

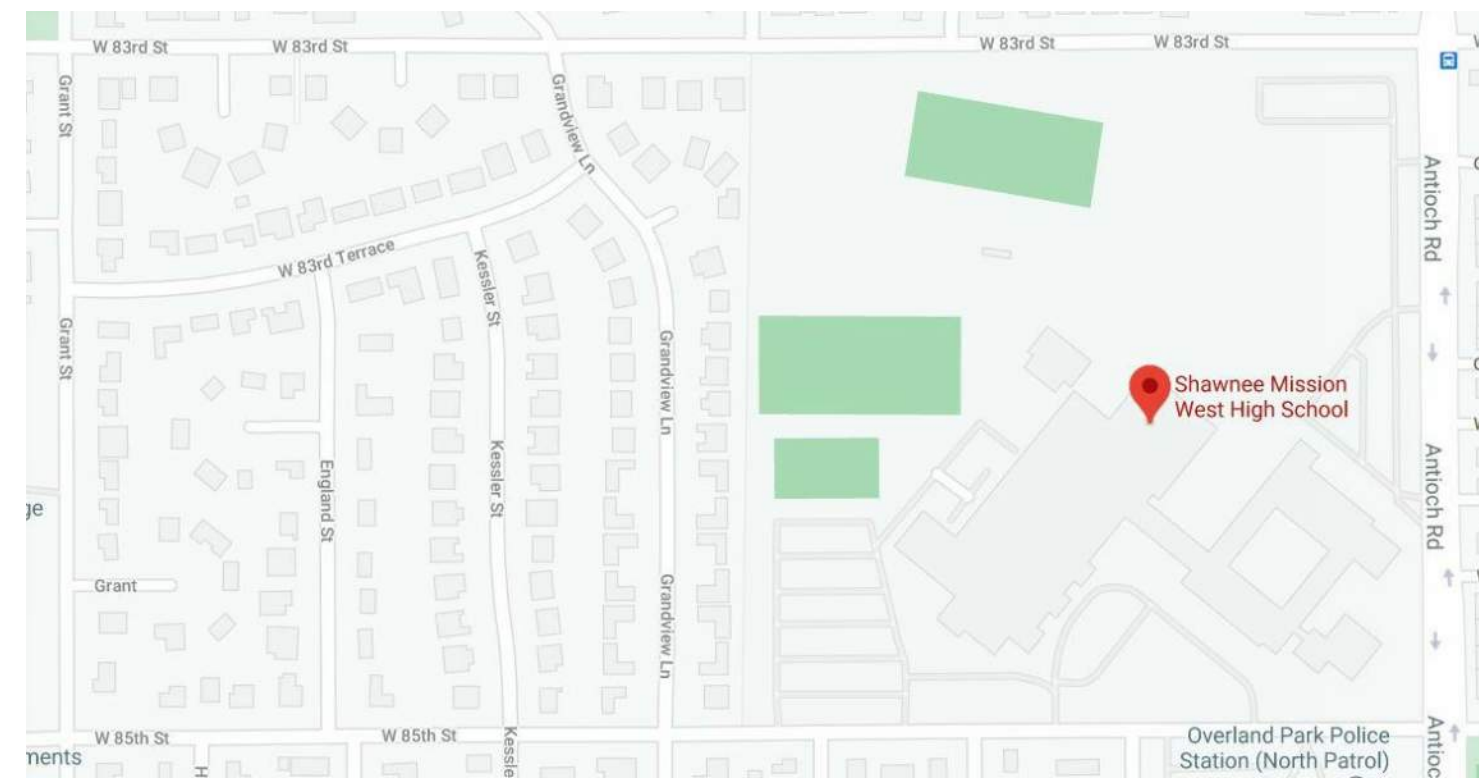
SHAWNEE-MISSION SCHOOLS 2021 ROOF IMPROVEMENTS

SHAWNEE-MISSION SCHOOL DISTRICT 7235 ANTIOCH ROAD SHAWNEE MISSION, KS 66204 CONSTRUCTION DOCUMENTS

PROJECT LOCATIONS

SMW - SHAWNEE MISSION WEST HIGH SCHOOL

8800 West 85th Street, Overland Park, KS 66212



PROJECT LOCATIONS

BROADMOOR JUNIOR HIGH SCHOOL

6701 W 83rd St, Shawnee Mission, KS 66204



BROKEN ARROW ELEMENTARY SCHOOL

5901 Alden St, Shawnee, KS 66216



INDEX OF DRAWINGS

ARCHITECTURE


- A111 SMW - ROOF PLAN
- A112 BROADMOOR JUNIOR HIGH SCHOOL - ROOF PLAN
- A113 BROKEN ARROW ELEMENTARY - ROOF PLAN
- A210 STANDARD ROOF DETAILS
- A211 STANDARD ROOF DETAILS
- A212 BROKEN ARROW DETAILS
- A502 ALUM FRAME ELEVATIONS
- DA201 BROKEN ARROW - DEMOLITION ELEVATIONS
- DA210 BROKEN ARROW - DEMOLITION DETAILS

STATEMENT OF RESPONSIBILITY

I HEREBY STATE THAT THE DRAWINGS INTENDED TO BE AUTHENTICATED BY MY SEAL LIMITED TO THE FOLLOWING DRAWING SHEETS:

G000, G001, A110, A111, A112, A113, A114, A115, A116

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ARCHITECT

1/29/2020
DATE

DESIGN TEAM

ARCHITECTURAL DESIGN:

Hollis + Miller Architects
8205 W 108th Terr Ste 200
Overland Park, KS 66210
CONTACT: Justin Durham
PHONE: (913) 451-8886
FAX: (913) 451-0220

**SMSD PROJECT
- 21-002**

SHAWNEE MISSION SCHOOLS 2021 ROOF IMPROVEMENTS

SHAWNEE-MISSION SCHOOL DISTRICT

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G000

COVER SHEET

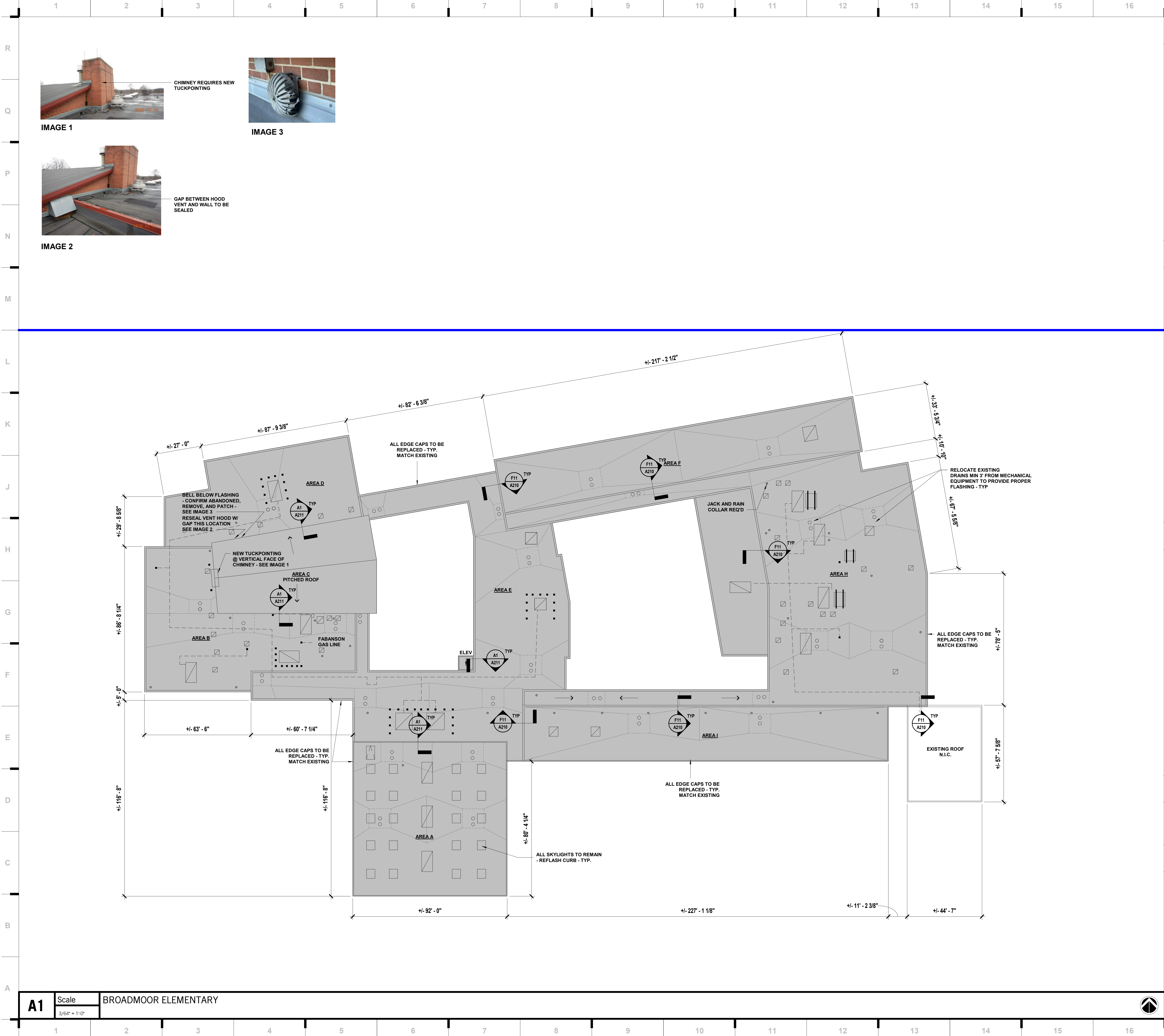


IMAGE 1



IMAGE 2

IMAGE 3



GENERAL DEMOLITION NOTES

AT ALL AREAS SCHEDULED FOR NEW ROOFING SYSTEM, INSPECT CONDITIONS FOR NEW OVERLAY PER MANUFACTURER'S RECOMMENDATIONS.

REMOVE AND REPLACE ALL EXISTING FLASHING, WOOD BLOCKING ETC. NOT SPECIFICALLY CALLED TO BE PROTECTED, REUSED OR MAINTAINED ON THIS SHEET.

