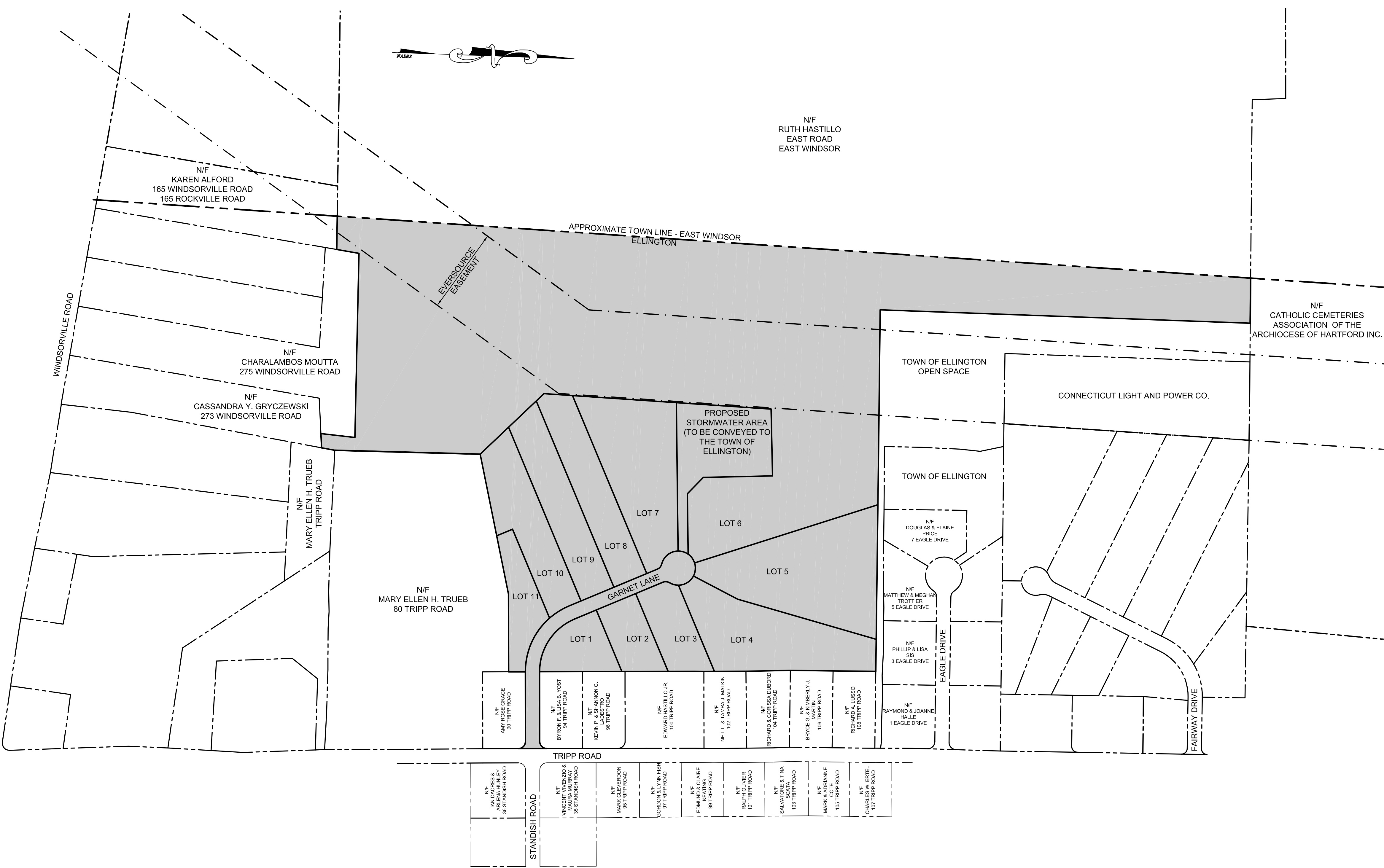
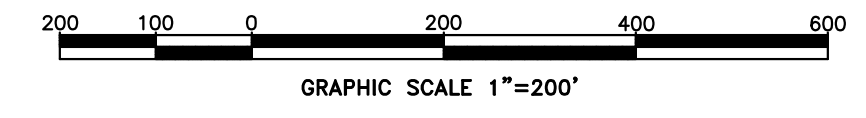


