# Town of Vernon Design Review Commission (DRC) Wednesday, December 9, 2020 7:00 P.M.

#### Via Zoom Audio Teleconference

Join Zoom Meeting at:

https://us02web.zoom.us/j/83458694565?pwd=QzdHZDBHVXJHMjFnWlkybTRUTjh6Zz09

Meeting ID: 834 5869 4565 Passcode: dQt7w8 or Dial 1 (646)876 9923 Meeting ID: 834 5869 4565 Passcode: 676166

#### SPECIAL MEETING AGENDA

- 1. Call to Order & Roll Call
- 2. Approval of the Minutes from the September 23, 2020 meeting
- 3. Referral from Town Planner

Application [PZ-2020-16] of Square Peg Pizza, Vernon for a Modification of a Site Plan of Development to renovate and update an existing restaurant site and for a Special Permit pursuant to Section 4.9.4.17 to allow a drive-up service window at 226 Talcottville Rd. (Assessor's ID: Map 10, Block 015R, Parcel 0040F).

Application [PZ-2020-17] of Bohler Engineering for a Modification of a Site Plan of Development to add an additional drive-thru lane with new menu boards, façade, signage, and other minor site revisions at McDonald's, 74 Reservoir Rd. (Assessor's ID: Map 46, Block 0071, Parcel 0019B).

4. Adjournment

Shaun Gately on behalf of, Design Review Commission

# **DRAFT MINUTES**

RECEIVED VERNON TOWN CLERK

# Town of Vernon Design Review Commission Special Meeting via Zoom Audio Teleconference SEP 24 AM 10: 06 Tuesday, September 23, 2020 at 7:00 PM

#### **Zoom Meeting Information**

https://us02web.zoom.us/j/83247132937?pwd=MGgzQTh3dnd2Y2dSUWtrNzR1QkRPdz09

Dial: 1 646 876 9923 US Meeting ID: 832 4713 2937 Passcode: 429570

#### **DRAFT MEETING MINUTES**

- Call to Order and Roll Call: Chairperson Jennifer Holt called the meeting to order at 7:06 PM.
  Regular members present: Jennifer Holt, Stephen Ransom, Eva Perrina
  Staff members present: Shaun Gately, Economic Development Coordinator and George McGregor, Town Planner Recording Secretary: Kathleen Minor
- 2. Approval of Minutes from July 1, 2020 Meeting: Stephen Ransom, seconded by Eva Perrina, made a motion to approve the minutes as presented from the July 1, 2020 meeting. Motion carried unanimously by voice vote.
- 3. Referral(s) from Town Planner:

Application [PZ-2020-10] of APH Hairstylists (Alice and Allan House) for a Site Plan of Development and several Special Permits in order to renovate, remodel, and improve a hair salon location at 274 Talcottville Rd. (Assessor's ID: Map 10, Block 015K, Parcel 00028). The property is zoned Commercial.

Applicant Allen House spoke on behalf of the application and answered questions. Discussion ensued.

Stephen Ransom, seconded by Jennifer Holt, made a motion to approve **Application PZ-2020-10** as presented. Motion carried unanimously by voice vote.

Application [PZ-2020-11] of CT Golf Land LLC (Steven LaMesa and Jerry Fornelli) for a modification to a Site Plan of Development and a series of Special Permits to modify and enhance a commercial recreation, family fun center located at 95 Hartford Turnpike (Assessor ID: Map 1, Block 158, Parcel 95). The property is zoned Commercial.

Mark Peterson, Professional Engineer with Gardner & Peterson Associates, LLC, applicant Steven LaMesa and applicant Jerry Fornelli spoke on behalf of the application and answered questions. Discussion ensued.

Stephen Ransom, seconded by Eva Perrina, made a motion to approve **Application PZ-2020-11** as presented. Motion carried unanimously by voice vote.

**4. Adjournment:** Stephen Ransom, seconded by Eva Perrina, made a motion to adjourn the meeting at 8:04 PM. Motion carried unanimously by voice vote.

Respectfully submitted,

Zarheen Prinor

Kathleen Minor Recording Secretary

# **APPLICATION**

1

#### TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

#### APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vemon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

I. APPLICANT:

Provide all the information requested:

#### John Maffe Title: Owner Square Peg Pizzeria, Vernon Company: Address: 624 Hebron Ave Bldg 3 Ste 100 Glastonbury, CT 06033 Telephone: 860-966-6401 E-mail jay@squarepegpizzeria.com II. PROPERTY OWNER (S): John Maffe Name: Owner Title: LIC Investments Company: Address: 624 Hebron Ave Bldg 3 Ste 100 Glastonbury Telephone: 860-966-6401 Fax \_\_\_\_\_ E-mail: jay@squarepegpizzeria.com

#### III. PROPERTY

Address: 226 Talcottville Rd Vernon, CT 06066	
Assessor's ID Code: Map # 10 Block # 015R tot/Parcel # 0040F 2669 188	
Land Record Reference to Deed Description: Volume: Page	
Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15 2.23, 2.24, 3.11; 4)	,
X No Yes  X No work will be done in regulated area  Work will be done in the regulated area	
IWC application has been submitted IWC application has not been submitted	
Zoning District Zone C - Commercial District	
Is this property located within five hundred (500) feet of a municipal boundary?	
X No Yes:	
Bolton	
Coventry Ellington	
ManchesterSouth Windsor	
Tolland	
Check if Historic Status Applies:	
Located in historic district:	
Rockville Talcottville	
Individual historia accepte	

#### IV. PROJECT

Project	t Now: Square Peg Pizzeria, Ve	ernon
Project	t Contact Person:	
Name:	John Maffe	MANAGEMENT OF THE PARTY OF THE
Title: _	Owner	
Compa	Square Peg Pizzeria Verno	on LLC
Addres	ss: 226 Talcottville Rd	W Barrella Company of the Company of
	Vernon, CT 06066	1 2 44
Teleph	none: 860-966-6401 F	ax:
E-mail:	: jay@squarepegpizzeria.com	

#### V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Co	onvert former restaurant to new restaurant
General Ac	tivities: Interior building modifications, new exterior dining patio,
drive thru	u window addition, rear building cooler enclosure, misc site work
f <u>or exam</u>	ole: restriping, dumpster enclosure etc.
	VI. APPROVAL (S) REQUESTED
Su	ıbdivision or Resubdivision
	Subdivision (Sub. Sec. 4, 5, 6)  Resubdivision (Sub. Sec. 4, 5, 6)  Minor modification f subdivision or resubdivision (Sub. Sec. 4.6)  Town acceptance of a road (Sub. Sec. 6.5-6. 8 & 9)  Amendment of Subdivision Regulations (Sub. Sec. II)
See Subdiv	vision Regulations Sec. 4 for application fee schedules.
Soil	Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)
_X_Site	Plan of Development (POD) (ZR Sec. 14)
	<ul> <li>POD approval (ZR Sec. 14.1.1.1; 14.1.2)</li> <li>Modification of an approved POD (ZR Sec. 14.1.1.1)</li> <li>Minor modification of a site POD (ZR Sec. 14.1.1.2)</li> </ul>
X Spec	cial Permit(s) (ZR Section 17.3)
	Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20) Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)  X Special Permit for use in a district (ZR Sec. 1.2 & 4)
	Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)  Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)  Special Permit for parking (ZR Sec. 4; 12; 21.4
	Special Permit for elderly housing (ZR Sec. 2.60; 17.4)  Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)  Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
	Special Permit for massage (ZR Sec. 2.76-78; 4) Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23) Special Permit for dumps and/or incinerators (ZR Section 8)

	Other Special Permit(s). Cite ZR Section and describe activity:  Section 4. 9. 4. 17 - Drive thru window
	Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe actions
-	Zoning:
	Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)  Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)
	Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)
Zon	ing Regulations Section 22 for application fee schedules.
_	Dealer or Repairer License (location approval for DMV)

#### VII. APPLICATION CONDITIONS / STIPULATIONS

The following the visions apply to Mrive intermediate to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4.5.7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.

APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING LINDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

Signature	12-2-2020 Date
Signature	Date

#### TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted	
Date Application Received by Commission	
PZC File:	

#### Planning and Zoning Attachment:

#### **Project Narrative**

The project site is located on the east side of Connecticut Route 83 (Talcottville Road) and is comprised Of approximately 0.78 acres of land. The site consists of a one story vacant building of approximately 1,850 square feet whose former use was a restaurant. The site is serviced by two driveways. Parking striping indicates one way traffic movement around the building. There are currently approximately 34 parking spaces on site. Chiller/ freezer units are located immediately behind the building. A detached shed is located in the northeast corner of the site parking area.

The proposed activity consists of interior building and exterior building and site renovations. The building would be converted to a new pizzeria restaurant with interior seating for forty people and exterior patio seating for twenty people. Outdoor dining would be seasonal. A drive thru window is proposed on the north side of the building for pizza pick up with a dedicated drive thru lane with queing for three vehicles. There is no ordering from the drive thru lane as this is completed in advance from off site. Other exterior improvements consist of parking re-striping; new dumpster pad with fence enclosure; repairing existing outdoor concrete patio, fire pit and retractable awning; a rear building addition to enclose the freezer/ cooler and landscape improvements.

There are no improvements planned to site utilities or storm drainage features, Site topography would remain unchanged. Parking modifications result in a slight decrease in bituminous pavement coverage. New plantings consist of several ornamental deciduous trees and woody ornamentals, herbaceous perennials and ornamental grasses around the patio.

Based on the applicants existing pizzeria location in a neighboring community, traffic queing for the three vehicles at the drive thru window is the maximum number of vehicles which can be expected at any one time. The site egress drive at the intersection of Connecticut Route 83 is approximately 24 feet in width and consists of both right and left turn movements. Stop signs are proposed on both sides of the egress drive. Connecticut Route 83 consists of two northbound and two southbound thru lanes with a double yellow line. Connecticut Route 83 is uniform in alignment in the vicinity of the site egress drive and offers sight lines in both directions from the egress drive.

The applicant feels the new pizzeria will provide a new dining experience for the residents of Vernon and the planned interior and exterior building renovations and exterior site improvements will be an enhancement for the community.

Record and Return To:

Lear Thomas Teler + Magle

33 Connecticit Blvd

Fast Hartford G 0018

#### WARRANTY DEED

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING: KNOW YE, THAT TALCOTTVILLE ROAD, LLC, a Connecticut limited liability company, with an office located in the Town of Norwich, County of New London, and State of Connecticut, hereinafter referred to as the Grantor, for consideration of THREE HUNDRED TWENTY-FIVE THOUSAND (\$325,000.00) DOLLARS received to its full satisfaction of MAFFE INVESTMENTS, LLC, a Connecticut limited liability company, with a principal place of business in the Town of Glastonbury, County of Hartford, and State of Connecticut, hereinafter referred to as the Grantee, does give, grant, bargain, sell and confirm unto the said MAFFE INVESTMENTS, LLC, that certain piece or parcel of land with the buildings and improvements thereon, located in the Town of Vernon, known as 226 Talcottville Road, and more particularly bounded and described in Schedule 'A' annexed hereto and made a part hereof. As part consideration hereof, the Grantee herein assumes and agrees to pay all taxes and assessments hereinafter becoming due and payable.

TO HAVE AND TO HOLD, the above granted and bargained premises, with the appurtenances thereof, unto the said Grantee, its successors and assigns forever, to them and their own proper use and behoof.

AND ALSO, the said Grantor does for its successors and assigns, covenant with the said Grantee, its successors and assigns forever, that at and until the ensealing of these presents it is well seized of the premises, as a good indefeasible estate in FEE SIMPLE; and it has good right to bargain and sell the same in manner and form as is above written; and that the same is free from all encumbrances whatsoever, except as hereinbefore mentioned.

AND FURTHERMORE, it the said Grantor by these presents binds itself and its successors and assigns forever to WARRANT AND DEFEND the above granted and bargained premises unto the said Grantee, its successors and assigns forever, against all claims and demands whatsoever, except as hereinbefore mentioned.

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal this 3 day of August, 2020.

Signed, Sealed and Delivered

in the presence of:

TALCOTTVILLE ROAD, LLC

By:

DIANIE PROVUST

CONVEYANCE TAX RECEIVED STATE \$ \$4,062.50 LOCAL \$ \$812.50 KAREN C. DAIGLE TOWN CLERK OF VERNON

#### VOL: 2669 FG: 189 INST: 2462

ss: _ Now. Ch
COUNTY OF NEW LONDON }
a gar
On this the day of August, 2020, before me, the undersigned officer, personally appeared
Lester Gorin, Member of TALCOTTVILLE ROAD, LLC, duly authorized, known to me (or satisfactorily
proven) to be the person whose name is subscribed to the within instrument and acknowledged that she
executed the same for the purposes therein contained, as her free act and deed and the free act and deed of

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Comm. Of the Syperior Court/Notary Public

M:\users\MEB\ClorinSale of Vernon\Warranty Deed.doc

STATE OF CONNECTICUT

said company

A certain piece or parcet of land, with all improvements thereon known as 228 Talcotivitie Road, situated in the Town of Vernon, County of Tolland and State of Connecticut, more particularly bounded and described as follows:

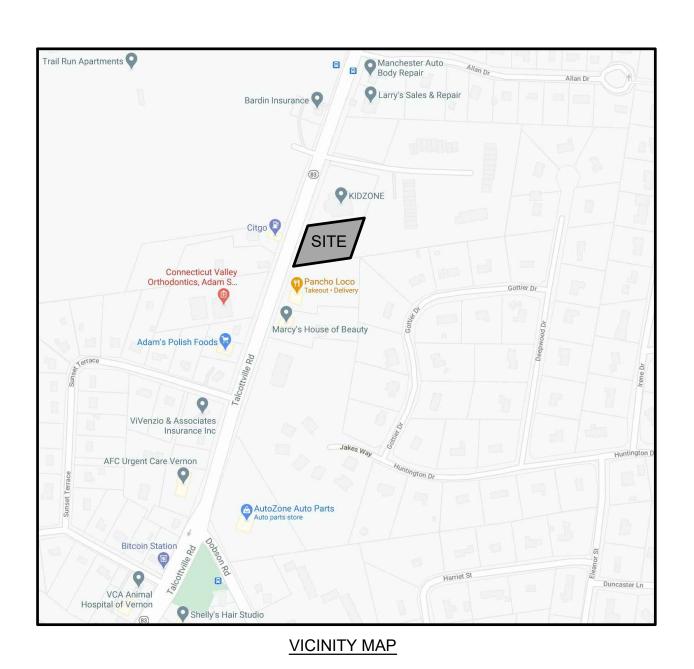
COMMENCING at a point in the easterly line of the highway now known as Connecticut Route 83 at the northwest corner of land formerly of one Karenkraut; thence running N 19° 22' E along said highway line a distance of 169.86 feet; thence running N 81° 23' E a distance of 226.48 feet along land now or formerly of Andrew J. Ashland and Joseph F. Toth; thence running S 19° 22' W a distance of 169.86 feet along other land of said Ashland and Toth to land formerly of one Greenberg; thence running S 81° 23' W a distance of 226.48 feet to the point and place of beginning, along land now or formerly of said Greenberg and of said Karenkraut, in part by each.

Being the same premises conveyed to Lester Gorin by Quit Claim Deed dated February 13, 1998 and recorded in Volume 1134 at Page 253 of the Vernon Land Records.

