

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Virtual Meeting Notice & Agenda
Thursday, December 17th, 2020, 7:30 PM

Join Zoom Meeting

Zoom Meeting Information

<https://us02web.zoom.us/j/83208126408?pwd=TG5uNFN6OEEdiU2ZubzJsaUVQd2V0dz09>

Meeting ID: 832 0812 6408 **Passcode:** 4HcxW3

By Phone: 646 876 9923 **Meeting ID:** 832 0812 6408 **Passcode:** 325068

AGENDA

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote
 - 2.2 Approval of the Minutes from the **December 3, 2020**
3. **New Application(s) for receipt, if any:**
4. **Public Hearing(s) and Action on Applications**
 - 4.1 Application [**PZ-2020-13**] of 6 Pack, Inc. (Umakiran Buddah, Manager), for a special permit pursuant to Section 4.9.4.11 and 17.1.1 of the Town of Vernon Zoning Regulations for the warehousing, wholesaling and distribution of alcoholic beverages at 27 Hartford Turnpike, Suite S212 (Assessor ID: Map 01, Block 0158, Parcel 00027).
 - 4.2 Application [**PZ-2020-16**] of Square Peg Pizzeria, Vernon for a Modification of a Site Plan of Development to renovate and update an existing restaurant site and for a Special Permit pursuant to Section 4.9.4.17 to allow a drive-up service window at 226 Talcottville Rd. (Assessor's ID: Map 10, Block 015R, Parcel 0040F).

(Action Only)

- 4.3 Application [**PZ-2020-17**] of Bohler Engineering for a Modification of a Site Plan of Development to add an additional drive-through lane with new menu boards, façade, signage, and other minor site revisions at McDonald's, 74 Reservoir Rd. (Assessor's ID: Map 46, Block 0071, Parcel 0019B)

5. **8-24 Referrals, If any**

5.1 8.24 Review for the disposition of certain properties owned by the Town of Vernon

Location	Pacel ID
28 Grand Ave.	23-091A-00007
108-110 High St.	23-088A-00012 & 00013
14 Laurel St.	41-0119-00009
47 South St.	42-0072-0010D
112 Vernon Ave.	39-062C-00045
Unaddressed Grier St. properties	52-0140-0040B
	52-0140-0040-4
	52-0140-0040-7
	52-0140-0040-8

6. **Plan of Conservation and Development Update**

7. **Other Business/Discussion**

8. **Adjournment**

Roland Klee, Chairman
Planning & Zoning Commission

DRAFT MINUTES

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Thursday, December 3rd, 2020, 7:30 PM

VIA Zoom

DRAFT MINUTES

1. **Call to Order & Roll Call by Roland Klee, Chairperson at 7:30 PM.**
 - Regular members present: Roland Klee, Joseph Miller, Mike Mitchell, Iris Mullan, Susan Reudgen, Jesse Schoolnik and Wes Shorts
 - Alternate Member: Robin Lockwood
 - Staff present: George McGregor, Town Planner, Shaun Gately, EDC
 - Recording secretary: Jill Rocco

2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote

Joseph Miller moved to **ADOPT** the revised agenda. Jesse Schoolnik seconded and the motion carried unanimously

 - 2.2 Approval of the Minutes from the **November 19, 2020**

Wes Shorts moved to **APPROVE** the minutes from November 19, 2020. Mike Mitchell seconded and the motion carried unanimously.

3. **New Application(s) for receipt, if any:**
 - 3.1 Application [**PZ-2020-14**] of the Town of Vernon's Planning Department, for a proposed Text Amendment to the Zoning Regulations, Section 15 (Removal of Earth, Sand, and Gravel).

George McGregor, Town Planner, explained the details and recommended a hearing date of January 21, 2021.

Joseph Miller moved to receive application **PZ 2020-14** and schedule the item for hearing on January 21, 2021. Susan Reudgen seconded and the motion carried unanimously.

 - 3.2 Application [**PZ-2020-15**] of the Town of Vernon's Planning Department, for a proposed Text Amendment to the Zoning Regulations, Section 20 (Aquifer Protection) and numerous references throughout other Sections.

George McGregor, Town Planner, explained the details and recommended a hearing date of January 21, 2021.

Susan Reudgen moved to receive application **PZ 2020-15** and schedule the item for hearing on January 21, 2021. Wes Shorts seconded and the motion carried unanimously.

 - 3.3 Application [**PZ-2020-16**] of Square Peg Pizza, Vernon for a Modification of a Site Plan of Development to renovate and update an existing restaurant site and for a Special Permit pursuant to Section 4.9.4.17 to allow a drive-up service window at 226 Talcottville Rd. (Assessor's ID: Map 10, Block 015R, Parcel 0040F).

George McGregor, Town Planner, explained the details and recommended a hearing date of December 17, 2020.

Wes Shorts moved to receive application **PZ 2020-16** and schedule the item for hearing on December 17, 2020. Susan Reudgen seconded and the motion carried unanimously.

- 3.4 Application [**PZ-2020-17**] of Bohler Engineering for a Modification of a Site Plan of Development to add an additional drive-thru lane with new menu boards, façade, signage, and other minor site revisions at McDonald's, 74 Reservoir Rd. (Assessor's ID: Map 46, Block 0071, Parcel 0019B).

George McGregor, Town Planner, explained the details and recommended a hearing date of December 17, 2020.

Wes Shorts moved to receive application **PZ 2020-17** and schedule the item for hearing on December 17, 2020. Susan Reudgen seconded and the motion carried unanimously.

4. **Public Hearing(s) and Action on Application**

NONE

5. **8-24 Referrals, If any**

NONE

6. **Plan of Conservation and Development Update: Vision and Objectives Discussion**

- George McGregor, Town Planner, introduced Rebecca Augur and Pat Gallagher from Milone & MacBroom
- Rebecca Augur and Pat Gallagher gave detailed results in regards to the town wide survey sent that was sent out.
- The towns visions, goals and updates were discussed.
- Milone & MacBroom would like to hold a virtual community workshop in January to get a sense from the community as to where they see themselves in 10 years.

7. **Other Business/Discussion**

NONE

8. **Adjournment**

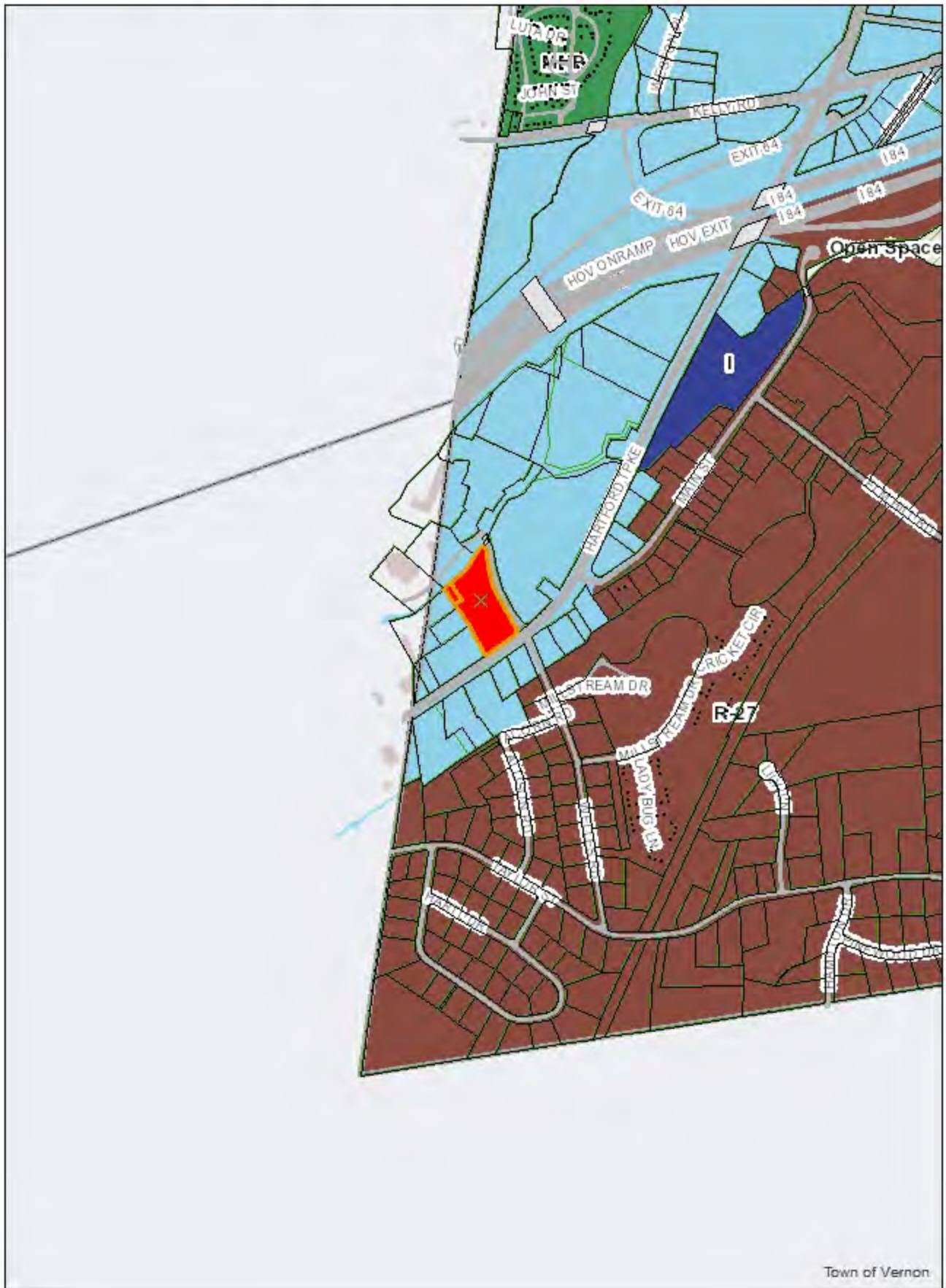
Mike Mitchell motioned to ADJOURN at 9:12 PM. Susan Reudgen seconded and the motion carried unanimously.

Jill Rocco
Recording Secretary

APPLICATION

1

PZ 2020-13 27 Hartford Tpke.



TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Umakiran Buddha
Title: Manager
Company: 6 Pack, Inc.
Address: 27 Hartford Turnpike, Suite # S212
Vernon, CT 06066
Telephone: (409) 225-0397 Fax: N/A
E-mail: Satya@adso.com

II. PROPERTY OWNER (S):

Name: Richard S. Borden, Jr.
Title: Property Manager
Company: Sachdev Corners, LLC DBA Colonial Corners
Address: 27 Hartford Turnpike
Vernon, CT 06066
Telephone: N/A Fax: N/A
E-mail: r.borden@cox.net

III. PROPERTY

Address: 27 Hartford Turnpike, Suite #5212, Vernon, CT 06066

Assessor's ID Code: Map # 01 Block # 158 Lot/Parcel # 27

Land Record Reference to Deed Description: Volume: 2492 Page 234

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11, 4)

No Yes

No work will be done in regulated area
 Work will be done in the regulated area

IWC application has been submitted
 IWC application has not been submitted

Zoning District Commercial

Is this property located within five hundred (500) feet of a municipal boundary?

No
 Yes:

- Bolton
- Coventry
- Ellington
- Manchester
- South Windsor
- Tolland

Check if Historic Status Applies:

Located in historic district:

- Rockville
- Talcottville

Individual historic property

IV. PROJECT

Project Name: 6 Pack, Inc. - Wholesale Showroom

Project Contact Person:

Name: Umakiran Buddha

Title: Manager

Company: 6 Pack, Inc.

Address: 27 Hartford Turnpike, Suite #5212
Vernon, CT 06066

Telephone: (409) 225-0397 Fax: N/A

E-mail: Satya@adso.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Wholesale Showroom with storage limited to floor samples only

General Activities: Provide wholesale showroom with floor samples for craft beers from micro-breweries in the Greater Hartford Metropolitan Area, including Vernon.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)

- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)

- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)

- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

Other Special Permit(s). Cite ZR Section and describe activity:

Sections 4.9.2.5 & 17 - A Special Permit requested for wholesale showroom with storage limited to floor samples only.

_____ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

_____ Zoning:

_____ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

_____ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

_____ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.


_____ Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6)

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

 _____ Signature	<u>11/18/2020</u> _____ Date
_____ Signature	_____ Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____

**6 Pack, Inc.
Umakiran Buddha
27 Hartford Turnpike, Suite #S212
Vernon, Connecticut**

NARRATIVE:

Craft Beer industry is increasing year by year. In USA, People are willing to try new flavors of beers rather than regular lager beers. There were around 4670 craft breweries in 2015, now in 2020, there are around 8275 operating. But most of the craft beers are made in micro-breweries, which brew and sell the beer in the same location. Some have their own canning facilities. Most of them do not have a proper distribution network.

6 Pack, Inc. business model is to contact the local craft breweries and help them distribute their beer to retail outlets in the Greater Hartford Metropolitan Area, including Vernon. The staff will go to the various breweries and pick up the canned beer and deliver it to customers per their pre-placed orders. There is a coordinated schedule of picking up craft beers and delivering it to the various restaurant and liquor stores with a quick around.

The location at 27 Hartford Turnpike will be used as a wholesale showroom and a place to store floor samples only. The showroom will be used for showcasing the packaging of the beer and the promotional materials and pricing on the beers and ingredients (types of hops, barley and flavors). At our location, we would also take orders from our customers.

The building at 27 Hartford Turnpike is designated commercial space. The office suite that we occupy has its own entrance on the back of the building. We would not impede the use of the building by other tenants in the front of the building. There are also ample parking spaces right by our exit.

Current place that we occupy is more than adequate to meet our needs. We would use the premises as a wholesale showroom with storage limited to floor samples only as allowed under Section 4.9.2.5 of the Town of Vernon Zoning Regulations.

TRAFFIC IMPACT:

The building, 27 Hartford Turnpike is a commercial zone with ample and unhindered traffic flow. Hartford Turnpike is a 2 lane road.



Umakiran Buddha



sdotnetwork
uite #212







TOWN OF VERNON

55 West Main St., VERNON, CT 06066
(860) 870-3640
gmcgregor@vernon-ct.gov

PLANNING
DEPARTMENT

MEMORANDUM

TO: Planning and Zoning Commission

FROM: George K. McGregor, Town Planner

SUBJECT: PZ-2020-13, 27 Hartford Tpke., Special Permit for Sale of Alcohol

DATE: December 17, 2020

Request and Background

Umakiran Buddha of 6 Pack, Inc. ("Applicant") requests a Special Permit in order to allow the sale of alcohol at 27 Hartford Tpke. (Assessor ID: Map 01, Block 158, Parcel 27). The property is zoned Commercial. Pursuant to Section 4.8.4.11, selling or serving alcohol is permitted upon Special Permit review and approval and upon a finding that the applicable standards of Section 17 are met.



27 Hartford Tpke

The Applicant plans on using the existing 675 +- sq. ft. retail/commercial space to operate what is described as a craft beer wholesale showroom for the sale, distribution, and delivery of craft brew products. Sales are intended NOT for the retail general public; only license holders are permitted for purchase at this time.

Nevertheless, the special permit applies as the applicant meets the definition of a "seller of" alcoholic beverages.

Special Permit Review

Section 17 sets forth specific separating distance requirements for sellers and servers of alcohol. Alcohol sellers must be separated from each other by a distance of 3,000 feet, measured in a front “door to door” manner. In addition, sellers must be separated from public institutions and public schools by 1,000 and 2,000 feet, respectively. Town GIS (300 ft. buffer-right) and a Staff site visit finds no other sellers within these distances.

Furthermore, in order to approve a special permit, the Commission must find that the applicant meets the relevant general special permit criteria of Section 17.3.1, specifically:

- 17.3.1.1 It shall not create a hazardous condition relative to public health and safety;
- 17.3.1.2 It shall be compatible with neighboring uses;
- 17.3.1.3 It shall not create a nuisance;
- 17.3.1.4 It shall not hinder the future sound development of the community;
- 17.3.1.5 It shall conform to all applicable sections of this ordinance;



Analysis and Recommendation

This application was circulated to all relevant Staff referral agents for comment; there are no identified outstanding issues at this time. The request is within 500 feet of a surrounding jurisdiction (Manchester); proper notice, consistent with State Statues, has been observed.

Town Staff (specific comments attached) have reviewed the site and finds that the request generally meets the special permit criteria established in 17.3.1. We find it also meets the separation criteria found in 17.1.2.

The proposed location, in the Commercial Zoning District, is appropriate for this retail use.

Draft Motions

A. I move that the Planning and Zoning Commission Approve PZ-2020-13, a special permit for the sale of alcohol at 27 Hartford Tpke., based upon a finding that the special permit is consistent with requirements of 17.3.1 and exceeds the distance separation requirement of Section 17.1.2.

OR

B. I move an alternate motion

APPLICATION REVIEW COMMENTS

FROM: jkenny@vernon-ct.gov

TO: _____

DATE: 11/19/2020

APPLICANT: SACHDEV CORNERS LLC

PROJECT: 6 Pack Inc

LOCATION: 27 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

6 Pack Inc. business model is to help craft brewing companies distribute their beer across multiple retail stores and restaurants.

We will be purchasing the beers from craft breweries and will be stored in our warehouse, Based on the purchase orders we receive from the restaurants and liquor stores , we will deliver them and they will be invoiced.

Our business is not a cash and carry business. They will be making their payments based on our invoice. Liquor store representatives or restaurants personnel will never be coming to our warehouse, as it is not a place for any transactions.

All transactions happen at the restaurant / liquor store locations only.

Based on the aforementioned information from the applicant the police department suggests the following:

1. Applicant obtains required permits from State Liquor Control.
2. Applicant provides adequate security, alarms and locks, to secure storage premises.

SIGNATURE: _____

DATE: _____

APPLICATION REVIEW COMMENTS

FROM: amarchese@vernon-ct.gov

TO: _____

DATE: 12/01/2020

APPLICANT: SACHDEV CORNERS LLC

PROJECT: 6 Pack Inc

LOCATION: 27 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

The application appears to meet the zoning requirements to obtain a special permit under section 17.2 of the zoning regulations.

SIGNATURE: _____

DATE: _____

APPLICATION REVIEW COMMENTS

FROM: steveprattson@vernon-ct.gov

TO: _____

DATE: 11/29/2020

APPLICANT: SACHDEV CORNERS LLC

PROJECT: 6 Pack Inc

LOCATION: 27 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

A Building Permit Application and detailed floor plan will be required to determine Use & Occupancy, Means of Egress, and Accessibility. The submitted plan shall also include the showroom public entrance as it relates to the location of accessible parking spaces.

Applicant shall consult with the Building Department after obtaining P&Z Special Permit(s) and prior to opening to verify compliance with the CT State Building Code and local Zoning regulations.

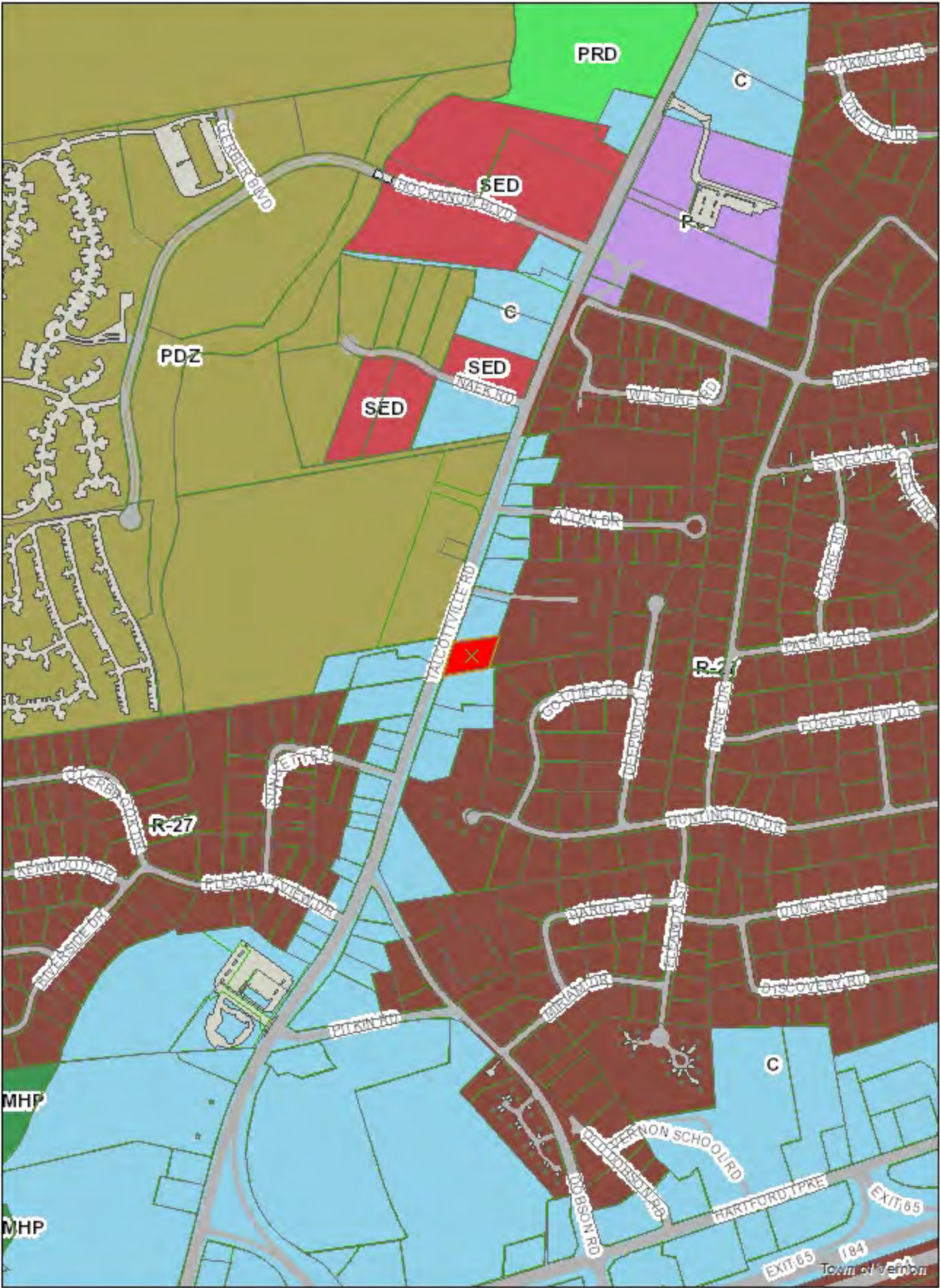
SIGNATURE: _____

DATE: _____

APPLICATION

2

PZ 2020-06 226 Talcottville Rd, Location and Zoning



TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: John Maffe

Title: Owner

Company: Square Peg Pizzeria, Vernon

Address: 624 Hebron Ave Bldg 3 Ste 100

Glastonbury, CT 06033

Telephone: 860-966-6401

Fax: _____

E-mail jay@squarepegpizzeria.com

II. PROPERTY OWNER (S):

Name: John Maffe

Title: Owner

Company: Maffe Investments LLC

Address: 624 Hebron Ave Bldg 3 Ste 100

Glastonbury

Telephone: 860-966-6401 Fax _____

E-mail: jay@squarepegpizzeria.com

III. PROPERTY

Address: 226 Talcottville Rd Vernon, CT 06066

Assessor's ID Code: Map # 10 Block # 015R Lot/Parcel # 0040F

Land Record Reference to Deed Description: Volume: 2669 Page 188

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

No

Yes

No work will be done in regulated area

Work will be done in the regulated area

IWC application has been submitted

IWC application has not been submitted

Zoning District Zone C - Commercial District

Is this property located within five hundred (500) feet of a municipal boundary?

No

Yes:

- Bolton
- Coventry
- Ellington
- Manchester
- South Windsor
- Tolland

Check if Historic Status Applies:

Located in historic district:

- Rockville
- Talcottville

Individual historic property

IV. PROJECT

Project Name: Square Peg Pizzeria, Vernon

Project Contact Person:

Name: John Maffe

Title: Owner

Company: Square Peg Pizzeria Vernon LLC

Address: 226 Talcottville Rd

Vernon, CT 06066

Telephone: 860-966-6401 Fax: _____

E-mail: jay@squarepegpizzeria.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Convert former restaurant to new restaurant

General Activities: Interior building modifications, new exterior dining patio,
drive thru window addition, rear building cooler enclosure, misc site work
for example: restriping, dumpster enclosure etc.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

 X Site Plan of Development (POD) (ZR Sec. 14)

- X POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

 X Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- X Special Permit for use in a district (ZR Sec. 1.2 & 4)

- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)

- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)

- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

Other Special Permit(s). Cite ZR Section and describe activity:

Section 4. 9. 4. 17 - Drive thru window

Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

Zoning:

Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.


Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:



Signature

Signature

12-2-2020
Date

Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____

Planning and Zoning Attachment:

Project Narrative

The project site is located on the east side of Connecticut Route 83 (Talcottville Road) and is comprised of approximately 0.78 acres of land. The site consists of a one story vacant building of approximately 1,850 square feet whose former use was a restaurant. The site is serviced by two driveways. Parking striping indicates one way traffic movement around the building. There are currently approximately 34 parking spaces on site. Chiller/ freezer units are located immediately behind the building. A detached shed is located in the northeast corner of the site parking area.

The proposed activity consists of interior building and exterior building and site renovations. The building would be converted to a new pizzeria restaurant with interior seating for forty people and exterior patio seating for twenty people. Outdoor dining would be seasonal. A drive thru window is proposed on the north side of the building for pizza pick up with a dedicated drive thru lane with queing for three vehicles. There is no ordering from the drive thru lane as this is completed in advance from off site. Other exterior improvements consist of parking re-striping; new dumpster pad with fence enclosure; repairing existing outdoor concrete patio, fire pit and retractable awning; a rear building addition to enclose the freezer/ cooler and landscape improvements.

There are no improvements planned to site utilities or storm drainage features, Site topography would remain unchanged. Parking modifications result in a slight decrease in bituminous pavement coverage. New plantings consist of several ornamental deciduous trees and woody ornamentals, herbaceous perennials and ornamental grasses around the patio.

Based on the applicants existing pizzeria location in a neighboring community, traffic queing for the three vehicles at the drive thru window is the maximum number of vehicles which can be expected at any one time. The site egress drive at the intersection of Connecticut Route 83 is approximately 24 feet in width and consists of both right and left turn movements. Stop signs are proposed on both sides of the egress drive. Connecticut Route 83 consists of two northbound and two southbound thru lanes with a double yellow line. Connecticut Route 83 is uniform in alignment in the vicinity of the site egress drive and offers sight lines in both directions from the egress drive.

The applicant feels the new pizzeria will provide a new dining experience for the residents of Vernon and the planned interior and exterior building renovations and exterior site improvements will be an enhancement for the community.

Record and Return To:

Lester Gorin, Teller + Nagle
33 Connecticut Blvd
East Hartford CT 06108

WARRANTY DEED

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING: KNOW YE, THAT TALCOTTVILLE ROAD, LLC, a Connecticut limited liability company, with an office located in the Town of Norwich, County of New London, and State of Connecticut, hereinafter referred to as the Grantor, for consideration of THREE HUNDRED TWENTY-FIVE THOUSAND (\$325,000.00) DOLLARS received to its full satisfaction of MAFFE INVESTMENTS, LLC, a Connecticut limited liability company, with a principal place of business in the Town of Glastonbury, County of Hartford, and State of Connecticut, hereinafter referred to as the Grantee, does give, grant, bargain, sell and confirm unto the said MAFFE INVESTMENTS, LLC, that certain piece or parcel of land with the buildings and improvements thereon, located in the Town of Vernon, known as 226 Talcottville Road, and more particularly bounded and described in Schedule 'A' annexed hereto and made a part hereof. As part consideration hereof, the Grantee herein assumes and agrees to pay all taxes and assessments hereinafter becoming due and payable.

TO HAVE AND TO HOLD, the above granted and bargained premises, with the appurtenances thereof, unto the said Grantee, its successors and assigns forever, to them and their own proper use and behoof.

AND ALSO, the said Grantor does for its successors and assigns, covenant with the said Grantee, its successors and assigns forever, that at and until the ensembling of these presents it is well seized of the premises, as a good indefeasible estate in FEE SIMPLE; and it has good right to bargain and sell the same in manner and form as is above written; and that the same is free from all encumbrances whatsoever, except as hereinbefore mentioned.

AND FURTHERMORE, it the said Grantor by these presents binds itself and its successors and assigns forever to WARRANT AND DEFEND the above granted and bargained premises unto the said Grantee, its successors and assigns forever, against all claims and demands whatsoever, except as hereinbefore mentioned.

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal this 3rd day of August, 2020.

Signed, Sealed and Delivered
in the presence of:

[Signature]
MARKE BLOCK
[Signature]
Diane Pawust

TALCOTTVILLE ROAD, LLC

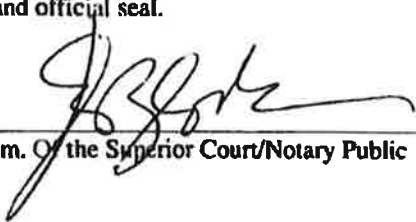
By: [Signature]
Lester Gorin, Member

CONVEYANCE TAX RECEIVED
STATE \$ \$4,062.50
LOCAL \$ \$812.50
KAREN C. DAIGLE
TOWN CLERK OF VERNON

STATE OF CONNECTICUT)
) ss: Norwich
COUNTY OF NEW LONDON)

On this the 3RD day of August, 2020, before me, the undersigned officer, personally appeared Lester Gorin, Member of TALCOTTVILLE ROAD, LLC, duly authorized, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained, as her free act and deed and the free act and deed of said company

IN WITNESS WHEREOF, I hereunto set my hand and official seal.



Comm. Of the Superior Court/Notary Public

A certain piece or parcel of land, with all improvements thereon known as 228 Talcottville Road, situated in the Town of Vernon, County of Tolland and State of Connecticut, more particularly bounded and described as follows:

COMMENCING at a point in the easterly line of the highway now known as Connecticut Route 83 at the northwest corner of land formerly of one Karenkraut; thence running N 19° 22' E along said highway line a distance of 169.88 feet; thence running N 81° 23' E a distance of 228.48 feet along land now or formerly of Andrew J. Ashland and Joseph F. Tolh; thence running S 19° 22' W a distance of 169.88 feet along other land of said Ashland and Tolh to land formerly of one Greenberg; thence running S 81° 23' W a distance of 228.48 feet to the point and place of beginning, along land now or formerly of said Greenberg and of said Karenkraut, in part by each.

Being the same premises conveyed to Lester Gorin by Quit Claim Deed dated February 13, 1998 and recorded in Volume 1134 at Page 253 of the Vernon Land Records.

