

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Virtual Meeting Notice & Agenda
Thursday, February 4, 2021, 7:30 PM

Join Zoom Meeting

Zoom Meeting Information

<https://us02web.zoom.us/j/89257738523?pwd=anBGNlkybnU1TVZvYkhSdjZQTkdTZz09>

Meeting ID: 892 5773 8523 **Passcode:** L2daQs

By Phone: 646 876 9923

Meeting ID: 892 5773 8523

Passcode: 890062

AGENDA

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote
 - 2.3 Approval of the Minutes from the **January 21, 2021**
3. **New Application(s) for receipt, if any:**
4. **Public Hearing(s) and Action on Applications:**
 - 4.1 Application **[PZ-2021-01]** of Chapman Acres LLC, for a Site Plan of Development to replace an existing maintenance building, to include demolition, building construction and associated site work at 1120 Hartford Turnpike (Assessor ID: Map 43, Block 68, Parcel 22A). **NOTE: Action only; no public hearing.**
5. **8-24 Referrals, If any**
6. **Plan of Conservation and Development Update**
7. **Other Business/Discussion**
 - 7.1 Application **[PZ-2020-14]** of the Town of Vernon's Planning Department, for a proposed Text Amendment to the Zoning Regulations, Section 15 (Removal of Earth, Sand, and Gravel).
 - 7.2 Extension of **[PZ-2008-04]**, Spirit Development Co. LLC, a site plan and special permit, located at 1189 Hartford Tpke.
8. **Adjournment**

Roland Klee, Chairman
Planning & Zoning Commission

DRAFT MINUTES

TOWN OF VERNON
Planning & Zoning Commission
(PZC) Virtual Meeting Notice &
Agenda Thursday, January 21st,
2021, 7:30 PM

Via Zoom

Draft Minutes

1. Call to Order & Roll Call by Roland Klee, Chairman at 7:30 PM.

- Regular members present: Roland Klee, Robin Lockwood, Mike Mitchell, Joseph Miller, Iris Mullan, Susan Reudgen and Jesse Schoolnik
- Alternate Member: Carl Bard
- Absent Members:
- Staff present: George McGregor, Town Planner, Shaun Gately, EDC/Asst Planner
- Recording secretary: Jill Rocco

2. Administrative Actions/Requests

2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote

Robin Lockwood motioned to **ADOPT** the agenda. Joseph Miller seconded and the motion carried unanimously.

2.2 Election of Officers

Roland Klee, Chairperson, entertained nominations for open seats on the committee.

Chairperson

Robin Lockwood made a motion to nominate Roland Klee. Susan Reudgen seconded and the motion carried unanimously. There were no other nominees presented.

Vice Chairperson

Robin Lockwood made a motion to nominate Susan Reudgen. Joseph Miller seconded and the motion carried unanimously. There were no other nominees presented.

Secretary

Susan Reudgen made a motion to nominate Joseph Miller. Robin Lockwood seconded and the motion carried unanimously. There were no other nominees presented.

2.3 Approval of the Minutes from the **January 7, 2021**

Susan Reudgen motioned to **APPROVE** the minutes from January 7, 2021. Mike Mitchell seconded and the motion carried unanimously.

3. **New Application(s) for receipt, if any:**

[PZ-2021-01] Application of Chapman Acres LLC, for a Site Plan of Development to replace an existing maintenance building, to include demolition, building construction and associated site work at 1120 Hartford Turnpike (Assessor ID: Map 43, Block 68, Parcel 22A)

George McGregor, Town Planner read the details of the application and recommended a hearing date Of February 4, 2021.

Robin Lockwood motioned to add Application **[PZ-2021-01]** to the February 4, 2021 meeting. Joseph Miller seconded and the motion carried unanimously.

4. **Public Hearing(s) and Action on Applications:**

4.1 Application **[PZ-2020-14]** of the Town of Vernon's Planning Department, for a proposed Text Amendment to the Zoning Regulations, Section 15 (Removal of Earth, Sand, and Gravel).

- Chairman Roland Klee, read the following teleconference rules into the record:
 1. Any member of the public who wishes to provide public comment may participate remotely via computer with a microphone and ZOOM link or via telephone call-in number
 2. We ask that all participants "MUTE" their phones and that the meeting organizer may mute participants if excessive noise or feedback interrupts the meeting.
 3. Speakers are encouraged to use the ZOOM Chat function to alert the host that they would like to speak.
 4. At the appropriate time, the Chairman will call for public comment. Speakers should unmute their phones by pressing *6 and then clearly identify their name and address.
 5. Speakers should direct their comments through the Chairman
 6. Please be patient.
- Town Planner George McGregor read the legal notice into the record.
- Legal notice was published in the Journal Inquirer on January 9, 2021 and January 19, 2021.
- Proper notice has been provided to the COG, adjoining towns and the Town Clerk.
- Town Planner George McGregor explained the details of the application.
- Roland Klee, Chairperson, opened the Public Hearing.
- No one spoke.
- Robin Lockwood made a motion to close the Public Hearing at 7:54 PM. Joseph Miller seconded and the motion carried unanimously.
- Discussion ensued
- Robin Lockwood made a motion to CONTINUE the agenda item to the February 4, 2021 meeting. Susan Reudgen seconded and the motion carried unanimously.

4.2 Application [**PZ-2020-15**] of the Town of Vernon's Planning Department, for a proposed Text Amendment to the Zoning Regulations, Section 20 (Aquifer Protection) and numerous references throughout other Sections.

- Town Planner George McGregor read the legal notice into the record.
- Legal notice was published in the Journal Inquirer on January 9, 2021 and January 19, 2021.
- Proper notice has been provided to the COG, adjoining towns and the Town Clerk.
- Town Planner George McGregor explained the details of the application.
- Roland Klee, Chairperson, opened the Public Hearing.
- Ann Letendre, 29 Gottier Drive, spoke in regards to the application.
- Shaun Gately, EDC/Asst Planner, responded

Susan Reudgen made a motion to close the public hearing at 8:16 PM. Robin Lockwood seconded and motion carried unanimously.

Robin Lockwood **MOVED** that the Planning and Zoning Commission Approve PZ-2020-15, a Zoning Regulation Text Amendment of Section 20, Aquifer Protection, based upon a finding that the amendments are consistent with the Plan of Conservation and Development's goals ensuring that land use regulations are "user-friendly" (POCD, page 90) and that a separate, stand-alone Aquifer Protection Ordinance, consistent with State of Connecticut guidelines, was approved on July 18, 2019. Susan Reudgen seconded and the motion carried unanimously.

5 8-24 Referrals, If any

NONE

6 Plan of Conservation and Development Update

George McGregor, Town Planner, gave an update on the Community Workshop held January 14, 2021 via Zoom. Milone & MacBroom will be back in February to discuss the results further.

7 Other Business/Discussion

7.1 2021 Connecticut Bar Association Land Use Seminar

George McGregor, Town Planner, shared some details in regards to the upcoming seminar. A flyer has been provided.

8 Adjournment

Robin Lockwood made a motion to **ADJOURN** at 8:28 PM. Susan Reudgen seconded and the motion carried unanimously.

APPLICATION

1

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Chapman Acres LLC Attn: Cliff Chapman

Title: _____

Company: _____

Address: 75 Hockanum Boulevard, Vernon, CT 06066

Telephone: 860-871-1000

Fax: _____

E-mail: apt01@hotmail.com

II. PROPERTY OWNER (S):

Name: Chapman Acres LLC

Title: _____

Company: _____

Address: 75 Hockanum Boulevard, Vernon, CT 06066

Telephone: 860-871-1000 Fax: _____

E-mail: apt01@hotmail.com

III. PROPERTY

Address: 1120 Hartford Turnpike

Assessor's ID Code: Map # 43 Block # 68 Lot/Parcel # 22A

Land Record Reference to Deed Description: Volume: 1125 Page 289

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☒ No ☐ Yes

☐ No work will be done in regulated area
☐ Work will be done in the regulated area

☐ IWC application has been submitted
☐ IWC application has not been submitted

Zoning District PRD

Is this property located within five hundred (500) feet of a municipal boundary?

☒ No
☐ Yes:

☐ Bolton
☐ Coventry
☐ Ellington
☐ Manchester
☐ South Windsor
☐ Tolland

Check if Historic Status Applies:

☐ Located in historic district:

☐ Rockville
☐ Talcottville

☐ Individual historic property

IV. PROJECT

Project Name: Maintenance Building

Project Contact Person:

Name: Tim Coon

Title: Project Engineer

Company: J.R. Russo & Associates LLC

Address: 1 Shoham Road, East Windsor, CT 06088
(P.O. Box 938)

Telephone: 860-623-0569 Fax: _____

E-mail: tcoon@jrrusso.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Replace existing maintenance building
General Activities: Demolition, building construction
associated site work.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

X Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- X Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

 Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:



Signature

1/20/21

Date

Signature

Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____




Date Application Received by Commission _____

PZC File: _____

ArcGIS Web Map



Legend

-  CRCOG Towns
-  Mask
-  Parcel Polygons

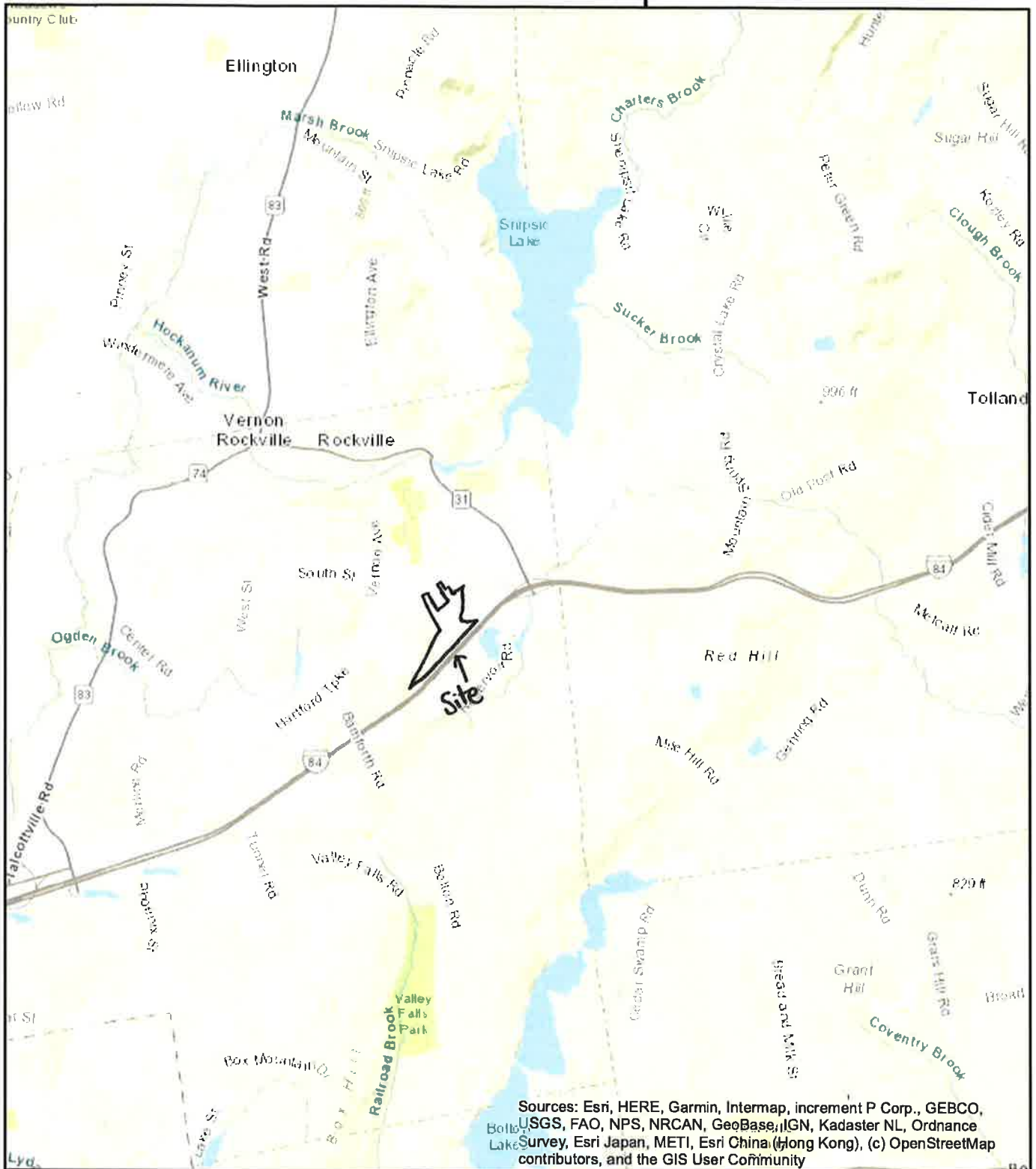


CRCOG **CAPITOL REGION**
COUNCIL OF GOVERNMENTS
Working together for a better region.

CRCOG makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Scale
1:6,000
Created: 1/18/2021

ArcGIS Web Map



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



CROCOG CAPITAL REGION COUNCIL OF GOVERNMENTS
Working together for a better region.

