

Town of Vernon
Design Review Commission (DRC)
Wednesday, December 9, 2020
7:00 P.M.

Via Zoom Audio Teleconference

Join Zoom Meeting at:

<https://us02web.zoom.us/j/83458694565?pwd=QzdHZDBHVXJHMjFnWlkybTRUTjh6Zz09>

Meeting ID: 834 5869 4565

Passcode: dQt7w8

or Dial

1 (646)876 9923

Meeting ID: 834 5869 4565

Passcode: 676166

SPECIAL MEETING
AGENDA

1. Call to Order & Roll Call
2. Approval of the Minutes from the September 23, 2020 meeting
3. Referral from Town Planner

Application **[PZ-2020-16]** of Square Peg Pizza, Vernon for a Modification of a Site Plan of Development to renovate and update an existing restaurant site and for a Special Permit pursuant to Section 4.9.4.17 to allow a drive-up service window at 226 Talcottville Rd. (Assessor's ID: Map 10, Block 015R, Parcel 0040F).

Application **[PZ-2020-17]** of Bohler Engineering for a Modification of a Site Plan of Development to add an additional drive-thru lane with new menu boards, façade, signage, and other minor site revisions at McDonald's, 74 Reservoir Rd. (Assessor's ID: Map 46, Block 0071, Parcel 0019B).

4. Adjournment

Shaun Gately on behalf of,
Design Review Commission

DRAFT MINUTES

Town of Vernon Design Review Commission
Special Meeting via Zoom Audio Teleconference
Tuesday, September 23, 2020 at 7:00 PM

20 SEP 24 AM 10:06

Zoom Meeting Information

<https://us02web.zoom.us/j/83247132937?pwd=MGgzQTh3dnd2Y2dSUWtrNzR1QkRPdz09>

Dial: 1 646 876 9923 US Meeting ID: 832 4713 2937 Passcode: 429570

DRAFT MEETING MINUTES

1. **Call to Order and Roll Call:** Chairperson Jennifer Holt called the meeting to order at 7:06 PM.
Regular members present: Jennifer Holt, Stephen Ransom, Eva Perrina
Staff members present: Shaun Gately, Economic Development Coordinator and George McGregor, Town Planner
Recording Secretary: Kathleen Minor
2. **Approval of Minutes from July 1, 2020 Meeting:** Stephen Ransom, seconded by Eva Perrina, made a motion to approve the minutes as presented from the July 1, 2020 meeting. Motion carried unanimously by voice vote.
3. **Referral(s) from Town Planner:**

Application [PZ-2020-10] of APH Hairstylists (Alice and Allan House) for a Site Plan of Development and several Special Permits in order to renovate, remodel, and improve a hair salon location at 274 Talcottville Rd. (Assessor's ID: Map 10, Block 015K, Parcel 00028). The property is zoned Commercial.

Applicant Allen House spoke on behalf of the application and answered questions. Discussion ensued.

Stephen Ransom, seconded by Jennifer Holt, made a motion to approve **Application PZ-2020-10** as presented. Motion carried unanimously by voice vote.

Application [PZ-2020-11] of CT Golf Land LLC (Steven LaMesa and Jerry Fornelli) for a modification to a Site Plan of Development and a series of Special Permits to modify and enhance a commercial recreation, family fun center located at 95 Hartford Turnpike (Assessor ID: Map 1, Block 158, Parcel 95). The property is zoned Commercial.

Mark Peterson, Professional Engineer with Gardner & Peterson Associates, LLC, applicant Steven LaMesa and applicant Jerry Fornelli spoke on behalf of the application and answered questions. Discussion ensued.

Stephen Ransom, seconded by Eva Perrina, made a motion to approve **Application PZ-2020-11** as presented. Motion carried unanimously by voice vote.

4. **Adjournment:** Stephen Ransom, seconded by Eva Perrina, made a motion to adjourn the meeting at 8:04 PM. Motion carried unanimously by voice vote.

Respectfully submitted,



Kathleen Minor
Recording Secretary

APPLICATION

1

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: John Maffe

Title: Owner

Company: Square Peg Pizzeria, Vernon

Address: 624 Hebron Ave Bldg 3 Ste 100

Glastonbury, CT 06033

Telephone: 860-966-6401 Fax: _____

E-mail: jay@squarepegpizzeria.com

II. PROPERTY OWNER (S):

Name: John Maffe

Title: Owner

Company: Maffe Investments LLC

Address: 624 Hebron Ave Bldg 3 Ste 100

Glastonbury

Telephone: 860-966-6401 Fax: _____

E-mail: jay@squarepegpizzeria.com

III. PROPERTY

Address: 226 Talcottville Rd Vernon, CT 06066

Assessor's ID Code: Map # 10 Block # 015R Lot/Parcel # 0040F

Land Record Reference to Deed Description: Volume: 2669 Page 188

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☒ No

☐ Yes

☒ No work will be done in regulated area

☐ Work will be done in the regulated area

☐ IWC application has been submitted

☐ IWC application has not been submitted

Zoning District Zone C - Commercial District

Is this property located within five hundred (500) feet of a municipal boundary?

☒ No

☐ Yes:

☐ Bolton
☐ Coventry
☐ Ellington
☐ Manchester
☐ South Windsor
☐ Tolland

Check if Historic Status Applies:

☐ Located in historic district:

☐ Rockville
☐ Talcottville

☐ Individual historic property

IV. PROJECT

Project Name: Square Peg Pizzeria, Vernon

Project Contact Person:

Name: John Maffe

Title: Owner

Company: Square Peg Pizzeria Vernon LLC

Address: 226 Talcottville Rd

Vernon, CT 06066

Telephone: 860-966-6401

Fax: _____

E-mail: jay@squarepegpizzeria.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Convert former restaurant to new restaurant

General Activities: Interior building modifications, new exterior dining patio,
drive thru window addition, rear building cooler enclosure, misc site work
for example: restriping, dumpster enclosure etc.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

 X Site Plan of Development (POD) (ZR Sec. 14)

- X POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

 X Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- X Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

X Other Special Permit(s). Cite ZR Section and describe activity:

 Section 4. 9. 4. 17 - Drive thru window

 Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

 Zoning:

 Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

 Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

 Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

 Dealer or Repairer License (location approval for DMV)

VII. APPLICATION CONDITIONS / STIPULATIONS

~~The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.~~ **Section 4-9-4-17 Drive thru window**

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.


APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:



Signature

Signature

12-2-2020
Date

Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____

Planning and Zoning Attachment:

Project Narrative

The project site is located on the east side of Connecticut Route 83 (Talcottville Road) and is comprised of approximately 0.78 acres of land. The site consists of a one story vacant building of approximately 1,850 square feet whose former use was a restaurant. The site is serviced by two driveways. Parking striping indicates one way traffic movement around the building. There are currently approximately 34 parking spaces on site. Chiller/ freezer units are located immediately behind the building. A detached shed is located in the northeast corner of the site parking area.

The proposed activity consists of interior building and exterior building and site renovations. The building would be converted to a new pizzeria restaurant with interior seating for forty people and exterior patio seating for twenty people. Outdoor dining would be seasonal. A drive thru window is proposed on the north side of the building for pizza pick up with a dedicated drive thru lane with queing for three vehicles. There is no ordering from the drive thru lane as this is completed in advance from off site. Other exterior improvements consist of parking re-striping; new dumpster pad with fence enclosure; repairing existing outdoor concrete patio, fire pit and retractable awning; a rear building addition to enclose the freezer/ cooler and landscape improvements.

There are no improvements planned to site utilities or storm drainage features, Site topography would remain unchanged. Parking modifications result in a slight decrease in bituminous pavement coverage. New plantings consist of several ornamental deciduous trees and woody ornamentals, herbaceous perennials and ornamental grasses around the patio.

Based on the applicants existing pizzeria location in a neighboring community, traffic queing for the three vehicles at the drive thru window is the maximum number of vehicles which can be expected at any one time. The site egress drive at the intersection of Connecticut Route 83 is approximately 24 feet in width and consists of both right and left turn movements. Stop signs are proposed on both sides of the egress drive. Connecticut Route 83 consists of two northbound and two southbound thru lanes with a double yellow line. Connecticut Route 83 is uniform in alignment in the vicinity of the site egress drive and offers sight lines in both directions from the egress drive.

The applicant feels the new pizzeria will provide a new dining experience for the residents of Vernon and the planned interior and exterior building renovations and exterior site improvements will be an enhancement for the community.

Record and Return To:

Lester, Thorne, Teller + Nagle
33 Connecticut Blvd
East Hartford Ct 06108

WARRANTY DEED

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME,
GREETING: KNOW YE, THAT TALCOTTVILLE ROAD, LLC, a Connecticut limited liability company, with an office located in the Town of Norwich, County of New London, and State of Connecticut, hereinafter referred to as the Grantor, for consideration of **THREE HUNDRED TWENTY-FIVE THOUSAND (\$325,000.00) DOLLARS** received to its full satisfaction of **MAFFE INVESTMENTS, LLC,** a Connecticut limited liability company, with a principal place of business in the Town of Glastonbury, County of Hartford, and State of Connecticut, hereinafter referred to as the Grantee, does give, grant, bargain, sell and confirm unto the said **MAFFE INVESTMENTS, LLC,** that certain piece or parcel of land with the buildings and improvements thereon, located in the Town of Vernon, known as 226 Talcottville Road, and more particularly bounded and described in Schedule 'A' annexed hereto and made a part hereof. As part consideration hereof, the Grantee herein assumes and agrees to pay all taxes and assessments hereinafter becoming due and payable.

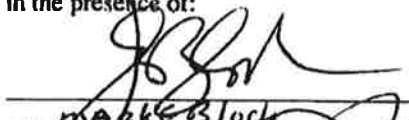
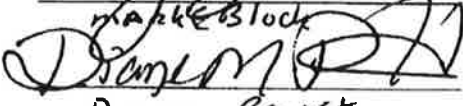
TO HAVE AND TO HOLD, the above granted and bargained premises, with the appurtenances thereof, unto the said Grantee, its successors and assigns forever, to them and their own proper use and behoof.

AND ALSO, the said Grantor does for its successors and assigns, covenant with the said Grantee, its successors and assigns forever, that at and until the ensembling of these presents it is well seized of the premises, as a good indefeasible estate in **FEE SIMPLE;** and it has good right to bargain and sell the same in manner and form as is above written; and that the same is free from all encumbrances whatsoever, except as hereinbefore mentioned.

AND FURTHERMORE, it the said Grantor by these presents binds itself and its successors and assigns forever to **WARRANT AND DEFEND** the above granted and bargained premises unto the said Grantee, its successors and assigns forever, against all claims and demands whatsoever, except as hereinbefore mentioned.

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal this 3rd day of August, 2020.

Signed, Sealed and Delivered
in the presence of:


Mark Block

Doriane Provost

TALCOTTVILLE ROAD, LLC

By: 
Lester Gorin, Member

CONVEYANCE TAX RECEIVED
STATE \$ \$4,062.50
LOCAL \$ \$812.50
KAREN C. DAIGLE
TOWN CLERK OF VERNON

STATE OF CONNECTICUT)
COUNTY OF NEW LONDON) ss:

SS:

Norwich

On this the 3 day of August, 2020, before me, the undersigned officer, personally appeared Lester Gorin, Member of **TALCOTTVILLE ROAD, LLC**, duly authorized, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained, as her free act and deed and the free act and deed of said company

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Comm. Of the Superior Court/Notary Public

M:\users\MEB\CorinSale of Vermont\Warranty Deed.doc

A certain piece or parcel of land, with all improvements thereon known as 228 Talcottville Road, situated in the Town of Vernon, County of Tolland and State of Connecticut, more particularly bounded and described as follows:

COMMENCING at a point in the easterly line of the highway now known as Connecticut Route 83 at the northwest corner of land formerly of one Karenkraut; thence running N 19° 22' E along said highway line a distance of 169.88 feet; thence running N 81° 23' E a distance of 228.48 feet along land now or formerly of Andrew J. Ashland and Joseph F. Toth; thence running S 19° 22' W a distance of 169.88 feet along other land of said Ashland and Toth to land formerly of one Greenberg; thence running S 81° 23' W a distance of 228.48 feet to the point and place of beginning, along land now or formerly of said Greenberg and of said Karenkraut, in part by each.

Being the same premises conveyed to Lester Gorin by Quit Claim Deed dated February 13, 1998 and recorded in Volume 1134 at Page 253 of the Vernon Land Records.