DEMOLITION PLANS ARE INTENDED TO DEPICT A SCOPE AND SCHEMATIC LOCATION OF DEMOLITION WORK. ACTUAL DEMOLITION SHALL BE ACCOMPLISHED IN COORDINATION WITH NEW CONSTRUCTION WORK.

THE CONTRACTOR SHALL LOCATE AND IDENTIFY ALL ELECTRICAL, MECHANICAL, PLUMBING AND UTILITY LINES WITHIN WORK AREAS AND PROTECT THE SAME AS REQUIRED TO MAINTAIN IN GOOD OPERATING CONDITION.

UNLESS NOTED OTHERWISE, ALL ITEMS NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE PROJECT SITE.

WHERE ITEMS ARE SHOWN TO BE REMOVED, CARE SHALL BE TAKEN TO PROTECT ADJACENT ITEMS SCHEDULED TO REMAIN.

RE: SPECIFICATIONS FOR EXISTING ROOF STRUCTURE AND LAYERS.

RE: EXISTING ELEVATIONS ON DA201 AND EXISTING DETAIL S ON DA210 FOR EXTENT OF CURTAINWALL AND STOREFRONT REMOVAL.

GENERAL NOTES

DO NOT SCALE THESE DRAWINGS. FIELD VERIFY ALL CONDITIONS, DIMENSIONS AND QUANTITIES. DIMENSIONS INDICATED ON THE PLANS ARE FOR REFERENCE ONLY AND SHOULD BE CONSIDERED APPROXIMATE.

THE CONTRACTOR SHALL VISIT THE ROOF AREA(S) PRIOR TO BID DATE AND FIELD VERIFY ALL CRITERIA.

ALL DRAINAGE FROM THESE ROOFS UTILIZE PIPING ETC AND SHALL BE REMOVED AND REPLACED UNLESS NOTED OTHERWISE.

CONTRACTOR ACCESS TO THE ROOF AREA(S) SHALL BE COORDINATED WITH SCHOOL DISTRICT OFFICIALS.

ALL ADJACENT BUILDING / ROOF AREAS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AND DAMAGE DURING CONSTRUCTION.

ALL WORK SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING ROOF CONSTRUCTION AT ALL AREAS TO FOR OVERLAY, OR TO BE REMOVED AND REPLACED.

STAGING AREA SHALL BE COORDINATED WITH SCHOOL DISTRICT PERSONNEL TO STAGE ALL CONSTRUCTION VEHICLES, MATERIALS, DUMPSTERS, CRANES ETC. REGRADE AND RESEED ALL DAMAGED GRASS AREAS AND CARE SHALL BE TAKEN TO NOT DAMAGE EXISTING ASPHALT PARKING LOTS, DRIVES OR EXISTING CONCRETE. CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING SITE.

PROVIDE CRICKETS AT ALL REQUIRED LOCATIONS TO PROVIDE POSITIVE DRAINAGE TO NEAREST DRAIN.

ALL FLASHING / SHEET METAL DETAILS SHALL CONFORM TO THE RECOMMENDED PROCEDURES AS OUTLINED BY THE SMACNA MANUAL, LATEST EDITION.

SCOPE NOTES

INSTALL NEW APP MODIFIED BITUMEN ROOF SYSTEM OVER 1/2" COVERBOARD PER SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR OVERLAY. APP COLOR: WHITE.

INSTALL NEW TREATED WOOD BLOCKING.

INSTALL NEW ROOF TO ROOF PREFINISHED METAL EXPANSION JOINT. RAISE CURB MIN. 8" ABOVE FINISHED ROOF.

RAISE ALL CURBS AT MECHANICAL VENTS MIN. 8" ABOVE FINISHED ROOF.

RAISE ALL PLUMBING VENTS MIN. 8" ABOVE FINISHED ROOF.

INSTALL NEW OVERFLOW DRAINS AT ALL DRAIN LOCATIONS - RAISE 2" ABOVE EXISTING PRIMARY DRAIN AND TIE INTO EXISTING PIPE BELOW ROOF STRUCTURE.

INSTALL NEW 26GA PRE-FINISHED EDGE FLASHING, FASCIA ETC. PROFILE AND COLOR TO MATCH EXISTING.

INSTALL NEW COPING, CLEAT AND FASTENERS AT ALL ROOFS. PROFILE AND COLOR TO MATCH EXISTING.

REMOVE AND REPLACE ALL PITCH PANS WITH DERBIFLASH TWO PART RESIN / FLEECE SEAMLESS MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM.

INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK. COLOR AND PROFILE TO MATCH EXISTING.

ROOF TOP SUPPORT BLOCKS FOR GAS PIPING, PLUMBING, HVAC, CONDUIT, CABLE TRAY, AND MECHANICAL EQUIPMENT SHALL BE ROOF TOP BLOX OR APPROVED EQUAL.

THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.

ROOF HATCH LEGEND

AREA OF NEW WORK - BASE BID
REFER TO THIS PROJECT'S SCOPE OF WORK

KEY PLAN

SHAWNEE MISSION SCHOOLS 2021 ROOF IMPROVEMENTS

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A112

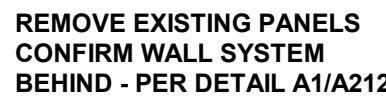
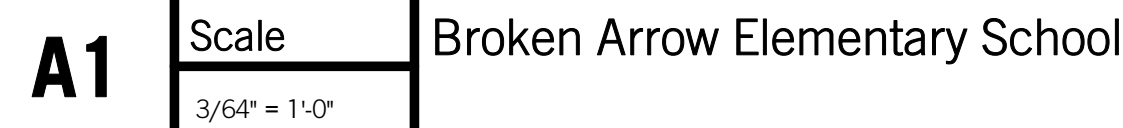