CROCOG makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Scale
1:78,242
Created: 1/18/2021



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Planning and Zoning Commission

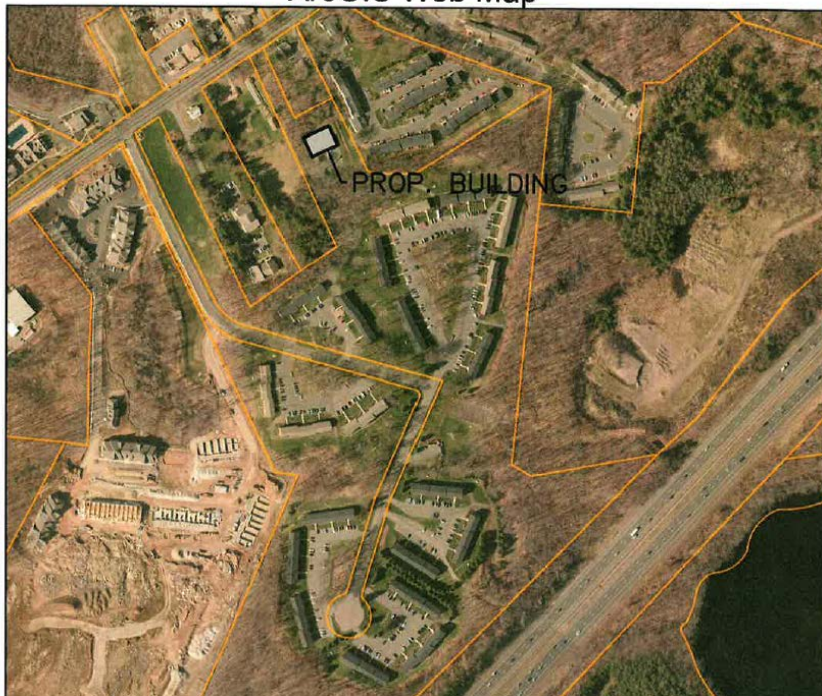
FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZ 2021-01, 1129 Hartford Tpke.

DATE: February 4, 2021

Request and Background

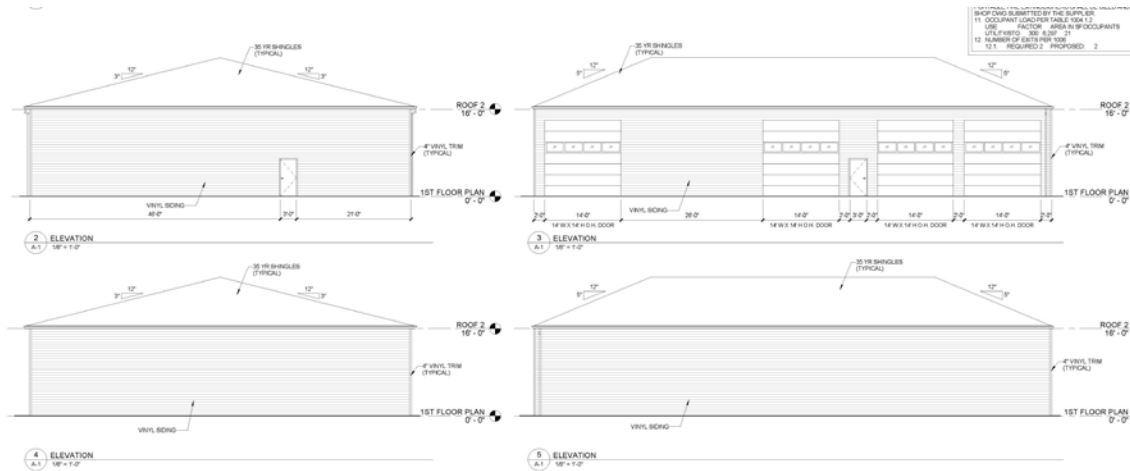
ArcGIS Web Map



An Application **[PZ-2021-01]** has been submitted by Chapman Acres, LLC, for a Site Plan of Development to replace an exiting 3,600 s.f. maintenance building with a 6,650 s.f. maintenance building, including demolition and associated site work at the Mt. Vernon Apartments, 1129 Hartford Tpke. (Assessor ID: Map 43, Block 68, Parcel 22A).

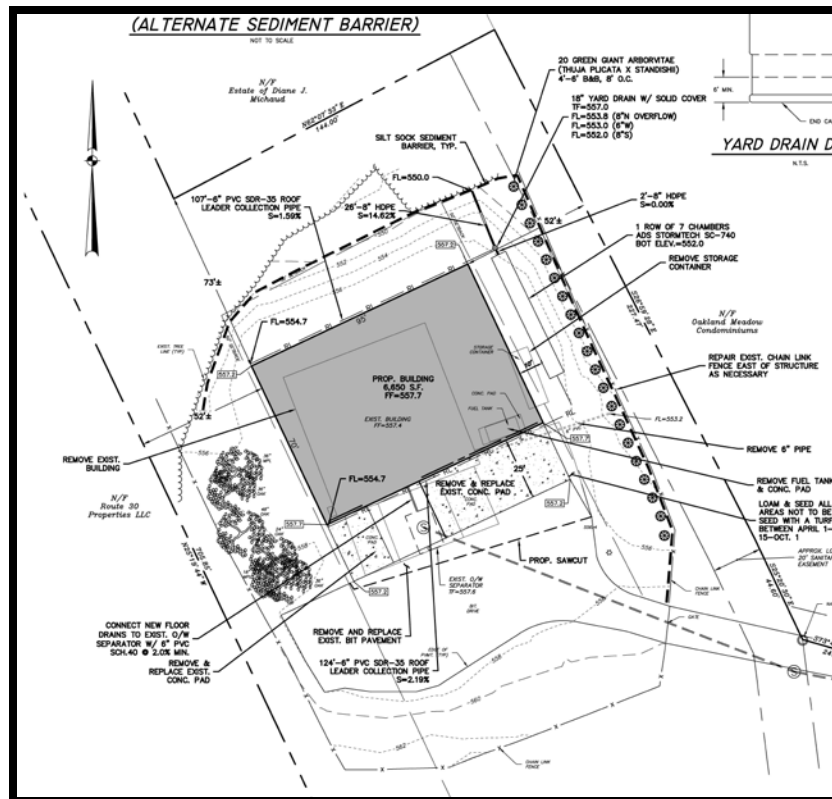
The maintenance area is located in the north west portion of the complex. It is intended for storage of maintenance equipment for the property.

Proposed Maintenance Facility:



The proposed maintenance facility is designed with asphalt shingle, vinyl siding, and four overhead doors.

Proposed Site Plan Modification



The modification would replace the existing maintenance building with a larger structure. The existing structure has a crumbling foundation. The applicant has added 20 evergreen trees (arborvitae) for screening the neighboring apartment complex. No landscaping exists on site today. The Applicant may want to consider also replacing an existing, weathered, chain link fence which runs near the eastern property line. Additional run-off will be handled by a new subsurface infiltration system.

Staff Comments and Analysis

The applicant has addressed any and all substantive comments from Staff. This modification to the site mitigates its impacts through the addition of 20 evergreen trees. On balance, this project meets the site plan and zoning requirements set forth in the Town of Vernon Zoning regulations.

Draft Motions

- A. I move that the Planning and Zoning Commission Approve PZ-2021-01, a modification to a Site Plan of Development located at 1129 Hartford Tpke. This approval is based upon a finding that the application meets the site plan requirements of Section 14 and is subject to the plan set entitled, "Maintenance Building Mt. Vernon Apartments" prepared by Russo Surveyors/Engineers dated January 27, 2021 and the Architectural Elevation prepared by Russell and Dawson, Inc., dated September 30, 2020.**

OR

- B. I move [an alternate motion]**

GKM

From: [McGregor, George](#)
To: ["Tim Coon"](#)
Subject: PZ 2021-01 Mt Vernon Apts.
Date: Monday, January 25, 2021 3:39:00 PM

Building Official (1-22-21)

A Demolition Permit Application will be required for removal of the existing building.

A Building Permit Application and detailed construction plans (subject to review by the Building Department) will be required for the new structure.

Applicant shall consult with the Building Department after obtaining P&Z site plan approval and prior to beginning demolition or construction to verify compliance with CT State Building Codes, Vernon Zoning Regulations, and other Town Department requirements.

No comment from Wetlands Agent or Police Chief.

Send you more when I get them.

george

George K. McGregor, AICP
Town Planner
Town of Vernon
55 West Main Street
Vernon, CT. 06066-3291
Phone: (860) 870-3640
Mobile: (860) 336-1846

From: [Smith, David](#)
To: [McGregor, George](#)
Subject: New Maintenance Building - Mt. Vernon Apartments
Date: Wednesday, January 27, 2021 9:52:18 AM

Good Morning George –

I have reviewed the site plan, LID Checklist and Drainage calculations and the project appears to meet our objective to not increase stormwater runoff resulting in off-site impacts. I believe that some type of siltation barrier along the north and east limit of disturbance and a recommended seeding schedule as part of the short term and long term stabilization program should be included on the plan.

My final, very minor comment – we should have some specification of the size of the trees proposed for the screen along the easterly line. Arborvitae grows pretty quickly, but this new building is considerably larger than the current one, so something in the 4 to 6' height range might appropriate and provide a function screen within a few years. 2 gallon container plants from the big box retailer will not be effective for many, many years. Just a suggestion.

Thank you

Dave

David A. Smith, PE LS

Vernon Town Engineer
55 West Main Street
Vernon, CT. 06066
860-870-3663
dsmith@vernon-ct.gov

APPLICATION REVIEW COMMENTS

FROM: amarchese@vernon-ct.gov

TO: _____

DATE: 01/28/2021

APPLICANT: CHAPMAN ACRES LLC

PROJECT: Mt. Vernon Apartments

LOCATION: 1120 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

1) The proposed new building is almost double the size of the existing building. What will the impact be on the neighboring residential use at Oakland Meadow Condominium.

2) Will all equipment be stored in the proposed new building or will the site plan allow for outside storage?

SIGNATURE: _____

DATE: _____

From: [Tim Coon](#)
To: [McGregor, George](#)
Cc: [apt01@hotmail.com](#)
Subject: RE: [EXTERNAL] Mount Vernon Apartments
Date: Wednesday, January 27, 2021 2:34:20 PM
Attachments: [Maintenance Building Site Plan 1-27-21.pdf](#)

George,

I have revised the attached Site Plan to address the comments received thus far. Revisions include:

- Add a call-out to "repair the existing chain link fence east of the building as necessary"
- Note the size of the arborvitae to be 4'-6'. However, after further research and determining that these trees grow 3-5' per year and can have a 15'-20' spread, I increased the spacing from 6' to 8'.
- A silt sock sediment barrier has been added to the north and east of the area of disturbance, and a detail added to the plan.
- The call out for loam and seed has been revised to identify the seed as a turf mix and specify the dates for seeding.

Let me know if you receive any other comments. At this point do you want hard copies as well, or should we just wait until we need to submit the final approved plan?

Tim

-----Original Message-----

From: McGregor, George <GMcGregor@vernon-ct.gov>
Sent: Wednesday, January 27, 2021 10:12 AM
To: Tim Coon <tcoon@jrrusso.com>
Cc: apt01@hotmail.com
Subject: RE: [EXTERNAL] Mount Vernon Apartments

I would ask you to consider placing all or at least portions as it is visible from the neighboring property

George

-----Original Message-----

From: Tim Coon <tcoon@jrrusso.com>
Sent: Tuesday, January 26, 2021 3:59 PM
To: McGregor, George <GMcGregor@vernon-ct.gov>
Cc: apt01@hotmail.com
Subject: RE: [EXTERNAL] Mount Vernon Apartments

George,

The fence does belong to the applicant. However, there are not plans to replace it. We are proposing a line of arborvitae adjacent to the apartment complex along the fence which should break it up some.

Tim

-----Original Message-----

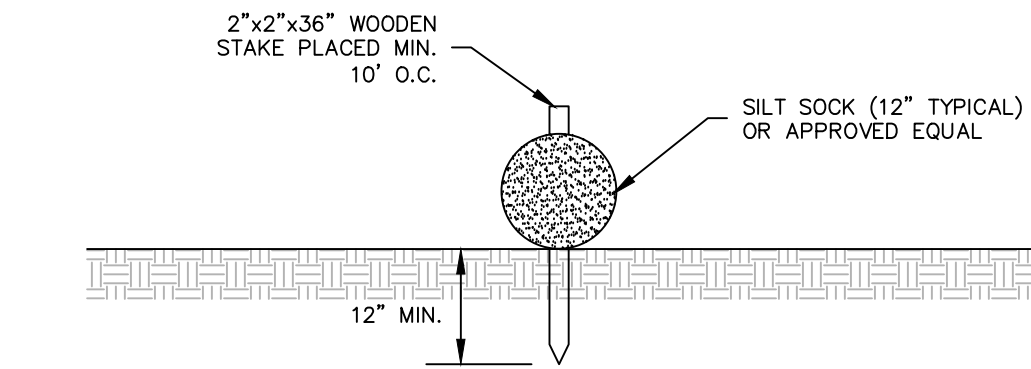
From: McGregor, George <GMcGregor@vernon-ct.gov>
Sent: Tuesday, January 26, 2021 11:56 AM
To: Tim Coon <tcoon@jrrusso.com>
Subject: RE: [EXTERNAL] Mount Vernon Apartments

Tim

Is the perimeter fence owned by the Applicant?

Its in pretty bad condition; is there a plan to erect a new one (at least adjacent to the apartment complex to the east?)