KEY MAP - SCALE: 1" = 1,000'



- NOTES:
- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS A PROPERTY AND TOPOGRAPHIC SURVEY AND FIRST SURVEY OF THE PERIMETER BOUNDARY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS 1-3.
  - BEARINGS AND ELEVATIONS DEPICTED ON THIS PLAN ARE BASED UPON THE 1983 NORTH AMERICAN DATUM (NAD 83/87) AND THE 1988 NORTH AMERICAN DATUM RESPECTIVELY AS PROVIDED BY GPS COORDINATES FROM J.R. RUSSO & ASSOCIATES.
  - TOPOGRAPHY DEPICTED ON THIS PLAN WAS PROVIDED BY GOLDEN AERIAL SURVEYS.
  - REFERENCE IS MADE TO THE FOLLOWING MAPS:
    - RESUBDIVISION PLAN HASTILLO ACRES II ELLINGTON, CONNECTICUT BY GARDNER & PETERSON ASSOCIATES, DATED: 1-27-99, REVISED 3-9-99, MAP NO. 9522 H.
    - SUBDIVISION PLAN PREPARED FOR EDWARD J. HASTILLO TRIPP ROAD ELLINGTON, CONNECTICUT BY JC SOMMERS ASSOCIATES, INC. DATED: MAY, 1994, REVISED: 9/30/94.
    - PLAN PREPARED FOR EDWARD J. HASTILLO TRIPP ROAD ELLINGTON, CONNECTICUT BY JC SOMMERS ASSOCIATES INC. DATED: MAY, 1998.
    - PROPERTY SURVEY PREPARED FOR STEVEN TRUEB ELLINGTON, CONNECTICUT BY GARDNER & PETERSON ASSOCIATES, DATED: 10-29-01, REVISED 11/02/01, MAP NO. 9522 S.
    - PROPERTY SURVEY/RESURVEY PREPARED FOR SHEPARD FARMS SUBDIVISION WINDSORVILLE ROAD & TRIPP ROAD ELLINGTON, CONNECTICUT BY DESIGN PROFESSIONALS, INC. DATED: 10/15/02, REVISED: 07/25/03.
    - PLAN PREPARED FOR ADRIAN GROOT III 275 WINDSORVILLE ROAD ELLINGTON, CONN" PREPARED BY MEHMAN & GOODIN, DATED: SEPT. 25, 1998.
    - SUBDIVISION PLAN PROPERTY OF HANS HACKNER JR. & ALFRED MEIER ELLINGTON, CONNECTICUT BY STANLEY SZESTOWICKI L.S. DATED: JUNE 5, 1972.
    - RESUBDIVISION PLAN OF WINDSORVILLE MEADOWS PROPERTY OF HANS HACKNER JR. & ALFRED MEIER EAST WINDSOR, CONNECTICUT BY STANLEY SZESTOWICKI L.S. REVISED: APRIL 15, 1977.
    - PLAN PREPARED FOR CATHOLIC CEMETERIES ASSOCIATION OF THE ARCHDIOCESE OF HARTFORD MIDDLE, EAST AND TRIPP ROADS EAST WINDSOR AND ELLINGTON, CONN" BY MEHMAN & GOODIN, DATED: 12-08-2009, SHEET 3 OF 3.
    - LOCATION OF RIGHT OF WAY OF THE CONNECTICUT LIGHT & POWER COMPANY ACROSS THE PROPERTY OF VICTORIA HASTILLO ET AL TOWNS OF EAST WINDSOR & ELLINGTON: COUNTIES OF HARTFORD & TOLLAND: STATE OF CONNECTICUT DATED: APRIL 1963, SHEET 1-2 OF 2.