SCHEDULE A

RECORDED IN
VERNON LAND RECORDS
KAREN C. DAIGLE
VERNON TOWN CLERK
ON AUG 04, 2020 AT 02:38 PM

SQUARE PEG PIZZERIA - VERNON

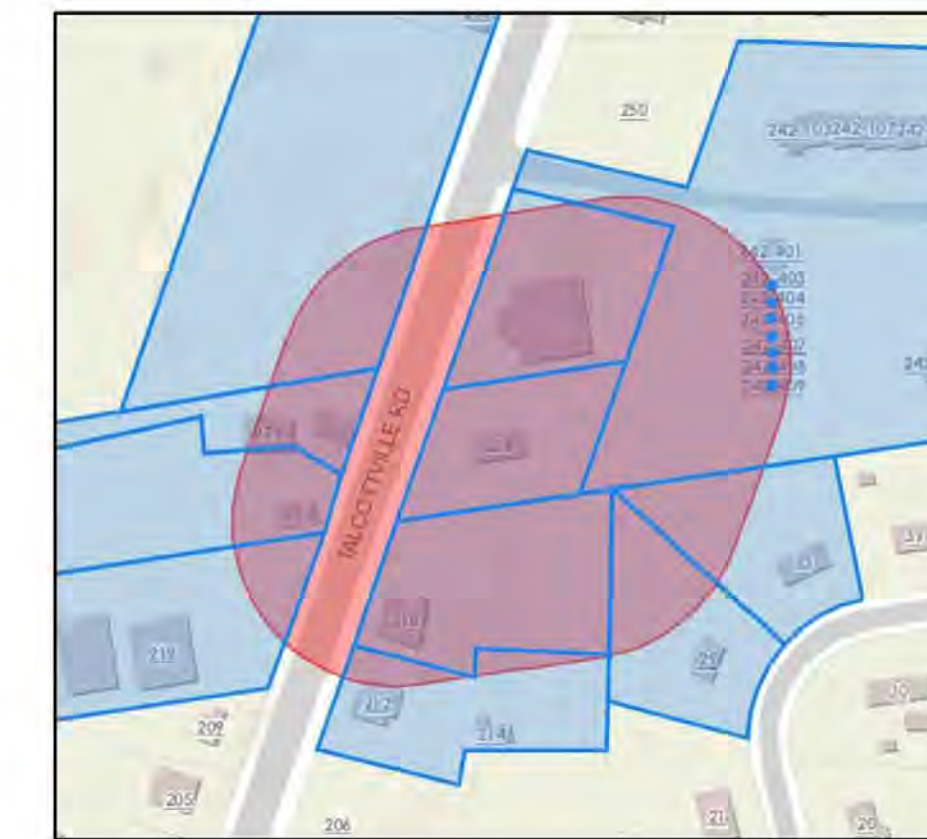
226 TALCOTTVILLE ROAD (CT RTE 83)

VERNON, CONNECTICUT



VICINITY MAP

LIST OF DRAWINGS	
1	COVER SHEET
2	SITE SURVEY
3	SITE PLAN
4	CONSTRUCTION DETAILS
SA-2	FLOOR PLAN
SA-4	ELEVATIONS

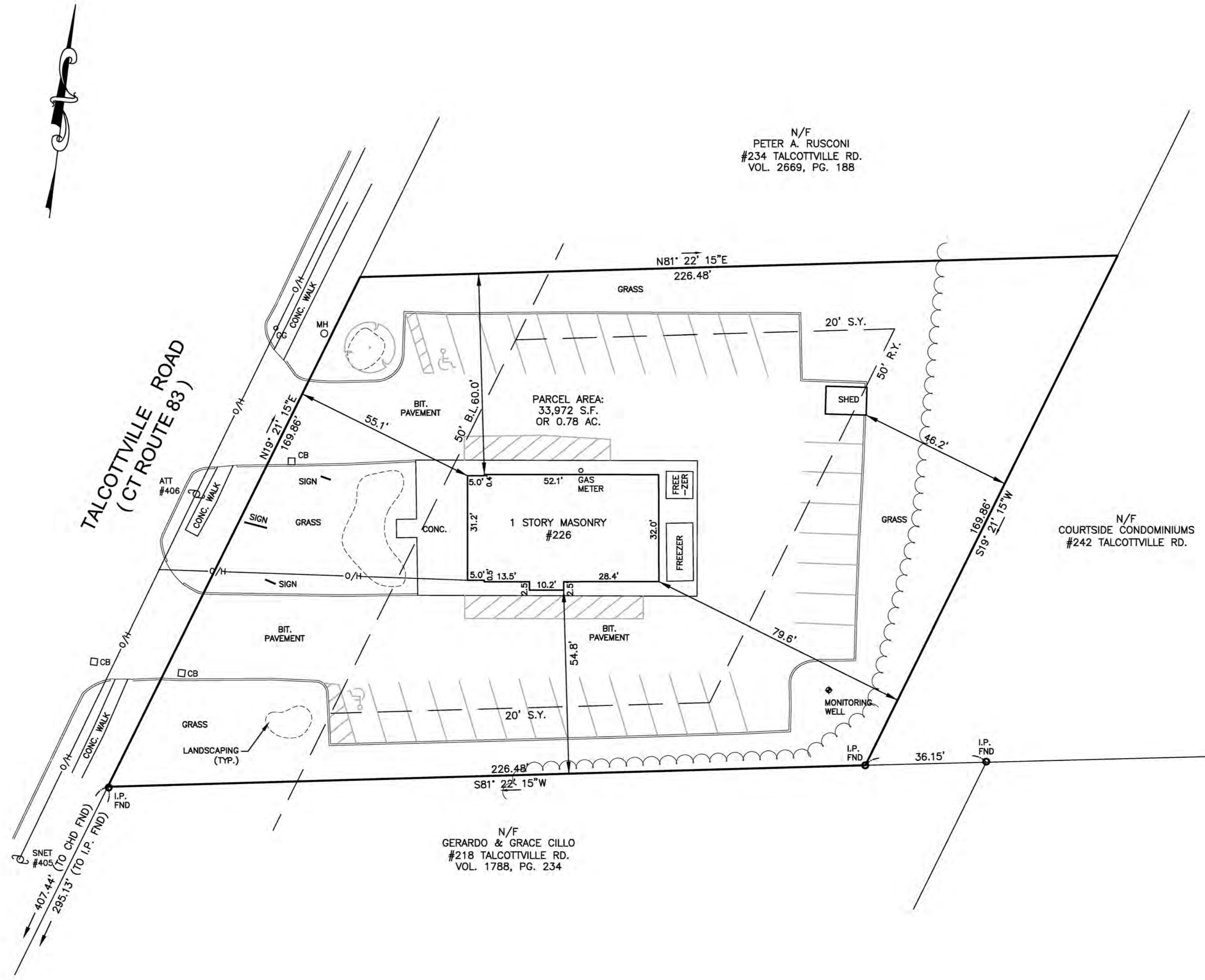


200' ABUTTERS MAP

Property Owner
MAFFE INVESTMENTS, LLC
 624 Hebron Avenue
 Glastonbury, CT 06033

Civil Engineer
CLOSE JENSEN & MILLER, P.C.
 1137 Silas Deane Highway
 Wethersfield, CT 06109
 (TEL.) 860-563-9375
 (FAX) 860-721-1802

Architect
VINCENT BABAK ARCHITECTURE, LLC
 195 Tunxis Hill Road, Suite 203
 Fairfield, CT 06825
 (TEL.) 203-903-6203



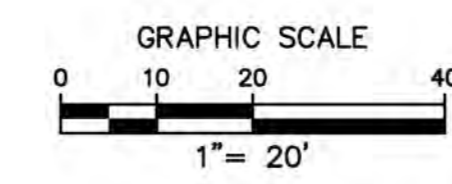
VICINITY MAP

- NOTES:**
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED OCT. 26, 2018 AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUG. 29, 2019. THIS IS A PROPERTY SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO DEPICT THE POSITION OF BOUNDARIES WITH RESPECT TO LOCATIONS OF ALL BOUNDARY MONUMENTATION; APPARENT IMPROVEMENTS AND FEATURES; RECORD EASEMENTS AND VISIBLE EVIDENCE OF THE USE THEREOF; RECORD AND APPARENT MEANS OF INGRESS AND EGRESS; LINES OF OCCUPATION AND DEED RESTRICTIONS PERTAINING TO THE LOCATION OF BUILDINGS OR OTHER IMPROVEMENTS.
 2. THIS SURVEY WAS PREPARED DURING THE PANDEMIC OF 2020 AT WHICH TIME THE TOWN HALL LAND RECORDS VAULT ACCESS WAS LIMITED. SURVEYOR REFERENCED HEREON RELIED ON TITLE RESEARCH DERIVED FROM ON-LINE RECORDS AND OTHER SOURCES AND IS UNABLE TO PREPARE A PROPER SURVEY TITLE SEARCH AT THIS TIME.
 3. THIS SURVEY IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

- MAP REFERENCES:**
1. "PROPOSED SUBDIVISION PREPARED FOR ROBERT LUDWIG & ARTHUR GOTTIER, VERNON, CONN., SCALE: 1"=50', DATE: 4-12-65" BY JOHN MAZZOCHI.
 2. "PRELIMINARY RIGHT OF WAY SURVEY, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, TOWN OF VERNON, TALCOTTVILLE ROAD FROM PITKIN ROAD, NORTHEASTERLY TO WINDSORVILLE ROAD, SCALE: 1"= 40', APPROVED 10-94" PROJECT 146-11.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

By *Paul W. Humphreys*
 PAUL W. HUMPHREYS, L.S.
 LIC. NO. 12322



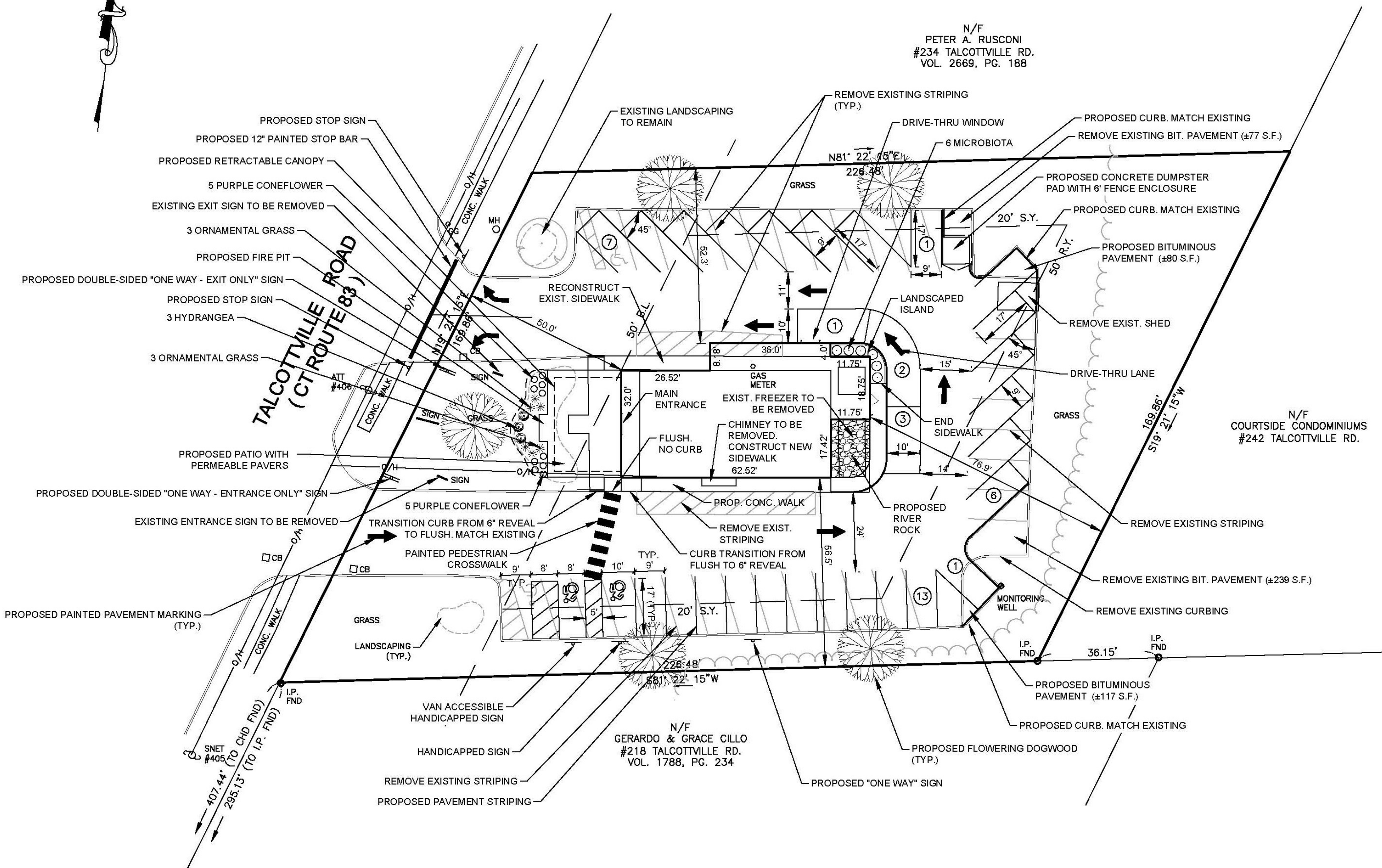
No.	Date	Description



B. J. M. Close, Jensen & Miller, P. C. Consulting Engineers, Land Planners & Surveyors 1137 Silas Deane Highway, Wethersfield, Conn. 06109, Tel. (860)563-9375	Compiled P.C. Check Designed Drawn Checked Scale 1"= 20' Date 12/01/20
	PROPERTY SURVEY PROPERTY OF MAFFE INVESTMENTS, LLC 226 TALCOTTVILLE ROAD VERNON, CONNECTICUT
Sheet 2 Of 4 Job No. File No.	4



N/F
PETER A. RUSCONI
#234 TALCOTTVILLE RD.
VOL. 2669, PG. 188



TALCOTTVILLE ROAD
(CT ROUTE 83)

N/F
GERARDO & GRACE CILLO
#218 TALCOTTVILLE RD.
VOL. 1788, PG. 234

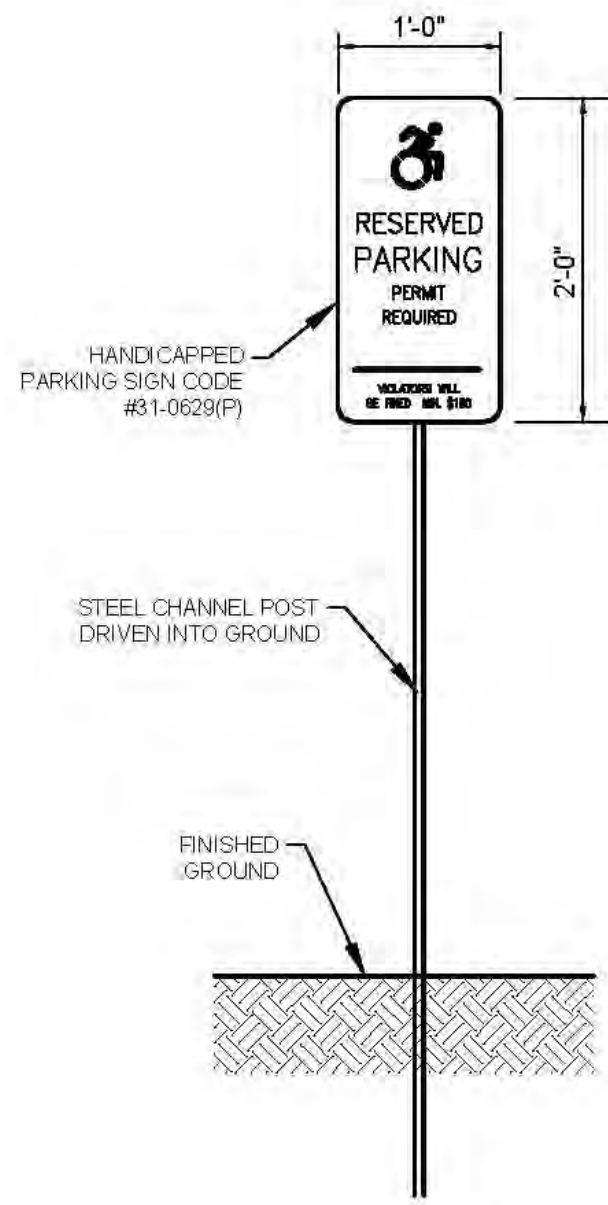
N/F
COURTSIDE CONDOMINIUMS
#242 TALCOTTVILLE RD.

- PROPOSED STOP SIGN
- PROPOSED 12" PAINTED STOP BAR
- PROPOSED RETRACTABLE CANOPY
- 5 PURPLE CONEFLOWER
- EXISTING EXIT SIGN TO BE REMOVED
- 3 ORNAMENTAL GRASS
- PROPOSED FIRE PIT
- PROPOSED DOUBLE-SIDED "ONE WAY - EXIT ONLY" SIGN
- PROPOSED STOP SIGN
- 3 HYDRANGEA
- 3 ORNAMENTAL GRASS
- ATT #408
- PROPOSED PATIO WITH PERMEABLE PAVERS
- PROPOSED DOUBLE-SIDED "ONE WAY - ENTRANCE ONLY" SIGN
- EXISTING ENTRANCE SIGN TO BE REMOVED
- PROPOSED PAINTED PAVEMENT MARKING (TYP.)
- SNET #405
- 407.44' (TO CHD FND)
- 295.13' (TO I.P. FND)

- EXISTING LANDSCAPING TO REMAIN
- RECONSTRUCT EXIST. SIDEWALK
- 50.0'
- 50' S.Y.
- 26.52'
- MAIN ENTRANCE
- FLUSH. NO CURB
- 5 PURPLE CONEFLOWER
- TRANSITION CURB FROM 6" REVEAL TO FLUSH. MATCH EXISTING
- PAINTED PEDESTRIAN CROSSWALK
- GRASS
- LANDSCAPING (TYP.)
- VAN ACCESSIBLE HANDICAPPED SIGN
- HANDICAPPED SIGN
- REMOVE EXISTING STRIPING
- PROPOSED PAVEMENT STRIPING

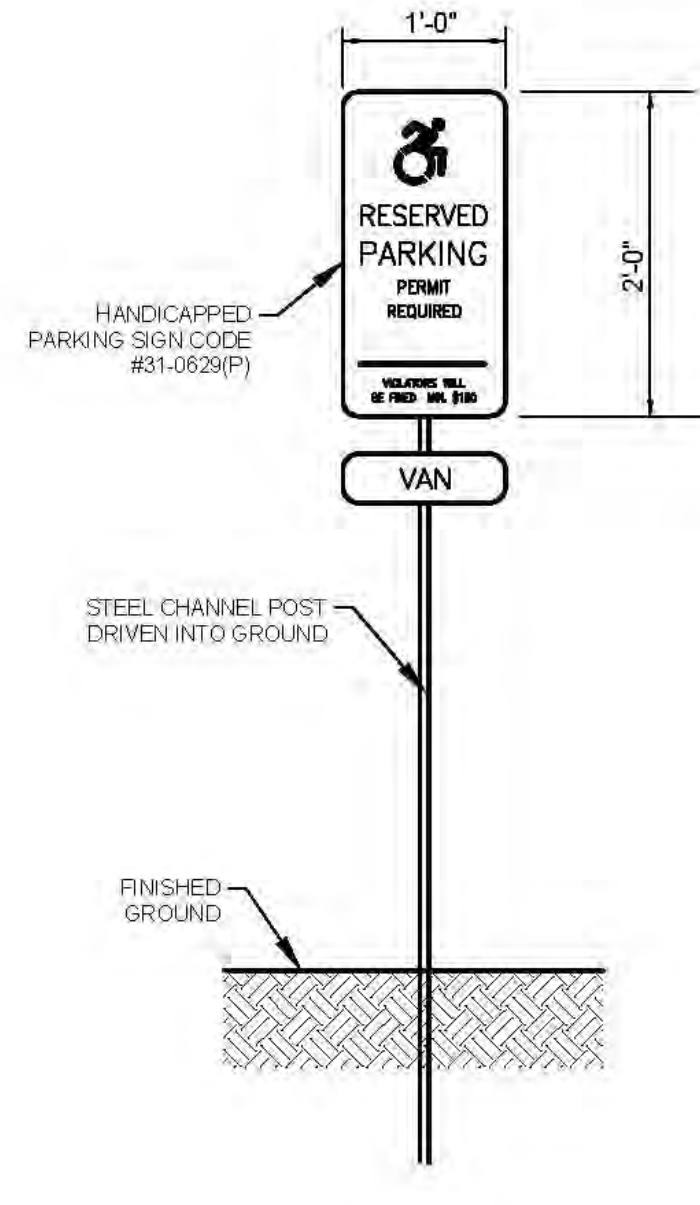
- REMOVE EXISTING STRIPING (TYP.)
- DRIVE-THRU WINDOW
- 6 MICROBIOTA
- GRASS
- 226.48'
- N81° 22' 15" E
- 36.0'
- 11.75'
- 11.75'
- 17.42'
- 17.42'
- 56.5'
- 24'
- PROP. CONC. WALK
- REMOVE EXIST. STRIPING
- CURB TRANSITION FROM FLUSH TO 6" REVEAL
- EXIST. FREEZER TO BE REMOVED
- CHIMNEY TO BE REMOVED. CONSTRUCT NEW SIDEWALK 62.52'
- PROPOSED RIVER ROCK
- PROPOSED FLOWERING DOGWOOD (TYP.)
- PROPOSED "ONE WAY" SIGN

- PROPOSED CURB. MATCH EXISTING
- REMOVE EXISTING BIT. PAVEMENT (±77 S.F.)
- PROPOSED CONCRETE DUMPSTER PAD WITH 6' FENCE ENCLOSURE
- PROPOSED CURB. MATCH EXISTING
- PROPOSED BITUMINOUS PAVEMENT (±80 S.F.)
- 50' R.Y.
- REMOVE EXIST. SHED
- DRIVE-THRU LANE
- GRASS
- 169.86'
- 519° 21' 15" W
- REMOVE EXISTING STRIPING
- REMOVE EXISTING BIT. PAVEMENT (±239 S.F.)
- REMOVE EXISTING CURBING
- MONITORING WELL
- I.P. FND
- 36.15'
- I.P. FND
- PROPOSED BITUMINOUS PAVEMENT (±117 S.F.)
- PROPOSED CURB. MATCH EXISTING



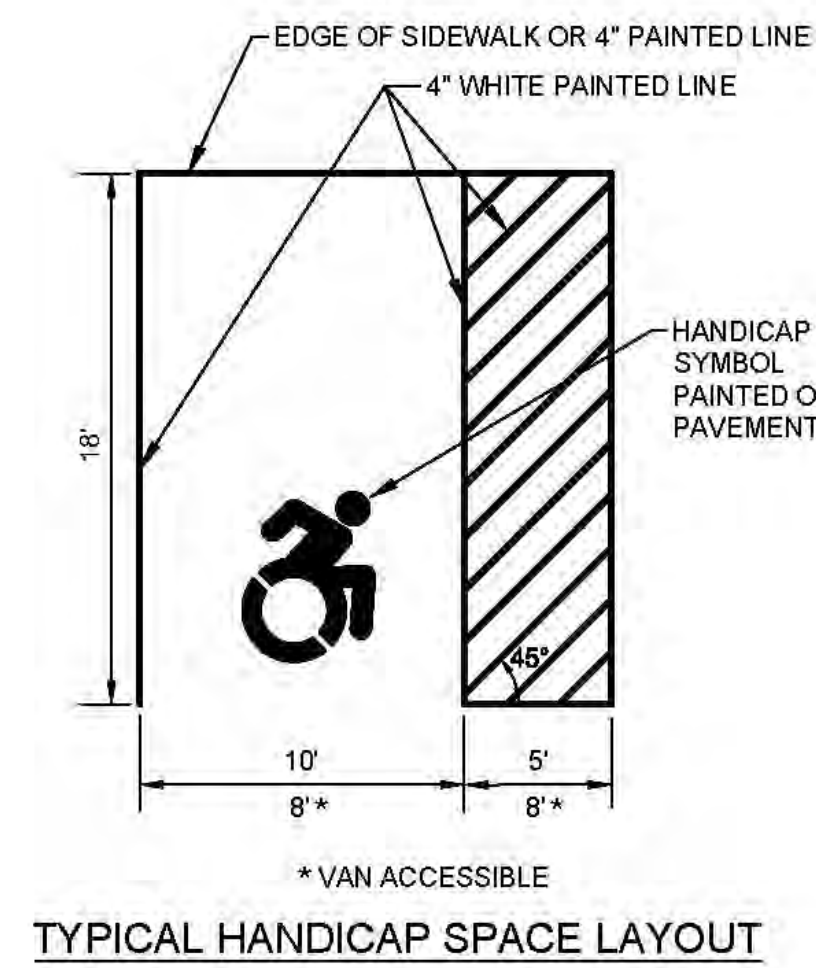
NOTE:
HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

HANDICAPPED PARKING SIGN
DETAIL

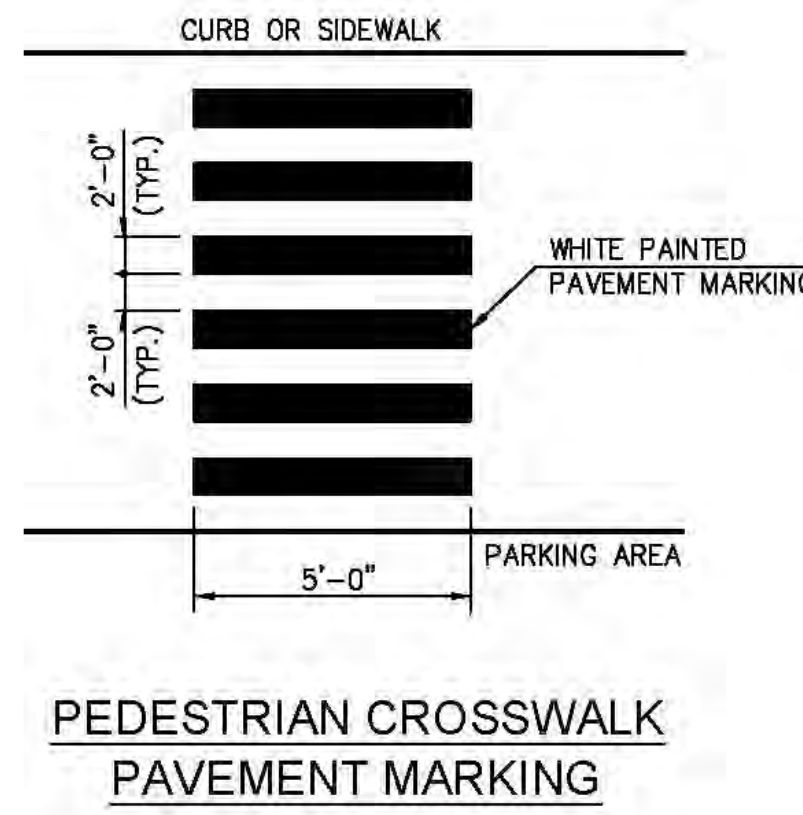


NOTE:
HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

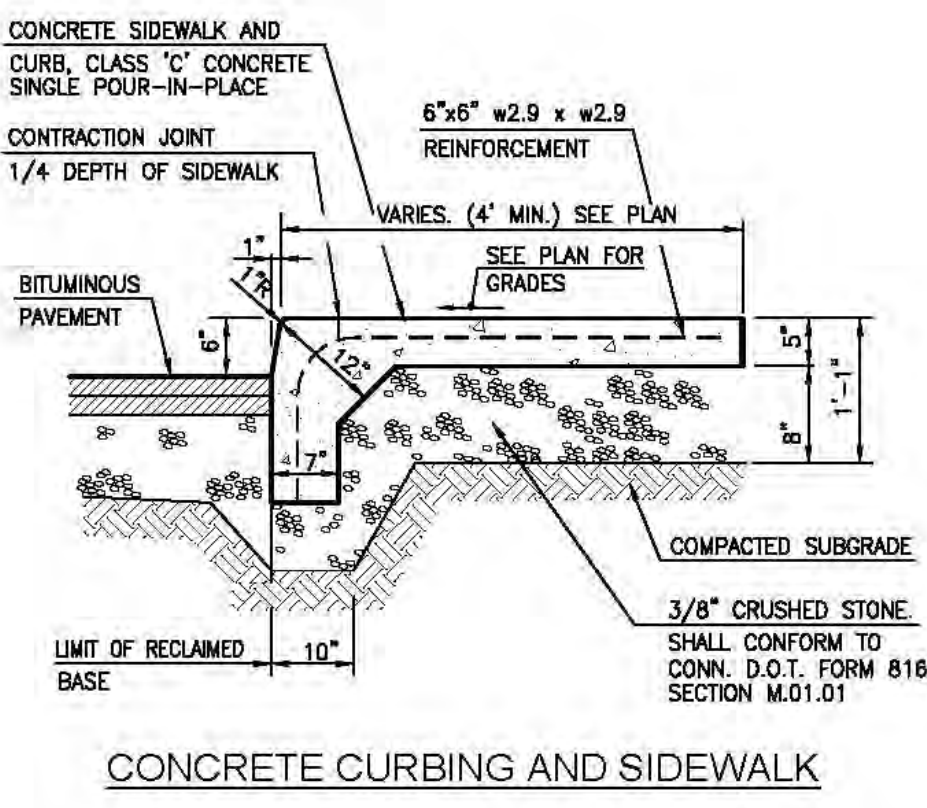
HANDICAPPED PARKING & VAN
PARKING SIGN DETAIL



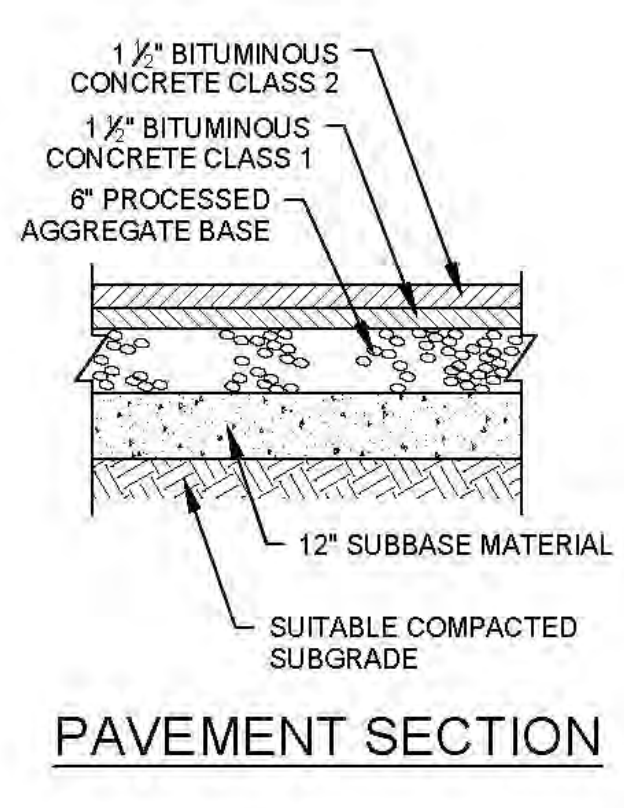
* VAN ACCESSIBLE
TYPICAL HANDICAP SPACE LAYOUT