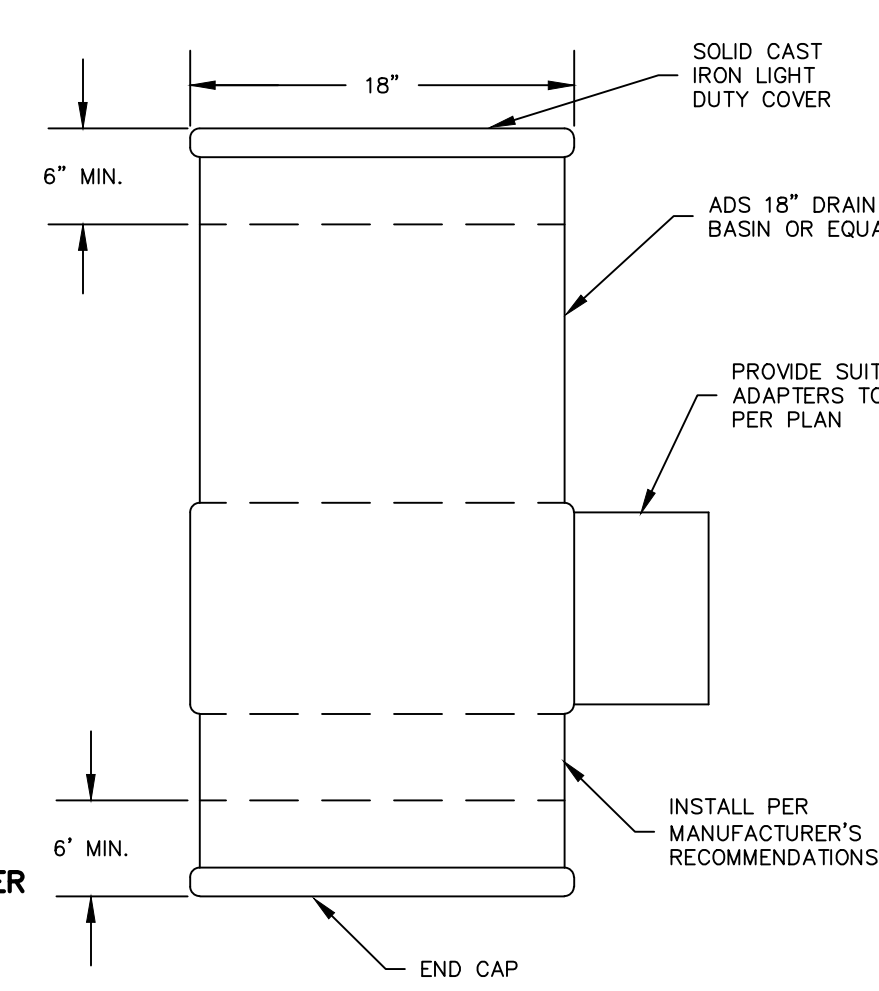
-----Original Message-----



NOTE: MAY BE USED AS ALTERNATIVE TO GEOTEXTILE SILT FENCE.

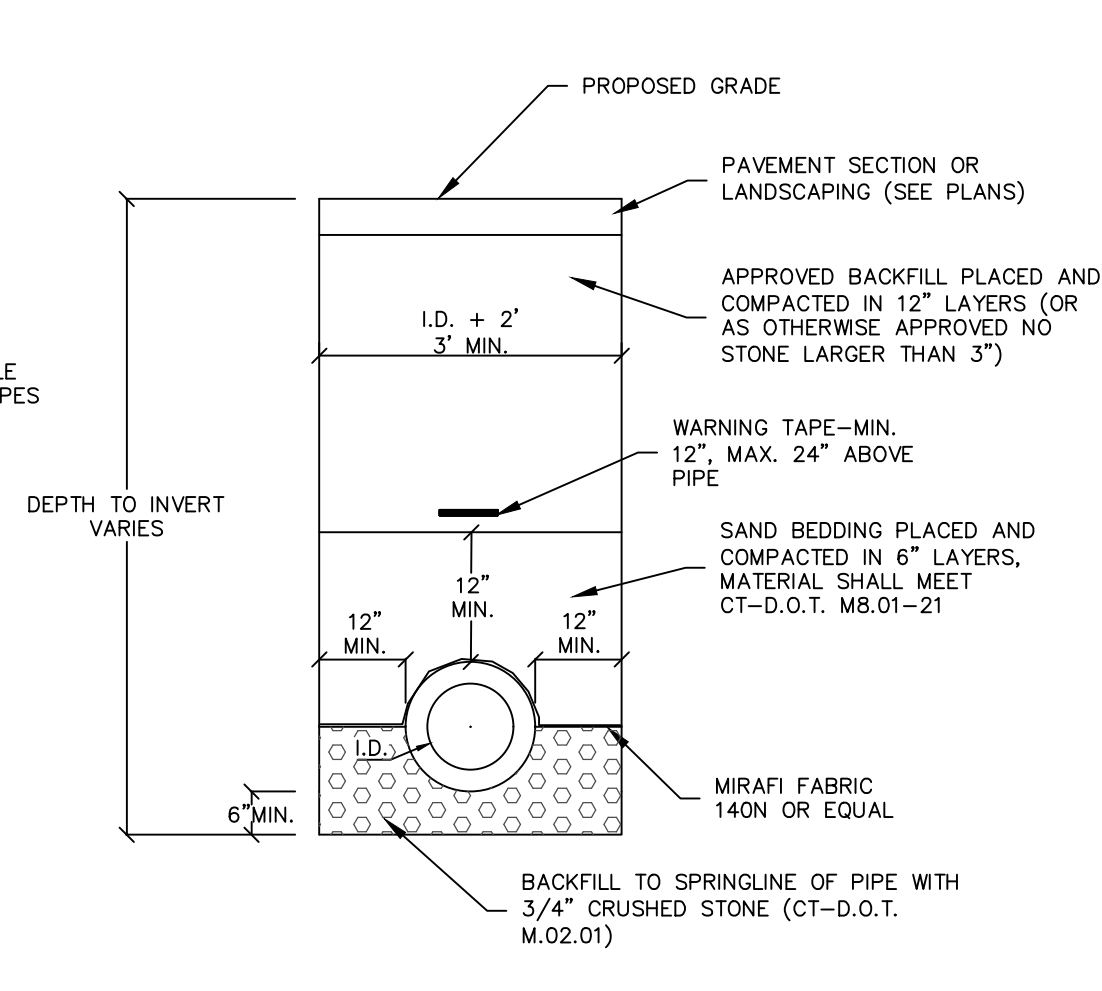
SILT SOCK (ALTERNATE SEDIMENT BARRIER)

NOT TO SCALE



YARD DRAIN DETAIL

N.T.S.

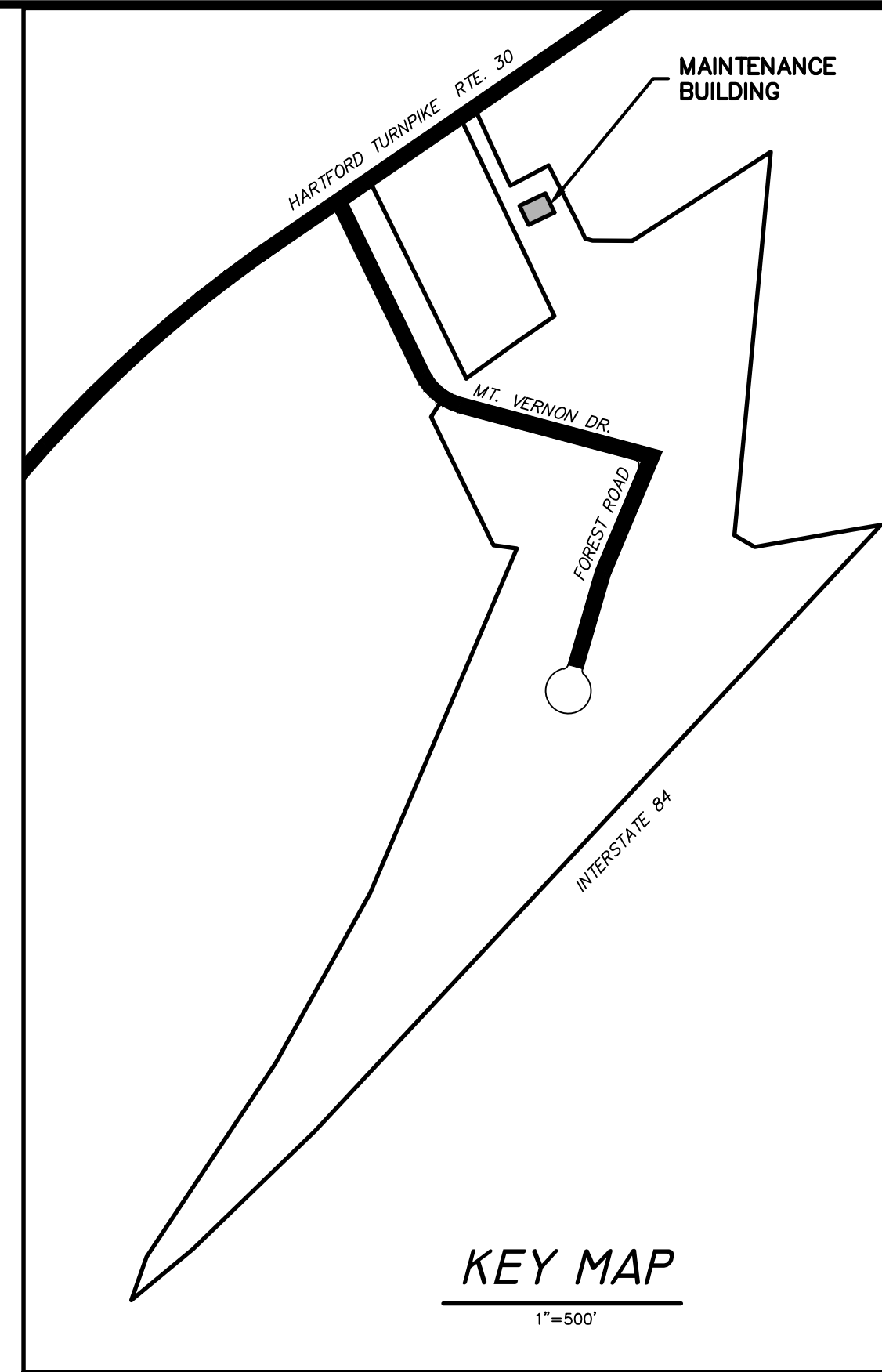


STANDARD STORM DRAIN DETAIL

NOT TO SCALE

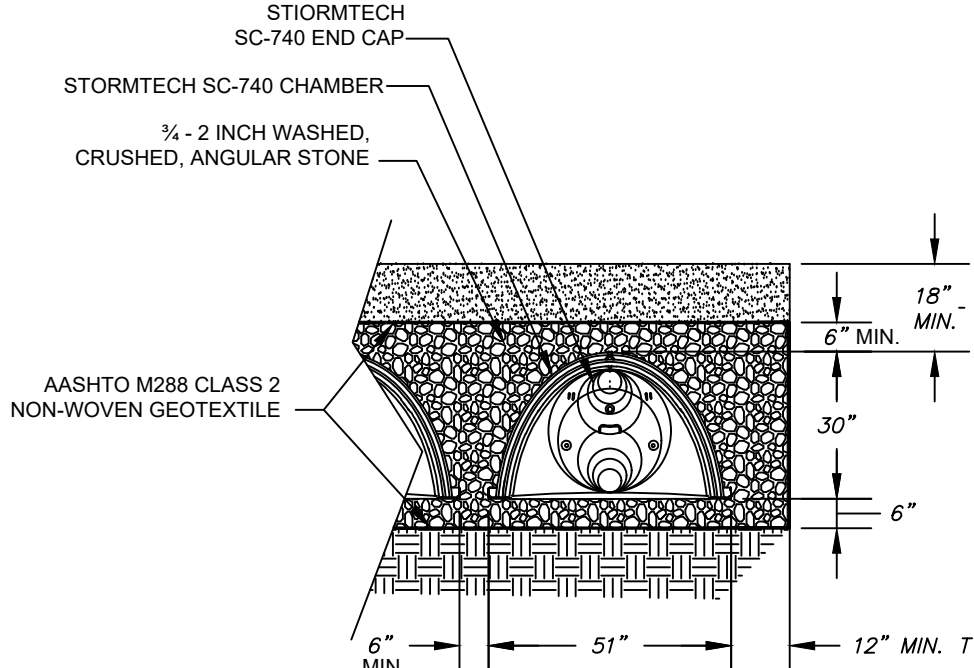
LEGEND

- EXISTING UTILITY POLE
- EXISTING HYDRANT
- EXISTING HAND HOLE
- EXISTING OVERHEAD WIRES
- PROPOSED UNDERGROUND UTILITIES
- EXISTING WATER LINE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED ROOF LEADER COLLECTION
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER
- EXISTING IRON PIN
- EXISTING MONUMENT (FOUND)
- EXISTING SPOT GRADE
- EXISTING CONTOUR
- PROPOSED SPOT GRADE
- PROPERTY LINE
- PROPOSED SEDIMENT BARRIER



KEY MAP

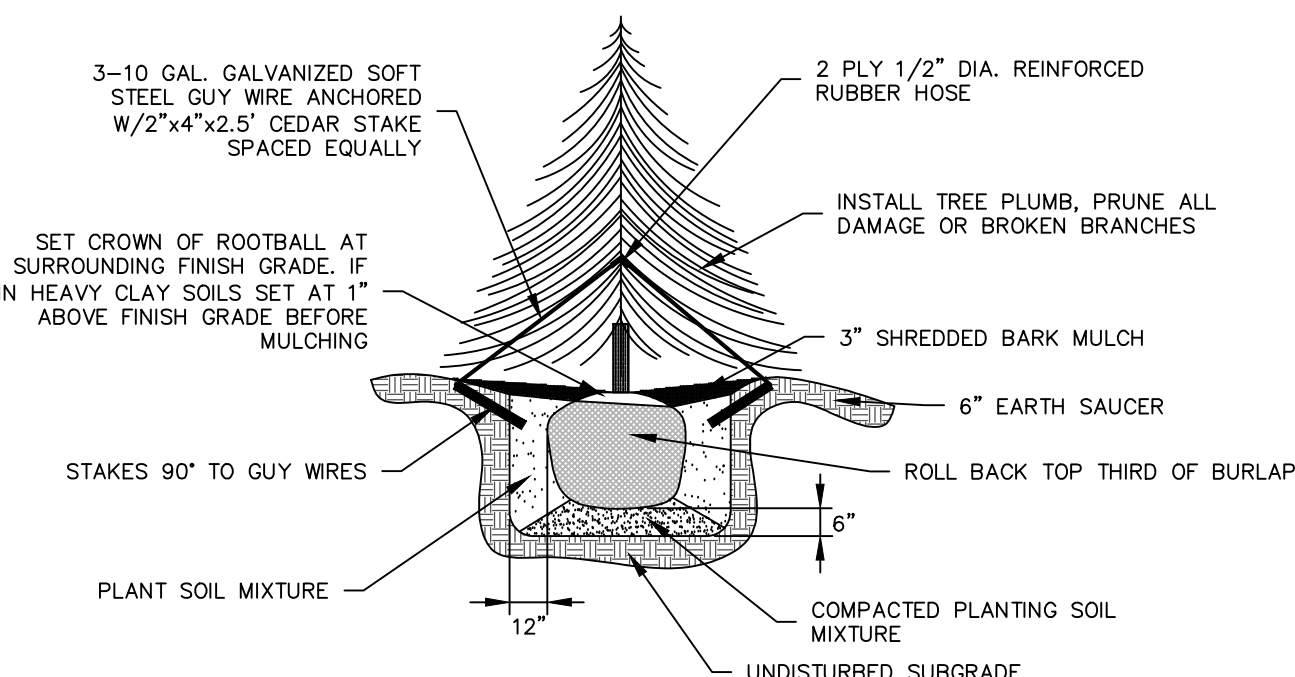
1"=500'



TYPICAL INFILTRATION UNIT CROSS SECTION DETAIL

FOR STORMTECH INFORMATION CALL 1-888-892-2694

NOT TO SCALE



EVERGREEN TREE PLANTING

NOT TO SCALE

This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Properly Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

This document and copies thereof are valid only if they bear the live signature and embossed seal of the designated professional. Unauthorized alterations render any declaration hereon null and void.

