDARDS WHEN REACH IS

CONTRACTOR TO PROVIDE ACCESSIBLE

EXTERIOR SEATING PER ADA REQUIREMENTS

ALL CLEARANCES, ACCESSIBLE PATHS, REACH

OVER AN OBSTRUCTION (TRASH RECEPTACLE, DISPLAY, ETC.) IS 46" A.F.F. CONSIDER LOCATION OF DECOR ITEMS, TRASH/TRAY RECEPTACLES TO LOCATE THE PULL STATIONS WHERE THEY WILL NOT BE BLOCKED BY THESE ITEMS. ENSURE FIRE ALARM CONTRACTOR HAS A COPY OF THE FINAL DECOR PLAN FOR COORDINATION.

ITEMS WITH A REACH DISTANCE OF UP TO 10" FROM THE FRONT EDGE OF THE SSBB COUNTER OR TRAY SLIDE ARE ALLOWED TO BE UP TO 48" A.F.F. TO THE TOP OF THE OUTLET/OPERABLE MECHANISM. ITEMS

WITH A REACH DISTANCE OF GREATER THAN 10" AND UP

TO 24" IN DEPTH AS MEASURED FROM THE FRONT EDGE OF THE SSBB COUNTER MAY BE UP TO 46" A.F.F. TO THE TOP OF THE OUTLET/OPERABLE MECHANISM. NO ITEMS MAY BE LOCATED WITH A REACH DEPTH OF

GREATER THAN 24" AS MEASURED FROM THE FRONT

EDGE OF THE COUNTER. ONLY ONE DISPENSER OF

KETCHUP CUPS, ETC..., ONE MAY BE HIGHER THAN

EACH ITEM OFFERED IS REQUIRED TO COMPLY. (I.E. IF

THERE ARE TWO SLOTS/DISPENSERS FOR STRAWS OR

46"/48" AS LONG AS ONE COMPLIES WITH THE ABOVE

2. A/V DEVICES MUST BE INSTALLED PER ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA/NFPA72 REQUIRES STROBES TO BE MOUNTED AT 80" A.F.F. (TO A PORTION OF THE CLEAR LENS OF THE STROBE) UNLESS A LOW-CEILING CONDITION EXISTS, WHERE A MIN. OF 6" BELOW THE CEILING PLANE IS REQUIRED FOR VISIBILITY THROUGH SMOKE.

IMPORTANT NOTE: McDONALD'S ISSUED A CLARIFICATION IN WHICH MANDATES WALL-MOUNTED A/V DEVICES. IF LOCAL/STATE | H AHJ REQUIRES CEILING-MOUNTED A/V DEVICES IN PUBLIC AREAS (DINING ROOMS, RESTROOMS, PLAYPLACE, ETC.) THEN

SYMBOL LEGEND

X DOOR TAG: SEE DOOR

SCHEDULE A4.3  $\langle X \rangle$  WINDOW TAG: SEE WINDOW SCHEDULE A4.3

WALL TAG: INTERIOR WALL ASSY, SEE NOTES A4.3 EXTERIOR WALL ASSY,

SEE NOTES 13/A3.0 TP TOILET PARTITION - TOILET PRODUCTS HINEY HIDERS, COLOR: TBD

DIMENSIONS ARE SHOWN: A. EXTERIOR WALLS: FROM INTERIOR FACE OF GYPSUM BOARD TO THE EXTERIOR FACE OF PLYWOOD.

B. INTERIOR WALLS: FROM THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL, U.N.O. SEE 13/A3.0 FOR EXTERIOR WALL ASSEMBLY TYPES. 3. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.

4. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC. 5. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forrestpermasigns.com 6. SEE SHEET A/4.3 FOR FLOORING SCHEDULE AND NOTES.

|7. SEE SHEET A/4.3 FOR DOOR SCHEDULE AND NOTES.

**ADA NOTES:** 1. NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA, AND ANSI REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICT, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA, AND ANSI REQUIREMENTS. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL THE

RESPONSIBILITY AND LIABILITY ARISING THEREFROM. 2. ALL NEW PLUMBING FIXTURES AND RESTROOM ACCESSORIES TO COMPLY WITH 2010 ADA STANDARDS, ADA, AND ANSI REQUIREMENTS.