IMAGE 1



IMAGE 2

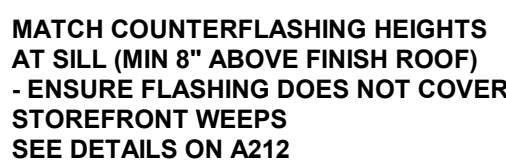


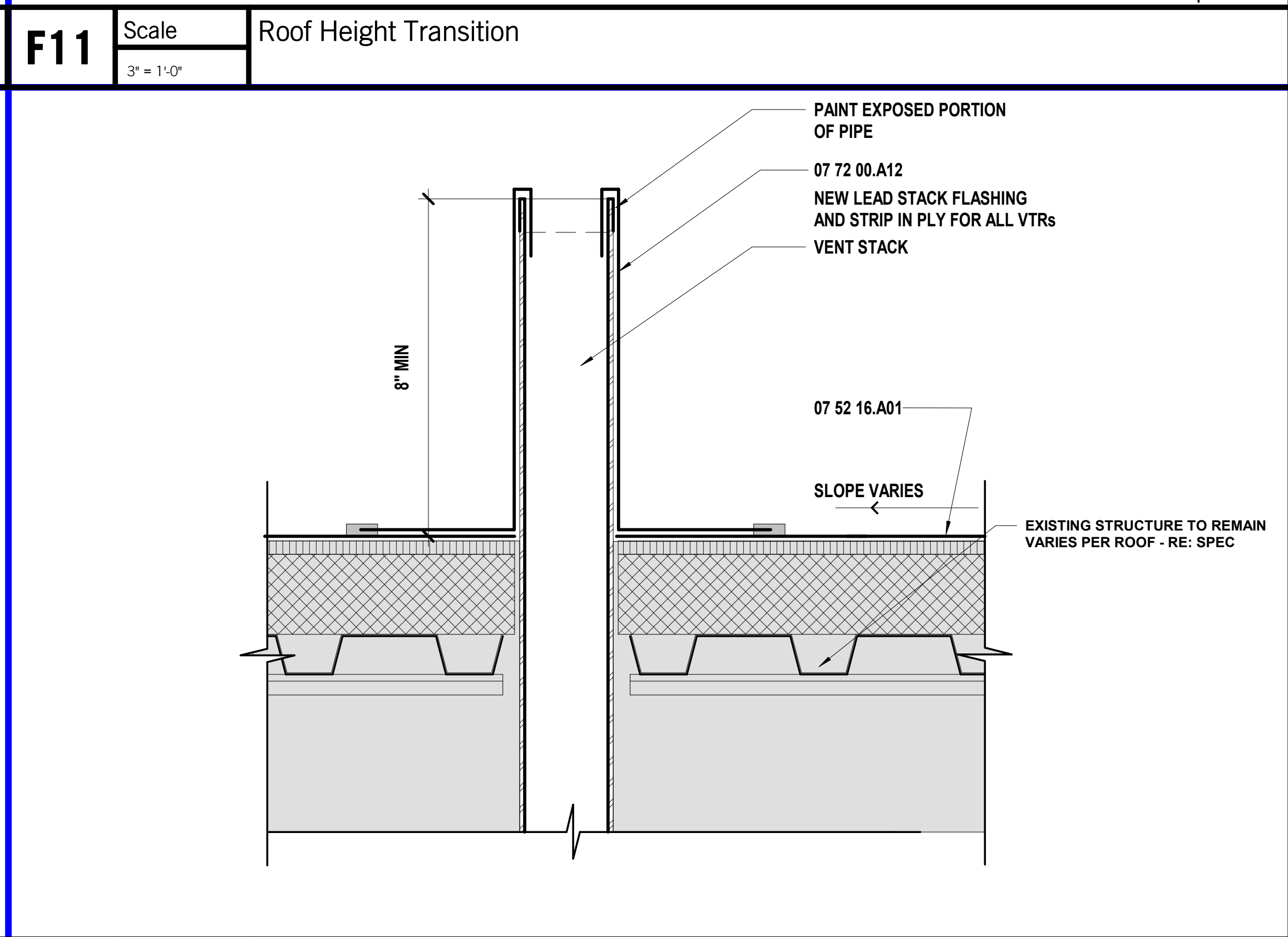
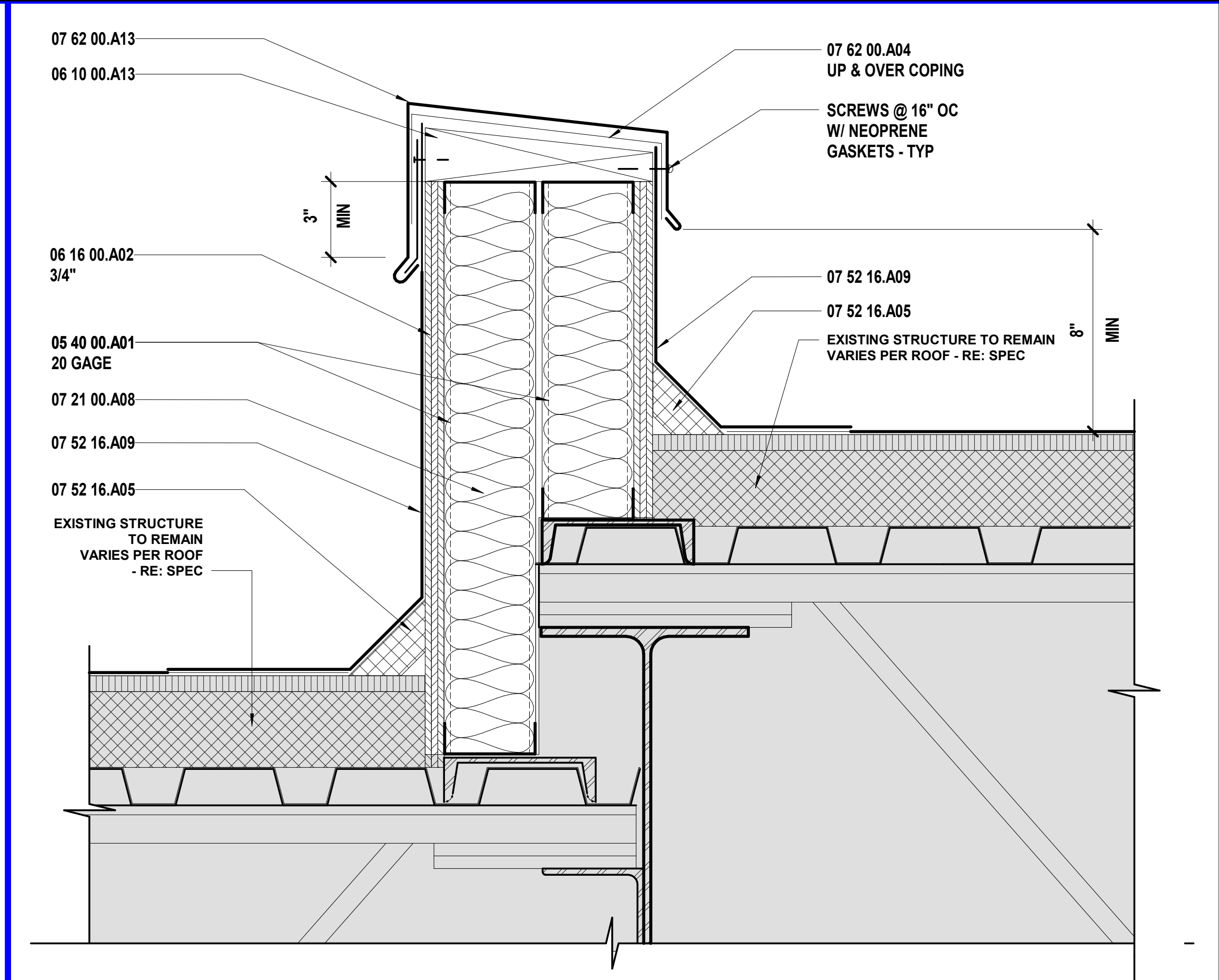
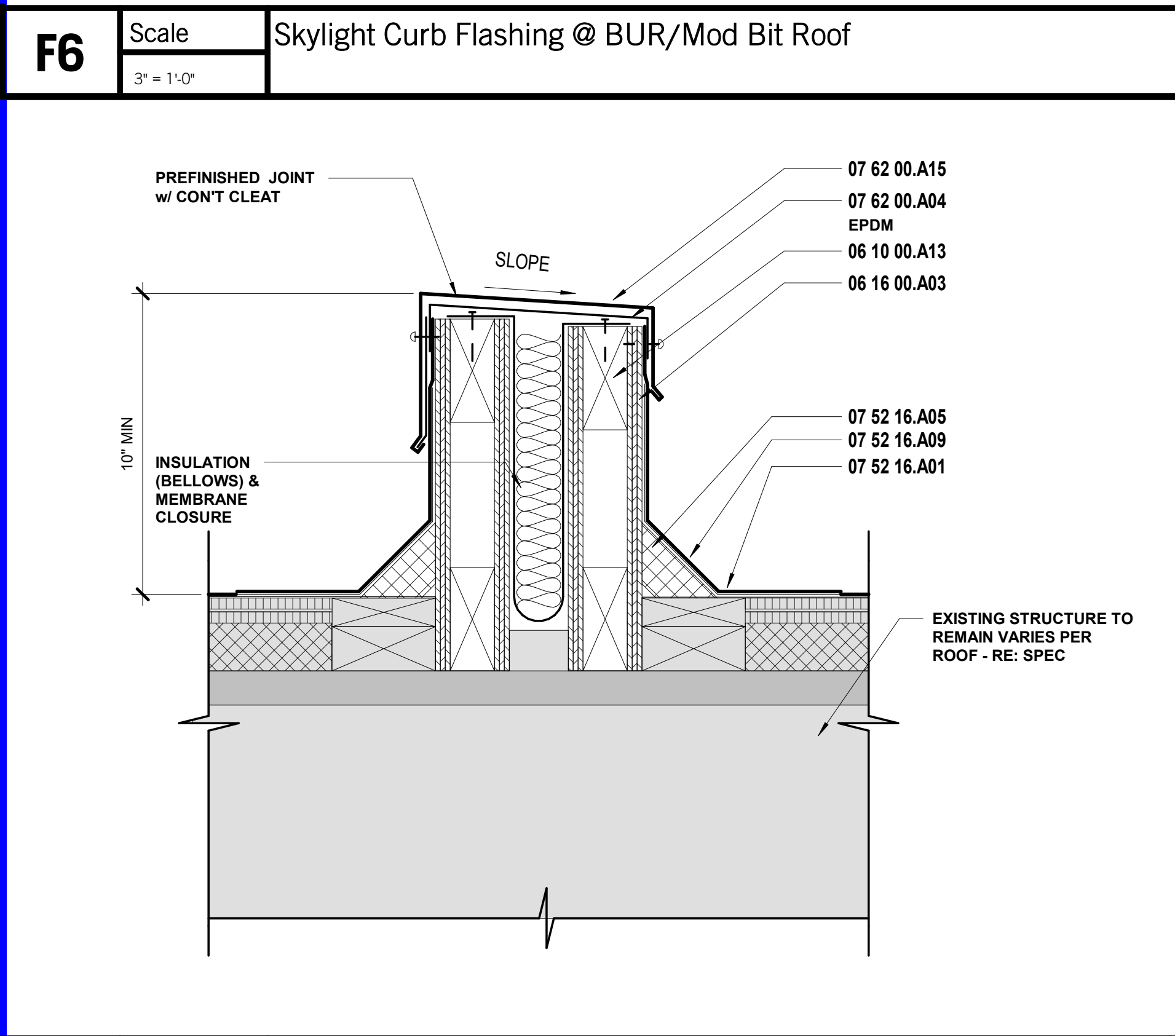