Reference Maps:

- "ALTA/ACSM Land Title Survey Prepared For Chapman Acres LLC Mount Vernon Apartments 1120 Hartford Turnpike, Vernon, Connecticut Scale: 1"=50' Date: 2-6-2016" Class A-2 by Gardner & Peterson Associates, LLC
- "Compilation Plan Map showing Easement Area To Be Granted To Yankee Gas Services Company dba Eversource Energy Across The Property Of Chapman Acres LLC 1120 Hartford Turnpike, Vernon, Connecticut File No. B6074 Scale: 1"=50' Date: 7-5-2016" by Gardner & Peterson Associates, LLC

Notes:

- Horizontal datum based on N.A.D. 1983. Elevations based on N.A.V.D. 1988 Datum.
- All underground utility locations on this plan are approximate and may not be complete. Anyone using this information without verifying the locations does so at their own risk. No construction will be done on this site prior to utility mark out. "Call Before You Dig 1-800-922-4455".

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

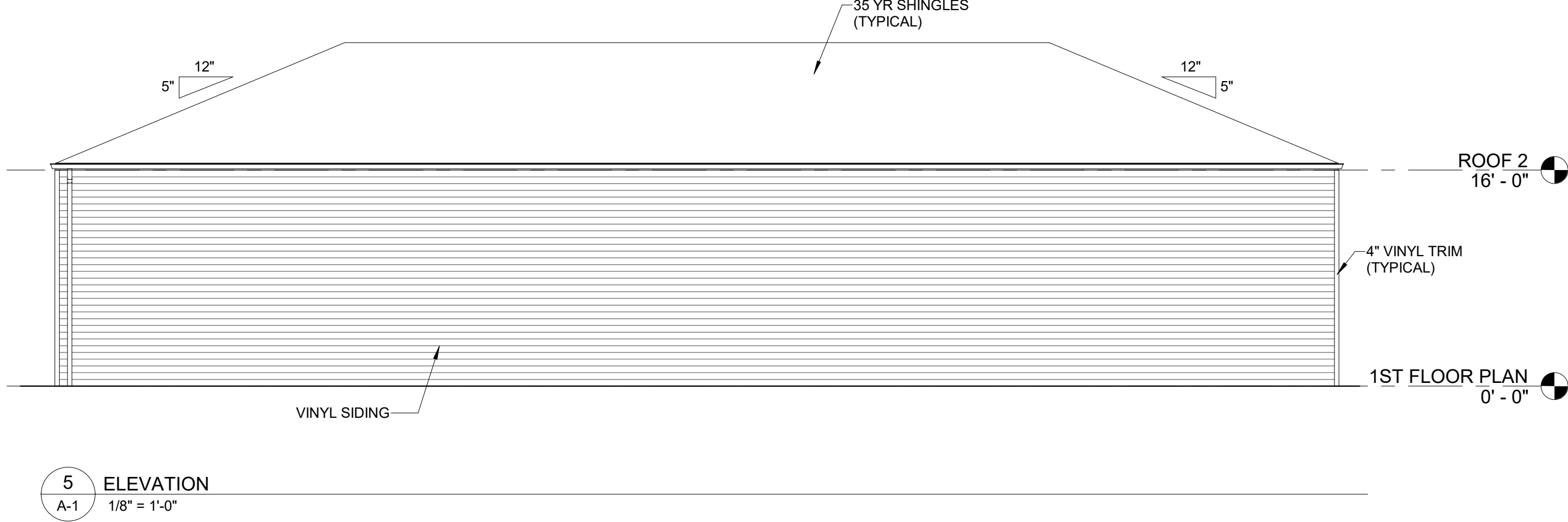
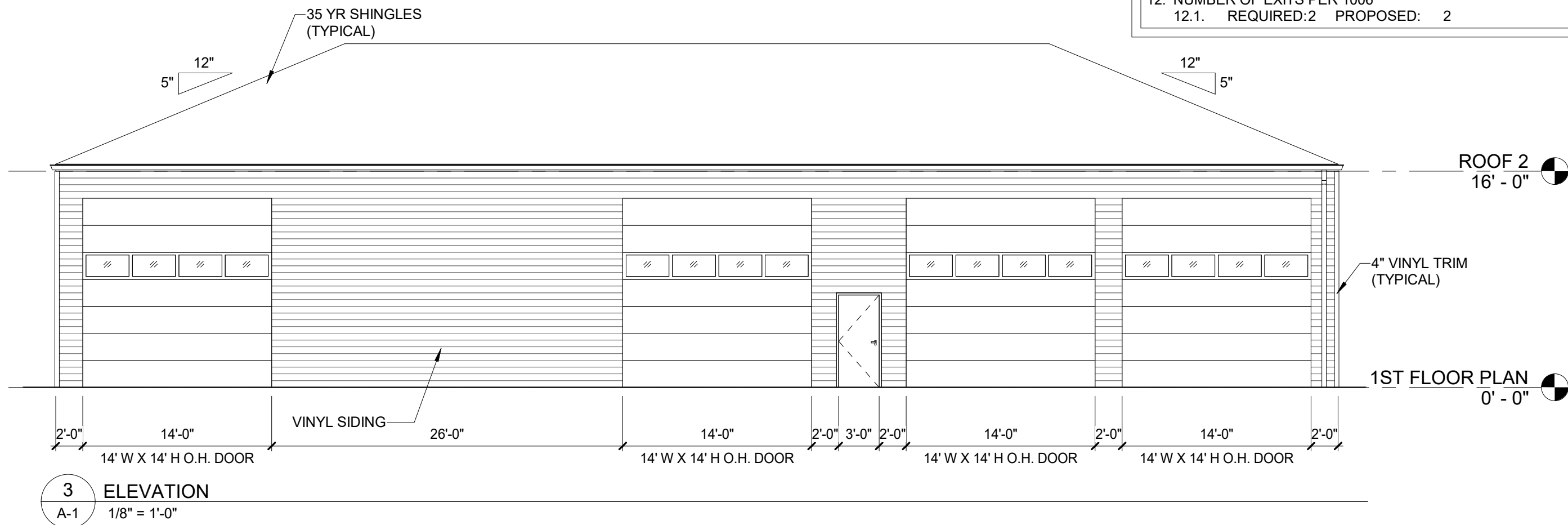
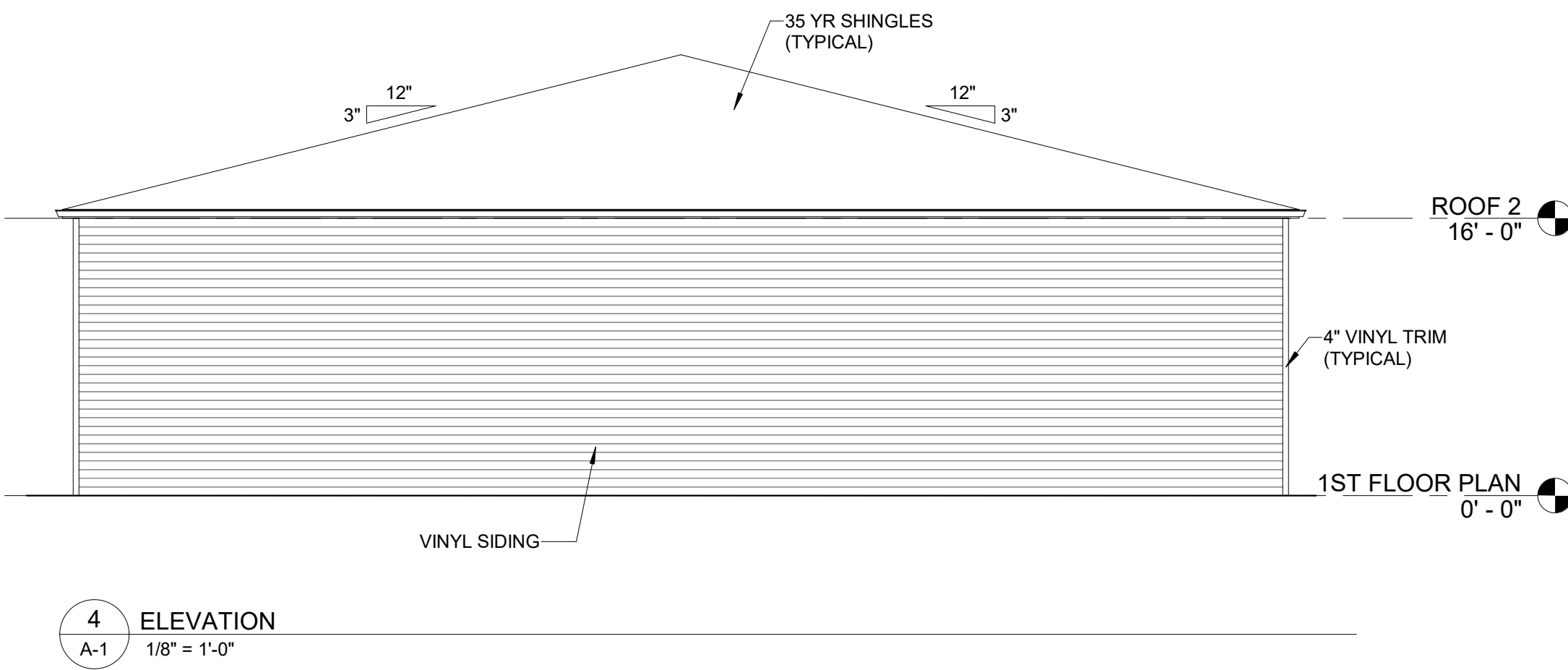
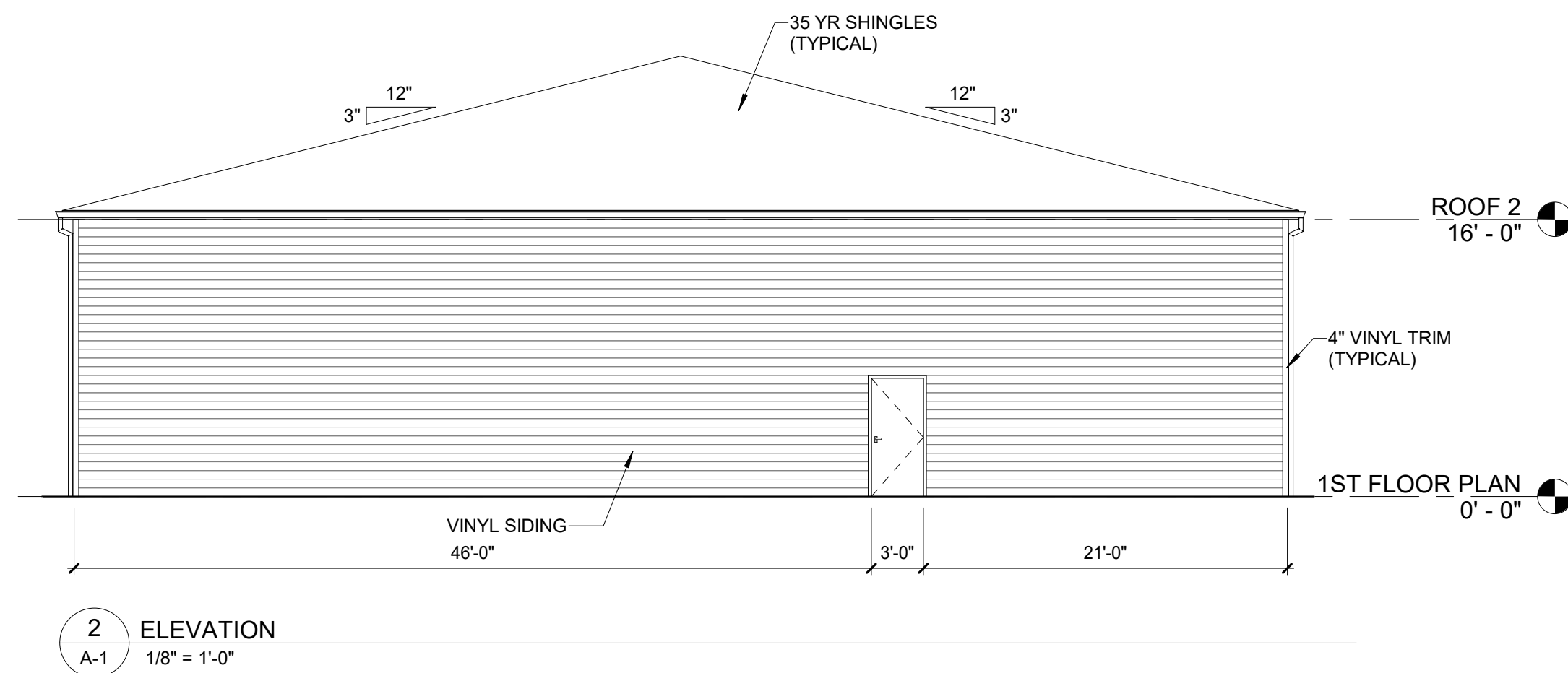
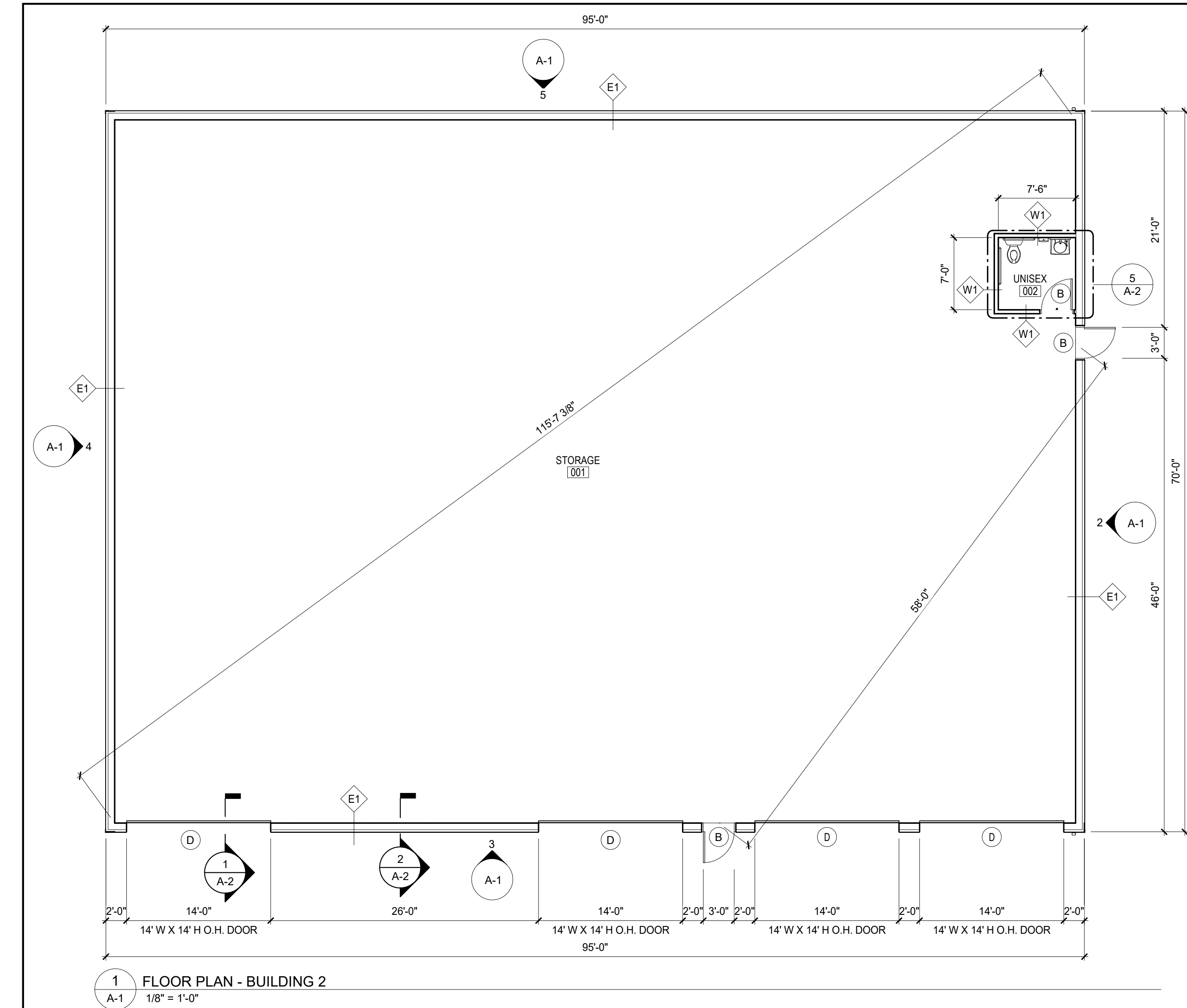
NO.	DATE	BY	CHK	REVISIONS
1	1-15-2021	CJC	TAC/JEU	ISSUED FOR PERMIT

