



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187

www.ellington-ct.gov

TEL. (860) 870-3120

TOWN PLANNER'S OFFICE

FX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING AGENDA MONDAY, SEPTEMBER 28, 2020, 7:00 PM

ZOOM MEETING

**IN-PERSON PUBLIC ATTENDANCE NOT PERMITTED DUE TO COVID19, INSTRUCTIONS
TO JOIN VIRTUAL MEETING PROVIDED BELOW**

I. CALL TO ORDER:

II. PUBLIC COMMENTS (On non-agenda items):

III. PUBLIC HEARING(S):

1. Z202010 – Todd McCann & Alicia Neville, owner/applicant, Request for Special Permit pursuant to Section 3.1.3 (3) of the Ellington Zoning Regulations for a detached garage for more than 3 cars at 118 Sandy Beach Road, APN 150-041-0000, in a RAR (Rural Agricultural Residential) Zone. *(Notice requirements met, hearing may commence.)*
2. Z202011 – Nick Sackandy, owner/applicant, Request for Special Permit pursuant to Section 3.1.3 (3) of the Ellington Zoning Regulations for a detached garage for more than 3 cars at 63 Crane Road, APN 078-003-0004, in a RAR (Rural Agricultural Residential) Zone. *(Notice requirements met, hearing may commence.)*
3. Z202012 – Brent Walder, owner/applicant, Request for Special Permit pursuant to Section 3.1.3 (3) of the Ellington Zoning Regulations for a detached garage for more than 3 cars at 50 Kibbe Road, APN 122-014-0000, in a RAR (Rural Agricultural Residential) Zone. *(A request to withdraw is present.)*
4. Z202013 – Laura Gottier, owner/applicant, Request for Special Permit pursuant to Section 3.1.3 (3) of the Ellington Zoning Regulations for a detached garage for more than 3 cars and pursuant to Section 7.7 Request for a Special Permit for a Home Occupation at 101 Webster Road, APN 145-006-0001, in a RAR (Rural Agricultural Residential) Zone. *(Notice requirements met, hearing may commence.)*

IV. OLD BUSINESS: NONE

V. NEW BUSINESS:

1. Z201506 – Pursuant to a letter from Opportunity Real Estate Equities, LLC, dated August 28, 2020, for Quantum of Ellington II, LLC, request for bond reduction for Windermere Village a multi-family development on the west side of Windermere Avenue.
2. S200701 - Pursuant to a letter from Towne Engineering, Inc., dated September 14, 2020, request to modify Clark Subdivision approved February 26, 2007, to dissolve lot line, release fee-in-lieu-of open space, and release easement rights granted to the Town of Ellington for property located at 74, 76 & 78 Wapping Wood Road.

3. Pursuant to a letter from REV LNG, dated September 23, 2020, request for advisory opinion to consider the construction of a manure digester for Oakridge Dairy at 11 & 33 Jobs Hill Road as a permitted agricultural use in a RAR (Rural Agricultural Residential) Zone.
4. Discuss draft regulation amendment to add a new section to the Ellington Zoning Regulations regarding sidewalks and fee-in-lieu-of sidewalks.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of August 24, 2020 Regular Meeting Minutes
2. Correspondence:
 - a. Revised List of Appraisers as approved August 24, 2020.

VII. ADJOURNMENT:

Next PZC Regular Meeting is scheduled for October 26, 2020

Join Meeting via ZOOM Video Communications:

In order to comply with COVID-19 limited in-person meetings and social distancing requirements, this meeting will be conducted using the online video conferencing service provider Zoom. Meeting details are provided on the Agenda and posted on the Ellington webpage (www.ellington-ct.gov), Agenda & Minutes, Planning & Zoning Commission.

Join Zoom Meeting via link:

<https://zoom.us/j/97373686898>

Meeting ID: 973 7368 6898

Password: 808981

Join Zoom Meeting by phone:

1-646-558-8656 US (New York)

Meeting ID: 973 7368 6898

Password: 808981

\$260.00

Town of Ellington Planning & Zoning Commission Application

Type of Application: Zone Change Amendment to Regulation
 Site Plan Approval Special Permit Modification CGS 8-24

Application #
Z 202010
Date Received
8/14/2020

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Todd McCann & Alicia Neville
Mailing Address: 118 Sandy Beach Rd.
Ellington, CT 06029
Email: aneville@sscinc.com

Applicant's Information (if different than owner)

Name: [same]
Mailing Address: _____
Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860.798.8364

Primary Contact Phone #: _____

Secondary Contact Phone #: 860.794.1591

Secondary Contact Phone #: _____

Signature: [Signature] Date: Aug 13, 2020

Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: 118 Sandy Beach Rd. Ellington, CT 06029

Assessor's Parcel Number (APN): 150 - 041 - 0000 Existing Zone: RAR Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.

Is the project in a public water supply watershed area? Yes No If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.

Description of Request (If more space is needed, please attach additional sheets)

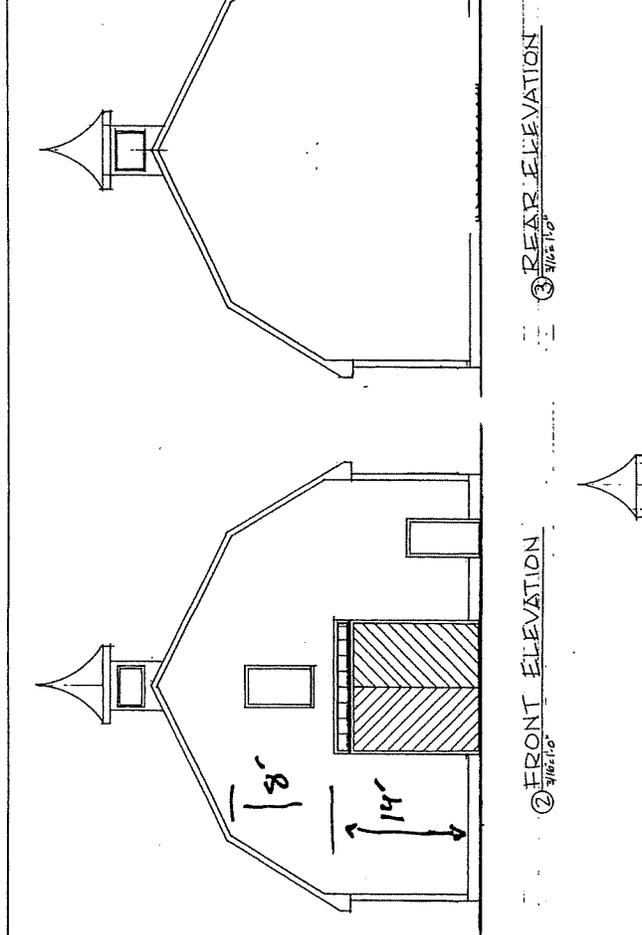
New building of a barn/garage on residential property.
40'x60" w/ second floor storage.

RECEIVED

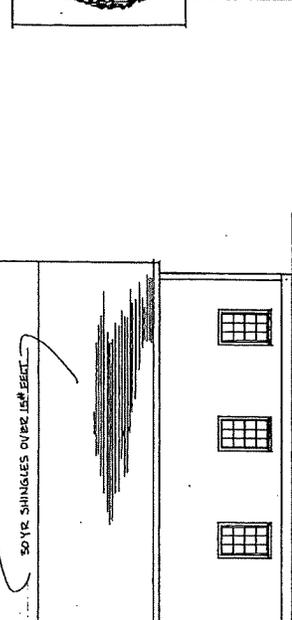
AUG 14 2020

TOWN OF ELLINGTON
PLANNING DEPARTMENT

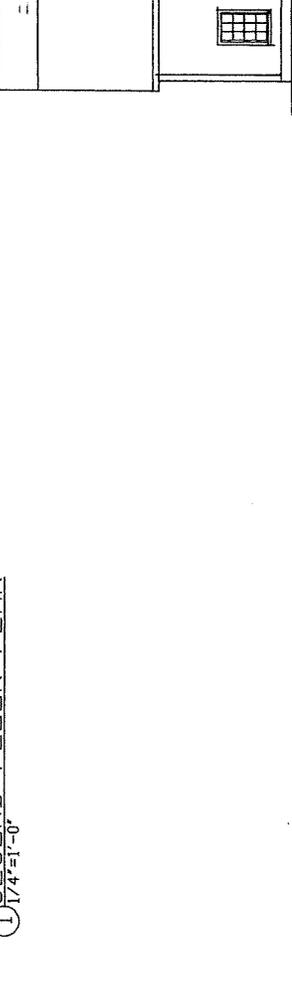
REVISIONS	



① SECOND FLOOR PLAN
1/4"=1'-0"



② FRONT ELEVATION
3/16"=1'-0"



③ REAR ELEVATION
3/16"=1'-0"



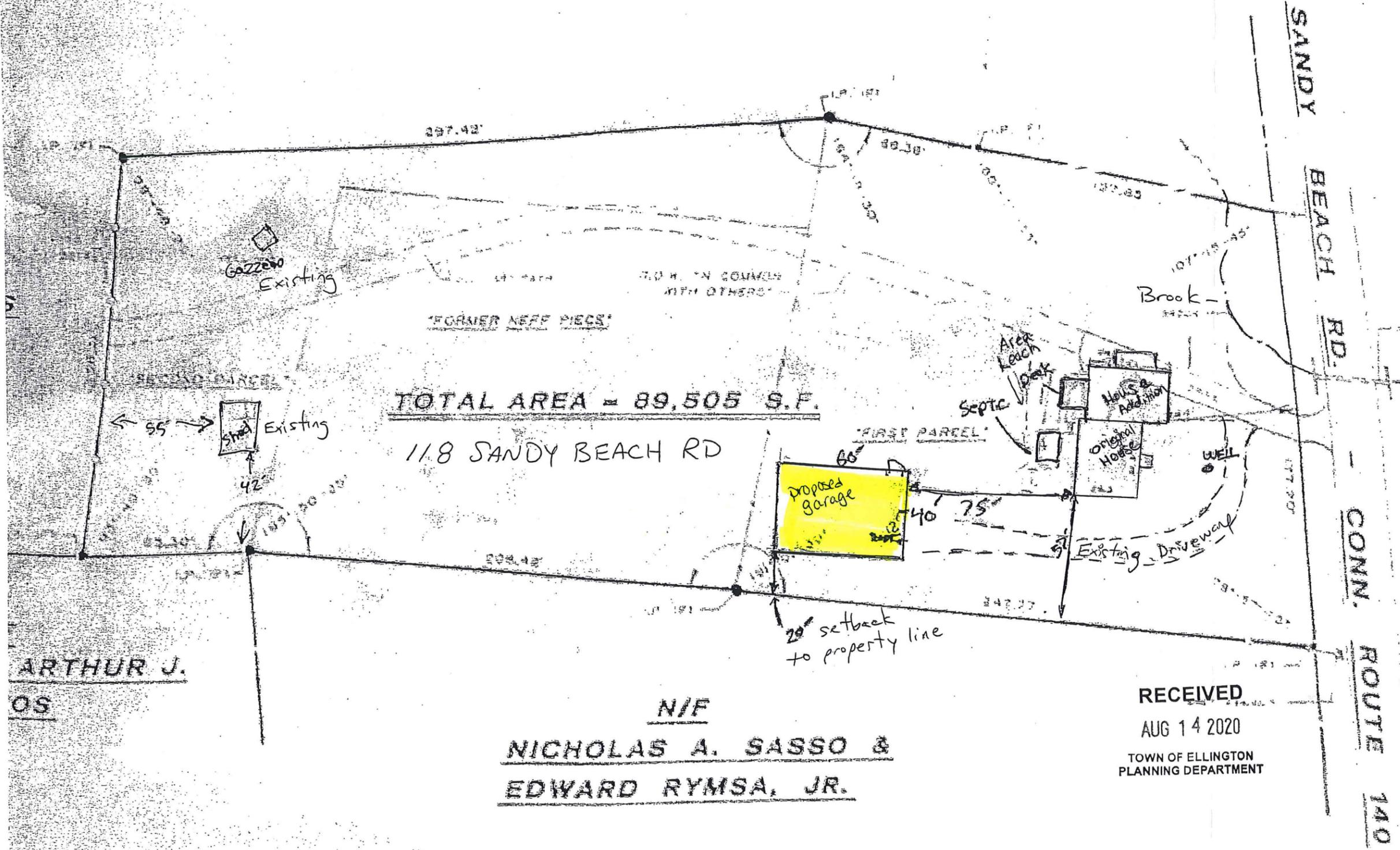
④ SIDE ELEVATION
3/16"=1'-0"

RECEIVED
AUG 20 2020
STON
DEPARTMENT

McCann
#2607

DATE: 3/12/20
SCALE: AS NOTED
SHEET NO. OF

N/F MARY E. HAINES



TOTAL AREA = 89,505 S.F.

118 SANDY BEACH RD

ARTHUR J. OS

N/F
NICHOLAS A. SASSO &
EDWARD RYMSA, JR.