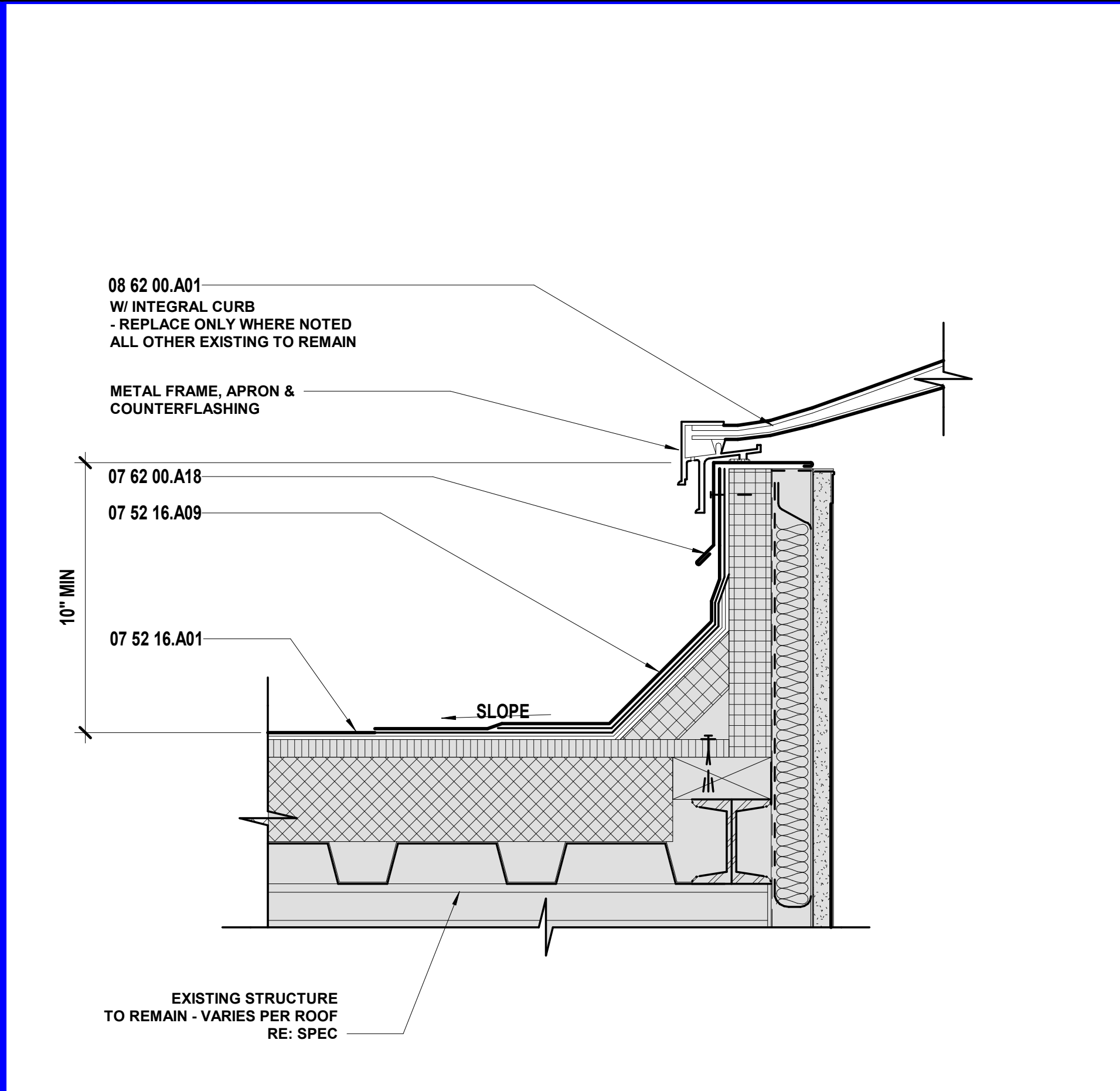
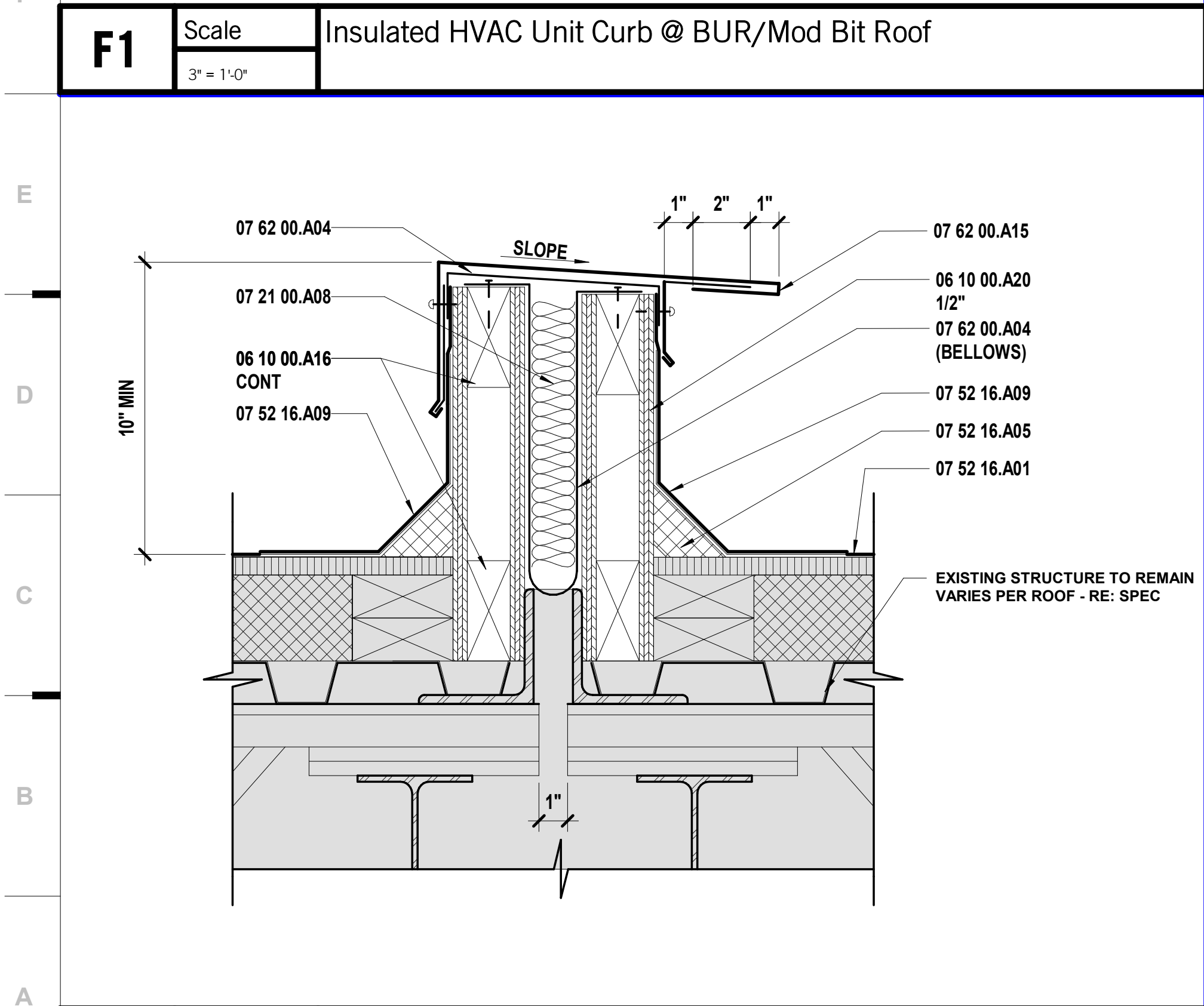
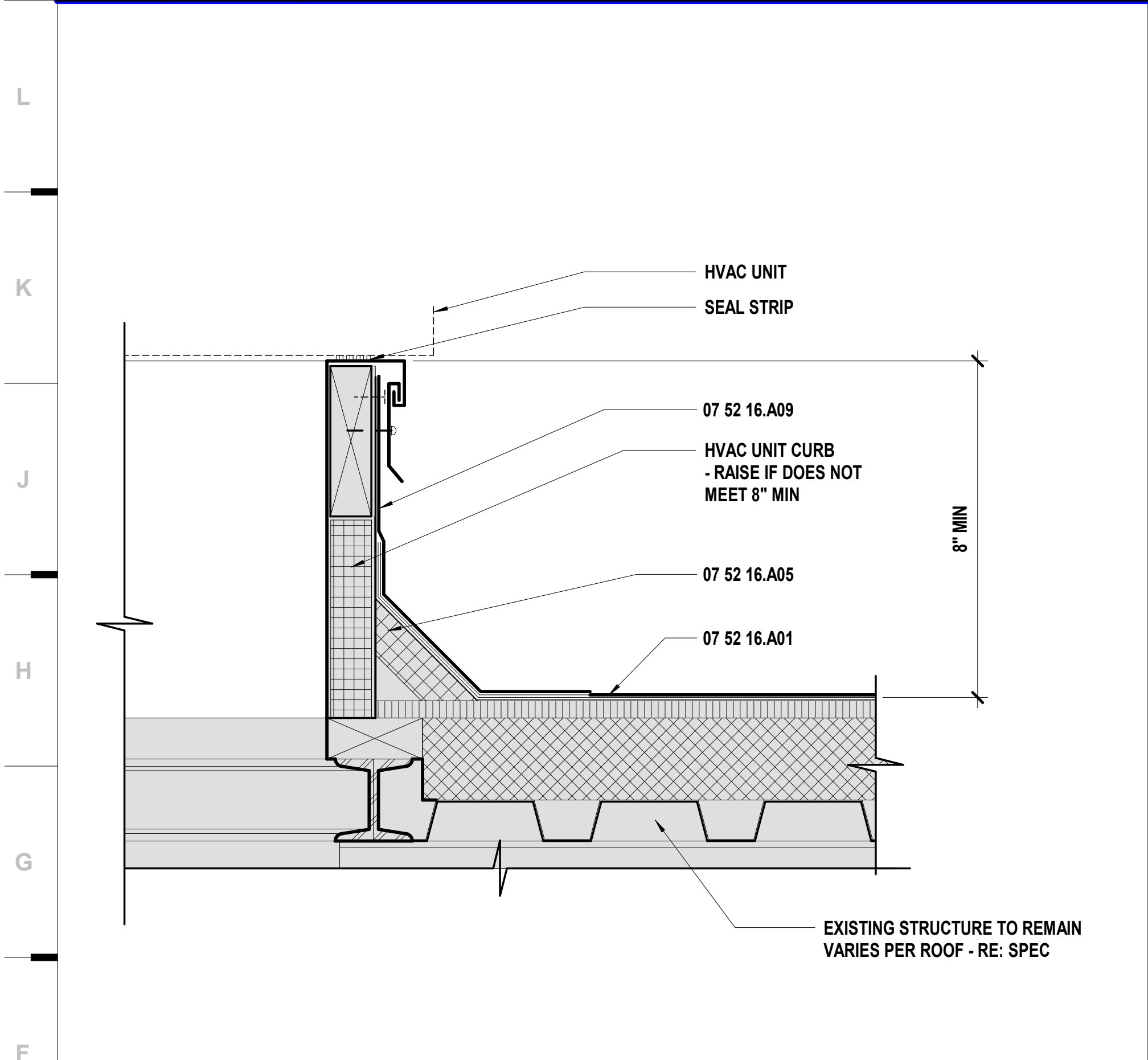
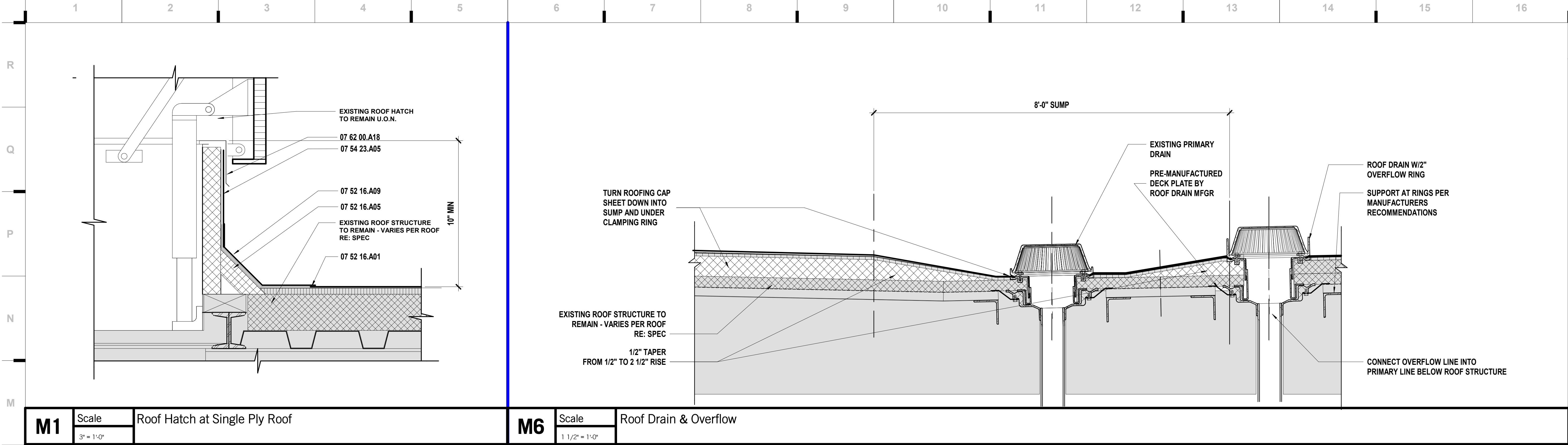
IMAGE 3