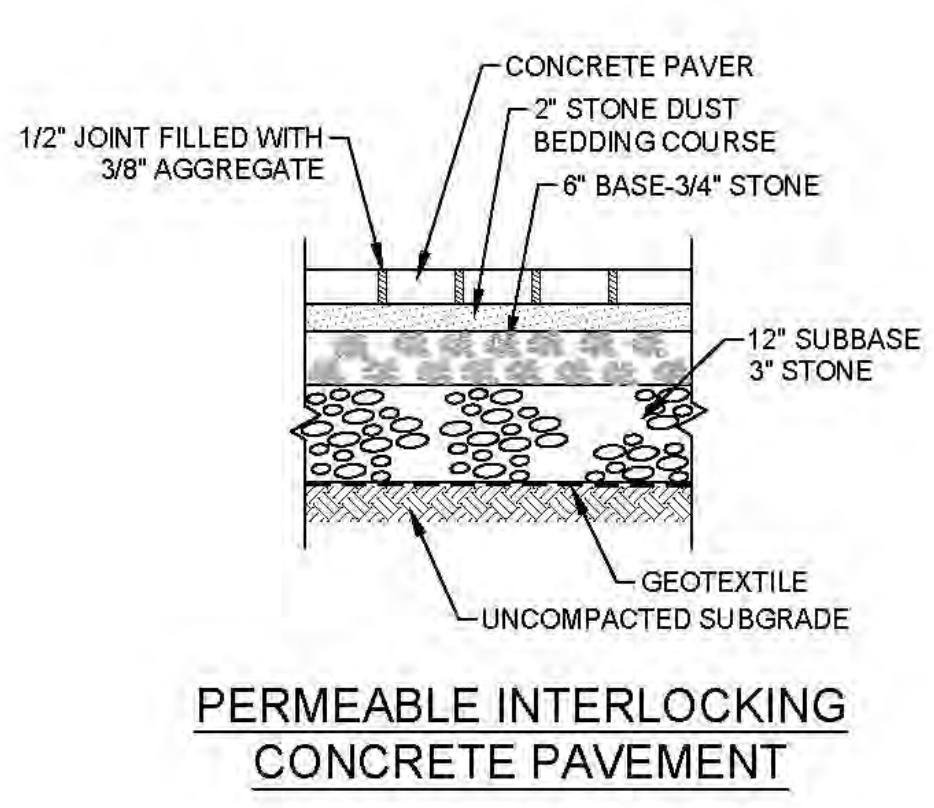
PEDESTRIAN CROSSWALK
PAVEMENT MARKING



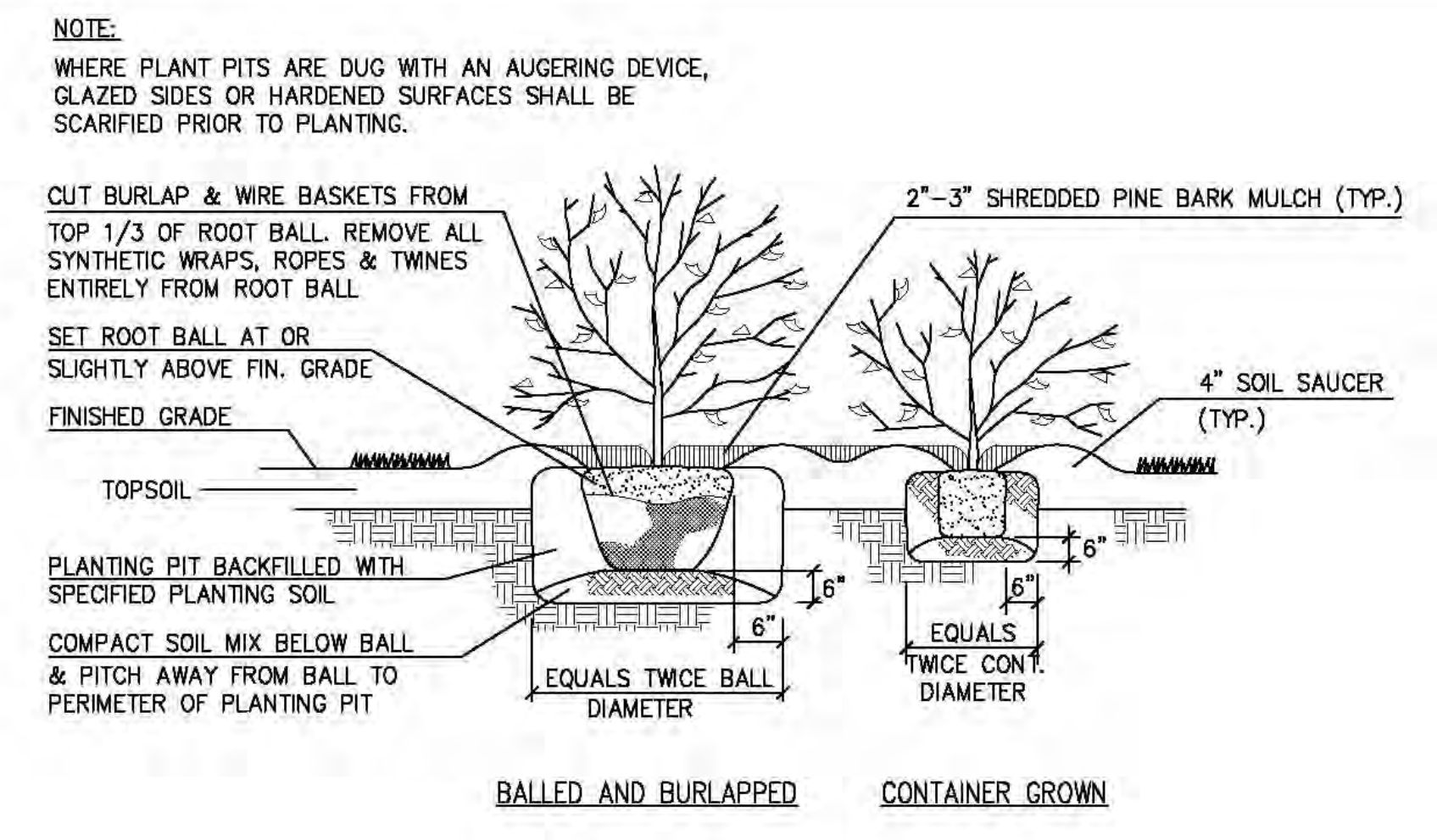
CONCRETE CURBING AND SIDEWALK



PAVEMENT SECTION

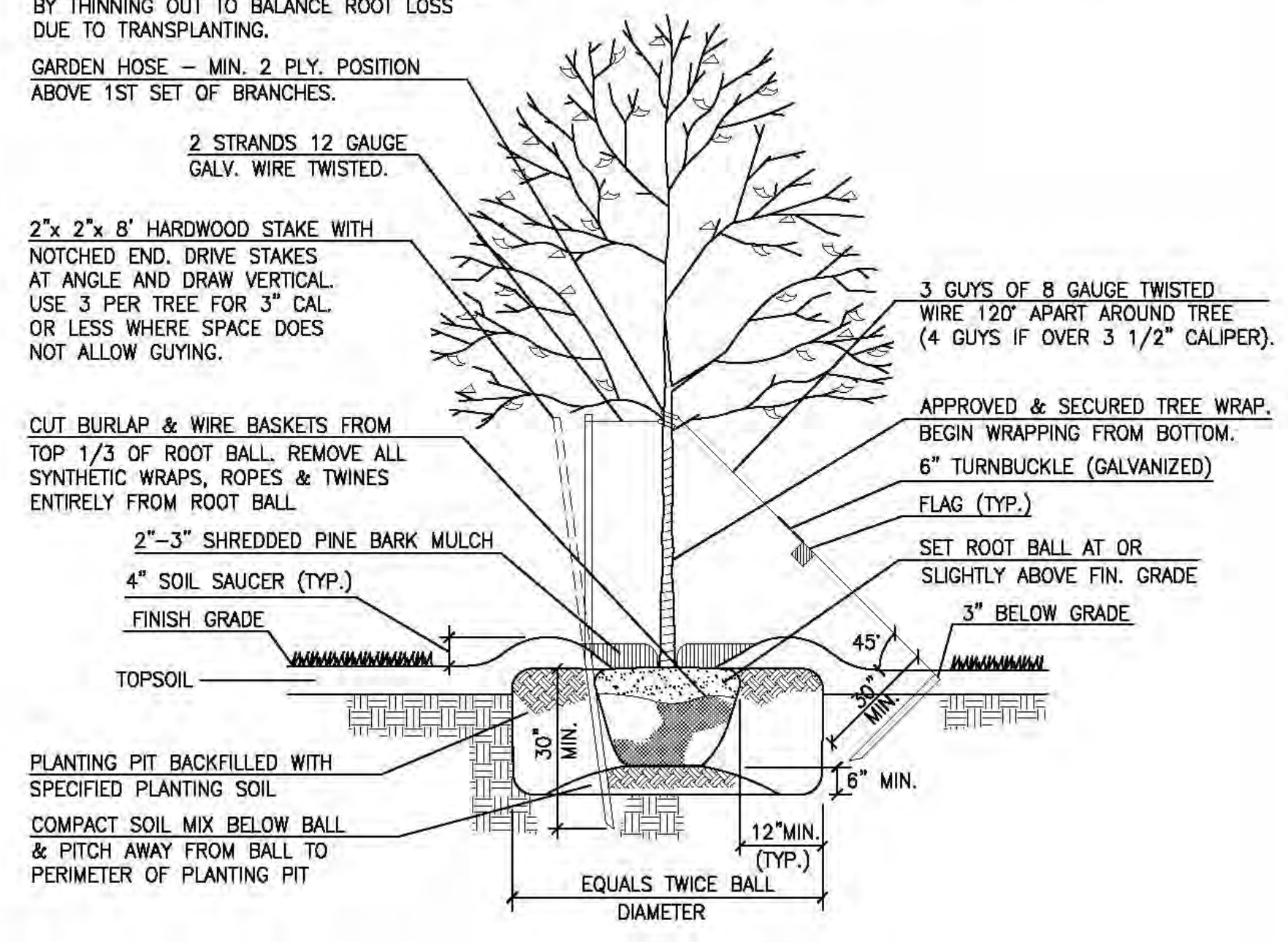


PERMEABLE INTERLOCKING
CONCRETE PAVEMENT



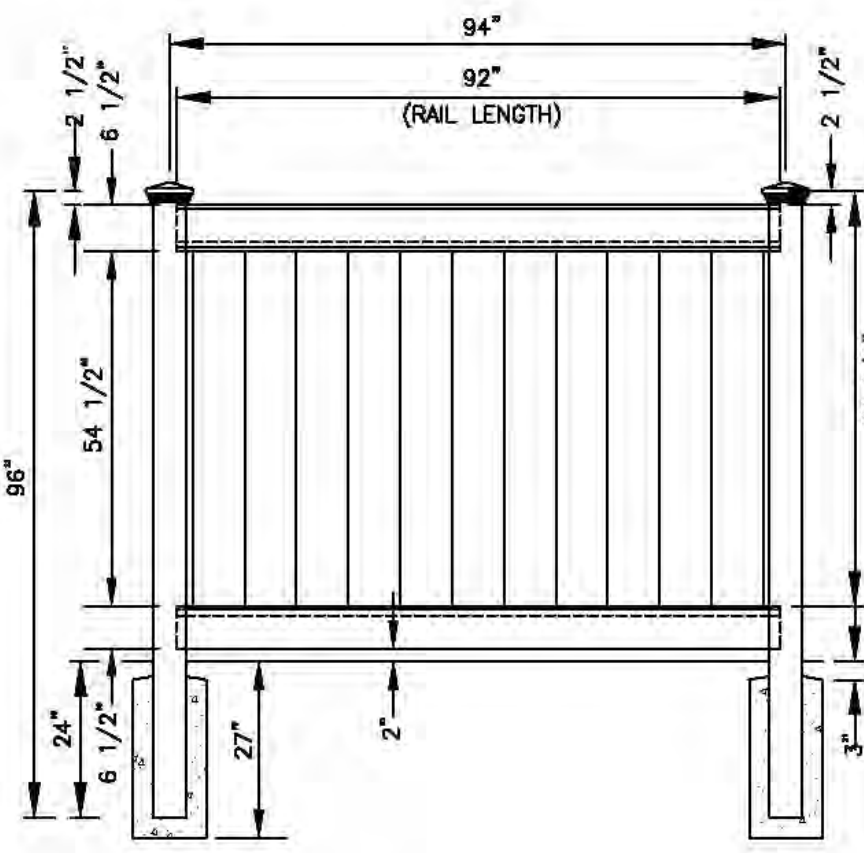
NOTE:
WHERE PLANT PITS ARE DUG WITH AN AUGERING DEVICE, GLAZED SIDES OR HARDENED SURFACES SHALL BE SCARIFIED PRIOR TO PLANTING.

SHRUB PLANTING DETAIL

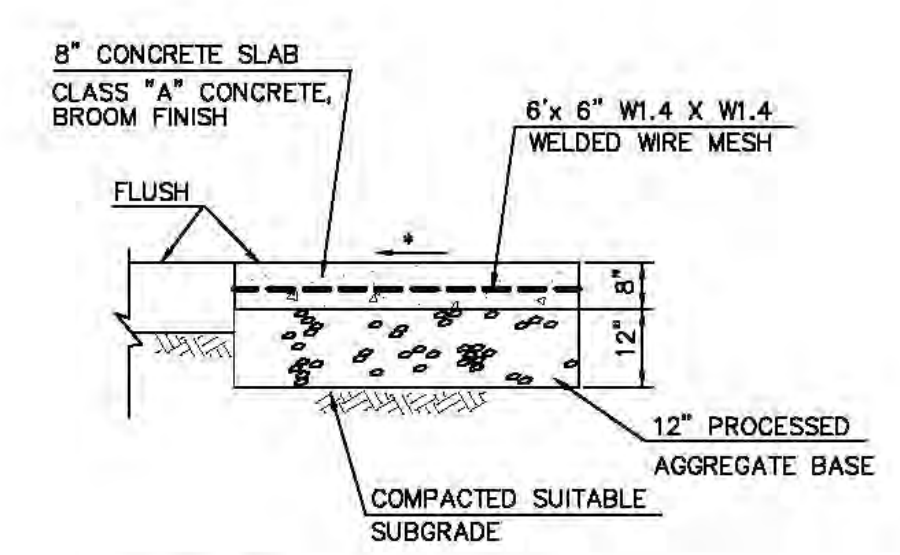
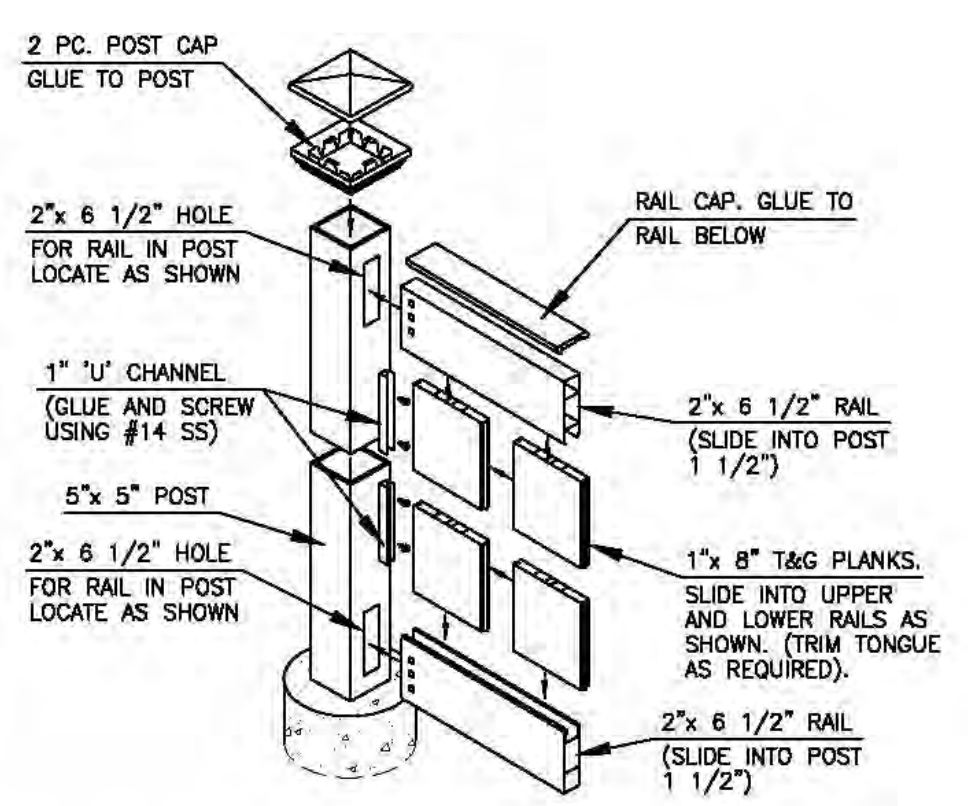


NOTE:
DECIDUOUS TREES 3" CALIPER OR LESS & EVERGREEN TREES 8" OR LESS TO BE STAKED.

TREE PLANTING DETAIL



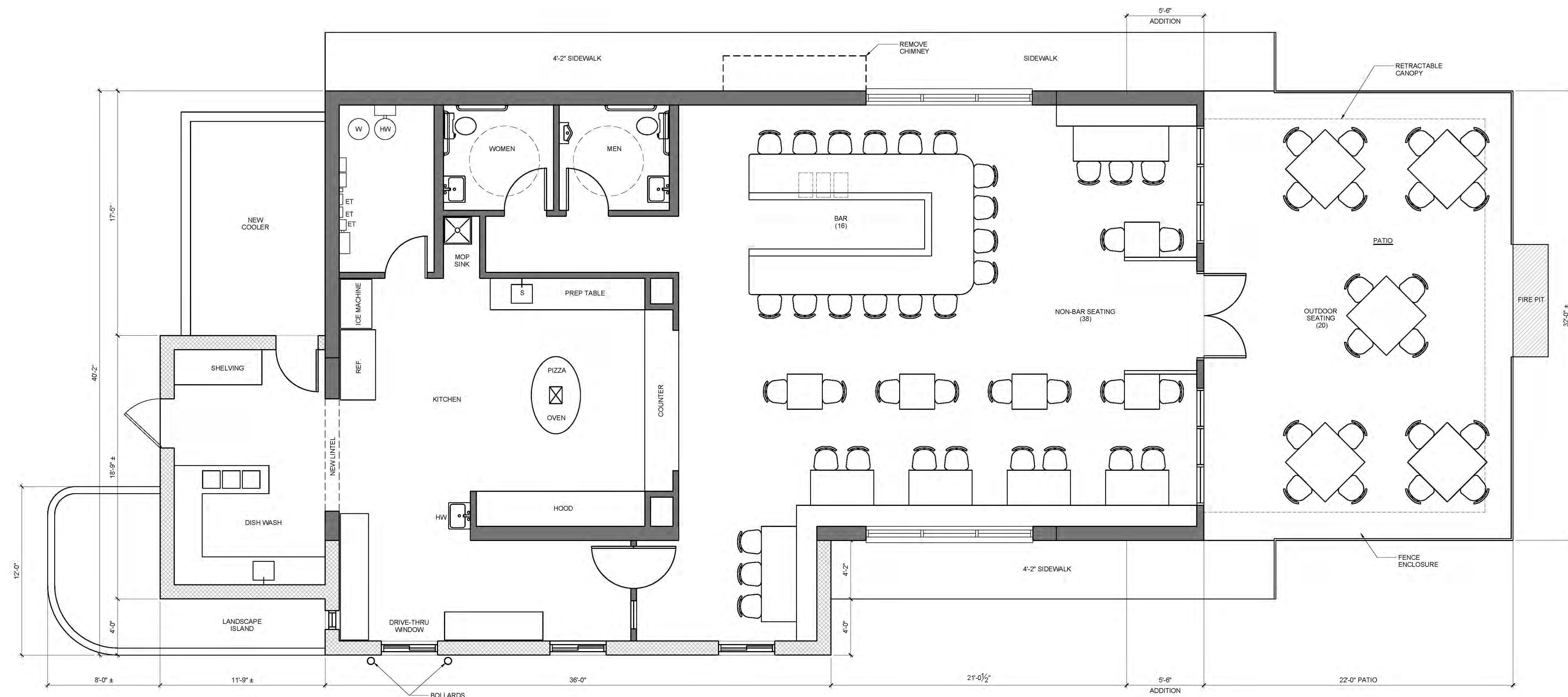
6' HIGH CONTEMPORARY DRESSED SOLID PVC FENCE
AT DUMPSTER ENCLOSURE



SECTION
CONCRETE DUMPSTER PAD

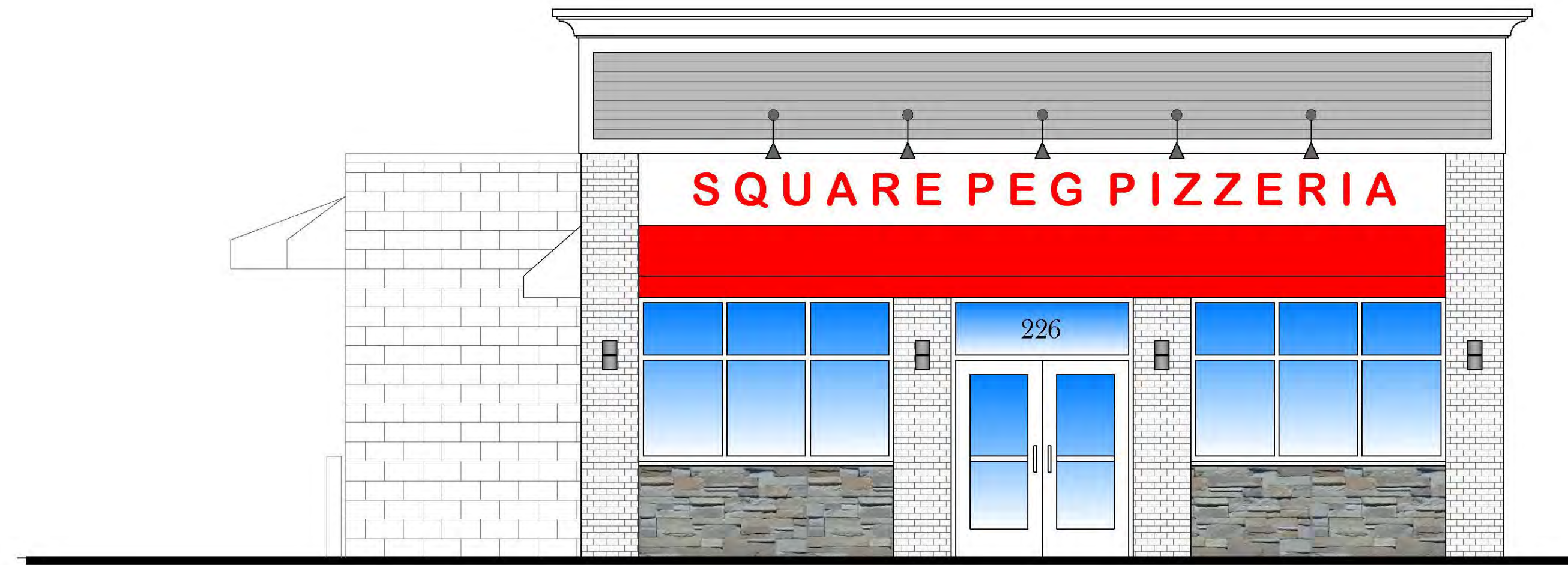
No. Date Description Revisions		C. J. M. <i>Close, Jensen & Miller, P.C.</i> Consulting Engineers, Land Planners & Surveyors 1137 Silas Deane Highway, Wethersfield, Conn. 06109, Tel. (860)563-9375		Compiled P.C. Check Designed Drawn Checked Scale 1"=20' Date 12/01/20 Sheet 4 of 4 Job No. File No.	
No. Date Description Revisions		CONSTRUCTION DETAILS		Scale 1"=20' Date 12/01/20 Sheet 4 of 4 Job No. File No.	
No. Date Description Revisions		SQUARE PEG PIZZERIA - VERNON 226 TALCOTTVILLE ROAD VERNON, CONNECTICUT		4 4	

R:\CJM\VERNON\226 Talcottville Road\Drawings\DETAILS.dwg



1 SCHEMATIC FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 3 6 12 FT

No.	Date	Issue Notes
Architect VINCENT BABAK ARCHITECTURE, LLC 195 TUNKIS HILL ROAD, SUITE 203 FAIRFIELD, CT 06825 TELE: 203-903-6203		
Consultant Project Title SQUARE PEG PIZZERIA 226 Talcottville Rd. Vernon, CT		
Sheet Title SCHEMATIC PLAN		
Project Manager	Project ID	
Drawn By NS	Scale 1/4" = 1'-0"	
Reviewed By ED	Sheet No.	SA-2
Date 11-28-20		
CAD File Name SA2.dwg		



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

No.	Date	Issue Notes
Architect VINCENT BABAK ARCHITECTURE, LLC 195 TUNKIS HILL ROAD, SUITE 203 FAIRFIELD, CT 06825 TELE: 203-903-6203		
Consultant		
Project Title SQUARE PEG PIZZERIA 226 Talcottville Rd. Vernon, CT		
Sheet Title ELEVATIONS		
Project Manager	Project ID	
Drawn By: NS	Scale: 1/4" = 1'-0"	
Reviewed By: ED	Sheet No.	SA-4
Date: 11-25-20		
CAD File Name: SK2.dwg		



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Planning and Zoning Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZ 2020-16, 226 Talcottville Rd., Square Peg Pizzeria

DATE: December 17, 2020

Request and Background

An Application [**PZ-2020-16**] has been submitted by Square Peg Pizzeria for a Modification of a Site Plan of Development to renovate and update an existing restaurant site and for a Special Permit pursuant to Section 4.9.4.17 to allow a drive-up service window at 226 Talcottville Rd. (Assessor's ID: Map 10, Block 015R, Parcel 0040F).



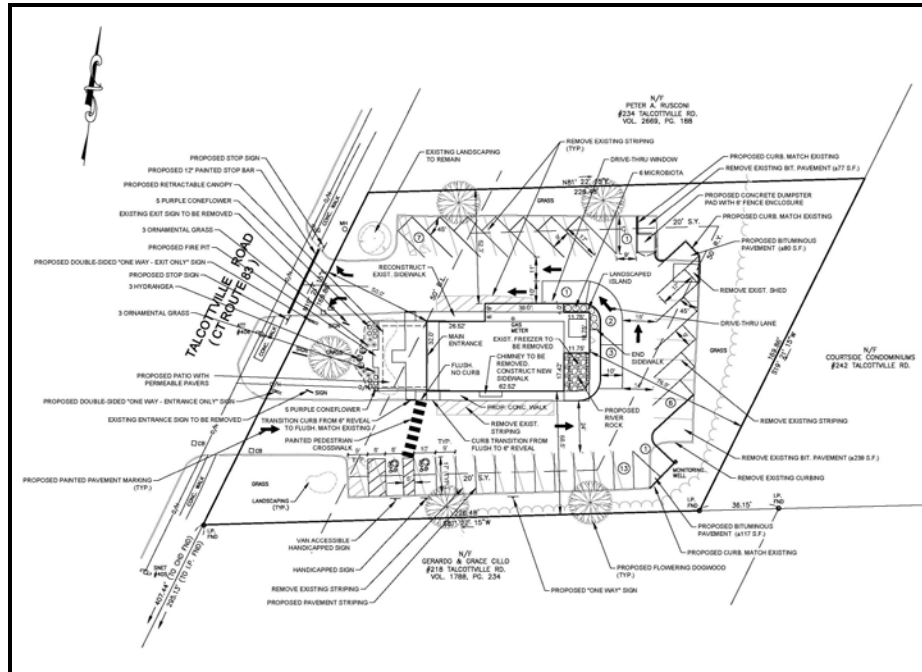
Formerly the site of Little Mark's BBQ, Square Peg

Pizzeria Plans to renovate the site and building for a new Pizza Restaurant. The site changes are minor in nature, with revisions including a new outdoor dining patio, a small addition, and the introduction of a drive-through window.

Section 4.9.4.17 requires special permit approval for the drive-through window.

Site Plan

The Site essentially maintains its current disposition: centered building, two access points, drive and parking surrounding. The project alters the parking to an angled design, as well as adds additional landscaping elements. An outdoor eating area is also included. Staff recommends the applicant complete the small missing side walk element along the frontage.



PZ 2020-0016, Site Plan

Special Permits

In order to approve the special permit for a drive-through window, the Commission must find that the applicant meets the relevant general special permit criteria of Section 17.3.1, specifically:

- 17.3.1.1 It shall not create a hazardous condition relative to public health and safety;
- 17.3.1.2 It shall be compatible with neighboring uses;
- 17.3.1.3 It shall not create a nuisance;
- 17.3.1.4 It shall not hinder the future sound development of the community;
- 17.3.1.5 It shall conform to all applicable sections of this ordinance;

Staff finds that these thresholds have been met by the Application. The egress around the building allows for safe and efficient vehicular movement.

Staff Comments and Analysis

The application meets the Site Plan requirements of Section 14 and meets the relevant review criteria found in the special permit section 17.3.1. No outstanding issues have been identified by Town Staff. The Zoning Official has raised the question as to what extent certain outdoor dining elements are, in fact, structures/projections and when are they permitted in the required yard. We are reviewing that internally and with the Applicant and will provide an update that the meeting. Staff referrals are attached.

Design Review Commission



The Design Review Commission met on December 9, 2020 and recommends approval of the design as submitted by the Applicant.

Draft Motions

- A. I move that the Planning and Zoning Commission Approve PZ-2020-16, a Site Plan of Development with a Special Permit located at 226 Talcottville Rd. This approval is based upon a finding that the application meets the site plan requirements of Section 14 and that the special permit requested meets and exceeds the review criteria set forth in Section 17.3.1. The approval is subject to the Site Plan prepared by Close Jensen and Miller, dated December 1, 2020 and the Architectural Elevation prepared by Vincent Babak Architecture, dated November 25, 2020.

- B. Alternate Motion

From: [Smith, David](#)
To: [Michael Brady](#)
Cc: [McGregor, George](#)
Subject: please forward to Paul Humphries / Cory Garro - Square Peg Pizza
Date: Monday, December 7, 2020 10:47:11 AM
Attachments: [#226 - Little Mark's BBQ.pdf](#)
[As Built Requirements - Old.doc](#)

Good Morning Mike –

Sorry to have to bother you on this, but could you please forward this to your colleagues? It is related to the Square Peg Pizza Zoning Application and I don't have their contact information. I thought this attachments might be useful if they haven't already seen it, and I had a few comments for them about the plan.

Paul / Cory – the first attached file is the plan from 1977 that was part of the Arthur Treacher's application for this site. Please note that it shows sewer, gas and a recharging stormwater system. I don't have any information on the water system. Please update your plan to show the location of these supporting utilities. Will the new roof leaders be tied to the recharge system?

I believe that the site survey or the plan of development should show topographic information/contours to provide a better understanding on how the site is functioning.

The middle section of sidewalk should be extended to provide a continuous concrete sidewalk along the frontage.

Finally, we need an As-Built Survey once all the work is completed. The second attachment is what we typically require for that plan, but some of this material may not be applicable to your project.

Call me if you have any questions.

Thank you

Dave Smith

David A. Smith, PE LS

Vernon Town Engineer
55 West Main Street
Vernon, CT. 06066
860-870-3663
dsmith@vernon-ct.gov

APPLICATION REVIEW COMMENTS

FROM: amarchese@vernon-ct.gov

TO: _____

DATE: 12/10/2020

APPLICANT: TALCOTTVILLE ROAD LLC

PROJECT: Square Peg Pizzeria, Vernon

LOCATION: 226 TALCOTTVILLE RD

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

- 1) Zoning regulation 16.1.5 No part of any sign shall be erected within 10' from any property line. The proposed entrance and exit signs appear to be too close to the front yard boundary line.
- 2) The proposed stop signs at the exit are not located on the 226 Talcottville Rd. property.
- 3) The existing sidewalk along Talcottville Rd. should be completed to the northern curb at the site entrance, it is currently grass.
- 4) The zoning table on the proposed site plan shows both the required and proposed front yard set back at 50'. The proposed patio and fire pit appear to be beyond the front yard set back line. Zoning regulation 3.30 allows for building features to project into required yards. The proposed patio extension and fire pit do not appear to be building features, but separate structures and if approved how far into the required yard set back are they allowed to project?

SIGNATURE: _____

DATE: _____



TOWN OF VERNON

Design Review Commission

14 PARK PLACE, VERNON, CT 06066
Tel: (860) 870-3667
Fax: (860) 870-3683
E-mail: sgately@vernon-ct.gov

December 10, 2020

Planning and Zoning Commission
14 Park Place
Vernon, CT. 06066

Attn: Roland Klee, Chairperson

On 12-9-20 the Design Review Commission was presented Application [PZ-2020-16] of Square Peg Pizza, Vernon for a modification of the site plan, and special permits at 226 Talcottville Rd. The applicant presented their application as it was submitted to the Planning and Zoning Commission and provided visual representations of what the structures and site will look like. The Design Review commission reviewed the application/ plans and approved them as they were presented.

A copy of the minutes can be forwarded, if needed, once they are completed, and please let me know if you need further clarification.

Sincerely,

Shaun Gately
Economic Development Coordinator

APPLICATION

3

PZ 2020-17 74 Reservoir Rd. Location



TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Matthew Tyler, EIT

Title: Design Engineer

Company: Bohler

Address: 16 Old Forge Road Suite A, Rocky Hill, CT 06067

Telephone: 860-333-8900 Fax: _____

E-mail: mt Tyler@bohlereng.com

II. PROPERTY OWNER (S):

Name: Hayes family limited partnership & Conyers Family Limited Partnership II

Title: _____

Company: _____

Address: 1471 Pleasant Valley Road Manchester, CT 06040

Telephone: _____ Fax _____

E-mail: _____

05/05/2015

III. PROPERTY

Address: 74 Reservoir Road

Assessor's ID Code: Map # 46 Block # 71 Lot/Parcel # 19B

Land Record Reference to Deed Description: Volume: Page

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

No Yes

No work will be done in regulated area
 Work will be done in the regulated area

IWC application has been submitted
 IWC application has not been submitted

Zoning District Commercial (C)

Is this property located within five hundred (500) feet of a municipal boundary?

No
 Yes:

- Bolton
- Coventry
- Ellington
- Manchester
- South Windsor
- Tolland

Check if Historic Status Applies:

Located in historic district:

- Rockville
- Talcottville

Individual historic property

IV. PROJECT

Project Name: McDonald's

Project Contact Person:

Name: Matthew Tyler

Title: Design Engineer

Company: Bohler Engineering

Address: 16 Old Forge Road Suite A, Rocky Hill, CT 06067

Telephone: 860-333-8900 **Fax:** _____

E-mail: mtyler@bohlereng.com

**V. PZC APPLICATION
PROJECT SUMMARY**

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: ADA Compliance

General Activities: Minor site modifications for ADA compliance,
additional drive-thru lane with new menu boards and features to
improve stacking, new facade and signage.

VI. APPROVAL (S) REQUESTED

 Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

 X **Site Plan of Development (POD) (ZR Sec. 14)**

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- X Minor modification of a site POD (ZR Sec. 14.1.1.2)

 Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)

- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)

- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)

- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

____ Other Special Permit(s). Cite ZR Section and describe activity:

____ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

____ **Zoning:**

____ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

____ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

____ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.


____ Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

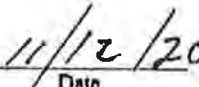
Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:



Signature



Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____



McDonald's Corporation
110 N. Carpenter Street
Chicago, IL 60607-2101
(312) 720-4404
Kevin.Hyde@us.mcd.com

September 30, 2020

BY CERTIFIED MAIL – RETURN RECEIPT REQUESTED

Hayes Family Limited Partnership
Conyers Family Limited Partnership II
1471 Pleasant Valley Road
Manchester, CT 06040

Stanley Falkenstein
Falkenstein, Meggers, Paul & Robinson, P.C.
113 East Center Street
Manchester, CT 06040-5234

Re: **Route 31 Mile Hill Road, Vernon CT (the "Premises")**
L/C: 006-0439 File #43038
Ground Lease dated August 28, 2002, between Hayes Family Limited Partnership and Conyers Family Limited Partnership, as Landlord, and McDonald's Corporation, as Tenant, as amended (collectively the "Lease")

Dear Sir or Madam:

Pursuant to the terms of the Lease, McDonald's would like to obtain your consent as Landlord to make certain alterations and improvements to the Premises as are depicted on the enclosed site plan dated September 21, 2020 (collectively the "Site Enhancements Work"), which work includes, but may not be limited to, the addition of a side-by-side drive-thru and related facilities.

Tenant agrees that the Site Enhancements Work, when accomplished, will be done in a good, workmanlike manner and further agrees to hold you harmless from any liens or claims attaching to the Premises by reason of the Site Enhancements Work. The Site Enhancements Work is to be done at the sole cost and expense of McDonald's.

If the Site Enhancements Work meets with your approval, please sign the enclosed copy of this letter in the space provided below and return it in the enclosed self-addressed envelope to my attention. Please also execute the attached Town of Vernon Planning & Zoning Commission (PZC) Application. If possible, please also e-mail a signed copy of the letter to the following e-mail address: "legalclearance@us.mcd.com."