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TOWN OF ELLINGTON
PLANNING DEPARTMENT

Maria L. Dewler
Aug 14, 2020

THESE PLANS WERE PREPARED BY THE ARCHITECT AND ENGINEER AND THE ARCHITECT AND ENGINEER ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT AND ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

Town of Ellington Planning & Zoning Commission Application

Type of Application: Zone Change Amendment to Regulation
 Site Plan Approval Special Permit Modification CGS 8-24

Application #
2202011
 Date Received
8/20/2020

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Applicant's Information (if different than owner)

Name: Nick Sackandy
 Mailing Address: 63 Crane Rd.
Ellington, CT. 06029
 Email: monicasackandy@gmail.com

Name: _____
 Mailing Address: _____
Same as owner
 Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: (860) 830-5506
 Secondary Contact Phone #: (860) 978-7025
 Signature: [Signature] Date: 8/19/20

Primary Contact Phone #: _____
 Secondary Contact Phone #: _____
 Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: 63 Crane Rd. Ellington CT 06029

Assessor's Parcel Number (APN): 078-003-0004 Existing Zone: RAR Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

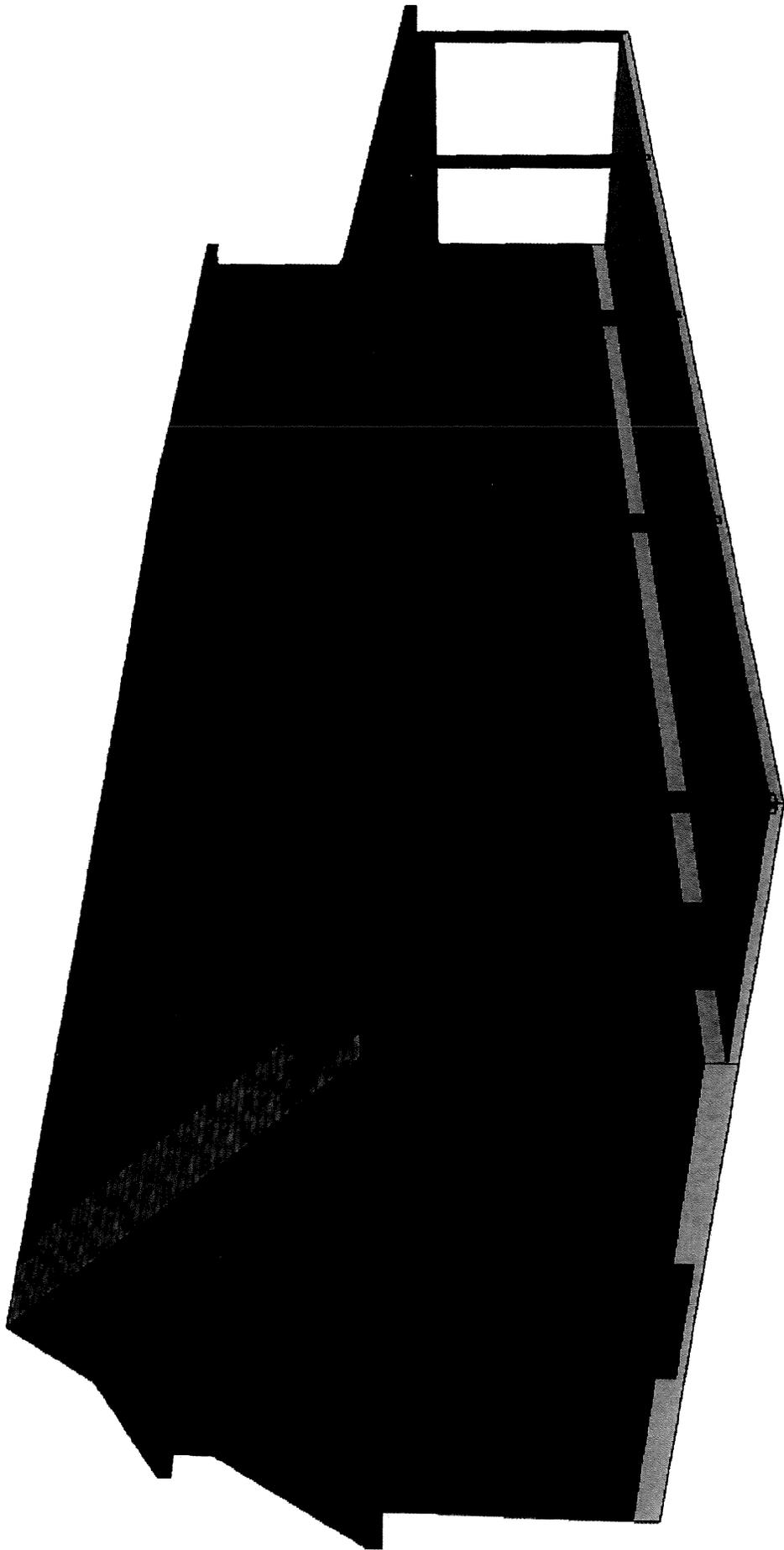
Is parcel within 500' to any municipal boundary? Yes No

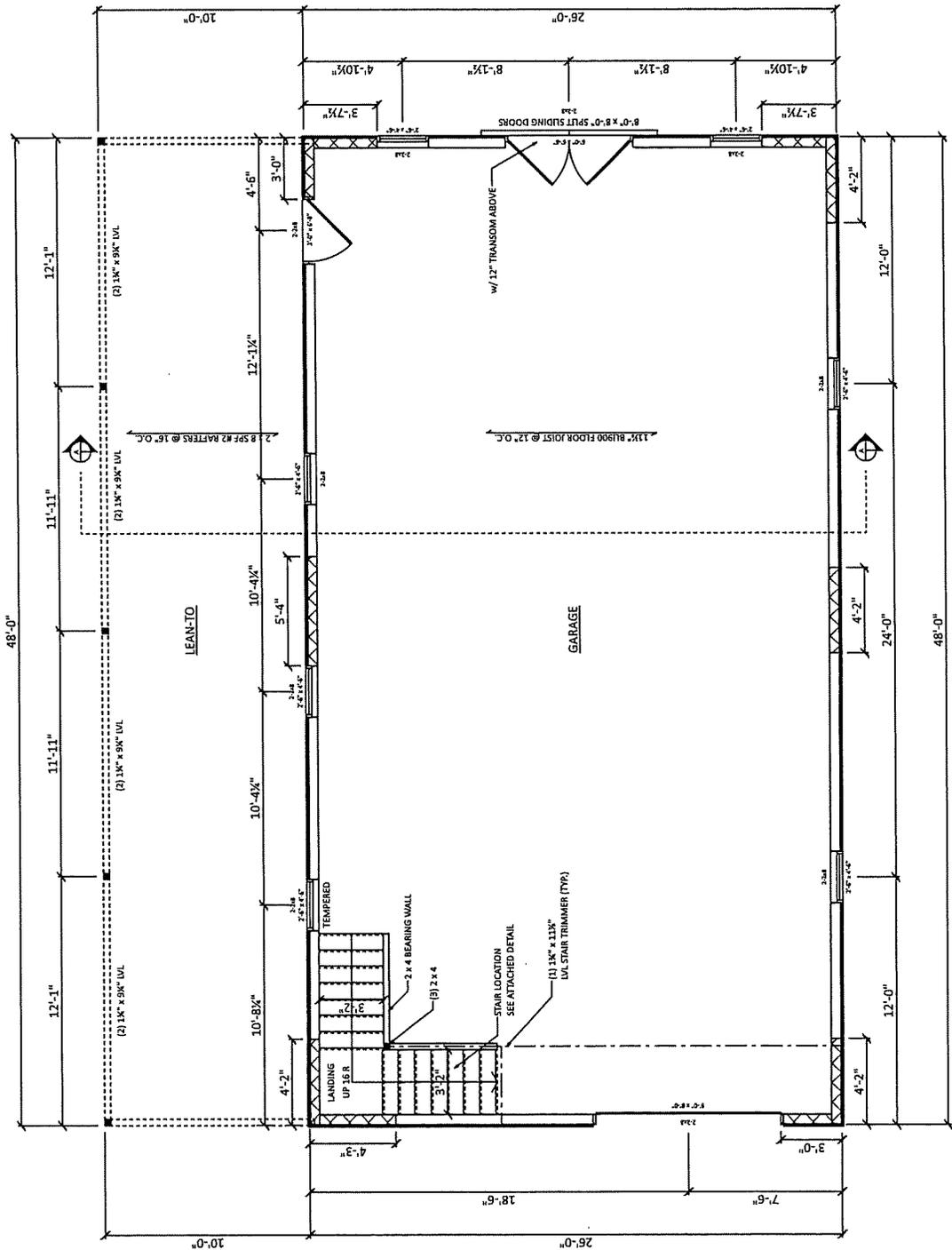
Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (If more space is needed, please attach additional sheets)
26 x 48 Barn w/ a 10-ft Lean-to. To be utilized for general storage, & workshop. Second floor to be lofted, not a full upstairs.

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AUG 20 2020
 TOWN OF ELLINGTON
 PLANNING DEPARTMENT





INDICATES CS-WSP BRACED WALL PANEL:
 8D COMMON (2X4" x 0.131") NAILS AT 6" SPACING
 (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS)

FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

DATE	ITEM	BY
10/17/20	FINAL	ES

CONTRACTOR:
Kiefer Farms
216 West Rd
Farmington, CT 06030

CLIENT NAME & ADDRESS:
Nick Sockandry
63 Crane Road
Farmington, CT 06030

Section A
DATE: 10/17/20
SCALE: AS NOTED
DRAWING NO: 0455-20

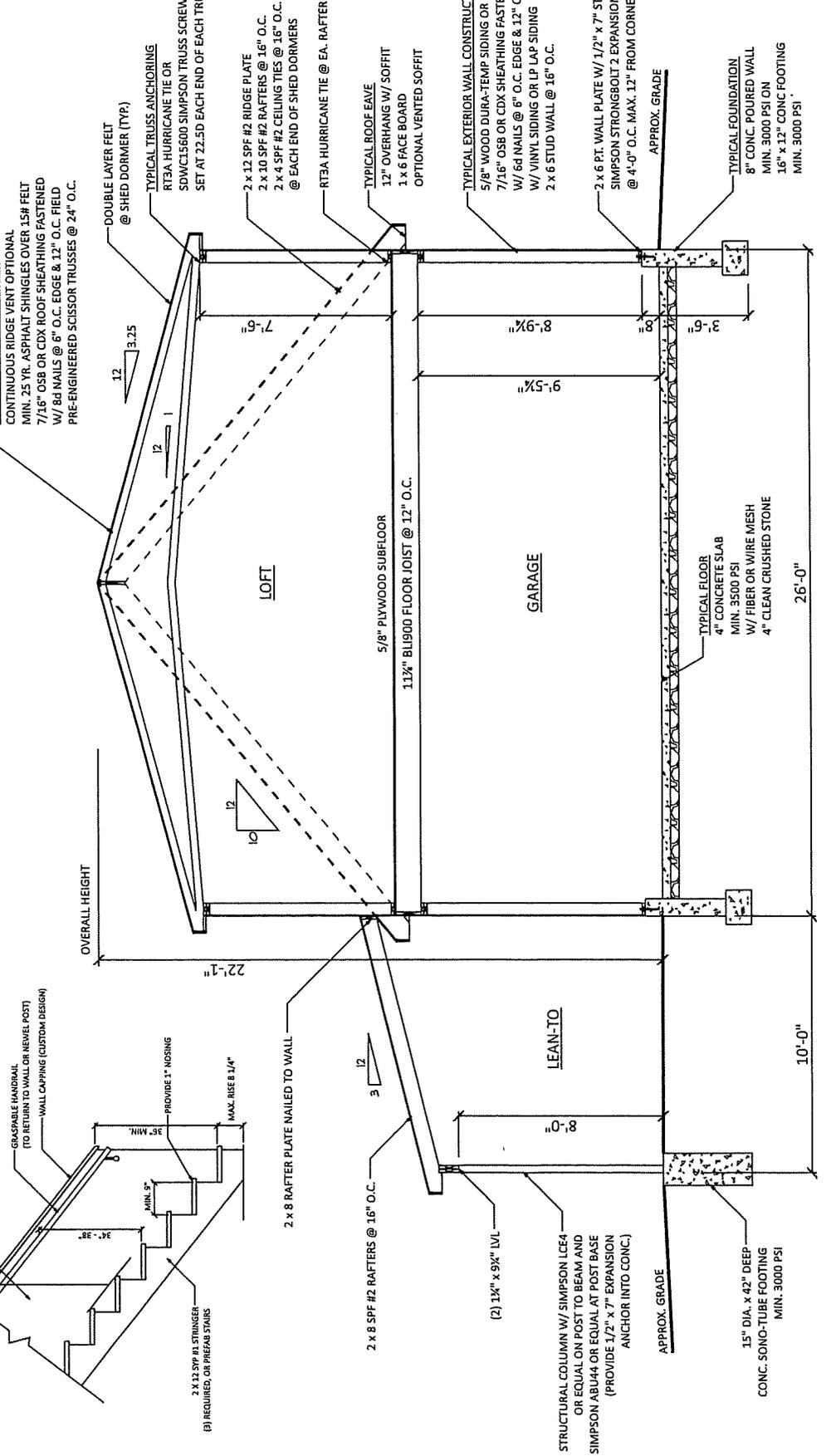
STAIR DETAIL



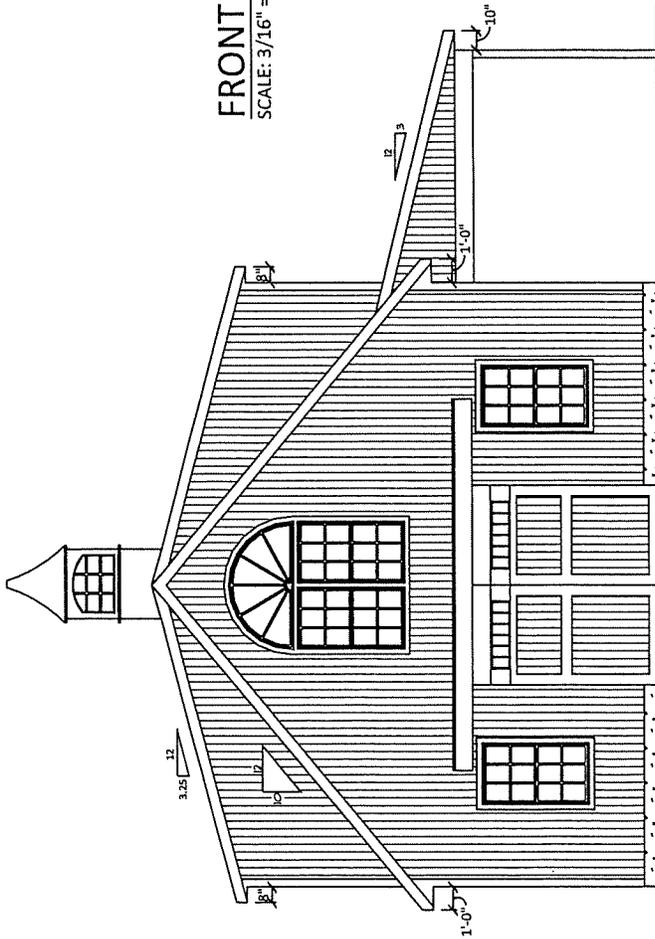
6" MIN. HEADROOM
2x4 FRAME WALL ACTING AS GUARD RAIL OR RAILING BALLUSTERS TO PRECLUDE PASSAGE OF 4" DIA. SPHERE
2x12 SPF #2 STRINGER (B) REQUIRED, OR PREFAB STAIRS
2x8 RAFTER PLATE NAILED TO WALL
2x8 RAFTER @ 16" O.C.
MIN. 5"
PROVIDE 1" NOSING
MAX. RISE 8 1/4"

SECTION A

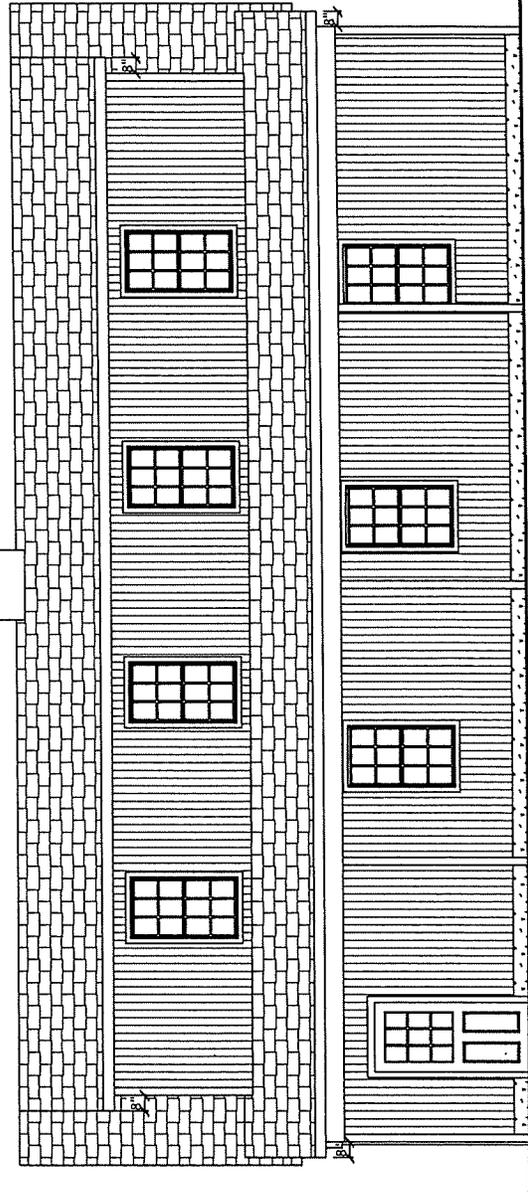
SCALE: 1/4" = 1'-0"