    - SUBDIVISION PLAN EAGLE ESTATES TRIPP ROAD ELLINGTON, CONNECTICUT OWNER/APPLICANT ANTHONY, MARK & EDWARD SPAZZARINI 50 POST OFFICE ROAD ENFIELD, CONNECTICUT 06082 ASSESSOR'S #023-003-0000" BY J.R. RUSSO & ASSOCIATES, DATED: 9-19-03, REVISED: 9-2-04.
  - THIS PARCEL IS LOCATED IN THE RURAL AGRICULTURAL RESIDENCE (RAR) ZONE.
  - WETLANDS DEPICTED ON THIS PARCEL WERE DELINEATED BY RICHARD ZULICK R.S.S.
  - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
  - THE OPEN SPACE CONTRIBUTION FOR THIS PARCEL HAS BEEN SATISFIED PER WARRANTY DEED RECORDED IN THE TOWN OF ELLINGTON VOLUME 242, PAGE 571.
  - WHERE FOOTING DRAINS HAVE TO DISCHARGE TO A CATCH BASIN, A BACKFLOW PREVENTER AND A HOLD HARMLESS AGREEMENT ARE REQUIRED.
  - PASSIVE SOLAR ENERGY TECHNIQUES WERE CONSIDERED IN THE LAYOUT OF THE PROPOSED LOTS.
  - IRON PINS AND MONUMENTS ARE TO BE SET AS DEPICTED ON THE SUBDIVISION PLAN.
  - LOTS ARE TO BE SERVED BY PUBLIC WATER AND SUBSURFACE SEWAGE DISPOSAL SYSTEMS. THE LATTER TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
  - DRIVEWAYS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH TOWN SPECIFICATIONS.
  - PROPOSED UTILITIES LINES REQUIRED FOR ELECTRICAL, COMMUNICATION, LIGHTING AND CABLE TELEVISION SHALL BE PLACED UNDERGROUND.
  - THIS PARCEL IS MAINLY LOCATED IN FLOOD HAZARD ZONE "X" (AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) PER FIRM FLOOD INSURANCE RATE MAP TOWN OF ELLINGTON, CONNECTICUT, TOLLAND COUNTY, COMMUNITY-PANEL NUMBER 090158 005 C, MAP REVISED FEBRUARY 5, 1997. A PORTION OF THE PROPERTY IS LOCATED IN ZONE AE.
  - THE BINDER COURSE OF PAVEMENT SHALL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. IF THE TOP COAT OF PAVEMENT IS NOT INSTALLED WITHIN 5 YEARS OF THE BINDER COURSE, OR IF THE BINDER COURSE OR STRUCTURES ARE DAMAGED, THE DAMAGED BINDER COURSE AND STRUCTURES SHALL BE REPAIRED OR REPLACED AT THE DISCRETION OF THE TOWN PRIOR TO INSTALLING TOP COURSE.
  - THE STREET TREES DEPICTED WILL CONSIST OF ALTERNATING BRADFORD PEAR & SUGAR MAPLE (min. 2 1/2" CALIPER).
  - THE PROPOSED ROAD IS 1,000' FROM THE WESTERLY STREETLINE OF TRIPP ROAD TO THE END OF THE PROPOSED CUL-DE-SAC RIGHT OF WAY.
  - LOT CLOSURE IS NOT LESS THAN 1:5000 PER SECTION A.05.XIV.