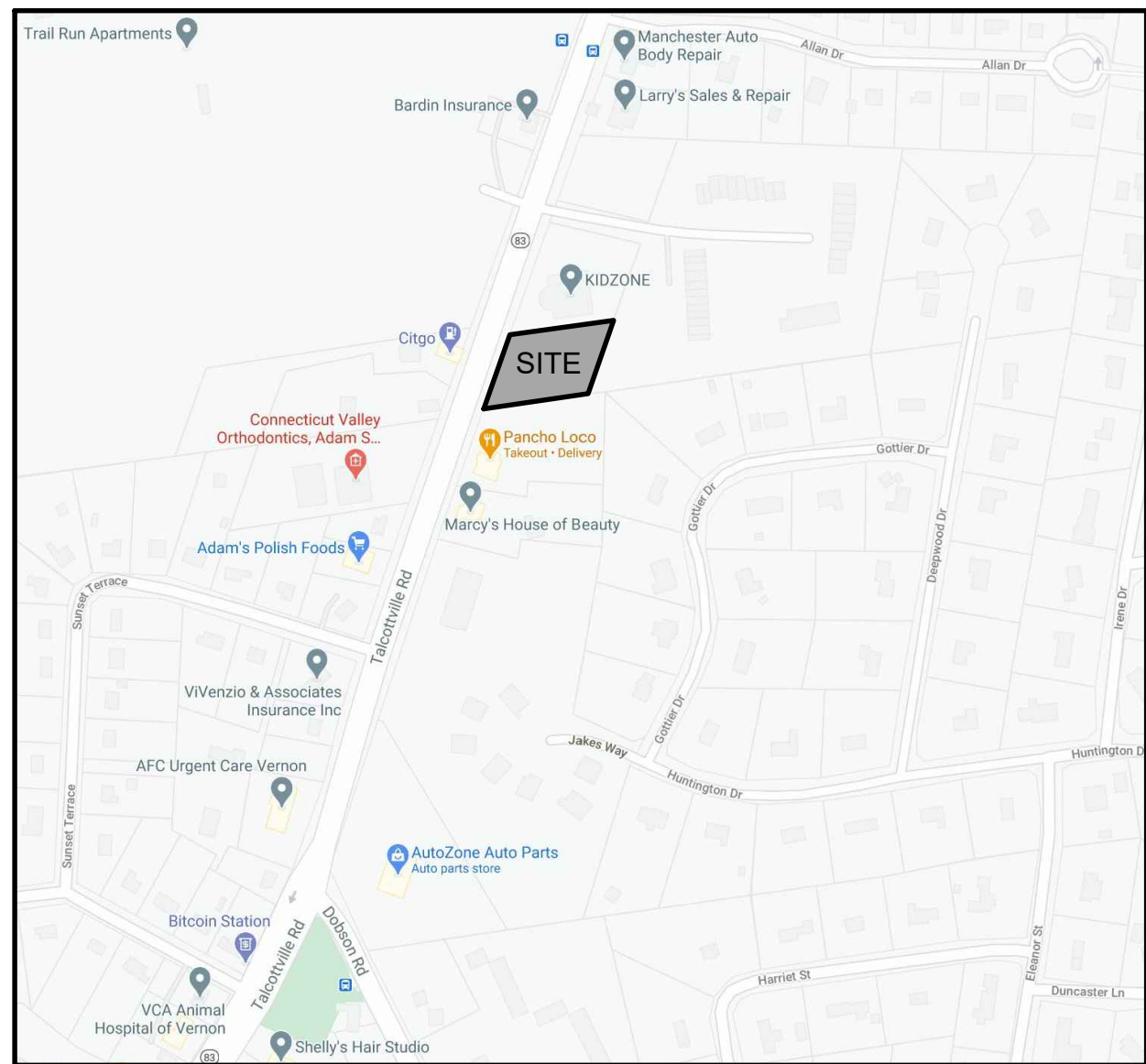
SCHEDULE A

RECORDED IN
VERNON LAND RECORDS
KAREN C. DAIGLE
VERNON TOWN CLERK
ON AUG 04, 2020 AT 02:38 PM

SQUARE PEG PIZZERIA - VERNON

226 TALCOTTVILLE ROAD (CT RTE 83)

VERNON, CONNECTICUT



VICINITY MAP

LIST OF DRAWINGS	
1	COVER SHEET
2	SITE SURVEY
3	SITE PLAN
4	CONSTRUCTION DETAILS
SA-2	FLOOR PLAN
SA-4	ELEVATIONS

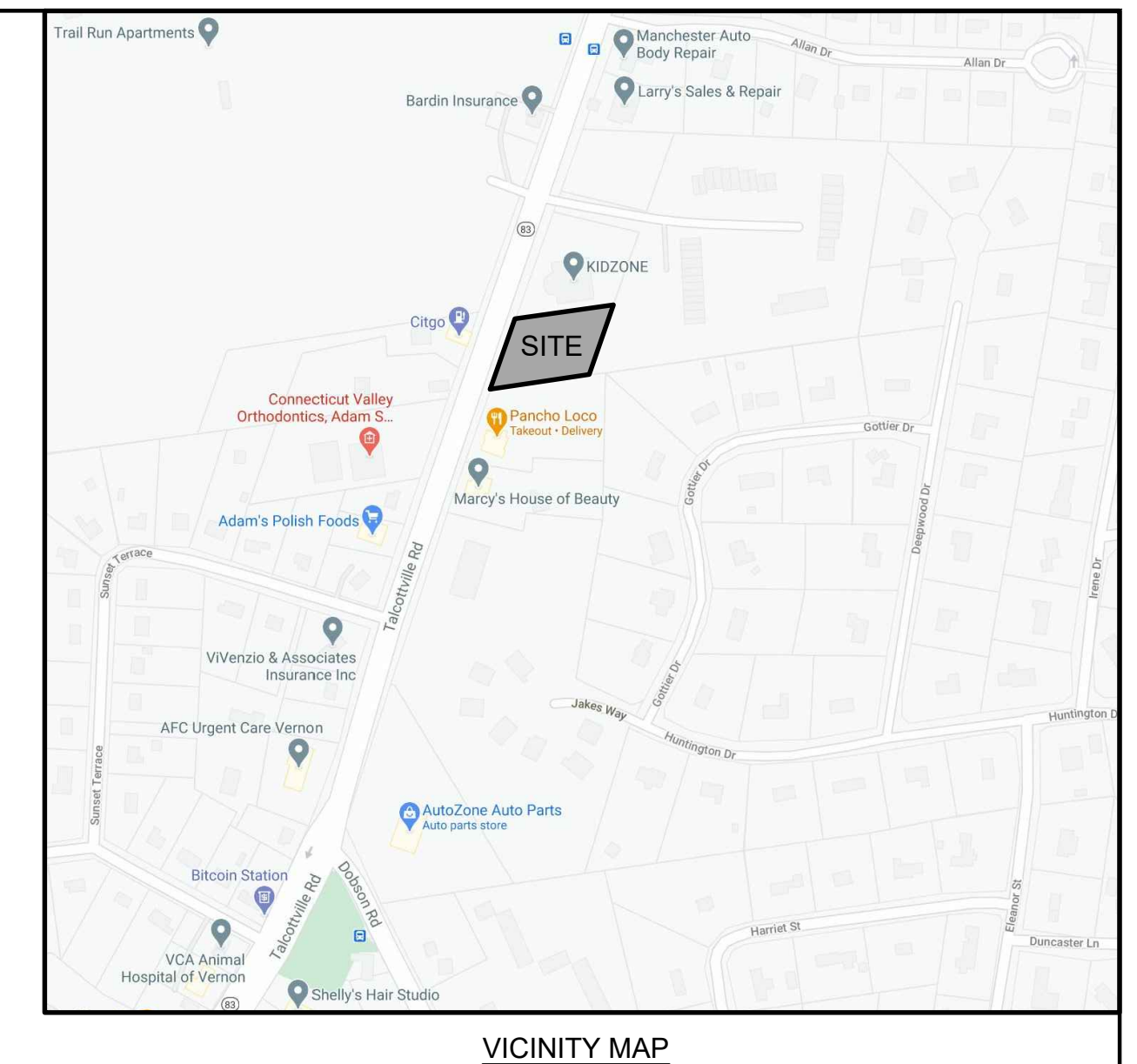


200' ABUTTERS MAP

Property Owner
MAFFE INVESTMENTS, LLC
624 Hebron Avenue
Glastonbury, CT 06033

Civil Engineer
CLOSE JENSEN & MILLER, P.C.
1137 Silas Deane Highway
Wethersfield, CT 06109
(TEL.) 860-563-9375
(FAX) 860-721-1802

Architect
VINCENT BABAK ARCHITECTURE, LLC
195 Tunxis Hill Road, Suite 203
Fairfield, CT 06825
(TEL.) 203-903-6203





1. BEARINGS SHOWN ARE BASED ON STATE OF CONNECTICUT GRID COORDINATE SYSTEM NAD 83.
2. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM WITH THE SPECIFICATIONS FOR THE TOWN OF VERNON AND CONNDOT FORM 818, LATEST EDITION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER AND TOWN ENGINEER BEFORE PROCEEDING.
4. ALL SUITABLE MATERIAL DISCOVERED DURING CONSTRUCTION SHALL BE REMOVED OR DISPOSED OF IN A SUITABLE MANNER. SAID MATERIAL SHALL INCLUDE TREES, BRUSH, ORGANIC MATERIAL, ETC.
5. SOLID WASTE DISPOSAL SHALL BE DUMPSTER WITH PRIVATE COLLECTION.

PARKING REQUIREMENTS:

1 SPACE / EACH 50 S.F. OPEN TO THE PUBLIC (EXCLUDING OUTDOOR PATIO)

1,383 S.F. ÷ 50 = 27.66 OR 28 SPACES REQUIRED

28 SPACES PROPOSED (INCLUDING 2 HANDICAPPED SPACES)

1 SPACE / EACH 50 S.F. OPEN TO THE PUBLIC (EXCLUDING OUTDOOR PATIO)

1,383 S.F. ÷ 50 = 27.66 OR 28 SPACES REQUIRED

28 SPACES PROPOSED (INCLUDING 2 HANDICAPPED SPACES)

1. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED ON THE DESIGNATED AREAS AND EVENLY SPREAD TO A DEPTH OF AT LEAST SIX (6) INCHES. IT SHALL BE IN SUFFICIENT DEPTH TO COMPENSATE FOR ANY SHRINKAGE AND THE TOPSOIL SHALL BE MEASURED TO THE SURFACE OF THE SUBGRADE. THE TOPSOIL SHALL BE PLACED IN SUCH A MANNER AS TO PREVENT THE FORMATION OF DEPRESSIONS FROM OPERATIONS THEREOF SHALL BE CORRECTED TO PREVENT THE FORMATION OF DEPRESSIONS WHERE WATER WILL STAND. TOPSOIL SHALL NOT BE PLACED OR WORKED WHEN IT IS FROZEN, EXCESSIVELY DRY OR WET OR IN A CONDITION OTHERWISE DETRIMENTAL TO THE PROJECT.
2. APPLY COMMERCIAL FERTILIZER, LIME AND ANY OTHER SOIL ADDITIVES ACCORDING TO THE REQUIREMENTS AND RATES RECOMMENDED BY SOIL TEST RESULTS.

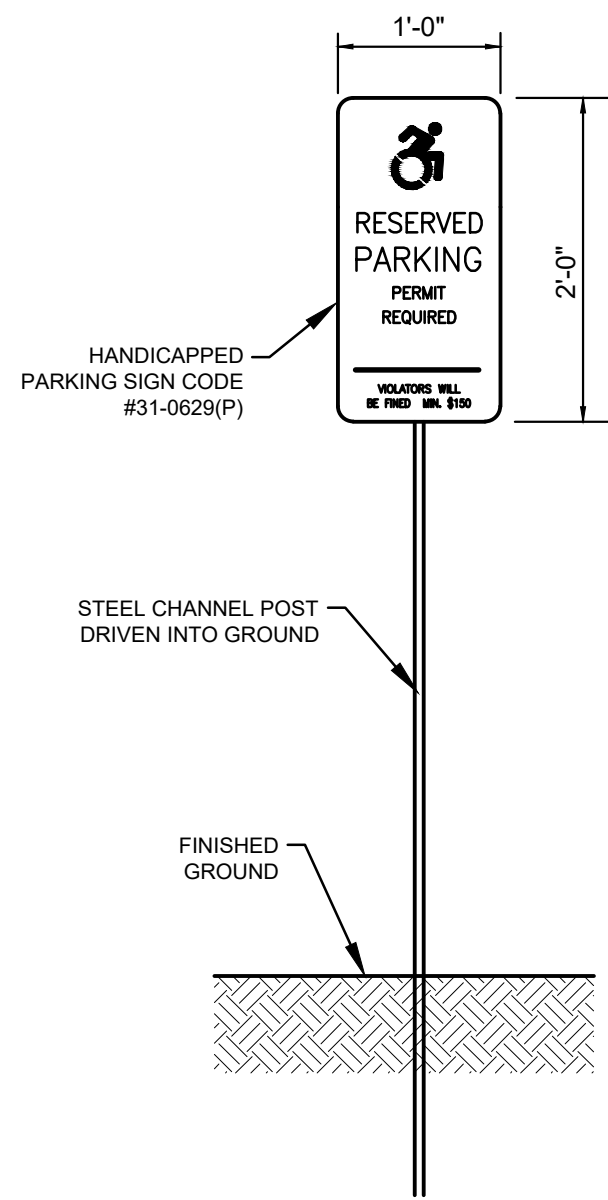
30% DALLAS TALL FESCUE
30% FALCON IV TALL FESCUE
30% SUNGAZER TALL FESCUE
10% SPF 30 TEXAS HYBRID KY BLUEGRASS

GRAPHIC SCALE

0 10 20 40

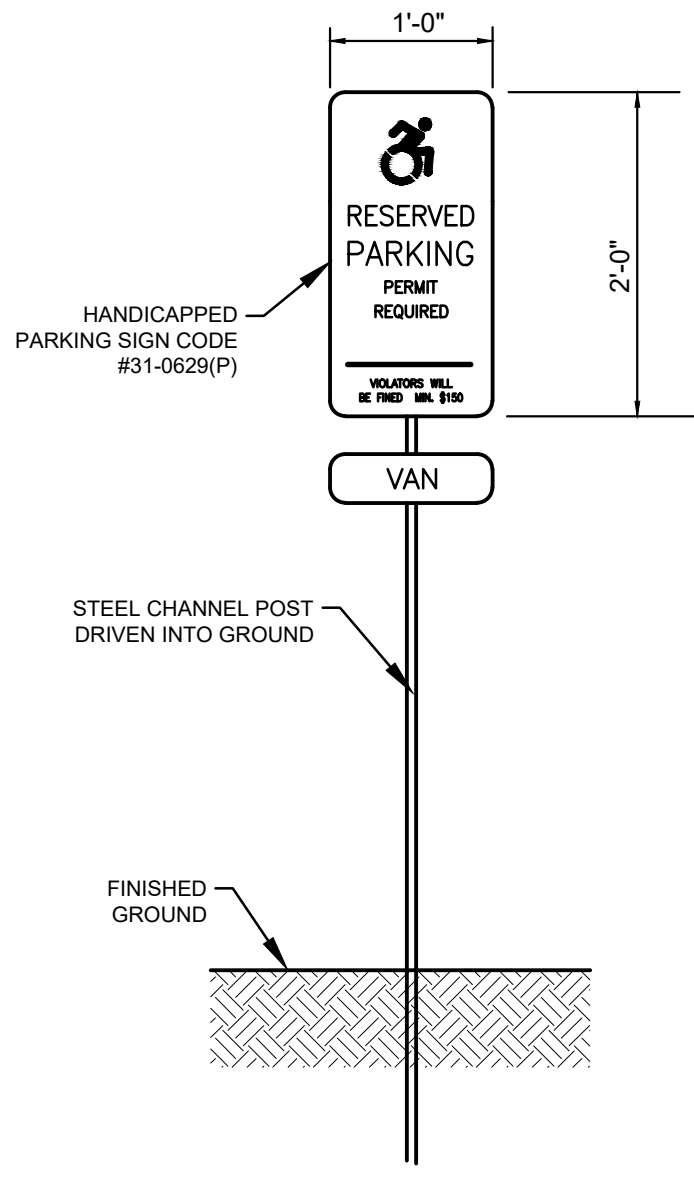
1" = 20'