TYPICAL ROOF CONSTRUCTION CONTINUOUS RIDGE VENT OPTIONAL MIN. 25 YR. ASPHALT SHINGLES OVER 1/8" FELT 7/16" OSB OR CDX ROOF SHEATHING FASTENED W/ 6d NAILS @ 6" O.C. EDGE & 12" O.C. FIELD PRE-ENGINEERED SCISSOR TRUSSES @ 24" O.C.
DOUBLE LAYER FELT @ SHED DORMER (TYP.)
TYPICAL TRUSS ANCHORING RT3A HURRICANE TIE OR SOWIC15600 SIMPSON TRUSS SCREW SET AT 22.5D EACH END OF EACH TRUSS
2 x 12 SPF #2 RIDGE PLATE
2 x 10 SPF #2 RAFTERS @ 16" O.C.
2 x 4 SPF #2 CEILING TIES @ 16" O.C. @ EACH END OF SHED DORMERS
RT3A HURRICANE TIE @ EA. RAFTER
TYPICAL ROOF EAVE 12" OVERHANG W/ SOFFIT 1 x 6 FACE BOARD OPTIONAL VENTED SOFFIT
TYPICAL EXTERIOR WALL CONSTRUCTION 5/8" WOOD DURA-TEMP SIDING OR 7/16" OSB OR CDX SHEATHING FASTENED W/ 6d NAILS @ 6" O.C. EDGE & 12" O.C. FIELD W/ VINYL SIDING OR LP LAP SIDING 2 x 6 STUD WALL @ 16" O.C.
2 x 6 PT. WALL PLATE W/ 1/2" x 7" STB2-50700 SIMPSON STRONGBOLT 2 EXPANSION ANCHOR @ 4'-0" O.C. MAX. 12" FROM CORNERS @ SPLICES APPROX. GRADE
TYPICAL FOUNDATION 8" CONC. POURED WALL MIN. 3000 PSI ON 16" x 12" CONC. FOOTING MIN. 3000 PSI
LOFT 5/8" PLYWOOD SUBFLOOR 11/2" BLUE WOOD JOIST @ 12" O.C.
GARAGE TYPICAL FLOOR 4" CONCRETE SLAB MIN. 3500 PSI W/ FIBER OR WIRE MESH 4" CLEAN CRUSHED STONE
OVERALL HEIGHT 22'-1"
9'-5 1/2"
8'-9 1/2"
3'-6 1/2"
26'-0"
10'-0"
APPROX. GRADE
15" DIA. x 42" DEEP CONC. SONG-TUBE FOOTING MIN. 3000 PSI
STRUCTURAL COLUMN W/ SIMPSON LCE4 OR EQUAL ON POST TO BEAM AND SIMPSON ABU44 OR EQUAL AT POST BASE (PROVIDE 1/2" x 7" EXPANSION ANCHOR INTO CONC.)
(2) 1 1/2" x 9 1/2" LVL
2 x 8 SPF #2 RAFTERS @ 16" O.C.
LEAN-TO
2 x 8 RAFTER PLATE NAILED TO WALL
3"
12"
22'-1"



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

DRAFTING CONCEPTS
 Drafting
 Building
 3D Color Rendering
 5238 Old Stratford Rd.
 Warren, PA 15355
 P: 724-766-8225
 F: 724-766-8225

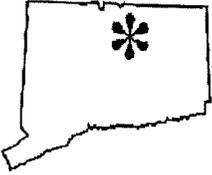
ANY CHANGES FROM THESE DRAWINGS
 MUST BE BROUGHT TO THE ATTENTION
 OF DRAFTING CONCEPTS AND APPROVED
 BEFORE CONSTRUCTION. ALL DIMENSIONS
 AND SET CONDITIONS SHALL BE KEPT AS
 BY CONTRACTOR PRIOR TO CONSTRUCTION.
 THESE DRAWINGS SHALL NOT BE USED
 FOR ANY OTHER PROJECTS.

DATE	BY	ITEM	FINAL	ESX
8/17/20				

CONTRACTOR:
 Klotz Farms
 216 West Rd
 Wagon, CT 06203

CHEFF NAME & ADDRESS:
 Nick Sackandy
 63 Crane Road
 Ellington, CT 06029

Elevation
 DATE: 8/17/20
 DRAWN BY: MS
 AS NOTED
 DRAWING NO: D483-20



North Central District Health Department

- Enfield - 31 North Main Street - Enfield, CT 06082 - (860) 745-0383 Fax 745-3188
- Vernon - 375 Hatford Turnpike, Room 120 - Vernon-Rockville, CT 06066 - (860) 872-1501 Fax 872-1531
- Windham - Town Hall - 979 Main Street - Willimantic, CT 06226 - (860) 465-3033 Fax 465-3032
- Stafford - Town Hall, 1 Main Street - Stafford Springs, CT 06076 - (860) 684-5609 Fax 684-1768

Plan Approval

For

Building Additions, Conversions, Changes of Use, or Accessory Structures

63	Crane Road	Ellington		
Street #	Street Name	Town		
Nicholas Sackandy	63 Crane Road	Ellington	CT	06029
Owner Name	Owner Address	Town	ST	Zip

This approval indicates that the proposal has been reviewed by the Health Department and is in compliance with applicable regulations as contained in the Public Health Code for this project. **Permission is hereby granted on 8/14/2020, to construct a 28' x 48' Barn w/ 10' Lean-to as shown on plan received 8/5/2020.**

Property is serviced by Private Well and Onsite Septic System. The 28' x 48' Barn with 10' Lean-to is approved as a dry building with no water service and shall be set no closer than 15' to the Septic System and Well.

All zoning requirements for any accessory structure must be met prior to the installation of the 28' x 48' Barn with 10' Lean-to.

Do not shed water towards the Well. No toxic items stored in the barn unless they are in approved sealed containers.

CARE MUST BE TAKEN TO PROTECT THE SEPTIC SYSTEM DURING CONSTRUCTION/INSTALLATION

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AUG 26 2020
TOWN OF ELLINGTON
PLANNING DEPARTMENT

Please Note that the above approval indicates compliance with Connecticut Public Health Requirements. Any other permits required from Zoning, Inland Wetlands or Building Officials are not ensured by this approval.

Approved by:

Rachel Colonna, B.S.

Sanitarian

PROPOSED
new
structure

existing old
shed (30'x12')

NO. CENTRAL DISTRICT HEALTH DEPT.
 APPROVED FOR CONSTRUCTION
 NOT APPROVED FOR CONSTRUCTION
Per 28'x48' Beam w/10' lean to LOT
8/14/2020 R. Colonic 229,975
DATE HEALTH OFFICIAL 5-28 a

3E
UNDERGROUND
TRANSFORMER

EXISTING HOUSE
FF=245.1
TW=244.0
GF=243.5
BSMT=236.5

A/C UNIT

20'x42'x31'
EXISTING
pool
STOCKPILE AREA

SPA

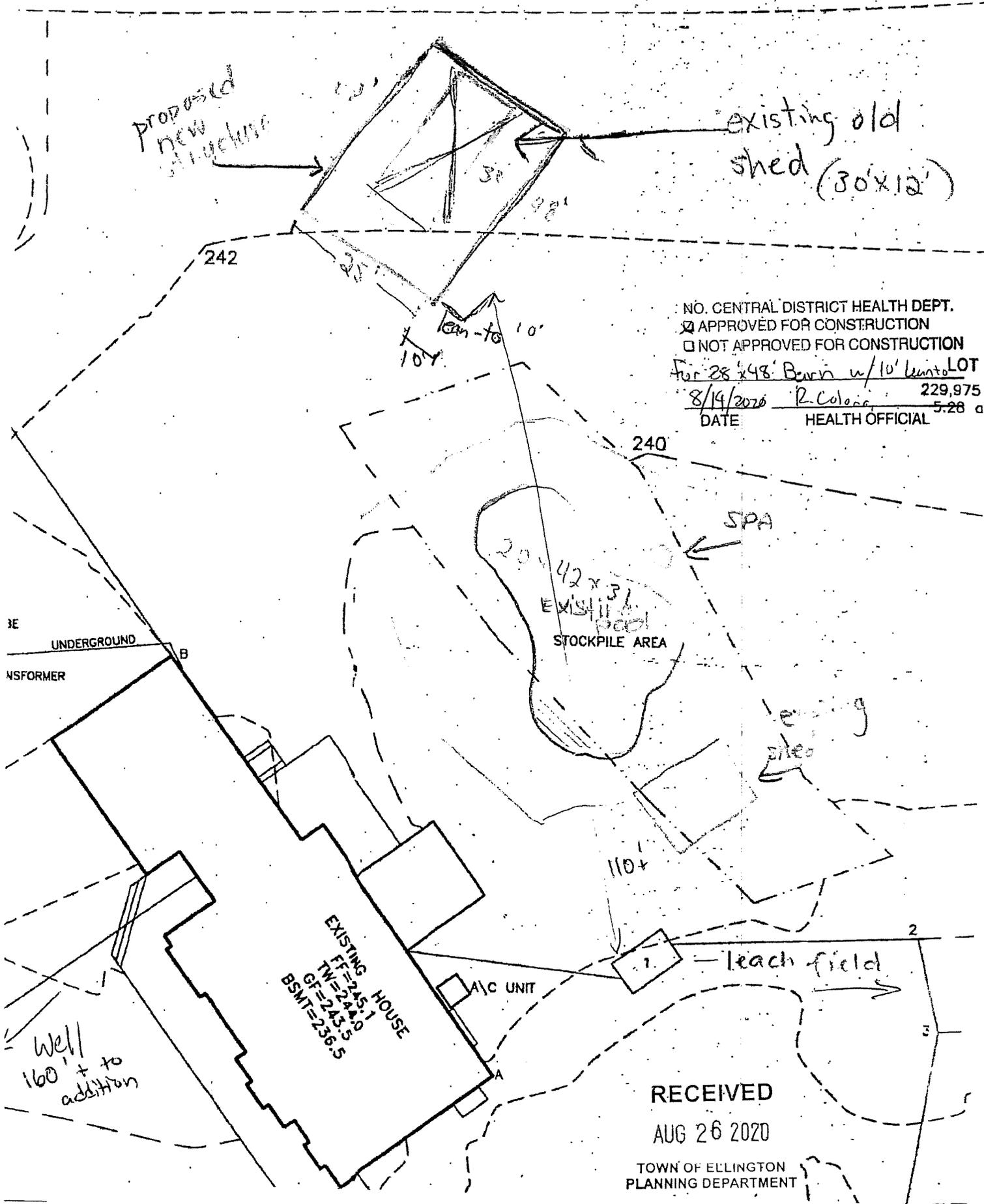
existing
shed

1 - leach field

RECEIVED

AUG 26 2020

TOWN OF ELLINGTON
PLANNING DEPARTMENT



Barbra Galovich

2/20/2012

Subject: FW: Walder -- 50 Kibbe -- Proposed Barn for approval

From: Brent Walder [mailto:brentwalder@gmail.com]

Sent: Monday, August 31, 2020 10:48 AM

To: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Subject: Re: Walder -- 50 Kibbe -- Proposed Barn for approval

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Barbra,

After additional deliberation, we have decided to go with a much smaller shed (probably 14x24) that will not require a special exception. We will be finalizing our proposed direction over the next few weeks and will then work through the normal permit process. Thank you for all of your help and support. Please let me know if you have any questions.

-Brent Walder
860-335-8256

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # 2202013 Date Received 8/21/2020
---	--

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Laura Gottier

Mailing Address: 101 Webster Rd
Ellington, CT 06029

Email: kitchensbybruce@gmail.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860 882-4497 Bruce

Secondary Contact Phone #: 860 424-2415 Laura

Signature: Laura Gottier Date: 8/21/20

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: (same)

Mailing Address: _____

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

RECEIVED
AUG 21 2020
TOWN OF ELLINGTON
PLANNING DEPARTMENT

Street Address: 101 Webster Rd.

Assessor's Parcel Number (APN): 145 - 006 - 0001 Existing Zone: RAR Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (If more space is needed, please attach additional sheets) Pursuant to Section 7.7 for a

see attached typed description - Home occupation
and pursuant to Section 3.1.3(3) for more than 3 cars for a
detached garage.

Bruce and Laura Gottier
101 Webster Rd
Ellington, CT 06029

Description:

Thank you for your time to review and give consideration to our application of special permit for a home occupation and construction of an oversized detached garage. Kitchens by Bruce is a small full service remodeling company that specializes in what we call "turn key" kitchen and bath remodeling. The business is owned by Bruce and Laura Gottier and we have 2 employees; one being a field worker/project manager and the other a designer doing computer renderings. The rest of our team is made up of a close-knit group of local subcontractors, each specializing in their own field. Most of our day to day workings are at the customer's residence.

The building size is planned to be 50'x80'. Attached is a proposed sketch with elevations and a floorplan of how the space will be broken down between personal and business use. We started Kitchens by Bruce in 2005 and have been working under special permit in Willington since 2010 until now when we sold our Willington property. We are looking to copy the same model as we have used for the last 10 years or so.

duplicate paragraph by mistake

Kitchens by Bruce is a small full service remodeling company that specializes in what we call "turn key" kitchen and bath remodeling. The business is owned by Bruce and Laura Gottier and we have 2 employees one being a field worker/project manager and the other a designer doing computer renderings. The rest of our team is made up of a close knit group of subcontractors, each specializing in their own field. Most of our day to day workings are at the construction site.