3. "CLEAR MIN." DIMENSIONS ARE TO BE CLEAR OF ANY WALLS, STRUCTURE OR FINISHES (CORRIGAN CAPS, CHAIR RAIL, CORNER GUARDS, BASE TILES, ELECTRICAL PANEL DOORS, EQUIPMENT, ETC.)

4. AFTER AIR BALANCING IS COMPLETED AND PRIOR TO OPENING STORE, ADJUST ALL DOORS' OPENING FORCE PRIOR TO OPENING OF STORE. ALL INTERIOR DOORS' OPENING FORCE SHALL BE 5# MAX. AND ALL EXTERIOR DOORS' OPENING FORCE IS ADVISED TO BE 8.5# MAX.

5. CLOSING SPEED OF DOORS WITH CLOSER SHALL BE MIN. 5 SECONDS (FROM OPEN POSITION OF 90° TO POSITION OF 12°).

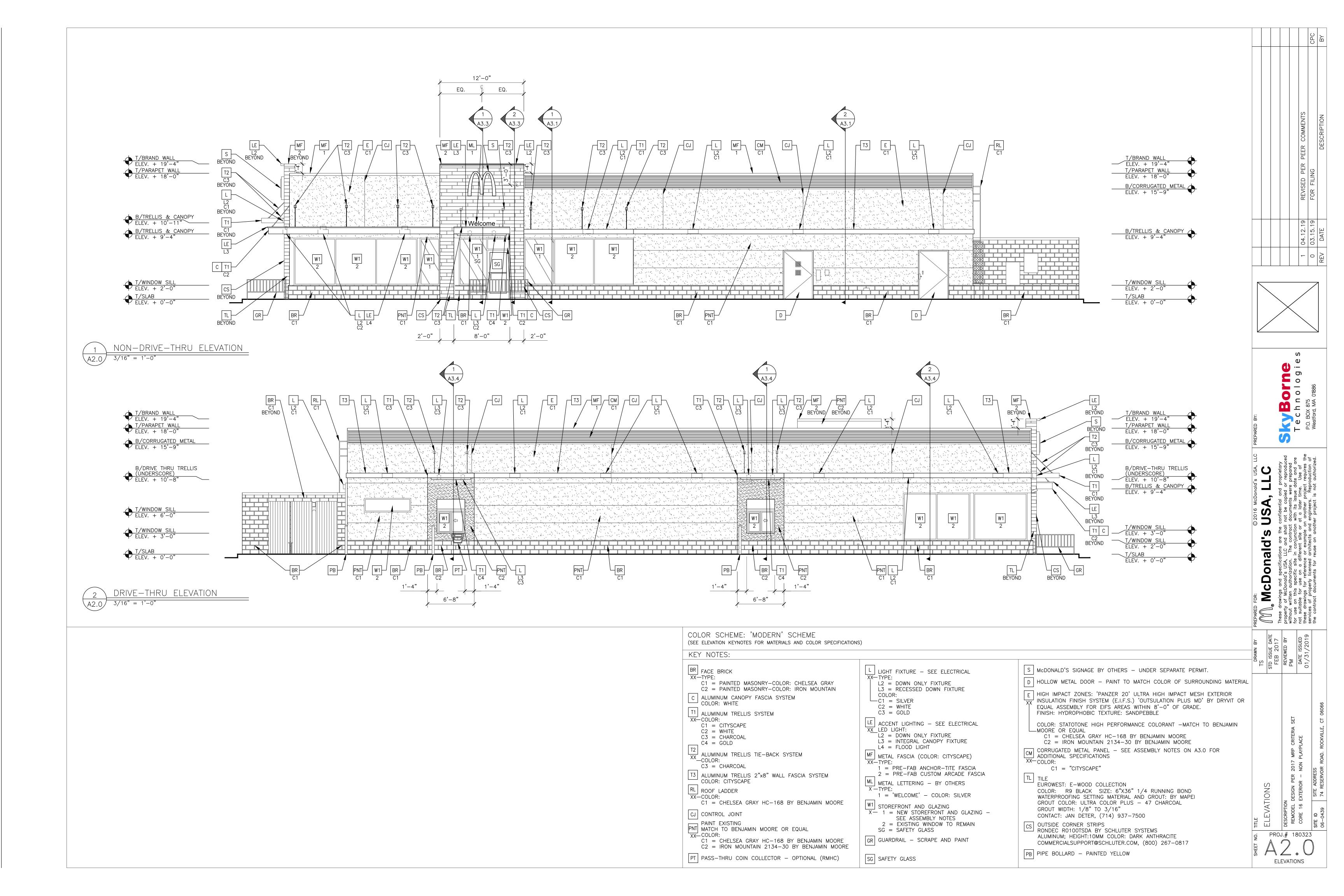
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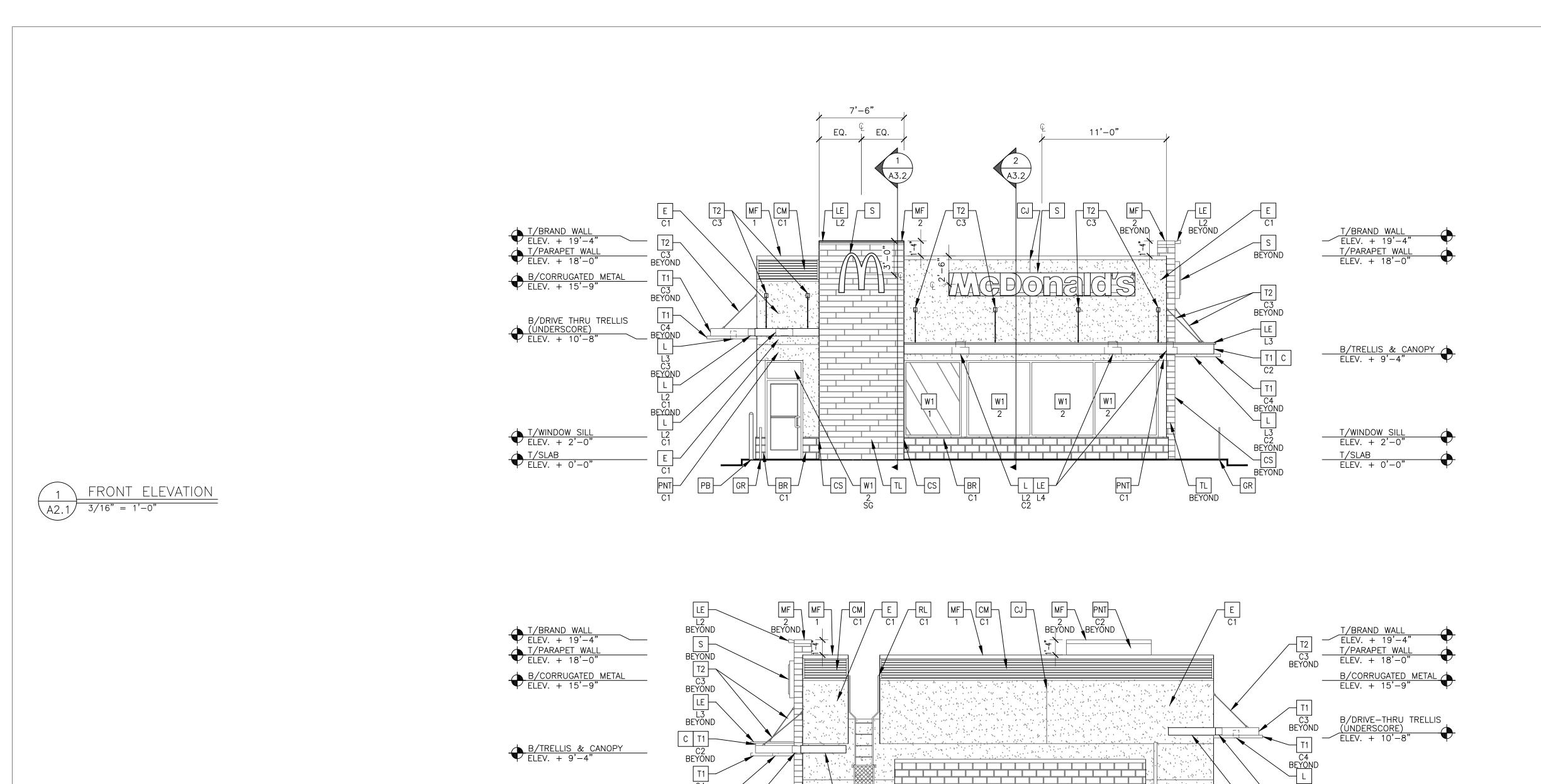
7. EXTERIOR DOOR BELLS AND BUZZERS AT DELIVERY DOORS (IF INSTALLED OR MODIFIED DUE TO FACADE WORK) MUST COMPLY WITH REACH-RANGE MAX. HEIGHTS FOR ACCESSIBILITY. TOP OF BUTTON/ACTUATOR IS NOT TO EXCEED 48" AFF.