BY: CJC	CHK: TAC/JEU
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Maintenance Building
Mt. Vernon Apartments
Chapman Acres LLC
1120 Hartford Turnpike, Vernon, Connecticut
Assessor's ID# 43-0068-0022A Zone: PRD

Site Plan

DATE
1-15-2021
SCALE
1"=20'
JOB NUMBER
2020-055
SHEET
1 of 1



APPLICABLE CODES

2018 CONNECTICUT STATE BUILDING CODE

- INTERNATIONAL CODE COUNCIL, INC.
 - 2015 INTERNATIONAL BUILDING CODE
 - 2009 A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
 - 2015 INTERNATIONAL EXISTING BUILDING CODE
 - 2015 INTERNATIONAL PLUMBING CODE
 - 2015 INTERNATIONAL MECHANICAL CODE
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE

- NATIONAL FIRE PROTECTION ASSOCIATION, INC.
 - 2017 NFPA 70 NATIONAL ELECTRICAL CODE

ALL AS AMENDED AND ADOPTED BY THE OCTOBER 1, 2018 CONNECTICUT AMENDMENTS CONSTITUTE THE 2018 CONNECTICUT STATE BUILDING CODE.

2018 CONNECTICUT STATE FIRE SAFETY CODE

- INTERNATIONAL CODE COUNCIL, INC.
 - 2015 INTERNATIONAL FIRE CODE

NATIONAL FIRE PROTECTION ASSOCIATION, INC.

- 2015 NFPA 101 LIFE SAFETY CODE

ALL AS AMENDED AND ADOPTED BY THE OCTOBER 1, 2018 CONNECTICUT AMENDMENTS CONSTITUTE THE 2018 CONNECTICUT STATE FIRE SAFETY CODE.

2018 CONNECTICUT STATE FIRE PREVENTION CODE

- NATIONAL FIRE PROTECTION ASSOCIATION, INC.
 - 2015 NFPA 1 FIRE CODE

AS AMENDED AND ADOPTED BY THE OCTOBER 1, 2018 CONNECTICUT AMENDMENTS CONSTITUTE THE 2018 CONNECTICUT STATE FIRE PREVENTION CODE.

CODE NOTES

- STANDARDS AND SPECIFICATIONS INDICATED WITHIN THE CODE ANALYSIS ARE MANDATORY TO THE CONTRACTOR.
- WHERE THE CODE ANALYSIS INDICATES "PER SUBMITTAL", SHOP DRAWINGS, MFRS DATA SHEETS, OR OTHER DOCUMENT FROM THE CONTRACTOR SHALL SHOW COMPLIANCE WITH THE REFERENCED CODE SECTION.

SCOPE OF WORK

NEW 1-STORY WOOD FRAME WITH A VINYL SIDING EXTERIOR STORAGE BUILDING. WORK TO INCLUDE ARCHITECTURAL & STRUCTURAL DESIGN.

LIST OF SHEETS

SHEET NO.	SHEET NAME	Project Issue Date	Current Revision	Current Revision Date
A-1	FLOOR PLAN, ELEVATIONS, AND CODE SUMMARY	09/30/2020		
A-2	ENLARGED BATHROOM, SECTIONS, AND DETAILS	09/30/2020		
S-1	FOUNDATION PLAN AND DETAILS	09/30/2020		
S-2	ROOF FRAMING PLAN AND DETAILS	09/30/2020		
S-3	GENERAL NOTES	09/30/2020		

CODE ANALYSIS

- THIS PROJECT CONSISTS OF THE FOLLOWING:
 - NEW CONSTRUCTION
- 107.3.4.1 DEFERRED SUBMITTALS:
 - ROOFING MATERIALS
 - BRICK VENEER
 - WOOD TRUSS SHOP DRAWINGS
 - HEATING AND VENTILATING PER SUBMITTAL FROM MECHANICAL CONTRACTOR
 - PLUMBING PER SUBMITTAL FROM PLUMBING CONTRACTOR
 - POWER AND LIGHTING PER SUBMITTAL FROM ELECTRICAL CONTRACTOR
- USE AND OCCUPANCY CLASSIFICATION
 - 3.1.311.2 STORAGE GROUP S-1
- SPECIAL REQUIREMENTS
 - 4.1.406.8 REPAIR GARAGES: PROVIDE MECHANICAL VENTILATION PER 406.8.2 AND SECTION 404 OF THE MECHANICAL CODE
- CONSTRUCTION TYPE PER TABLE 601
 - 5.1.VB
- BUILDING HEIGHT
 - 6.1. PROPOSED STORIES: 1 FEET: 20'-6"
 - 6.2. ALLOWABLE IN FEET PER TABLE 504.3: 40 NOT SPRINKLERED
 - 6.3. ALLOWABLE STORIES PER TABLE 504.4: 1 NOT SPRINKLERED
- FIRE SEPARATION DISTANCE PER TABLE 602
 - 7.1. PROPOSED
 - 7.1.1. PROJECTED AREA IN SQUARE FEET: 6,297
 - 7.2. IN SQUARE FEET PER TABLE 506.2: 9,000
 - 7.3. FRONTAGE INCREASE PER 506.3: 75 %
 - 7.3.1. CALCULATIONS ON REQUEST
 - 7.4. AREA DETERMINATION PER 506.2
 - 7.4.1. TOTAL AREA ALLOWABLE: 15,750
- FIRE SEPARATION DISTANCE PER TABLE 602
 - 8.1. REQUIRED: 10 FEET FOR 0-HOUR RATED EXTERIOR WALLS
 - 8.2. PROPOSED: PER SITE PLAN
 - 8.2.1. 720.2 CONCEALED INSULATION: CONCEALED INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 & A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
 - 8.2.2. 720.3 EXPOSED INSULATION: EXPOSED INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 & A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
 - 8.2.3. 720.7 PIPE AND TUBING: INS & COVERING ON PIPE & TUBE SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 & A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
- INTERIOR FINISHES PER TABLE 903.9
 - 9.1. SEE NOTES
- SEE NOTES
- PORTABLE FIRE EXTINGUISHERS PER 906.1: PORTABLE FIRE EXTINGUISHERS SHALL BE SIZED AND LOCATED PER SHOP DWG SUBMITTED BY THE SUPPLIER.
- OCCUPANT LOAD PER TABLE 1004.1.2
 - USE FACTOR AREA IN SF OCCUPANTS
- UTILITY/STO 300 6,297 21
- NUMBER OF EXITS PER 1006
 - 12.1. REQUIRED: 2 PROPOSED: 2

CODE ANALYSIS

- EXIT AND EXIT ACCESS DOORWAY CONFIGURATION PER 1007.1
 - 13.1. 1007.1.1 ARRANGEMENT: MAX DIAGONAL/2 = MINIMUM REMOTENESS
- 13.1.1. SEE FLOOR PLAN
- MEANS OF EGRESS ILLUMINATION PER 1008.1: SEE ELECTRICAL LIGHTING PLAN
 - 14.1. 1008.2.1 ILLUMINATION LEVEL: ONE FOOT-CANDLE AT THE FLOOR REQUIRED. IF REQUESTED, PHOTOMETRIC SHOP DRAWINGS SHOWING NORMAL & EMERGENCY ILLUMINATION LEVELS WILL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
 - 14.2. 1008.3 ILLUMINATION EMERGENCY POWER: SEE ELECTRICAL SUBMITTAL
- 1008.3.4 DURATION: SEE ELECTRICAL SUBMITTAL
- ACCESSIBLE MEANS OF EGRESS
 - 15.1. 1009.1 REQUIRED: 2 PROPOSED: 2
- EXIT SIGNS PER 1013.1: SEE ELECTRICAL LIGHTING SUBMITTAL
- 1013.5 INTERNALLY ILLUMINATED EXIT SIGNS: SEE ELECTRICAL LIGHTING PLAN
- 1013.6.3 POWER SOURCE: SEE ELECTRICAL SUBMITTAL
- EXIT ACCESS TRAVEL PER TABLE 1017.2
 - 17.1. MAXIMUM PERMITTED: 200 FEET PROPOSED: 126 FEET [SEE FLOOR PLAN]
- EXIT DISCHARGE PER 1028: SEE SITE PLAN
- MECHANICAL VENTILATION
 - 19.1. OCCUPIED SPACES PER IMC 403.2: SEE MECHANICAL SUBMITTAL
 - 19.2. BATHROOMS PER 1203.5.2.1: SEE MECHANICAL SUBMITTAL
 20. TEMPERATURE CONTROL PER 1204.1
 - 20.1. REQUIRED: 68°F 36" AFF PROPOSED: SEE MECHANICAL DRAWINGS
- ARTIFICIAL LIGHT PER 1205.3
 - 21.1. REQUIRED: 10 FOOT-CANDLES 30" ABOVE THE FLOOR
 - 21.2. PROVIDED: SEE LIGHTING PLANS BY ELECTRICAL CONTRACTOR
- TOILET AND BATHROOM REQUIREMENTS PER 1210
 - 22.1. FLOORS AND WALL BASES PER 1210.2.1: SEE FINISH SCHEDULE
 - 22.2. WALL AND PARTITION FINISHES 12.10.2.2: SEE FINISH SCHEDULE
- ENERGY EFFICIENCY PER 1301.1.1
 - 23.1. ENVELOPE [X] % BETTER THAN IECC MINIMUM CALCULATIONS ON REQUEST
- CHAPTER 17 SPECIAL INSPECTIONS AND TESTS: SEE STATEMENT OF SPECIAL INSPECTIONS
- CHAPTER 18 SOILS AND FOUNDATIONS: SEE STRUCTURAL DRAWINGS
- CHAPTER 19 CONCRETE: SEE STRUCTURAL DRAWINGS
- CHAPTER 23 WOOD: SEE STRUCTURAL DRAWINGS
- CHAPTER 27 ELECTRICAL: SEE ELECTRICAL DRAWINGS
- CHAPTER 29 PLUMBING SYSTEMS
 - 29.1. REQUIRED PLUMBING FIXTURES PER TABLE 2902.1: PROPOSED PLUMBING FIXTURES ARE FOR CONVENIENCE.
 - 29.2. SEPARATE FACILITIES PER 2902.2: AVAILABLE TO WORKERS IN OTHER BUILDINGS ON THE SITE
 - 29.3. SEE PLUMBING SUBMITTAL FOR SUPPLY, DRAINAGE, AND VENTING
- CHAPTER 33 SAFEGUARDS DURING CONSTRUCTION: BY CONTRACTOR