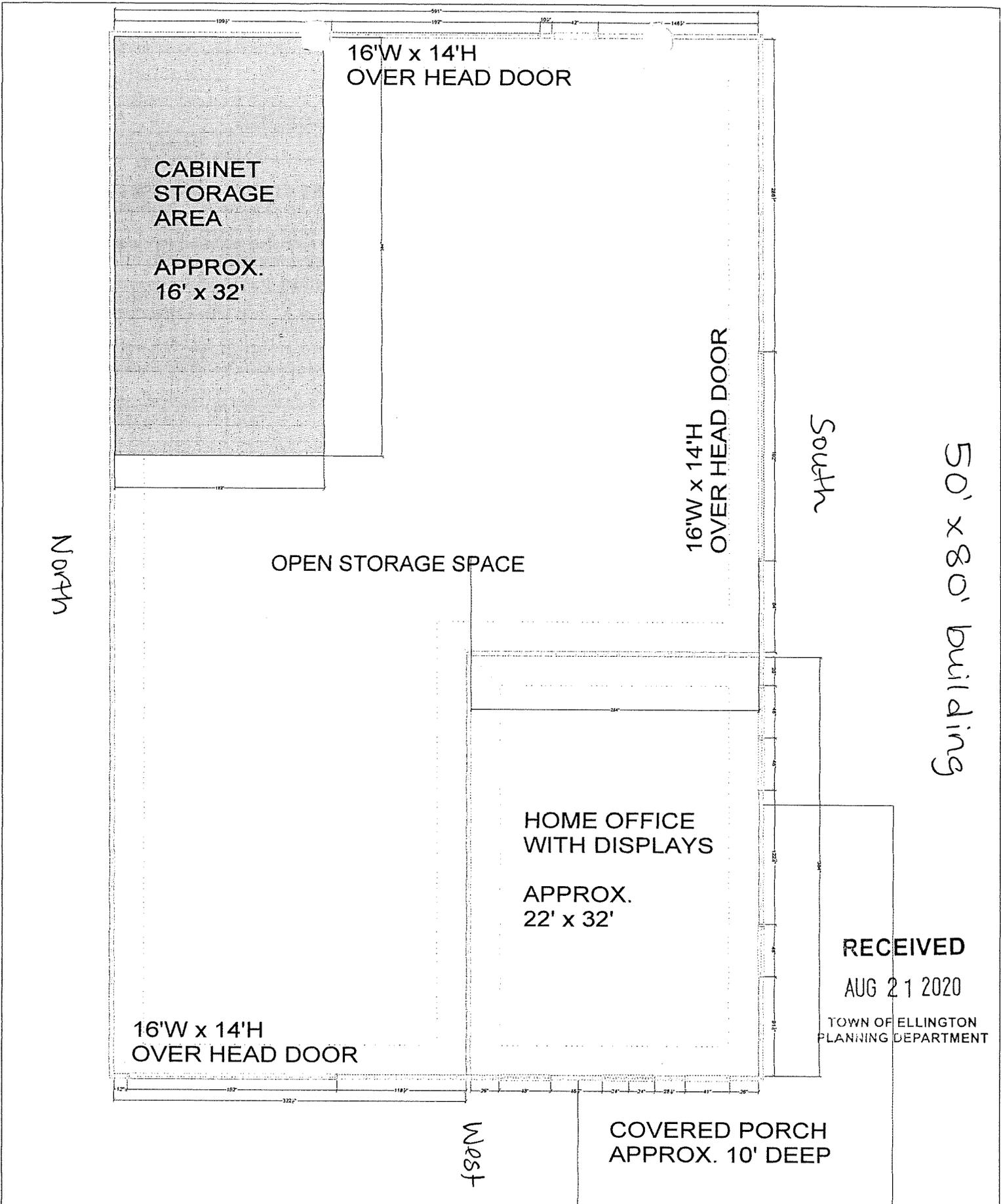
The office portion at our residence would be used as a home office with displays. Laura will typically go out to the customer's house for the first consultation to look at/ measure the space to be renovated and then come back to the office to work with the designer either in person or remotely. The customer then makes an appointment with Laura in the office to view the design and go over pricing etc.. We also have some small display racks that show some of the door styles and colors as well as some of the hardware glides/hinges etc. Although the nature of the business is flexible, typically Laura does approximately 1 new in home consultation per week. This typically translates to 1-2 times per week that a customer will visit at the office with Laura.

We also need storage space for our cabinetry and small building supplies. We do on average 1 kitchen remodel per week. We receive about 3-4 deliveries per month. The cabinetry comes on box trucks and semi van trailers. It is important to note that due to the size of our property, all delivery vehicles will be able to pull in, turn around, maneuver on our property, and then pull out. We will have no adverse effects on the traffic flow at the street. All cabinetry will be unloaded and stored inside the building and nothing will be stored outside in view. Both our house and proposed outbuilding are 600' + off of Webster Rd and surrounding land is heavily wooded.

We do not build or finish cabinets so there will be no loud noise or pollution.

Hours of operation are by appointment only.
Designer works from her home.
Project manager visits office a few times per week.

RECEIVED
AUG 21 2020
TOWN OF ELLINGTON
PLANNING DEPARTMENT



50' x 80' building

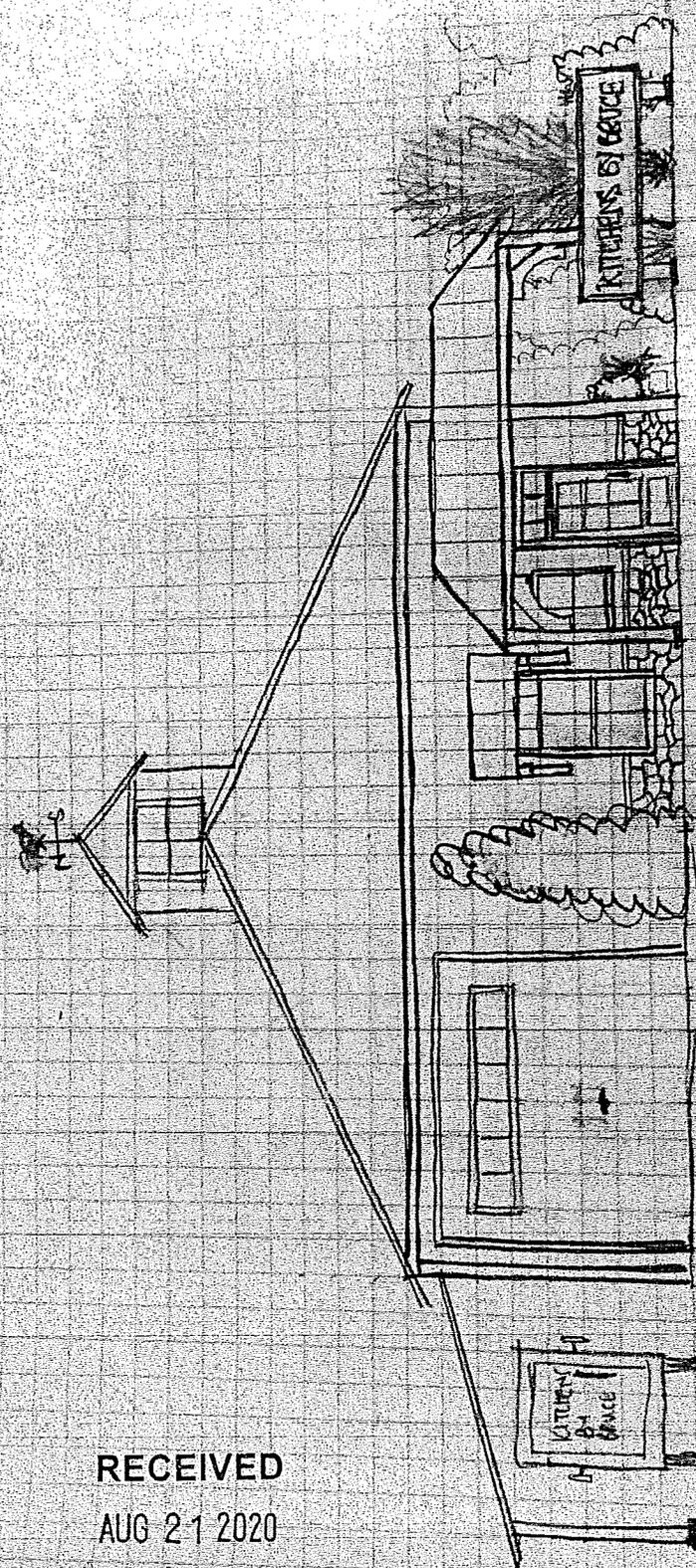
South

North

West

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 AUG 21 2020
 TOWN OF ELLINGTON
 PLANNING DEPARTMENT

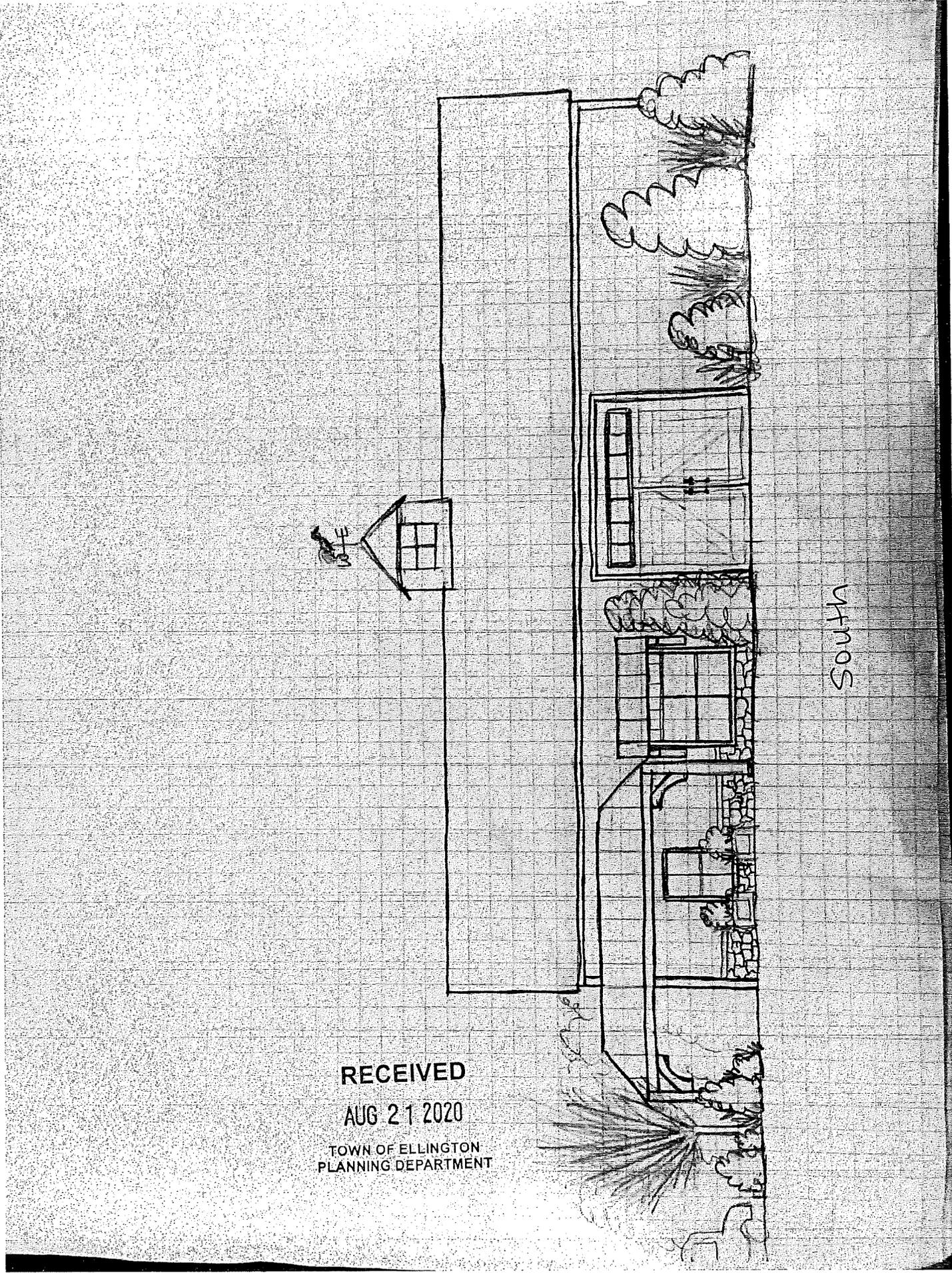
<p>All dimensions & size designations given are subject to verification on job site and adjustment to fit job conditions.</p>	<p>2020</p>	<p>This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.</p>	<p>Designed: 8/21/2020 Printed: 8/21/2020</p>
<p>Floorplan</p>		<p>All</p>	<p>Drawing #: 1 No Scale.</p>



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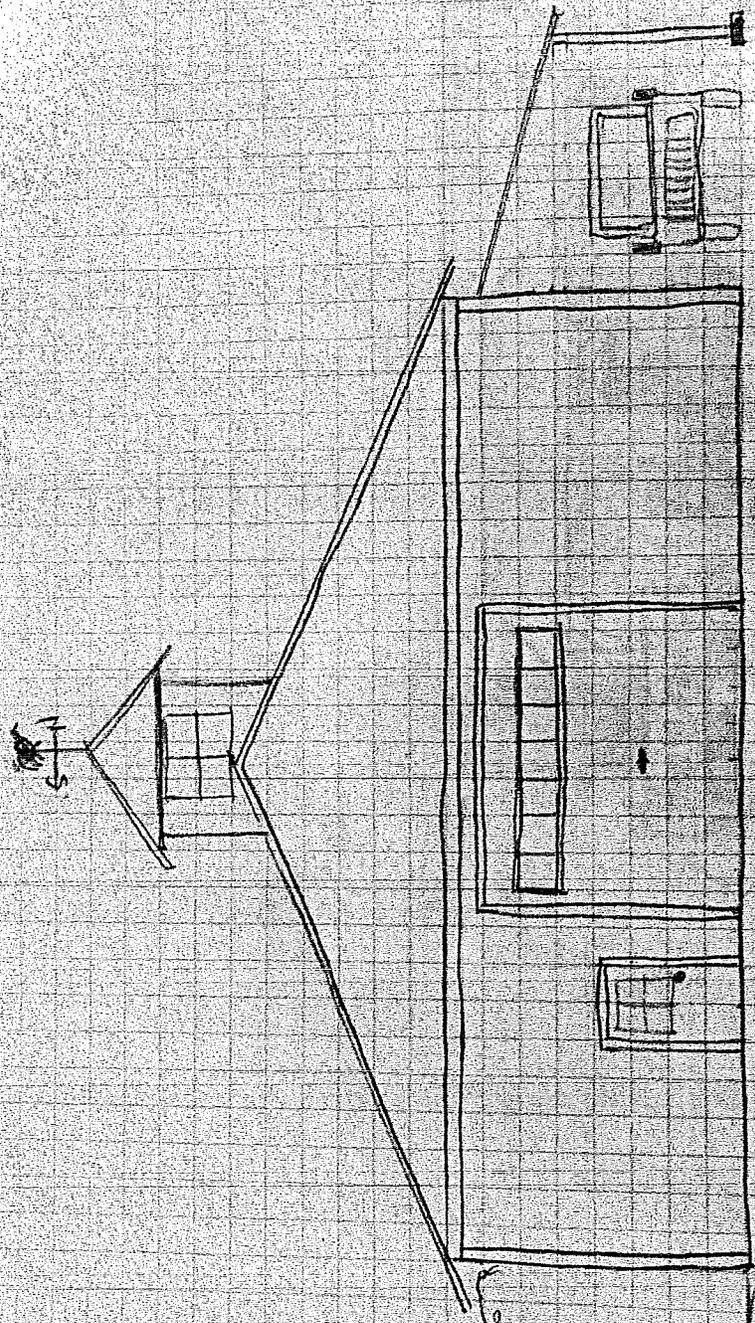
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TOWN OF ELLINGTON
PLANNING DEPARTMENT