SCHEDULE A

RECORDED IN VERNON LAND RECORDS KAREN C. DAIGLE VERNON TOWN CLERK ON AUG 04, 2020 AT 02:38 PM

# SQUARE PEG PIZZERIA - VERNON 226 TALCOTTVILLE ROAD (CT RTE 83) VERNON, CONNECTICUT



LIST OF DRAWINGS

1 COVER SHEET
2 SITE SURVEY
3 SITE PLAN
4 CONSTRUCTION DETAILS
SA-2 FLOOR PLAN
SA-4 ELEVATIONS



200' ABUTTERS MAP

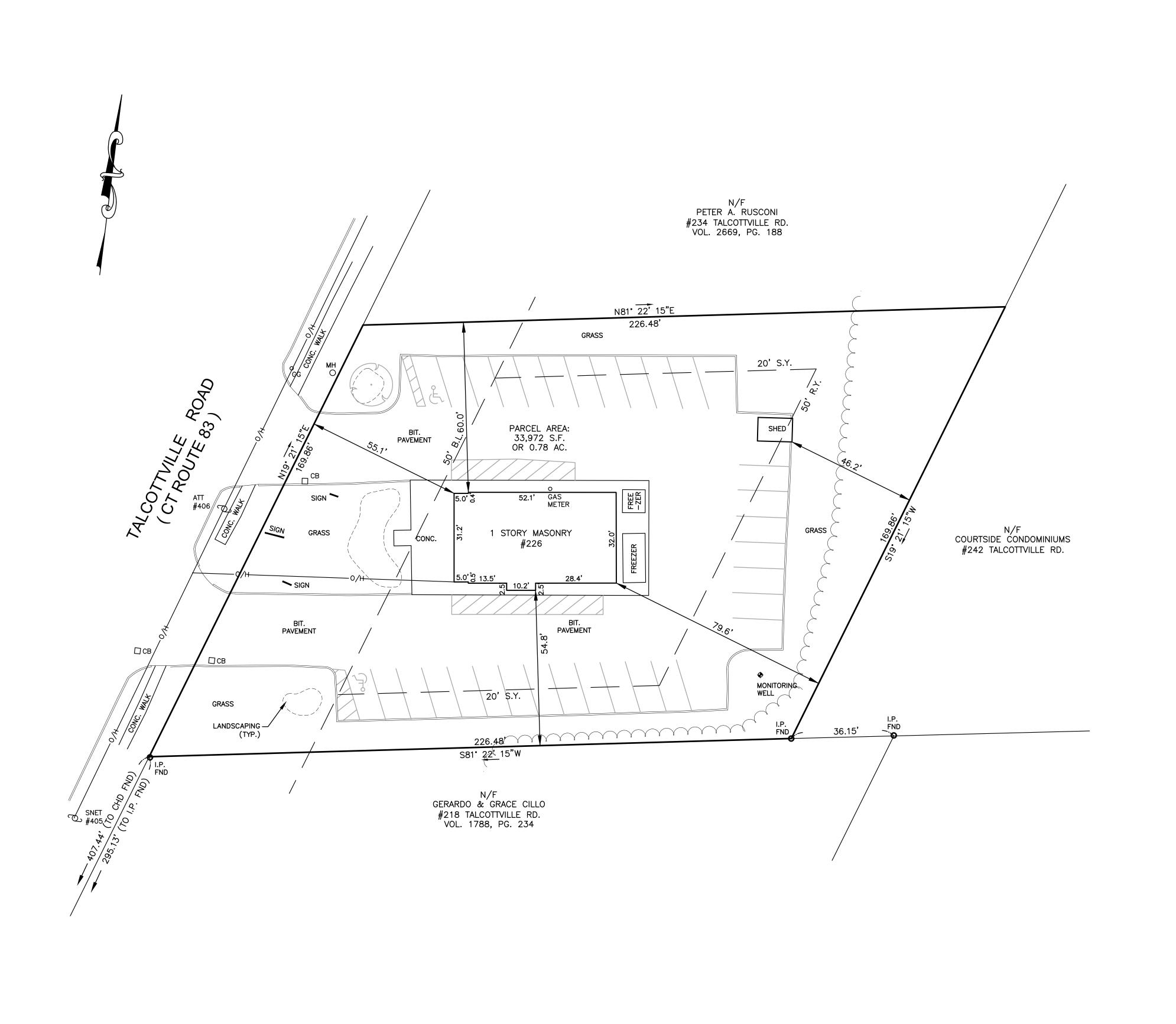
Property Owner
MAFFE INVESTMENTS, LLC
624 Hebron Avenue

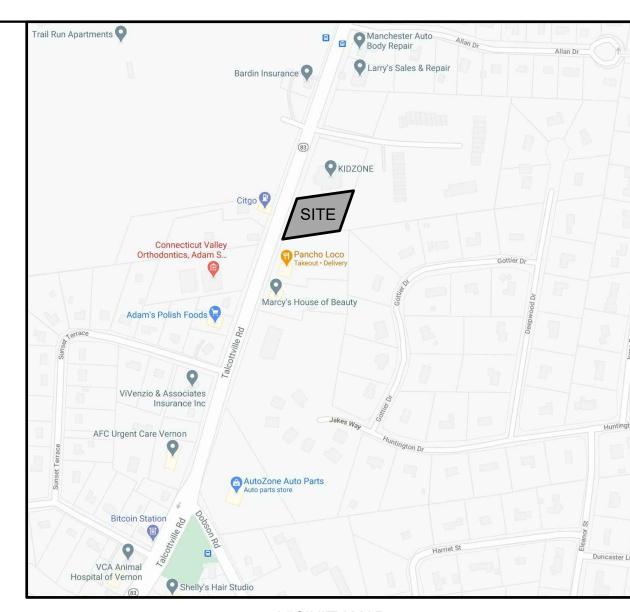
Glastonbury, CT 06033

Civil Engineer
CLOSE JENSEN & MILLER, P.C.
1137 Silas Deane Highway

1137 Silas Deane Highway Wethersfield, CT 06109 (TEL.) 860-563-9375 (FAX) 860-721-1802 Architect
VINCENT BABAK ARCHITECTURE, LLC

195 Tunxis Hill Road, Suite 203 Fairfield, CT 06825 (TEL.) 203-903-6203





VICINITY MAP

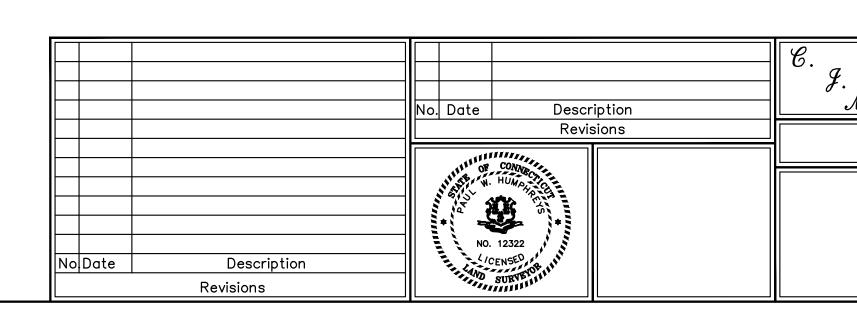
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED OCT. 26, 2018 AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUG. 29, 2019. THIS IS A PROPERTY SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO DEPICT THE POSITION OF BOUNDARIES WITH RESPECT TO LOCATIONS OF ALL BOUNDARY MONUMENTATION; APPARENT IMPROVEMENTS AND FEATURES; RECORD EASEMENTS AND VISIBLE EVIDENCE OF THE USE THEREOF; RECORD AND APPARENT MEANS OF INGRESS AND EGRESS; LINES OF OCCUPATION AND DEED RESTRICTIONS PERTAINING TO THE LOCATION OF BUILDINGS OR OTHER

2. THIS SURVEY WAS PREPARED DURING THE PANDEMIC OF 2020 AT WHICH TIME THE TOWN HALL LAND RECORDS VAULT ACCESS WAS LIMITED. SURVEYOR REFERENCED HEREON RELIED ON TITLE RESEARCH DERIVED FROM ON-LINE RECORDS AND OTHER SOURCES AND IS UNABLE TO PREPARE A PROPER

SURVEY TITLE SEARCH AT THIS TIME. 3. THIS SURVEY IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

> PAUL W. HUMPHREYS, L.S. LIC. NO. 12322



GRAPHIC SCALE

Close, Jensen & Miller, P. C. P.C. Check Consulting Engineers, Land Planners & Surveyors Designed  $\mathcal{M}$ . 1137 Silas Deane Highway, Wethersfield, Conn. 06109, Tel. (860)563-9375 Drawn Checked Scale

PROPERTY SURVEY

PROPERTY OF MAFFE INVESTMENTS, LLC

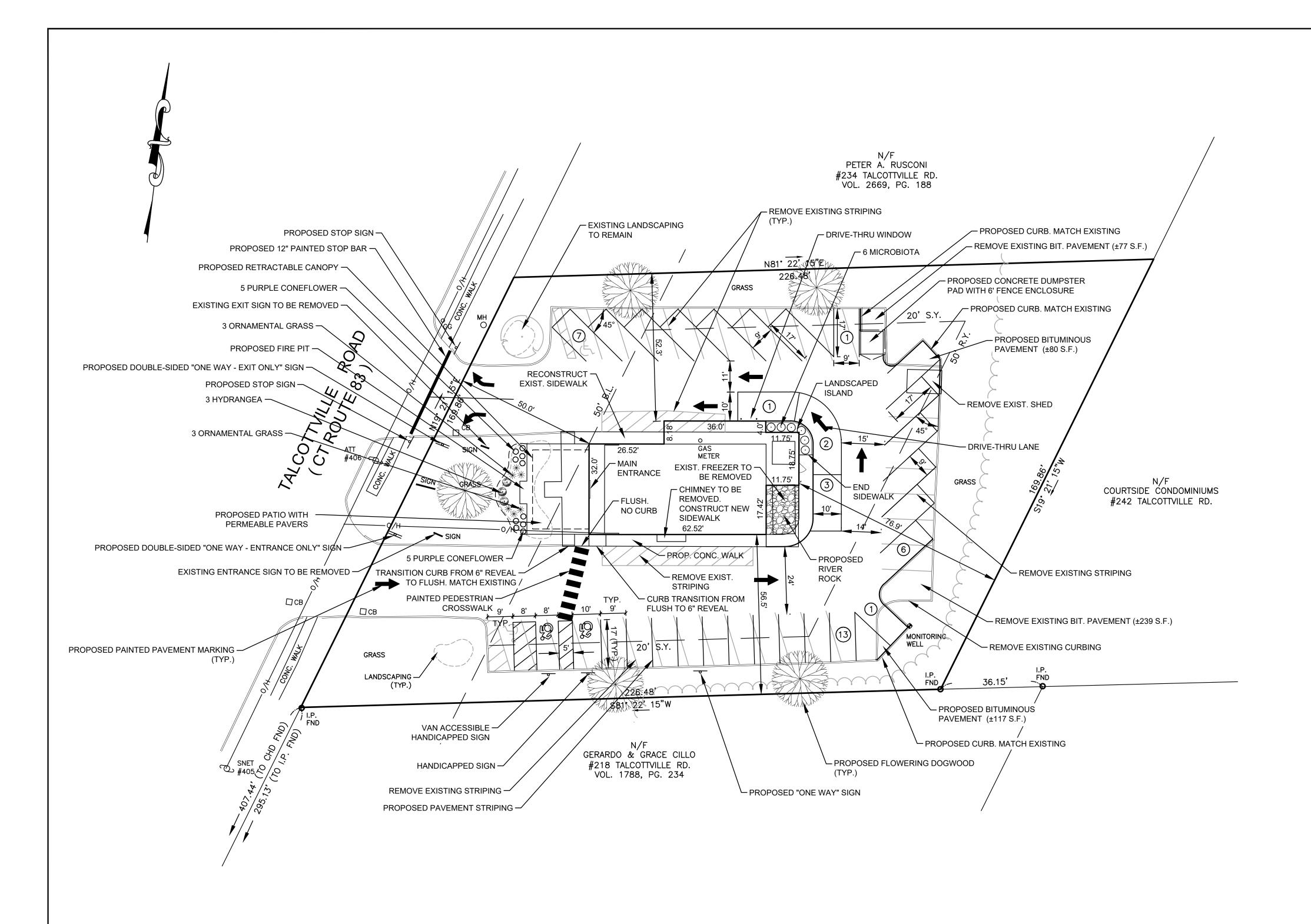
12/01/20 Date Sheet Job No. File No.

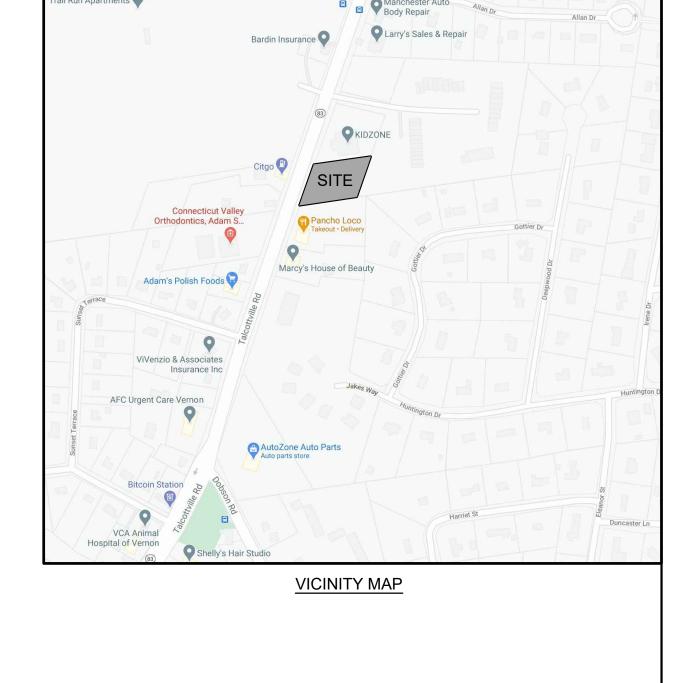
MAP REFERENCES:

1. "PROPOSED SUBDIVISION PREPARED FOR ROBERT LUDWIG & ARTHUR GOTTIER, VERNON, CONN., SCALE: 1"=50', DATE: 4-12-65" BY JOHN MAZZOCHI. 2. " PRELIMINARY RIGHT OF WAY SURVEY, STATE OF CONNECTICUT

DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, TOWN OF VERNON, TALCOTTVILLE ROAD FROM PITKIN ROAD NORTHEASTERLY TO WINDSORVILLE ROAD, SCALE: 1"= 40', APPROVED 10-94" PROJECT 146-11.

226 TALCOTTVILLE ROAD VERNON, CONNECTICUT





## **GENERAL NOTES:**

- BEARINGS SHOWN ARE BASED ON STATE OF CONNECTICUT GRID COORDINATE SYSTEM NAD 83.
- 2. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM WITH THE SPECIFICATIONS FOR THE TOWN OF VERNON AND CONNDOT FORM 818, LATEST EDITION
- 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER AND TOWN ENGINEER BEFORE PROCEEDING.
- 4. ALL UNSUITABLE MATERIAL DISCOVERED DURING CONSTRUCTION SHALL BE REMOVED OR DISPOSED OF IN A SUITABLE MANNER. SAID MATERIAL SHALL INCLUDE TREES, BRUSH, ORGANIC MATERIAL, ETC.
- 5. SOLID WASTE DISPOSAL SHALL BE DUMPSTER WITH PRIVATE COLLECTION.

ZONING TABLE						
ZONE: C - COMMERCIAL	REQUIRED	EXISTING	PROPOSED			
MIN. LOT AREA	22,000 S.F.	33,972 S.F.	33,972 S.F.			
MIN. LOT WIDTH	100'	169.86'	169.86'			
MIN. FRONT YARD	50'	55.1'	50.0'			
MIN. REAR YADR	50'	48.2' (SHED)	76.9'			
MIN. SIDE YARD	20'	54.8'	52.3'			
MIN. FLOOR AREA	1,000 S.F.	1,850 S.F.	2,500 S.F.			
MAX. LOT COVERAGE	60%	57.3%	54.9%			

# PARKING REQUIREMENTS:

1 SPACE / EACH 50 S.F. OPEN TO THE PUBLIC (EXCLUDING OUTDOOR PATIO)

1,383 S.F. ÷ 50 = 27.66 OR 28 SPACES REQUIRED

28 SPACES PROPOSED (INCLUDING 2 HANDICAPPED SPACES)

	PLANT SCHEDULE				
QUANTITY	<u>LATIN NAME</u> COMMON NAME	SIZE	<u>TYPE</u>	COMMENTS	
DECIDUOUS TI	REES		•		
5	Cornus Florida 'Cherokee Brave' Flowering Dogwood	2½" Caliper	B&B	Straight Trunk	
DECIDUOUS S	HRUBS				
3	Hydrangea Macrophylla 'Summer Beauty' Hydrangea 'Summer Beauty'	#3	Container		
CONIFEROUS SHRUBS					
6 Microbiota Decussata Siberian Carpet Cypress		#3	Container		
ORNAMENTAL GRASS					
6	Pennisetum Alopecuroides 'Hameln' Dwarf Fountain Grass	#3	Container		
HERBACEOUS	HERBACEOUS PERENNIALS				
10	Echinacea 'Prairie Splendor' 'Prairie Splendor' Cone Flower	#1	Container		

# **SEED BED PREPARATION**

- 1. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED ON THE DESIGNATED AREAS AND EVENLY SPREAD TO A DEPTH OF AT LEAST SIX (6) INCHES. IT SHALL BE IN SUFFICIENT DEPTH TO COMPENSATE FOR ANY SHRINKAGE AND THE TOPSOIL SHALL BE MEASURED PERPENDICULAR TO THE PLANE OF THE FINISHED GRADE. IRREGULARITIES IN THE SURFACE RESULTING FROM OPERATIONS THEREOF SHALL BE CORRECTED TO PREVENT THE FORMATION OF DEPRESSIONS WHERE WATER WILL STAND. TOPSOIL SHALL NOT BE PLACED OR WORKED WHEN IT IS FROZEN, EXCESSIVELY DRY OR WET OR IN A CONDITION OTHERWISE DETRIMENTAL TO THE PROPOSED SEEDING.
- 2. APPLY COMMERCIAL FERTILIZER, LIME AND ANY OTHER SOIL ADDITIVES ACCORDING TO THE REQUIREMENTS AND RATES RECOMMENDED BY SOIL TEST RESULTS.