IMAGE 4

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A113



SHEET KEYNOTE LEGEND	
05 40 00.A01	COLD-FORMED METAL FRAMING
06 10 00.A13	WOOD BLOCKING/NAILERS
06 10 00.A16	FIRE-RETARDANT TREATED WOOD BLOCKING & NAILERS
06 10 00.A20	FIRE-RETARDANT TREATED PLYWOOD BLOCKING AND BACKING PANELS
06 16 00.A02	FIRE-RETARDANT TREATED PLYWOOD
06 16 00.A03	PLYWOOD WALL SHEATHING
07 21 00.A08	UNFACED GLASS FIBER BLANKET INSULATION
07 52 16.A01	MODIFIED BITUMINOUS ROOFING SYSTEM
07 52 16.A05	INSULATION CANT STRIPS
07 52 16.A09	BASE FLASHING
07 54 23.A05	SHEET FLASHING
07 62 00.A04	FLEXIBLE MEMBRANE CLOSURE COPING
07 62 00.A13	ROOF TO WALL EXPANSION JOINT COVER
07 62 00.A15	COUNTER FLASHING
07 72 00.A12	VENT STACK FLASHING
08 62 00.A01	UNIT SKYLIGHTS

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SHAWNEE-MISSION SCHOOL DISTRICT

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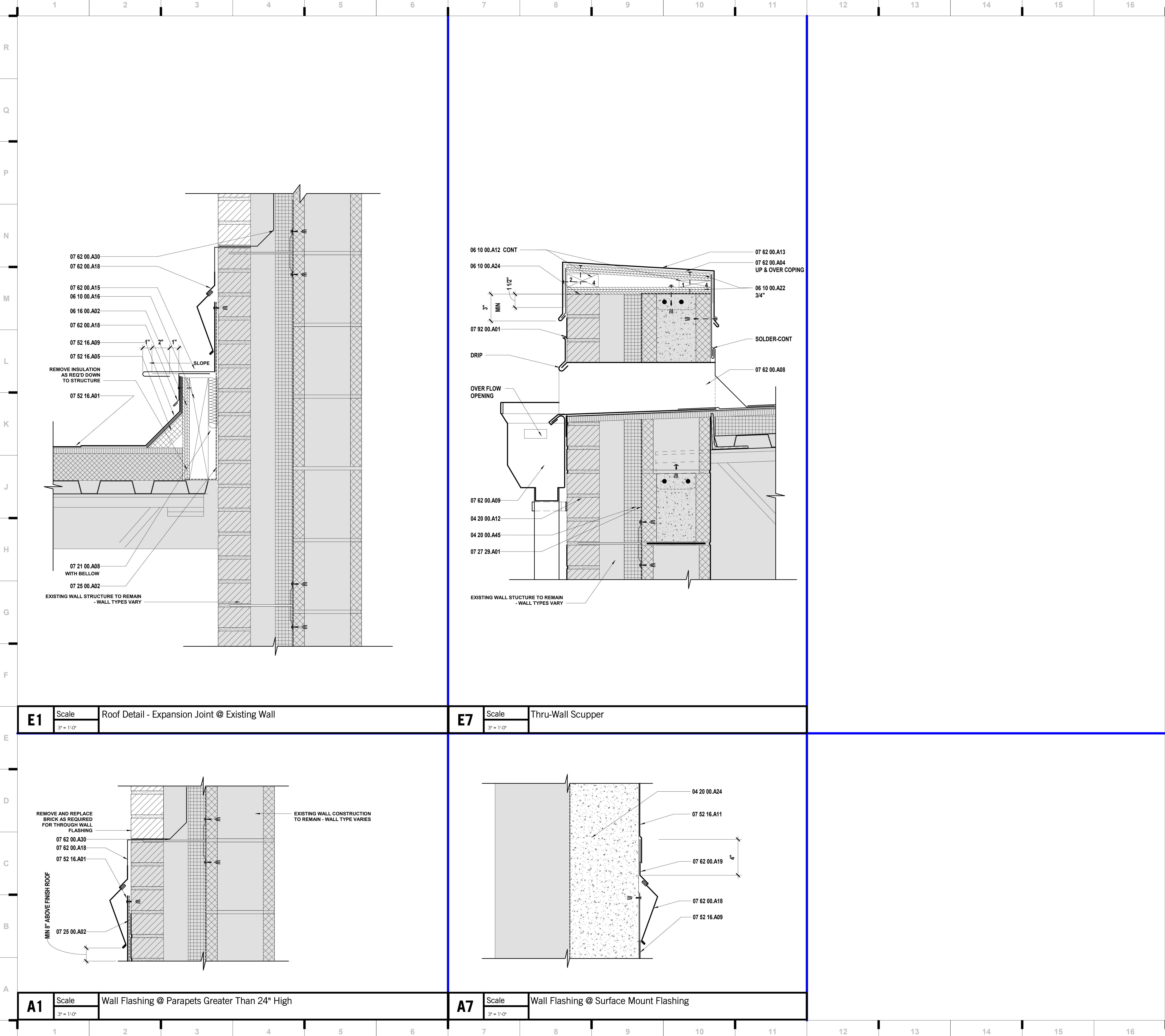
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A210

STANDARD ROOF DETAILS



SHEET KEYNOTE LEGEND

04 20 00.A12	FACE BRICK
04 20 00.A24	MASONRY JOINT REINFORCEMENT
04 20 00.A45	CAVITY WALL INSULATION
06 10 00.A12	PRESERVATIVE TREATED WOOD BLOCKING/NAILERS
06 10 00.A16	FIRE-RETARDANT TREATED WOOD BLOCKING & NAILERS
06 10 00.A22	PRESERVATIVE TREATED PLYWOOD BLOCKING
06 10 00.A24	FLEXIBLE FLASHING
06 16 00.A02	FIRE-RETARDANT TREATED PLYWOOD
07 21 00.A08	UNFACED GLASS FIBER BLANKET INSULATION
07 25 00.A02	SELF-ADHERING WEATHER BARRIERS
07 27 29.A01	VAPOR RETARDING AIR BARRIER COATING
07 52 16.A01	MODIFIED BITUMINOUS ROOFING SYSTEM
07 52 16.A05	INSULATION CANT STRIPS
07 52 16.A09	BASE FLASHING
07 52 16.A11	VERTICAL WALL FLASHING (EPDM)
07 62 00.A04	FLEXIBLE MEMBRANE CLOSURE
07 62 00.A08	SCUPPERS
07 62 00.A09	CONDUCTOR HEADS
07 62 00.A13	COPING
07 62 00.A15	ROOF TO WALL EXPANSION JOINT COVER
07 62 00.A18	COUNTER FLASHING
07 62 00.A19	COUNTER FLASHING RECEIVER
07 62 00.A30	METAL THROUGH-WALL FLASHING
07 92 00.A01	SEALANT