R:\CJM\VERNON\226 Talcottville Road\Drawings\SRV-2020.dwg



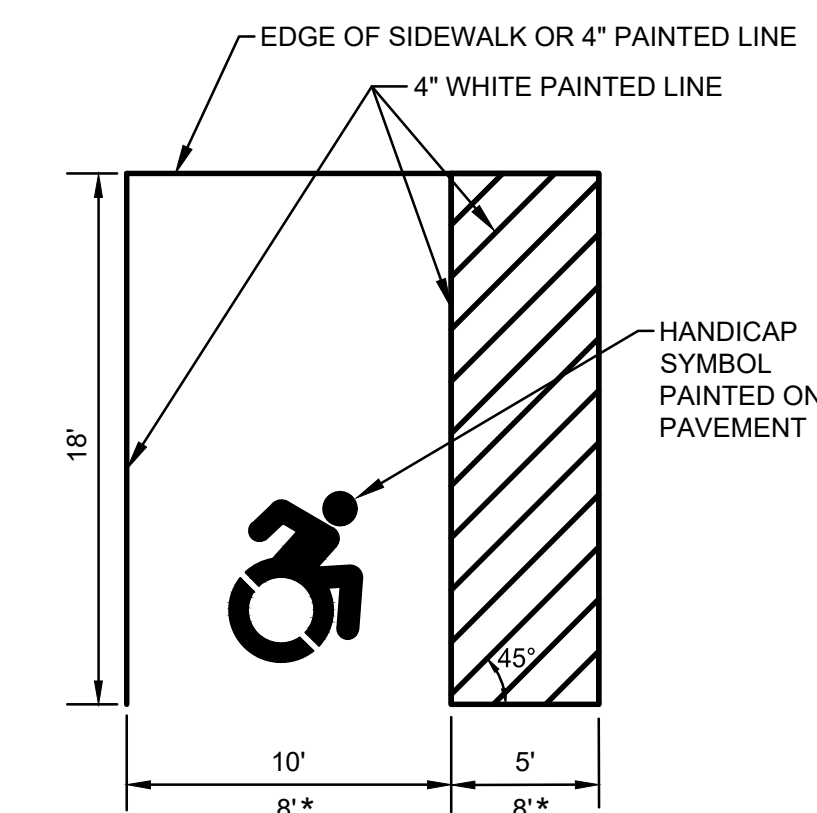
NOTE:
HANDICAPPED PARKING SIGN SHALL CONFORM WITH
CURRENT STATE AND LOCAL CODES AND REGULATIONS.

HANDICAPPED PARKING SIGN
DETAIL

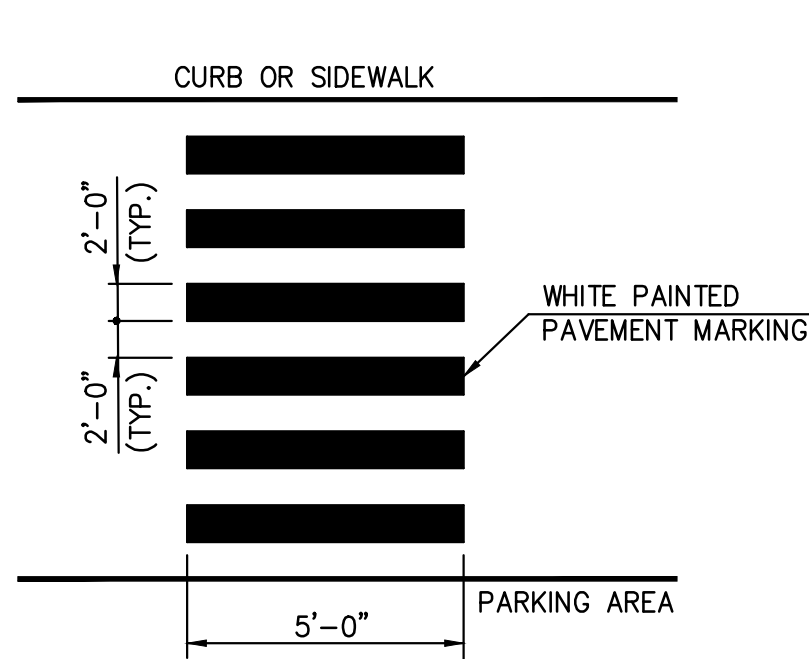


NOTE:
HANDICAPPED PARKING SIGN SHALL CONFORM WITH
CURRENT STATE AND LOCAL CODES AND REGULATIONS.

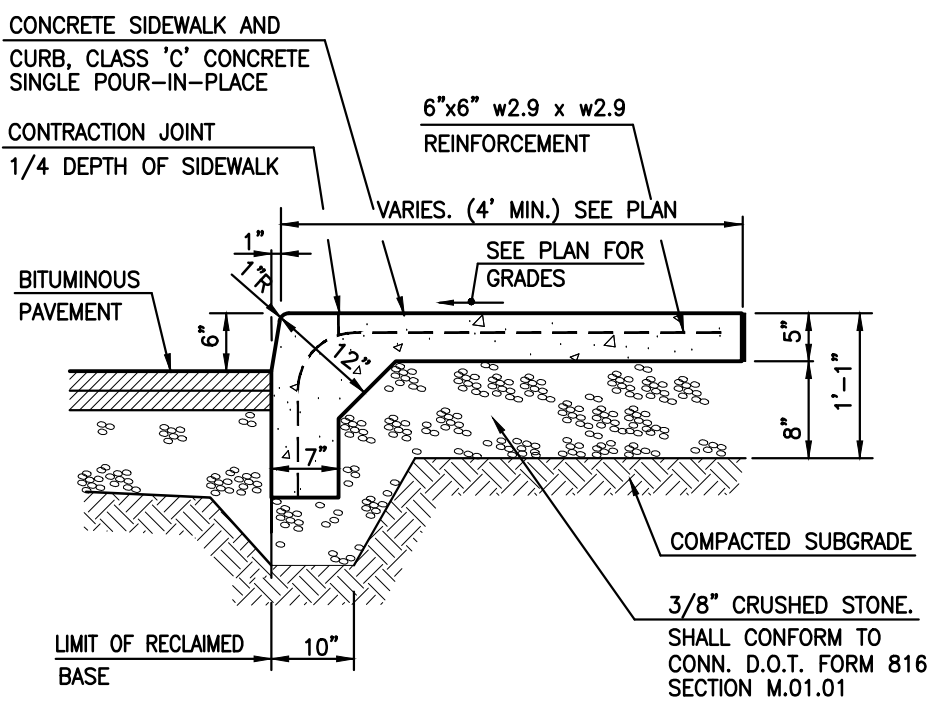
HANDICAPPED PARKING & VAN
PARKING SIGN DETAIL



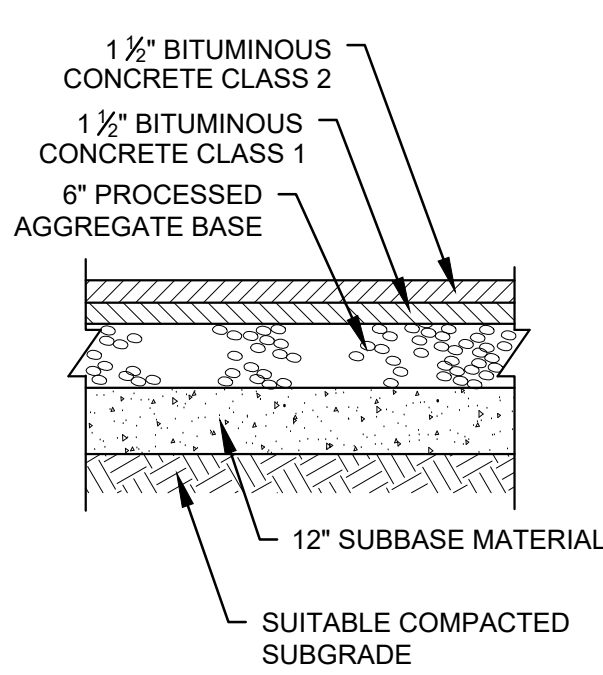
* VAN ACCESSIBLE
TYPICAL HANDICAP SPACE LAYOUT