Your written response within twenty (20) days is required. Please note that pursuant to the Lease, your approval shall only be from an appearance standpoint only and shall not be unreasonably withheld, and shall be conclusively deemed granted if you do not respond within twenty (20) days after receipt of this correspondence. You, as Landlord, are currently in default for failure to respond to previous requests for consent, therefore I ask that you respond as soon

as possible to this request. This request for consent is made without prejudice to McDonald's claims against Landlord for Landlord's prior default, and McDonald's reserves all of its rights against Landlord with respect to same.

If you have any questions regarding this matter, please do not hesitate to contact me at (312) 720-4404 or by email at Kevin.Hyde@us.mcd.com. Thank for your cooperation and prompt attention to this matter.

Sincerely,

McDONALD'S CORPORATION

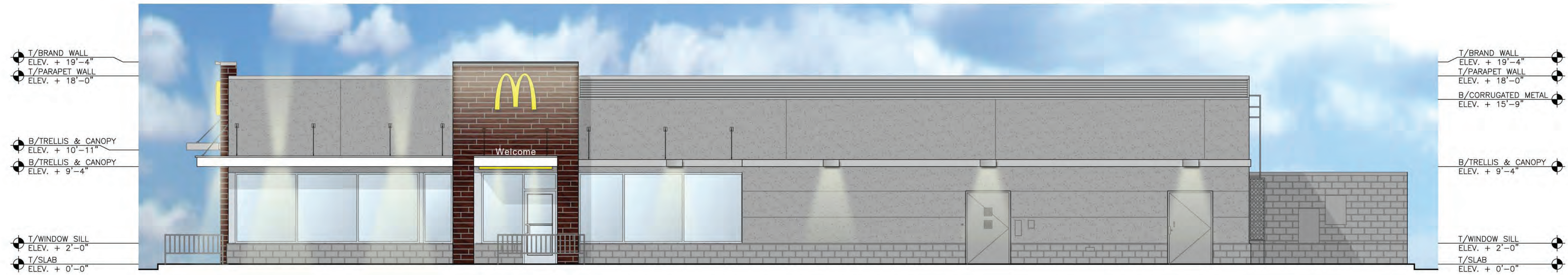


Senior Counsel
U.S. Legal Department

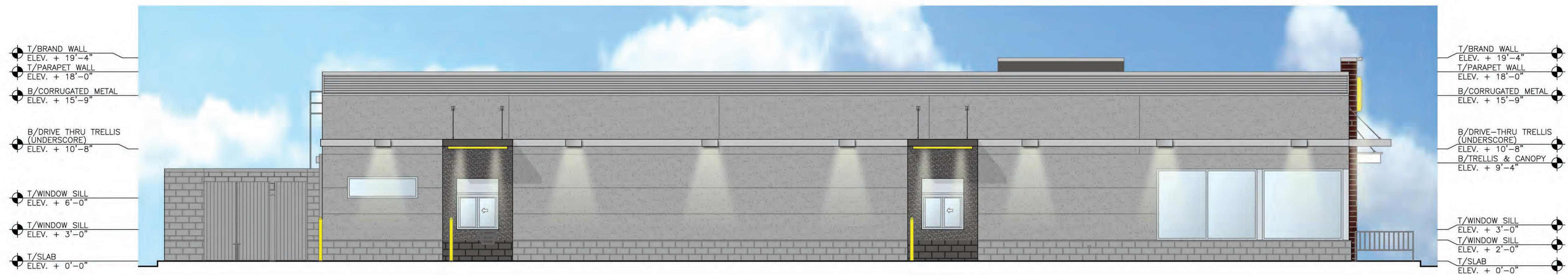
Enclosure

AGREED AND CONSENTED TO THIS 9th DAY OF November, 2020

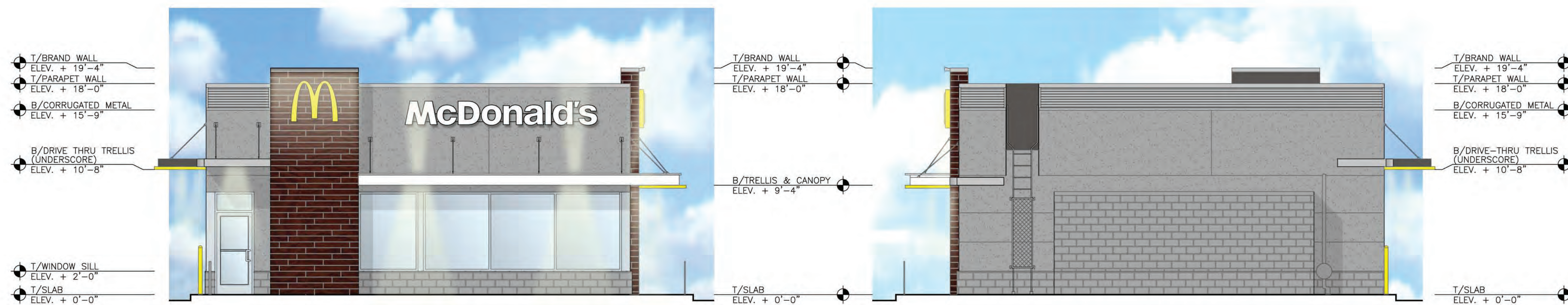
By: 
Its: 



1 NON-DRIVE-THRU ELEVATION
A2.0 3/16" = 1'-0"



2 DRIVE-THRU ELEVATION
A2.0 3/16" = 1'-0"



3 FRONT ELEVATION
A2.0 3/16" = 1'-0"

4 REAR ELEVATION
A2.0 3/16" = 1'-0"

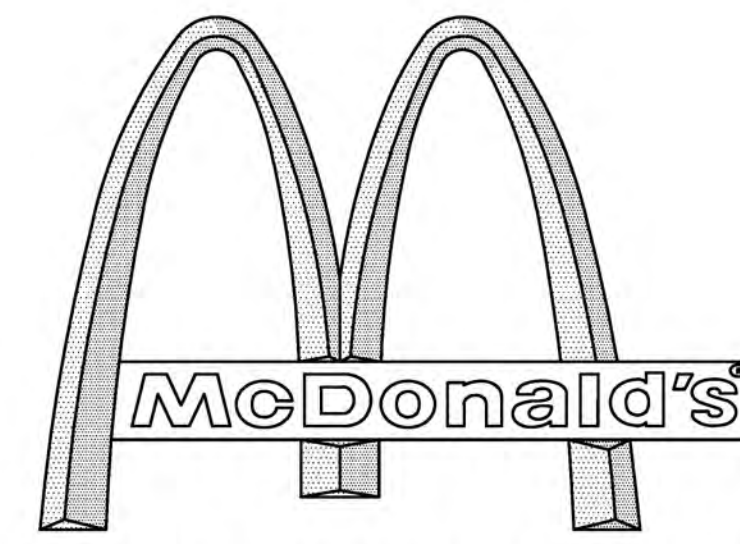
LEGEND

- CHELSEA GRAY
HC-168 BENJAMIN MOORE
- IRON MOUNTAIN
2134-40 BENJAMIN MOORE

DRAWN BY TS		DATE FEB 2017		REVIEWED BY PM		DATE ISSUED 01/31/2019		SITE ADDRESS 74 RESERVOIR ROAD, ROCKVILLE, CT 06066	
TITLE ELEVATIONS		DESCRIPTION REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR - NON PLAYPLACE		PROJ.# 180323		SHEET NO. A2.0		ELEVATIONS	
PREPARED FOR McDonald's USA, LLC		© 2016 McDonald's USA, LLC		REVISIONS		REV		DATE	
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.		REVISED PER PEER COMMENTS		0		03.15.19		FOR FILING	
CPC		BY		DATE		REV		DESCRIPTION	

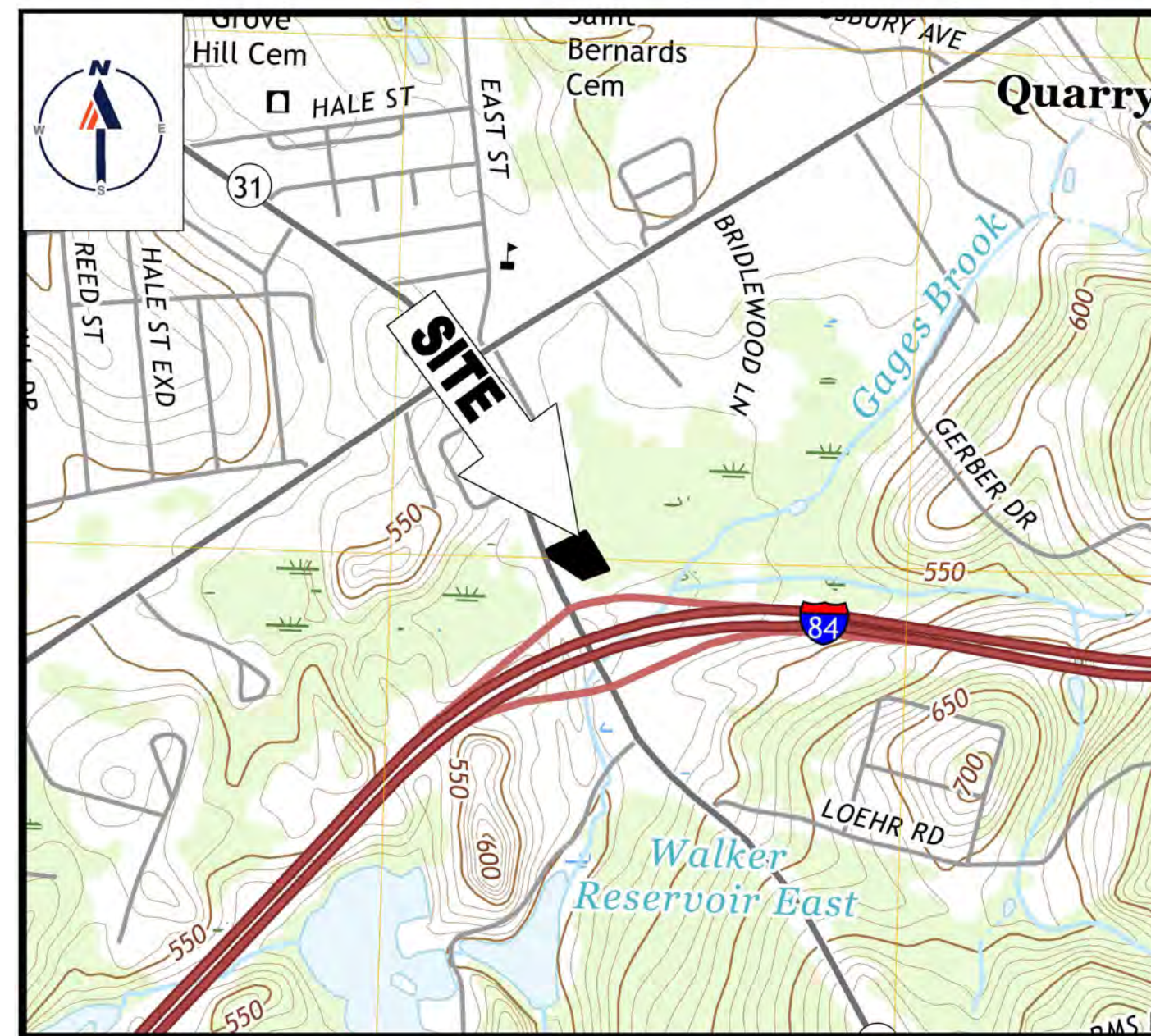
SITE DEVELOPMENT PLANS

FOR:
EXISTING



WITH DRIVE-THRU

LOCATION OF SITE:
74 RESERVOIR ROAD,
TOWN OF VERNON
TOLLAND COUNTY,
CONNECTICUT
MAP 46, BLOCK 71, LOT 19B



LOCATION MAP

SCALE: 1"=1000'
PLAN REFERENCE: USGS ROCKVILLE, CT QUADRANGLE 2018



AREA PLAN

SCALE: 1"=150'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 8
GENERAL NOTES SHEET	C-2 OF 8
DEMOLITION & EROSION CONTROL PLAN	C-3 OF 8
SITE PLAN	C-4 OF 8
GRADING PLAN	C-5 OF 8
DETAIL SHEET	C-6 OF 8
DETAIL SHEET	C-7 OF 8
DETAIL SHEET	C-8 OF 8
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 OF 1
FLOOR PLAN (BY OTHERS)	A1.0
BUILDING ELEVATIONS (BY OTHERS)	A2.0
BUILDING ELEVATIONS (BY OTHERS)	A2.1

SHEET INDEX

BOHLER™

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED COPIES AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES. © BOHLER

COMPLIANCE CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	CT182026
CAD I.D. #:	CT182026ss0.dwg

GENERAL NOTES:

- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- ALL ELEVATIONS SHOWN ARE BASED UPON, NAVD 88 PER SURVEY NOTE #7.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION
(SEE PAVEMENT DETAIL)

FLEXIBLE PAVEMENT SECTION:

- 1.5" CLASS 2 TOP COURSE
- 1.5" CLASS 1 BASE COURSE
- 6.0" GRANULAR BASE
- 6.0" GRANULAR SUBBASE

RIGID PAVEMENT SECTION:

- 6.0" 4500 PSI AIR-ENTRAINED CONCRETE
- 8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE
- 6.0" GRANULAR BASE
- 6.0" GRANULAR SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

PARKING INFORMATION

TOTAL SPACES	EXISTING SPACES	PROPOSED SPACES	PROPOSED SPACES
30	23	3	2
		8.0' X 22.0' @ PARALLEL	9.0' X 18.0' @ 72.8°
		1 PROPOSED ACCESSIBLE SPACES	8.0' X 20.0' @ 90° W/ 8' AISLE 10.0' X 20.0' @ 90° W/ 8' AISLE

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	VARIABLES	PVC	RESERVOIR ROAD R.O.W
WATER	TBD	UNKNOWN	RESERVOIR ROAD R.O.W
STORM SEWER	12"	CPP	OFF-SITE
ELECTRIC	UNKNOWN	UNKNOWN	RESERVOIR ROAD R.O.W
GAS	UNKNOWN	PROPANE	ON-SITE

SURVEY INFORMATION

PREPARED BY: CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
JOB #: 03-180127
DATE: OCTOBER 12, 2018

TYPICAL LEGEND

EXISTING	PROPERTY LINE	PROPOSED
---	PROPERTY LINE	---
---	SETBACK	---
---	EASEMENT	---
---	CURB	---
⊙	STORM MANHOLE	---
⊙	SEWER MANHOLE	---
⊙	CATCH BASIN	---
⚠	WETLAND FLAG	---
---	WETLAND LINE	---
⊙	SPOT ELEVATION	100.00
⊙	TOP & BOTTOM OF CURB	100.00 / 99.50
---	CONTOUR	5.0
→	FLOW ARROW	5%
→	PAINTED ARROW	←
---	OVERHEAD WIRE	←
---	GAS LINE	---
---	TELEPHONE LINE	---
---	ELECTRIC LINE	---
---	WATER LINE	---
---	SEWER LINE	---

ENTITLEMENT SET

STREET ADDRESS
74 RESERVOIR ROAD

TOWN: VERNON STATE: CONNECTICUT

COUNTY: TOLLAND

SITE I.D.: 006-0439 PLAN DESCRIPTION: COVER SHEET

McDonald's

AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION.

BOSTON REGION
110 NORTH CARPENTER STREET
CHICAGO, IL

OFFICE ADDRESS

DATE

SIGNATURE

APPROVED: McDONALD'S AGENT

STATUS: _____ DATE: _____ BY: _____

DRAWN BY: 09/21/20 MLT

PLAN CHECKED: _____

AS-BUILT: _____

SHEET NO. **C-1** OF 8

G.P. FITZGERALD
PROFESSIONAL ENGINEER

P:\182026\03.dwg - 03/18/2018 10:11:44 AM - User:G.P. Fitzgerald



MAP 46, BLOCK 71, LOT 19
N/F LANDS OF
HYDE PARK LLC
BK. 2208, PG. 127

N85°16'07"E
279.00'

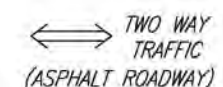
MAP 46, BLOCK 71, LOT 19
N/F LANDS OF
HYDE PARK LLC
BK. 2208, PG. 127

P 46, BLOCK 71, LOT 1
N/F LANDS OF
HYDE PARK, LLC
BK. 2208, PG. 127

MAP 46, BLOCK 71, LOT 19B
N/F LANDS OF
HAYES FAMILY LIMITED
PARTNERSHIP & CONVERS
FAMILY
LIMITED PARTNERSHIP II
BK. 1367, PG. 55

RESERVOIR ROAD
(A.K.A. MILE HILL ROAD)

(STATE ROUTE 31 - PUBLIC - VARIABLE WIDTH)



TWO WAY
TRAFFIC
(ASPHALT ROADWAY)



Know what's below.
Call before you dig.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- PAVE PARKING LOT
- LANDSCAPING PER OPERATOR
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

REFER TO GENERAL NOTES SHEET
FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR
DEMOLITION/REMOVAL & SOIL
EROSION CONTROL PURPOSES ONLY

UTILITY NOTE:

CONTRACTOR SHALL CONFIRM ALL UTILITY & DRAINAGE
LOCATIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY
ENGINEER IN WRITING IF ANY CONFLICTS OCCUR.

EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UP-SLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOY MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDROAPPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITHIN BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH

LOCATION PROTECT AREA	MULCH TYPE	RATE (1000 SF) POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELISOR MAT	AS REQUIRED

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

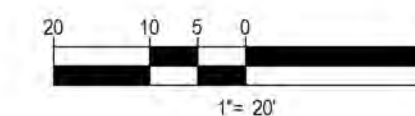
*A HYDROAPPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING

ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BOX); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR straw AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDS, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED, DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 15 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.



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COMPLIANCE CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	CT182026
CAD I.D. #:	CT182026ss0.dwg

ENTITLEMENT SET	
STREET ADDRESS 74 RESERVOIR ROAD	
TOWN VERNON	STATE CONNECTICUT
COUNTY TOLLAND	
SITE I.D. 006-0439	PLAN DESCRIPTION DEMOLITION & EROSION CONTROL PLAN

STATUS	DATE	BY
DRAWN BY:	09/21/20	MLT
PLAN CHECKED		
AS-BUILT		
SHEET NO.	C-3 OF 8	



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BOSTON REGION
110 NORTH CARPENTER STREET
CHICAGO, IL

PLAN APPROVALS	DATE
SIGNATURE	
APPROVED MCDONALD'S REPRESENTATIVE	

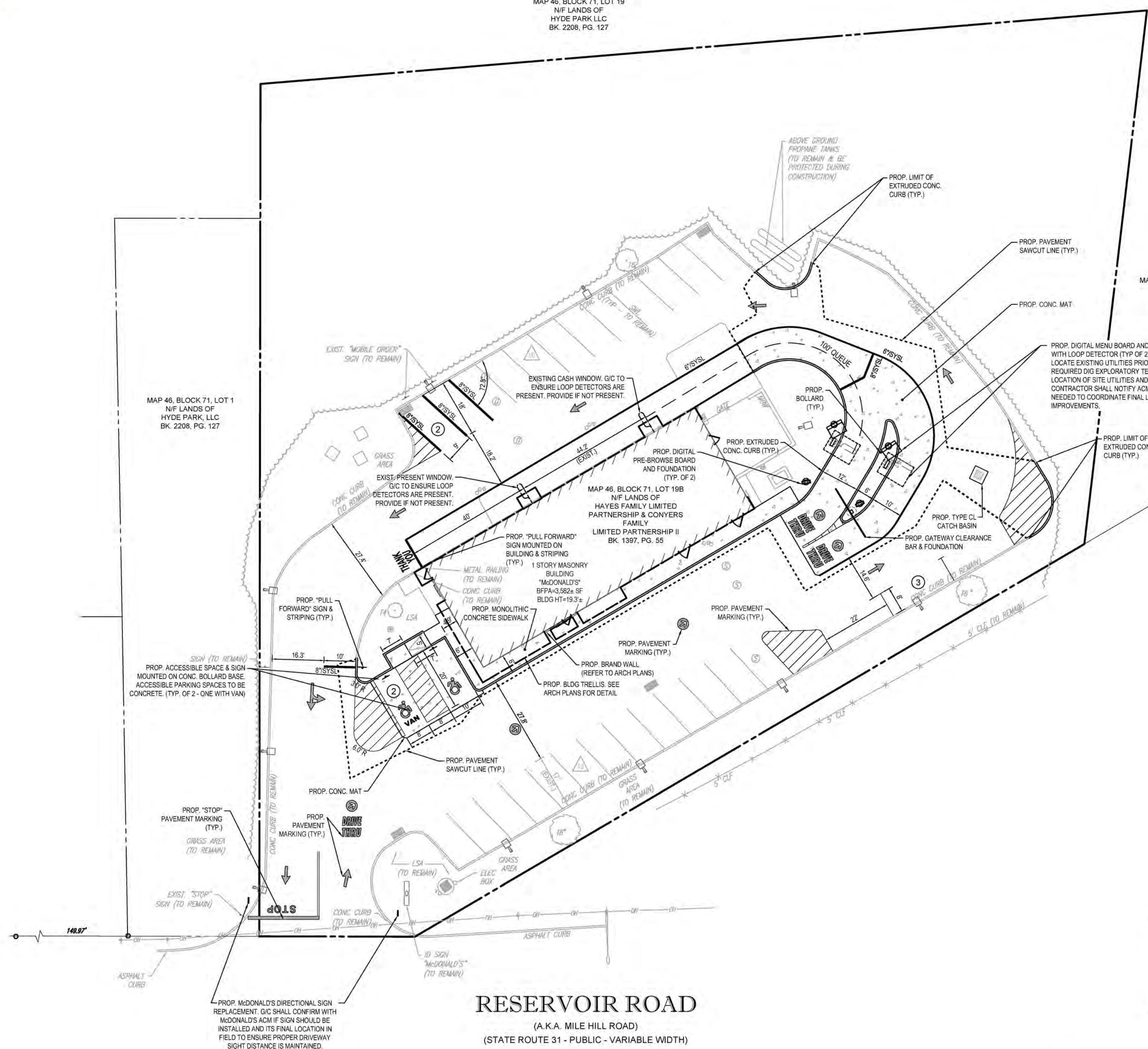
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MAP 46, BLOCK 71, LOT 19
N/F LANDS OF
HYDE PARK LLC
BK. 2208, PG. 127

MAP 46, BLOCK 71, LOT 1
N/F LANDS OF
HYDE PARK, LLC
BK. 2208, PG. 127

MAP 46, BLOCK 71, LOT 19
N/F LANDS OF
HYDE PARK LLC
BK. 2208, PG. 127



RESERVOIR ROAD
(A.K.A. MILE HILL ROAD)

(STATE ROUTE 31 - PUBLIC - VARIABLE WIDTH)

← TWO WAY TRAFFIC (ASPHALT ROADWAY)

LAND USE / ZONING INFORMATION & NOTES

- 1. APPLICANT / OWNER:
CONYERS FAMILY LTD PARTNERSHIP II
1471 PLEASANT VALLEY ROAD
MANCHESTER, CT 06040
- 2. PARCEL:
MAP 46, BLOCK 71, LOT 19B
74 RESERVOIR ROAD
TOWN OF VERNON
TOLLAND COUNTY, CT

ZONING ANALYSIS TABLE			
ZONING DISTRICT	COMMERCIAL (C)		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	22,000 SF	60,585 SF	NO CHANGE
MINIMUM LOT WIDTH	100'	168.4'	NO CHANGE
MIN. FRONT SETBACK	50'	57.6'	57.6'
MIN. SIDE SETBACK	20'	45.6'	48.5'
MIN. REAR SETBACK	50'	108.8'	112.3'
MIN. FLOOR AREA	1,000 SF	3,582 SF	NO CHANGE
PARKING SPACES	30	45	30
PARKING CRITERIA (9x18)	1 PER 50 SF OF PUBLIC FLOOR AREA 1,475 SF / 50 SF = 29.5 - 30 SPACES		
ACCESSIBLE PARKING SPACES	2	2	2
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE- 8'x18' W/ 8' ACCESS AISLE)	TOTAL PARKING 26 TO 50 = 2 ACCESSIBLE SPACES VAN ACCESSIBLE SPACES= 1/6 SPACES		

SIGN SUMMARY TABLE			
TYPE	ALLOWED	EXISTING	PROPOSED
SITE SIGNAGE			
FREESTANDING I.D. SIGN	1 @ 80 SF	1 @ 59 S.F.	NO CHANGE
BUILDING SIGNAGE			
FRONT WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 36.4 X 2 = 72.8 S.F.	1 "M" @ 14 S.F.	1 "M" LOGO @ 14 S.F. 1 "McDONALD'S" SIGN @ 34 SF WALL SIGN AREA = 48 SF
NON DRIVE THRU WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 98.2 X 2 = 196.4 S.F.	1 "M" @ 14 S.F.	1 "M" LOGO @ 14 S.F.
DRIVE THRU WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 98.2 X 2 = 196.4 S.F.		
REAR WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 36.4 X 2 = 72.8 S.F.	1 "M" @ 14 S.F.	
TOTAL BUILDING SIGNAGE	538.4 S.F.	3 @ 42 S.F.	3 @ 62 S.F.

NOTE: ALL SIGNS AREAS ARE "BOXED" FOR CALCULATIONS

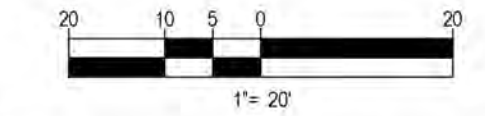
PAVEMENT STRIPING LEGEND	
	6"SYSL = 6" SINGLE YELLOW SOLID LINE
	8"SYSL = 8" SINGLE YELLOW SOLID LINE
	4"SYSL = 4" SINGLE WHITE SOLID LINE

REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

DOOR PULL NOTE: NEW SIDEWALK CONSTRUCTION SHALL BE ADA COMPLIANT WITH EDGE OF NEW SIDEWALK AND ANY OBSTRUCTION, INCLUDING RAILINGS, BEING INSTALLED A MINIMUM OF 24" FROM THE DOOR LATCH.

UTILITY NOTE:
CONTRACTOR SHALL CONFIRM ALL UTILITY & DRAINAGE LOCATIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER IN WRITING IF ANY CONFLICTS OCCUR.



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COMPLIANCE CHECK _____ DATE _____

CONSTRUCTION CHECK _____ DATE _____

CONSTRUCTION CHECK _____ DATE _____

PROJECT No.: CT182026

CAD I.D. #: CT182026ss0.dwg

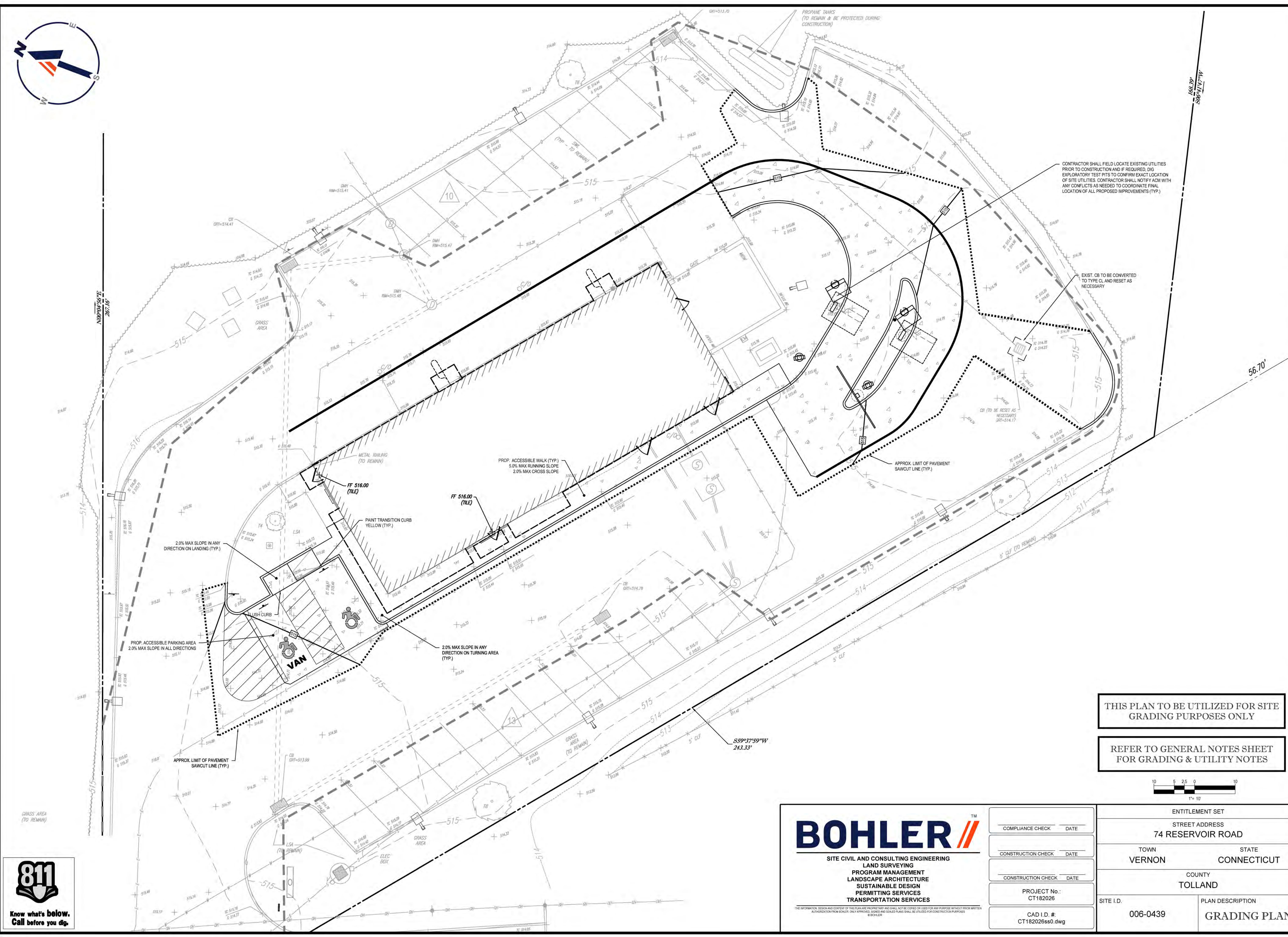
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ENTITLEMENT SET		
STREET ADDRESS 74 RESERVOIR ROAD		
TOWN VERNON	STATE CONNECTICUT	
COUNTY TOLLAND		
SITE I.D. 006-0439	PLAN DESCRIPTION SITE PLAN	

BY			
DESCRIPTION			
DATE			
REV			
G.P. FITZGERALD PROFESSIONAL ENGINEER			
<small>AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION</small>			
PLAN APPROVALS	DATE	OFFICE ADDRESS	
SIGNATURE		BOSTON REGION 110 NORTH CARPENTER STREET CHICAGO, IL	
APPROVED McDONALD'S AGENT			
STATUS	DATE	BY	
DRAWN BY:	09/21/20	MLT	
PLAN CHECKED			
AS-BUILT			
SHEET NO.	C-4		OF 8



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BY	
DESCRIPTION	
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G.P. FITZGERALD PROFESSIONAL ENGINEER	

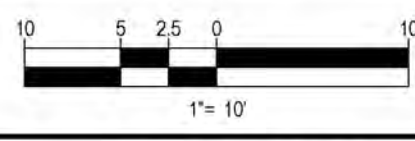
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REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