60"X54" 5′-0″

www.forrestpermasigns.com

8. ADA REQUIRED MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR. NOTE: ENSURE NO EQUIPMENT OR FURNITURE IMPEDES ON REQUIRED CLEAR FLOOR SPACE IN FRONT OF THE DOOR.





BEYOND

\_\_\_\_\_T3

REAR ELEVATION

COLOR SCHEME: 'MODERN' SCHEME (SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS) KEY NOTES: BR FACE BRICK L LIGHT FIXTURE - SEE ELECTRICAL S McDONALD'S SIGNAGE BY OTHERS — UNDER SEPARATE PERMIT. XX—TYPE: XX—TYPE: D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL C1 = PAINTED MASONRY-COLOR: CHELSEA GRAY L2 = DOWN ONLY FIXTUREC2 = PAINTED MASONRY-COLOR: IRON MOUNTAIN L3 = RECESSED DOWN FIXTURE E HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH EXTERIOR COLOR: C ALUMINUM CANOPY FASCIA SYSTEM TYX INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR  $\Box$ C1 = SILVER → COLOR: WHITE C2 = WHITEEQUAL ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE. T1 ALUMINUM TRELLIS SYSTEM C3 = GOLDFINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE XX—COLOR: LE ACCENT LIGHTING - SEE ELECTRICAL COLOR: STATOTONE HIGH PERFORMANCE COLORANT -MATCH TO BENJAMIN C1 = CITYSCAPEXX LED LIGHT: ---MOORE OR EQUAL C2 = WHITEL2 = DOWN ONLY FIXTUREC1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE C3 = CHARCOALL3 = INTEGRAL CANOPY FIXTURE C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE C4 = GOLDL4 = FLOOD LIGHT CM CORRUGATED METAL PANEL — SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS XX—COLOR: MF METAL FASCIA (COLOR: CITYSCAPE) XX\_COLOR: XX-TYPE: C3 = CHARCOAL1 = PRE-FAB ANCHOR-TITE FASCIA C1 = "CITYSCAPE"2 = PRE-FAB CUSTOM ARCADE FASCIA

ML

METAL LETTERING - BY OTHERS T3 ALUMINUM TRELLIS 2"x8" WALL FASCIA SYSTEM TL TILE COLOR: CITYSCAPE EUROWEST: E-WOOD COLLECTION RL ROOF LADDER X —TYPE: COLOR: R9 BLACK SIZE: 6"X36" 1/4 RUNNING BOND 1 = 'WELCOME' - COLOR: SILVERXX—COLOR: WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEL C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL W1 STOREFRONT AND GLAZING GROUT WIDTH: 1/8" TO 3/16"  $\overline{X}$  1 = NEW STOREFRONT AND GLAZING -CJ CONTROL JOINT CONTACT: JAN DETER, (714) 937-7500 SEE ASSEMBLY NOTES PAINT EXISTING 2 = EXISTING WINDOW TO REMAIN CS OUTSIDE CORNER STRIPS
RONDEC RO100TSDA BY SCHLUTER SYSTEMS PNT MATCH TO BENJAMIN MOORE OR EQUAL SG = SAFETY GLASSALUMINUM; HEIGHT: 10MM COLOR: DARK ANTHRACITE GR GUARDRAIL - SCRAPE AND PAINT C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817 C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE

PB PIPE BOLLARD - PAINTED YELLOW

BEYOND T3

PB

BR C1

PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)

T/SLAB ELEV. + 0'-0"

SG SAFETY GLASS

REVISED PER PEER COMMENTS FOR FILING 04.12.19 03.15.19



SkyBorne
Technologies
P.O. BOX 875
Westford, MA 01886

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EVATIONS PROJ.# 180323

**ELEVATIONS**