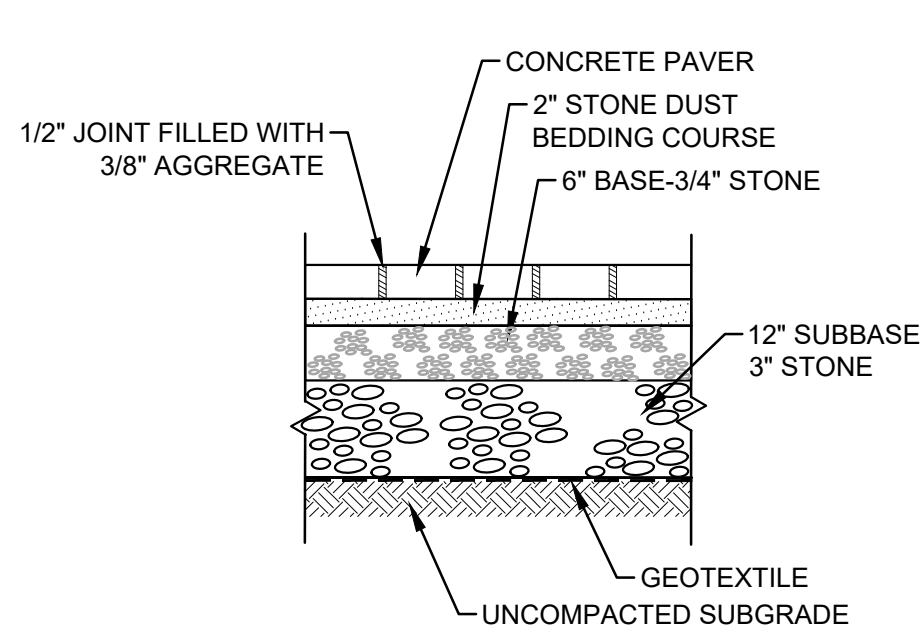
PEDESTRIAN CROSSWALK
PAVEMENT MARKING



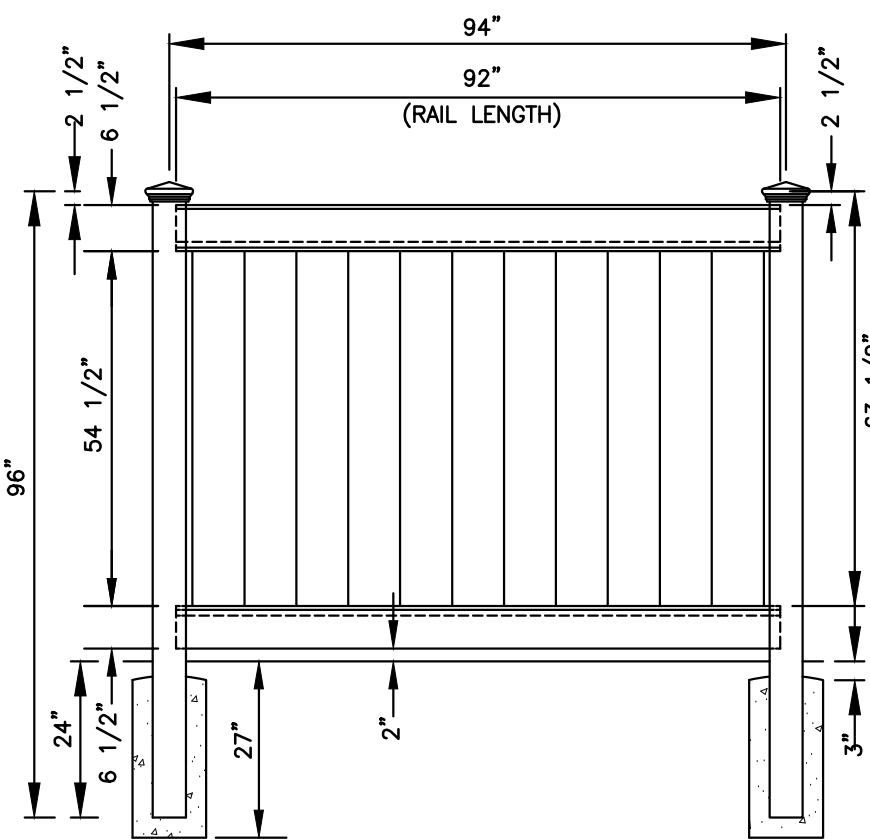
CONCRETE CURBING AND SIDEWALK



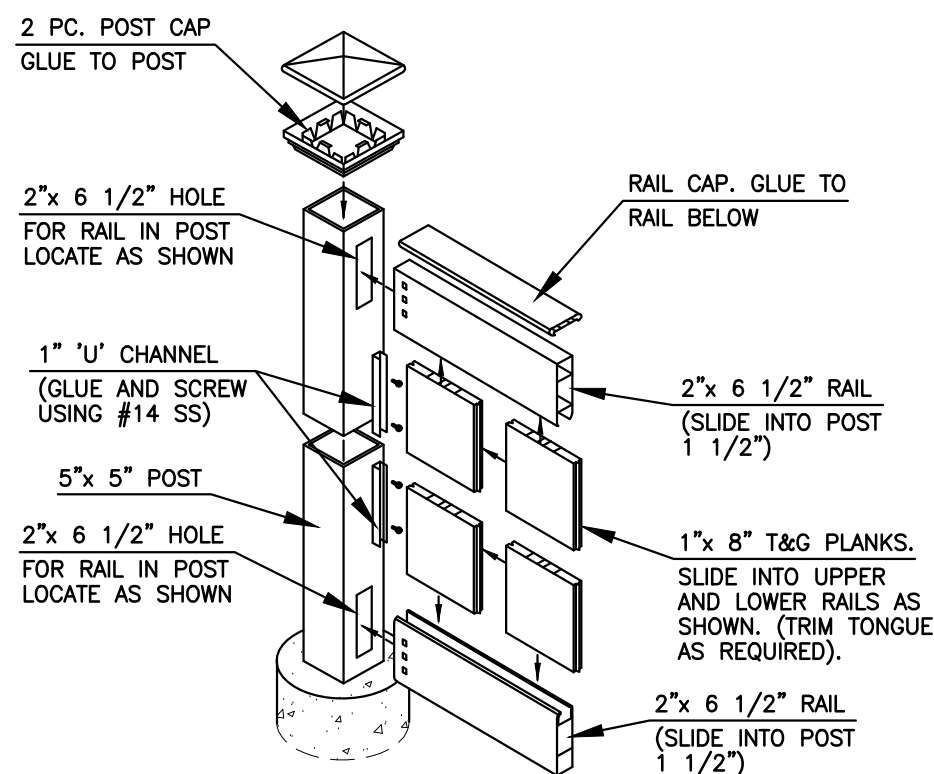
PAVEMENT SECTION



PERMEABLE INTERLOCKING
CONCRETE PAVEMENT



6' HIGH CONTEMPORARY DRESSED SOLID PVC FENCE
AT DUMPSTER ENCLOSURE

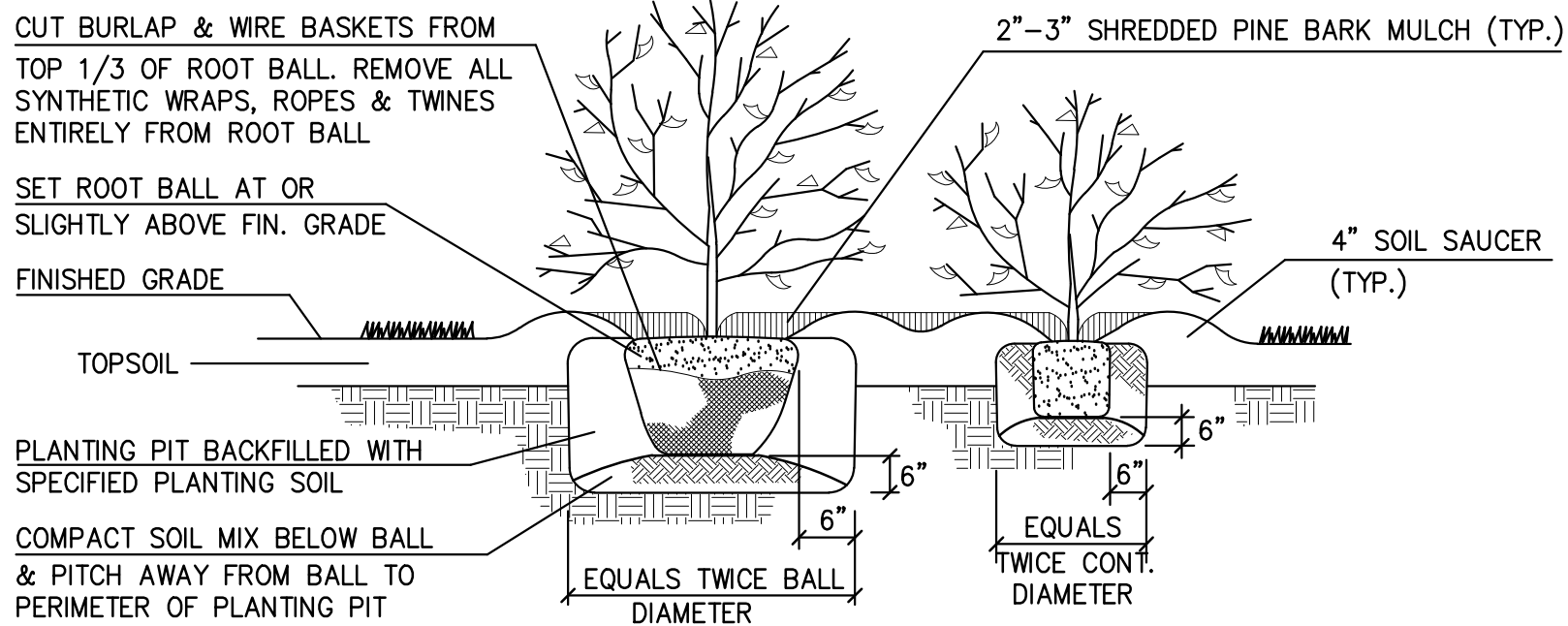


* SLOPE TO DRAIN AS REQUIRED

SECTION
CONCRETE DUMPSTER PAD

NOTE:

WHERE PLANT PITS ARE DUG WITH AN AUGERING DEVICE, GLAZED SIDES OR HARDENED SURFACES SHALL BE SCARIFIED PRIOR TO PLANTING.

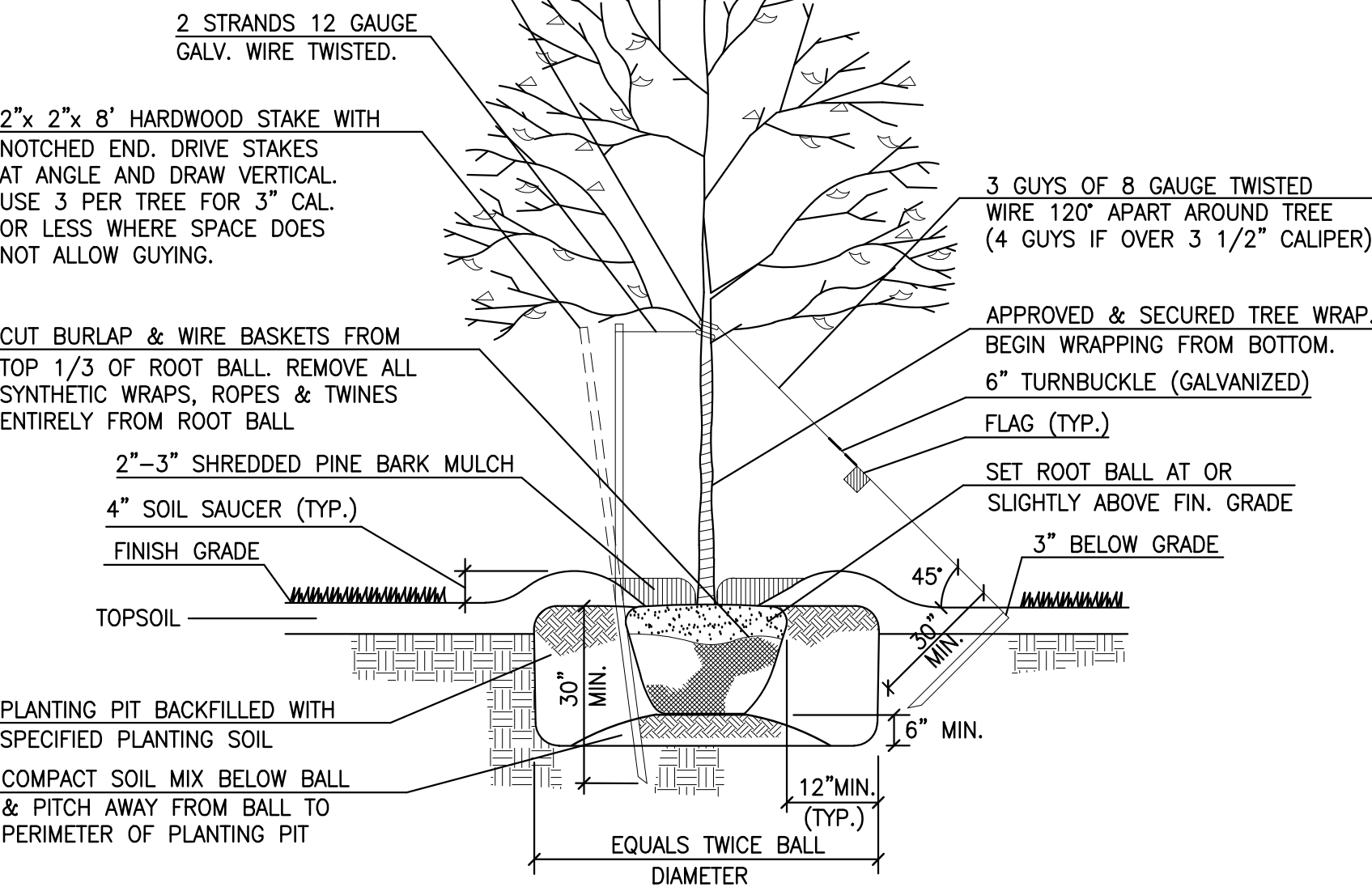


BALLED AND BURLAPPED CONTAINER GROWN

SHRUB PLANTING DETAIL

PRUNING SHALL BE IN ACCORDANCE WITH APPROVED HORTICULTURAL STANDARDS IN ORDER TO PRESERVE THE NATURAL FORM OF THE SPECIFIC PLANT. IF APPLICABLE & APPROVED BY THE LANDSCAPE ARCHITECT, ONE FOURTH TO ONE THIRD OF THE WOOD SHALL BE REMOVED BY THINNING OUT TO BALANCE ROOT LOSS DUE TO TRANSPLANTING.

GARDEN HOSE — MIN. 2 PLY. POSITION ABOVE 1ST SET OF BRANCHES.

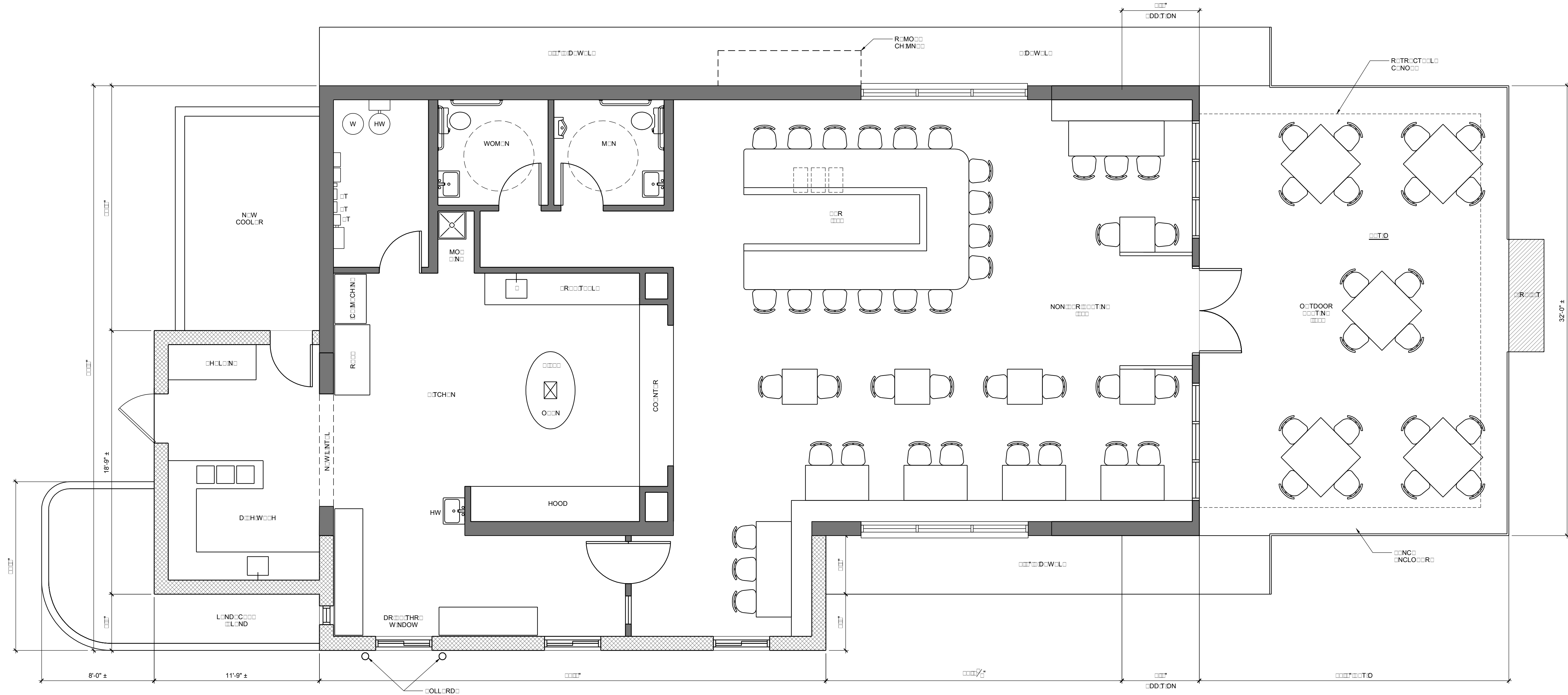


TREE PLANTING DETAIL

NOTE:

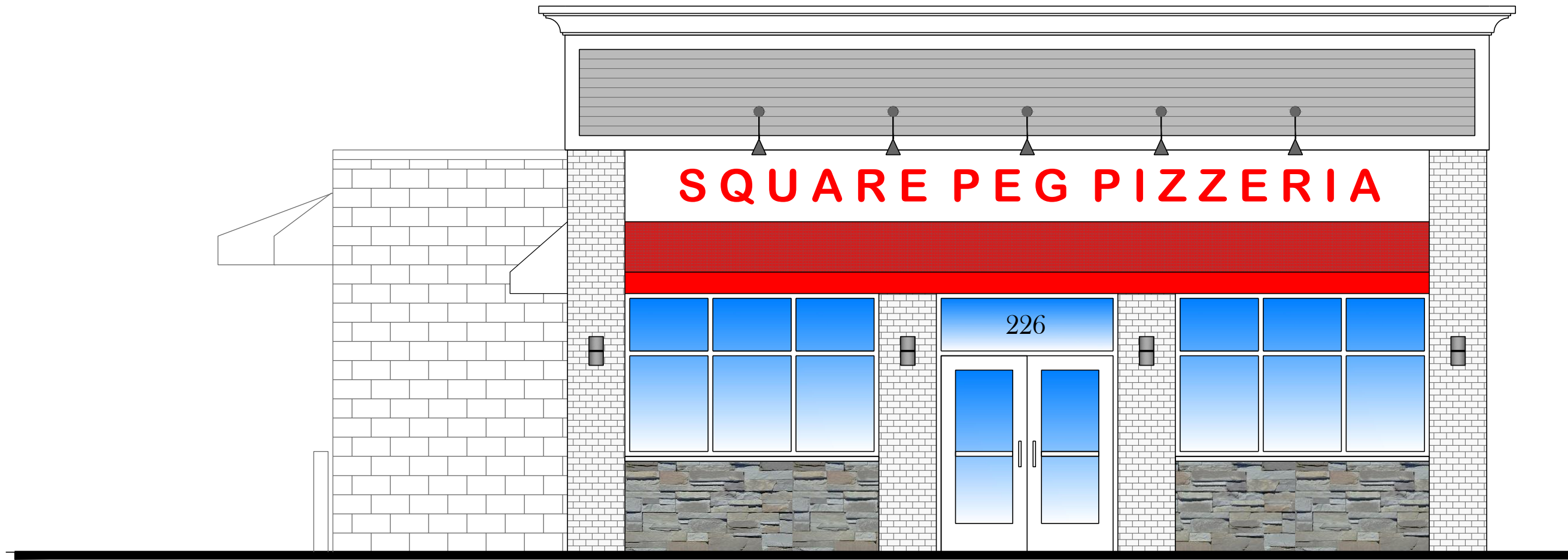
DECIDUOUS TREES 3" CALIPER OR LESS & EVERGREEN TREES 8' OR LESS TO BE STAKED.