SYMBOL LEGEND

- NEW WALL / PARTITION
SEE A-501 FOR WALL TYPE.
EXISTING WALL
- NEW DOOR
- WALL TYPES REFER TO SHEET A2
- ROOM NAME
ROOM NAME & NUMBER REFER TO ENLARGED SHEETS XXXXX
FOR ENLARGED DETAILS & ROOM FINISHES.
- DIMENSION TAKEN FROM FACE OF FINISH TO FACE OF FINISH

PROJECT: MAINTENANCE BUILDING #2

38 MT. VERNON DRIVE, VERNON, CT

FILE NO: 20089.02

SCALE: AS NOTED

DATE: 09/30/2020

DRAWN BY: DLP

CHECKED BY: RMD

SHEET TITLE: FLOOR PLAN, ELEVATIONS, AND CODE SUMMARY

SHEET NUMBER:

A-1

RUSSELL AND DAWSON INC.
ARCHITECTURE & ENGINEERING
1111 Main Street, East Hartford CT 06108
TEL: (860) 282-1100 FAX: (860) 282-5272 E-MAIL: russ@rdawson.com

REVISIONS	NO.	DESCRIPTION	DATE	BY

STAMP:

DRAINAGE REPORT
Mt. Vernon Apartments
Maintenance Building
1120 Hartford Turnpike
Vernon, CT

January 18, 2021

Prepared for:

*Chapman Acres LLC
75 Hockanum Boulevard
Vernon, Connecticut 06066*

Project No. 2020-055

Prepared by:

*J.R. Russo & Associates, LLC
Land Surveyors & Professional Engineers
P.O. Box 938
East Windsor, CT 06088
(860) 623-0569*

Based upon the soil survey, the site soils have a permeability ranging from 5.95 to 19.98 in/hr. For design purposes, the Rawls rate of 8.27 inches/hour for HSG A soils was used to model infiltration in the subsurface system.

B. Pre-Development Hydrology

The contributing area to the design point totals approximately 1.13 acres. The pre-development drainage area map is provided in Appendix 3. The pre-development runoff characteristics of the contributing area are provided on the HydroCAD data sheets in Appendix 4. The discharge rates from the site during the design storms are summarized in Table 1.

C. Post-Development Hydrology

The development of the project site will result in a slight increase in impervious area. The resulting increase in runoff will be mitigated by a new subsurface infiltration system installed underneath the lawn on the east side of the proposed maintenance building. The runoff collected from the building will be collected by roof leaders and directed to the subsurface infiltration chambers. The subsurface infiltration chambers will infiltrate the runoff. For larger storm events, the subsurface infiltration chambers will have an overflow pipe leading downhill to the northern treeline.

A post-development drainage area map is provided in Appendix 3. The post-development runoff characteristics of the contributing area and subsurface infiltration system are provided on the HydroCAD data sheets in Appendix 5. The discharge rates off-site are summarized in Table 1. As shown in the table, the post-development peak discharge from the site will be less than or equal to the pre-development rates for the design storms.

**TABLE 1 – COMPARISON OF PRE- & POST DEVELOPMENT
OFF-SITE DISCHARGE RATES (CFS)**

	2-year	10-year	25-year	100-year
Pre-Development	0.1	1.0	1.9	3.4
Post Development	0.0	0.9	1.9	3.4

F. Stormwater Treatment

Only clean runoff from the roof will directed into the subsurface infiltration chambers where it will infiltrate back into the ground. Thus, pre-treatment will not be necessary.

G. Summary of Results

The proposed design and analysis indicates that the proposed development will not result in negative impacts downstream.



NOAA Atlas 14, Volume 10, Version 3
Location name: Vernon Rockville, Connecticut,
USA*

Latitude: 41.8539°, Longitude: -72.443°

Elevation: 548.54 ft**

* source: ESRI Maps

** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sandra Pavlovic, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Orlan Wilhite

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aeriels](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.330 (0.251-0.434)	0.401 (0.304-0.528)	0.517 (0.391-0.683)	0.613 (0.461-0.814)	0.745 (0.546-1.03)	0.844 (0.608-1.20)	0.949 (0.667-1.39)	1.07 (0.713-1.60)	1.24 (0.799-1.91)	1.38 (0.871-2.17)
10-min	0.467 (0.355-0.615)	0.568 (0.431-0.748)	0.732 (0.554-0.967)	0.868 (0.653-1.15)	1.06 (0.773-1.46)	1.20 (0.861-1.69)	1.34 (0.944-1.97)	1.51 (1.01-2.26)	1.75 (1.13-2.71)	1.95 (1.23-3.08)
15-min	0.550 (0.418-0.724)	0.668 (0.507-0.880)	0.861 (0.651-1.14)	1.02 (0.769-1.36)	1.24 (0.909-1.72)	1.41 (1.01-1.99)	1.58 (1.11-2.32)	1.78 (1.19-2.66)	2.06 (1.33-3.19)	2.30 (1.45-3.62)
30-min	0.747 (0.567-0.983)	0.907 (0.689-1.20)	1.17 (0.885-1.55)	1.39 (1.05-1.85)	1.69 (1.24-2.34)	1.92 (1.38-2.71)	2.15 (1.51-3.16)	2.42 (1.62-3.62)	2.81 (1.81-4.34)	3.13 (1.98-4.93)
60-min	0.943 (0.716-1.24)	1.15 (0.870-1.51)	1.48 (1.12-1.96)	1.76 (1.32-2.33)	2.14 (1.57-2.96)	2.42 (1.74-3.43)	2.72 (1.91-4.00)	3.06 (2.05-4.58)	3.55 (2.30-5.50)	3.96 (2.50-6.24)
2-hr	1.21 (0.925-1.59)	1.47 (1.12-1.92)	1.88 (1.43-2.48)	2.23 (1.68-2.95)	2.70 (1.99-3.74)	3.05 (2.21-4.32)	3.43 (2.44-5.05)	3.88 (2.60-5.78)	4.58 (2.96-7.04)	5.16 (3.28-8.09)
3-hr	1.40 (1.07-1.83)	1.69 (1.29-2.21)	2.16 (1.65-2.84)	2.56 (1.94-3.38)	3.10 (2.29-4.29)	3.50 (2.55-4.95)	3.94 (2.81-5.80)	4.47 (3.00-6.64)	5.30 (3.44-8.13)	6.02 (3.83-9.40)
6-hr	1.77 (1.36-2.30)	2.14 (1.64-2.79)	2.75 (2.11-3.60)	3.26 (2.48-4.28)	3.96 (2.94-5.45)	4.47 (3.27-6.30)	5.03 (3.62-7.40)	5.73 (3.86-8.46)	6.84 (4.45-10.4)	7.80 (4.98-12.1)
12-hr	2.20 (1.70-2.85)	2.68 (2.07-3.48)	3.48 (2.67-4.52)	4.13 (3.16-5.41)	5.04 (3.76-6.91)	5.70 (4.19-8.00)	6.43 (4.64-9.40)	7.34 (4.96-10.8)	8.76 (5.72-13.3)	10.0 (6.40-15.4)
24-hr	2.60 (2.01-3.35)	3.21 (2.48-4.14)	4.20 (3.24-5.45)	5.03 (3.86-6.55)	6.17 (4.62-8.43)	7.00 (5.17-9.80)	7.93 (5.75-11.6)	9.09 (6.16-13.3)	10.9 (7.15-16.4)	12.5 (8.04-19.2)
2-day	2.93 (2.27-3.76)	3.66 (2.84-4.71)	4.86 (3.76-6.27)	5.85 (4.51-7.59)	7.22 (5.45-9.86)	8.22 (6.11-11.5)	9.34 (6.83-13.6)	10.8 (7.33-15.6)	13.1 (8.60-19.6)	15.2 (9.76-23.1)
3-day	3.18 (2.48-4.08)	3.99 (3.10-5.12)	5.30 (4.11-6.82)	6.39 (4.93-8.26)	7.89 (5.96-10.7)	8.98 (6.69-12.5)	10.2 (7.48-14.8)	11.8 (8.02-17.0)	14.4 (9.45-21.4)	16.6 (10.7-25.2)
4-day	3.42 (2.67-4.38)	4.27 (3.33-5.47)	5.67 (4.41-7.28)	6.83 (5.28-8.81)	8.42 (6.37-11.4)	9.58 (7.15-13.3)	10.9 (7.99-15.8)	12.6 (8.57-18.1)	15.3 (10.1-22.7)	17.7 (11.5-26.8)
7-day	4.07 (3.18-5.19)	5.03 (3.93-6.42)	6.60 (5.14-8.45)	7.90 (6.13-10.2)	9.69 (7.35-13.1)	11.0 (8.23-15.2)	12.5 (9.15-18.0)	14.3 (9.80-20.6)	17.3 (11.4-25.6)	20.0 (12.9-30.0)
10-day	4.71 (3.70-6.00)	5.73 (4.50-7.31)	7.40 (5.78-9.46)	8.78 (6.83-11.3)	10.7 (8.12-14.4)	12.1 (9.03-16.6)	13.6 (9.99-19.5)	15.6 (10.7-22.3)	18.6 (12.3-27.4)	21.3 (13.8-31.8)
20-day	6.76 (5.33-8.57)	7.85 (6.18-9.96)	9.64 (7.56-12.3)	11.1 (8.68-14.2)	13.2 (9.99-17.5)	14.7 (10.9-19.8)	16.3 (11.8-22.8)	18.2 (12.5-25.8)	20.9 (13.9-30.6)	23.2 (15.1-34.5)
30-day	8.51 (6.72-10.8)	9.62 (7.59-12.2)	11.4 (9.00-14.5)	13.0 (10.1-16.5)	15.0 (11.4-19.8)	16.6 (12.4-22.3)	18.3 (13.2-25.2)	20.0 (13.8-28.3)	22.4 (15.0-32.6)	24.4 (15.9-36.1)
45-day	10.7 (8.46-13.5)	11.8 (9.36-14.9)	13.7 (10.8-17.3)	15.3 (12.0-19.4)	17.4 (13.2-22.7)	19.0 (14.2-25.3)	20.7 (14.9-28.2)	22.3 (15.5-31.3)	24.4 (16.3-35.3)	25.9 (16.9-38.2)
60-day	12.5 (9.92-15.7)	13.7 (10.8-17.2)	15.6 (12.3-19.7)	17.2 (13.5-21.8)	19.4 (14.7-25.2)	21.1 (15.7-27.9)	22.7 (16.3-30.7)	24.2 (16.9-34.0)	26.1 (17.5-37.7)	27.4 (17.9-40.3)
¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.										

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PF graphical



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for **State of Connecticut**



October 29, 2020

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres In AOI	Percent of AOI
37C	Manchester gravelly sandy loam, 3 to 15 percent slopes	1.8	100.0%
Totals for Area of Interest		1.8	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Custom Soil Resource Report

Down-slope shape: Convex

Across-slope shape: Linear

Hydric soil rating: No

Hartford

Percent of map unit: 5 percent

Landform: Terraces, outwash plains

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Branford

Percent of map unit: 3 percent

Landform: Outwash plains, terraces

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Ellington

Percent of map unit: 3 percent

Landform: Outwash plains, terraces

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Unnamed, nongravelly surface