# SEED MIXTURE:

30% DALLAS TALL FESCUE 30% FALCON IV TALL FESCUE

30% SUNGAZER TALL FESCUE 10% SPF 30 TEXAS HYBRID KY BLUEGRASS

SEED AT THE RATE OF 3-4 LBS./1,000 SQ.FT. SEED AVAILABLE AT THE CHAS. C. HART SEED CO. WETHERSFIELD, CT.

	GRAF	PHIC SCALE	
0	10	20	40
	1	"= 20'	

					C.
		No	o. Date	Description Revisions	
No Data			NO. 11	ONNE COLOR	
No Date	Description Revisions		SO TONAL	KARATANA KAN	

Checked	
SITE PLAN	1"=

CONNECTICUT

SQUARE PEG PIZZERIA - VERNON
226 TALCOTTVILLE ROAD

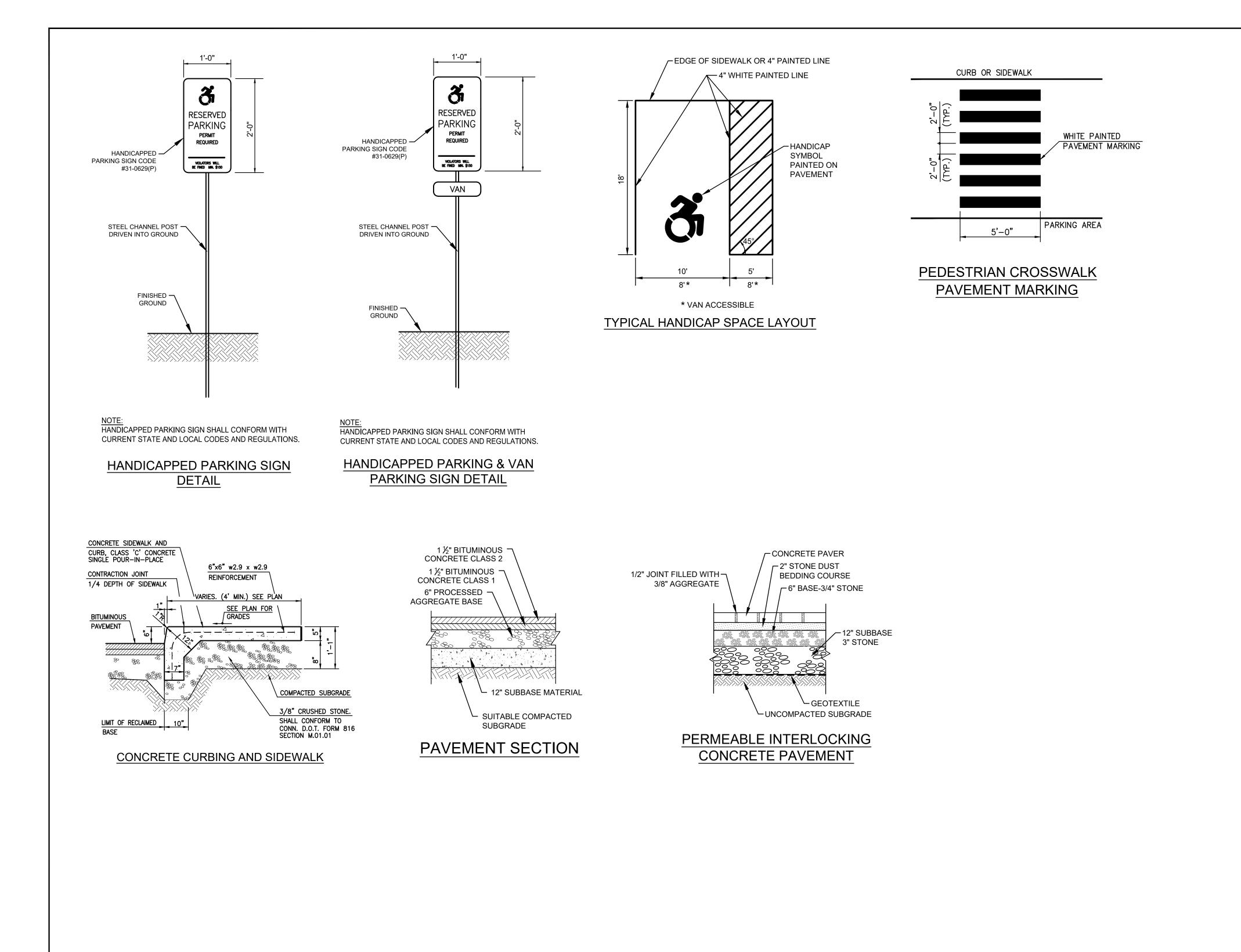
VERNON,

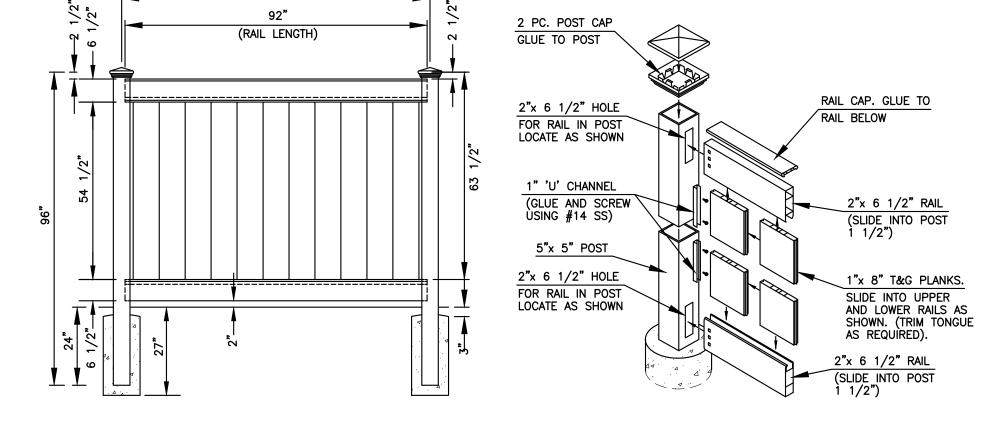
Job No. File No.

Sheet

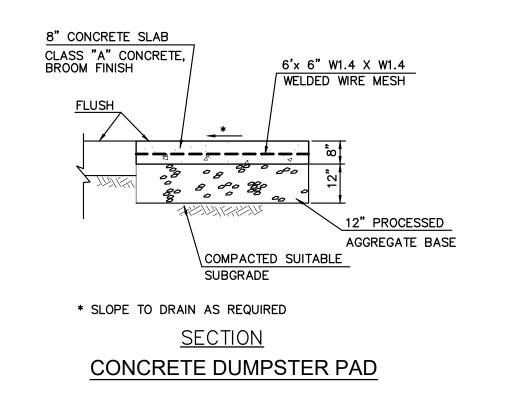
12/01/20 Of

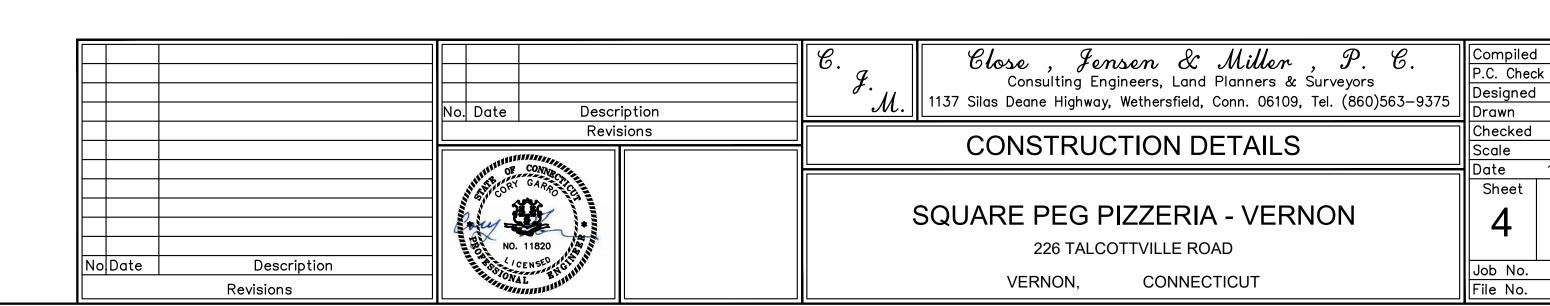
R: \CJM\VERNON\226 Talcottville Road\Drawings\SRV-2020.c





6' HIGH CONTEMPORARY DRESSED SOLID PVC FENCE AT DUMPSTER ENCLOSURE





WHERE PLANT PITS ARE DUG WITH AN AUGERING DEVICE,

2"-3" SHREDDED PINE BARK MULCH (TYP.)

**EQUALS** 

TWICE CONT

DIAMETER

CONTAINER GROWN

SCARIFIED PRIOR TO PLANTING.

WHERE PLANT PITS ARE DUG WITH AN AUGERING DEVICE,

3 GUYS OF 8 GAUGE TWISTED
WIRE 120° APART AROUND TREE

(4 GUYS IF OVER 3 1/2" CALIPER).

APPROVED & SECURED TREE WRAP.

12/01/20

Sheet

BEGIN WRAPPING FROM BOTTOM.

6" TURNBUCKLE (GALVANIZED)

SET ROOT BALL AT OR SLIGHTLY ABOVE FIN. GRADE

3" BELOW GRADE

FLAG (TYP.)

GLAZED SIDES OR HARDENED SURFACES SHALL BE

**EQUALS TWICE BALL** 

DIAMETER

BALLED AND BURLAPPED

SHRUB PLANTING DETAIL

EQUALS TWICE BALL

DECIDUOUS TREES 3" CALIPER OR LESS & EVERGREEN TREES 8' OR LESS TO BE STAKED.

TREE PLANTING DETAIL

4" SOIL SAUCER

GLAZED SIDES OR HARDENED SURFACES SHALL BE

SCARIFIED PRIOR TO PLANTING.

ENTIRELY FROM ROOT BALL

SLIGHTLY ABOVE FIN. GRADE

PLANTING PIT BACKFILLED WITH

COMPACT SOIL MIX BELOW BALL

& PITCH AWAY FROM BALL TO

PRUNING SHALL BE IN ACCORDANCE WITH APPROVED HORTICULTURAL STANDARDS IN

ORDER TO PRESERVE THE NATURAL FORM OF

THE SPECIFIC PLANT. IF APPLICABLE & APPROVED

2 STRANDS 12 GAUGE GALV. WIRE TWISTED.

2"-3" SHREDDED PINE BARK MULCH

BY THE LANDSCAPE ARCHITECT, ONE FOURTH TO

ONE THIRD OF THE WOOD SHALL BE REMOVED

BY THINNING OUT TO BALANCE ROOT LOSS

GARDEN HOSE - MIN. 2 PLY. POSITION ABOVE 1ST SET OF BRANCHES.

2"x 2"x 8' HARDWOOD STAKE WITH NOTCHED END. DRIVE STAKES

CUT BURLAP & WIRE BASKETS FROM

SYNTHÉTIC WRAPS, ROPES & TWINES

FINISH GRADE

PLANTING PIT BACKFILLED WITH

COMPACT SOIL MIX BELOW BALL & PITCH AWAY FROM BALL TO

PERIMETER OF PLANTING PIT

SPECIFIED PLANTING SOIL

TOP 1/3 OF ROOT BALL. REMOVE ALL

4" SOIL SAUCER (TYP.)

AT ANGLE AND DRAW VERTICAL.

USE 3 PER TREE FOR 3" CAL.

OR LESS WHERE SPACE DOES

ENTIRELY FROM ROOT BALL

NOT ALLOW GUYING.

DUE TO TRANSPLANTING.