No.	Date	Description	Revisions	C. J. M.	Close, Jensen & Miller, P. C. Consulting Engineers, Land Planners & Surveyors 1137 Silas Deane Highway, Wethersfield, Conn. 06109, Tel. (860)563-9375	Compiled P.C. Check Designed Drawn Checked Scale 1"= 20' Date 12/01/20
				CONSTRUCTION DETAILS		Sheet 4 Of 4
				SQUARE PEG PIZZERIA - VERNON 226 TALCOTTVILLE ROAD VERNON, CONNECTICUT		Job No. File No.



1 SCHEMATIC FLOOR PLAN
SCALE: 1/4" = 1'-0"

No.	Date	Issue Notes
<div><div></div><div></div></div>		
Architect VINCENT BABAK ARCHITECTURE, LLC 195 TUNXIS HILL ROAD, SUITE 203 FAIRFIELD, CT 06825 TELE: 203-903-6203		
Consultant		
Project Title SQUARE PEG PIZZERIA 226 Talcothville Rd. Vernon, CT		
Sheet Title SCHEMATIC PLAN		
Project Manager NS	Project ID ----	
Drawn By NS	Scale 1/4" = 1'-0"	Sheet No. SA-2
Reviewed By ED		
Date 11-28-20		
CAD File Name SA2.dwg		



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

No.	Date	Issue Notes
<div><div></div><div></div></div>		
Architect		
VINCENT BABAK ARCHITECTURE, LLC		
195 TUNXIS HILL ROAD, SUITE 203		
FAIRFIELD, CT 06825		
TELE: 203-903-6203		
Consultant		
Project Title		
SQUARE PEG PIZZERIA		
226 Talcothville Rd.		
Vernon, CT		
Sheet Title		
ELEVATIONS		
Project Manager	Project ID	
==	== ==	
Drawn By	Scale	
NS	1/4" = 1'-0"	
Reviewed By	Sheet No.	
ED	SA-4	
Date		
11-25-20		
CAD File Name		
SA-2.dwg		

APPLICATION

2

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Matthew Tyler, EIT
Title: Design Engineer
Company: Bohler
Address: 16 Old Forge Road Suite A, Rocky Hill, CT 06067

Telephone: 860-333-8900 Fax: _____
E-mail: mt Tyler@bohlereng.com

II. PROPERTY OWNER (S):

Name: Hayes family limited partnership & Conyers Family Limited Partnership II
Title: _____
Company: _____
Address: 1471 Pleasant Valley Road Manchester, CT 06040

Telephone: _____ Fax: _____
E-mail: _____

05/05/2015

III. PROPERTY

Address: 74 Reservoir Road

Assessor's ID Code: Map # 46 Block # 71 Lot/Parcel # 19B

Land Record Reference to Deed Description: Volume: Page

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

 No

 X Yes

 X No work will be done in regulated area
 Work will be done in the regulated area

 IWC application has been submitted
 X IWC application has not been submitted

Zoning District Commercial (C)

Is this property located within five hundred (500) feet of a municipal boundary?

 X No

 Yes:

 Bolton
 Coventry
 Ellington
 Manchester
 South Windsor
 Tolland

Check if Historic Status Applies:

 Located in historic district:

 Rockville
 Talcottville

 Individual historic property

IV. PROJECT

Project Name: McDonald's

Project Contact Person:

Name: Matthew Tyler

Title: Design Engineer

Company: Bohler Engineering

Address: 16 Old Forge Road Suite A, Rocky Hill, CT 06067

Telephone: 860-333-8900 **Fax:**

E-mail: mtyler@bohlereng.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: ADA Compliance

General Activities: Minor site modifications for ADA compliance,
additional drive-thru lane with new menu boards and features to
improve stacking, new facade and signage.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6. 8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

 X Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- X Minor modification of a site POD (ZR Sec. 14.1.1.2)

 Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

____ Other Special Permit(s). Cite ZR Section and describe activity:

____ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

____ **Zoning:**

____ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

____ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

____ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

____ Dealer or Repairer License (location approval for DMV)

VII. APPLICATION CONDITIONS / STIPULATIONS

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.


APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

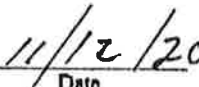
Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:



Signature



Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____



McDonald's Corporation
110 N. Carpenter Street
Chicago, IL 60607-2101
(312) 720-4404
Kevin.Hyde@us.mcd.com

September 30, 2020

BY CERTIFIED MAIL – RETURN RECEIPT REQUESTED

Hayes Family Limited Partnership
Conyers Family Limited Partnership II
1471 Pleasant Valley Road
Manchester, CT 06040

Stanley Falkenstein
Falkenstein, Meggers, Paul & Robinson, P.C.
113 East Center Street
Manchester, CT 06040-5234

Re: Route 31 Mile Hill Road, Vernon CT (the "Premises")
L/C: 006-0439 File #43038
Ground Lease dated August 28, 2002, between Hayes Family Limited Partnership and Conyers Family Limited Partnership, as Landlord, and McDonald's Corporation, as Tenant, as amended (collectively the "Lease")

Dear Sir or Madam:

Pursuant to the terms of the Lease, McDonald's would like to obtain your consent as Landlord to make certain alterations and improvements to the Premises as are depicted on the enclosed site plan dated September 21, 2020 (collectively the "Site Enhancements Work"), which work includes, but may not be limited to, the addition of a side-by-side drive-thru and related facilities.

Tenant agrees that the Site Enhancements Work, when accomplished, will be done in a good, workmanlike manner and further agrees to hold you harmless from any liens or claims attaching to the Premises by reason of the Site Enhancements Work. The Site Enhancements Work is to be done at the sole cost and expense of McDonald's.

If the Site Enhancements Work meets with your approval, please sign the enclosed copy of this letter in the space provided below and return it in the enclosed self-addressed envelope to my attention. Please also execute the attached Town of Vernon Planning & Zoning Commission (PZC) Application. If possible, please also e-mail a signed copy of the letter to the following e-mail address: ["legalclearance@us.mcd.com"](mailto:legalclearance@us.mcd.com).

Your written response within twenty (20) days is required. Please note that pursuant to the Lease, your approval shall only be from an appearance standpoint only and shall not be unreasonably withheld, and shall be conclusively deemed granted if you do not respond within twenty (20) days after receipt of this correspondence. You, as Landlord, are currently in default for failure to respond to previous requests for consent, therefore I ask that you respond as soon

as possible to this request. This request for consent is made without prejudice to McDonald's claims against Landlord for Landlord's prior default, and McDonald's reserves all of its rights against Landlord with respect to same.

If you have any questions regarding this matter, please do not hesitate to contact me at (312) 720-4404 or by email at Kevin.Hyde@us.mcd.com. Thank for your cooperation and prompt attention to this matter.

Sincerely,

McDONALD'S CORPORATION



Senior Counsel
U.S. Legal Department

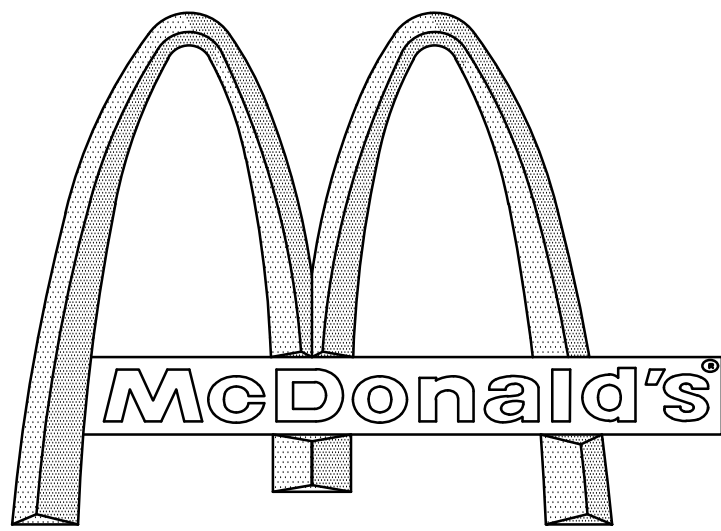
Enclosure

AGREED AND CONSENTED TO THIS 9th DAY OF November, 2020

By: Richard R. Hyde
Its: Manager

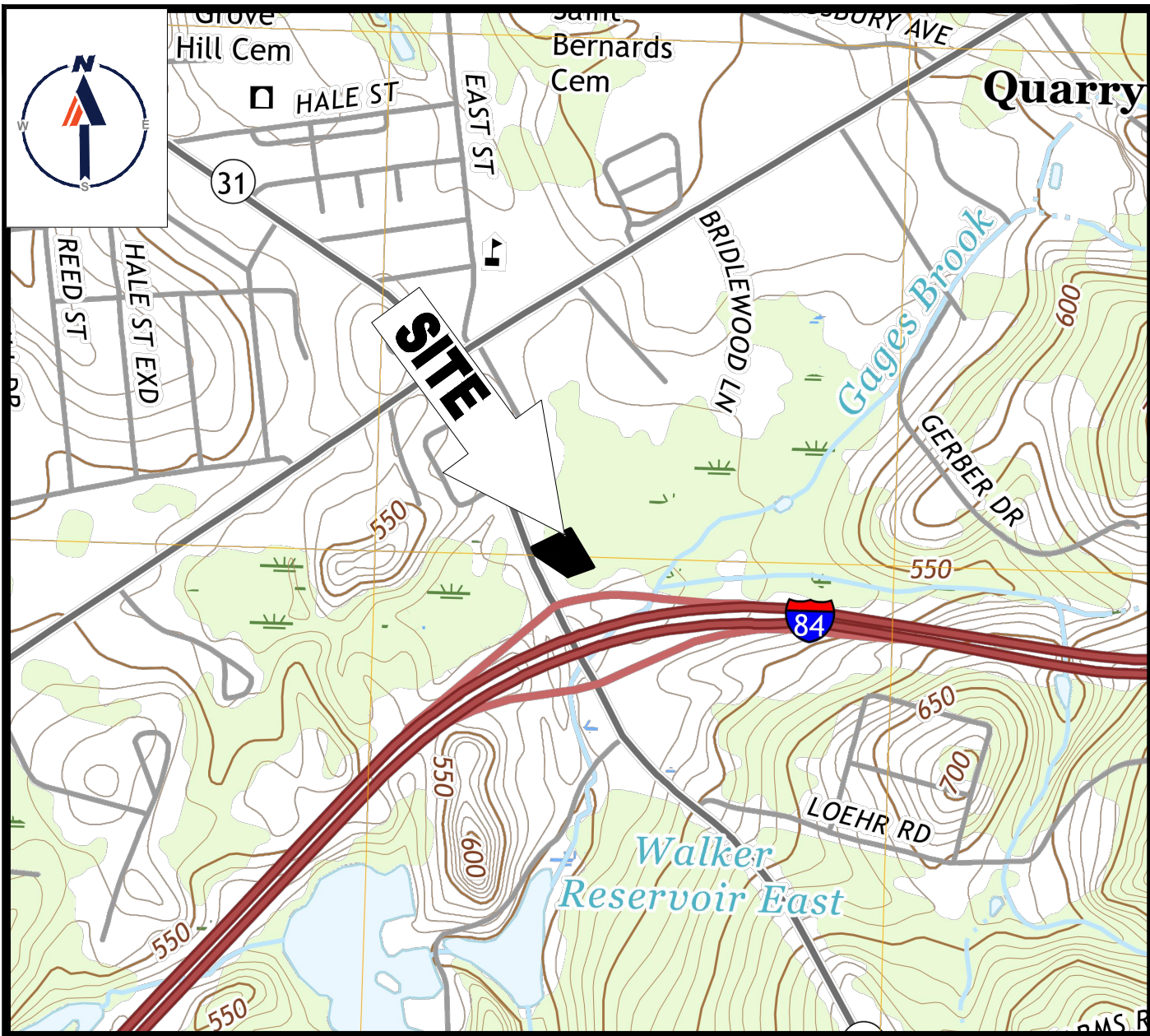
SITE DEVELOPMENT PLANS

FOR:
EXISTING



WITH DRIVE-THRU

LOCATION OF SITE:
74 RESERVOIR ROAD,
TOWN OF VERNON
TOLLAND COUNTY,
CONNECTICUT
MAP 46, BLOCK 71, LOT 19B



LOCATION MAP
SCALE: 1"=1000'
PLAN REFERENCE: USGS ROCKVILLE, CT QUADRANGLE 2018



AREA PLAN
SCALE: 1"=150'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 8
GENERAL NOTES SHEET	C-2 OF 8
DEMOLITION & EROSION CONTROL PLAN	C-3 OF 8
SITE PLAN	C-4 OF 8
GRADING PLAN	C-5 OF 8
DETAIL SHEET	C-6 OF 8
DETAIL SHEET	C-7 OF 8
DETAIL SHEET	C-8 OF 8
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 OF 1
FLOOR PLAN (BY OTHERS)	A1.0
BUILDING ELEVATIONS (BY OTHERS)	A2.0
BUILDING ELEVATIONS (BY OTHERS)	A2.1

SHEET INDEX

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES.
© BOHLER

COMPLIANCE CHECK

DATE

CONSTRUCTION CHECK

DATE

CONSTRUCTION CHECK

DATE

PROJECT No.:
CT182026

CAD I.D. #:
CT182026ss0.dwg

GENERAL NOTES:

1. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.

2. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.

3. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.

4. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.

5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

6. ALL ELEVATIONS SHOWN ARE BASED UPON: NAVD 88 PER SURVEY NOTE #7.

7. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

8. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION

(SEE PAVEMENT DETAIL)

FLEXIBLE PAVEMENT SECTION:

-1.5" CLASS 2 TOP COURSE

-1.5" CLASS 1 BASE COURSE

-6.0" GRANULAR BASE

-6.0" GRANULAR SUBBASE

RIGID PAVEMENT SECTION:

-6.0" 4500 PSI AIR-ENTRAINED CONCRETE

-8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE

-6.0" GRANULAR BASE

-6.0" GRANULAR SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

PARKING INFORMATION

TOTAL SPACES

23 EXISTING SPACES

3 PROPOSED SPACES

2 PROPOSED SPACES

8.0' X 22.0' @ PARALLEL

9.0' X 16.0' @ 72.8°

1 PROPOSED ACCESSIBLE SPACES

8.0' X 20.0' @ 90° W/ 8' AISLE

10.0' X 20.0' @ 90° W/ 8' AISLE

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	VARIES	PVC	RESERVOIR ROAD R.O.W
WATER	TBD	UNKNOWN	RESERVOIR ROAD R.O.W
STORM SEWER	12"	CPP	OFF-SITE
ELECTRIC	UNKNOWN	UNKNOWN	RESERVOIR ROAD R.O.W
GAS	UNKNOWN	PROPANE	ON-SITE

SURVEY INFORMATION

PREPARED BY:

CONTROL POINT ASSOCIATES, INC.

352 TURNPIKE ROAD

SOUTHBOROUGH, MA 01772

JOB #: 03-180127

DATE: OCTOBER 12, 2018

TYPICAL LEGEND

EXISTING	PROPERTY LINE	PROPOSED
---	SETBACK	
---	EASEMENT	
---	CURB	
⊙	STORM MANHOLE	
⊙	SEWER MANHOLE	
⊙	CATCH BASIN	
⚠	WETLAND FLAG	
---	WETLAND LINE	
× 54.83	SPOT ELEVATION	100.00
× TC 54.58	TOP & BOTTOM OF CURB	TC=100.00
6 53.78		BC=99.50
---	CONTOUR	
---	FLOW ARROW	
---	PAINTED ARROW	
---	OVERHEAD WIRE	
---	GAS LINE	
---	TELEPHONE LINE	
---	ELECTRIC LINE	
---	WATER LINE	
---	SEWER LINE	

ENTITLEMENT SET

STREET ADDRESS

74 RESERVOIR ROAD

TOWN

VERNON

STATE

CONNECTICUT

COUNTY

TOLLAND

SITE I.D.

006-0439

PLAN DESCRIPTION

COVER SHEET

BY

DATE

REV

DESCRIPTION

30

23 EXISTING SPACES

3 PROPOSED SPACES

2 PROPOSED SPACES

8.0' X 22.0' @ PARALLEL

9.0' X 16.0' @ 72.8°

1 PROPOSED ACCESSIBLE SPACES

8.0' X 20.0' @ 90° W/ 8' AISLE

10.0' X 20.0' @ 90° W/ 8' AISLE

G.P. FITZGERALD

PROFESSIONAL ENGINEER

McDonald's

AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION

BOSTON REGION

110 NORTH CARPENTER STREET

CHICAGO, IL

PLAN APPROVALS

SIGNATURE

DATE

APPROVED McDONALD'S AGENT

STATUS

DATE

BY

DRAWN BY:

09/21/20

MLT

PLAN CHECKED

AS-BUILT

SHEET NO.

C-1

OF 8

P:\PROJECT\182026\Drawings\Plus_Sect\REV0 - 385CT182026ss0.dwg, 01-Cover, 4/23/2010, 10:17:14 AM, bshenberger, Xerox510, pcr3, User634, 1:1

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, DATED 10/12/18.
- "REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR - NON PLAYPLACE", PREPARED BY SKYBORNE TECHNOLOGIES, DATED 01/31/19, REVISED 04/12/19.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

- ALL ACCESSIBLE (AKIA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

- THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

- ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DISCREPANCIES OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

- CONTRACTOR MUST REFER TO THE ARCHITECTURAL BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DUE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-EXISTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL, INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

- ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

- ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (GGL). ALL CONTRACTORS MUST HAVE THEIR GGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL, NAMED INSURED AND TO PROVIDE CONTRACTOR LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

- BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

- NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEY'S FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

- ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

- ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

- OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

- ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

- ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

- CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

- CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM once per week and after rainfall events) AND CORRECTIVE MEASURES, AS APPROPRIATE.

- AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PRACTICE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL DEMOLITION NOTES

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, DATED 10/12/18.
 - "REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR - NON PLAYPLACE", PREPARED BY SKYBORNE TECHNOLOGIES, DATED 01/31/19, REVISED 04/12/19.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
 - BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
 - THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
 - CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
 - PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:

- OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
- NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
- INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

- LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

- PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

- ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

- COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

- IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

- THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

- THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

- CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.

- EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.

- CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.

- CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES OR ADJACENT TO THE RIGHT-OF-WAY.

- DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.

- THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.

- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.

- CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.

- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.

- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.

- CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (ACCESSIBLE) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA AND/OR STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
- LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA-HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE GRASS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (2.0%) FOR POSITIVE DRAINAGE.
- DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GENERAL GRADING & UTILITY PLAN NOTES

- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY AND STORM SEWER SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

- CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

- THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

- THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

- THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY RE-ASSEMBLY PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE A CONFLICT EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

- WATER SERVICE MATERIALS, BURIAL DEPTH AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRICAL, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

- SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURBS OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS, WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

- THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

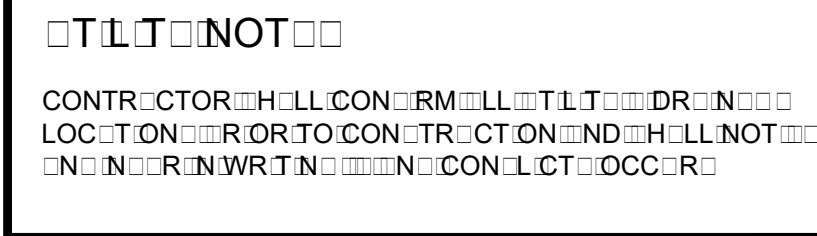
- PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES AND SAN



I-84 WESTBOUND OFF-RAMP

[illegible]



**SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES**

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LAND USE / ZONING INFORMATION & NOTES

1. APPLICANT / OWNER:
CONYERS FAMILY LTD PARTNERSHIP II
1471 PLEASANT VALLEY ROAD
MANCHESTER, CT 06040
2. PARCEL:
MAP 46, BLOCK 71, LOT 19B
74 RESERVOIR ROAD
TOWN OF VERNON
TOLLAND COUNTY, CT

ZONING ANALYSIS TABLE			
OPTION: D - TRCT	COMMERCIAL C		
ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	22,000 SF	60,585 SF	NO CHANGE
MINIMUM LOT WIDTH	100'	168.4'	NO CHANGE
MIN. FRONT SETBACK	50'	57.6'	57.9'
MIN. SIDE SETBACK	20'	45.6'	48.5'
MIN. REAR SETBACK	50'	106.8'	112.3'
MIN. FLOOR AREA	1,000 SF	3,582 SF	NO CHANGE
PARKING SPACES	30	45	30
PARKING CRITERIA (9x18')	1 PER 50 SF OF PUBLIC FLOOR AREA 1.475 SF / 50 SF = 29.5 - 30 SPACES		
ACCESSIBLE PARKING SPACES	2	2	2
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE- 8'x18' W/ 5' ACCESS AISLE) (VAN ACCESSIBLE SPACE-8'x18' W/ 8' ACCESS AISLE)	TOTAL PARKING 36 TO 50 = 2 ACCESSIBLE SPACES VAN ACCESSIBLE SPACES= 1 / 6 SPACES		

[illegible]

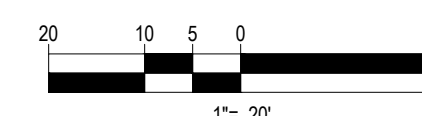
NOT ALL NON-RESIDENTS OWNED OR CONTROLLED

PAVEMENT STRIPING LEGEND

REFER TO GENERAL NOTES
SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY

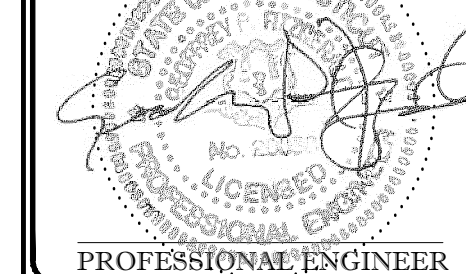
DOOR PULL NOTE: NEW SIDEWALK CONSTRUCTION SHALL BE ADA COMPLIANT WITH EDGE OF NEW SIDEWALK AND ANY OBSTRUCTION, INCLUDING RAILINGS, BEING INSTALLED A MINIMUM OF 24" FROM THE DOOR LATCH.



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CON:TR:CTON:CH:CC	D:T
CON:TR:CTON:CH:CC	D:T
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<div>CON</div> <div>TOLLND</div>	
<div>RRD</div> <div>RRRRRR</div>	<div>LENDERON</div> <div>SITE PLAN</div>

G.P. FITZGERALD



McDonald's

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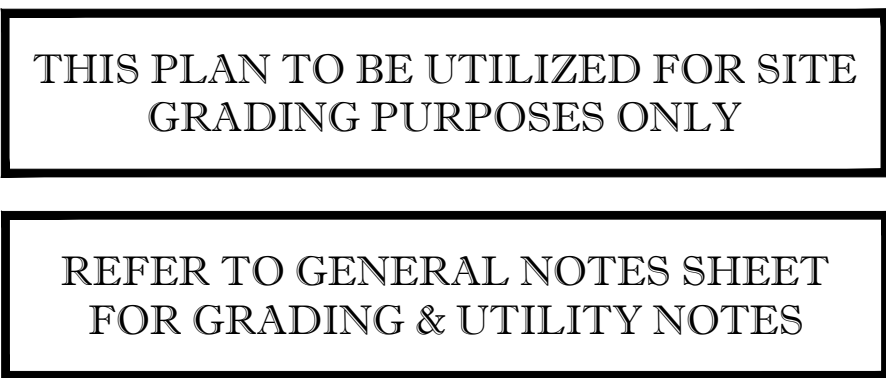
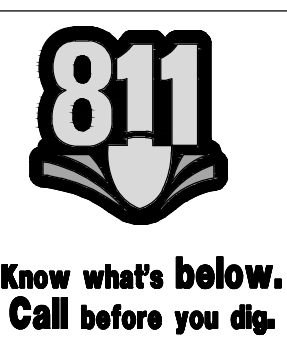
2010 RELEASE UNDER E.O. 14176