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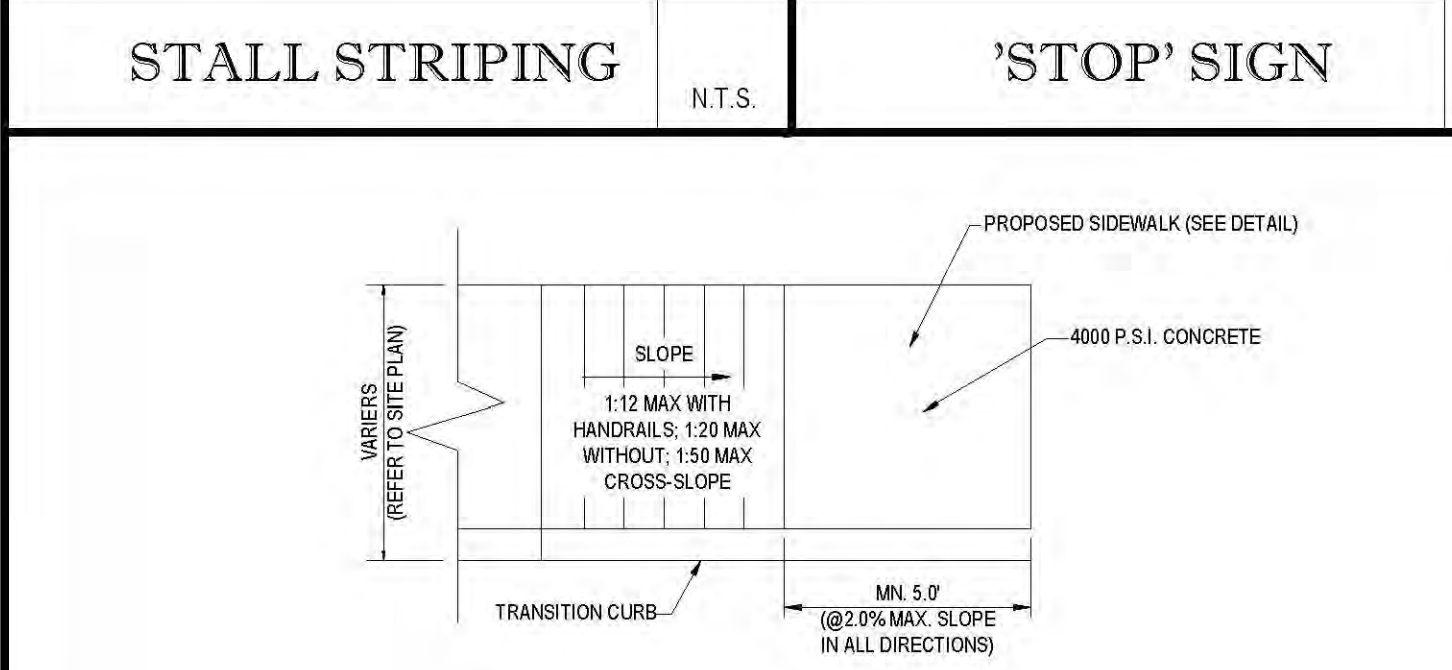
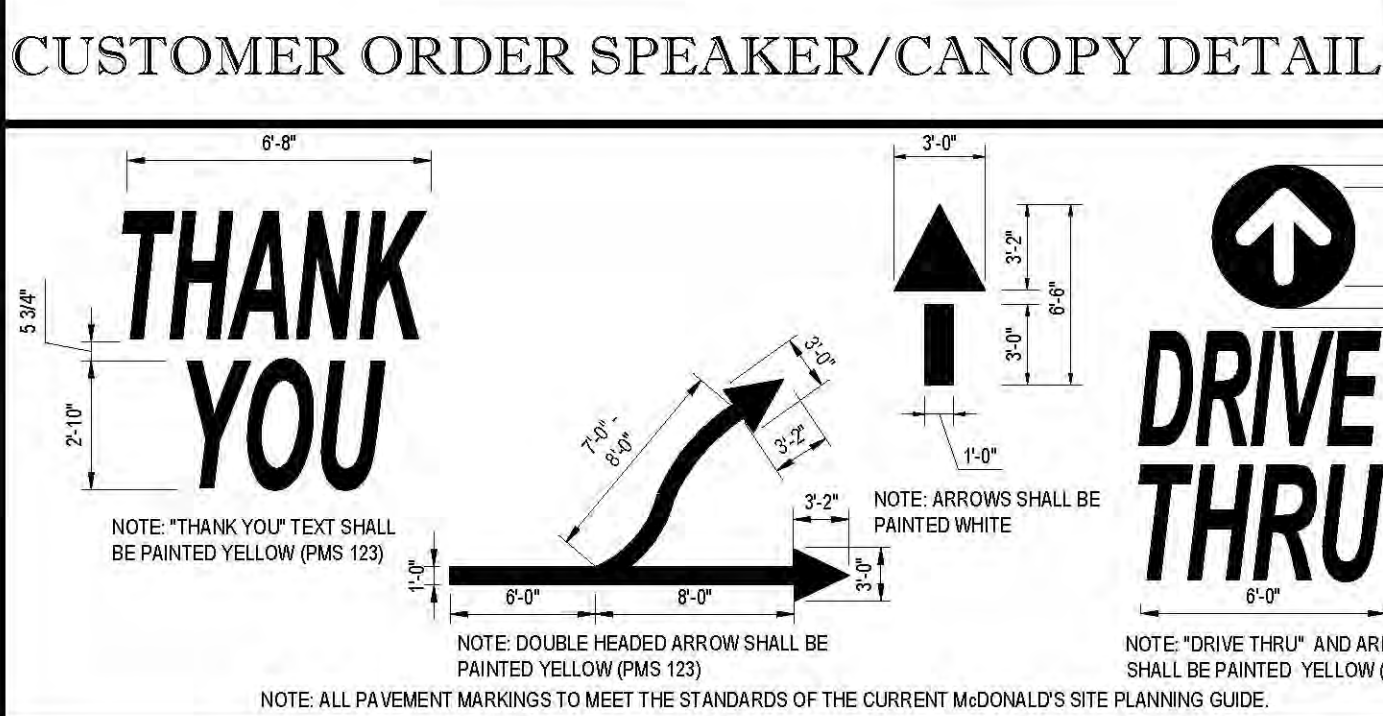
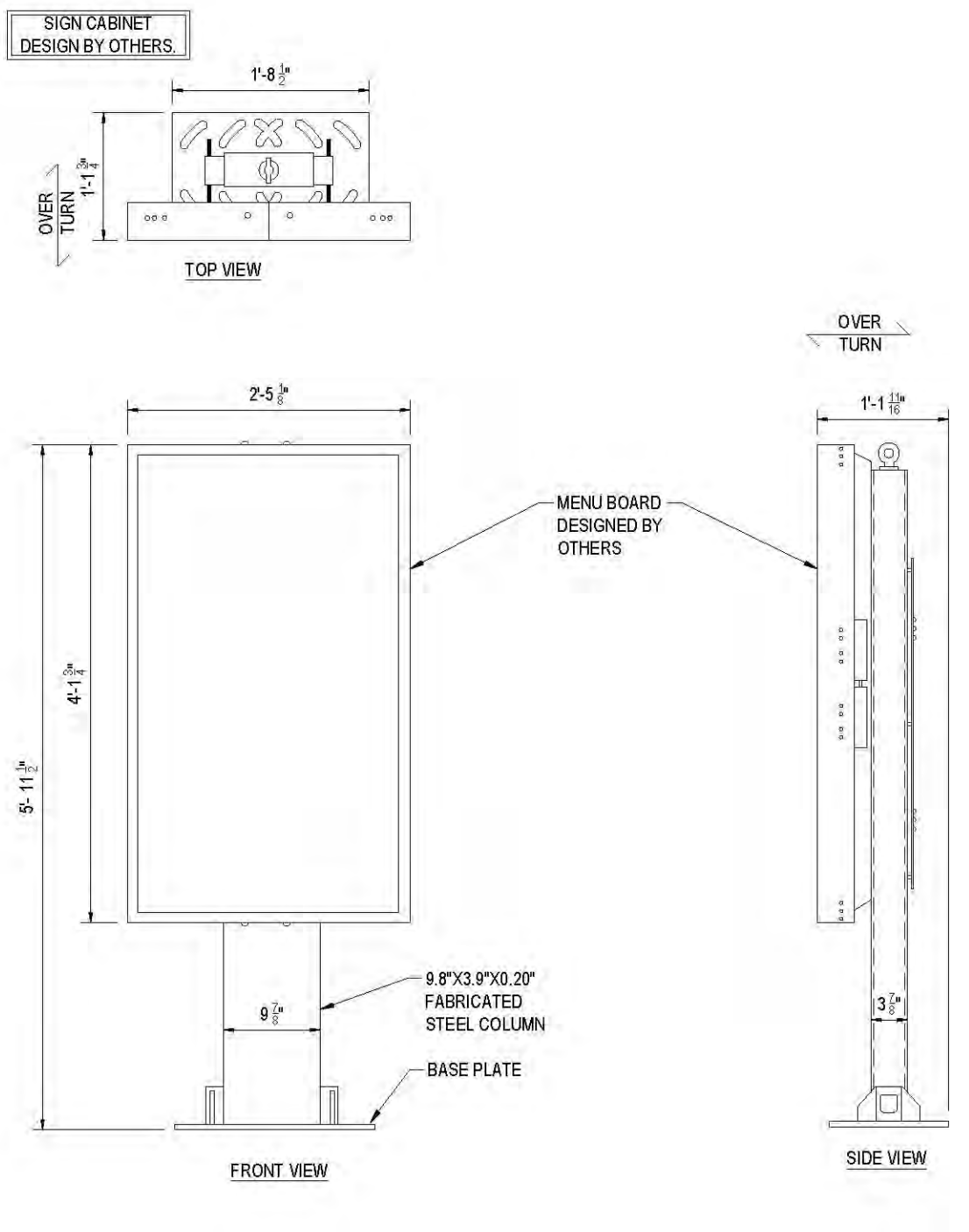
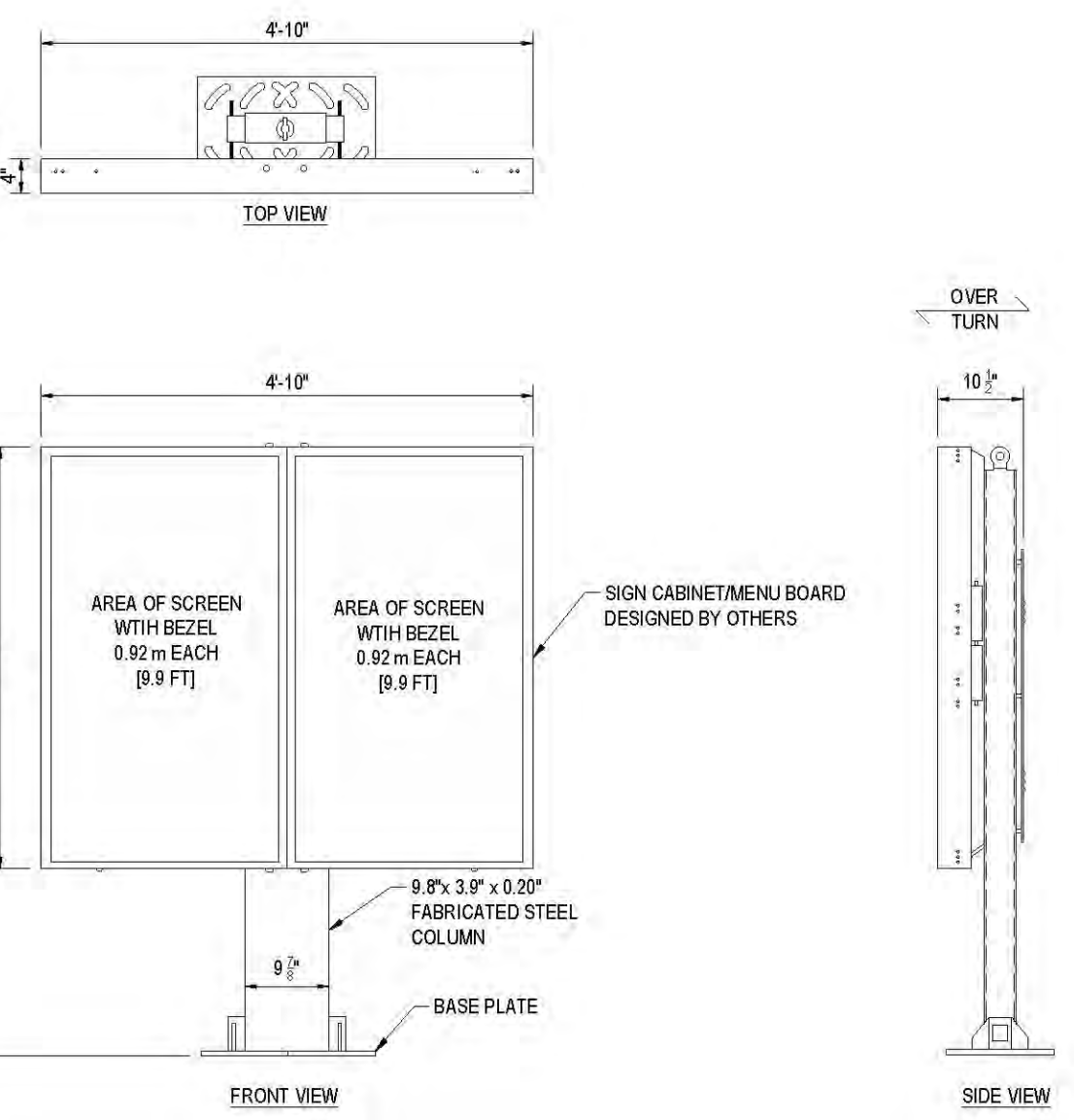
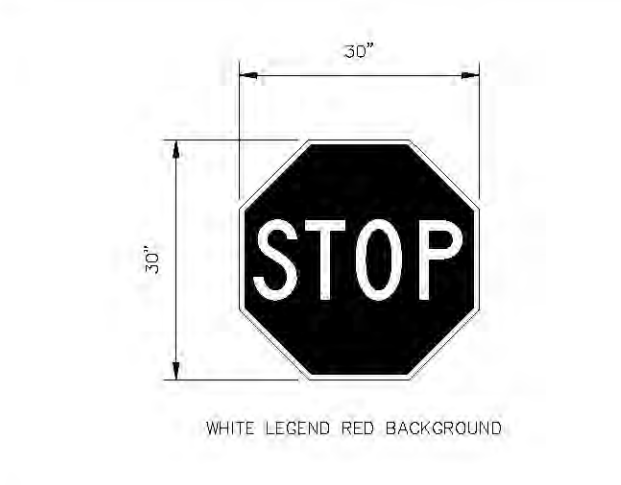
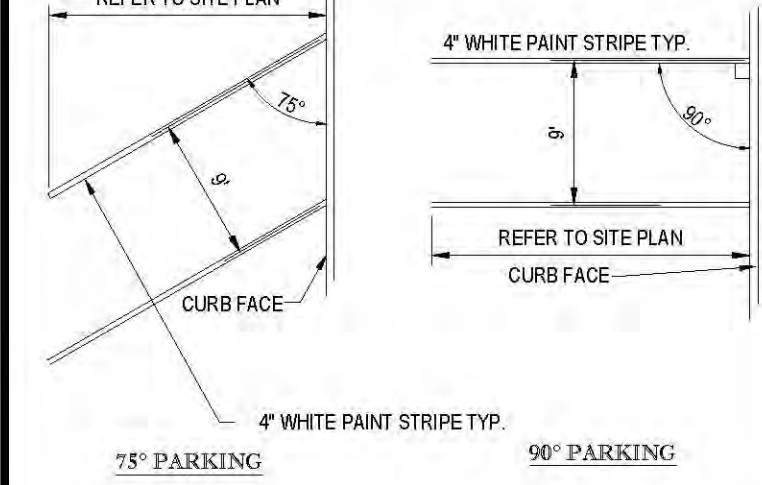
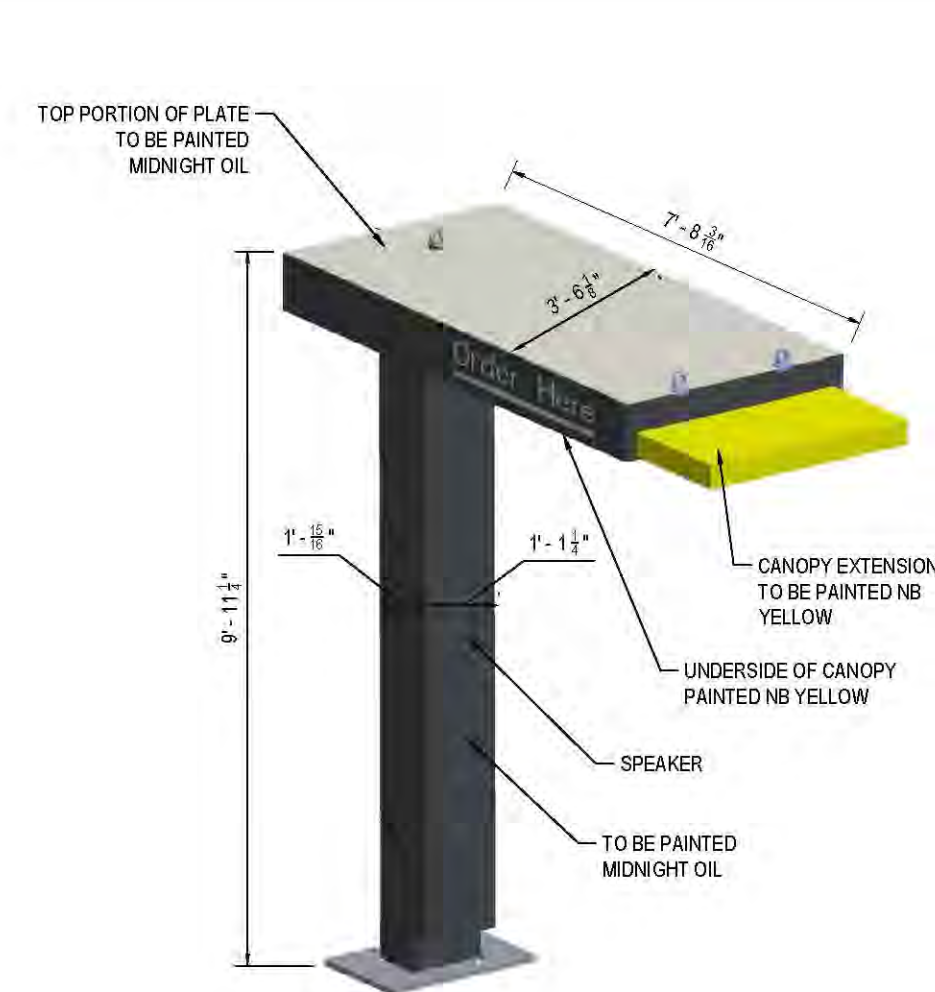
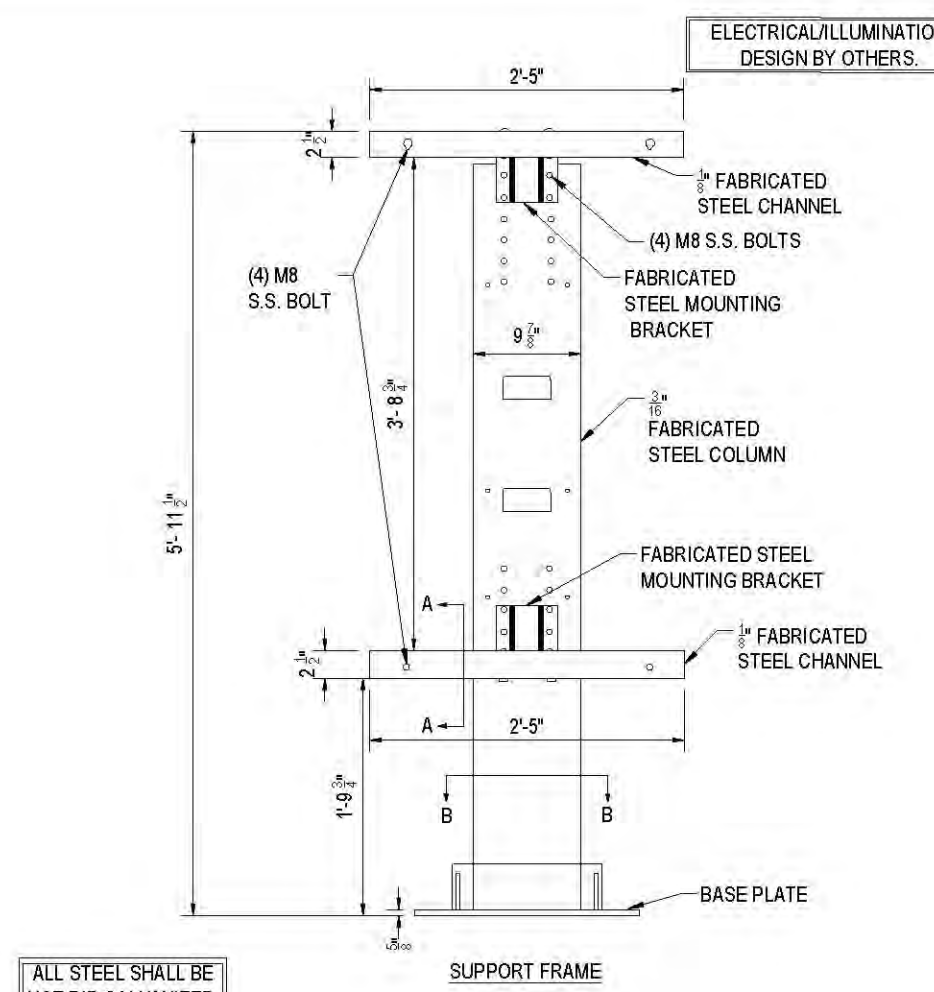
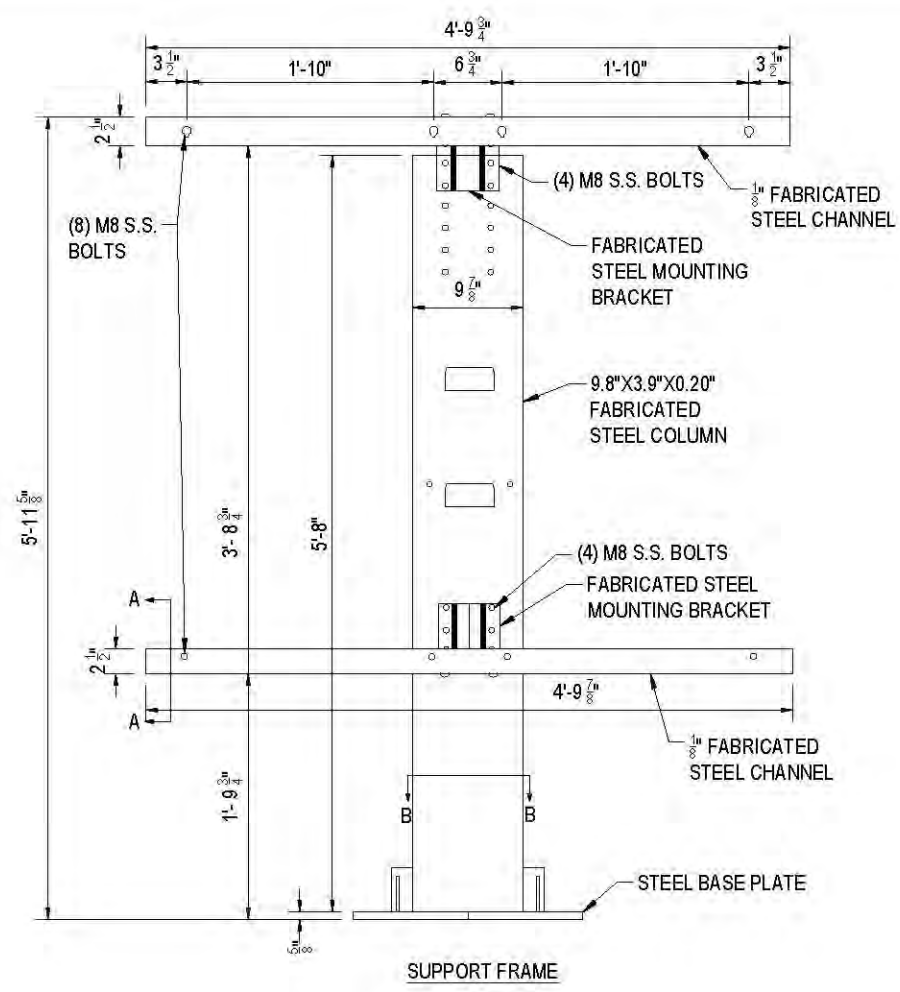
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CONSTRUCTION CHECK	DATE
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ENTITLEMENT SET	
STREET ADDRESS 74 RESERVOIR ROAD	
TOWN VERNON	STATE CONNECTICUT
COUNTY TOLLAND	
SITE I.D. 006-0439	PLAN DESCRIPTION GRADING PLAN

PLAN APPROVALS	DATE	STATUS	DATE	BY
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		AS-BUILT		
		SHEET NO.	C-5 OF 8	



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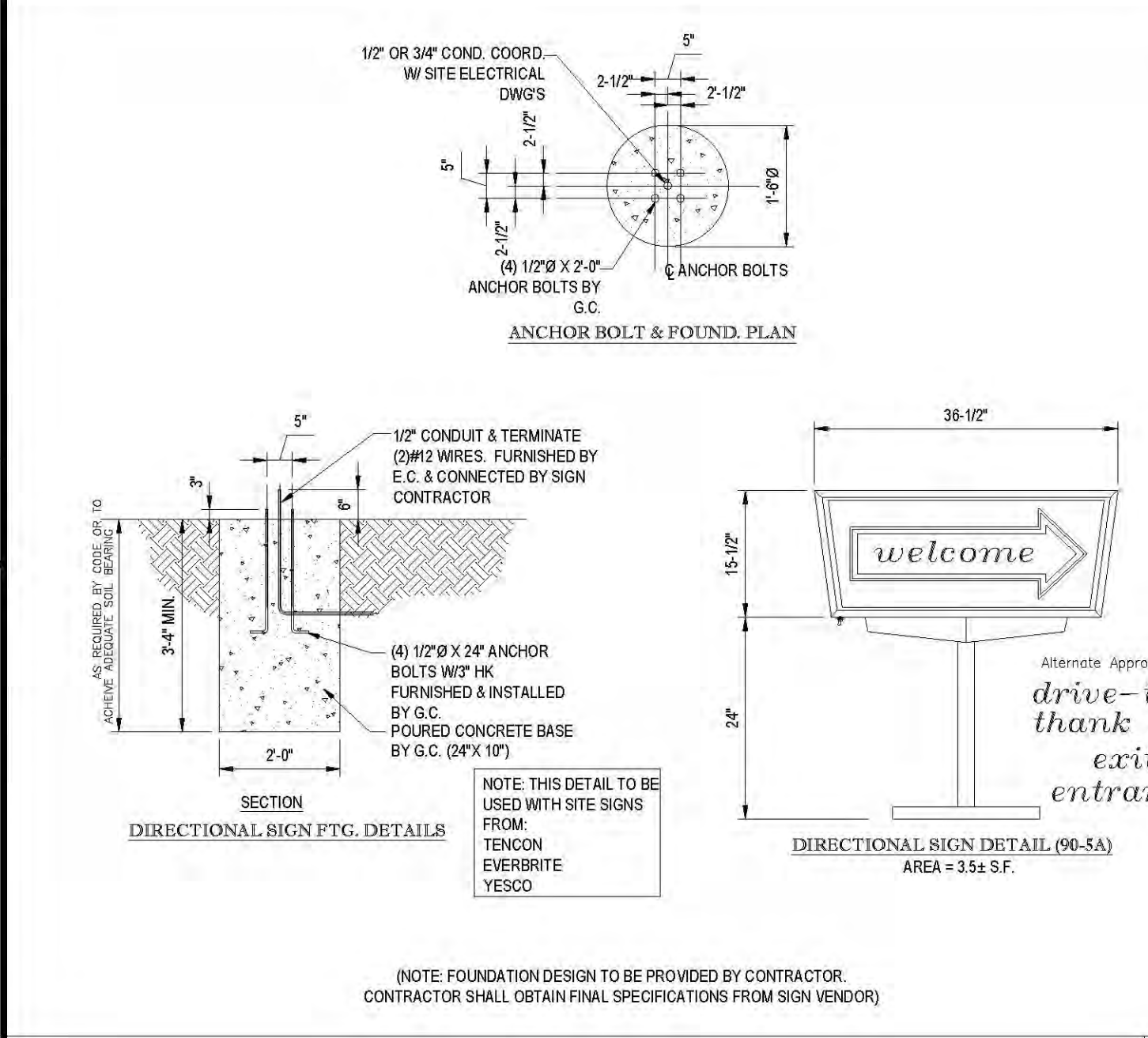
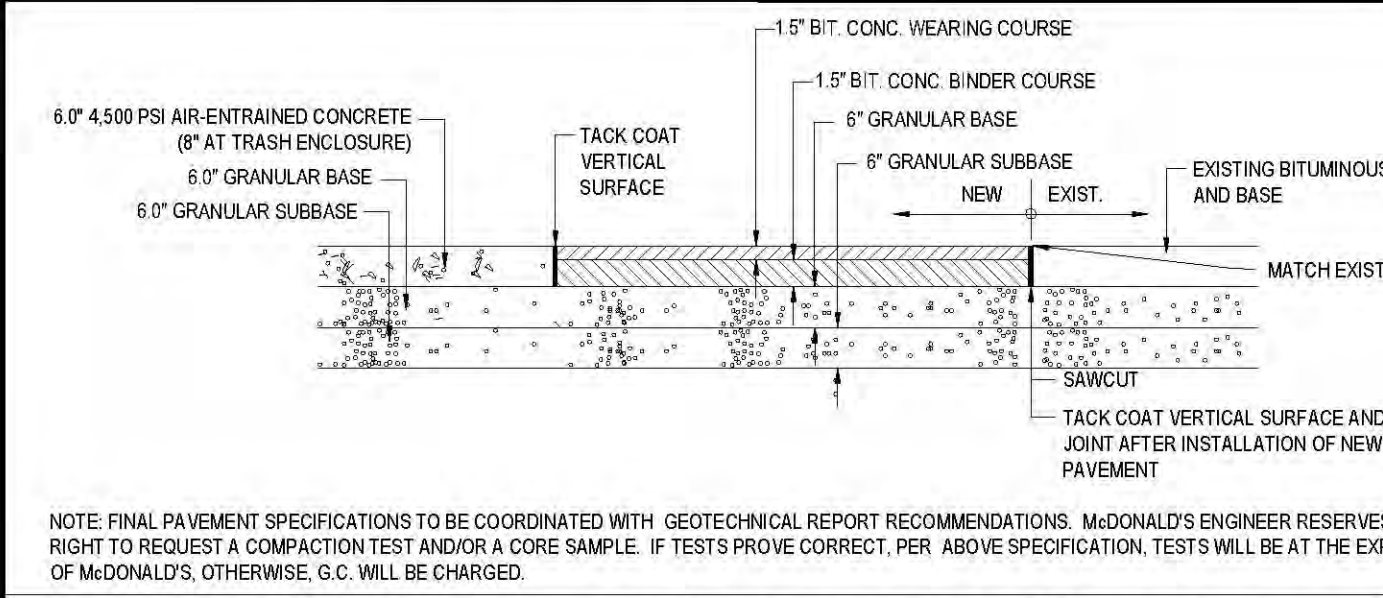


DIGITAL MENU BOARD DETAIL N.T.S.

DIGITAL PRE-BROWSE BOARD DETAIL N.T.S.