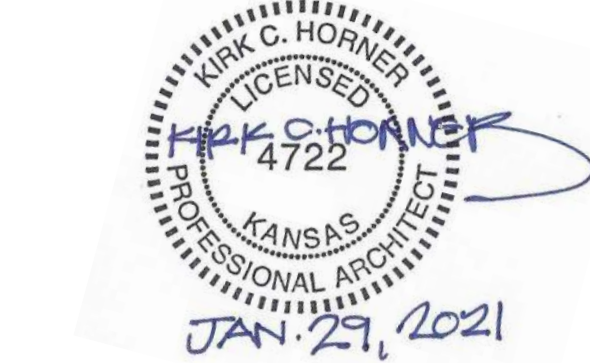
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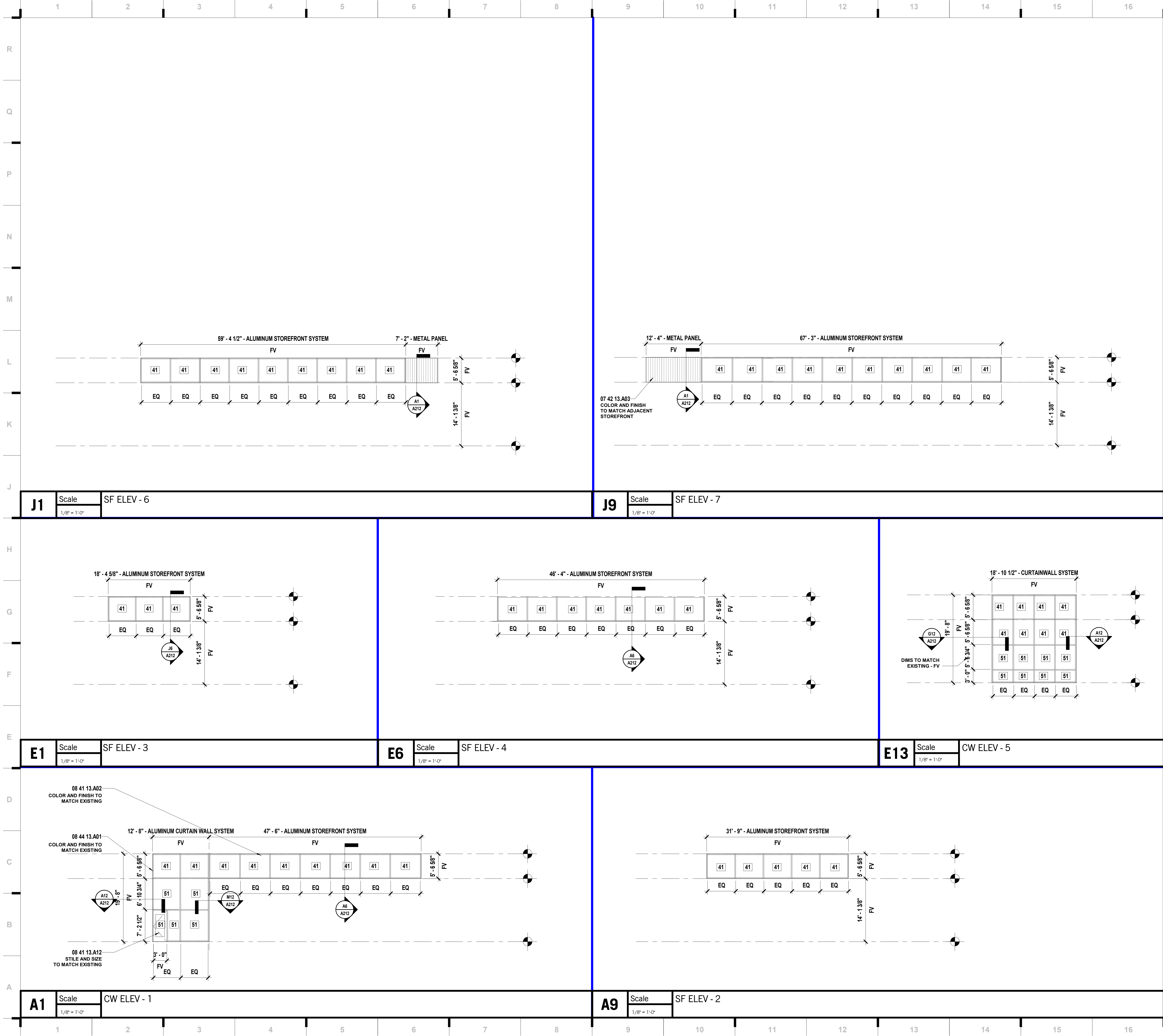
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A211

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SHEET KEYNOTE LEGEND	
07 42 13.A03 08 41 13.A02 08 41 13.A12 08 44 13.A01	CONCEALED FASTENER METAL WALL PANELS THERMAL BROKEN STOREFRONT FRAMING (6") ALUMINUM DOOR (HEAVY DUTY) ALUMINUM CURTAIN WALL

GLASS LEGEND	
GLASS TYPE = 1	
INSULATING FULL-TEMPERED GLASS	
41	08 80 00.A41 LOW-E CLEAR INSULATED FULLY-TEMPERED GLASS
INSULATING LAMINATED GLASS	
51	08 80 00.A51 LOW-E CLEAR INSULATED LAMINATED GLASS

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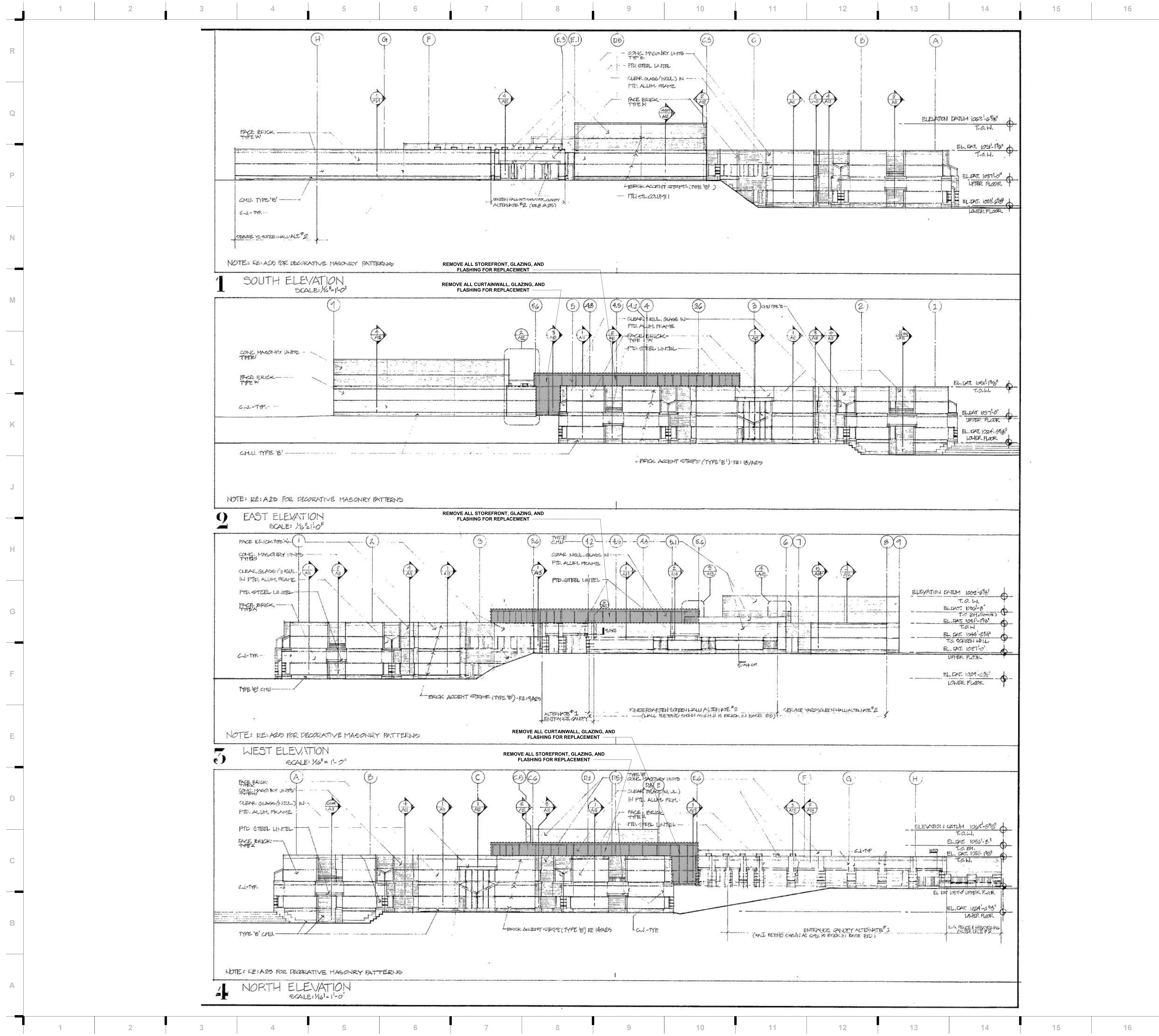
MARK C. HORMER
LICENSED
4722
KANSAS
PROFESSIONAL ARCHITECT
JAN 29, 2021

This Professional Architect's seal and signature are placed on this sheet as evidence of the architect's approval of the work. All drawings, specifications and other documents are subject to the seal and signature of the architect. The architect does not warrant any and all other drawings, or documents not on this sheet.