PERIMETER OF PLANTING PIT

SPECIFIED PLANTING SOIL

SET ROOT BALL AT OR

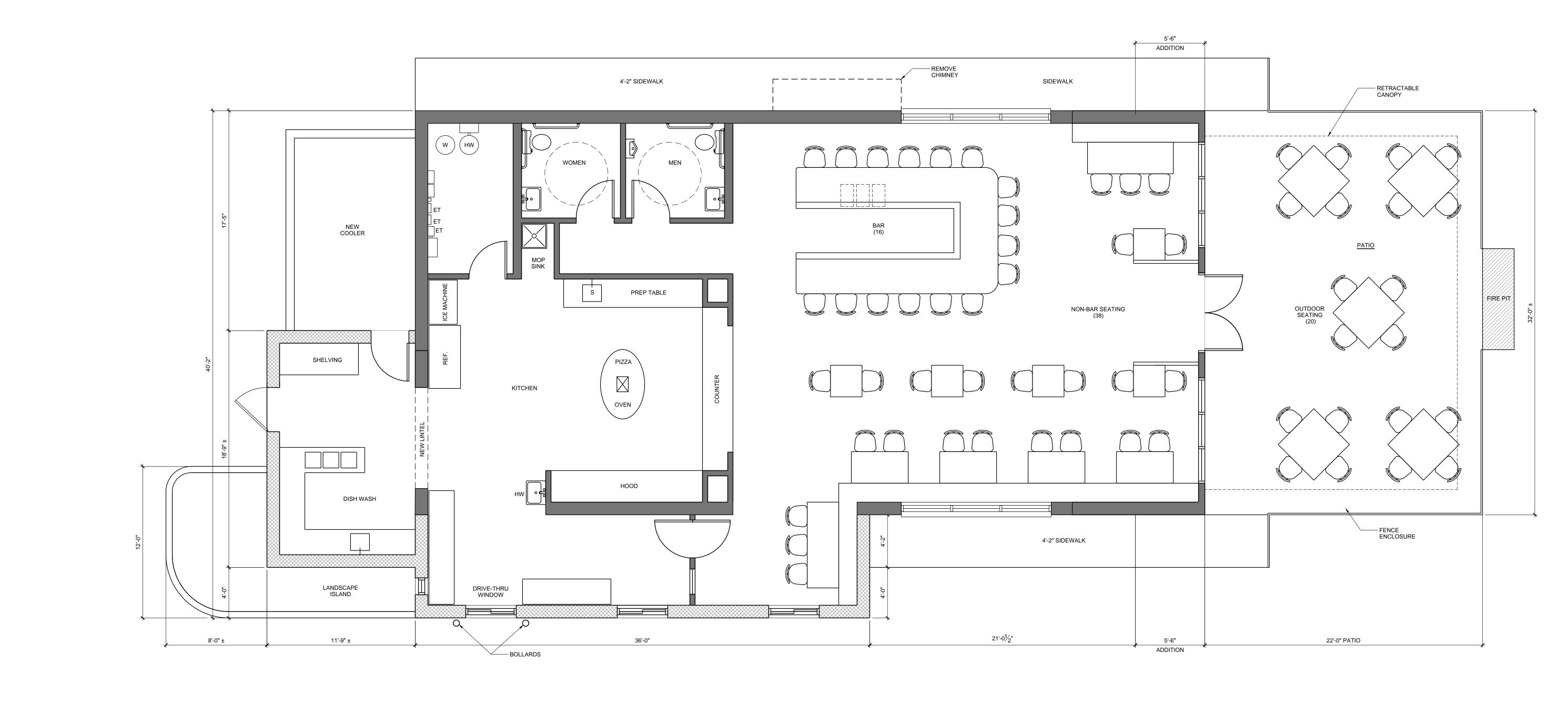
FINISHED GRADE

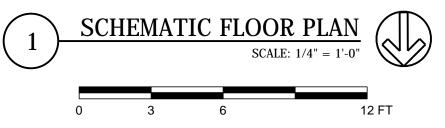
TOPSOIL -

CUT BURLAP & WIRE BASKETS FROM

TOP 1/3 OF ROOT BALL. REMOVE ALL

SYNTHETIC WRAPS, ROPES & TWINES





No.	Date	Issue Notes	
/ / 	/	 ļ	
\			 

VINCENT BABAK ARCHITECTURE, LLC

195 TUNXIS HILL ROAD, SUITE 203

FAIRFIELD, CT 06825

TELE: 203-903-6203

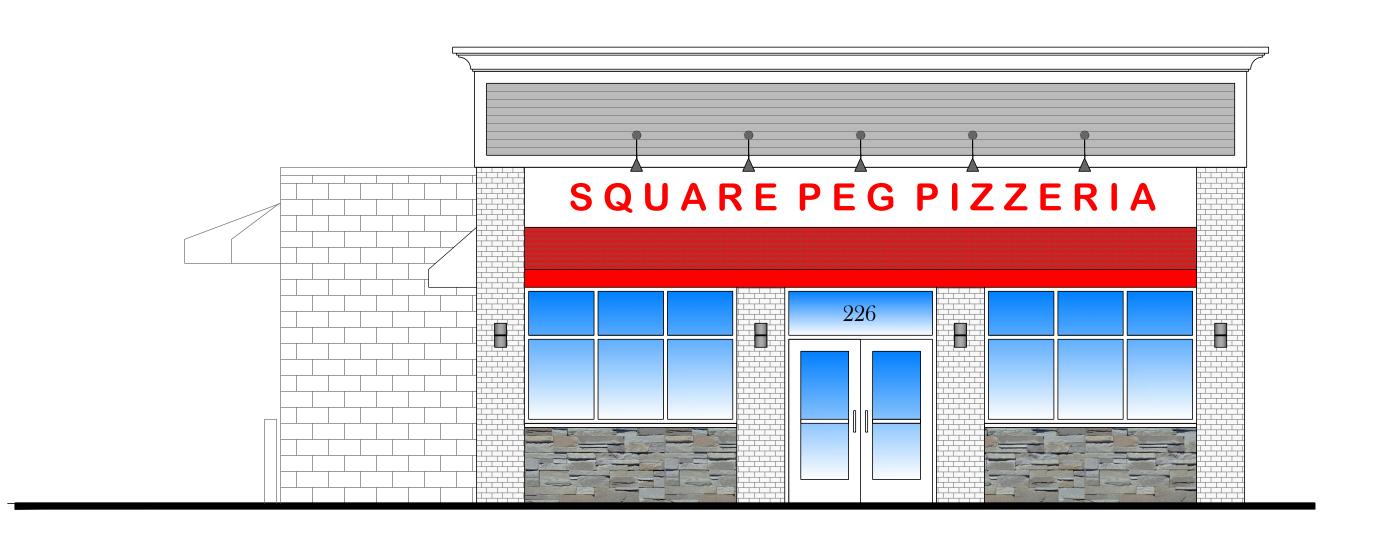
onsultant

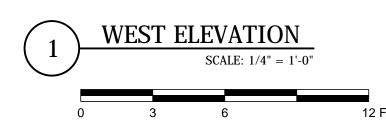
SQUARE PEG PIZZERIA
226 Talcottville Rd.
Vernon, CT

Title

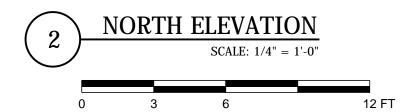
SCHEMATIC PLAN

Project Manager -	
Drawn By NS	Scale 1/4" = 1'-0"
Reviewed By ED	Sheet No.
Date 11-28-20	3A-2
CAD File Name	7









No.	Date	Issue Notes	
	 	 - <del> </del>	
,			 

VINCENT BABAK ARCHITECTURE, LLC

195 TUNXIS HILL ROAD, SUITE 203

FAIRFIELD, CT 06825

TELE: 203-903-6203

Consultant

ct Title

SQUARE PEG PIZZERIA 226 Talcottville Rd. Vernon, CT

eet Title

ger Project ID - - - -

**ELEVATIONS** 

| Scale | 1/4" = 1'-0" | | Sheet No. | | SA-4 | | CAD File Name | Scale | | Sheet No. | SA-4 | | CAD File Name | Scale | | Sheet No. | SA-4 | | CAD File Name | SA-4 | | CAD File Name | SA-4 | | CAD File Name | SCALE | | CAD File Name |

# **APPLICATION**

2

#### TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

#### **APPLICATION**

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

I ADDITIONE.

Provide all the information requested:

	A» n	THE LICENTE
ame:	Matthew Tyler, EIT	
itle:	Design Engineer	
ompany:	Bohler	
ddress:	16 Old Forge Road Suite A,	
elephone	860-333-8900	Fax;
-mail	mtyler@bohlereng.com	
	ayes family limited partnership & Con	
	,	
Address:	1471 Pleasant Valley Road	
Telephon	G: Fax	
E-mail:		
		<u> </u>

05/05/2015

#### III. PROPERTY

Address: 74 Re	servoir Road
Assessor's ID Code:	Map # 46 Block # 71 Lov/Parcel # 19B
Land Record Reference	to Deed Description: Volume: Page
Does this site contain a 2.23, 2.24, 3.11; 4)	watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15,
No	Yes  X No work will be done in regulated area Work will be done in the regulated area
	IWC application has been submitted IWC application has not been submitted
Zoning District Col	nmercial (C)
Is this property located	essor's ID Code: Map # 46 Block # 71 Lot/Parcel # 19B  d Record Reference to Deed Description: Volume: Page  es this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 3, 2.24, 3.11; 4)  No
	Coventry Ellington Manchester South Windsor
Check if Historic Sta	tus Applies:
Locate	d in historic district:
Indivi	iual historic property

#### IV. PROJECT

Project Naz	ne: McDonaid's	
Project Ca	Hact Person:	
Name:	Matthew Tyler	
Title:	Design Engineer	
Company:	Bohler Engineering	
Address;	16 Old Forge Road Suit	e A, Rocky Hill, CT 06067
Telephone	860-333-8900	Fax:
E-mail:	mtyler@bohlereng.com	

#### V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: _	ADA (	Compliance
General A	ctivities:	Minor site modifications for ADA compliance,
additio	nal drive	e-thru lane with new menu boards and features to
improv	e stack	ing, new facade and signage.
		VI. APPROVAL (S) REQUESTED
	Subdivisio	n or Resubdivision
	Resu Min Tow	livision (Sub. Sec. 4, 5, 6) bdivision (Sub. Sec. 4, 5, 6) or modification f subdivision or resubdivision (Sub. Sec. 4.6) on acceptance of a road (Sub. Sec. 6.5-6. 8 & 9) andment of Subdivision Regulations (Sub. Sec. II)
See Subd	livision Re	egulations Sec. 4 for application fee schedules.
Soi	il Erosion	and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)
X Sit	e Plan of	Development (POD) (ZR Sec. 14)
Sı	Mo _X_Min	D approval (ZR Sec. 14.1.1.1; 14.1.2) diffication of an approved POD (ZR Sec. 14.1.1.1) nor modification of a site POD (ZR Sec. 14.1.1.2) mit(s) (ZR Section 17.3)
•	Sp	ecial Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20) ocial Permit for excavation (ZR Sec. 2.52; 2.79; 15) ecial Permit for use in a district (ZR Sec. 1.2 & 4)
	Sp	ecial Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4) ecial Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7) ecial Permit for parking (ZR Sec. 4; 12; 21.4
	S	pecial Permit for elderly housing (ZR Sec. 2.60; 17.4) pecial Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4) pecial Permit for serving alcohol (ZR Sec. 2.103, 17.1)
	S	pecial Permit for massage (ZR Sec. 2.76-78; 4) pecial Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23) pecial Permit for dumps and/or incinerators (ZR Section 8)

Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe
 Zoning:
Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)  Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)
Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.

#### VII. APPLICATION CONDITIONS / STIPULATIONS

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.

APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

Geolean ! Haye	11/12/20
Signature	Date

#### TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted	
Date Application Received by Commission	
PZC File:	



McDonald's Corporation 110 N. Carpenter Street Chicago, IL 60607-2101 (312) 720-4404 Kevin.l-lyde@us.mcd.com

September 30, 2020

## BY CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Hayes Family Limited Partnership Conyers Family Limited Partnership II 1471 Pleasant Valley Road Manchester, CT 06040

Stanley Falkenstein Falkenstein, Meggers, Paul & Robinson, P.C. 113 East Center Street Manchester, CT 06040-5234

Re:

Route 31 Mile Hill Road, Vernon CT (the "Premises")

L/C: 006-0439 File #43038

Ground Lease dated August 28, 2002, between Hayes Family Limited Partnership and Conyers Family Limited Partnership, as Landlord, and McDonald's Corporation, as Tenant, as amended (collectively the "Lease")

#### Dear Sir or Madam:

Pursuant to the terms of the Lease, McDonald's would like to obtain your consent as Landlord to make certain alterations and improvements to the Premises as are depicted on the enclosed site plan dated September 21,2020 (collectively the "Site Enhancements Work"), which work includes, but may not be limited to, the addition of a side-by-side drive-thru and related facilities.

Tenant agrees that the Site Enhancements Work, when accomplished, will be done in a good, workmanlike manner and further agrees to hold you harmless from any liens or claims attaching to the Premises by reason of the Site Enhancements Work. The Site Enhancements Work is to be done at the sole cost and expense of McDonald's.

If the Site Enhancements Work meets with your approval, please sign the enclosed copy of this letter in the space provided below and return it in the enclosed self-addressed envelope to my attention. Please also execute the attached Town of Vernon Planning & Zoning Commission (PZC) Application. If possible, please also e-mail a signed copy of the letter to the following e-mail address: "legalclearance@us.mcd.com."

Your written response within twenty (20) days is required. Please note that pursuant to the Lease, your approval shall only be from an appearance standpoint only and shall not be unreasonably withheld, and shall be conclusively deemed granted if you do not respond within twenty (20) days after receipt of this correspondence. You, as Landlord, are currently in default for failure to respond to previous requests for consent, therefore I ask that you respond as soon

as possible to this request. This request for consent is made without prejudice to McDonald's claims against Landlord for Landlord's prior default, and McDonald's reserves all of its rights against Landlord with respect to same.

If you have any questions regarding this matter, please do not hesitate to contact me at (312) 720-4404 or by email at Kevin.Hyde@us.mcd.com. Thank for your cooperation and prompt attention to this matter.

Sincerely,

McDONALD'S CORPORATION

Senior Counsel
U.S. Legal Department

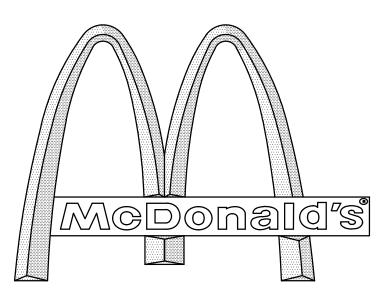
**Enclosure** 

AGREED AND CONSENTED TO THIS 9th DAY OF November , 2020

Ite: Magazan

# SITE DEVELOPMENT PLANS

FOR: EXISTING

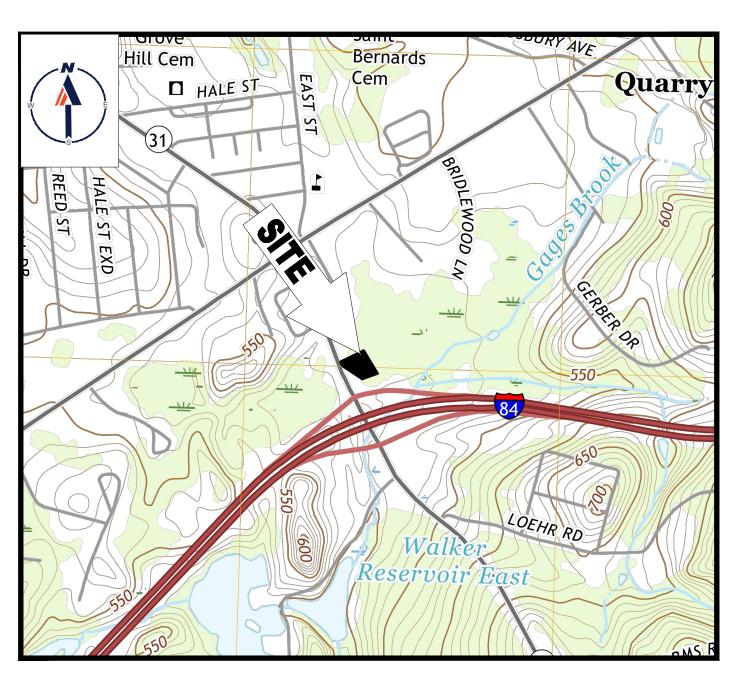


WITH DRIVE-THRU

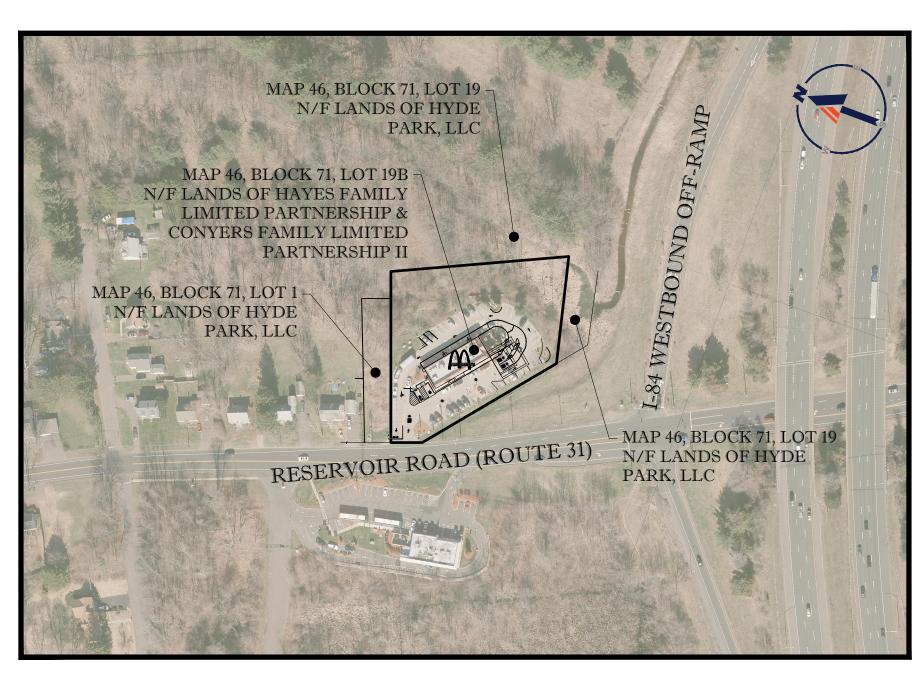
LOCATION OF SITE:

74 RESERVOIR ROAD, TOWN OF VERNON TOLLAND COUNTY, CONNECTICUT

MAP 46, BLOCK 71, LOT 19B



LOCATION MAP SCALE: 1"=1000'
PLAN REFERENCE: USGS ROCKVILLE, CT QUADRANGLE 2018



AREA PLAN SCALE: 1"=150'

C-1 OF 8
C-2 OF 8
C-3 OF 8
C-4 OF 8
C-5 OF 8
C-6 OF 8
C-7 OF 8
C-8 OF 8
1 OF 1
A1.0
A2.0
A2.1

# SHEET INDEX

BOHLER//	
SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING	(
PROGRAM MANAGEMENT	
LANDSCAPE ARCHITECTURE	
SUSTAINABLE DESIGN	(
PERMITTING SERVICES	
TRANSPORTATION SERVICES	
I KANSPURTATION SERVICES	
THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES	

M	COMPLIANCE CHECK DATE
_	CONSTRUCTION CHECK DATE
	CONSTRUCTION CHECK DATE
	PROJECT No.: CT182026
RITTEN	CAD I.D. #: CT182026ss0.dwg

<ol> <li>ALL ELEVATIONS SHOWN ARE BASED UPON, NAVD 88 PER SURVEY NOTE #7.</li> <li>ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.</li> <li>LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.</li> </ol>				DESCRIPTION				
]	PAVIN		ECI	FICATION	-			
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TOTAL	23 EXISTIN	IG SPACES SED SPACES			PROFE	ESSIONA	ALENG	HINE
TOTAL SPACES	2 PROPO	SED SPACES		8.0' X 22.0' @ PARALLEL 9.0' X 18.0' @ 72.8°		(V)		
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ELECTRIC GAS			NKNOWN ROPANE	RESERVOIR ROAD R.O.W ON-SITE	1 70		OUT THI ROPERT	BOSTON
PREPARED BY:	CON 352 SOU JOB DAT	TROL POINT A FURNPIKE RO THBOROUGH #: 03-180127 E: OCTOBER	ASSOCIATE AD , MA 01772 12, 2018	RMATION ES, INC.  EGEND			AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION	
EXIS	TING	→ PROPE	RTY LINE	PROPOSED	(ك	5)	D SHALI	
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V	TOWN ERNON			STATE CONNECTICUT	STATU DRAWN B	Y:	DAT 09/21/	
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SITE I.D.		PLAN DESCRIPTION		SHEET NO	).			
0	06-0439			OVER SHEET		OF 8		
			•		-	`		

GENERAL NOTES:

1. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY

2. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES,

4. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS

SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION. 5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER

CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.

ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

THE GENERAL CONTRACTOR.

THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

STRUCTURES AND PROPERTIES.

- "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, DATED 10/12/18
- "REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR NON PLAYPLACE", PREPARED BY SKYBORNE TECHNOLOGIES, DATED 01/31/19, REVISED 04/12/19.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS 3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. CONTRACTOR'S RESPONSIBILITY.
- ALL ACCESSIBLE (A/K/A ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seg. AND 42 U.S.C. § 4151 et seg.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES
- CERTIFICATE OF OCCUPANCY
- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND. IN CASE OF CONFLICT. DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES
- ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
- CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER. ARCHITECT AND SITE ENGINEER. IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST
- . DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS
- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION. INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- . THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS. TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. 12. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES. AT ANY TIME
- 3. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND SUBSIDIARIES AND RELATED ENTITIES. AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULL EST. EXTENT PERMITTED LINDER THE LAW INDEMNIEY DEFEND AND HOLD HARMLESS ROHLER ENGINEERING AND ITS PAST PRESENT AND ELITIRE OWNERS. OFFICERS DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES STATUTORY CLAIMS STATUTORY CAUSES OF ACTION LOSSES CAUSES OF ACTION LIABILITIES OR COSTS INCLUDING BUT NOT LIMITED TO REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS. ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
- 9. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS. SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA. WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- 0. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING. BUT NOT LIMITED TO. CONSTRUCTION MEANS. METHODS. SEQUENCE. TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING. OVERSEEING. SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED
- I. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE.
- 23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.
- 4. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.
- 5. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
- 26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

- 27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES. AND ALL APPLICABLE OSHA REQUIREMENTS.
- 28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
- 29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES. INCLUDING THOSE OF SUBCONTRACTORS. ARE IN COMPLIANCE WITH THE SWPPP. INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.
- 0. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

# GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

AMENDED AND ANY MODIFICATIONS. AMENDMENTS OR REVISIONS TO SAME

- "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES. DATED 10/12/18.
- "REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR NON PLAYPLACE". PREPARED BY SKYBORNE TECHNOLOGIES. DATED 01/31/19. REVISED 04/12/19.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL. STATE AND LOCAL REGULATIONS. RULES. REQUIREMENTS, STATUTES, ORDINANCES AND CODES
- THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A 6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
  - A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
  - B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
  - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY
  - : LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE. ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE LITHLITY NOTIFICATION SYSTEM TO LOCATE ALL THE LINDERGROUND LITHLITIES.
  - F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
  - H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER
  - I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
  - THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
  - THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
  - THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER 13. THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER
  - CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED 14. BACKFILL MATERIALS. AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.
  - 11. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
  - TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY
  - CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
  - THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR
  - 16. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF LINAUTHORIZED PERSONS AT ANY TIME
  - 17. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK, ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES. TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST
  - CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR 26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON FINAL ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS. RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK

# ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (ACCESSIBLE) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE THESE COMPONENTS AS CONSTRUCTED MUST COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA AND/OR STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS. REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- CURB RAMPS SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
- LANDINGS MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET. MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (2.0%) FOR
- DOORWAYS MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG. EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS. IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-CONFORMING CONCRETE
- IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

# GENERAL GRADING & UTILITY PLAN NOTES

- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OF EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILI NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO TH OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
- 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJE WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER RECORD. IN WRITING OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAW

- STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE
- 5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED I REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS. DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE
- OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER. IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AN APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND
- 9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- 3. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED 10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES. STATUTES, LAWS, ORDINANCES AN CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES, EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENT OR REVISIONS THERETO.
  - ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL. COMPACTION AND BACKFILL. FURTHER. CONTRACTOR IS FULLY RESPONSIBILITY FOR OR AS RELATED TO FILL. FOR EARTHWORK BALANCE.
  - THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THA HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING
  - PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
  - THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARI REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
  - DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.
  - SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.
  - THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY HEALTH OR GENERAL WELFARE OR PROJECT COST. JE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME
  - 18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.
  - REFER TO THIS SHEET FOR ADDITIONAL NOTES

- 20. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER. IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
- 21. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.
- 22. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
- 23. STORM DRAINAGE PIPE: UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.
- 24. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
- FOR PIPES LESS THAN 12 FT, DEEP: POLYVINYL CHI ORIDE (PVC) SDR 35 PER ASTM D3034 FOR PIPES MORE THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034
- FOR PIPE WITHIN 10 FT. OF BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS. 25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE
- 27. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE
- SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY L SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME
- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
- 28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPLIED A
- 29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.
- 30. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY
- CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

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		TYPICAL	MIN.	MINIMUM	
		INTERSECTION	MAX.	MAXIMUM	
SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES.		POINT OF CURVATURE	No. / #	NUMBER	
		POINT OF TANGENCY	W.	WIDE	
		POINT OF INTERSECTION	DEC.	DECORATIVE	
		POINT OF VERTICAL INTERSECTION	ELEV.	ELEVATION	
STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.	STA.	STATION	UNG.	UNDERGROUND	
ALL FILL. COMPACTION. AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH	GRT	GRATE	R.O.W.	RIGHT OF WAY	
THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE	INV.	INVERT	LF	LINEAR FOOT	
FOR EARTHWORK BALANCE.	DIP	DUCTILE IRON PIPE	LOD	LIMIT OF DISTURBANCE	
THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT	PVC	POLYVINYL CHLORIDE PIPE	LOW	LIMIT OF WORK	
HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.	HDPE.	HIGH DENSITY POLYETHYLENE PIPE	L.S.A.	LANDSCAPED AREA	
PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.	RCP	REINFORCED CONCRETE PIPE	±	PLUS OR MINUS	
THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS,	S	SLOPE	۰	DEGREE	
REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.	ME	MEET EXISTING	Ø / DIA.	DIAMETER	
DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN. WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.					
WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS. SOME OF WHICH MAY BE BUILT AT A LATER DATE. THE CONTRACTOR MUST EXTEND ALL LINES. INCLUDING BUT NOT LIMITED TO STORM		rrrn &o givr i	OT 4 2 2		

**TYPICAL** 

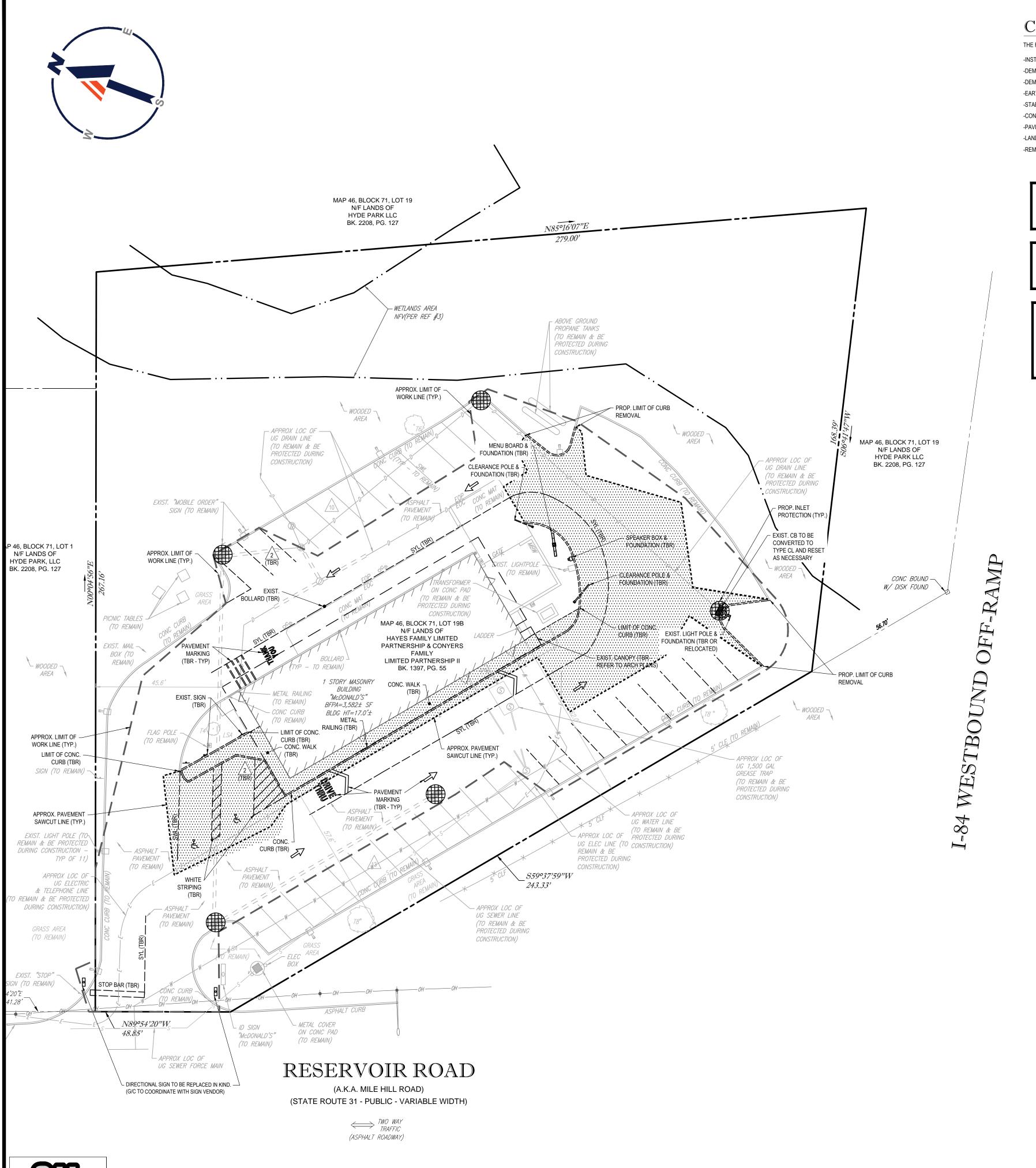
REFER TO SITE PLAN FOR ZONING ANALYSIS TABLE AND LAND USE/ ZONING INFORMATION & NOTES

PROFESSIONAL ENGINEER

ENTITLEMENT SET STREET ADDRESS COMPLIANCE CHECK 74 RESERVOIR ROAD TOWN STATE STATUS DATE CONSTRUCTION CHECK DATE VERNON CONNECTICUT DRAWN BY: 09/21/20 ML COUNTY PLAN CHECKED CONSTRUCTION CHECK DATE TOLLAND AS-BUILT PROJECT No.: CT182026 SITE I.D. PLAN DESCRIPTION SHEET NO. GENERAL 006-0439 CAD I.D. #: CT182026ss0.dwg

SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES

TRANSPORTATION SERVICES



# CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

-INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN) -DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN) -DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN) -EARTHWORK AND EXCAVATION/FILLING AS NECESSARY -STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING

-CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS -PAVE PARKING LOT

-LANDSCAPING PER OPERATOR

-REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL & SOIL EROSION CONTROL PURPOSES ONLY

#### **UTILITY NOTE:**

CONTRACTOR SHALL CONFIRM ALL UTILITY & DRAINAGE LOCATIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER IN WRITING IF ANY CONFLICTS OCCUR.

# EROSION & SEDIMENT CONTROL NOTES

- 1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL
- 2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD
- 3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- 4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER FACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY. ONE HALF THE HEIGHT OF THE BARRIER SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- 6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- 7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- 8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- 9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- 10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
- 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
- 10.2 APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER1,000 SF).
- 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE. 5% REDTOP. AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
- 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1.000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- 11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- 12. WETLANDS WILL BE PROTECTED W/strawBALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND
- 13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- 14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED,

# MULCH

RATE (1000 SF) LOCATION PROTECT AREA WINDY AREA SHREDDED OR CHOPPED CORNSTALKS 185-275 POUNDS STRAW (ANCHORED)\* 100 POUNDS MODERATE TO HIGH JUTE MESH OR EXCELSIOR MAT AS REQUIRED VELOCITY AREAS OR STEEP SLOPES **GREATER THAN 3:1** 

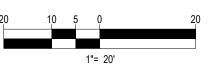
(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

\* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS): USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

# EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- 1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- 2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- 3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- 4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- 5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR straw AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING
- 6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE
- MULCHING REQUIREMENTS:
- 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE
- 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- 7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- 8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING
- 9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- 10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- 11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.





TRANSPORTATION SERVICES

PERMITTING SERVICES

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	COMPLIANCE CHECK DATE	
	CONSTRUCTION CHECK DATE	
	CONSTRUCTION CHECK DATE	
	PROJECT No.: CT182026	SI
R WRITTEN	CAD I.D. #:	
	CT182026ss0.dwg	

ENTITLEMENT SET STREET ADDRESS 74 RESERVOIR ROAD TOWN STATE STATUS CONNECTICUT **VERNON** DRAWN BY: 09/21/20 ML COUNTY PLAN CHECKED TOLLAND AS-BUILT SITE I.D. PLAN DESCRIPTION SHEET NO. DEMOLITION & EROSION

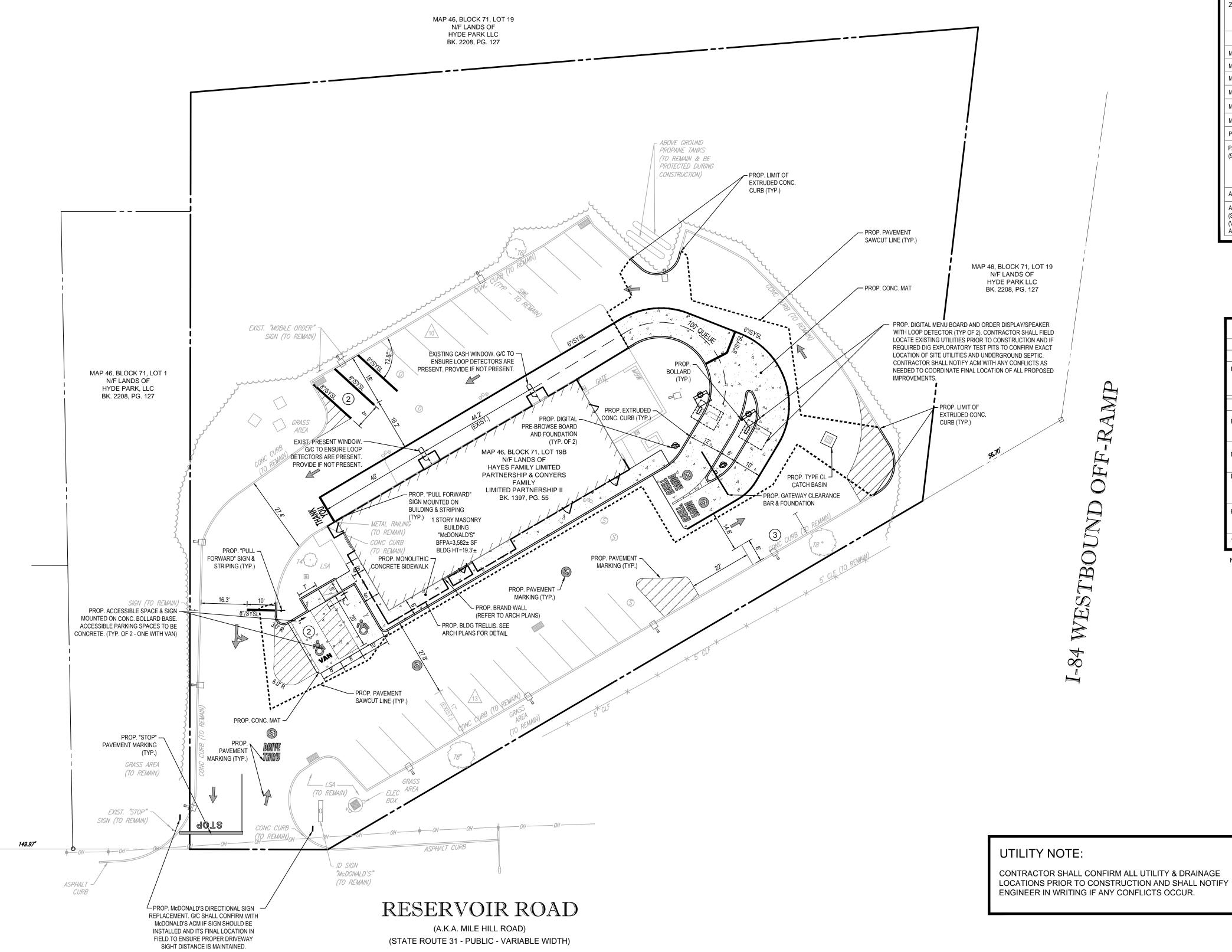
CONTROL PLAN

PROFESSIONAL ENGINEER

DATE

Know what's below.