INTELLIGENCE

D. McDONALD

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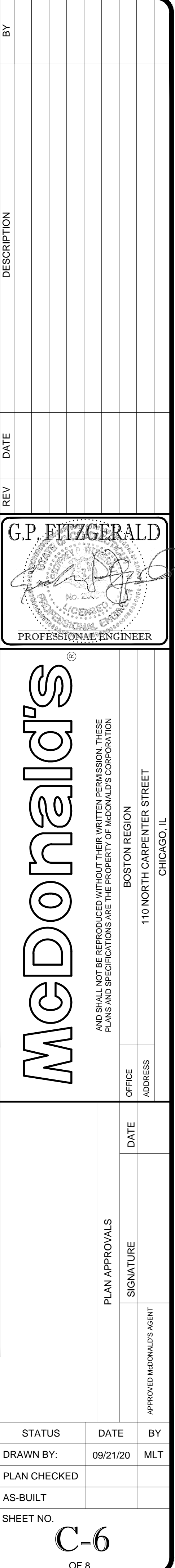
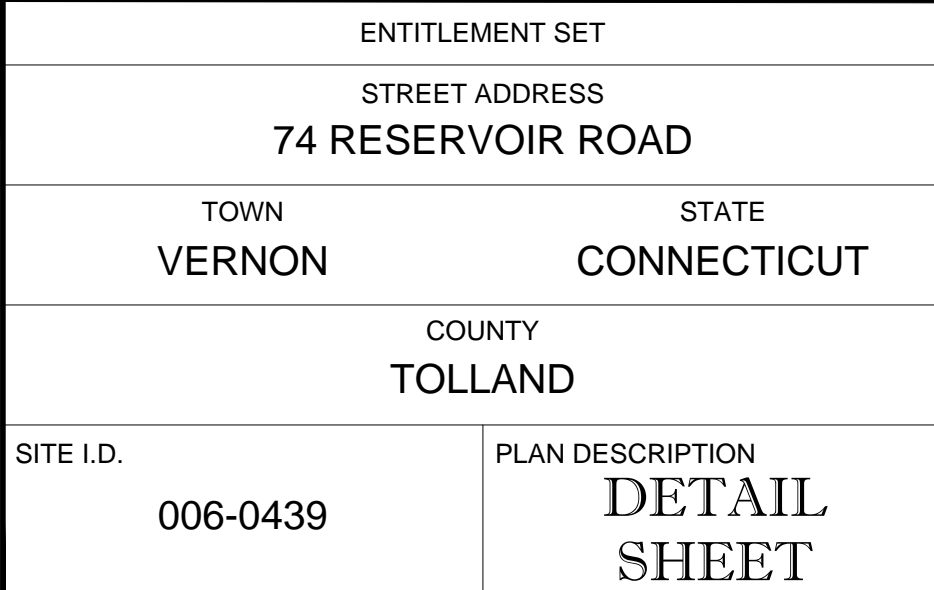
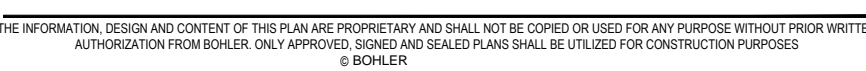
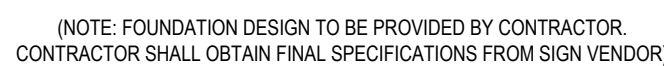
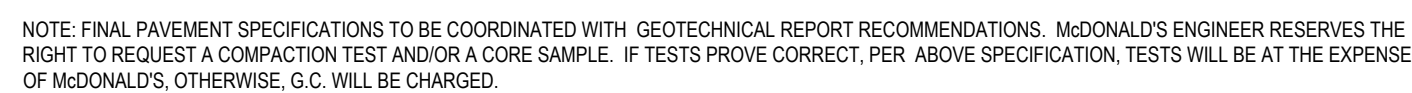
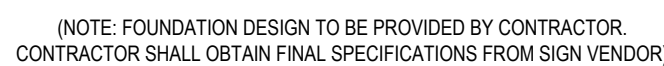
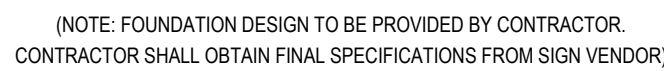
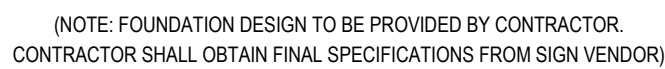
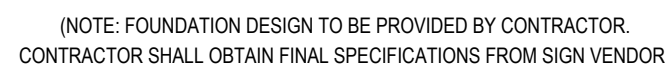
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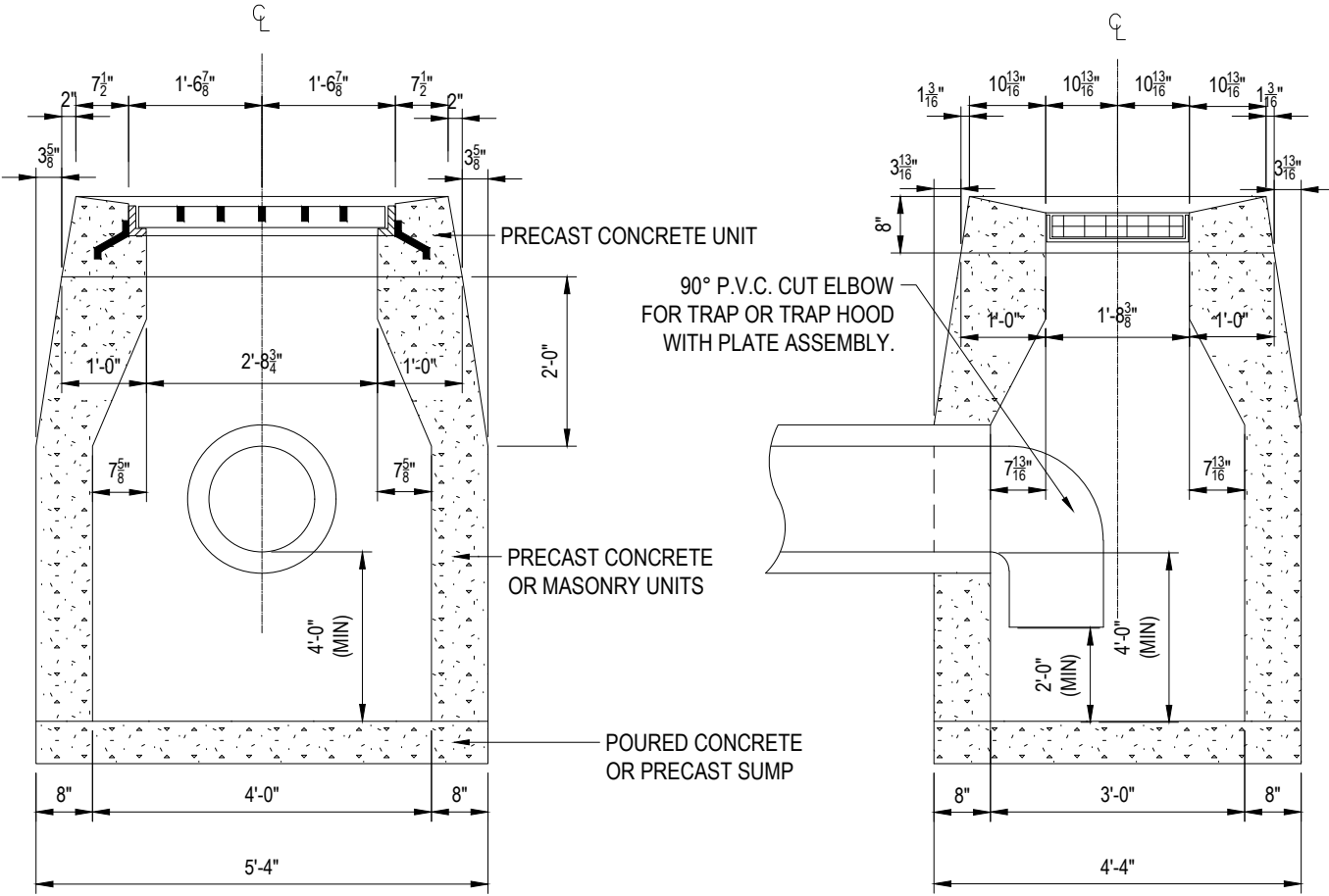


COMPLIANCE CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.: CT182026	
CAD I.D. #: CT182026ss0.dwg	

ENTITLEMENT SET	
STREET ADDRESS	
74 RESERVOIR ROAD	
TOWN	STATE
VERNON	CONNECTICUT
COUNTY	
TOLLAND	
SITE I.D.	PLAN DESCRIPTION
006-0439	GRADING PLAN

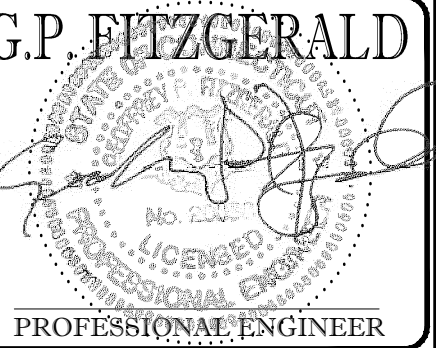
STATUS		DATE	BY
DRAWN BY:		09/21/20	MLT
PLAN CHECKED			
AS-BUILT			
SHEET NO.			
<div style="text-align: center;">  <p>AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION</p> </div>			
PLAN APPROVALS		DATE	
SIGNATURE		OFFICE	
APPROVED MCDONALD'S AGENT		ADDRESS	
		BOSTON REGION	
		110 NORTH CARPENTER STREET	
		CHICAGO, IL	





TYPE "C-L" CATCH BASIN

N.T.S.



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OFFICE ADDRESS: BOSTON REGION, 110 NORTH CARPENTER STREET, CHICAGO, IL

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SITE CIVIL AND CONSULTING ENGINEERING
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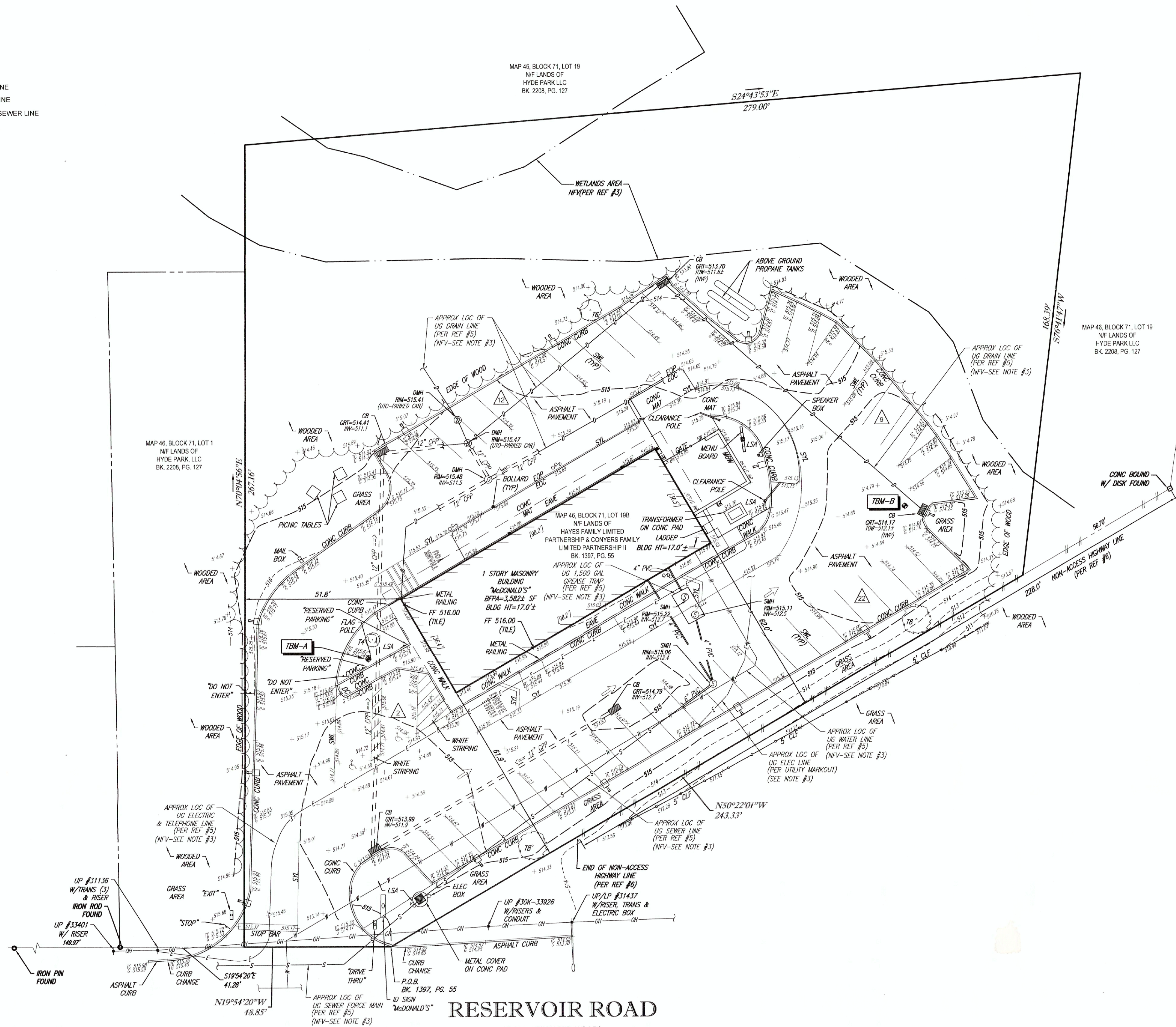
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COMPLIANCE CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.: CT182026	
CAD I.D. #: CT182026ss0.dwg	

ENTITLEMENT SET	
STREET ADDRESS 74 RESERVOIR ROAD	
TOWN VERNON	STATE CONNECTICUT
COUNTY TOLLAND	
SITE I.D. 006-0439	PLAN DESCRIPTION DETAIL SHEET

STATUS	DATE	BY
DRAWN BY:	09/21/20	MLT
PLAN CHECKED		
AS-BUILT		
SHEET NO. C-8 OF 8		

- LEGEND
- 124 --- EXISTING CONTOUR
--- 125 --- EXISTING SPOT ELEVATION
X 123.45 EXISTING TOP OF CURB ELEVATION
X G 122.85 EXISTING GUTTER ELEVATION
X TW 123.45 EXISTING TOP OF WALL ELEVATION
X BW 122.55 EXISTING BOTTOM OF WALL ELEVATION
X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
- GM GAS METER
EM ELECTRIC METER
OH OVERHEAD WIRES
E APPROX. LOC. UNDERGROUND ELECTRIC LINE
D APPROX. LOC. UNDERGROUND DRAINAGE LINE
S APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
W APPROX. LOC. UNDERGROUND WATER LINE
UP UTILITY POLE
UPLP UTILITY POLE/LIGHT POLE
- AREA LIGHT
C/O CLEAN OUT
SIGN
MAIL BOX
BOLLARD
PAINTED ARROWS
DC DEPRESSED CURB
CLF CHAIN LINK FENCE
EDC EDGE OF CONCRETE
EOP EDGE OF PAVEMENT
LSA LANDSCAPED AREA
MC METAL COVER
(TYP) TYPICAL
DMH DRAINAGE/STORM MANHOLE
SMH SANITARY/SEWER MANHOLE
CATCH BASIN OR INLET
TREE & TRUNK SIZE
- PARKING SPACE COUNTER
SWL SOLID WHITE LINE
STL SOLID YELLOW LINE
HT HEIGHT
BLDG BUILDING
BFFA BUILDING FOOTPRINT AREA
NVP NO VISIBLE PIPE
PVC POLYVINYL CHLORIDE PIPE
CPP CORRUGATED PLASTIC PIPE
TOW TOP OF WATER
INV INVERT ELEVATION
GRT GRATE ELEVATION
[98.2'] BUILDING DIMENSION
1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
NON-ACCESS HIGHWAY LINE



RESERVOIR ROAD

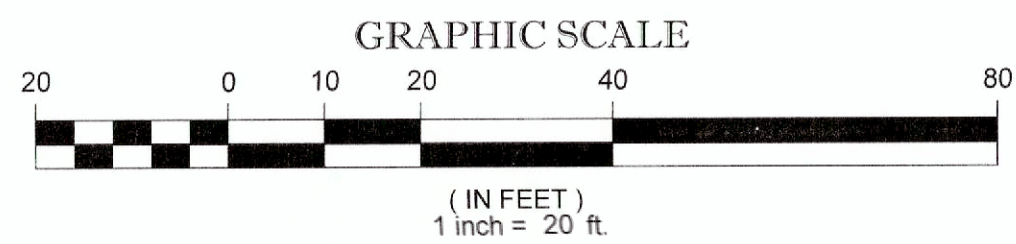
(A.K.A. MILE HILL ROAD)
(STATE ROUTE 31 - PUBLIC - VARIABLE WIDTH)

(PER REF #3)

TWO WAY

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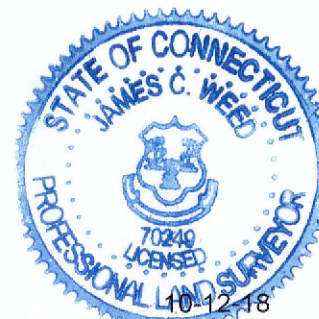
(ASPHALT ROADWAY)



THIS IS TO CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND IS SUBSTANTIALLY CORRECT TO THE DEGREE OF ACCURACY SHOWN HEREON.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL.