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A502

ALUM FRAME ELEVATIONS



SHEET KEYNOTE LEGEND

DEMO HATCH LEGEND

SCOPE OF DEMOLITION

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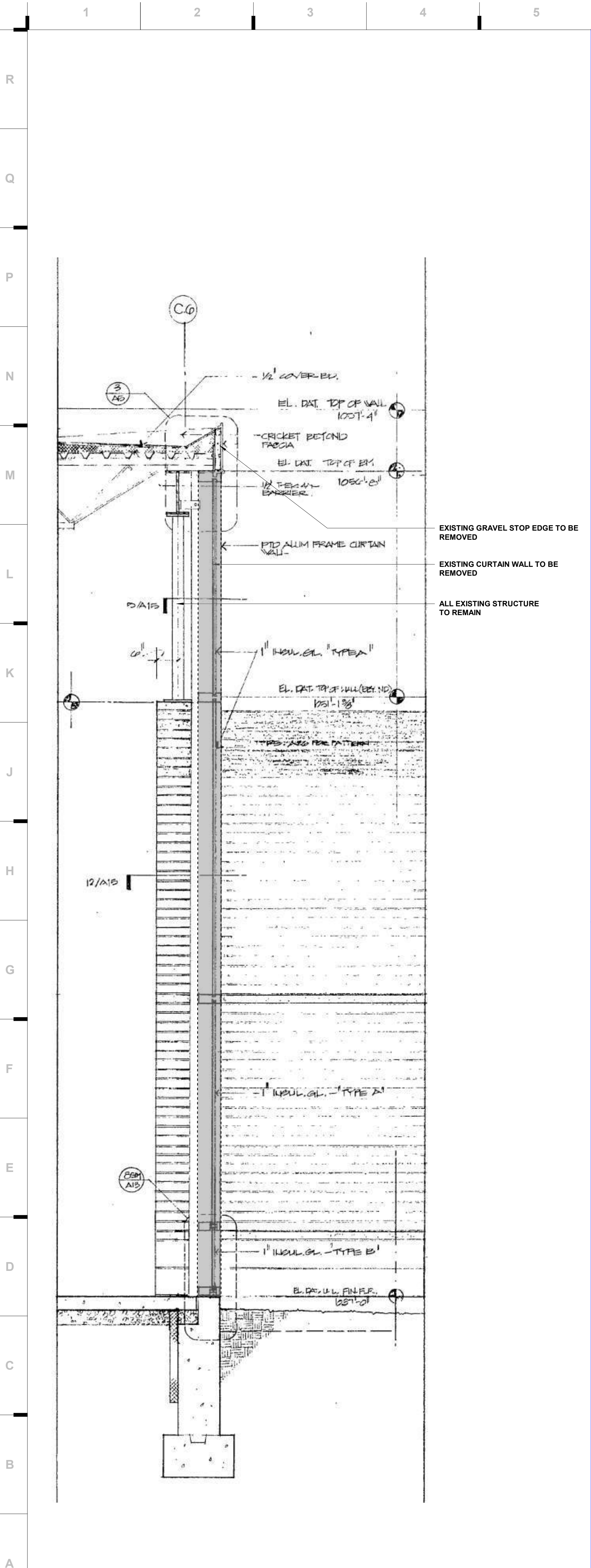
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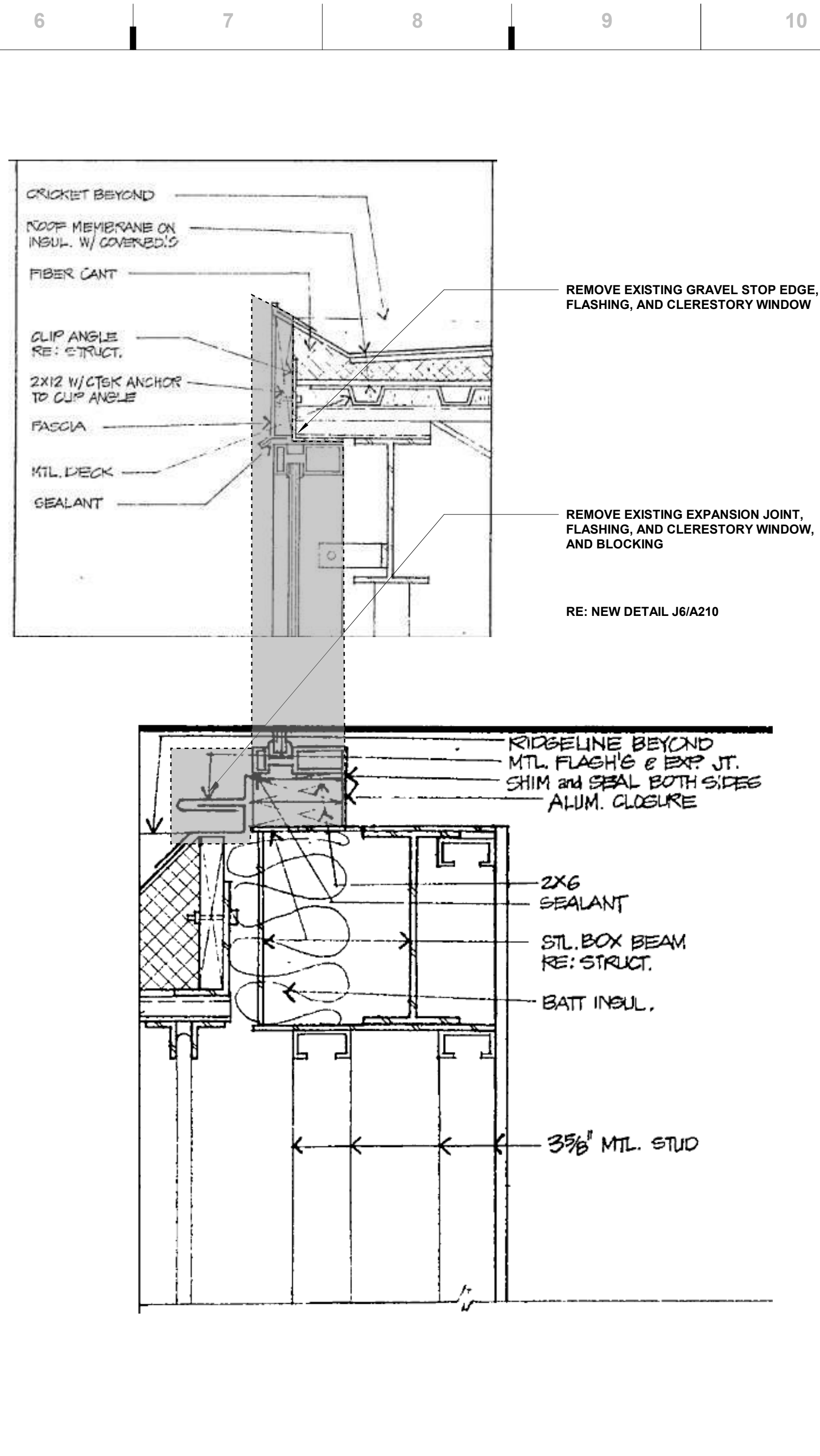
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DA201

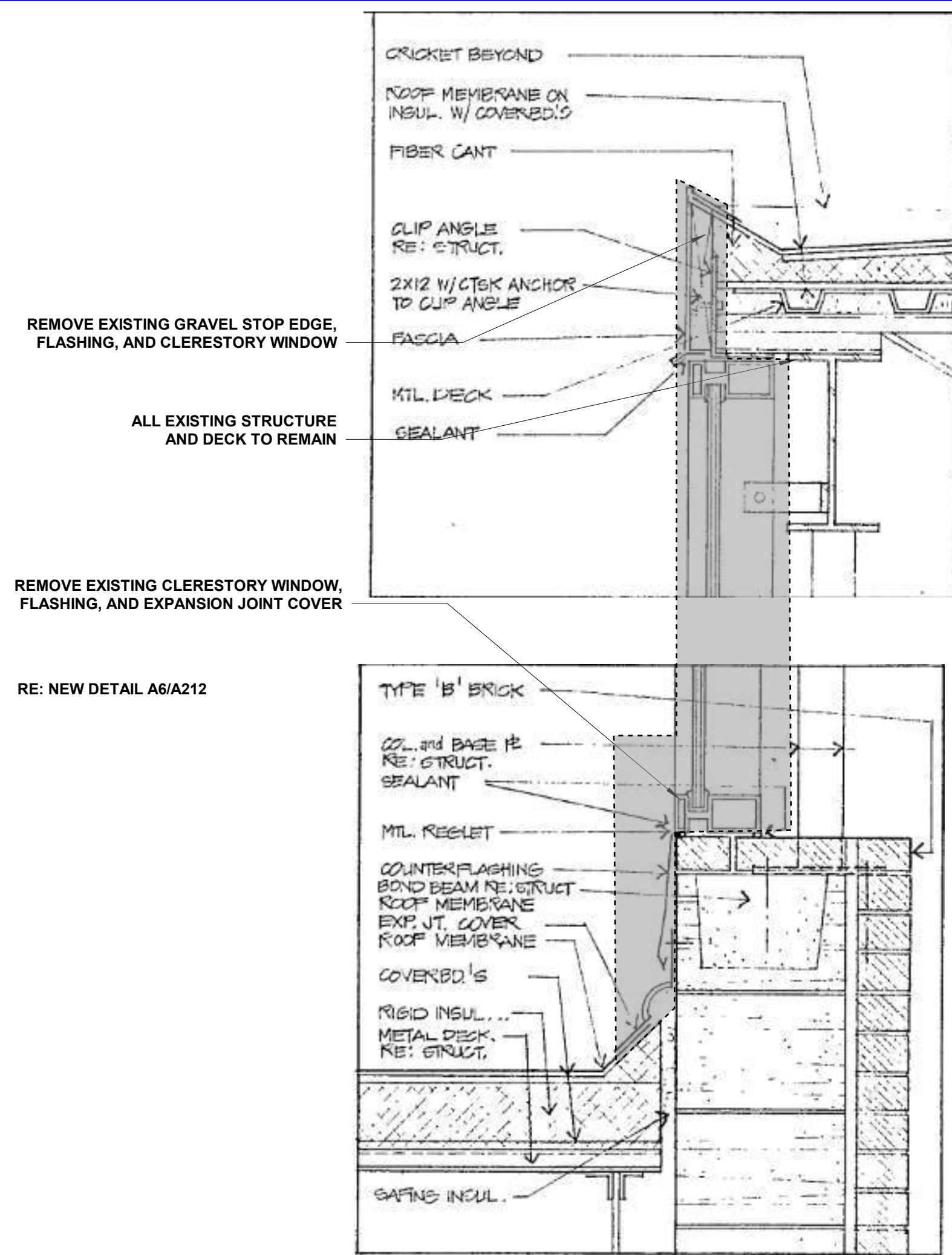
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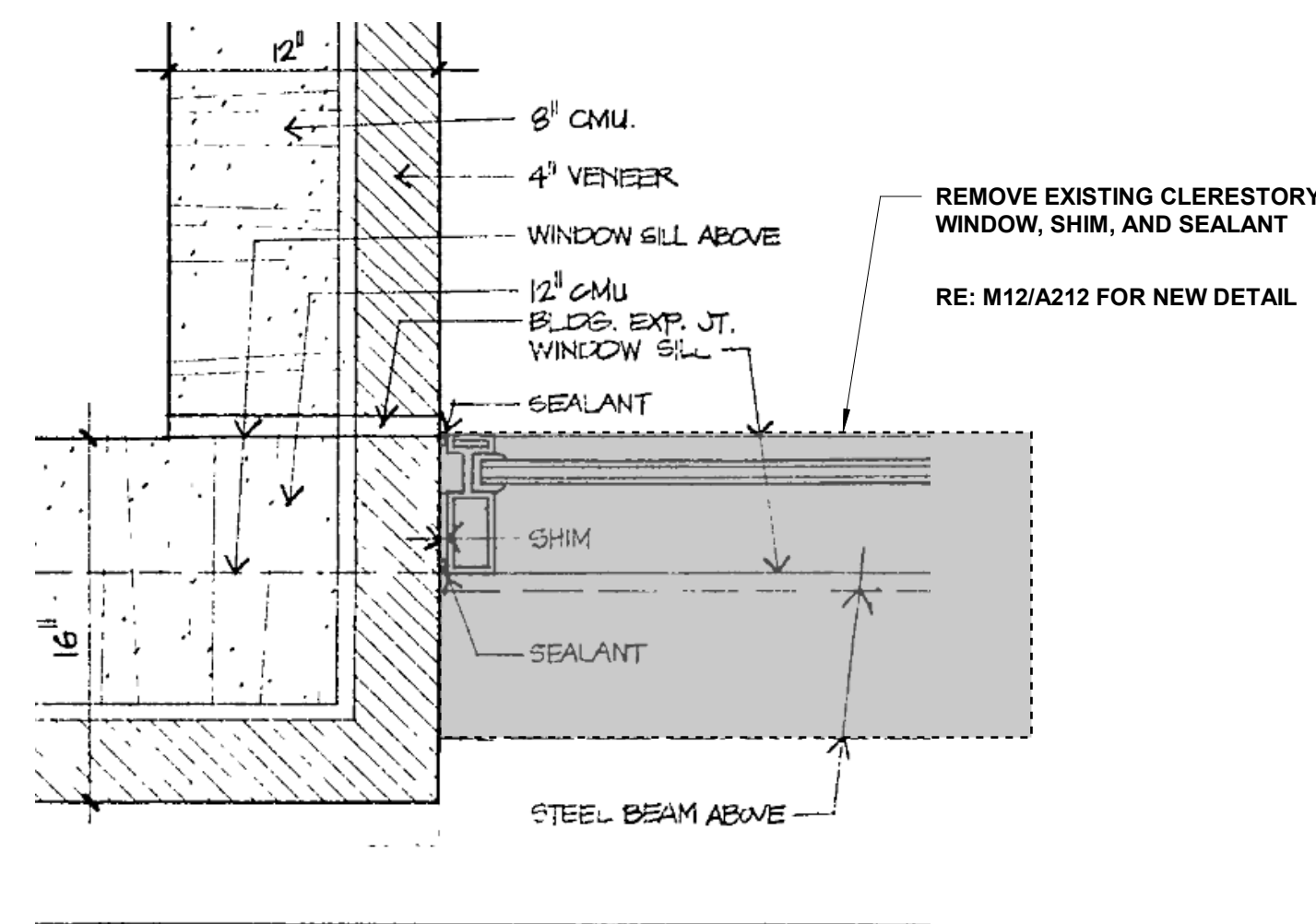
A1 Scale 3/4" = 1'-0" BROKEN ARROW - Existing Details 3A12