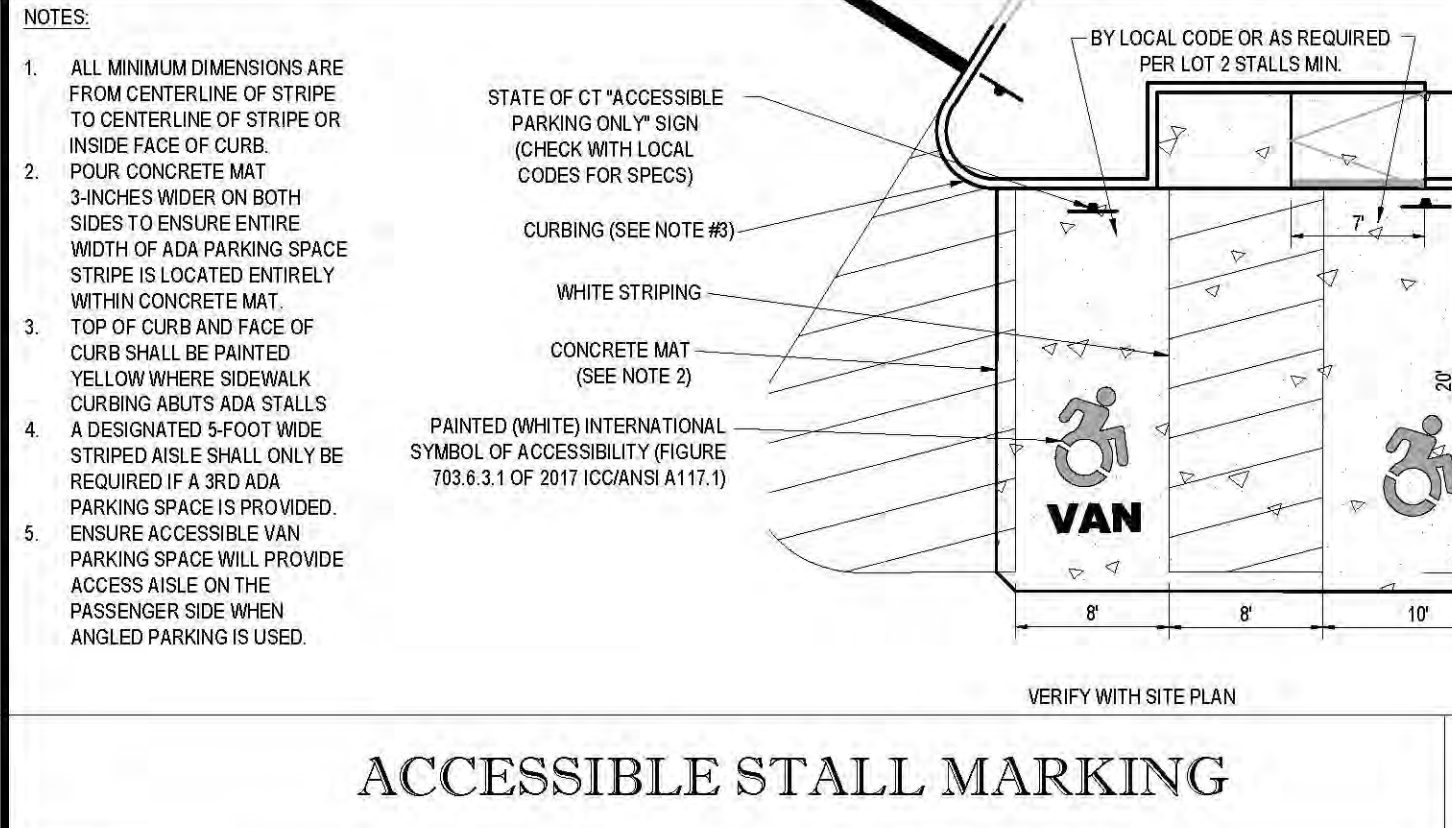
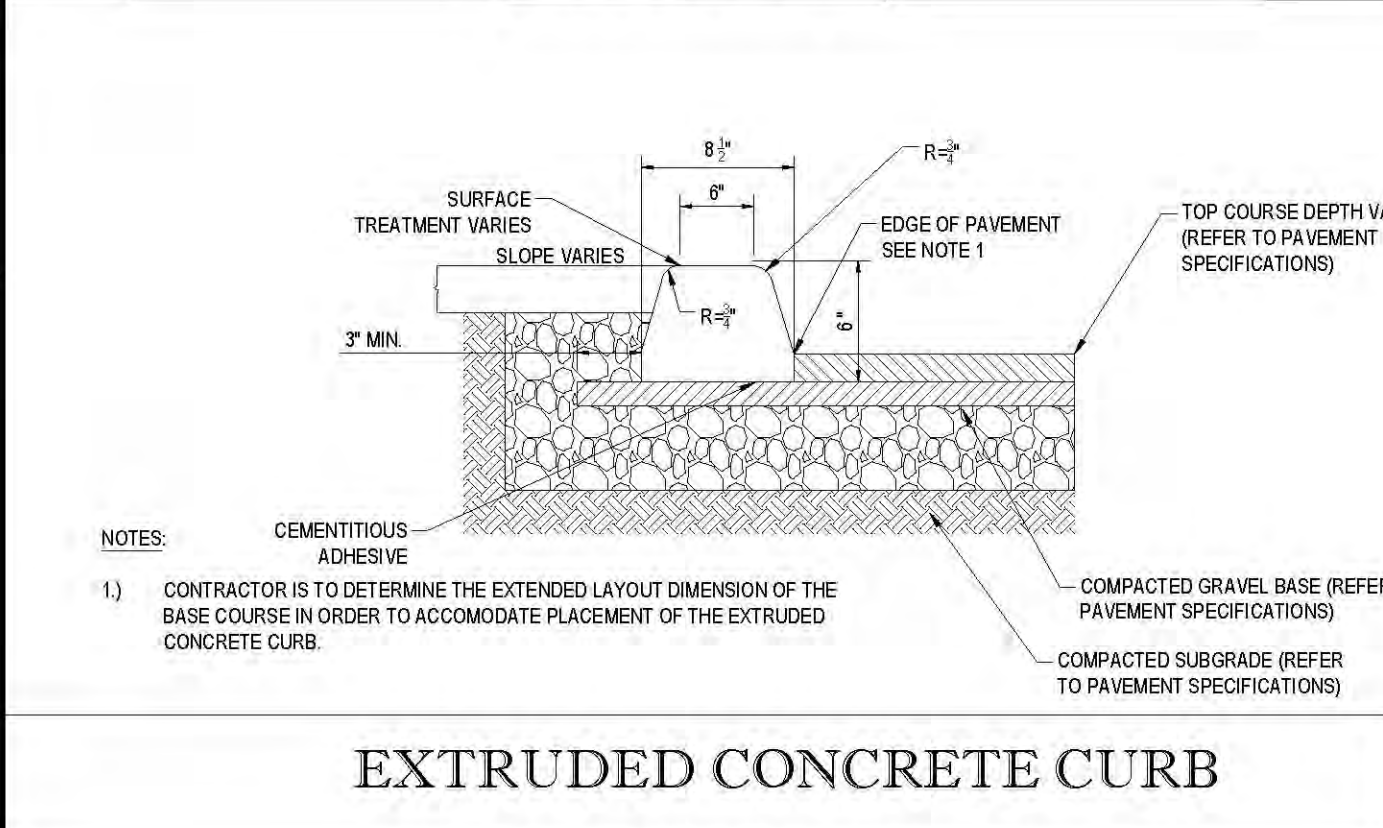
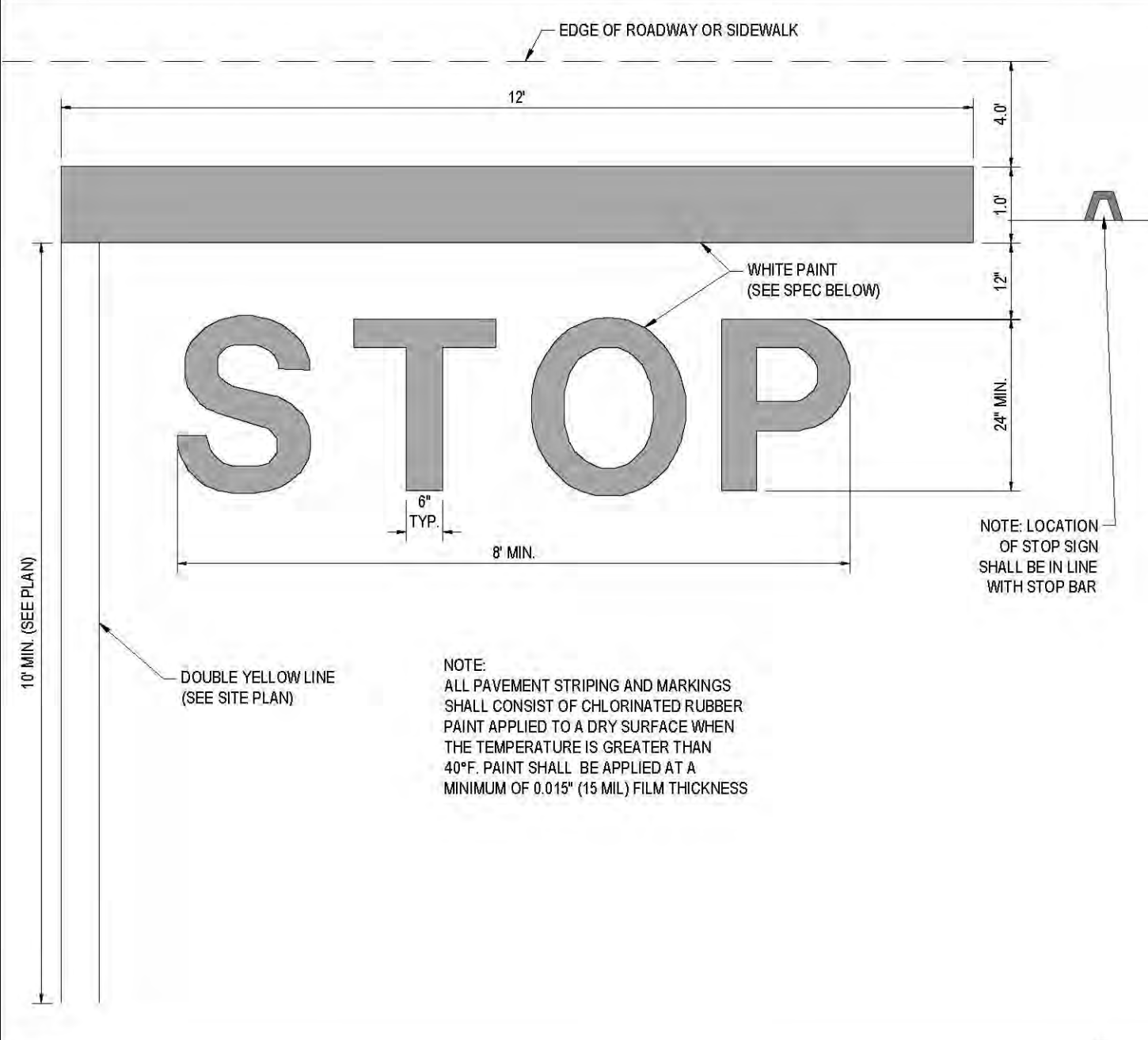
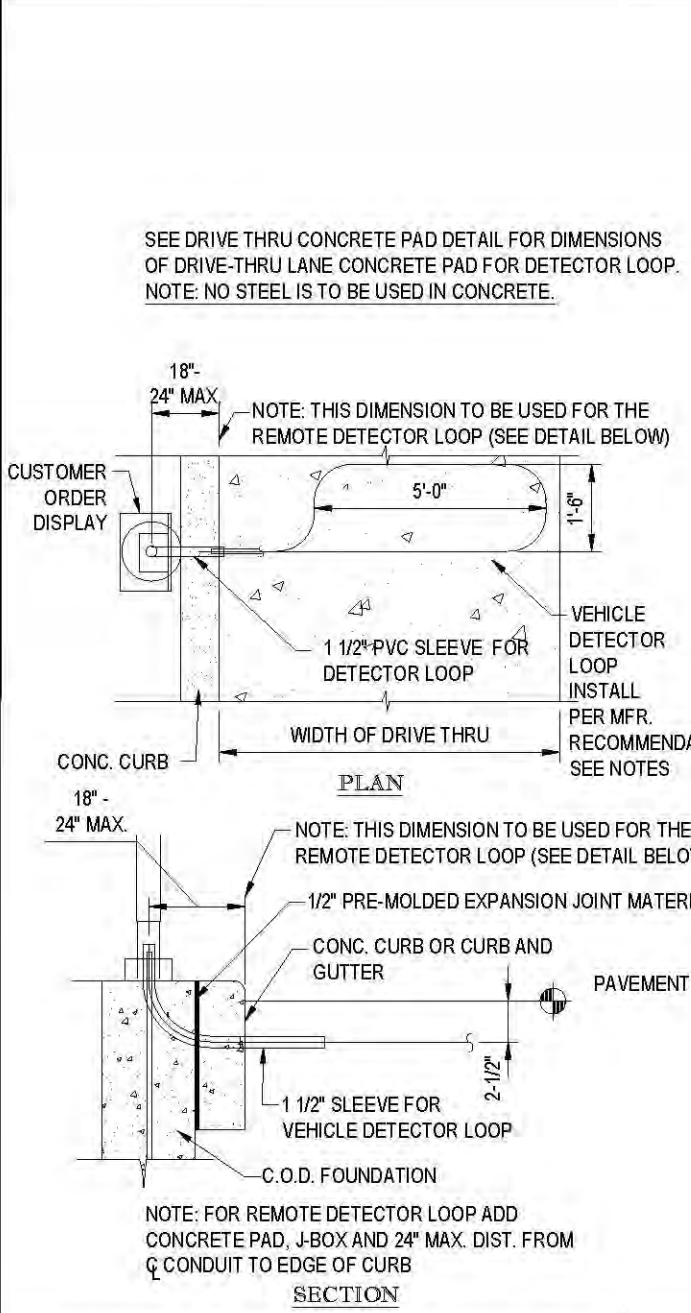
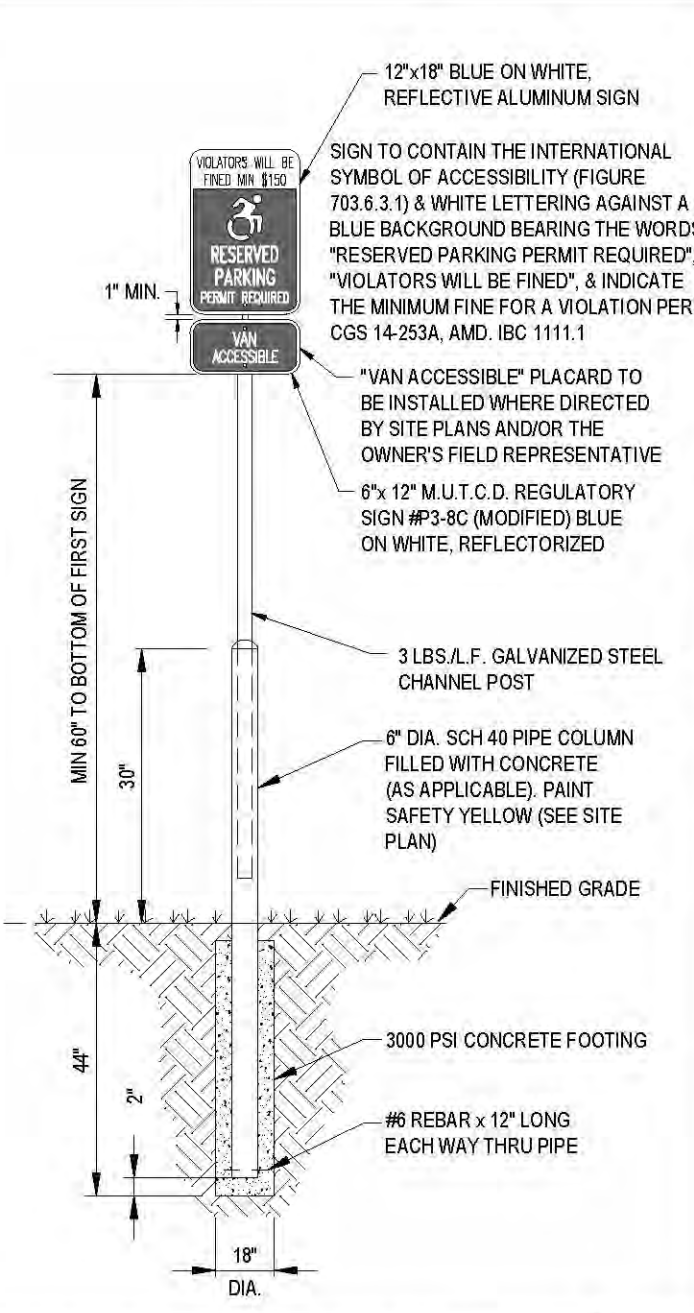
TYPICAL PAVEMENT MARKINGS N.T.S.

ADA COMPLIANT SLOPED SIDEWALK N.T.S.



CONCRETE & BITUMINOUS CONCRETE PAVING DETAIL N.T.S.

McDONALD'S DIRECTIONAL SIGN DETAILS N.T.S.



STATE OF CT 'ACCESSIBLE PARKING ONLY' SIGN N.T.S.

AUTO DETECTOR LOOP DETAIL N.T.S.

'STOP' BAR DETAIL N.T.S.

EXTRUDED CONCRETE CURB N.T.S.

ACCESSIBLE STALL MARKING N.T.S.

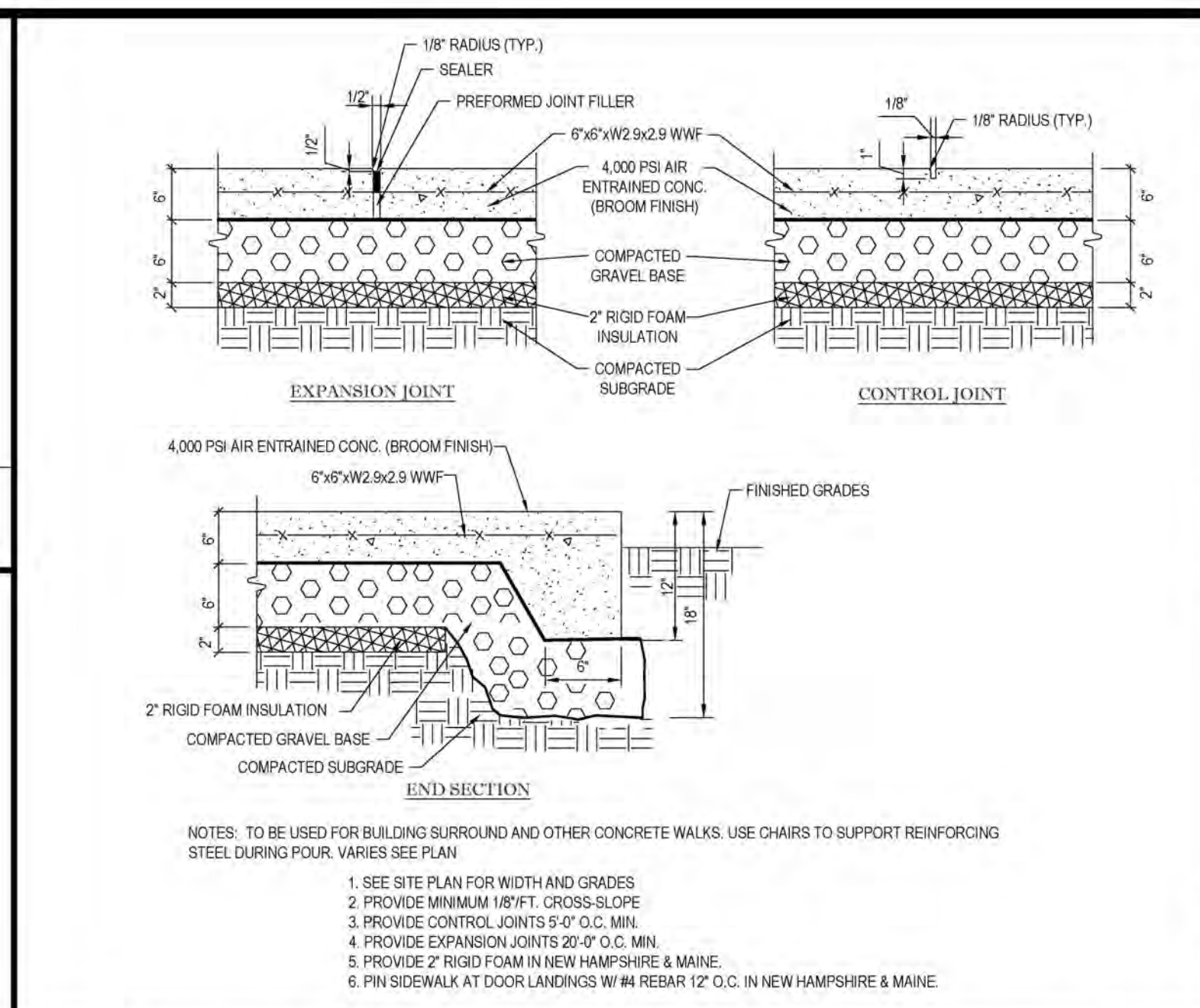
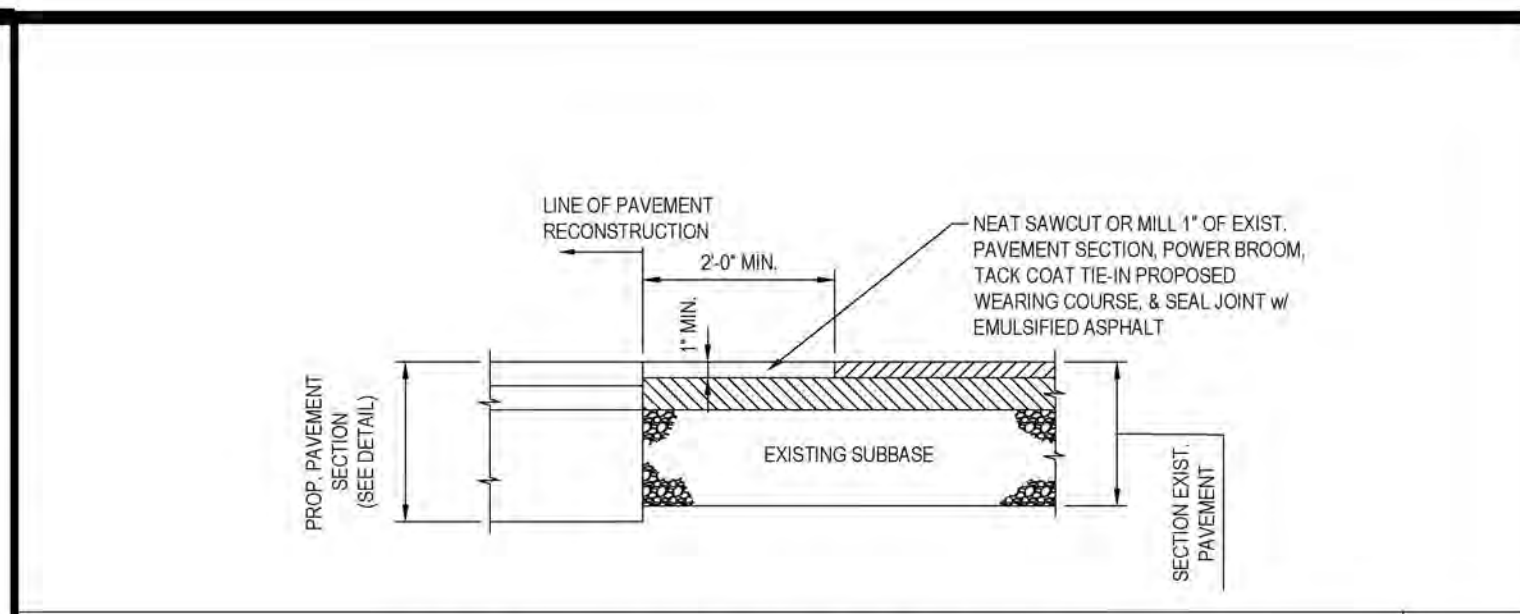
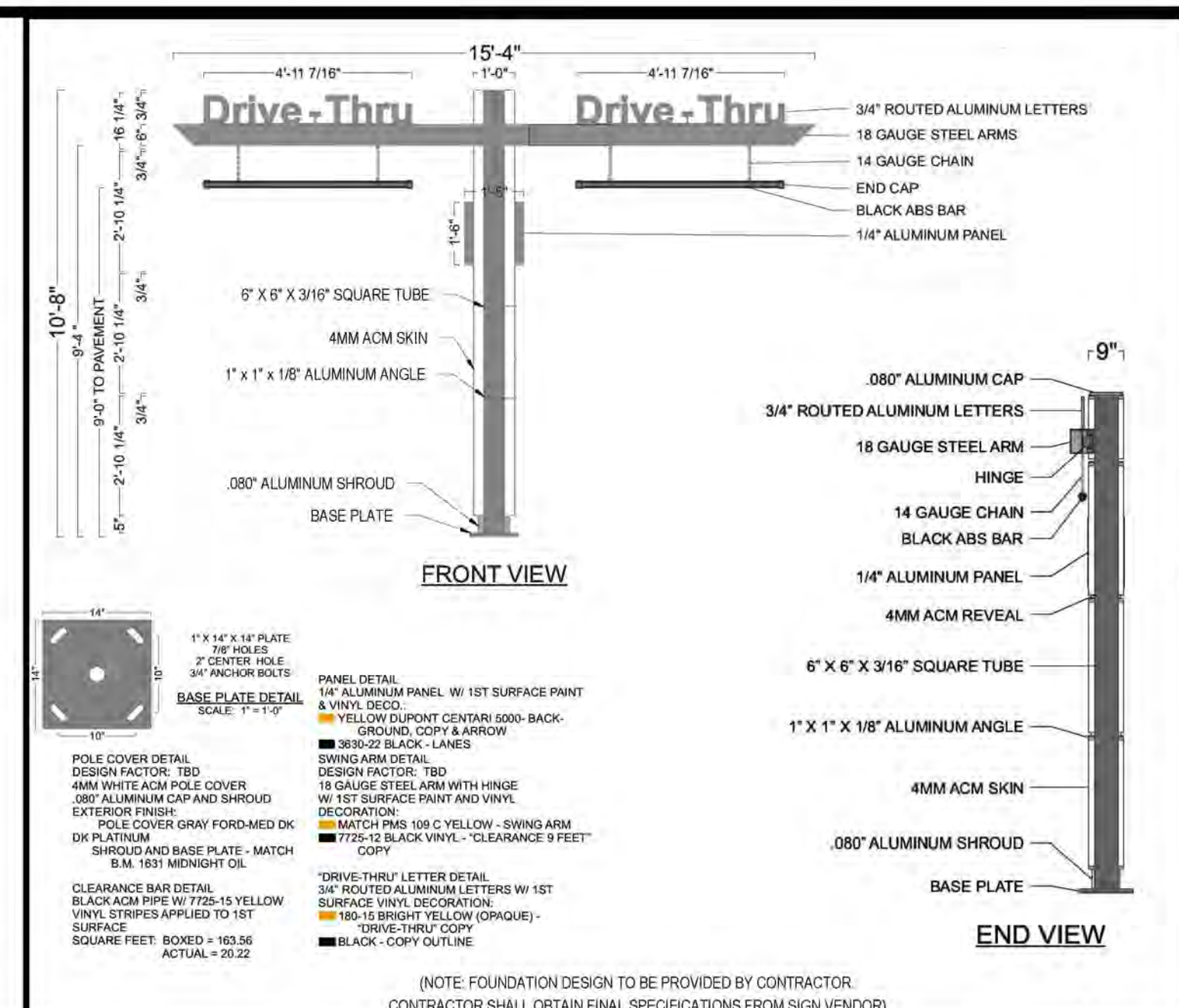
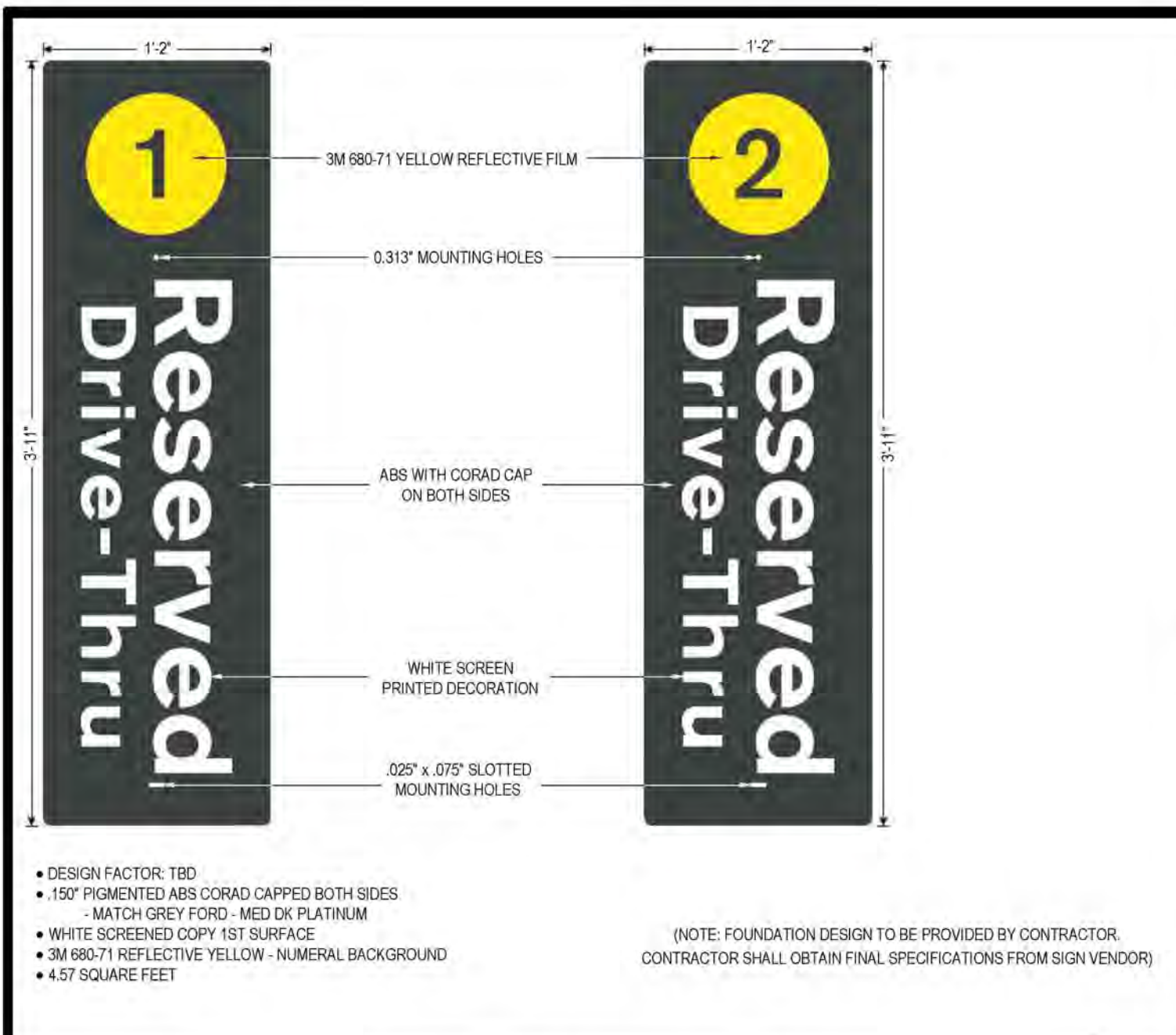
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ENTITLEMENT SET	
STREET ADDRESS 74 RESERVOIR ROAD	
TOWN VERNON	STATE CONNECTICUT
COUNTY TOLLAND	
SITE I.D. 006-0439	PLAN DESCRIPTION DETAIL SHEET