Call before you dig.



TWO WAY TRAFFIC (ASPHALT ROADWAY)

LAND USE / ZONING INFORMATION & NOTES

APPLICANT / OWNER:
 CONYERS FAMILY LTD PARTNERSHIP II
 1471 PLEASANT VALLEY ROAD
 MANCHESTER, CT 06040

2. PARCEL:

MAP 46, BLOCK 71, LOT 19B
74 RESERVOIR ROAD
TOWN OF VERNON
TOLLAND COUNTY, CT

ZONING DISTRICT	COMMERCIAL (C)		
	, ,		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	22,000 SF	60,585 SF	NO CHANGE
MINIMUM LOT WIDTH	100'	168.4'	NO CHANGE
MIN. FRONT SETBACK	50'	57.6'	57.9'
MIN. SIDE SETBACK	20'	45.6'	48.5'
MIN. REAR SETBACK	50'	106.8'	112.3'
MIN. FLOOR AREA	1,000 SF	3,582 SF	NO CHANGE
PARKING SPACES	30	45	30
PARKING CRITERIA (9'x18')	1 PER 50 SF OF PUBLIC FLOOR A 1,475 SF / 50 SF = 29.5 ~ 30 SPAC		
ACCESSIBLE PARKING SPACES	2	2	2
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE- 8'x18' W/ 5' ACCESS AISLE) (VAN ACCESSIBLE SPACE-8'x18' W/ 8' ACCESS	TOTAL PARKING 26 TO 50 = 2 ACC VAN ACCESSIBLE SPACES= 1 / 6		1

C	ICNI CIIMM	ADVTADIE				
SIGN SUMMARY TABLE						
TYPE	ALLOWED	EXISTING	PROPOSED			
SITE SIGNAGE						
FREESTANDING I.D. SIGN	1 @ 80 SF	1 @ 59 S.F.	NO CHANGE			
BUILDING SIGNAGE						
FRONT WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH	1 "M" @ 14 S.F.	1 "M" LOGO @ 14 S.F. 1 "McDONALD'S" SIGN @ 34 SF WALL SIGN AREA = 48 SF			
	36.4 X 2 = 72.8 S.F.		W/122 01011/11(2/1 = 40 01			
NON DRIVE THRU WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 98.2 X 2 = 196.4 S.F.	1 "M" @ 14 S.F.	1 "M" LOGO @ 14 S.F.			
DRIVE THRU WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 98.2 X 2 = 196.4 S.F.	-	-			
REAR WALL SIGN	2 SF PER LINEAR FOOT OF WALL LENGTH 36.4 X 2 =72.8 S.F.	1 "M" @ 14 S.F.	-			
TOTAL BUILDING SIGNAGE	538.4 S.F.	3 @ 42 S.F.	3 @ 62 S.F.			

NOTE: ALL SIGNS AREAS ARE "BOXED" FOR CALCULATIONS

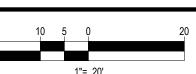
PAVEMENT STRIPING LEGEND

6"/SYSL = 6" SINGLE YELLOW SOLID LINE 8"/SYSL = 8" SINGLE YELLOW SOLID LINE 4"/SWSL = 4" SINGLE WHITE SOLID LINE

REFER TO GENERAL NOTES
SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

DOOR PULL NOTE: NEW SIDEWALK
CONSTRUCTION SHALL BE ADA
COMPLIANT WITH EDGE OF NEW
SIDEWALK AND ANY OBSTRUCTION,
INCLUDING RAILINGS, BEING
INSTALLED A MINIMUM OF 24" FROM
THE DOOR LATCH.





COMPLIANCE CHECK DATE	
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CONSTRUCTION CHECK DATE	
PROJECT No.: CT182026	
CAD I.D. #: CT182026ss0.dwg	
	CONSTRUCTION CHECK DATE  CONSTRUCTION CHECK DATE  PROJECT No.: CT182026  CAD I.D. #:

	1"= 20'				
	ENTITLEN	MENT SET			
	STREET A				
	TOWN	STATE			
	VERNON	CONNECTICUT			
	COU	NTY			
TOLLAND					
TE I.D.		PLAN DESCRIPTION			
	006-0439	SITE PLAN			

AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MADONALD'S CORPORATION

DATE OFFICE BOSTON REGION

ADDRESS 110 NORTH CARPENTER STREET

CHICAGO, IL

DATE BY

09/21/20 MLT

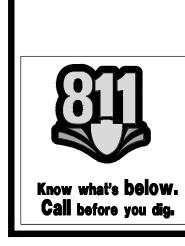
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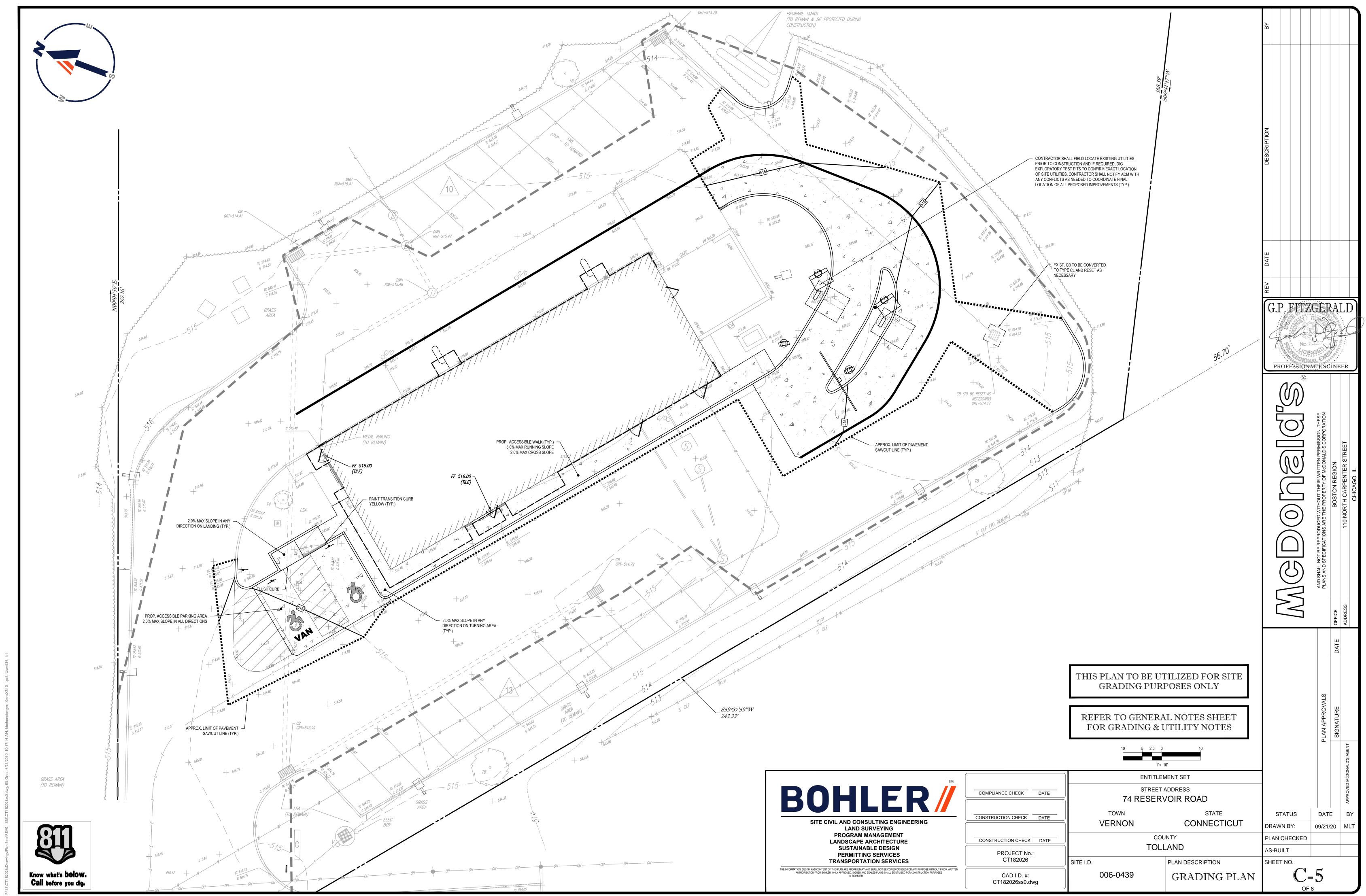
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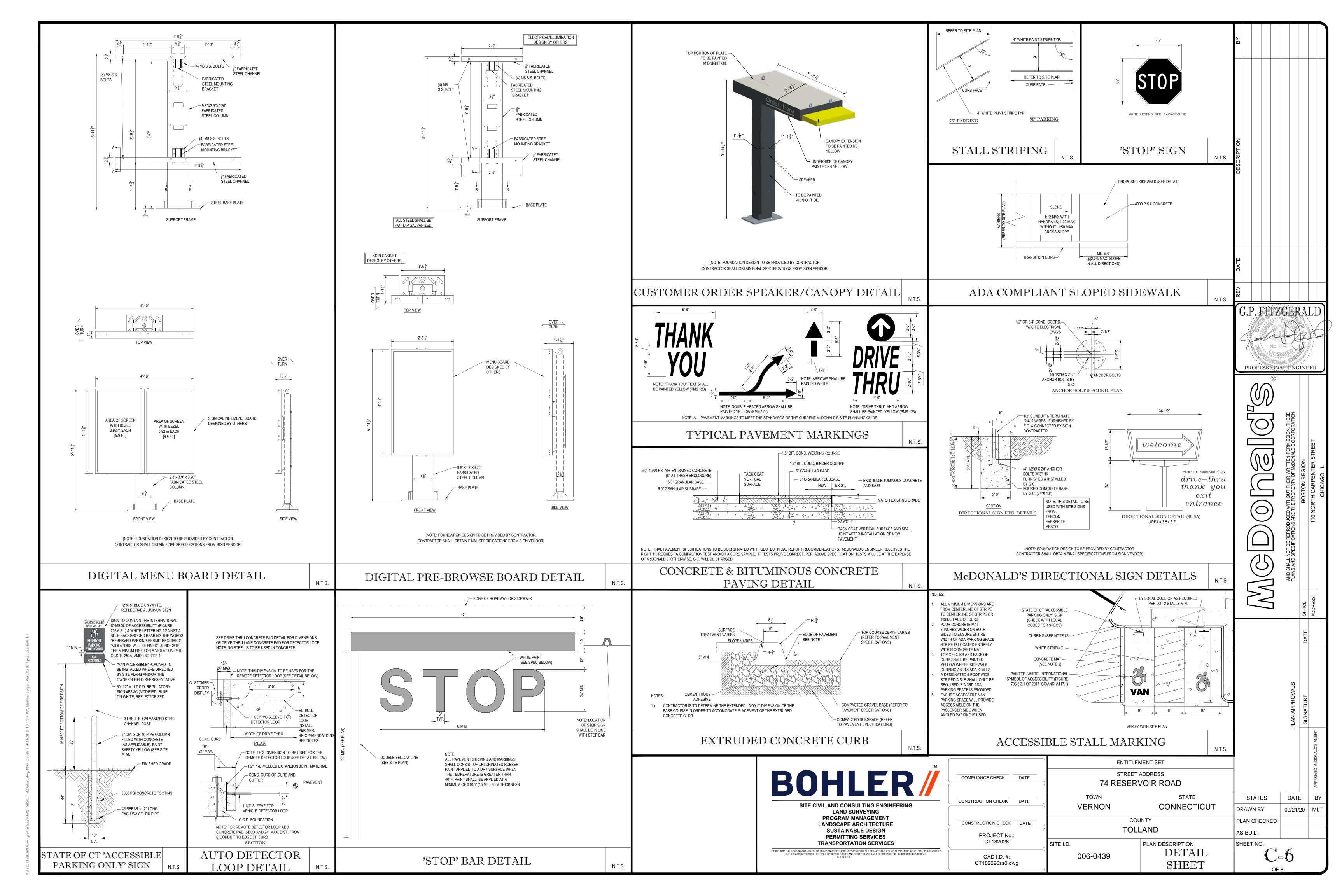
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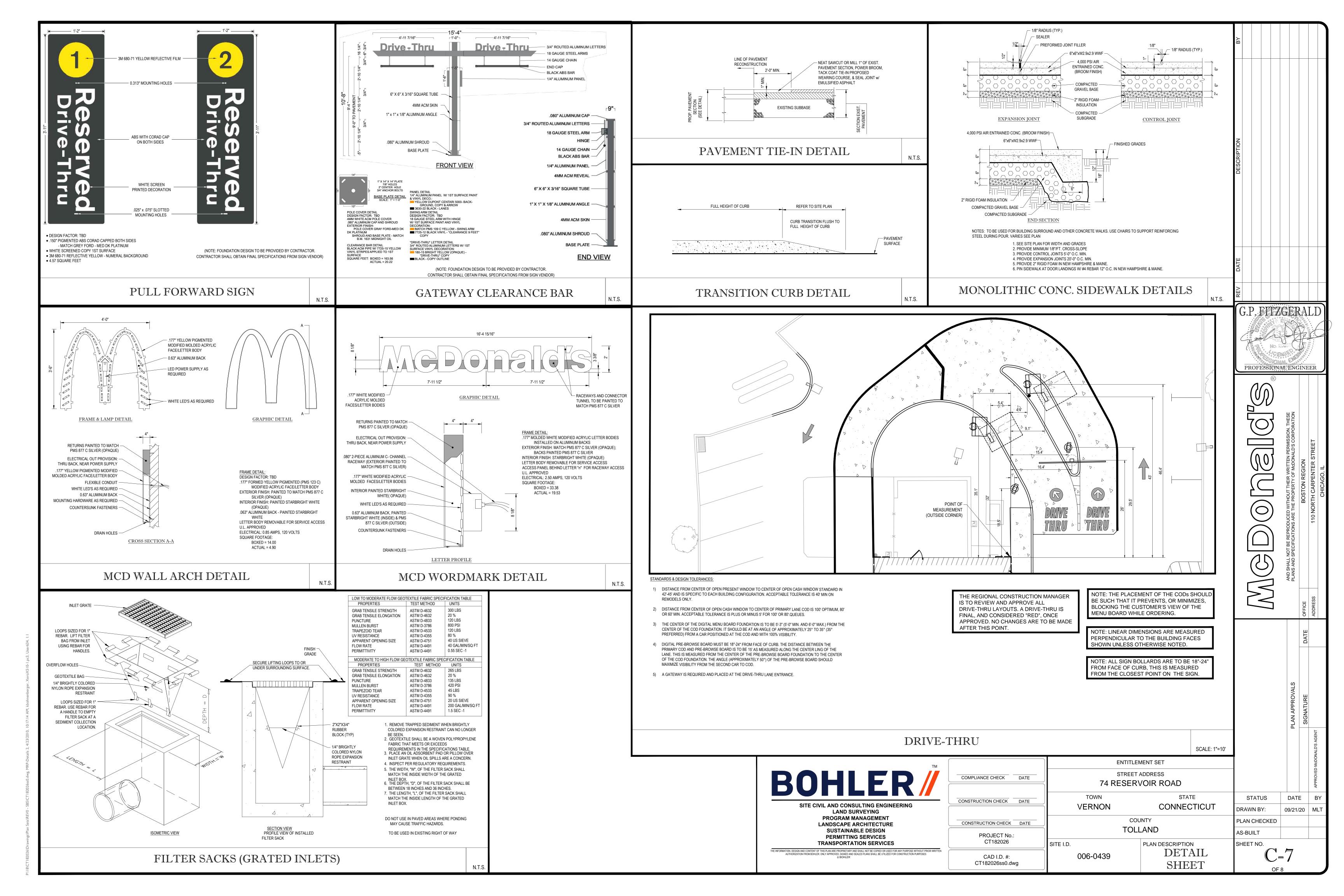
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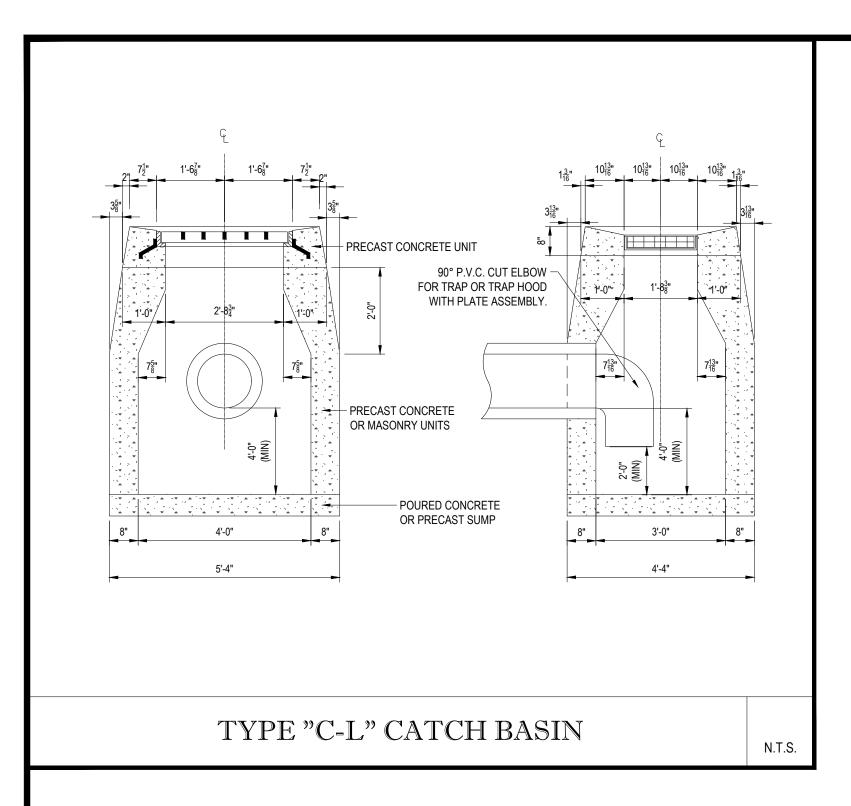
SHEET NO.