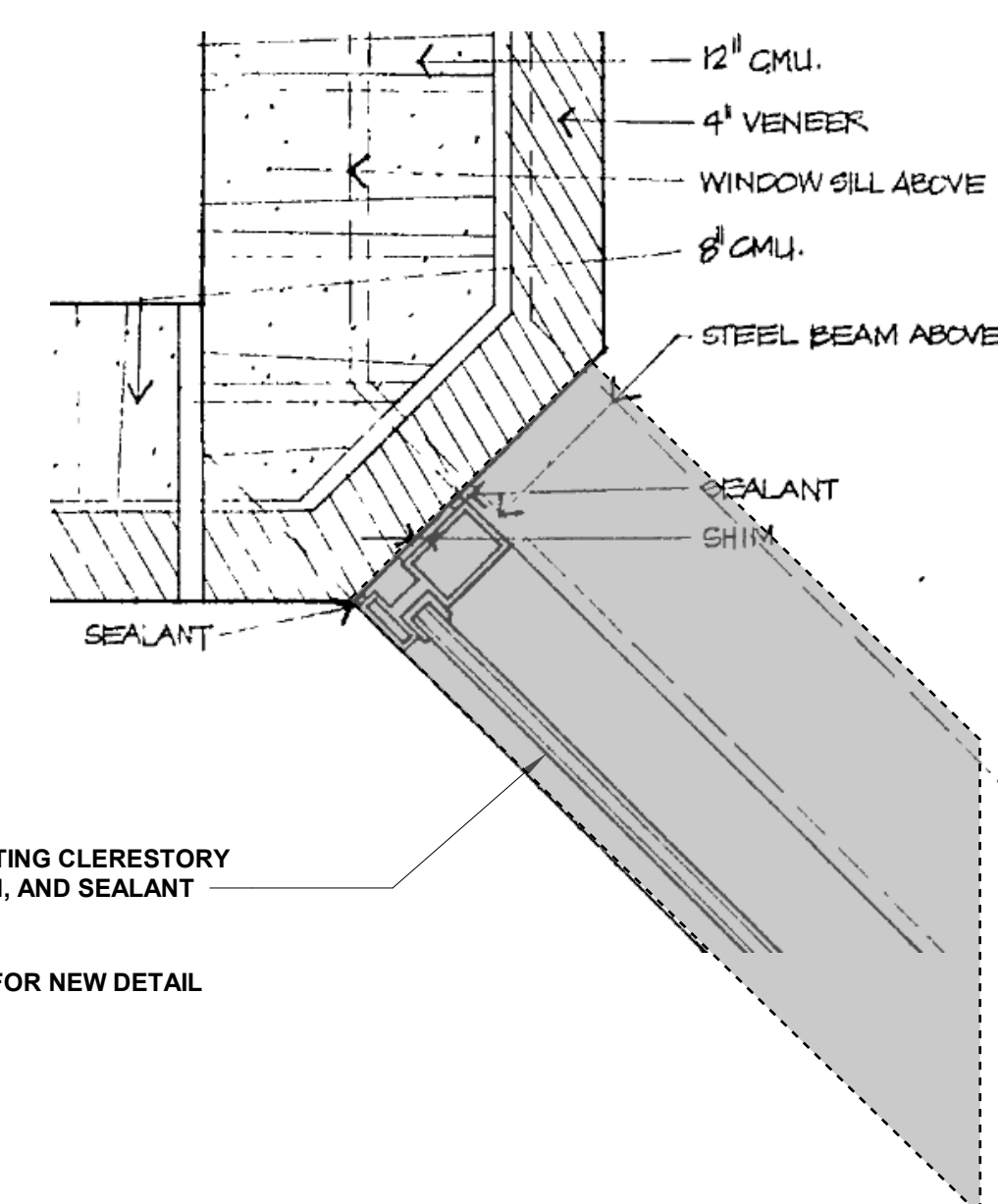
H6 Scale 1 1/2" = 1'-0" BROKEN ARROW - Existing Details 7A15



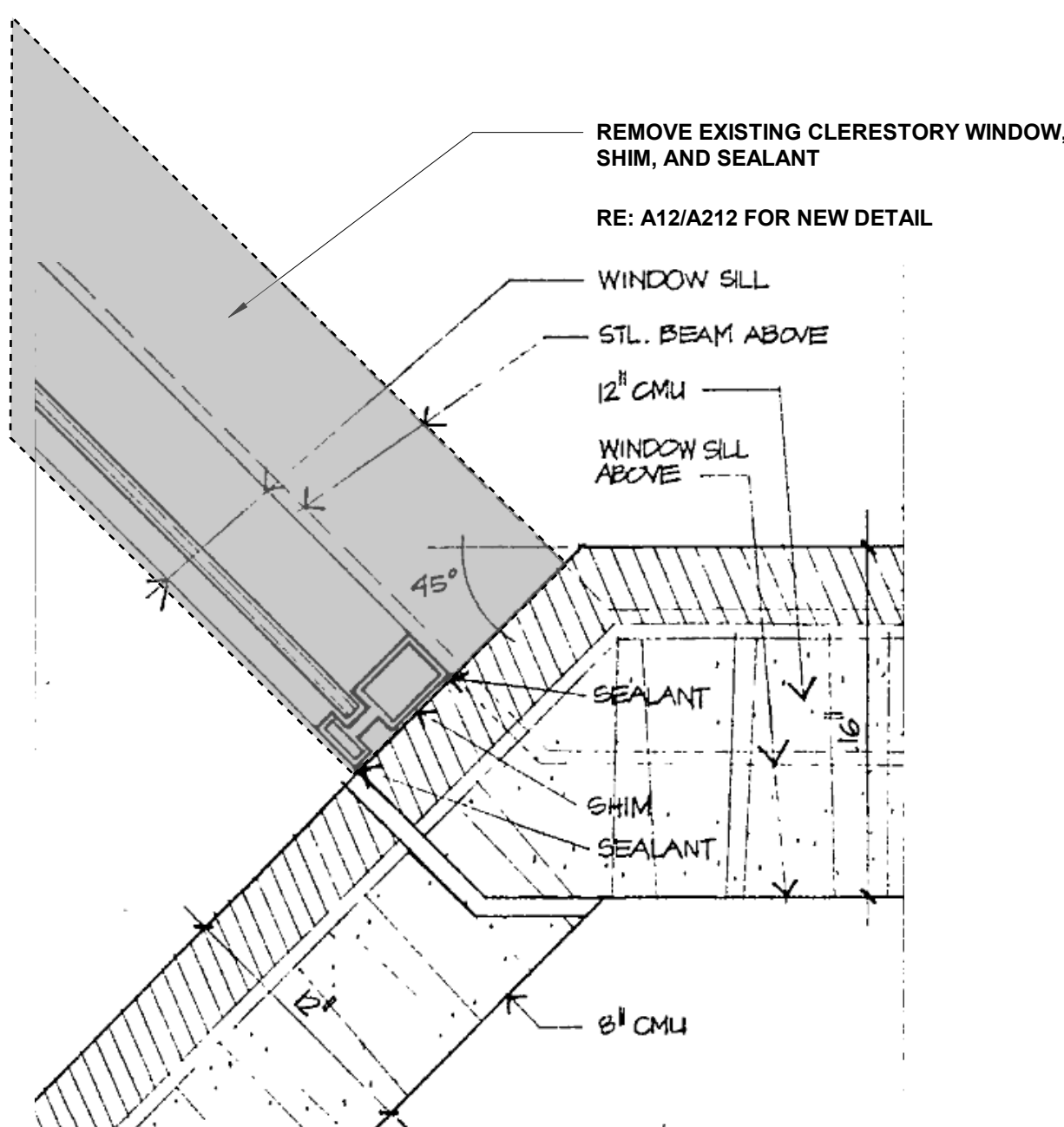
A6 Scale 1 1/2" = 1'-0" BROKEN ARROW - Existing Details 5A5



M12 Scale 1 1/2" = 1'-0" BROKEN ARROW - Existing Details 12A15



G12 Scale 1 1/2" = 1'-0" BROKEN ARROW - Existing Details 9A15



A12 Scale 1 1/2" = 1'-0" BROKEN ARROW - Existing Details 8A15

SHEET KEYNOTE LEGEND

DEMO HATCH LEGEND

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DA210

BROKEN ARROW - EXISTING DEMOLITION DETAILS

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