South

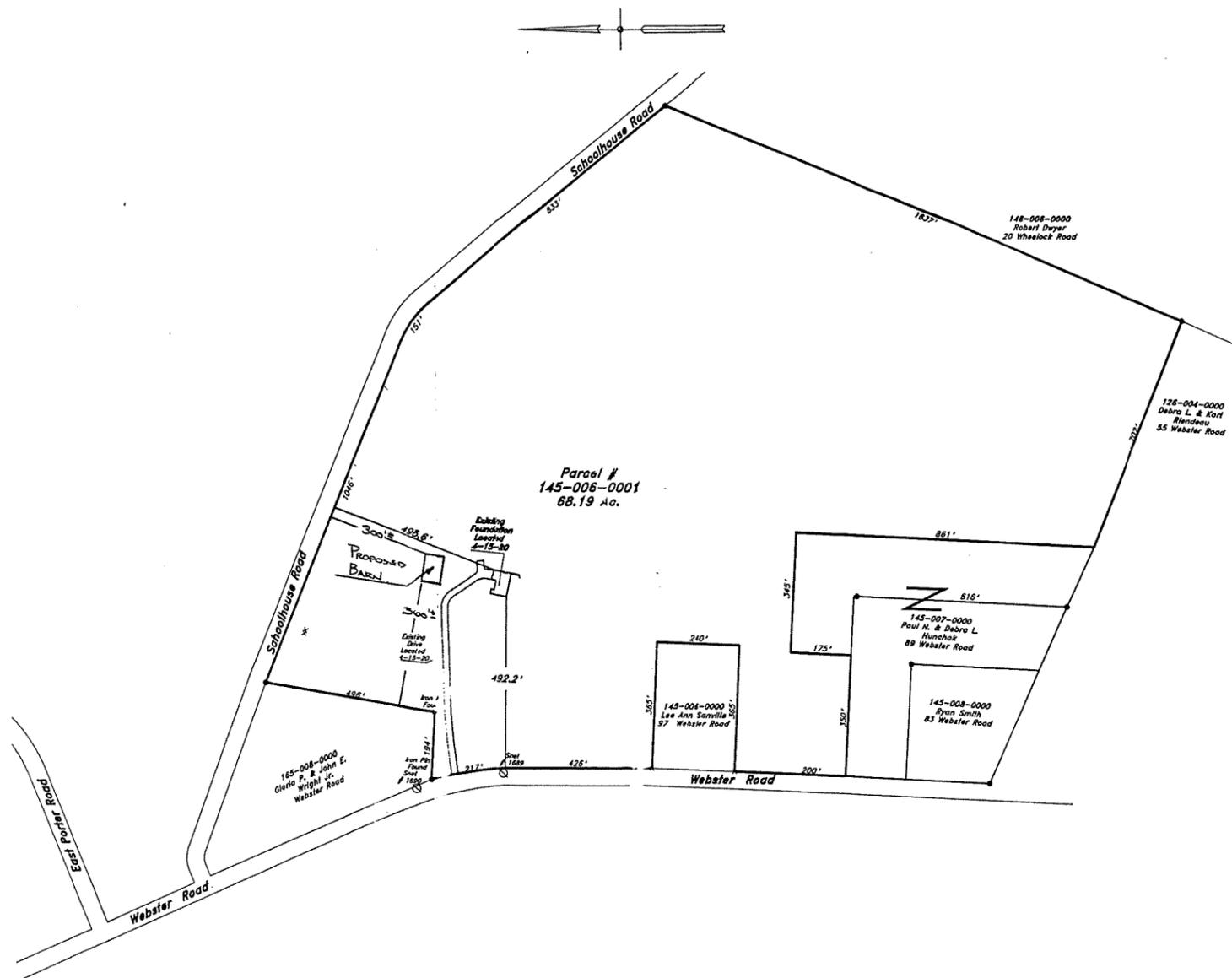
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East

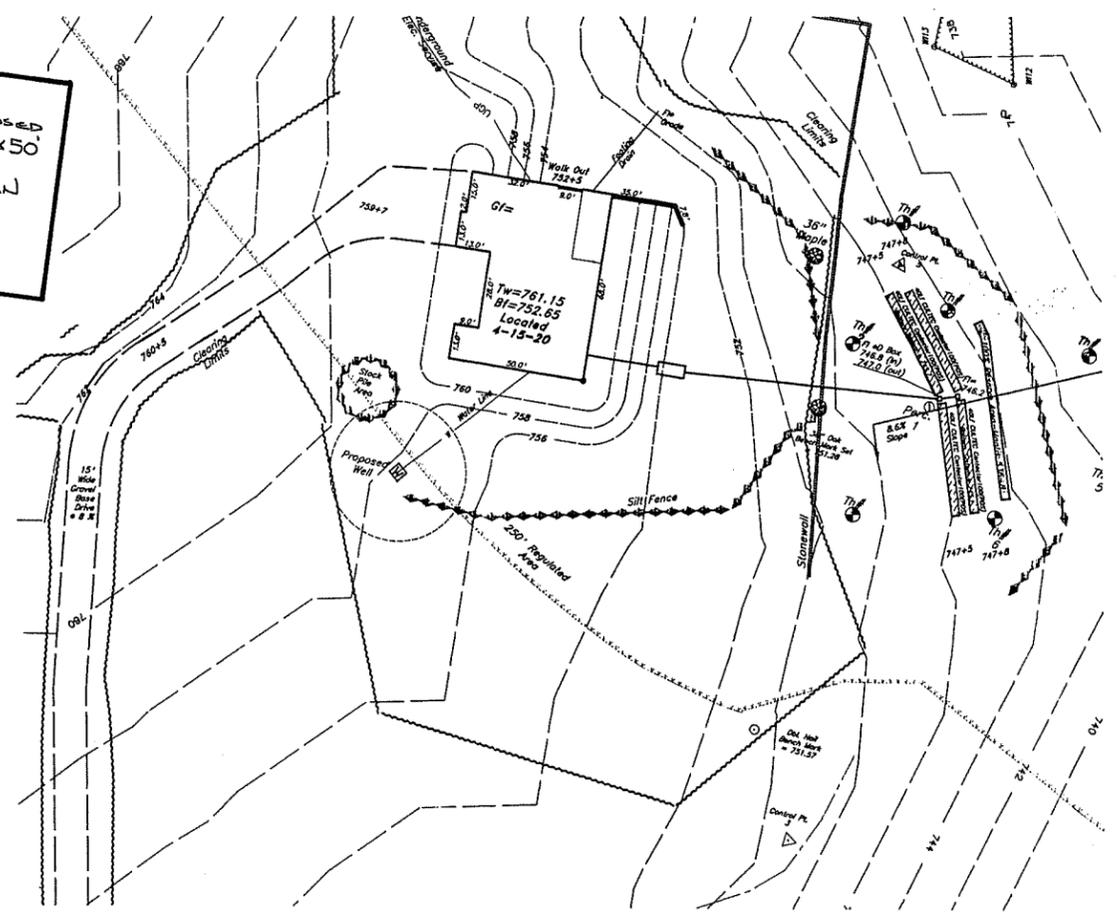
RECEIVED
AUG 21 2020

FRANCIS ...



Scale 1" = 200'

Proposed
80'x50'
BARN



Scale 1" = 30'

THE WETLAND SOILS ON THIS SITE WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONN. PUBLIC ACT 72-155, AS AMENDED BY CT. P.A. 73-571, CT. P.A. 87-338, CT. P.A. 87-533. THE BOUNDARIES OF THESE SOILS, AND OF IDENTIFIED WATER COURSES ARE ACCURATELY REPRESENTED ON THIS PLAN. RICHARD ZULICK, SOIL SCIENTIST

NOTE: THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN IMPROVEMENT LOCATION SURVEY, CONFORMING TO HORIZONTAL ACCURACY - CLASS "D", AND INTENDED TO BE USED FOR ZONING COMPLIANCE.

THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

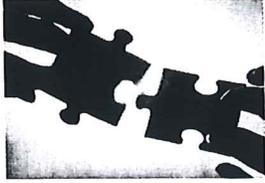


L.S. 15464
REGISTRATION NO.

4-28-20
DATE

REVISIONS:
B-17-20 80x50
BARN Added

APN 145-006-0001 RECORD DRAWING/ FOUNDATION LOCATION PLAN PREPARED FOR BRUCE GOTTIER #101 WEBSTER ROAD ELLINGTON, CONNECTICUT			
TARBELL, HEINTZ & ASSOC., INC. CIVIL ENGINEERS - LAND SURVEYORS 1227 BURNSIDE AVENUE, SUITE 6A, EAST HARTFORD, CT (860) 528-1810			
JOB NO.	DATE	SCALE	DRAWN BY
1061	4-28-20	As Shown	RHM
SHEET NO.			1 OF 1



Opportunity Real Estate Equities, LLC

PO Box 3 / Cromwell, CT 06416

Z201506

Planning and Zoning Department
Town of Ellington
57 Main Street
P. O. Box 187
Ellington, CT 06029

Attention: John D. Colonese, CZEO
Assistant Town Planner/Zoning & Wetlands Enforcement Officer

August 28, 2020

Re: Bond Reduction at Windemere

Dear Planning and Zoning,

Quantum of Ellington II LLC, request a 90 % bond reduction (\$339,300.00) at Windemere Village in Ellington, CT. We currently have a bond of \$377,00.00. The allocations of \$260,000.00 for roadways, sidewalks, landscaping is nearing completion as well as \$82,000.00 for the erosion and an additional \$10,000.00 for erosion.

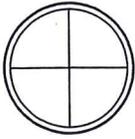
Lastly, there is a \$25,000.00 bond for the last 10 homes which are all shelled and 90% complete.

Let us know when you would like to arrange an inspection.

Very truly yours,

William H. Coons III
Managing Director

RECEIVED
AUG 31 2020
TOWN OF ELLINGTON
PLANNING DEPARTMENT



TOWNE ENGINEERING, INC.

PROFESSIONAL ENGINEERS • LAND SURVEYORS • EXPERT WITNESS

MAIL: P.O. BOX 162 SOUTH WINDHAM, CT 06266

OFFICE: 1 RICHMOND LANE, WILLIMANTIC, CT 06226

860-423-6371 • 860-889-2100 • Fax 860-423-5470

DONALD R. AUBREY, P.E., L.S.

JOSEPH H. BOUCHER, M.S., L.S.

MATTHEW D. MAYNARD, P.E.

September 14, 2020

Lisa Houlihan, Town Planner
Town of Ellington
P.O. Box 187
Ellington, CT 06029

RECEIVED

SEP 17 2020

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Re: Clark Subdivision
74, 76, & 78 Wapping Wood Road
TEI Job #20-044

Dear Ms. Houlihan,

Jeffrey Clark currently owns the vacant approved lots known as 74 & 76 Wapping Wood Road along with his sister, Cynthia McClaran. He has asked us to review the possibility of combining 74 & 76 Wapping Wood Road with the hope of dissolving the subdivision approval granted by the Planning and Zoning Commission on February 26, 2007 (#S200701).

The former Clark family childhood home which is currently known as 78 Wapping Wood Road was the third lot (Lot #1) of the 2007 subdivision. This lot has been sold to others and will remain as a separate parcel which in my opinion would be the first or 'free cut' if the subdivision is dissolved.

The house known as 78 Wapping Wood was conveyed out of the larger subdivision tract by Harold & Rose Hincks (Jeff & Cynthia's grandparents) to Elaine and Charles Clark (daughter and son-in-law of Harold and Rose Hincks) on June 26, 1963 (volume 68 page 191). The 78 Wapping Wood Road lot as laid out in 1963 was bounded on three sides by the land that comprised the 2007 subdivision. In 1993 through a number of conveyances the land now known as 74 & 76 Wapping Wood Road was combined with 78 Wapping Wood Road (see volume 196 page 886, volume 196 page 890, volume 196 page 889, volume 196 page 888 and a map prepared by David Smith Engineering and Surveying Associates which is filed as map H-121).

As part of the 2007 subdivision the configuration of the 78 Wapping Wood Road parcel was slightly changed but remained Zoning compliant.

The land that comprised the 2007 subdivision was three parcels (1st tract volume 57 page 429 [northwesterly corner] + volume 47 page 380 [northeasterly corner] + volume 62 page 489 [southerly portion]).

Pg 1 of 3

The southerly part of 74, 76, & 78 Wapping wood Road was conveyed to Hincks by Lucy Natsisky, Joseph Natsisky, and Werner Knuzli on July 8, 1959 (see volume 62 page 489) which was the Ellington portion of land that was subdivided in South Windsor.

To the west the 3 parcels currently known as 80, 82, & 84 Wapping Wood Road were subdivided by Eldredge Yost (see Town Clerk Map #943) and were comprised of land of that once was owned by the Five Corners Community Congregational Church. The Five Corners Community Congregational Church acquired their land from Fred Blankenburg (3½ acres) and land acquired from Harold & Rose Hincks (¾ acre) (see map 6-325). The land from Hincks was the second piece described in a deed from the Estate of Edith Bretnall in volume 57 page 429 on May 12, 1955.

None of the Golemba land to the east (54 and 60 Wapping Wood Road and parcel 002-27-0000) was part of the 74, 76, & 78 Wapping Wood Road property since the adoption of Subdivision.

On February 26, 2007 the Planning and Zoning Commission approved a 3 lot subdivision under application #S200701 which divided the 6.89 acre tract into 3 lots.

I have reviewed the land records history of this parcel (74, 76 & 78 Wapping Wood Road) back to and beyond the date of adoption of subdivision in the Town of Ellington on December 1, 1954. No conveyances out of the 3 tracts which combined compromise the 6.89 acre parcel subject to the Subdivision approval S200701 on February 26, 2007 were found of record.

As part of the conditions of approval of the 2007 Subdivision easement rights were granted in favor of the Town of Ellington to access and maintain as necessary the 2 storm water basins that were required at that time by the Town Engineer (see volume 382 page 776 dated May 25, 2007).

When 78 Wapping Wood Road was conveyed out of the family holdings in 2014 (see volume 456 page 692) it was conveyed "Together with a right to drain over Lots 2 & 3 as shown on said map". Obviously the right to drain in favor of 78 Wapping Wood Road would remain.

On behalf of Jeffrey Clark and Cynthia McClaran we would want to make application to the Planning and Zoning Commission to:

- Dissolve the subdivision approval S200701
- Release the fee-in-lieu of open space in the amount of \$16,750.00
- Release the easement rights granted to the Town of Ellington in volume 382 page 776.

We understand that if the PZC approves the requested action that it will be necessary to prepare a map showing that Lot #2 and Lot #3 have been combined.

After you have had a chance to review this commentary and request; if you have any questions I would be happy to speak with you.

September 14, 2020
Lisa Houlihan, Town Planner Town of Ellington
Clark Subdivision 74, 76, & 78 Wapping Wood Road
TEI Job #20-044
Page 3 of 3

If you feel that it would be helpful for me to make a presentation to the PZC to review this request I am more than happy to do that at their convenience.

Respectfully Submitted,

Joseph H. Boucher, M.S., L.S.
For: Towne Engineering, Inc.

Enc.

Cc: Jeffrey Clark

Request for an opinion from the Town of Ellington Planning and Zoning Commission:

Consider the Oakridge Dairy manure digester project to be agricultural structures that are a permitted use.

Submission Due date: September 23, 2020.

Based on discussions with Town of Ellington officials, please accept this informational material in support of a request for clarification by Oakridge Dairy.