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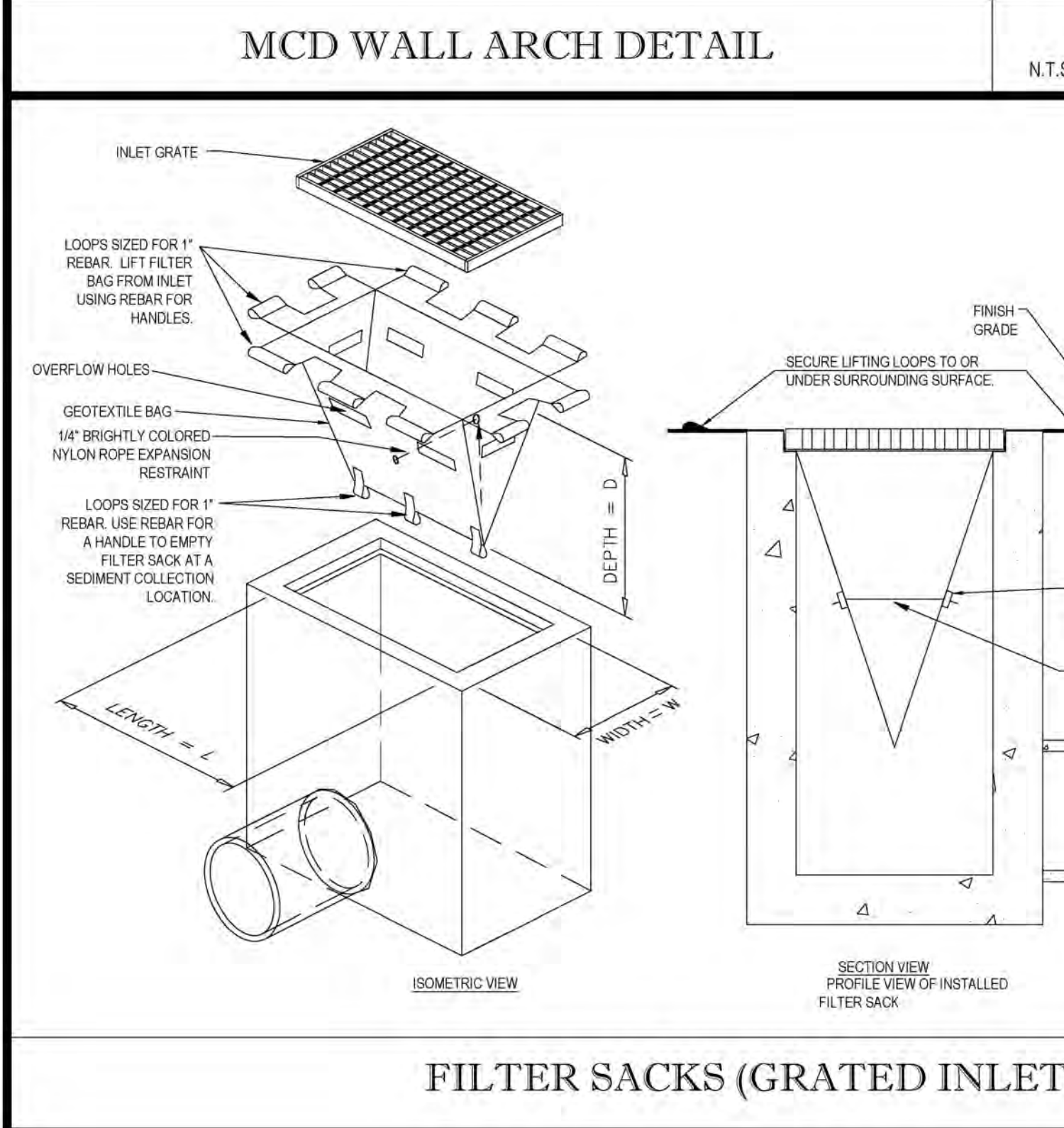
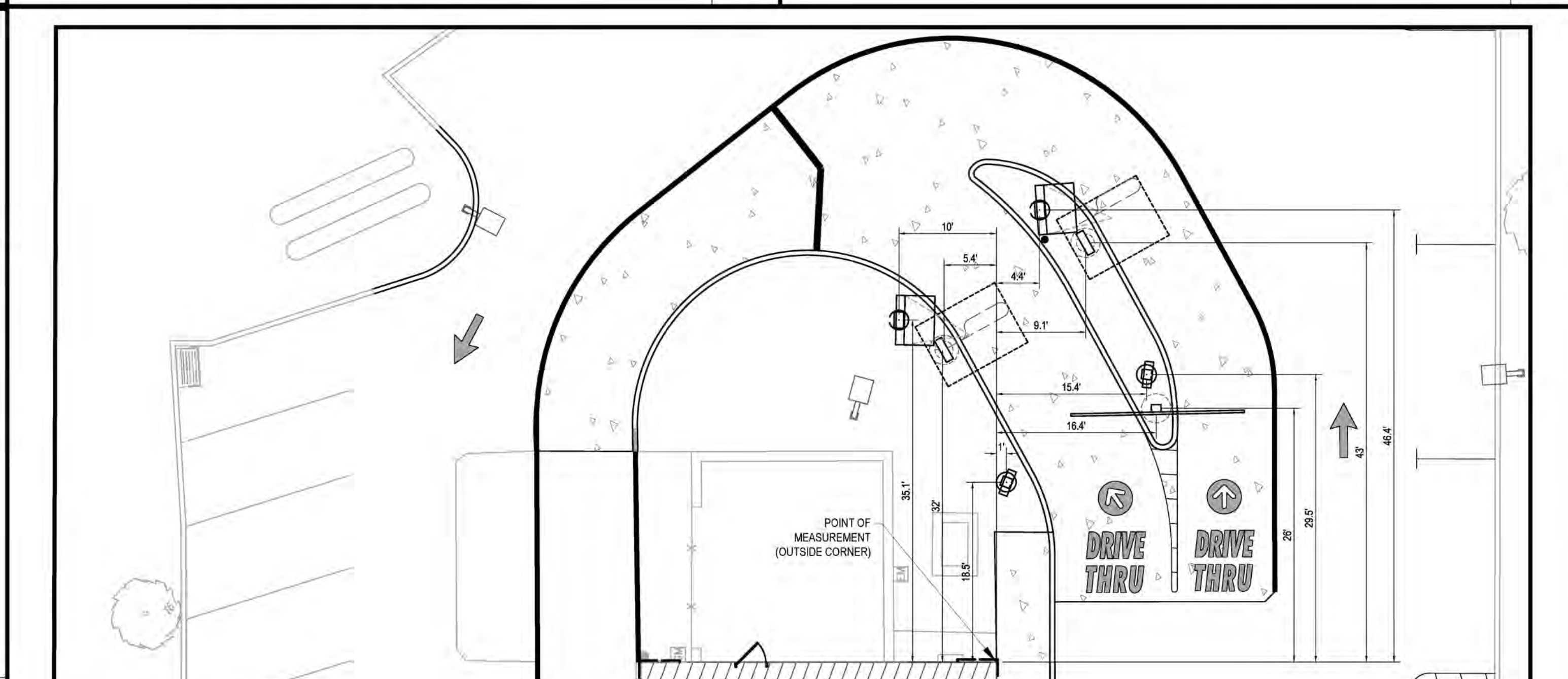
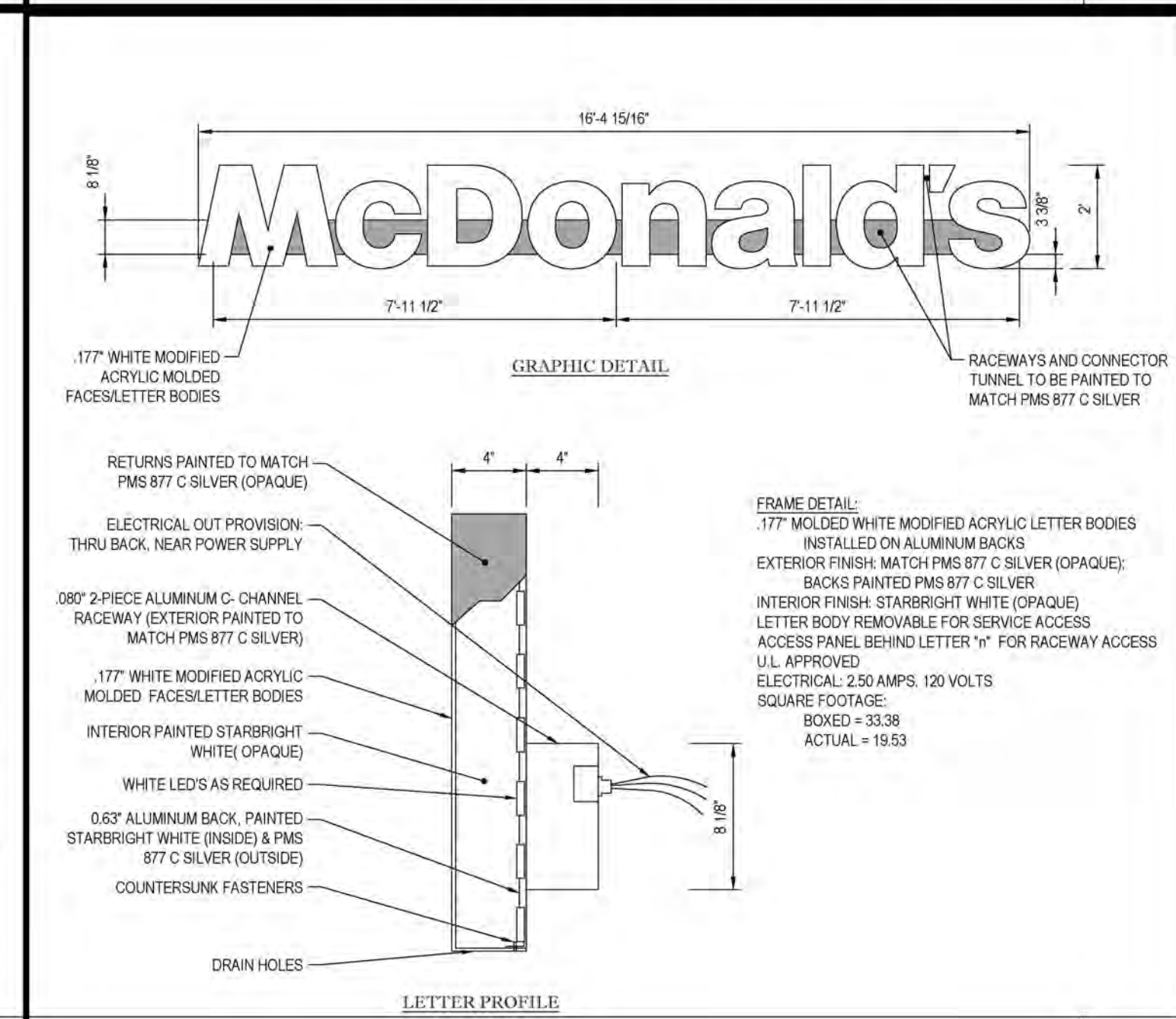
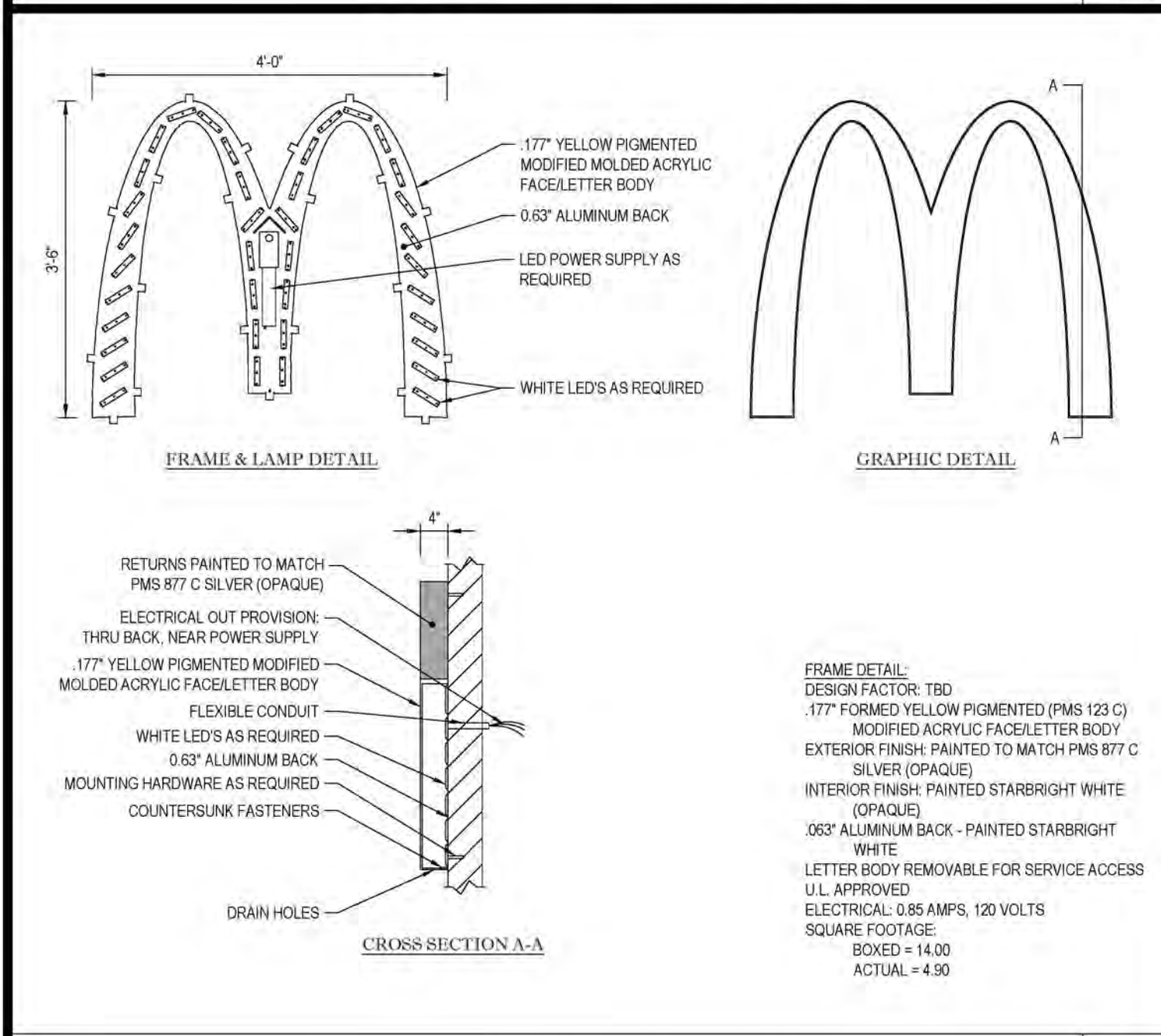


PULL FORWARD SIGN N.T.S.

GATEWAY CLEARANCE BAR N.T.S.

TRANSITION CURB DETAIL N.T.S.

MONOLITHIC CONC. SIDEWALK DETAILS N.T.S.



PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4932	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4932	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4481	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4481	0.55 SEC-1

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4932	255 LBS
GRAB TENSILE ELONGATION	ASTM D-4932	20 %
PUNCTURE	ASTM D-4833	150 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4481	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4481	1.5 SEC-1

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ABSORBENT PAD OR PULLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH "W" OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH "D" OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH "L" OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

TO BE USED IN EXISTING RIGHT OF WAY

STANDARDS & DESIGN TOLERANCES:

- DISTANCE FROM CENTER OF OPEN PRESENT WINDOW TO CENTER OF OPEN CASH WINDOW STANDARD IN 42" AND IS SPECIFIC TO EACH BUILDING CONFIGURATION. ACCEPTABLE TOLERANCE IS 40" MIN ON REMODELS ONLY.
- DISTANCE FROM CENTER OF OPEN CASH WINDOW TO CENTER OF PRIMARY LANE COD IS 100' OPTIMUM, 80' OR 80' MIN. ACCEPTABLE TOLERANCE IS PLUS OR MINUS 5' FOR 100' OR 80' QUEUES.
- THE CENTER OF THE DIGITAL MENU BOARD FOUNDATION IS TO BE 5'-3" (6'-0" MIN AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION. IT SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° (35° PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.
- DIGITAL PRE-BROWSE BOARD MUST BE 18'-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY FROM THE SECOND CAR TO COD.
- A GATEWAY IS REQUIRED AND PLACED AT THE DRIVE-THRU LANE ENTRANCE.

THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL AND CONSIDERED "RED". ONCE APPROVED, NO CHANGES ARE TO BE MADE AFTER THIS POINT.

NOTE: THE PLACEMENT OF THE CODs SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

NOTE: LINEAR DIMENSIONS ARE MEASURED PERPENDICULAR TO THE BUILDING FACES SHOWN UNLESS OTHERWISE NOTED.

NOTE: ALL SIGN BOLLARDS ARE TO BE 18"-24" FROM FACE OF CURB, THIS IS MEASURED FROM THE CLOSEST POINT ON THE SIGN.

SCALE: 1"=10'

BOHLER™

SITE CIVIL AND CONSULTING ENGINEERING

LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE
PROJECT No.: CT182026
CAD I.D. #: CT182026s0.dwg

ENTITLEMENT SET
STREET ADDRESS
74 RESERVOIR ROAD
TOWN VERNON STATE CONNECTICUT
COUNTY TOLLAND

SITE I.D. 006-0439
PLAN DESCRIPTION
DETAIL SHEET

STATUS DATE BY
DRAWN BY: 09/21/20 MLT
PLAN CHECKED
AS-BUILT
SHEET No. C-7 OF 8

G.P. FITZGERALD
PROFESSIONAL ENGINEER

McDonald's

BOSTON REGION
110 NORTH CARPENTER STREET
CHICAGO, IL

OFFICE ADDRESS
DATE
SIGNATURE
APPROVED: MCDONALD'S REPRESENTATIVE

PLAN APPROVALS

BY
DATE
REV
DESCRIPTION

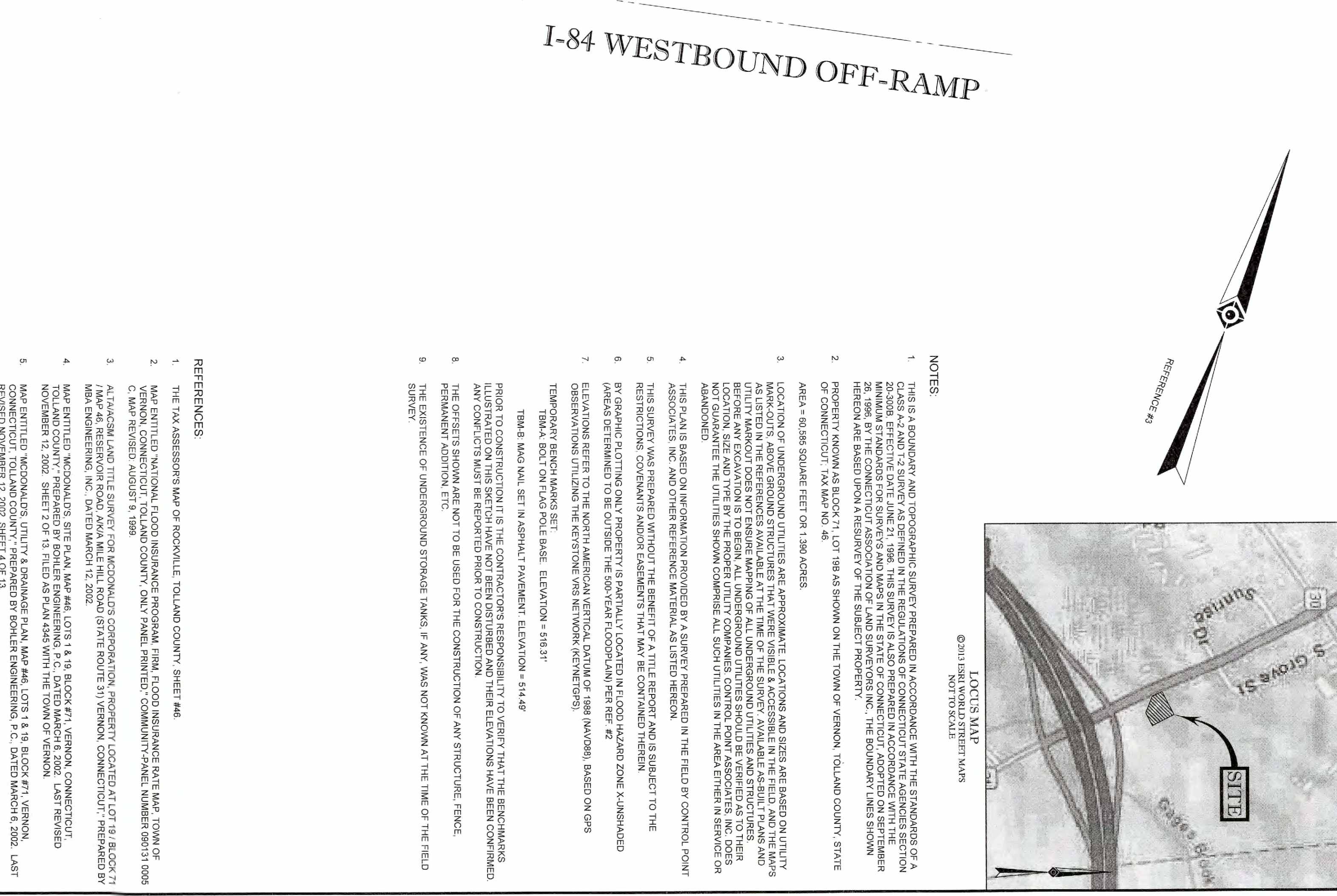
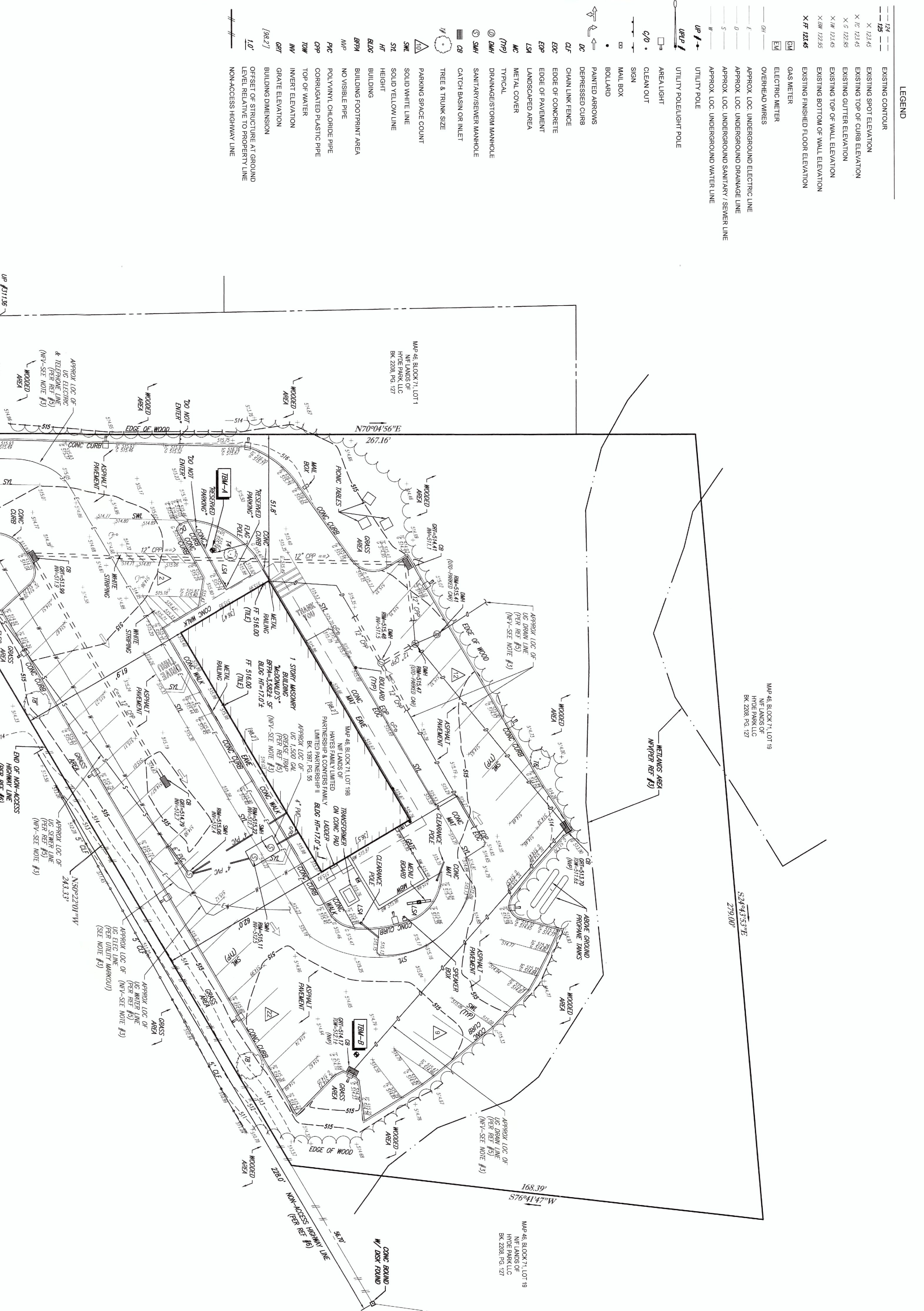
UTILITIES
 THE FOLLOWING COMPANIES WERE NOTIFIED BY CONNECTICUT ONE-CALL SYSTEM
 (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND UTILITIES AFFECTING
 AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON
 IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.
 SERIAL NUMBER(S) 2019049591

UTILITY COMPANY
 CONNECTICUT WATER CORPORATION
 ENERGI SOURCE ELECTRIC
 CONNECTICUT WATER COMPANY
 FRONTIER COMMUNICATIONS
 TOWN OF VERNON - WPCA

PHONE NUMBER
 860-565-3156
 860-778-8140
 1-800-286-5700
 1-800-586-9228
 860-570-5999

UTILITY
 UTILITY POLE/LIGHT POLE
 AREA LIGHT
 CLEAN OUT
 SIGN
 MAIL BOX
 ROLLARD
 PAINTED ARROWS
 DEPRESSION CURB
 CHAIN LINK FENCE
 EDGE OF CONCRETE
 EDGE OF PAVEMENT
 LANDSCAPED AREA
 METAL COVER
 TYPICAL
 DRAINAGE/STORM MANHOLE
 SANITARY/SEWER MANHOLE
 CATCH BASIN OR INLET
 TREE & TRUNK SIZE
 PARKING SPACE COUNT
 SOLID WHITE LINE
 SOLID YELLOW LINE
 HEIGHT
 BUILDING
 BUILDING FOOTPRINT AREA
 NO VISIBLE PIPE
 POLYVINYL CHLORIDE PIPE
 CORRUGATED PLASTIC PIPE
 TOP OF WATER
 INVERT ELEVATION
 GREAT ELEVATION
 BUILDING DIMENSION
 OFFSET OF STRUCTURE AT GROUND
 LEVEL RELATIVE TO PROPERT LINE
 NON-ACCESS HIGHWAY LINE

LEGEND
 --- 1/4" --- EXISTING CONTOUR
 --- 1/8" --- EXISTING SPOT ELEVATION
 --- X 1/8" 23.46 --- EXISTING TOP OF CURB ELEVATION
 --- X 1/8" 23.46 --- EXISTING GUTTER ELEVATION
 --- X 1/8" 23.46 --- EXISTING TOP OF WALL ELEVATION
 --- X 1/8" 23.46 --- EXISTING BOTTOM OF WALL ELEVATION
 --- X 1/8" 23.46 --- EXISTING FINISHED FLOOR ELEVATION
 --- G.M. --- GAS METER
 --- E.M. --- ELECTRIC METER
 --- O.M. --- OVERHEAD WIRE
 --- U.M. --- APPROX. LOC. UNDERGROUND UTILITY LINE
 --- A.M. --- APPROX. LOC. UNDERGROUND DRAINAGE LINE
 --- S.M. --- APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
 --- W.M. --- APPROX. LOC. UNDERGROUND WATER LINE
 --- U.P. --- UTILITY POLE
 --- A.L. --- AREA LIGHT
 --- C.O. --- CLEAN OUT
 --- S. --- SIGN
 --- M.B. --- MAIL BOX
 --- R. --- ROLLARD
 --- P.A. --- PAINTED ARROWS
 --- D.C. --- DEPRESSION CURB
 --- C.L.F. --- CHAIN LINK FENCE
 --- E.C. --- EDGE OF CONCRETE
 --- E.P. --- EDGE OF PAVEMENT
 --- L.S. --- LANDSCAPED AREA
 --- M.C. --- METAL COVER
 --- T. --- TYPICAL
 --- D.S.M. --- DRAINAGE/STORM MANHOLE
 --- S.S.M. --- SANITARY/SEWER MANHOLE
 --- C.B. --- CATCH BASIN OR INLET
 --- T.S. --- TREE & TRUNK SIZE
 --- P.S.C. --- PARKING SPACE COUNT
 --- S.W.L. --- SOLID WHITE LINE
 --- S.Y.L. --- SOLID YELLOW LINE
 --- H. --- HEIGHT
 --- B. --- BUILDING
 --- B.F.A. --- BUILDING FOOTPRINT AREA
 --- N.V.P. --- NO VISIBLE PIPE
 --- P.V.C.P. --- POLYVINYL CHLORIDE PIPE
 --- C.P.P. --- CORRUGATED PLASTIC PIPE
 --- T.O.W. --- TOP OF WATER
 --- I.E. --- INVERT ELEVATION
 --- G.E. --- GREAT ELEVATION
 --- B.D. --- BUILDING DIMENSION
 --- O.S. --- OFFSET OF STRUCTURE AT GROUND
 LEVEL RELATIVE TO PROPERT LINE
 --- N.A.H.L. --- NON-ACCESS HIGHWAY LINE



THE STATE OF CONNECTICUT DEPARTMENT OF CONSTRUCTION
 ENGINEERING REGISTRATION DIVISION
 THE OFFICE OF THE REGISTERED PROFESSIONAL ENGINEER
 1000 STATE STREET, SUITE 1000, HARTFORD, CT 06103

BOUNDARY & TOPOGRAPHIC SURVEY
 MCDONALD'S USA, LLC
 74 RESERVOIR ROAD
 MCDONALD'S MAP 46, BLOCK 71, LOT 19B
 L/C# 006-0439 TOWN OF VERNON, STATE OF CONNECTICUT

JAMES C. WEED
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF CONNECTICUT
 LICENSE NO. 10000

THIS IS TO CERTIFY THAT THIS SURVEY HAS BEEN
 PERFORMED IN THE FIELD UNDER MY SUPERVISION OF
 ACCURACY AND COMPLETION TO THE BEST OF MY
 KNOWLEDGE AND BELIEF.
 DATE: 10-12-18

NOT A VALID ORIGINAL DOCUMENT UNLESS EMPLOYED
 WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL

REFERENCES:
 1. THE TAX ASSESSOR'S MAP OF ROCKWELL, TOLLAND COUNTY, SHEET #46
 2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP TOWN OF VERNON, CONNECTICUT, TOLLAND COUNTY, ONLY PANEL, PRINTED: COMMUNITY-PANEL NUMBER 090131 0005 C, MAP REVISED: AUGUST 9, 1989
 3. ATTACHMENT LAND TITLE SURVEY FOR MCDONALD'S PROPERTY LOCATED AT LOT 19 B, BLOCK 71, MAP 46, RESERVOIR ROAD, AKA MILE HILL ROAD (STATE ROUTE 31) VERNON, CONNECTICUT, PREPARED BY M&A ENGINEERING, INC., DATED MARCH 12, 2002
 4. MAP ENTITLED "MCDONALD'S SITE PLAN, MAP #46, LOTS 1 & 18, BLOCK #71, VERNON, CONNECTICUT, TOLLAND COUNTY," PREPARED BY BOHLER ENGINEERING, P.C., DATED MARCH 6, 2002
 5. MAP ENTITLED "MCDONALD'S UTILITY & DRAINAGE PLAN, MAP #46, LOTS 1 & 18, BLOCK #71, VERNON, CONNECTICUT, TOLLAND COUNTY," PREPARED BY BOHLER ENGINEERING, P.C., DATED MARCH 6, 2002. LAST REVISED NOVEMBER 12, 2002, SHEET 14 OF 15
 6. MAP ENTITLED "CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF VERNON INTERSTATE 84 FROM THE MANCHESTER TOWN LINE EASTERLY TO THE TOLLAND TOWN LINE DATED AUGUST 15, 1991, SHEET 14 OF 14

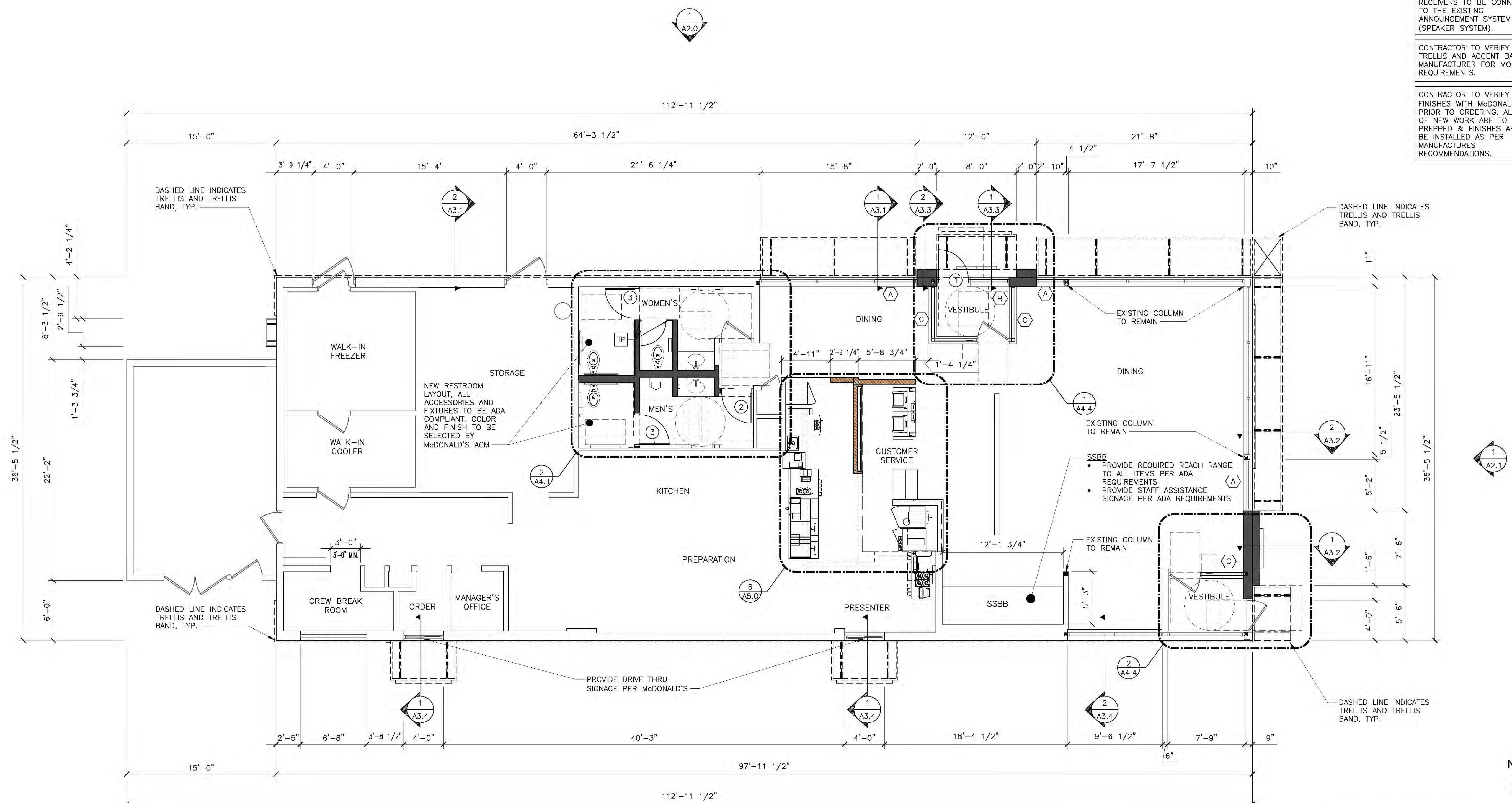
NOTES:
 1. THIS IS A QUADRY AND TOPOGRAPHIC SURVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A2 AND T2 SURVEY AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B, EFFECTIVE DATE JUNE 21, 1995. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE M&A ENGINEERING, INC. SURVEYING STANDARDS AND PRACTICES. THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON A RESURVEY OF THE SUBJECT PROPERTY.
 2. PROPERTY KNOWN AS BLOCK 71, LOT 19B AS SHOWN ON THE TOWN OF VERNON, TOLLAND COUNTY, STATE OF CONNECTICUT, TAX MAP NO. 46
 3. AREA - 80,386 SQUARE FEET OR 1.380 ACRES
 4. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONDUIT DIMENSIONS SHOULD BE VERIFIED BY THE UTILITY SHOWN COMPARE ALL SUCH UTILITIES IN THE FIELD WITH THE UTILITY SERVICE OR ABANDONED.
 5. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS, EASEMENTS, AND OTHER BURDENS THEREON.
 7. BY GRAPHIC PLOTTING ONLY, PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE X-UNSHADDED (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) PER REF #2
 8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) BASED ON GPS OBSERVATIONS UTILIZING THE RESURVEY GPS NETWORK (NEWGPS).
 9. TEMPORARY BENCH MARKS SET:
 TBM-A, BOLT ON FLAG POLE BASE, ELEVATION = 918.31
 TBM-B, MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION = 914.49
 10. PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS AND ELEVATIONS SHOWN ON THIS PLAN ARE CORRECT AND THAT ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
 11. THE OFFICER'S SIGNATURE ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADJUTION, ETC.
 12. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft

WHEN APPLICABLE, CONTRACTOR TO PROVIDE RECEIVERS FOR ASSISTIVE LISTENING SYSTEMS IN ACCORDANCE WITH THE 2015 IBC - TABLE 1108.2.7.1. NEW RECEIVERS TO BE CONNECTED TO THE EXISTING ANNOUNCEMENT SYSTEM (SPEAKER SYSTEM).