BOHLER// SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING

PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

COMPLIANCE CHECK DATE	
CONSTRUCTION CHECK DATE	
CONSTRUCTION CHECK DATE	
PROJECT No.: CT182026	SITE
CAD I.D. #: CT182026ss0.dwg	

ENTITLE		
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TOWN	STATE	STATUS
VERNON	CONNECTICUT	DRAWN BY:
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TE I.D. 006-0439	PLAN DESCRIPTION DETAIL SHEET	SHEET NO.  OF 8

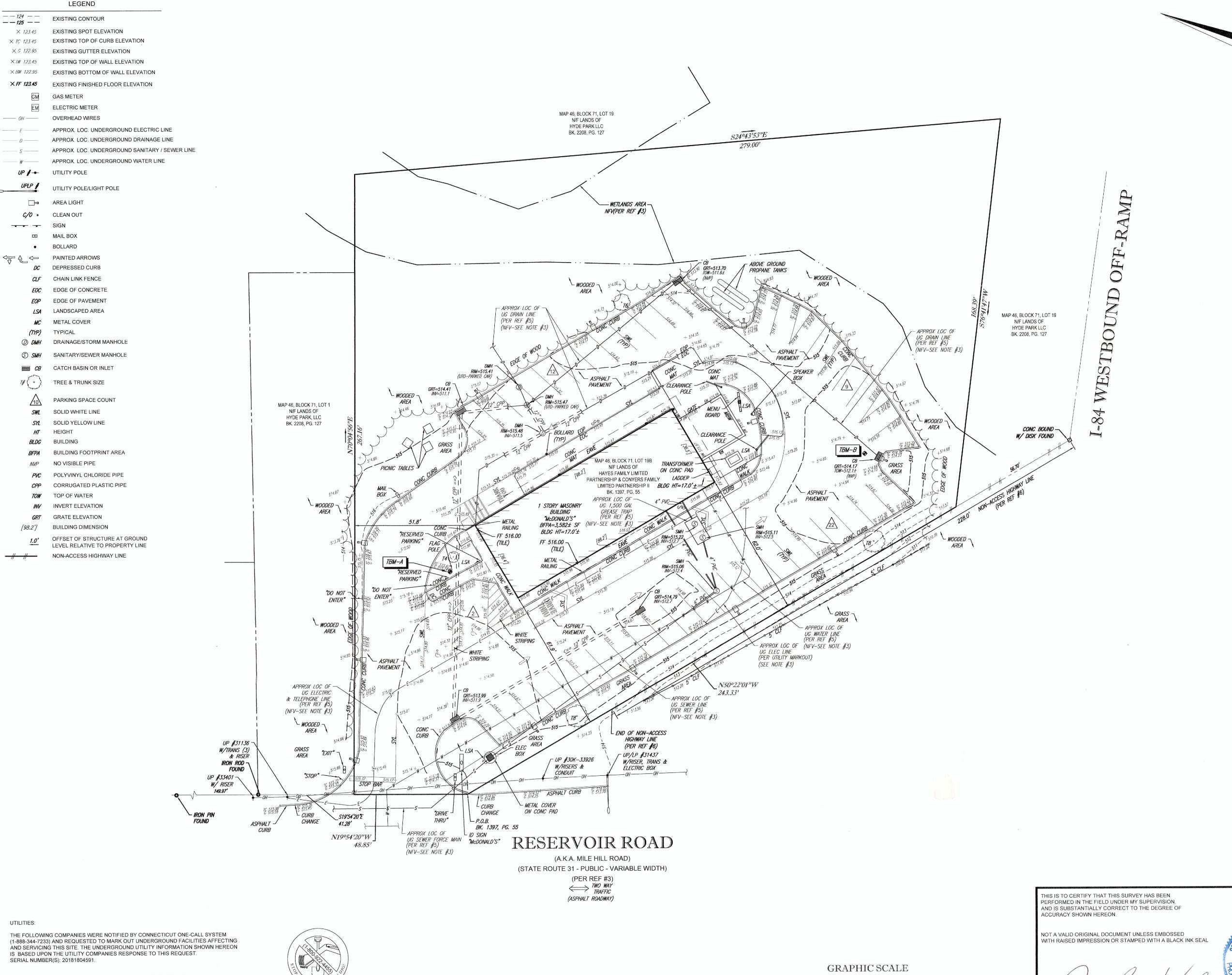
G.P. FITZGERALD PROFESSIONAL ENGINEER

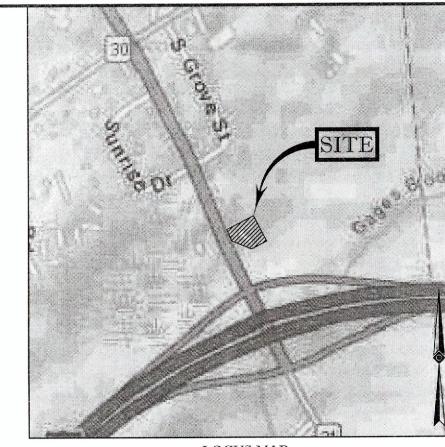
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DATE BY

09/21/20 MLT

C-8 OF 8





LOCUS MAP ©2013 ESRI WORLD STREET MAPS NOT TO SCALE

#### NOTES:

- 1. THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 AND T-2 SURVEY AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B, EFFECTIVE DATE JUNE 21, 1996. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON SEPTEMBER 26, 1996, BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC., THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON A RESURVEY OF THE SUBJECT PROPERTY.
- 2. PROPERTY KNOWN AS BLOCK 71, LOT 19B AS SHOWN ON THE TOWN OF VERNON, TOLLAND COUNTY, STATE OF CONNECTICUT; TAX MAP NO. 46.

#### AREA = 60,585 SQUARE FEET OR 1.390 ACRES.

- 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR
- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- 5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) PER REF. #2
- 7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
  - TEMPORARY BENCH MARKS SET:

TBM-A: BOLT ON FLAG POLE BASE. ELEVATION = 516.31'

TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT. ELEVATION = 514.49'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

- 8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- 9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD

## REFERENCES:

- 1. THE TAX ASSESSOR'S MAP OF ROCKVILLE, TOLLAND COUNTY, SHEET #46.
- 2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF VERNON, CONNECTICUT, TOLLAND COUNTY, ONLY PANEL PRINTED," COMMUNITY-PANEL NUMBER 090131 0005 C, MAP REVISED: AUGUST 9, 1999.
- ALTA/ACSM LAND TITLE SURVEY FOR MCDONALD'S CORPORATION, PROPERTY LOCATED AT LOT 19 / BLOCK 71 / MAP 46, RESERVOIR ROAD, A/K/A MILE HILL ROAD (STATE ROUTE 31) VERNON, CONNECTICUT," PREPARED BY MBA ENGINEERING, INC., DATED MARCH 12, 2002.
- MAP ENTITLED "MCDONALD'S, SITE PLAN, MAP #46, LOTS 1 & 19, BLOCK #71, VERNON, CONNECTICUT, TOLLAND COUNTY," PREPARED BY BOHLER ENGINEERING, P.C., DATED MARCH 6, 2002. LAST REVISED NOVEMBER 12, 2002. SHEET 2 OF 13. FILED AS PLAN 4345 WITH THE TOWN OF VERNON.
- 5. MAP ENTITLED "MCDONALD'S, UTILITY & DRAINAGE PLAN, MAP #46, LOTS 1 & 19, BLOCK #71, VERNON, CONNECTICUT, TOLLAND COUNTY," PREPARED BY BOHLER ENGINEERING, P.C., DATED MARCH 6, 2002. LAST REVISED NOVEMBER 12, 2002. SHEET 4 OF 13.
- 6. MAP ENTITLED "CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF VERNON INTERSTATE 84 FROM THE MANCHESTER TOWN LINE EASTERLY TO THE TOLLAND TOWN LINE" DATED

AUGUST 15, 1991. SHEET 14 OF 14.

AMES C. WEED

ONNECTICUT PROFESSIONAL LAND SURVEYOR #70249

TELD BOOK N 18-11 MA FIELD BOOK PG 123-125 IELD CREW J.O.

BOUNDARY & TOPOGRAPHIC SURVEY McDONALD'S USA, LLC 74 RESERVOIR ROAD

McDonald's® MAP 46, BLOCK 71, LOT 19B TOWN OF VERNON L/C# 006-0439 TOLLAND COUNTY, STATE OF CONNECTICUT

CONTROL POINT A S S O C I A T E S, I N C.

ALBANY, INT 51621/3010

CHALFONT, PA 2157129800

CHALFONT, PA 2157129800 352 TURNPIKE ROAD

MANHATTAN, NY 6467800411 MT LAUREL, NJ 609857209 WARREN, NJ 908668009 DWG. NO.

1 OF 1

SOUTHBOROUGH, MA 01772 R.J.K. 508.948.3000 - 508.948.3003 FAX PPROVED: 10-12-18 1"=20' 03-180127

( IN FEET ) 1 inch = 20 ft.

CONNECTICUT DEPT OF TRANSPORTATION CONNECTICUT WATER COMPANY EVERSOURCE ELECTRIC EVERSOURCE GAS

FRONTIER COMMUNICATIONS TOWN OF VERNON - WPCA

PHONE NUMBER 860-566-3156 1-800-286-5700 800-778-9140 203-206-5702 1-800-598-0628 860-870-3699

THE STATE OF CONNECTICUT REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

ACCORDANCE WITH THE 2015 IBC - TABLE 1108.2.7.1. NEW RECEIVERS TO BE CONNECTED TO THE EXISTING ANNOUNCEMENT SYSTEM (SPEAKER SYSTEM).

WHEN APPLICABLE, CONTRACTOR TO PROVIDE RECEIVERS FOR ASSISTIVE LISTENING SYSTEMS I

CONTRACTOR TO VERIFY WITH TRELLIS AND ACCENT BAND MANUFACTURER FOR MOUNTING REQUIREMENTS.

CONTRACTOR TO VERIFY ALL FINISHES WITH McDONALD'S ACM PRIOR TO ORDERING. ALL AREAS OF NEW WORK ARE TO BE PREPPED & FINISHES ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS.

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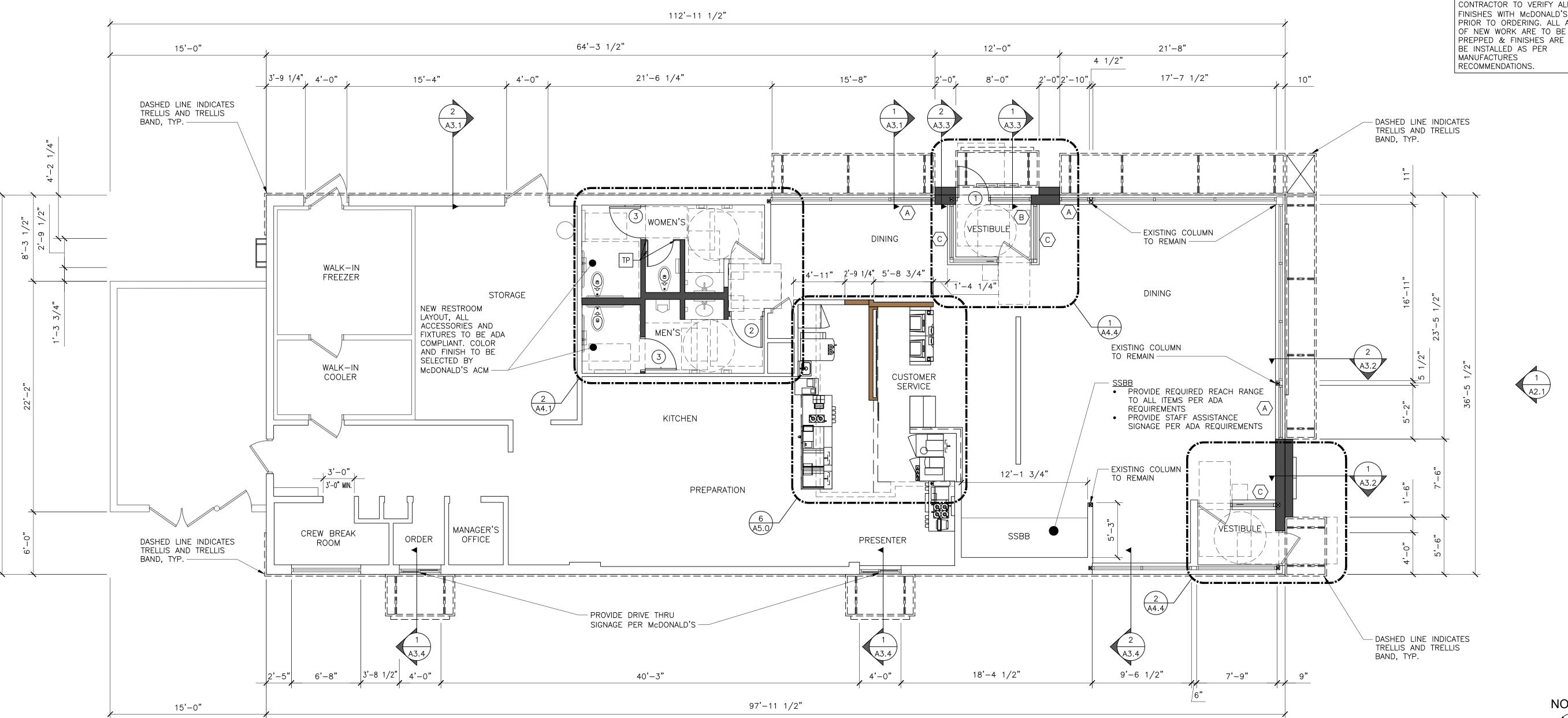
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PROJ.# 180323

FLOOR PLAN

WALL-MOUNTED A/VS MUST BE INSTALLED IN ADDITION TO THE CEILING UNITS PER #2 ABOVE.



112'-11 1/2"

RANGES, AND ALL OTHER ADA REGULATED ITEMS TO BE COMPLIANT WITH THE 2010 ADA STANDARDS. CONTRACTOR TO NOTIFY THE DIRECTIONAL SIGNAGE MUST BE E.O.R. OF ANY DISCREPANCIES BETWEEN THE PROVIDED AT THE BUILDING PLANS SHOWN AND CODES REFERENCED ENTRANCES TO MAKE PEOPLE ABOVE PRIOR TO THE START OF AWARE OF EXISTENCE AND LOCATION OF THE RESTROOMS.

CONSTRUCTION. FIRE ALARM NOTES

(IF REQUIRED/ADDED/TRIGGERED BY FIRE MARSHALL OR LOCAL/STATE AHJ): 1. ALL PULL-STATIONS MUST MEET ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA ALLOWS A MAX. REACH HEIGHT OF 48" AS LONG AS THE REACH IS NOT OVER AN OBSTRUCTION GREATER THAN 10" DEEP. THE MAX. REACH HEIGHT TO THE OPERABLE MECHANISM ALLOWED FOR COMPLIANCE WITH 2010 ADA STANDARDS WHEN REACH IS

CONTRACTOR TO PROVIDE ACCESSIBLE

EXTERIOR SEATING PER ADA REQUIREMENTS

ALL CLEARANCES, ACCESSIBLE PATHS, REACH

OVER AN OBSTRUCTION (TRASH RECEPTACLE, DISPLAY, ETC.) IS 46" A.F.F. CONSIDER LOCATION OF DECOR ITEMS, TRASH/TRAY RECEPTACLES TO LOCATE THE PULL STATIONS WHERE THEY WILL NOT BE BLOCKED BY THESE ITEMS. ENSURE FIRE ALARM CONTRACTOR HAS A COPY OF THE FINAL DECOR PLAN FOR COORDINATION.