Introduction to Oakridge Dairy Anaerobic Digester project.

Project Description.

Oakridge Dairy is planning to partner with a company called Revolutionary LNG to process manure produced by the cows at the dairy to produce and capture renewable natural gas (RNG). Renewable natural gas is an energy source (methane) that is created from renewable materials. The project will be located behind the current dairy barn and feed storage and adjacent to the existing long-term manure storage structure required by their comprehensive nutrient management plan (see Appendix 2 and 3). The process involves placing manure that is cleaned from the cow barns each day and storing it for approximately 20 days in an airtight anaerobic digester vessel which is heated to approximately 100°F. The warm, airtight environment encourages microbes called methanogens to feed on a portion of the solids in the fresh manure and as they thrive, biogas containing methane is produced. The biogas naturally rises to the top of the digester and it is removed for clean-up and use. The digester will only use manure from the Oakridge farm, no other materials will be imported for this operation and at all times, the manure and digestate (manure after it is digested) products will be owned by the farm. The process does not involve making electricity on the farm, so no internal combustion engine will be used to burn the gas onsite- all gas will be exported. The current intention is to work with the local gas utility to receive the RNG into their pipeline. In this scenario, there will be no trucks required to move the gas offsite. If an agreement with the utility cannot be reached, approximately 1 truck every other day will arrive and depart from the site. The structures required include a 120 ft. diameter digester vessel (example photo in Appendix 4), gas upgrading skid, housing for metering and regulation devices, a back-up flare and a boiler to keep the digester at proper operating temperature in cold weather.

Project benefits:

During anaerobic digestion, microbes consume the most easily decomposable solids (volatile solids) in the manure. The use of volatile solids in the anaerobic digester means there will be incrementally fewer manure trucks needed to transport manure to fertilize farm fields. More usefully, lower volatile solids content means odor causing organisms that normally feed on manure once it is placed into long term storage are challenged. Since odor-causing organisms are less likely to thrive due to the changes in the manure, anaerobically digested manure normally has a much lower odor intensity than untreated manure. Another direct benefit of this project is that increasingly, anaerobic digestion is viewed as an important part of manure treatment. Oakridge Dairy will be in an excellent position to provide additional treatment of manure to separate nutrients for off-farm use when economically viable technology allows and if future nutrient status of the farm dictates. At a regional and global scale,

anaerobic digestion is a proven means to reduce manure storage related emission of methane, a greenhouse gas. In the proposed project, the controlled environment in the anaerobic digester vessel will enhance methane production and approximately 99% of it will be captured for beneficial use as a renewable energy source.

Definition of Agricultural buildings and structures.

Town of Ellington Zoning Regulations. Sec 10.2 and CT statutory definition of Agriculture included here:

Town of Ellington Zoning Regulations. Sec 10.2:

Agriculture. The use of land for agricultural purposes, including farming, the growing of crops, raising of livestock, and the storing, processing and sale of agricultural and horticultural products and commodities, including those defined in Connecticut General Statute Section 1-1q, as incidental to agricultural operations. *(Amended: 12-15-2010)*

Agricultural Buildings and Structures. Buildings, structures and portions thereof, used in connection with agriculture, including shelter for livestock and storage for farm machinery, equipment and supplies; excludes farm stores and seasonal farm stands. *(Added 11-22-2010, Effective 12-15-2010)*

Connecticut General Statutes, Sec. 1-1 (q):

Except as otherwise specifically defined, the words "agriculture" and "farming" shall include cultivation of the soil, dairying, forestry, raising or harvesting any agricultural or horticultural commodity, including the raising, shearing, feeding, caring for, training and management of livestock, including horses, bees, poultry, fur-bearing animals and wildlife, and the raising or harvesting of oysters, clams, mussels, other molluscan shellfish or fish; the operation, management, conservation, improvement or maintenance of a farm and its buildings, tools and equipment, or salvaging timber or cleared land of brush or other debris left by a storm, as an incident to such farming operations; the production or harvesting of maple syrup or maple sugar, or any agricultural commodity, including lumber, as an incident to ordinary farming operations or the harvesting of mushrooms, the hatching of poultry, or the construction, operation or maintenance of ditches, canals, reservoirs or waterways used exclusively for farming purposes; handling, planting, drying, packing, packaging, processing, freezing, grading, storing or delivering to storage or to market, or to a carrier for transportation to market, or for direct sale any agricultural or horticultural commodity as an incident to ordinary farming operations, or, in the case of fruits and vegetables, as an incident to the preparation of such fruits or vegetables for market or for direct sale. The term "farm" includes farm buildings, and accessory buildings thereto, nurseries, orchards, ranges, greenhouses, hoop houses and other temporary structures or other structures used primarily for the raising and, as an incident to ordinary farming operations, the sale of agricultural or horticultural commodities. The term "aquaculture" means the farming of the waters of the state and tidal wetlands and the production of protein food, including fish, oysters, clams, mussels and other molluscan shellfish, on leased, franchised and public underwater farm lands. Nothing herein shall restrict the power of a local zoning authority under chapter 124.

The proposed project and agriculture

The proposed anaerobic digester project will process dairy manure produced by dairy cattle that are housed and cared for at Oakridge Dairy farm. The dairy cattle manure is a commodity that has fertilizer value and is recycled by the farm on crop fields to supply necessary nutrients to grow crops that are

used to feed the cows. The anaerobic digester will be an integral part of the manure management system and enhance the value of the manure to the farm and to the community. Without the manure nutrients, the farm would need to purchase fertilizer to support good crop yields and maintain soil productivity. The proposed project is agriculture because it involves the processing of an agricultural product or commodity as set out in Town of Ellington Zoning regulations and Connecticut statutes.

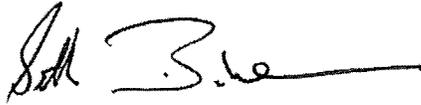
Since the proposed buildings and structures necessary for the project are used to process an agricultural product or commodity, it follows that the proposed buildings and structures are agricultural buildings and structures.

The farm is located on Jobs Hill Road and is zoned RAR and the lot is in excess of 3 acres. The proposed project will be substantially more than 100' from Jobs Hill Road and 50' from all property boundaries and the digester structure will be approximately 30' in height.

For these reasons, Oakridge Dairy and REV LNG respectfully request that the Planning and Zoning Commission of the Town of Ellington, CT consider the proposed project to be agricultural use.

Thank you for your consideration,

Seth Bahler, Oakridge Dairy

Handwritten signature of Seth Bahler in black ink.

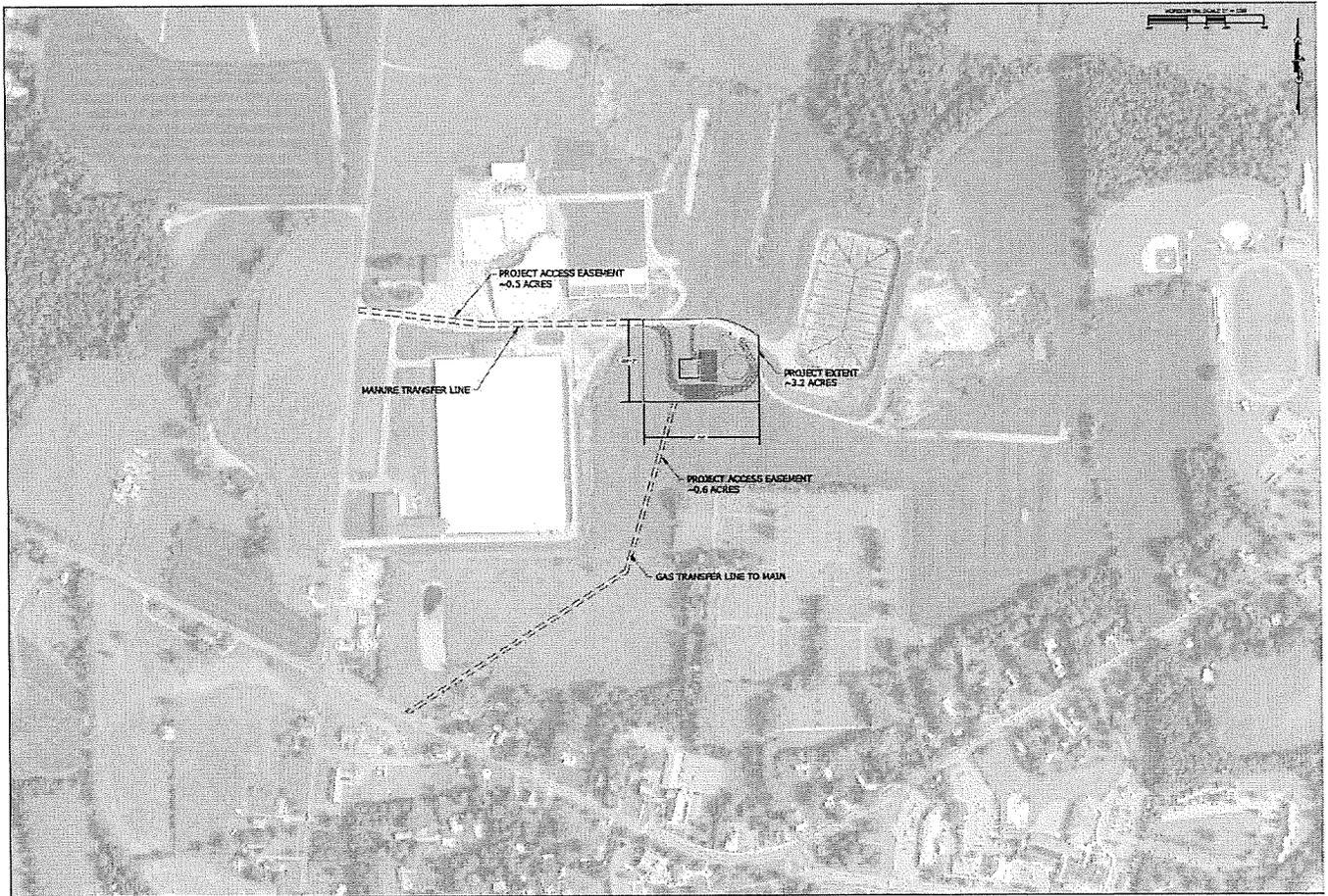
Jim Burdett, REV LNG

Handwritten signature of James E. Burdett in black ink.

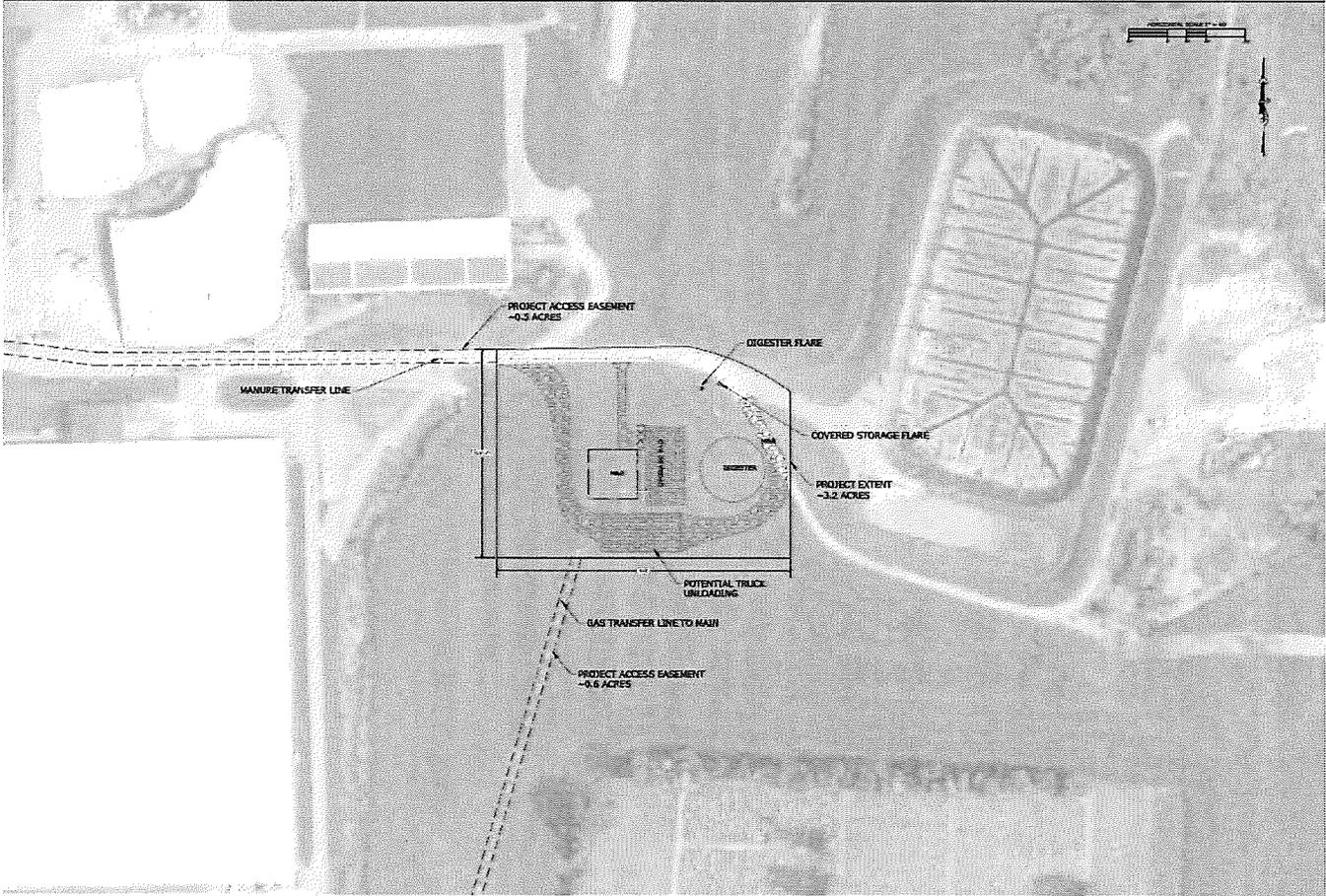
Appendix 1. Current aerial view of Oakridge Dairy.



Appendix 2. Conceptual site plan overview.



Appendix 3: Close up site plan.



Appendix 4. Similar anaerobic digester in NYS.



Town of Ellington Planning Department



55 Main Street, PO Box 187, Ellington, CT 06029/Phone: 860-870-3120/ Email: lhoulihan@ellington-ct.gov

DATE: September 22, 2020

TO: Planning and Zoning Commission

FROM: Lisa M. Houlihan, AICP, Town Planner

SUBJECT: Draft regulation amendment to add a new section to the Ellington Zoning Regulations, Article 6 Land Use & Site Development Regulations regarding Sidewalks & Fee-in-lieu-of Sidewalks

Enclosed is a draft regulation amendment proposing to add a new section to the Ellington Zoning Regulations regarding sidewalks and fee-in-lieu-of sidewalks. CGS §8.2 grants the commission authority to adopt related regulations when reviewing site development plans and special permits. In the case of subdivision applications, statutory authority is limited to requiring installation of sidewalks when a subdivision includes new roads and granting waiver of the requirement. Enclosed is a copy of the Town of Manchester's ordinance regulating sidewalks, as well as relevant pages from the Plan of Conservation and Development (pages 106&107).