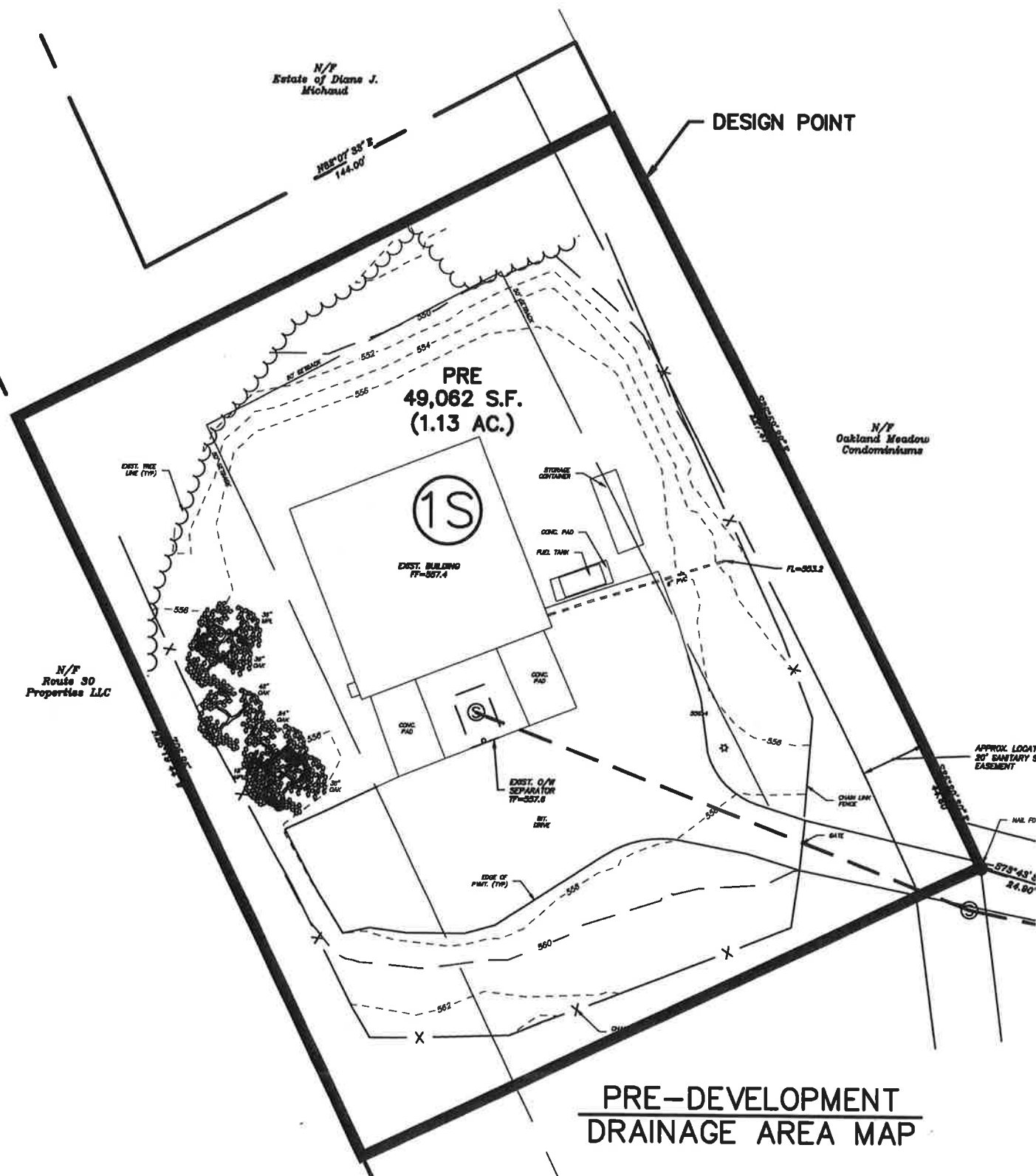
Percent of map unit: 2 percent

Hydric soil rating: No

Unnamed, gravelly loamy sand surface

Percent of map unit: 2 percent

Hydric soil rating: No



**PRE-DEVELOPMENT
DRAINAGE AREA MAP**

Appendix 4:

PRE-DEVELOPMENT HYDROCAD ANALYSIS

2020-055 Chapman - Mt. Vernon

Type III 24-hr 2-year Rainfall=3.21"

Prepared by J.R. Russo & Associates LLC

Printed 1/18/2021

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Time span=1.00-72.00 hrs, dt=0.01 hrs, 7101 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN

Reach routing by Sim-Route method - Pond routing by Sim-Route method

Subcatchment1S: PRE

Runoff Area=49,062 sf 26.93% Impervious Runoff Depth=0.23"
Flow Length=160' Tc=5.2 min CN=54 Runoff=0.10 cfs 0.021 af

Pond 1P: DP PRE

Inflow=0.10 cfs 0.021 af
Primary=0.10 cfs 0.021 af

Total Runoff Area = 1.126 ac Runoff Volume = 0.021 af Average Runoff Depth = 0.23"
73.07% Pervious = 0.823 ac 26.93% Impervious = 0.303 ac

2020-055 Chapman - Mt. Vernon

Type III 24-hr 10-year Rainfall=5.03"

Prepared by J.R. Russo & Associates LLC

Printed 1/18/2021

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Time span=1.00-72.00 hrs, dt=0.01 hrs, 7101 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN

Reach routing by Sim-Route method - Pond routing by Sim-Route method

Subcatchment 1S: PRE

Runoff Area=49,062 sf 26.93% Impervious Runoff Depth=0.93"
Flow Length=160' Tc=5.2 min CN=54 Runoff=0.99 cfs 0.088 af

Pond 1P: DP PRE

Inflow=0.99 cfs 0.088 af
Primary=0.99 cfs 0.088 af

Total Runoff Area = 1.126 ac Runoff Volume = 0.088 af Average Runoff Depth = 0.93"
73.07% Pervious = 0.823 ac 26.93% Impervious = 0.303 ac

2020-055 Chapman - Mt. Vernon

Type III 24-hr 100-year Rainfall=7.93"

Prepared by J.R. Russo & Associates LLC

Printed 1/18/2021

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Time span=1.00-72.00 hrs, dt=0.01 hrs, 7101 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN

Reach routing by Sim-Route method - Pond routing by Sim-Route method

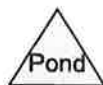
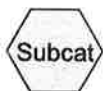
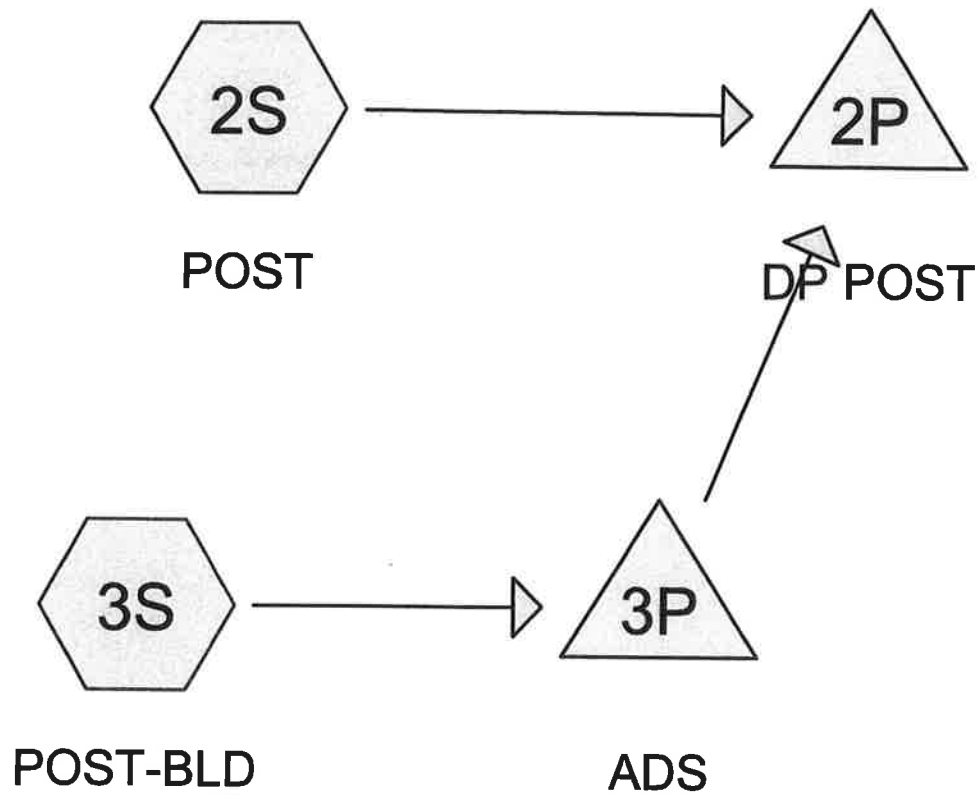
Subcatchment 1S: PRE

Runoff Area=49,062 sf 26.93% Impervious Runoff Depth=2.63"
Flow Length=160' Tc=5.2 min CN=54 Runoff=3.40 cfs 0.247 af

Pond 1P: DP PRE

Inflow=3.40 cfs 0.247 af
Primary=3.40 cfs 0.247 af

Total Runoff Area = 1.126 ac Runoff Volume = 0.247 af Average Runoff Depth = 2.63"
73.07% Pervious = 0.823 ac 26.93% Impervious = 0.303 ac



2020-055 Chapman - Mt. Vernon

Type III 24-hr 2-year Rainfall=3.21"

Prepared by J.R. Russo & Associates LLC

Printed 1/18/2021

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Summary for Subcatchment 2S: POST

Runoff = 0.02 cfs @ 12.46 hrs, Volume= 0.011 af, Depth= 0.13"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-72.00 hrs, dt= 0.01 hrs
Type III 24-hr 2-year Rainfall=3.21"

Area (sf)	CN	Description
5,533	30	Woods, Good, HSG A
8,937	98	Paved parking, HSG A
27,942	39	>75% Grass cover, Good, HSG A
42,412	50	Weighted Average
33,475		78.93% Pervious Area
8,937		21.07% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.6	33	0.2182	0.35		Sheet Flow, GRASS Grass: Short n= 0.150 P2= 3.20"
2.2	98	0.0041	0.73		Sheet Flow, IM Smooth surfaces n= 0.011 P2= 3.20"
1.5	19	0.0828	0.22		Sheet Flow, GRASS Grass: Short n= 0.150 P2= 3.20"
0.1	10	0.0828	2.01		Shallow Concentrated Flow, GRASS Short Grass Pasture Kv= 7.0 fps
5.4	160	Total			

Summary for Subcatchment 3S: POST-BLD

Runoff = 0.49 cfs @ 12.07 hrs, Volume= 0.038 af, Depth= 2.98"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-72.00 hrs, dt= 0.01 hrs
Type III 24-hr 2-year Rainfall=3.21"

Area (sf)	CN	Description
6,650	98	Roofs, HSG A
6,650		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Pond 2P: DP POST

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 1.126 ac, 31.77% Impervious, Inflow Depth = 0.11" for 2-year event
 Inflow = 0.02 cfs @ 12.46 hrs, Volume= 0.011 af
 Primary = 0.02 cfs @ 12.47 hrs, Volume= 0.011 af, Atten= 0%, Lag= 0.6 min

2020-055 Chapman - Mt. Vernon*Type III 24-hr 10-year Rainfall=5.03"*

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Time span=1.00-72.00 hrs, dt=0.01 hrs, 7101 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Sim-Route method - Pond routing by Sim-Route method

Subcatchment 2S: POST

Runoff Area=42,412 sf 21.07% Impervious Runoff Depth=0.70"
Flow Length=160' Tc=5.4 min CN=50 Runoff=0.52 cfs 0.057 af

Subcatchment 3S: POST-BLD

Runoff Area=6,650 sf 100.00% Impervious Runoff Depth>4.79"
Tc=5.0 min CN=98 Runoff=0.78 cfs 0.061 af

Pond 2P: DP POST

Inflow=0.87 cfs 0.064 af
Primary=0.87 cfs 0.064 af

Pond 3P: ADS

Peak Elev=554.16' Storage=548 cf Inflow=0.78 cfs 0.061 af
Discarded=0.11 cfs 0.084 af Primary=0.40 cfs 0.007 af Outflow=0.51 cfs 0.091 af

Total Runoff Area = 1.126 ac Runoff Volume = 0.118 af Average Runoff Depth = 1.26"
68.23% Pervious = 0.768 ac 31.77% Impervious = 0.358 ac

2020-055 Chapman - Mt. Vernon*Type III 24-hr 100-year Rainfall=7.93"*

Prepared by J.R. Russo & Associates LLC

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Time span=1.00-72.00 hrs, dt=0.01 hrs, 7101 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Sim-Route method - Pond routing by Sim-Route method

Subcatchment 2S: POST

Runoff Area=42,412 sf 21.07% Impervious Runoff Depth=2.21"
Flow Length=160' Tc=5.4 min CN=50 Runoff=2.36 cfs 0.179 af

Subcatchment 3S: POST-BLD

Runoff Area=6,650 sf 100.00% Impervious Runoff Depth>7.69"
Tc=5.0 min CN=98 Runoff=1.23 cfs 0.098 af

Pond 2P: DP POST

Inflow=3.43 cfs 0.203 af
Primary=3.43 cfs 0.203 af

Pond 3P: ADS

Peak Elev=554.54' Storage=604 cf Inflow=1.23 cfs 0.098 af
Discarded=0.12 cfs 0.094 af Primary=1.07 cfs 0.024 af Outflow=1.19 cfs 0.118 af

Total Runoff Area = 1.126 ac Runoff Volume = 0.277 af Average Runoff Depth = 2.95"
68.23% Pervious = 0.768 ac 31.77% Impervious = 0.358 ac

LID CHECKLIST

Applicants must complete and submit the following checklist with the application.

Item	Description	Verified	Comments
1	An Existing Conditions Plan is provided documenting sensitive natural resources including but not limited to existing wetlands (as designated by a Certified Soils Scientist in Connecticut), streams, ponds, vernal pools, flood zones, stream channel encroachment lines, soil types and infiltration rates, wells, tree lines, property boundaries, and other items that may be requested by the Town.	IAC	No sensitive receptors. Soil types + infiltration rates provided in drainage report.
2	Utilizing the Existing Conditions Plan as a guide, development has been located to maximize preservation of contiguous natural sensitive areas.	IAC	
3	Proposed site developments for residential or two family dwellings on more than one individual parcel, all commercial, industrial, and retail developments have been guided by the applicable requirements of the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual.	IAC	
4	Bioretention Basins or Rain Gardens have been incorporated within yards, median strips, cul-de-sacs islands, and parking lot islands.	IAC	Not applicable - project limited to new building replacing existing building.

Date: 1/25/21

Project: Mount Vernon Apartments Maintenance Building

Conformance with the following criteria shall be initiated in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided by the applicant in the space provided below. Comments will be reviewed with Town Staff at the scheduled Development Staff Meeting and documented.