CONTRACTOR TO VERIFY WITH TRELIS AND ACCENT BAND MANUFACTURER FOR MOUNTING REQUIREMENTS.

CONTRACTOR TO VERIFY ALL FINISHES WITH McDONALD'S ACM PRIOR TO ORDERING. ALL AREAS OF NEW WORK ARE TO BE PREPPED & FINISHES ARE TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.



1 FLOOR PLAN
A1.0 3/16" = 1'-0"

SYMBOL LEGEND:

(X)	DOOR TAG: SEE DOOR SCHEDULE A4.3
(X)	WINDOW TAG: SEE WINDOW SCHEDULE A4.3
(X)	WALL TAG: INTERIOR WALL ASSY, SEE NOTES A4.3
(X)	EXTERIOR WALL ASSY, SEE NOTES 13/A3.0
(TP)	TOILET PARTITION - TOILET PARTITION STYLE: SCRANTON PRODUCTS HINEY HIDERS, COLOR: TBD

GENERAL NOTES:

- DIMENSIONS ARE SHOWN:
 - EXTERIOR WALLS: FROM INTERIOR FACE OF GYPSUM BOARD TO THE EXTERIOR FACE OF PLYWOOD.
 - INTERIOR WALLS: FROM THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL, U.N.O.
- SEE 13/A3.0 FOR EXTERIOR WALL ASSEMBLY TYPES.
- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forrestpermasigns.com
- SEE SHEET A/4.3 FOR FLOORING SCHEDULE AND NOTES.
- SEE SHEET A/4.3 FOR DOOR SCHEDULE AND NOTES.

ADA NOTES:

- NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA, AND ANSI REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICT, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA, AND ANSI REQUIREMENTS. **SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL THE RESPONSIBILITY AND LIABILITY ARISING THEREFROM.**
- ALL NEW PLUMBING FIXTURES AND RESTROOM ACCESSORIES TO COMPLY WITH 2010 ADA STANDARDS, ADA, AND ANSI REQUIREMENTS.
- "CLEAR MIN." DIMENSIONS ARE TO BE CLEAR OF ANY WALLS, STRUCTURE OR FINISHES (CORRIGAN CAPS, CHAIR RAIL, CORNER GUARDS, BASE TILES, ELECTRICAL PANEL DOORS, EQUIPMENT, ETC.)
- AFTER AIR BALANCING IS COMPLETED AND PRIOR TO OPENING STORE, ADJUST ALL DOORS' OPENING FORCE PRIOR TO OPENING OF STORE. ALL INTERIOR DOORS' OPENING FORCE SHALL BE 5# MAX. AND ALL EXTERIOR DOORS' OPENING FORCE IS ADVISED TO BE 8.5# MAX.

- CLOSING SPEED OF DOORS WITH CLOSER SHALL BE MIN. 5 SECONDS (FROM OPEN POSITION OF 90° TO POSITION OF 12°).
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forrestpermasigns.com
- EXTERIOR DOOR BELLS AND BUZZERS AT DELIVERY DOORS (IF INSTALLED OR MODIFIED DUE TO FACADE WORK) MUST COMPLY WITH REACH-RANGE MAX. HEIGHTS FOR ACCESSIBILITY. TOP OF BUTTON/ACTUATOR IS NOT TO EXCEED 48" AFF.
- ADA REQUIRED MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR. NOTE: ENSURE NO EQUIPMENT OR FURNITURE IMPEDES ON REQUIRED CLEAR FLOOR SPACE IN FRONT OF THE DOOR.



NOTE:
DIRECTIONAL SIGNAGE MUST BE PROVIDED AT THE BUILDING ENTRANCES TO MAKE PEOPLE AWARE OF EXISTENCE AND LOCATION OF THE RESTROOMS.

NOTE:
CONTRACTOR TO PROVIDE ACCESSIBLE EXTERIOR SEATING PER ADA REQUIREMENTS

NOTE:
ALL CLEARANCES, ACCESSIBLE PATHS, REACH RANGES, AND ALL OTHER ADA REGULATED ITEMS TO BE COMPLIANT WITH THE 2010 ADA STANDARDS. CONTRACTOR TO NOTIFY THE E.O.R. OF ANY DISCREPANCIES BETWEEN THE PLANS SHOWN AND CODES REFERENCED ABOVE PRIOR TO THE START OF CONSTRUCTION.

FIRE ALARM NOTES:

(IF REQUIRED/ADDED/TRIGGERED BY FIRE MARSHALL OR LOCAL/STATE AHJ):

- ALL PULL-STATIONS MUST MEET ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA ALLOWS A MAX. REACH HEIGHT OF 48" AS LONG AS THE REACH IS NOT OVER AN OBSTRUCTION GREATER THAN 10" DEEP. THE MAX. REACH HEIGHT TO THE OPERABLE MECHANISM ALLOWED FOR COMPLIANCE WITH 2010 ADA STANDARDS WHEN REACH IS OVER AN OBSTRUCTION (TRASH RECEPTACLE, DISPLAY, ETC.) IS 46" A.F.F. CONSIDER LOCATION OF DECOR ITEMS, TRASH/TRAY RECEPTACLES TO LOCATE THE PULL STATIONS WHERE THEY WILL NOT BE BLOCKED BY THESE ITEMS. ENSURE FIRE ALARM CONTRACTOR HAS A COPY OF THE FINAL DECOR PLAN FOR COORDINATION.
- A/V DEVICES MUST BE INSTALLED PER ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA/NFPA72 REQUIRES STROBES TO BE MOUNTED AT 80" A.F.F. (TO A PORTION OF THE CLEAR LENS OF THE STROBE) UNLESS A LOW-CEILING CONDITION EXISTS, WHERE A MIN. OF 6" BELOW THE CEILING PLANE IS REQUIRED FOR VISIBILITY THROUGH SMOKE.

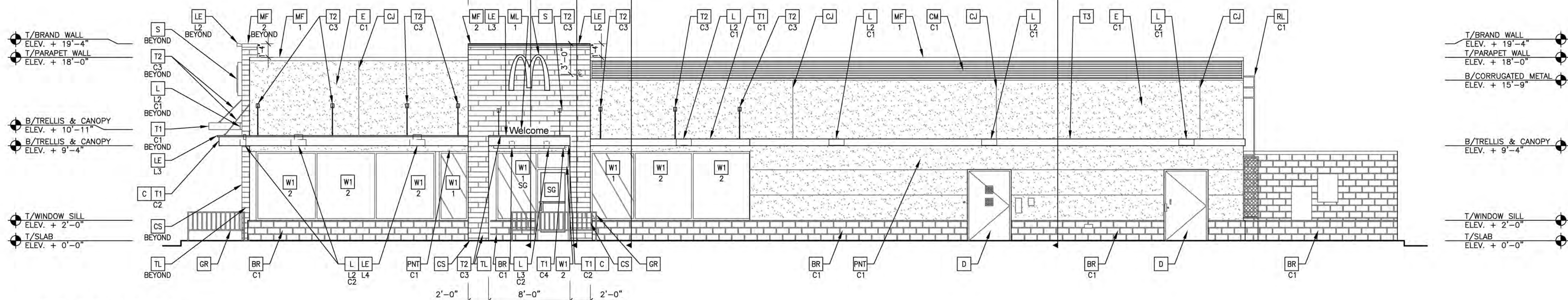
IMPORTANT NOTE: McDONALD'S ISSUED A CLARIFICATION IN WHICH MANDATES WALL-MOUNTED A/V DEVICES. IF LOCAL/STATE AHJ REQUIRES CEILING-MOUNTED A/V DEVICES IN PUBLIC AREAS (DINING ROOMS, RESTROOMS, PLAYPLACE, ETC.) THEN WALL-MOUNTED A/V'S MUST BE INSTALLED IN ADDITION TO THE CEILING UNITS PER #2 ABOVE.

REVISION	NO.	DATE	DESCRIPTION
1	04-12-19	03-15-19	REVISED PER PEER COMMENTS
0			FOR FILING

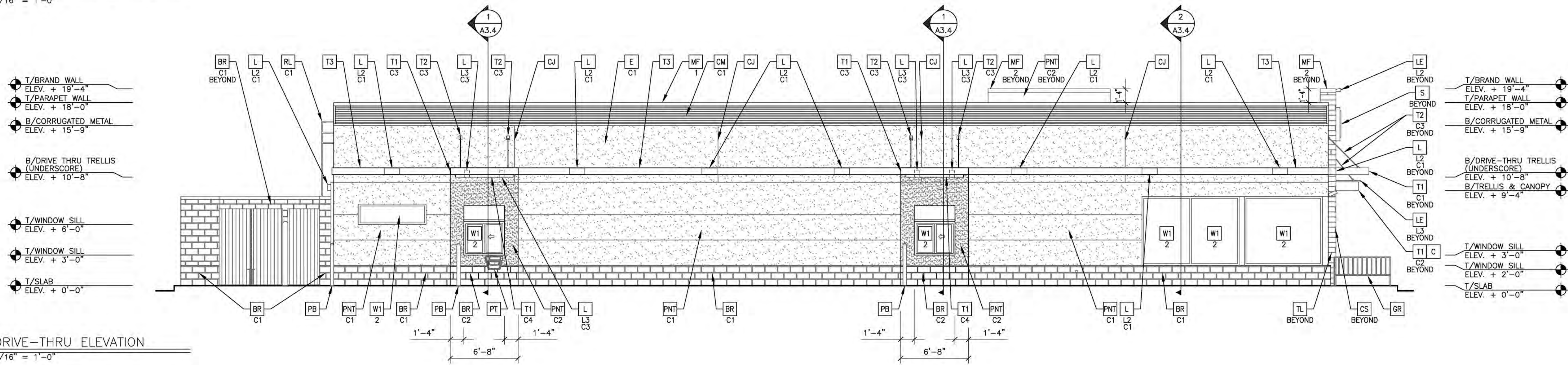
PREPARED BY: **McDonald's USA, LLC**
 DRAWN BY: TS
 STD ISSUE DATE: FEB 2017
 REVIEWED BY: PM
 DATE ISSUED: 01/31/2019
 PROJECT: CORE 16 EXTERIOR - NON PLAYPLACE
 SITE ID: 06-0439
 SITE ADDRESS: 74 RESERVOIR ROAD, ROCKVILLE, CT 06066

PREPARED FOR: **McDonald's USA, LLC**
 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED AND ARE NOT AVAILABLE FOR USE ON A DIFFERENT DATE OR AT A LATER TIME. USE OF THESE DRAWINGS FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE WRITTEN PERMISSION OF THE ENGINEER OR ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CONTRACT DOCUMENTS FOR THIS PROJECT.

PROJECT # 180323
A1.0
 FLOOR PLAN



1 NON-DRIVE-THRU ELEVATION
A2.0 3/16" = 1'-0"



2 DRIVE-THRU ELEVATION
A2.0 3/16" = 1'-0"

COLOR SCHEME: 'MODERN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEY NOTES:

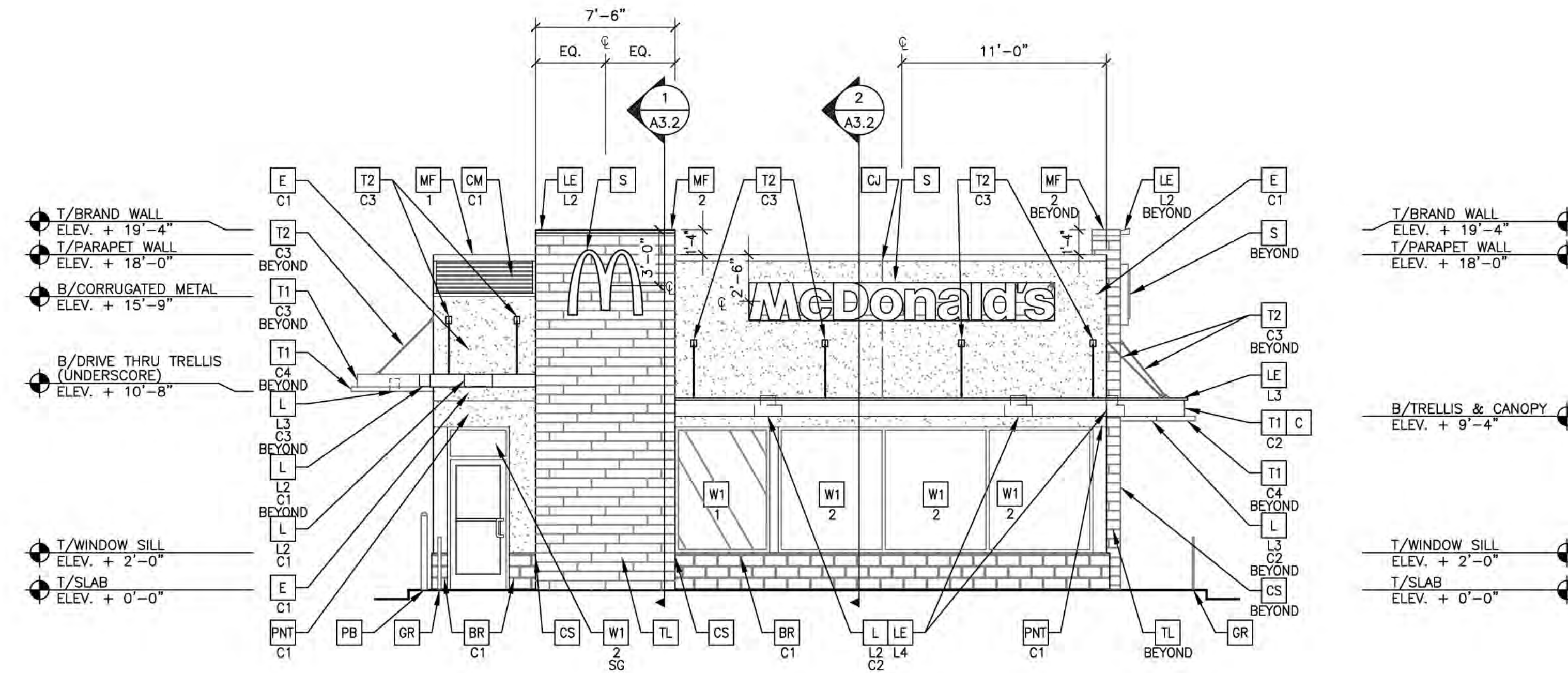
- BR** FACE BRICK
XX-TYPE:
C1 = PAINTED MASONRY-COLOR: CHELSEA GRAY
C2 = PAINTED MASONRY-COLOR: IRON MOUNTAIN
- C** ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
- T1** ALUMINUM TRELLIS SYSTEM
XX-COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- T2** ALUMINUM TRELLIS TIE-BACK SYSTEM
XX-COLOR:
C3 = CHARCOAL
- T3** ALUMINUM TRELLIS 2"x8" WALL FASCIA SYSTEM
COLOR: CITYSCAPE
- RL** ROOF LADDER
XX-COLOR:
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
- CJ** CONTROL JOINT
- PNT** PAINT EXISTING
MATCH TO BENJAMIN MOORE OR EQUAL
XX-COLOR:
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- PT** PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- L** LIGHT FIXTURE - SEE ELECTRICAL
XX-TYPE:
L2 = DOWN ONLY FIXTURE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
C3 = GOLD
- LE** ACCENT LIGHTING - SEE ELECTRICAL
XX LED LIGHT:
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- MF** METAL FASCIA (COLOR: CITYSCAPE)
XX-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
- ML** METAL LETTERING - BY OTHERS
X-TYPE:
1 = 'WELCOME' - COLOR: SILVER
- W1** STOREFRONT AND GLAZING
X- 1 = NEW STOREFRONT AND GLAZING -
SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN
SG = SAFETY GLASS
- GR** GUARDRAIL - SCRAPE AND PAINT
- SG** SAFETY GLASS
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- D** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E** HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE. FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
COLOR: STATOTONE HIGH PERFORMANCE COLORANT -MATCH TO BENJAMIN MOORE OR EQUAL
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- CM** CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS
XX-COLOR:
C1 = "CITYSCAPE"
- TL** TILE
EUROWEST: E-WOOD COLLECTION
COLOR: R9 BLACK SIZE: 6"x36" 1/4 RUNNING BOND
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500
- CS** OUTSIDE CORNER STRIPS
RONDEC R0100TSDA BY SCHLUTER ANTHRAS
ALUMINUM; HEIGHT:10MM COLOR: DARK ANTHRACITE
COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817
- PB** PIPE BOLLARD - PAINTED YELLOW

PREPARED BY: skyBorne Technologies
P.O. BOX 825
Westford, MA 01886

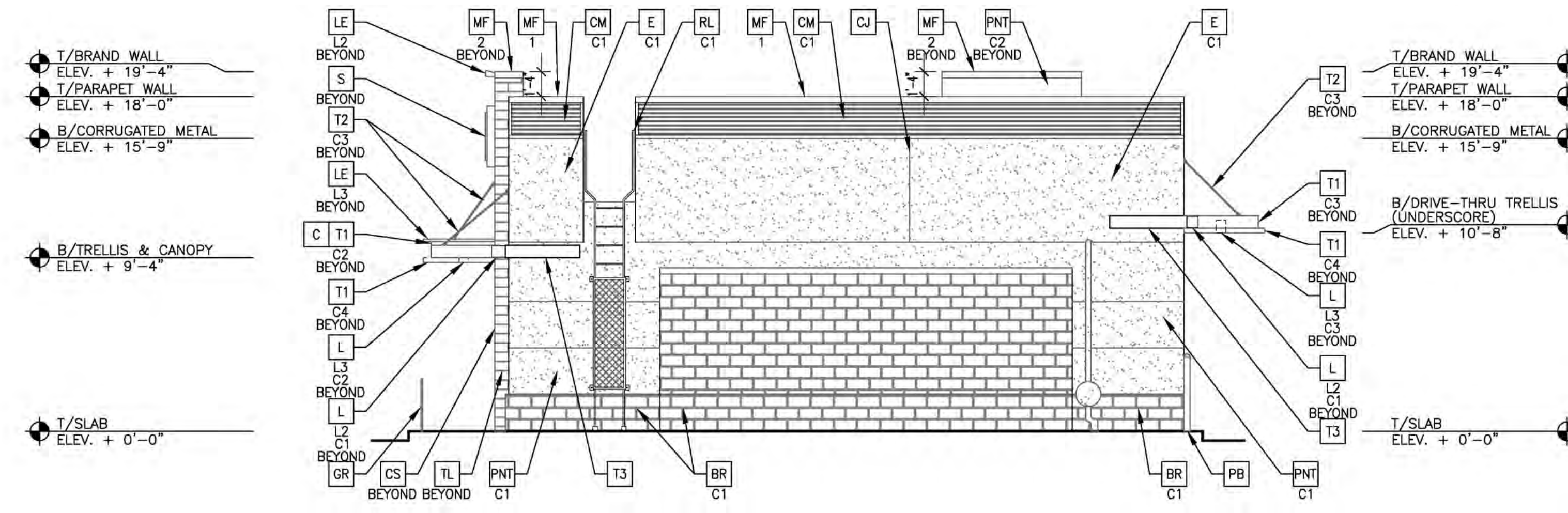
McDonald's USA, LLC
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DRAWN BY	TS	
STD ISSUE DATE	FEB 2017	
REVIEWED BY	PM	
DATE ISSUED	01/31/2019	
TITLE	ELEVATIONS	
DESCRIPTION	REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR - NON PLAYPLACE	
SHEET NO.	A2.0	
PROJECT NO.	180323	
SITE ID	06-0439	
SITE ADDRESS	74 RESERVOIR ROAD, ROCKVILLE, CT 06066	
REV	DATE	DESCRIPTION
1	04.12.19	REVISED PER PEER COMMENTS
0	03.15.19	FOR FILING
		CPC
		BY

1 FRONT ELEVATION
A2.1 3/16" = 1'-0"



2 REAR ELEVATION
A2.1 3/16" = 1'-0"



COLOR SCHEME: 'MODERN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEY NOTES:

- BR** FACE BRICK
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XX-COLOR:
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- PT** PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- L** LIGHT FIXTURE - SEE ELECTRICAL
XX-TYPE:
L2 = DOWN ONLY FIXTURE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
C3 = GOLD
- LE** ACCENT LIGHTING - SEE ELECTRICAL
XX LED LIGHT:
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- MF** METAL FASCIA (COLOR: CITYSCAPE)
XX-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
- ML** METAL LETTERING - BY OTHERS
X-TYPE:
1 = 'WELCOME' - COLOR: SILVER
- W1** STOREFRONT AND GLAZING
X- **1** = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN
SG = SAFETY GLASS
- GR** GUARDRAIL - SCRAPE AND PAINT
- SG** SAFETY GLASS
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- D** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E** HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE. FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
COLOR: STATOTONE HIGH PERFORMANCE COLORANT -MATCH TO BENJAMIN MOORE OR EQUAL
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- CM** CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS
XX-COLOR:
C1 = "CITYSCAPE"
- TL** TILE
EUROWEST: E-WOOD COLLECTION
COLOR: R9 BLACK SIZE: 6"x36" 1/4 RUNNING BOND
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500
- CS** OUTSIDE CORNER STRIPS
RONDEC R0100TSDA BY SCHLUTER SYSTEMS
ALUMINUM; HEIGHT:10MM COLOR: DARK ANTHRACITE
COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817
- PB** PIPE BOLLARD - PAINTED YELLOW

PREPARED BY: skyBorne Technologies
P.O. BOX 875
Westford, MA 01886

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McDonald's USA, LLC
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the proper permission of the architect or engineer. McDonald's USA, LLC is not responsible for reuse on another project is not authorized.

DRAWN BY	TS	DATE	FEB 2017
STD ISSUE	DATE	FEB 2017	
REVIEWED BY	PM		
DATE ISSUED	01/31/2019		

TITLE: ELEVATIONS
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR - NON PLAYPLACE
SITE ID: 06-0439
SITE ADDRESS: 74 RESERVOIR ROAD, ROCKVILLE, CT 06066

PROJ.# 180323
SHEET NO. A2.1
ELEVATIONS

REV	DATE	DESCRIPTION
1	04.12.19	REVISED PER PEER COMMENTS
0	03.15.19	FOR FILING

CPC BY



TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcgregor@vernon-ct.gov

OFFICE OF THE
TOWN PLANNER

MEMORANDUM

TO: Planning and Zoning Commission

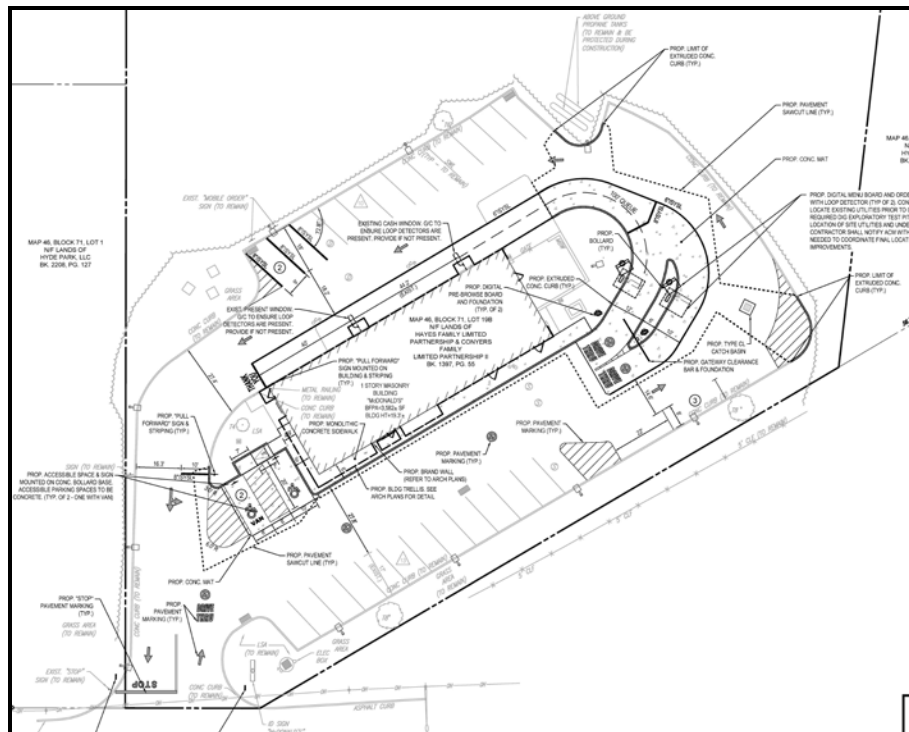
FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZ 2020-17, 74 Reservoir Rd, McDonald's

DATE: December 17, 2020

Request and Background

An Application [**PZ-2020-17**] has been submitted by Bohler Engineering for a Modification of a Site Plan of Development to add an additional drive-through lane with new menu boards, façade updates, signage, and other minor site revisions at McDonald's, 74 Reservoir Rd. (Assessor's ID: Map 46, Block 0071, Parcel 0019B).



The site plan modifications focus primarily on the addition of a second drive-through lane, façade revisions, and the enhancement of two ADA parking spaces. The additional lane does displace 15 parking spaces although the site continues to meet minimum parking standards.

Staff Comments and Analysis

The addition of the second drive-through lane continues to allow adequate and safe egress around the restaurant. The upgrades to the ADA parking are an improvement over the current condition. The façade changes provide a more modern design.

Staff recognizes that access to Reservoir Rd. can be challenging. The Town Engineer recommends that the Applicant consider widening the access drive to McDonald's, providing for both a separate right and left turn lanes. In addition, Staff recommends the Applicant commit to partner with adjoining properties to support inter-parcel access in the future. A note is recommended on the site plan memorializing this agreement. Recall, the adjoining property to the north—the Hayes property—holds site plan and special permit entitlements to construct multi-family units and commercial space (PZ 2017-21). It makes good traffic safety sense to endorse inter-parcel connections, thereby limiting opportunities for traffic conflicts when entering and exiting Reservoir Rd. Staff and the Applicant are considering the aforementioned items and will provide an update at the meeting. All Staff comments are attached to this memo.

Design Review Commission

The project proposes a significant update to the existing architectural character. The new, modern franchise design is shown below.



The design Review Advisory Board met on December 9, 2020 and recommends approval of the design as submitted by the Applicant.

Draft Motions

- A. I move that the Planning and Zoning Commission Approve PZ-2020-17, a modification to a Site Plan of Development located at 74 Reservoir Rd. This approval is based upon a finding that the application meets the site plan requirements of Section 14 and is subject to the plan set entitled, "Site Development Plans for Existing McDonald's" prepared by Bohler Engineering dated September 21, 2020 and the Architectural Elevations prepared by Sky Borne Technologies, revised through April 12, 2019.**

OR

- B. I move [an alternate motion]**

GKM

APPLICATION REVIEW COMMENTS

FROM: amarchese@vernon-ct.gov

TO: _____

DATE: 12/07/2020

APPLICANT: CONYERS FAMILY LTD PARTNERSHIP II

PROJECT: McDonald's

LOCATION: 74 RESERVOIR RD

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

- 1) The propose directional signs shall not display any business identification, may not exceed two square feet in area, and shall not exceed three feet in height.

- 2) The remainder of the proposed site plan appears to conform to the towns zoning regulations.

SIGNATURE: _____

DATE: _____

From: [Smith, David](#)
To: [McGregor, George](#)
Subject: RE: McDonald
Date: Thursday, December 10, 2020 9:24:54 AM

Sorry for the delay.

The proposed second order lane will occupy space that is presently used by walk-in patrons, staff and delivery vehicles to maneuver through the site. The remaining pavement south of the facility is intended to provide that function if the proposal is approved and constructed. Presently that 'excess' is used for overflow parking even though there is no designated spaces here. That may be the result of reduced dine-in capacity or it could be a long term practice. Regardless, the applicant should show that the space is adequate to handle this traffic including large vehicles and provide signage / pavement markings to preserve this spaces capacity to act as a travel lane.

Although not necessarily related to the addition of another order kiosk, the entrance/exit to Reservoir Road is a concern. Half of the driveway is dedicated to a single incoming traffic stream, while outgoing traffic has a tendency to try and split for right turns and left turns, but the width is not adequate for this. I know that a plan was developed as part of Richard Hayes' commercial/multi-family approval on the neighboring parcel to redirect out going McDonald traffic to their proposed light. I recommend that until such time as this becomes a reality, the McDonald's access point be widened to accommodate two exit lanes. Additionally, the plan should be modified to include a general reference to the connection to the Hayes driveway and a commitment from the applicant to make these improvements as soon as that option is operable.

Minor additional comments -

-The boundary plan should include the appropriate survey certification by a licensed Connecticut Land Surveyor. Property pins and monuments, easements if any, should be shown.

-We require a As-built plan of the entire site once the improvements have been made.

Thank you

Dave

David A. Smith, PE LS
Vernon Town Engineer
55 West Main Street
Vernon, CT. 06066
860-870-3663
dsmith@vernon-ct.gov

-----Original Message-----

From: McGregor, George
Sent: Thursday, December 10, 2020 8:11 AM
To: Smith, David <dsmith@vernon-ct.gov>
Subject: McDonald

Can you get me comments today?

George K. McGregor, aicp
Office: 860-870-3640

APPLICATION REVIEW COMMENTS

FROM: jkenny@vernon-ct.gov
TO: _____
DATE: 12/07/2020
APPLICANT: CONYERS FAMILY LTD PARTNERSHIP II
PROJECT: McDonald's
LOCATION: 74 RESERVOIR RD

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

- NO COMMENT
- COMMENTS ATTACHED
- PLEASE NOTE THE FOLLOWING COMMENTS:

Site plans reflect internal parking improvements and second drive thru lane. No changes reflected that require curb cut or traffic flow review. No changes which would increase current traffic trips for drive thru restaurant. No concerns from Police Department or need for Traffic Authority Review.

SIGNATURE: _____

DATE: _____



TOWN OF VERNON

Design Review Commission

14 PARK PLACE, VERNON, CT 06066
Tel: (860) 870-3667
Fax: (860) 870-3683
E-mail: sgately@vernon-ct.gov

December 10, 2020

Planning and Zoning Commission
14 Park Place
Vernon, CT. 06066

Attn: Roland Klee, Chairperson

On 12-9-20 the Design Review Commission was presented Application [PZ-2020-17] of Bohelr Engineering for a modification of the site plan at 74 Reservoir Rd. The applicant presented their application as it was submitted to the Planning and Zoning Commission and provided visual representations of what the structures and site will look like. The Design Review commission reviewed the application/ plans and approved them as they were presented.

A copy of the minutes can be forwarded, if needed, once they are completed, and please let me know if you need further clarification.

Sincerely,

Shaun Gately
Economic Development Coordinator

Other Business



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066-3291
Tel: (860) 870-3667
E-mail: gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Town of Vernon Planning and Zoning Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: CGS 8-24 Referral – Various Town properties

DATE: December 17, 2020

The Town of Vernon has requested a CGS 8-24 referral for several properties:

Location	Pacel ID
28 Grand Ave.	23-091A-00007
108-110 High St.	23-088A-00012 & 00013
14 Laurel St.	41-0119-00009
47 South St.	42-0072-0010D
112 Vernon Ave.	39-062C-00045
Unaddressed Grier St. properties	52-0140-0040B
	52-0140-0040-4
	52-0140-0040-7
	52-0140-0040-8

The Town is considering the potential sale and, or disposition of these properties. The parcels are currently vacant.

State statute declares:

*"No municipal agency or legislative body shall (1) locate, accept, abandon, widen, narrow or extend any street, bridge, parkway or other public way, (2) locate, relocate, substantially improve, acquire land for, abandon, **sell** or lease any airport, park, playground, school or other **municipally owned property** or public building, (3) locate or extend any public housing, development, redevelopment or urban renewal project, or (4) locate or extend public utilities and terminals for water, sewerage, light, power, transit*

and other purposes, until the proposal to take such action has been referred to the commission for a report."

The intent in this consideration is for the Commission to review the proposed action and issue a finding on its consistency or lack thereof with the Plan of Conservation and Development.

The business development policies of the POCD support redevelopment and increasing the tax base. Specifically, the POCD emphasizes "promoting redevelopment of vacant buildings and underutilized sites" (page 82).

Therefore, this request is consistent with the adopted POCD.