Please review and discuss the draft language at your next meeting, modify the language as deemed appropriate and consider setting the proposal for public hearing in October.

SECTION 6.2.9 SIDEWALKS & FEE IN LIEU OF SIDEWALKS

- A. The owner of land for which a commercial, industrial, mixed-use, multi-family, or non-residential building, structure or development is hereafter approved to be erected, enlarged, or redeveloped by -- square feet or ---- % or more and for which said land fronts on a public highway or street shall be required to install five (5) foot wide concrete sidewalks along the entire road frontage of the owner's land in accordance with Town standards.
- B. Sidewalks shall be installed concurrently with the construction or reconstruction of buildings or site development improvements. When, for good cause shown, the installation of sidewalks is not advisable or desirable, the commission may require the owner of land to make a payment to the Town in lieu of the installation of sidewalks. The commission shall not make such determination until it has received a recommendation from the Director of Public Works and the Town Engineer on the advisability of installing sidewalks.
- C. When considering whether to require installation of sidewalks or pay a fee-in-lieu-of sidewalks, the commission and staff shall consider the following:
- i. the potential to connect to existing or planned sidewalks;
 - ii. the evidence of existing pedestrian traffic (e.g. goat paths);
 - iii. the need to provide suitable surface and safe means for pedestrians;
 - iv. the ability to provide pedestrian access to community buildings or schools, parks or other recreational assets, or to connect residential and commercial areas; and,
 - v. the recommendations of the Plan of Conservation and Development.
- D. When payment in lieu of installation of sidewalks is required, payment shall be in an amount based upon the prevailing costs to construct said improvements as determined by the Director of Public Works and the Town Engineer.
- E. Payment in lieu of installation of sidewalks shall be deposited to a dedicated fund to be used solely for installing new sidewalks. Said payment shall be made prior to completion of approved site development plan improvements or final certificate of zoning compliance and/or certificate of occupancy, whichever is applicable.

§ 279-31. Sidewalk and curb installation on existing streets simultaneous with building construction. [Amended 7-22-2003]

- A. The owner of lands on which any structure is hereafter erected, fronting on public highways or streets in the Town, shall install concrete sidewalks and granite curbs in accordance with the public improvement standards of the Department of Public Works, if such installation is in conformance with the sidewalk and curb plan of the Town as approved by the Town Planning and Zoning Commission. Said walks and curbs shall be installed concurrently with the construction of said structure. When, for good cause shown, the installation of either sidewalks or curbs is not advisable or desirable, the Planning and Zoning Commission may allow and/or require the owner of said lands to make a payment to the Town in lieu of the installation. The Planning and Zoning Commission shall not make its determination until it has received a recommendation from the Director of Public Works on the advisability of installing the sidewalks and/or curbs. The Director of Public Works shall make his recommendation no later than 20 working days from the receipt of the request for an opinion from the Planning and Zoning Commission or its designated staff. **[Amended 3-3-2009]**
- B. When payment in lieu of installation is required, payments shall be in an amount based upon the prevailing costs of said improvements as determined by the director of public works. If a substitute material for granite curbing is required temporarily for good cause, the cost of the substitute material shall be deducted from the cost of the granite, and the balance will constitute the payment in lieu of installation.
- C. Payments in lieu of installation shall be deposited into a dedicated fund to be used solely for the installment of new sidewalks and curbs. A record of all property owners and properties subject to the payment in lieu of installation shall be kept by the Planning Department, and said property owners shall not be liable for any fee or assessment for the installation of sidewalks or curbs in front of their property in the future.
- D. The Planning and Zoning Commission shall prepare and adopt a sidewalk and curb plan for the Town. The plan shall set forth the policies for determining where sidewalks and curbs would be installed; enumerate examples of what constitutes good cause for allowing or requiring payment in lieu of installation; and recommend priority locations for the extension or removal of

sidewalks, The sidewalk and curb plan shall be reviewed and amended as appropriate every five years. The plan shall be so revised and adopted within six months of the adoption of this section and every five years thereafter. Before adoption, the plan shall be submitted to the Board of Directors for review and comment, and at least one public hearing shall be held.

- E. If concrete sidewalks, concrete curbs or granite curbs are in existence abutting the land on which any structure is hereinafter erected, fronting on public highways or streets in the Town, the owner of such lands shall repair said sidewalks and curbs to the satisfaction of the Director of Public Works or his designated representative. Existing bituminous curbs shall be removed and replaced with granite curbs. **[Amended 3-3-2009]**
- F. The Building Department shall affix a copy of this regulation to all building permits issued by it.
- G. From the effective date of this section forward, any previously granted deferments may be called by the Board of Directors, and the then-owner of the property shall be required to pay the cost of said installation. Before calling a deferment, the Board of Directors shall request a written recommendation from the Planning and Zoning Commission and Director of Public Works on the advisability of calling said deferment.

- b. File easements on the land records in favor of the abutting property owners and/or the Town of Ellington to facilitate interconnections with adjacent properties, as shall be acceptable to the Commission and the Town Attorney.
- c. In their review of future applications for adjacent properties, the Commission may at its discretion, require these properties to also convey an easement to accomplish these connections. These easements shall be exchanged at no cost to either party. For the purposes of these regulations, it shall be assumed each property receives an equal benefit. The cost of making physical improvements to accomplish the interconnection, including any work which may be required on the adjoining parcel, shall be borne by the developer of the most recently approved property.

Alternative Modes of Transportation

Ellington, because of its rural-suburban character, is dependent on the private automobile for meeting most of its transportation needs. While technology and lifestyle may impact how we own, access, and use automobiles, it is likely that the automobile will remain Ellington's predominant means of transportation. In addition, and related to this, it is unlikely that public transit (bus and/or rail) will be available or is viable in Ellington at this time. However, whenever possible, the Town should pursue opportunities for public transit, especially bus service from Vernon Center. Currently, walking and biking are the most realistic and feasible transportation alternatives in Ellington.

Ellington's subdivision regulations require that in new subdivisions sidewalks be installed on at least one side of the street. This requirement has not been consistently applied. It is understandable that under certain conditions sidewalks may be neither needed nor desired. However, the general rule should be that sidewalks be installed. In order to have a consistent policy on sidewalk installation, the Subdivision Regulations should be modified to provide specific standards applicable to any site waiver. Considerations such as drainage, overall size of the subdivision, and connectivity to other existing or future sidewalks would be appropriate criteria within which to consider a waiver. The Planning and Zoning Commission may also want to differentiate the need for and waiver of sidewalks within the sewer service area and along arterial and collector road—as these may be areas not to waive the installation of sidewalks.

Extensive sidewalks exist in the center of town along Main Street and Maple Street and the Town has been working to implement the recommendations of the '*Ellington Town Center Walkway: Creating a Walkable Environment*' strategy that includes sidewalk additions and improvements in and near town center.

The Town may want to consider reviewing the need for sidewalks in existing residential areas to determine where sidewalk installation may be appropriate. This would be especially advantageous if new sidewalks could provide pedestrian access to existing schools, parks, or commercial areas.

New commercial development should be reviewed relative to the need for sidewalk access to nearby residential areas. Pedestrian traffic does exist within the Route 83 corridor and there are virtually no sidewalks in the area. It is recommended that sidewalks be provided on Route 83

from Main Street south to the Meadowview Plaza. In addition, new development along Route 83 should be required to provide sidewalks. New commercial, multi-family, and mixed-use developments should be required (by zoning) to provide sidewalk construction as part of the site plan approval process. Sidewalks could be provided on private property (with easements) as to not interfere with future needs of State roads and make it clear that maintenance and repair is the obligation of the private property owner.

Overall, Ellington should consider shifting the focus away from simply providing sidewalks, to providing a town-wide network of walking and biking trails. Trails could be provided in new residential developments in-lieu-of-sidewalks and overroad connections could be made with the addition of bike lanes. Once again, priority should be given to the sewer service areas, arterials, and collector roads. In addition, the creation of town-wide network of trails should be recognized as an amenity to the quality of life in Ellington, not simply as a means or mode of transportation.

Considerations/Strategies

- Evaluate the parking requirements by use and adjust as necessary to ensure adequate yet efficient numbers of parking spaces.
- Modernize site design requirements (landscaping, parking, lighting, stormwater management (LID), etc.) in the Zoning Regulations.
 - Reduce impervious surfaces: use of porous pavement systems, deferred parking, and shared parking requirements where appropriate.
 - Implement access management and consolidated parcel requirements
- Continuously work toward creating a connected road network to ensure circulation and flow—including road extensions and cul-de-sac connections (continue to require temporary cul-de-sacs).
- Create a comprehensive sidewalk and trails plan aimed at creating a town-wide network.
 - A cycling network, on roads and trails, should be included as part of the sidewalk and trails plan.
- Create flexible local road design standards that allow road width reductions and incorporate LID approaches to stormwater management.
- Adopt the *'Ellington Town Center Walkway: Creating a Walkable Environment'* and
 - *'Route 83 Corridor Study'* as addendum to the Plan of Conservation and Development.
- Amend Zoning Regulations to require sidewalks in new develop in the Route 83 corridor and Town Center.



TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING MINUTES MONDAY, AUGUST 24, 2020, 7:00 PM HYBRID ZOOM MEETING

MEMBERS PRESENT: IN PERSON - CHAIRMAN ARLO HOFFMAN, REGULAR MEMBERS SEAN KELLY, RICCI HIRTH, F. MICHAEL FRANCIS, MICHAEL SWANSON, AND ALTERNATE JON MOSER. VIA ZOOM - VICE CHAIRMAN WILLIAM HOGAN, REGULAR MEMBER ROBERT SANDBERG, JR. AND ALTERNATE KEITH DURAO

MEMBERS ABSENT: NONE

STAFF PRESENT: LISA HOULIHAN, TOWN PLANNER AND BARBRA GALOVICH, RECORDING CLERK

- I. CALL TO ORDER:** Chairman Hoffman called the meeting to order at 7:03 PM.
- II. PUBLIC COMMENTS (On non-agenda items):** None

By consensus the commission added to the agenda a request for a thirty day extension for filing of mylars for S202002 – Chilson Realty Company, owner/applicant, for re-subdivision of four parcels, Windermere Avenue and West Road, APN's 019-005-0000, 019-005-0003, 019-005-0004 and 019-005-0005, Commercial (C) Zone and IP (Industrial Park) Zone, originally approved April 27, 2020.

III. PUBLIC HEARING(S): Public hearing items #1 & #2 were heard simultaneously.

1. S202003 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a re-subdivision for seventeen (17) lots for 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential), Zone and request to waive Section 4.06(iii) to allow permanent cul-de-sac of 1,350', Section 4.07 to allow 24' street width, and Appendix C 3.13(a) to allow HDPE pipe.
2. Z202005 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a Special Permit pursuant to Section 7.9 – Rear Lot Requirements for two rear lots to construct single family homes associated with a seventeen (17) lot resubdivision of 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential) Zone.

TIME: 7:04 PM

SEATED: HOFFMAN, HOGAN, KELLY, HIRTH, FRANCIS, SWANSON, AND SANDBERG

Mark Peterson, Gardner & Peterson Associates, LLC, 178 Hartford Turnpike, Tolland, CT; Mike Leaska, Leaska Construction Company, 22 Bittersweet Hill, Somers, CT; and Attorney David Sherwood, Moriarty, Paetzold & Sherwood, 2230 Main Street, Glastonbury, CT were present to represent the application.

The proposal was last reviewed in May. Mr. Peterson recapped details about the subdivision plan and requested waivers. He addressed the Town Engineer's comments and received a favorable report. They consulted with a Traffic Engineer and a report is present. The proposal includes a reduction in road width from 26' to 24' with 1' wide mountable cape-cod curbs. He referred to a positive

report from the Fire Marshal. A landscape buffer plan is present proposing a visual buffer for the existing homes on the west side of Tripp Road.

Commission Kelly referred to the Plan of Conservation and Development (POCD) and asked if the plans provide any affordable units. Attorney Sherwood explained affordable housing appeals and economics associated with conventional subdivisions and affordable housing developments. He noted local regulations do not require affordable units.

In response to Commissioner Kelly, Mr. Peterson explained narrower roads help reduce speeds, reduce runoff, lessen maintenance and is supported by the Department of Public Works.

Vice Chairman Hogan questioned the validity of the project density comparisons Mr. Peterson listed in his report and the statements made by FA Hesketh in the traffic report. He felt the proposed landscaped buffer is deficient. He does not agree the parcel has unusual shape or topography and sees no basis to approve the rear lots. He does not feel precedent is set for granting longer cul-de-sacs, noting only two examples are present from the early 2000s. He noted his membership on the commission in the 80s and 90s and explained the commission's actions in the past do not represent how the current board conducts business. Chairman Hoffman and Commissioner Sandberg agreed. Commissioner Francis does not support a reduction in road width or increasing the length of cul-de-sac.

Alternates Durao and Moser had no comments. Chairman Hoffman opened the public hearing.

Gordon Fish of 97 Tripp Road, Richard and Corissa Dubord of 104 Tripp Road, Richard and Mary Lusso of 108 Tripp Road, Russ and Amy Grace of 90 Tripp Road, Sal Laudano, 26 Standish Road, Neil Malkin of 102 Tripp Road, and Ralph Olivieri of 101 Tripp Road opposed the proposed development, requested waivers, and rear lots. Members of the public reiterated concerns raised at the meeting on May 18, 2020. Chairman Hoffman mentioned an email from Kim Martin of 106 Tripp Road opposing the development.

Ms. Houlihan explained her role is to provide the commission with technical and procedural guidance. She reviewed the content of her memo dated August 18, 2020, and explained her position has not changed as a result of the comments heard tonight.

Attorney Sherwood stated the re-subdivision plan complies with the zoning and subdivision regulations with the exception of the three waivers. The land is zoned residentially, the plan conforms to the POCD, and residential development is anticipated for the area. He cited Section 1.1.2 of the Subdivision Regulations and explained the commission is not acting irresponsibly by granting waivers. The reason for the 1000' length and width requirement relate to concerns for access by emergency service vehicles, noting plan provisions allow emergency vehicles to get in and out of the subdivision without a problem. If there was no public water there would be a valid concern, however they are installing two hydrants. He added that adequate turnaround provisions have been built into the design of the cul-de-sac. He explained that technical staff supports the waivers and referred to memoranda from the Town Engineer, Department of Public Works, Town Planner, and Fire Marshal. He reiterated the applicant's willingness to construct a 26' wide road, noting the plans provide an equivalent provision. He asked what specific concerns the commission has with the requested waivers, and stated it's improper to use the length of cul-de-sac to limit density. The parcel can support 17 lots and there's no reasonable technical concern. If the commission wants larger lots, the zoning regulations should require larger lot sizes. He asked the commission to explain what concerns they have so the applicant can address them.

Mr. Peterson explained the change in elevation from the proposed new road to the home sites for the rear lots change between 20 and 30 feet. He referred to staff's request to increase the planted buffer to require plantings every 25' on center and the developer's agreement to increase plantings.