Date: 1/25/21

Project: Mount Vernon Apartments Maintenance Building

Conformance with the following criteria shall be initiated in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
5	Dry Wells have been incorporated into the design to control roof and pavement runoff.	<i>TAC</i>	subsurface chambers.
6	Permeable (Porous) Pavement has been incorporated into areas of low traffic, parking lots, residential and light commercial use driveways, walkways, bike paths, etc.	<i>TAC</i>	Not applicable - project limited to replacement of existing building.
7	Natural areas including woodlands, regulated wetland areas, naturally vegetated areas have been preserved/ and or replicated to the maximum extent practical.	<i>TAC</i>	
8	Post Development stormwater runoff is at or less than the predevelopment runoff.	<i>TAC</i>	
9	Stormwater infiltration has been provided by the use of underground storage units, devices, and/or infiltration swales/trenches.	<i>TAC</i>	
10	Level spreaders/vegetation have been provided at storm drainage outfalls to enhance water quality and mitigate erosion.	<i>TAC</i>	

Date: 1/25/21

Project: Mount Vernon Apartments Maintenance Building

Conformance with the following criteria shall be initiated in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
11	On-Site retention/detention facilities have been provided to address water quality and storm water runoff.	TAC	Subsurface Chambers
12	Rain Barrels, cisterns, and/or other rainwater harvesting techniques to reuse rainwater for irrigation and other non-potable uses are incorporated into the design.	TAC	Groundwater recharge
13	An Erosion and Sedimentation Control Plan conforming to the Standards of the Connecticut Guidelines for Soil Erosion and Sediment Control is included in the design.	TAC	Separate E+S Plan not required. L 0.5 acres
14	A yearly maintenance plan of all components of best management practices associated with storm water management has been provided.	TAC	Not Applicable
15	Impervious area percentages for pre and post development have been provided.	TAC	Minimal increase discussed in Drainage Report
16	When conflicts exist between the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual the State Manual shall govern.	TAC	

Other Business



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Planning and Zoning Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZ 2020-14, Zoning Text Amendment—Section 15 of the Zoning Regulations

DATE: January 21, 2021

Background

Today the Zoning Regulations of **Section 15, Removal of Earth, Sand, and Gravel**, require a special permit, public hearing, and PZC approval for all land disturbance activities in excess of 50 cubic yard and/or ½ acre of earth moving/grading, etc. This level of activity is relatively small and can add time and expense to homeowner projects and small businesses. Moreover, most triggers for a special permit accompany a site plan or subdivision application. They are, most often, incidental to another bona fide review process. Requiring a special permit for grading related to an approved site plan, subdivision, or building permit is burdensome to businesses and property owners, as well as unnecessary, as the technical review related to earth moving et. al. will take place by the Town Engineer and other experts during the course of a land development application. Other activities which are not significant would continue to be exempted from any review.

The amendment, therefore, creates two categories of review related to grading and earth removal, 1) small projects and projects related to other applications would be exempt from additional review; 2) projects above a threshold (above 250 cubic yards and 1 acre) would be reviewed as a minor modification by Town Staff and would no longer require a special permit. This amendment streamlines review, saves property owners and businesses time and money, while continuing to relying upon Staff expertise.

Proper Notice has been provided to the COG, surrounding Towns, and the Town Clerk.

Draft Motions

- A. I move that the Planning and Zoning Commission Approve PZ-2020-14, a Zoning Regulation Text Amendment of Section 15, Removal of Earth, Sand, and Gravel, based upon a finding that the amendments are consistent with the Plan of Conservation and Development's goals ensuring that land use regulations are "user-friendly" (POCD, page 90).

- B. Alternate Motion

Section 15 – REMOVAL OF EARTH, SAND, AND GRAVEL (January 11, 2021)

15.1 Provisions:

15.1.1 Grading, fill, excavation or removal, or remediation, of loam, top soil, sand, gravel, clay, peat, humus or stone is permitted without additional review under the following circumstances:

15.1.1.1 A individual residentially zoned lot with a primary residential structure for which a building permit has been obtained and where no removal or sale of materials is involved.

15.1.1.2 Necessary and incidental to activities associated with an approved subdivision or site plan.

15.1.1.3 Bona fide agricultural activities.

15.1.1.4 Remediation of contaminated soils.

15.1.1.5 When the amount of material does not exceed 250 cubic yards, or when less than 1 acre is disturbed (not associated with any approved plan or permit).

15.1.2 In all other cases, a minor modification application permit may be approved for the grading fill, excavation or removal, remediation, or sale of earth, loam, topsoil, sand, gravel, clay, peat, humus or stone on site. Submission review requirements include (but are not limited to) map & site plans detailing:

15.1.2.1 The area of disturbance.

15.1.2.2 Existing contour lines; final contour lines are 1" =40' or other acceptable scale.

15.1.2.3 Existing and proposed drainage.

15.1.2.4 Erosion and sediment control.

15.1.2.5 Access to disturbed area.

15.1.2.6 Narrative explanation of project purpose.

15.1.3 Permission may be granted subject to the following conditions:

15.1.3.1 The activities shall be completed in substantial conformance with approved plans.

15.1.3.2 Upon completion, the premises shall be free of all debris.

- 15.1.3.3 No land disturbance activities shall take place within 20 feet of any residentially zoned property line.
- 15.1.3.4 No processing of materials which originated offsite.
- 15.1.3.5 An erosion control or performance bond may be required by the Town Engineer.

~~SECTION~~Section 15 -- REMOVAL OF EARTH, SAND, AND GRAVEL (January 11, 2021)

15.1 –Provisions:

~~15.1.1—There shall be no grading~~ Grading, fill, excavation or removal, or remediation, of earth, loam, ~~topsoil~~top soil, sand, gravel, clay, peat, humus or stone ~~for sale or for use other than on the premises for which such grading, fill, excavation or removal shall be made.~~ The is permitted without additional review under the following activities are excluded from obtaining a Special Permit from the Planning & Zoning Commission provided the following conditions are met: 1) the amount of material involved does not exceed fifty (50) cubic yards and 2) no more than one half (1/2) acre of land is disturbed. circumstances:

~~15.1.1.1—Bona fide construction or alteration of a structure for which a building permit has been issued.~~

~~15.1.1.2—The landscaping of an existing structure.~~

~~15.1.1.3—The construction of a water hole for fire protection.~~

~~15.1.1.4—The construction of a drainage field, septic tank or dry well.~~

~~15.1.1.5—The construction of a pond for agriculture or conservation purposes.~~

~~15.1.1.6—~~ A individual residentially ~~zone~~zoned lot ~~which has on it~~with a primary residential structure. ~~for which a building permit has been obtained and where no removal or sale of materials is involved.~~

~~15.1.1.2.—~~ Necessary and incidental to activities associated with an approved subdivision or site plan.

~~15.1.1.3~~ Bona fide agricultural activities.

~~15.1.1.4~~ Remediation of contaminated soils.

~~15.1.1.5~~ When the amount of material does not exceed 250 cubic yards, or when less than 1 acre is disturbed (not associated with any approved plan or permit).

15.1.2 ~~In all cases other than those referred to above, the Planning & Zoning commission~~cases, a minor modification application permit may grant Special Permit approvalbe approved for the ~~removal, deposit, grading~~ fill, excavation or ~~grading~~removal, remediation, or sale of earth, loam, topsoil, sand, gravel, clay, ~~stone, peat or, humus.~~ The maps and plans shall include the following: or stone on site. Submission review requirements include (but are not limited to) map & site plans detailing:

~~15.1.2.1—~~ The area ~~to be excavated.~~ of disturbance.

15.1.2.2— ~~Existing contour lines on the premises and; final contour lines resulting from the intended excavation or removal shown on a map drawn to aare 1" =40' or other acceptable scale not more than forty (40) feet to the inch and with a contour interval not to exceed five (5) feet.~~

15.1.2.3— ~~Existing and proposed drainage on the premises.~~

15.1.2.4— ~~Surrounding properties~~ Erosion and ~~streets.~~ sediment control.

15.1.2.5— ~~Proposed truck access to the property.~~ Access to disturbed area.

15.1.2.6— ~~Proposed commencement and completion data.~~

15.1.2.7— ~~Purpose~~ Narrative explanation of ~~excavation.~~ project

~~15.1.3.~~ The Commission may grant permission for a limited period of time not exceeding five years if it shall find that such excavation or removal will not result in the creation of any sharp declivities, pits, or depressions, soil erosion or fertility problems, permanently depressed land values, or create any drainage or sewerage problems or other conditions which would impair the use of the property in accordance with the zoning regulations and that such excavation or removal will be in harmony with the general purpose and intent of the zoning regulations. Permission shall be granted only upon the following conditions:-

15.1.3 Permission may be granted subject to the following conditions:

15.1.3.1— ~~That the premises~~ The activities shall be filled or excavated and graded completed in ~~conformity~~ substantial conformance with ~~the proposed contour~~ approved plans ~~as approved.~~

15.1.3.2— ~~That slopes shall not exceed thirty (30) degrees to the horizontal.~~

15.1.3.3— ~~That only such equipment as is necessary for the digging, leveling, and carting away of excavated material shall be utilized at or maintained on the site. Further, it is the specific intention of the Commission to permit on site only equipment that is used in the incidental processing of excavated material for the purposes of trucking off site.~~

~~15.1.3.4 That there will be no sharp declivities, pits, or depressions and that proper drainage will be provided to avoid stagnant water and sewerage problems.~~

~~15.1.3.5 That after fill, excavation or removal~~ Upon completion, the premises shall be ~~cleared~~free of all debris.

~~15.1.3.6 That top layer of arable soil for a depth of at least four (4) inches shall be set aside and retained on the premises and shall be re-spread over the premises and appropriately seeded upon completion of the excavation or removed, in accordance with approved contour lines.~~

~~15.1.3.7 That no excavation shall be made nearer to the side and rear property lines than the distance of twenty (20) feet in all residential zones, the measurements to be taken to the top of slopes.~~

15.1.3.3 No land disturbance activities shall take place within 20 feet of any residentially zoned property line.

~~15.1.3.8 There shall not be any 4~~ No processing of ~~any material,~~materials which originated ~~off site~~offsite.

~~15.1.3.9 There shall be no buildings erected on 5~~ An erosion control or performance bond may be required by the ~~premises without appropriate approvals.~~

~~15.2 In all zoning districts, excavation, removal of fill which in the opinion of the Building Inspector, Town Engineer, and Town Planner are of such a minor nature that the public health and safety will not be adversely affected, may be exempt from obtaining Commission approval if a minor modification approval is obtained provided the quantities outlines in Section 15.1.1 are not exceeded.~~

~~15.3 In all situations when approval is obtained for fill, excavation, or removal of material, the property owner shall be responsible and liable for any damage to public infrastructure, which includes but is not limited to sidewalks, curbs, roadways, and drainage systems.~~



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcmgregor@vernon-ct.gov

MEMORANDUM

TO: Planning and Zoning Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZC 2008-04 Time Extension Request for Special Permits and a Site Plan of Development (1129 Hartford Tpke.)

DATE: February 4, 2021

Request

Mr. Dil Bhandari, Owner, has requested a final time extension to PZC 2008-04, Special Permits and a Site Plan of Development for commercial uses at 1129 Hartford Tpke. (Assessor ID: Map 42, Block 72, Parcel 10 C). This permit was initially approved on March 6, 2008 with extensions running through March 6, 2021.

Staff Comments

For projects approved prior to 2011, Connecticut General Statute 8-3(m) permits extensions up to 14 years. This extension to March 6, 2022 is the last available extension.

Staff has no objection to the request.

Draft Motions

MOVED, that the Vernon Planning & Zoning Commission does hereby EXTEND PZC 2008-04 for a one-year period, until March 6, 2022.

Spirit Development Co. LLC

1189 Hartford Tpke.

Vernon, CT 06066

January 26, 2021

George McGregor, ACIP

Town Planner

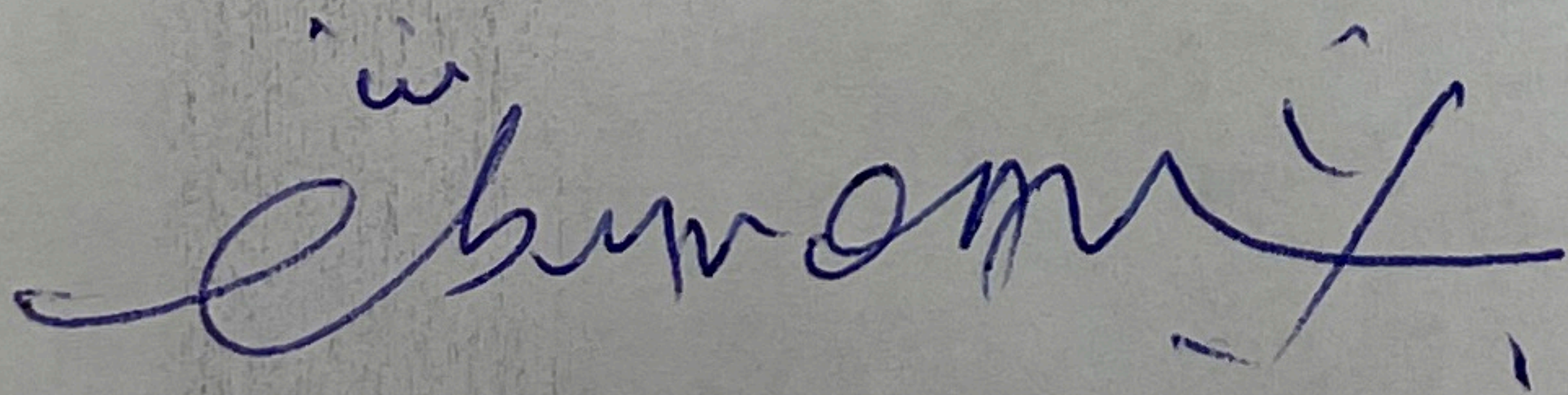
55 West Main Street

Rockville, CT 06066-3291

RE. PZ-2008-04 Request an Extension of Time for Building Plans for the Property Known as Wine Seller, 1189 Hartford Turnpike, Vernon, CT 06066.

This letter is to request the addition extension of time to complete construction for the previously approved building plans (March 6, 2008) for the above referenced property. Please notify Dil Bhandari via email at dwandlshop@gmail.com or by phone at 860-759-5043 if additional information is required.

Regards,

A handwritten signature in blue ink, appearing to read 'Dil Bhandari', with a stylized flourish at the end.

Dil Bhandari, Owner