ITEMS WITH A REACH DISTANCE OF UP TO 10" FROM THE FRONT EDGE OF THE SSBB COUNTER OR TRAY SLIDE ARE ALLOWED TO BE UP TO 48" A.F.F. TO THE TOP OF THE OUTLET/OPERABLE MECHANISM. ITEMS

WITH A REACH DISTANCE OF GREATER THAN 10" AND UP

TO 24" IN DEPTH AS MEASURED FROM THE FRONT EDGE OF THE SSBB COUNTER MAY BE UP TO 46" A.F.F. TO THE TOP OF THE OUTLET/OPERABLE MECHANISM. NO ITEMS MAY BE LOCATED WITH A REACH DEPTH OF

GREATER THAN 24" AS MEASURED FROM THE FRONT

EDGE OF THE COUNTER. ONLY ONE DISPENSER OF

KETCHUP CUPS, ETC..., ONE MAY BE HIGHER THAN

EACH ITEM OFFERED IS REQUIRED TO COMPLY. (I.E. IF

THERE ARE TWO SLOTS/DISPENSERS FOR STRAWS OR

46"/48" AS LONG AS ONE COMPLIES WITH THE ABOVE

2. A/V DEVICES MUST BE INSTALLED PER ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA/NFPA72 REQUIRES STROBES TO BE MOUNTED AT 80" A.F.F. (TO A PORTION OF THE CLEAR LENS OF THE STROBE) UNLESS A LOW-CEILING CONDITION EXISTS, WHERE A MIN. OF 6" BELOW THE CEILING PLANE IS REQUIRED FOR VISIBILITY THROUGH SMOKE.

IMPORTANT NOTE: McDONALD'S ISSUED A CLARIFICATION IN WHICH MANDATES WALL-MOUNTED A/V DEVICES. IF LOCAL/STATE | H AHJ REQUIRES CEILING-MOUNTED A/V DEVICES IN PUBLIC AREAS (DINING ROOMS, RESTROOMS, PLAYPLACE, ETC.) THEN

SYMBOL LEGEND

X DOOR TAG: SEE DOOR

SCHEDULE A4.3  $\langle X \rangle$  WINDOW TAG: SEE WINDOW SCHEDULE A4.3

WALL TAG: INTERIOR WALL ASSY, SEE NOTES A4.3 EXTERIOR WALL ASSY,

SEE NOTES 13/A3.0 TP TOILET PARTITION - TOILET PRODUCTS HINEY HIDERS, COLOR: TBD

DIMENSIONS ARE SHOWN: A. EXTERIOR WALLS: FROM INTERIOR FACE OF GYPSUM BOARD TO THE EXTERIOR FACE OF PLYWOOD.

B. INTERIOR WALLS: FROM THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL, U.N.O. SEE 13/A3.0 FOR EXTERIOR WALL ASSEMBLY TYPES. 3. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.

4. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC. 5. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forrestpermasigns.com 6. SEE SHEET A/4.3 FOR FLOORING SCHEDULE AND NOTES.

|7. SEE SHEET A/4.3 FOR DOOR SCHEDULE AND NOTES.

**ADA NOTES:** 1. NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA, AND ANSI REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICT, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA, AND ANSI REQUIREMENTS. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL THE

RESPONSIBILITY AND LIABILITY ARISING THEREFROM. 2. ALL NEW PLUMBING FIXTURES AND RESTROOM ACCESSORIES TO COMPLY WITH 2010 ADA STANDARDS, ADA, AND ANSI REQUIREMENTS.

3. "CLEAR MIN." DIMENSIONS ARE TO BE CLEAR OF ANY WALLS, STRUCTURE OR FINISHES (CORRIGAN CAPS, CHAIR RAIL, CORNER GUARDS, BASE TILES, ELECTRICAL PANEL DOORS, EQUIPMENT, ETC.)

4. AFTER AIR BALANCING IS COMPLETED AND PRIOR TO OPENING STORE, ADJUST ALL DOORS' OPENING FORCE PRIOR TO OPENING OF STORE. ALL INTERIOR DOORS' OPENING FORCE SHALL BE 5# MAX. AND ALL EXTERIOR DOORS' OPENING FORCE IS ADVISED TO BE 8.5# MAX.

5. CLOSING SPEED OF DOORS WITH CLOSER SHALL BE MIN. 5 SECONDS (FROM OPEN POSITION OF 90° TO POSITION OF 12°).

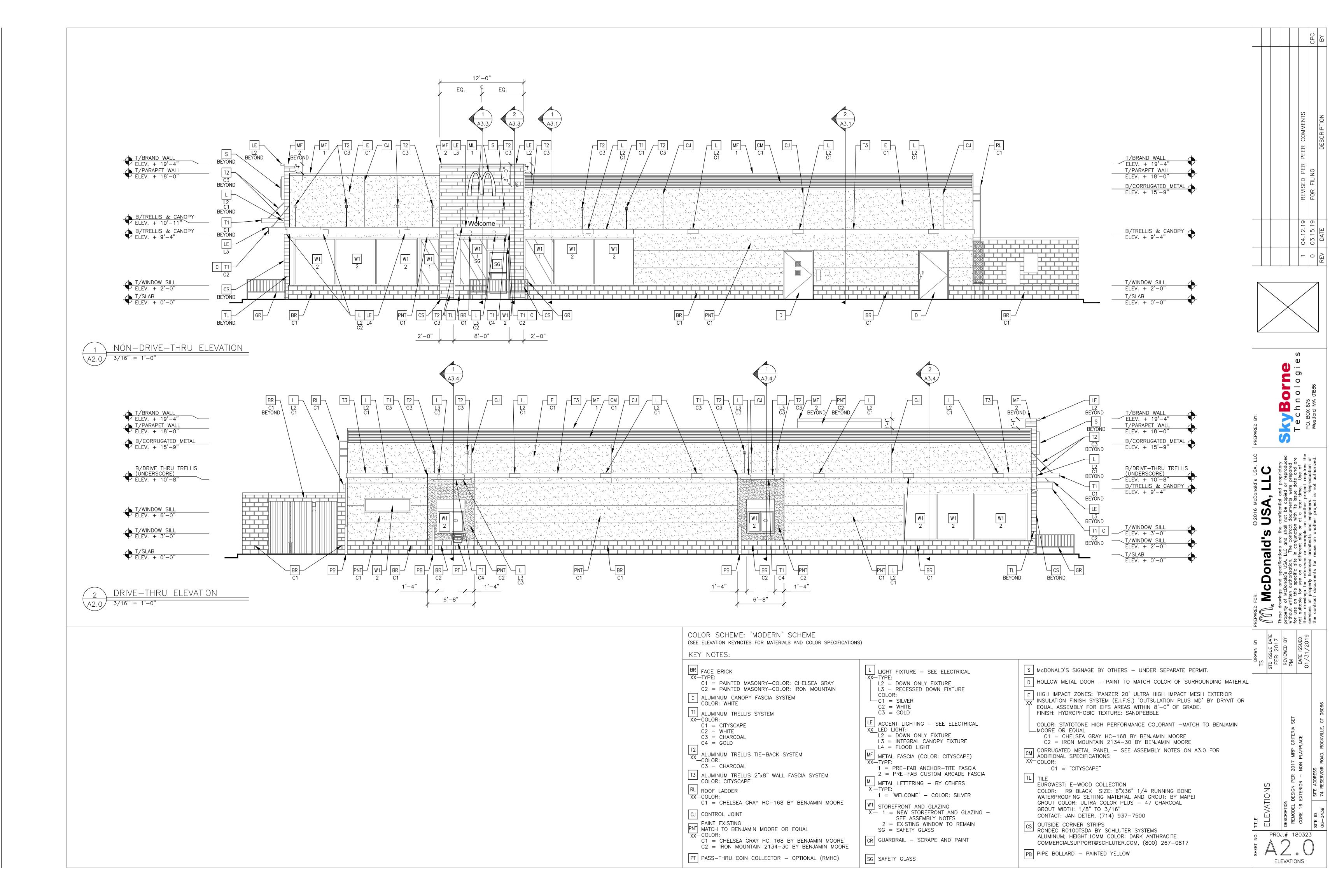
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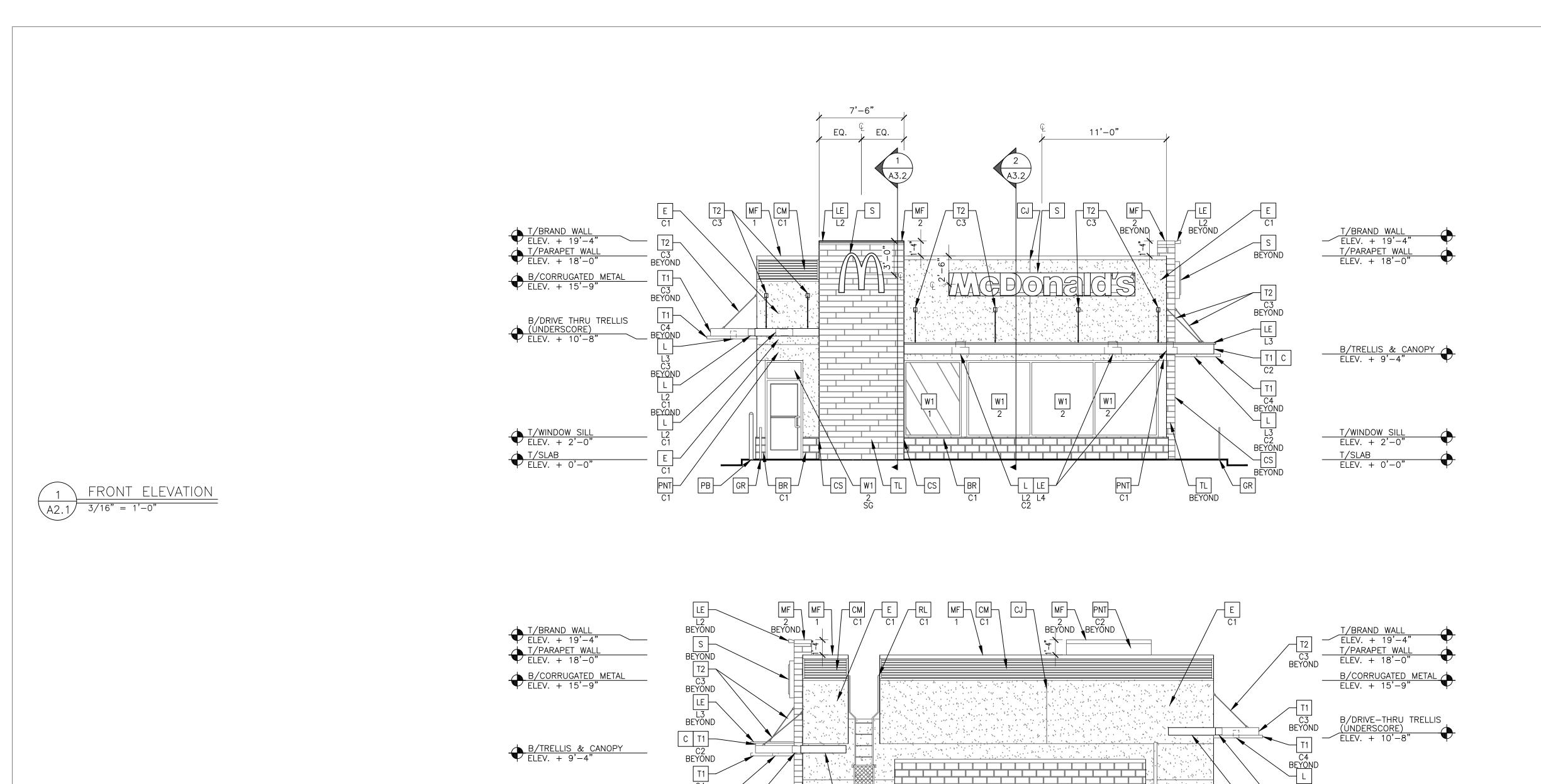
7. EXTERIOR DOOR BELLS AND BUZZERS AT DELIVERY DOORS (IF INSTALLED OR MODIFIED DUE TO FACADE WORK) MUST COMPLY WITH REACH-RANGE MAX. HEIGHTS FOR ACCESSIBILITY. TOP OF BUTTON/ACTUATOR IS NOT TO EXCEED 48" AFF.

60"X54" 5′-0″

8. ADA REQUIRED MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR. NOTE: ENSURE NO EQUIPMENT OR FURNITURE IMPEDES ON REQUIRED CLEAR FLOOR SPACE IN FRONT OF THE DOOR.

www.forrestpermasigns.com





BEYOND

\_\_\_\_\_T3

REAR ELEVATION

COLOR SCHEME: 'MODERN' SCHEME (SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS) KEY NOTES: BR FACE BRICK L LIGHT FIXTURE - SEE ELECTRICAL S McDONALD'S SIGNAGE BY OTHERS — UNDER SEPARATE PERMIT. XX—TYPE: XX—TYPE: D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL C1 = PAINTED MASONRY-COLOR: CHELSEA GRAY L2 = DOWN ONLY FIXTUREC2 = PAINTED MASONRY-COLOR: IRON MOUNTAIN L3 = RECESSED DOWN FIXTURE E HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH EXTERIOR COLOR: C ALUMINUM CANOPY FASCIA SYSTEM TYX INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR  $\Box$ C1 = SILVER → COLOR: WHITE C2 = WHITEEQUAL ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE. T1 ALUMINUM TRELLIS SYSTEM C3 = GOLDFINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE XX—COLOR: LE ACCENT LIGHTING - SEE ELECTRICAL COLOR: STATOTONE HIGH PERFORMANCE COLORANT -MATCH TO BENJAMIN C1 = CITYSCAPEXX LED LIGHT: ---MOORE OR EQUAL C2 = WHITEL2 = DOWN ONLY FIXTUREC1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE C3 = CHARCOALL3 = INTEGRAL CANOPY FIXTURE C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE C4 = GOLDL4 = FLOOD LIGHT CM CORRUGATED METAL PANEL — SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS XX—COLOR: MF METAL FASCIA (COLOR: CITYSCAPE) XX\_COLOR: XX-TYPE: C3 = CHARCOAL1 = PRE-FAB ANCHOR-TITE FASCIA C1 = "CITYSCAPE"2 = PRE-FAB CUSTOM ARCADE FASCIA

ML

METAL LETTERING - BY OTHERS T3 ALUMINUM TRELLIS 2"x8" WALL FASCIA SYSTEM TL TILE COLOR: CITYSCAPE EUROWEST: E-WOOD COLLECTION RL ROOF LADDER X —TYPE: COLOR: R9 BLACK SIZE: 6"X36" 1/4 RUNNING BOND 1 = 'WELCOME' - COLOR: SILVERXX—COLOR: WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEL C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL W1 STOREFRONT AND GLAZING GROUT WIDTH: 1/8" TO 3/16"  $\overline{X}$  1 = NEW STOREFRONT AND GLAZING -CJ CONTROL JOINT CONTACT: JAN DETER, (714) 937-7500 SEE ASSEMBLY NOTES PAINT EXISTING 2 = EXISTING WINDOW TO REMAIN CS OUTSIDE CORNER STRIPS
RONDEC RO100TSDA BY SCHLUTER SYSTEMS PNT MATCH TO BENJAMIN MOORE OR EQUAL SG = SAFETY GLASSALUMINUM; HEIGHT: 10MM COLOR: DARK ANTHRACITE GR GUARDRAIL - SCRAPE AND PAINT C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817 C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE

PB PIPE BOLLARD - PAINTED YELLOW

BEYOND T3

PB

BR C1

PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)

T/SLAB ELEV. + 0'-0"

SG SAFETY GLASS

REVISED PER PEER COMMENTS FOR FILING 04.12.19 03.15.19



SkyBorne
Technologies
P.O. BOX 875
Westford, MA 01886

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**McDonald's** These drawing property of without writting for use on not suitable these drawing services of the contract

EVATIONS PROJ.# 180323

**ELEVATIONS** 



LEGEND

CHELSEA GRAY
HC-168 BENJAMIN MOORE

IRON MOUNTAIN 2134-40 BENJAMIN MOORE

PEER COMMENTS

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