James C. Weed
JAMES C. WEED
CONNECTICUT PROFESSIONAL LAND SURVEYOR #70249



FIELD DATE 9-4-18	BOUNDARY & TOPOGRAPHIC SURVEY
FIELD BOOK NO. 18-11 MA	McDONALD'S USA, LLC
FIELD BOOK PGS 123-125	74 RESERVOIR ROAD MAP 46, BLOCK 71, LOT 19B TOWN OF VERNON L/C# 006-0439 TOLLAND COUNTY, STATE OF CONNECTICUT
FIELD CREW J.O.	CONTROL POINT ASSOCIATES, INC.
DRAWN R.J.K.	352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 • 508.948.3003 FAX
REVIEWED E.L.O.C. A.J.D.	APPROVED J.C.W.
DATE 10-12-18	SCALE 1"=20'
FILE NO. 03-180127	DWG. NO. 1 OF 1

NOTES:

- THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 AND T-2 SURVEY AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B, EFFECTIVE DATE JUNE 21, 1996. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON SEPTEMBER 26, 1996, BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON A RESURVEY OF THE SUBJECT PROPERTY.
 - PROPERTY KNOWN AS BLOCK 71, LOT 19B AS SHOWN ON THE TOWN OF VERNON, TOLLAND COUNTY, STATE OF CONNECTICUT; TAX MAP NO. 46.
AREA = 60,585 SQUARE FEET OR 1.390 ACRES.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS. ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY, AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) PER REF. #2.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
- TEMPORARY BENCH MARKS SET
TBM-A: BOLT ON FLAG POLE BASE. ELEVATION = 516.31'
TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT. ELEVATION = 514.49'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF ROCKVILLE, TOLLAND COUNTY, SHEET #46.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF VERNON, CONNECTICUT, TOLLAND COUNTY, ONLY PANEL PRINTED," COMMUNITY-PANEL NUMBER 090131 0005 C, MAP REVISED: AUGUST 9, 1999.
- ALTAIACSM LAND TITLE SURVEY FOR MCDONALD'S CORPORATION, PROPERTY LOCATED AT LOT 19 / BLOCK 71 / MAP 46, RESERVOIR ROAD, AKA MILE HILL ROAD (STATE ROUTE 31) VERNON, CONNECTICUT, PREPARED BY MBA ENGINEERING, INC., DATED MARCH 12, 2002.
- MAP ENTITLED "MCDONALD'S, SITE PLAN, MAP #46, LOTS 1 & 19, BLOCK #71, VERNON, CONNECTICUT, TOLLAND COUNTY," PREPARED BY BOHLER ENGINEERING, P.C., DATED MARCH 6, 2002. LAST REVISED NOVEMBER 12, 2002. SHEET 2 OF 13. FILED AS PLAN 4345 WITH THE TOWN OF VERNON.
- MAP ENTITLED "MCDONALD'S, UTILITY & DRAINAGE PLAN, MAP #46, LOTS 1 & 19, BLOCK #71, VERNON, CONNECTICUT, TOLLAND COUNTY," PREPARED BY BOHLER ENGINEERING, P.C., DATED MARCH 6, 2002. LAST REVISED NOVEMBER 12, 2002. SHEET 4 OF 13.
- MAP ENTITLED "CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF VERNON INTERSTATE 84 FROM THE MANCHESTER TOWN LINE EASTERLY TO THE TOLLAND TOWN LINE" DATED AUGUST 15, 1991. SHEET 14 OF 14.



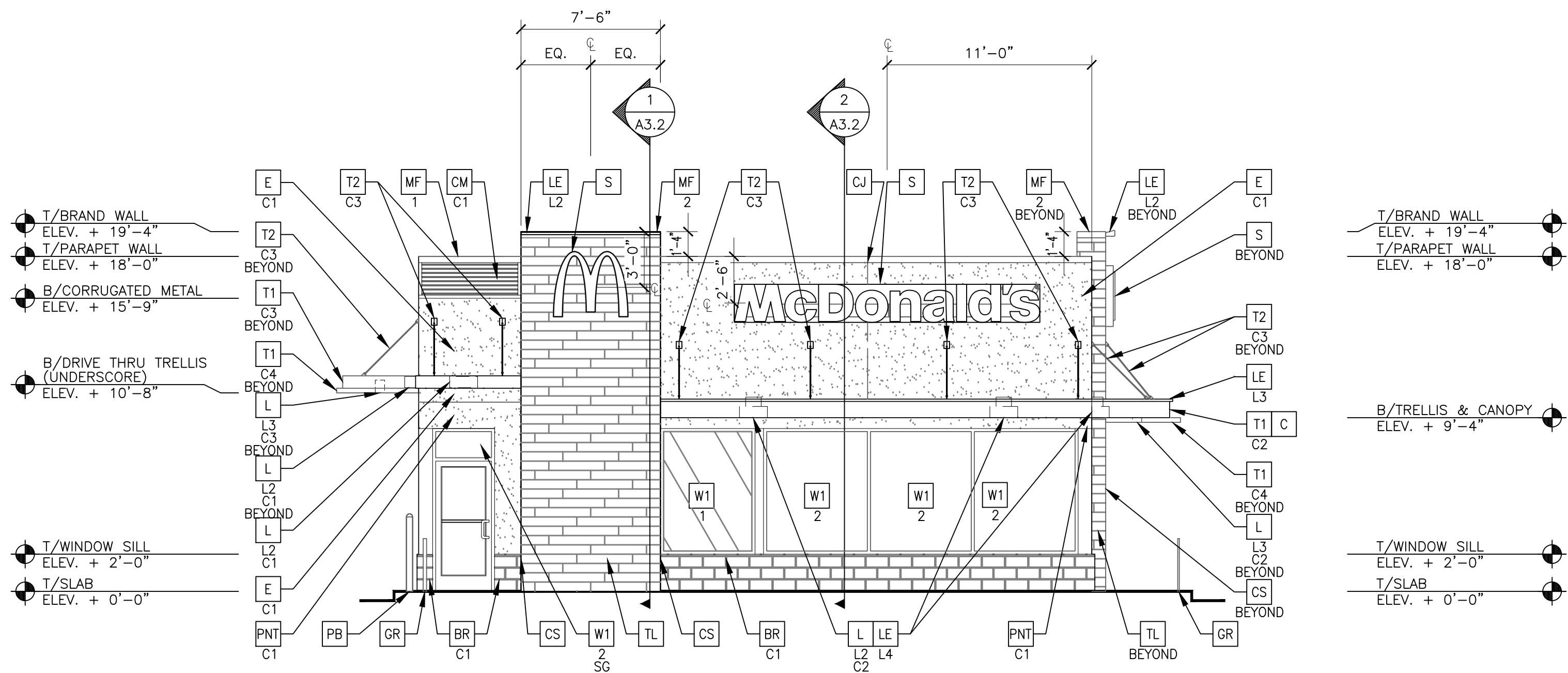
THE STATE OF CONNECTICUT REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

UTILITY COMPANY
CONNECTICUT DEPT OF TRANSPORTATION
CONNECTICUT WATER COMPANY
EVERSOURCE ELECTRIC
EVERSOURCE GAS
FRONTIER COMMUNICATIONS
TOWN OF VERNON - WPICA

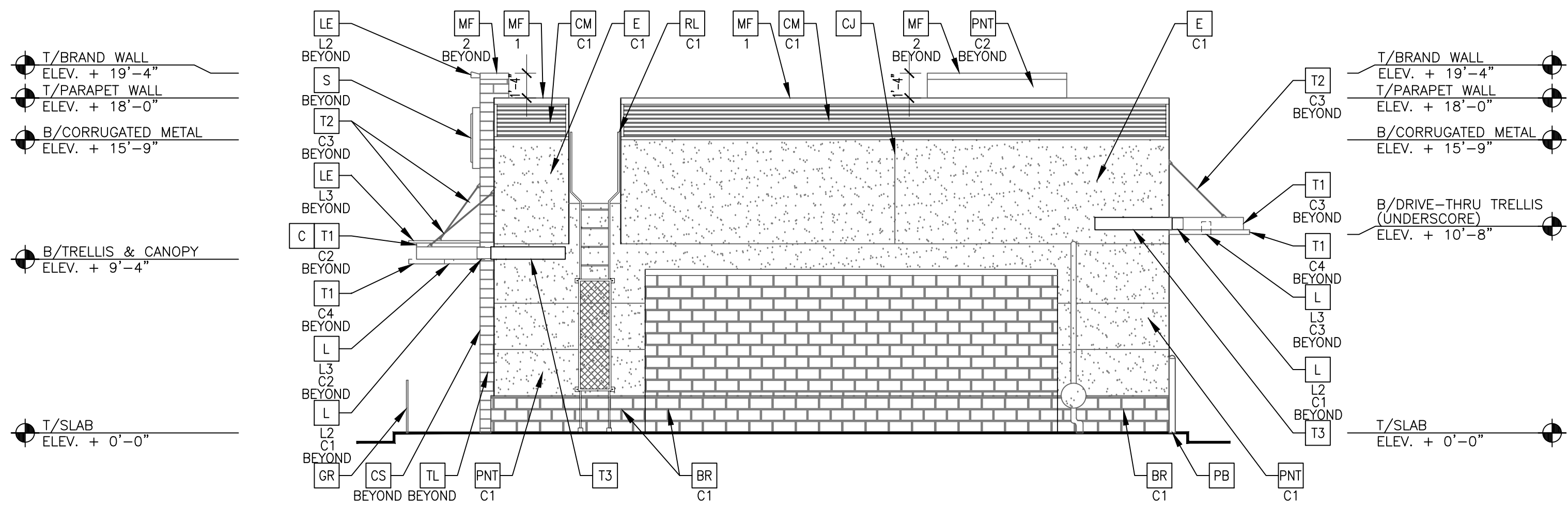
PHONE NUMBER
860-566-3156
1-800-286-5700
860-778-9140
203-206-6702
1-800-598-0628
860-870-3699

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

1 FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"



COLOR SCHEME: 'MODERN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

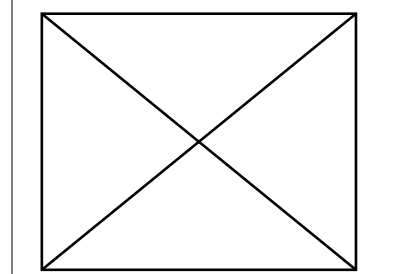
KEY NOTES:

- BR** FACE BRICK
XX-TYPE:
C1 = PAINTED MASONRY-COLOR: CHELSEA GRAY
C2 = PAINTED MASONRY-COLOR: IRON MOUNTAIN
COLOR: WHITE
- C** ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
- T1** ALUMINUM TRELLIS SYSTEM
XX-COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- T2** ALUMINUM TRELLIS TIE-BACK SYSTEM
XX-COLOR:
C1 = CHARCOAL
C2 = WHITE
- T3** ALUMINUM TRELLIS 2"x8" WALL FASCIA SYSTEM
XX-COLOR:
C1 = CHARCOAL
C2 = WHITE
- RL** ROOF LADDER
XX-COLOR:
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
- CJ** CONTROL JOINT
XX-COLOR:
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- PT** PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)

- L** LIGHT FIXTURE - SEE ELECTRICAL
XX-TYPE:
L2 = DOWN ONLY FIXTURE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
C3 = GOLD
- LE** ACCENT LIGHTING - SEE ELECTRICAL
XX-LED LIGHT:
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- MF** METAL FASCIA (COLOR: CITYSCAPE)
XX-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
- ML** METAL LETTERING - BY OTHERS
X-TYPE:
1 = 'WELCOME' - COLOR: SILVER
- W1** STOREFRONT AND GLAZING
X-1 = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN
SG = SAFETY GLASS
- GR** GUARDRAIL - SCRAPE AND PAINT
- SG** SAFETY GLASS

- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- D** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E** HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE. FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
- CM** CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS
XX-COLOR:
C1 = "CITYSCAPE"
- TL** TILE
EUROWEST: E-WOOD COLLECTION
COLOR: R9 BLACK SIZE: 6"x36" 1/4 RUNNING BOND
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500
- CS** OUTSIDE CORNER STRIPS
RONDEC R0100TSDA BY SCHLUTER SYSTEMS
ALUMINUM; HEIGHT:10MM COLOR: DARK ANTHRACITE
COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817
- PB** PIPE BOLLARD - PAINTED YELLOW

SHEET NO.	TITLE	DRAWN BY	STD	ISSUE DATE	REVIEWED BY	DATE ISSUED	SITE ID	SITE ADDRESS	PROJ.#	DESCRIPTION	REV	DATE	FOR FILING	CPC	BY
A2.1	ELEVATIONS	TS		FEB 2017	PM	01/31/2019	06-0439	74 RESERVOIR ROAD, ROCKVILLE, CT 06066	180323	REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR - NON PLAYPLACE	1	04.12.19	03.15.19		




skyBorne Technologies
P.O. BOX 825
Westford, MA 01886

PREPARED FOR: McDonald's USA, LLC
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PREPARED BY: skyBorne Technologies
P.O. BOX 825
Westford, MA 01886



-  CHELSEA GRAY
HC-168 BENJAMIN MOORE
-  IRON MOUNTAIN
2134-40 BENJAMIN MOORE

[illegible]