Vice Chairman Hogan disagreed with Mr. Peterson and Ms. Houlihan regarding change in elevation for the rear lots stating he doesn't see how the topography is unusual. He is opposed to the rear lots. Ms. Houlihan cited Section 7.9 of the Ellington Zoning Regulations and Section 4.02 of the Subdivision Regulations. She explained the number of proposed rear lots meets the allowed ratio, lot sizes exceed minimum requirements, and driveways meet standards capable of supporting emergency service vehicles (Zoning Regulations Section 2.1.3). The regulations recommend rear lots be avoided except where topography determines the best use of land is a rear lot. Both rear lots are proposed on the west side of the new street and are between 22' to 31' lower than the proposed new road.

Ms. Houlihan reviewed the requested waivers again for the commission.

Vice Chairman Hogan stated many aspects of the proposal are clearly in compliance with the regulations and the land is residentially zoned. He noted citizens are objecting to rear lots or any lots in their back yard, however that's not a valid reason for the commission to deny the proposal. He finds the requested waivers and rear lots troublesome. Mr. Hogan noted if the commission denies the current applications, new ones can be submitted with changes reflecting comments from the commission for possible approval. He inquired about the rear lots and the depressed topography, and asked what the difference is between a lower topography and higher. He doesn't understand why the change in topography is being presented as a justification for rear lots.

Attorney Sherwood described topography characteristics, difference in grade and the unique shape of the road given the only access point is located at the south end of the parcel. He asked if the purpose of the 1000' limit is intended to limit density why refer the plan to professional staff for comment, noting staff recommends approval. He explained the plans were developed to meet the regulations and provisions for waivers and the applicant can only operate according to guidance in the regulations.

Chairman Hoffman asked Attorney Sherwood if he had any other comments and explained that once the hearing is closed the commission cannot take any further comments from the applicant or the public.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR S202003 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a re-subdivision for seventeen (17) lots for 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR Zone (Rural Agricultural/Residential), and request to waive Section 4.06(iii) to allow permanent cul-de-sac of 1,350', Section 4.07 to allow 24' street width, and Appendix C 3.13(a) to allow HDPE pipe.

MOVED (KELLY) SECONDED (HOGAN) AND PASSED UNANIMOUSLY TO APPROVE WAIVER OF APPENDIX C 3.13(A) TO ALLOW HDPE PIPE FINDING THE CHANGE IN MATERIAL CONSISTENT WITH SOUND CONSTRUCTION PRACTICES AND SUPPORTED BY PERTINENT TOWN DEPARTMENTS INCLUDING THE DEPARTMENT OF PUBLIC WORKS AND TOWN ENGINEERING.

Vice Chairman Hogan explained the use of plastic pipe is common.

MOVED (KELLY) SECONDED (SWANSON) AND FAILED TO PASS (YEA – HOGAN AND HIRTH, NAY - HOFFMAN, KELLY, FRANCIS, SWANSON, AND SANDBERG) TO APPROVE WAIVER OF SECTION 4.07 FINDING THE PLANS PROVIDE A 26' WIDE CONTIGUOUS PAVED SURFACE SUITABLE FOR EMERGENCY SERVICE VEHICLES AND SUPPORTED BY PERTINENT TOWN DEPARTMENTS INCLUDING THE DEPARTMENT OF PUBLIC WORKS, TOWN ENGINEERING AND THE FIRE MARSHAL'S OFFICE. MOREOVER, GRANTING THE

WAIVER WILL NOT IMPEDE CIRCULATION REQUIREMENTS OF THE PLAN OF CONSERVATION AND DEVELOPMENT, WILL NOT CAUSE UNDUE CONCENTRATION OF TRAFFIC, AND WILL NOT BE PREJUDICIAL TO THE NEEDS OF PUBLIC HEALTH AND SAFETY BY UNDULY DELAYING OR INHIBITING ACCESS TO LOTS.

Commissioner Kelly explained he'd rather see a 26' wide road, but he's okay with 24' and cape-cod curbing. Chairman Hoffman is opposed to the waiver and Commissioner Swanson agreed. Vice Chairman Hogan referred to the third factor listed in the Fire Marshal's memo and expressed concern for access because of on-site parking. Ms. Houlihan noted the plans propose to install no parking signs on one side of the street.

Commissioner Kelly stated he doesn't recall motions in the past referring to staff approvals. Ms. Houlihan explained the motions are in draft format and the commission may change them however they'd like.

Chairman Hoffman stated to the commission as a reminder that Ms. Houlihan, with no disregard, is the best Town Planner they have ever had. The Town Attorney, Fire Marshal and all other staff are advisory to the commission to help us make a better decision. He noted the authority lies within the commission.

MOVED (KELLY) SECONDED (SWANSON) AND FAILED TO PASS (YEA - HIRTH, NAY - HOFFMAN, HOGAN, KELLY, FRANCIS, SWANSON, AND SANDBERG) TO APPROVE WAIVER OF SECTION 4.06(III) TO ALLOW A PERMANENT CUL-DE-SAC TO EXTEND FROM 1000' TO 1,350' FINDING THE PROPERTY UNIQUELY AFFECTED BECAUSE THERE'S ONLY ONE POINT OF ACCESS.

MOVED (KELLY) SECONDED (SWANSON) AND FAILED TO PASS UNANIMOUSLY TO APPROVE S202003 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a re-subdivision for seventeen (17) lots for 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR Zone (Rural Agricultural/Residential).

Chairman Hoffman referred to Gardner & Peterson's letter dated August 13, 2020, page 2 item b. He feels the subdivision will have an adverse impact on the neighbors and felt the length of cul-de-sac was waived in the past because the land being divided was raw land and no other homes were in the area. He explained the property owners created their own issue when they cut off the frontage lots with no regard to the rear land. He stated his opinion has no reflection on Gardner & Peterson's work or Mr. Leaska.

Vice Chairman Hogan disagreed with the traffic report. He noted the regulations set the length of cul-de-sac at 1,000' and waiver should not be given if the plan is not what the commission supports.

Commissioner Francis doesn't think the regulations should be amended, stating the maximum length of cul-de-sac should remain 1,000'. Commission Sandberg agreed with Chairman Hoffman and Vice Chairman Hogan.

MOVED (KELLY) SECONDED (HOGAN) AND PASSED UNANIMOUSLY TO CLOSE PUBLIC HEARING FOR Z202005 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a Special Permit pursuant to Section 7.9 – Rear Lot Requirements for two rear lots to construct single family homes associated with a seventeen (17) lot resubdivision of 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential) Zone.

MOVED (KELLY) SECONDED (SWANSON) AND FAILED TO PASS UNANIMOUSLY TO APPROVE FOR Z202005 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a Special Permit pursuant to Section 7.9 – Rear Lot Requirements for two rear lots to

construct single family homes associated with a seventeen (17) lot resubdivision of 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential) Zone.

IV. OLD BUSINESS:

By consensus, election of officers was taken out of order and placed before adjournment.

1. Election of 2020 PZC Officers.

V. NEW BUSINESS:

1. Request for thirty day extension for filing of mylars for S202002 – Chilson Realty Company, owner/applicant, for re-subdivision of four parcels, Windermere Avenue and West Road, APN's 019-005-0000, 019-005-0003, 019-005-0004 and 019-005-0005, Commercial (C) Zone and IP (Industrial Park) Zone, originally approved April 27, 2020.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO GRANT Request for thirty day extension for filing of mylars for S202002 – Chilson Realty Company, owner/applicant, for re-subdivision of four parcels, Windermere Avenue and West Road, APN's 019-005-0000, 019-005-0003, 019-005-0004 and 019-005-0005, Commercial (C) Zone and IP (Industrial Park) Zone, originally approved April 27, 2020.

2. **BY CONSENSUS, RECEIVED AND SCHEDULED A PUBLIC HEARING FOR SEPTEMBER 28, 2020, 7:00 PM, VIA ZOOM OR PHYSICAL LOCATION AT 57 MAIN STREET, ELLINGTON, CT, WHICHEVER IS APPLICABLE AND IN ACCORDANCE WITH STATE EXECUTIVE ORDERS AND LOCAL RECOMMENDATIONS RELATING TO COVID-19 FOR Z202010** – Todd McCann and Alicia Neville, owner/applicant, Request for Special Permit pursuant to Section 3.1.3 (3) of the Ellington Zoning Regulations for more than 3 cars for a detached garage at 118 Sandy Beach Road, APN 150-041-0000, in a RAR (Rural Agricultural Residential) Zone.
3. **BY CONSENSUS, RECEIVED AND SCHEDULED A PUBLIC HEARING FOR SEPTEMBER 28, 2020, 7:00 PM, VIA ZOOM OR PHYSICAL LOCATION AT 57 MAIN STREET, ELLINGTON, CT, WHICHEVER IS APPLICABLE AND IN ACCORDANCE WITH STATE EXECUTIVE ORDERS AND LOCAL RECOMMENDATIONS RELATING TO COVID-19 FOR Z202011** – Nick Sackandy, owner/applicant, Request for Special Permit pursuant to Section 3.1.3 (3) of the Ellington Zoning Regulations for more than 3 cars for a detached garage at 63 Crane Road, APN 078-003-0004, in a RAR (Rural Agricultural Residential) Zone.
4. **BY CONSENSUS, RECEIVED AND SCHEDULED A PUBLIC HEARING FOR SEPTEMBER 28, 2020, 7:00 PM, VIA ZOOM OR PHYSICAL LOCATION AT 57 MAIN STREET, ELLINGTON, CT, WHICHEVER IS APPLICABLE AND IN ACCORDANCE WITH STATE EXECUTIVE ORDERS AND LOCAL RECOMMENDATIONS RELATING TO COVID-19 FOR Z202012** – Brent Walder, owner/applicant, Request for Special Permit pursuant to Section 3.1.3 (3) of the Ellington Zoning Regulations for more than 3 cars for a detached garage at 50 Kibbe Road, APN 122-014-0000, in a RAR (Rural Agricultural Residential) Zone
5. **BY CONSENSUS, RECEIVED AND SCHEDULED A PUBLIC HEARING FOR SEPTEMBER 28, 2020, 7:00 PM, VIA ZOOM OR PHYSICAL LOCATION AT 57 MAIN STREET, ELLINGTON, CT, WHICHEVER IS APPLICABLE AND IN ACCORDANCE WITH STATE EXECUTIVE ORDERS AND LOCAL RECOMMENDATIONS RELATING TO COVID-19 FOR Z202013** – Laura Gottier, owner/applicant, Request for Special Permit pursuant to Section 3.1.3 (3) of the Ellington Zoning Regulations for more than 3 cars for a detached garage and pursuant to Section 7.7 request for a Special Permit for a Home Occupation at 101 Webster Road, APN 145-006-0001, in a RAR (Rural Agricultural Residential) Zone.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of July 27, 2020 Regular Meeting Minutes
MOVED (FRANCIS) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO APPROVE JULY 27, 2020 REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence:

a. Pursuant to CGS Section 16-15j-40(a), Letter from Pullman & Comley, dated August 5, 2020, pertaining to East Windsor Solar One, LLC petition of Declaratory Ruling for solar project on East Road in East Windsor south of Middle Road and west of Tripp Road.

If the commission wants to provide comment they have through September 9, 2020 to do so. No comment was made.

b. Draft – Revised List of Appraisers

The commission approved the deletion of R.F. Hagearty & Associates from their list of approved appraisers.

c. Ellington Personnel Rules & Regulations – Use of Social Media

d. Review of proposed minor site improvements on town-owned land, Batz property, 97 Shenipsit Street, APN 030-005-0000, Residential (R) Zone.

The commission granted staff the authority to review the proposed improvements as minor site plan modifications.

IV. OLD BUSINESS:

1. Election of 2020 PZC Officers

A. Chairman

MOVED (FRANCIS) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO ELECT COMMISSIONER HOFFMAN FOR CHAIRMAN OF THE PLANNING & ZONING COMMISSION FOR THE YEAR OF 2020.

B. Secretary

MOVED (FRANCIS) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO ELECT COMMISSIONER SANDBERG FOR SECRETARY OF THE PLANNING & ZONING COMMISSION FOR THE YEAR OF 2020.

C. Vice-Chairman

BY ROLL CALL VOTE COMMISSIONER KELLY WAS ELECTED FOR VICE CHAIRMAN OF THE PLANNING & ZONING COMMISSION FOR THE YEAR OF 2020 (HOFFMAN, SANDBERG, KELLY, HIRTH, SWANSON AND MOSER FOR KELLY) (HOGAN, FRANCIS AND DURAO FOR HOGAN).

VII. ADJOURNMENT:

MOVED (FRANCIS) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO ADJOURN THE PLANNING & ZONING COMMISSION REGULAR MEETING AT 9:08 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk

ELLINGTON PLANNING & ZONING COMMISSION
LIST OF APPRAISERS (REVISED AUGUST 2020)

<p>Farm Credit East 240 South Road Enfield, CT 06082 (860)741-4380 (Phone) (860)741-4389 (Fax) george.malia@farmcrediteast.com George T. Malia, Jr.</p>	<p>R.P. McDermott Associates, Inc. 11 Mountain Avenue Suite 302 Bloomfield, CT 06002 (860)242-2700 (Phone) (860)242-1530 (Fax) rpmai@snet.net Richard McDermott</p>
<p>Hunter Associates, LLC 772 Farmington Avenue Farmington, CT 06032 (860)677-9646 (Phone) (860)676-9459 (Fax) bruceh@hunterllc.com R. Bruce Hunter</p>	<p>Stewart Appraisal Services 58 Hartford Turnpike Tolland, CT 06084-2835 (860)871-8015 (Phone) (860)870-7752 (Fax) (860)604-6899 (Cell) stewartappraisal@comcast.net Robert Stewart</p>
<p>Lily's LLC 1427 Enfield Street Enfield, CT 06082 (860)745-4547 (Phone) (860)253-0223 (Fax) (860)463-9997 dllonghi@aol.com Lori S. Longhi</p>	<p>T.W. Henry Real Estate Appraisals L.L.C. 33 Wynding Hills Road East Granby, CT 06026 (860)651-4034 (Phone) (860)651-4049 (Fax) twhenry@cox.net Thomas W. Henry</p>
<p>Peter Mayock 34 Brookside Drive Wilbraham, MA 01095 Phone: 1-413-567-3580 ppmcjm@aol.com Peter Mayock</p>	

FEE-IN-LIEU-OF OPEN SPACE (Excerpt Ellington Subdivision Regulations)

1. In lieu of providing all or part of the open space land, an applicant may, with the Commission's approval, pay a fee. This fee shall not exceed 10% of the fair market value of the land to be subdivided prior to the approval of the subdivision.
2. The fair market value shall be determined by an appraiser jointly selected by the Commission and the applicant, with the cost to be borne by the applicant. The Planning Department maintains a Commission-approved list of appraisers.
3. A fraction of such payment the numerator of which is one and the denominator of which is the number of approved parcels in the subdivision shall be made at the time of sale of each approved parcel of land in the subdivision and placed in a fund which shall be used for the purpose of preserving open space or acquiring additional land for open space or for recreational or agricultural purposes.
4. The Commission encourages the applicant to consider paying the entire fee prior to the filing of the subdivision map on the land records.