ZONING TABLE

RAR ZONE	REQUIRED
MIN. LOT SIZE *	40,000 SQ.FT.
MIN. LOT WIDTH **	125 FEET
FRONT YARD	35 FEET
SIDE YARD	10 FEET
REAR YARD	25 FEET-PRINCIPLE 10 FEET-ACCESSORY
MAX. LOT COVERAGE	25%

\*Per Section 3.2.2 (1) of the Zoning Regulations:  
Under the density limitation formula only and provided that soil suitability is sufficient to allow a reduction in lot size for an onsite sanitary system or has access to public sewers, the following shall apply:  
a. Lot size may be reduced but not less than 32,000 square feet.  
b. Lot frontage may be reduced but not less than 75 feet measured at the front property line.

\*\*Per Section 2.1.9 (Measurement of Required Yard on Irregular Lots) of the Zoning Regulations:  
Where the front line is an arc and the sidelines converge toward the front lot line, typically considered a "pie lot", the required frontage may be measured along the front yard setback line for that particular zone and any increased setback requirement in accordance with Highway Clearance Setbacks.

DENSITY CALCULATION:  
AREA OF SUBDIVISION: 61.56 Acres  
SLOPES > 25%: 0.80 Acres  
WETLANDS AND 100-YR FLOODPLAIN: 26.44 Acres  
Developable Land = 34.32 Acres  
Lot Yield = 34.32 x 0.5(RAR) = 17.16 Lots  
The resubdivision proposes 11 lots.

SHEET INDEX

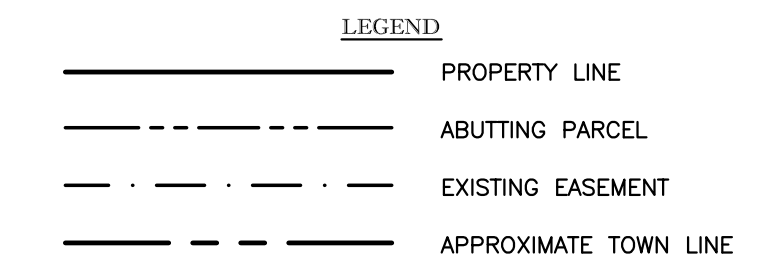
SHEET NO.	TITLE	SCALE	DESCRIPTION
1	COVER SHEET	1"=200'	PLAN OVERVIEW
2	RESUBDIVISION MAP	1"=40'	LOTS 1-5,11
3	RESUBDIVISION MAP	1"=40'	LOTS 6-10, DRAINAGE AREA
4	RESUBDIVISION MAP	1"=50'	LOT 6
5	RESUBDIVISION MAP	1"=50'	LOT 6
6	GRADING & SITE DEVELOPMENT PLAN	1"=40'	LOTS 1-5, 7-11
7	GRADING & SITE DEVELOPMENT PLAN	1"=40'	LOT 6, DRAINAGE AREA
8	EROSION CONTROL PLAN	1"=40'	LOTS 1-5, 7-11
9	EROSION CONTROL PLAN	1"=40'	LOT 6, DRAINAGE AREA
10	PLAN & PROFILE	1"=4' & 40'	STA 0+00-5+00
11	PLAN & PROFILE	1"=4' & 40'	STA 5+00-DRAINAGE OUTLET
12	CONSTRUCTION DETAILS		
13	EROSION CONTROL DETAILS, SOIL DATA & MLSS		

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

RICHARD ZULICK C.S.S.

APPROVED BY THE TOWN PLANNING AND ZONING COMMISSION OF THE TOWN OF ELLINGTON ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
IN ACCORDANCE WITH SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, ALL WORK IN CONNECTION WITH THE SUBDIVISION MUST BE COMPLETED BY \_\_\_\_\_ 20\_\_\_\_.

SECRETARY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_



OWNER  
HASTILLO PROPERTIES, LLC  
425 EAST ROAD  
BROAD BROOK, CT 06016

APPLICANT  
TYMAC HOLDINGS, LLC  
7 AZALEA LANE  
ELLINGTON, CT 06029

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ERIC R. PETERSON L.S. 23430  
REGISTRATION NO.

CONDITIONAL APPROVAL

COVER SHEET  
PREPARED FOR TYMAC HOLDINGS, LLC  
RIDGE CROSSING  
APN: 023-001-0000  
TRIPP ROAD  
ELLINGTON CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC  
178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT

REVISIONS  
01-21-2021 STAFF COMMENTS

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=200'	12-01-2020	1 OF 13	10820