



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187

www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING AGENDA MONDAY, JUNE 22, 2020, 7:00 PM

ZOOM MEETING

**IN-PERSON ATTENDANCE NOT PERMITTED DUE TO COVID19, INSTRUCTIONS
TO JOIN VIRTUAL MEETING PROVIDED BELOW**

I. CALL TO ORDER:

II. PUBLIC COMMENTS (On non-agenda items):

III. PUBLIC HEARING(S):

1. S202003 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a re-subdivision for seventeen (17) lots for 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential) Zone and request to waive Section 4.06(iii) to allow permanent cul-de-sac of 1,350', Section 4.07 to allow 24' street width, and Appendix C 3.13(a) to allow HDPE pipe. **(Discussion to be tabled. Request to continue to 7/27/2020 is present.)**
2. Z202005 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a Special Permit pursuant to Section 7.9 – Rear Lot Requirements for two rear lots to construct single family homes associated with a seventeen (17) lot resubdivision of 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential) Zone. **(Discussion to be tabled. Request to continue to 7/27/2020 is present.)**
3. Z202008 – MJS Leasing LLC & Chilson Realty Co. owners/ Town of Vernon & Town of Ellington applicants, request for Site Plan Approval for the construction of four full-size soccer fields, parking and access roads, concession and restroom buildings, and associated site improvements on properties along the east side of Windermere Avenue near the Vernon town line, at APNs 011-033-0000, 019-005-0004 and 019-005-0005. **(Notice requirements met, hearing may commence.)**

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Pursuant to memo dated June 10, 2020, from the Board of Selectmen, request for CGS §8-24 review for a donation of land (.72 acres) within the RAR Zone (Rural Agricultural Residential) on Webster Road, APN 108-008-0001.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of May 18, 2020 Regular Meeting Minutes
2. Correspondence:
 - a. Verogy letter (dated June 8, 2020) regarding intent to submit 4.975 mw solar array to the Connecticut Siting Council for 30 acres of a 73 acre parcel at 341 East Road, East Windsor, CT, near Ellington town line.
 - b. SBA Communications letter (dated June 8, 2020) notice of exempt modification to replace 3 antennas on existing cellular tower at 101 Burbank Road, Ellington, CT.

VII. ADJOURNMENT:

Next PZC Regular Meeting is scheduled for July 27, 2020

Join Meeting via ZOOM Video Communications:

In order to comply with COVID-19 limited in-person meetings and social distancing requirements, this meeting will be conducted using the online video conferencing service provider Zoom. Meeting details will be provided on the Agenda and posted on the Ellington webpage (www.ellington-ct.gov), Agenda & Minutes, Planning & Zoning Commission.

Join Zoom Meeting via link:

<https://zoom.us/j/94601022677>

Meeting ID: 946 0102 2677

Password: 379061

Join Zoom Meeting by phone:

1-646-558-8656 US (New York)

Meeting ID: 946 0102 2677

Password: 379061

S202003
Z202005

GARDNER & PETERSON ASSOCIATES, LLC

PROFESSIONAL ENGINEERS • LAND SURVEYORS

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT 06084

KENNETH R. PETERSON, L.S.
ERIC R. PETERSON, P.E., L.S.
MARK A. PETERSON, P.E.

TELEPHONE: (860) 871-0808

info@GardnerPeterson.com
www.GardnerPeterson.com

June 16, 2020

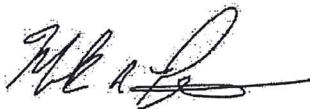
Mrs. Lisa Houlihan
Town Planner
Town of Ellington
55 Main Street
Ellington, Connecticut 06029

Re: Ridge Crossing
Tripp Road

Dear Lisa,

At the request of the applicant, TYMAC Holdings LLC, I hereby grant the Planning and Zoning Commission an extension to continue applications S202003 and Z202005 to the July 27, 2020 meeting.

Please contact me if you have any questions.



Mark A. Peterson P.E.

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input checked="" type="checkbox"/> Site Plan Approval <input type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <u>2202008</u> <hr/> Date Received <u>5/21/2020</u>
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Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: MJS Leasing, LLC/ Chilson Realty Co.

Mailing Address: 27 Standish Rd./ PO Box 611
Ellington CT 06029 / Vernon CT. 06066

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Signature: [Signature] Date: 5/14/2020

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: Town of Vernon/ Town of Ellington

Mailing Address: 14 Park Place/ 55 Main St.
Vernon CT 06066/ Ellington CT 06029

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Signature: [Signature] Date: 5/20/2020

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: Lot #33 - Windemere Avenue, Ellington CT 06029/ Lot #5 West Rd. Rear

Assessor's Parcel Number (APN): 011-033-0000/ 019-005-0005 Existing Zone: IP/IP Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) 019-005-0004 (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-31(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (if more space is needed, please attach additional sheets)

See Narrative

Windermere Fields

Windermere Avenue, Ellington, CT.

Site Plan Review

Ellington Parcels

011-033-0000 owned by MJS Leasing, LLC. 11.21 acres Industrial Park Zone

019-005-0005 owned by Chilson Realty Co. 21.31 acres Industrial Park Zone

Vernon Parcel

22-0039-00003 owned by MJS Leasing, LLC. 1.9 +/- acres PRD Zone

May 21, 2020
David A. Smith, CT PELS 14173
Vernon Town Engineer

Project Narrative

The current proposal includes four full size soccer fields, associated parking and access roads surfaced with recycled bituminous millings, amenities such as a concession building with restrooms and storage facilities on the upper level and a second separate building with restrooms for the lower terrace fields. Additionally, an area has been reserved for a more formal playground. Potable water will be provided by CT Water, sanitary waste will be directed to an on-site disposal field. Storm water runoff from the fields, parking and other grass surfaces will be directed to localized recharge systems.

The proposed project is located on two separate parcels which will be acquired by the Town of Vernon and merged into a single tract. The 21.3 Acre parcel currently owned by Chilson Realty Co. (m19-b5-15) is located in the northerly portion of the project, and the 11.2 Acre parcel currently owned by MJS Leasing, LLC. (m11-b33-100) is located in the southerly portion of the project, 9.3 acres and 1.9 acres in Ellington and Vernon respectively.

The site contains upland soils, soils of alluvial origin and traditional Poorly or Very Poorly wetland soils. The limits of these various soils as determined by a field investigation are shown on the attached plans. The official wetland limits as shown on the Town of Ellington Website is also shown on the plans along with the 100-year flood limit as published by the FEMA FIRM map. Both Parcels have recently been in active crop production, throughout the parcels without regard to soil category or flood potential.

The change from the current agricultural practices to a stable lawn cover should reduce soil erosion and maintain/improve rainwater infiltration. In order to prepare drought resistant fields and reduce the needs for irrigation in fields 1, 2, and 3 it is suggested that topsoil and loam layers be separately stripped and reserved for replacement after the sandy/gravelly soils are shaped to mirror the finished grading. This will ensure favorable conditions for deep rooted plantings and rainwater infiltration. Field 4 is within the 100 year flood zone and will be regraded to the finished surface without importing any materials to prevent the loss of flood storage.

These techniques and the installation of leaching catch basins will capture runoff to the maximum extent possible. The configuration of the fields and access roads have been developed to eliminate any increases to streamflow volumes and velocity.

Initial Step – the site has been in corn production for a number of years and may or may not be clear of vegetation depending on when or if a cover crop has been planted. The first activity should be to protect the native topsoil from wind and water erosion with a vigorous cover crop.

Phase 1 -includes the construction of the park access road to future Concession Stand and northerly most parking area; the actual parking area, and field #1 and the extension of the Utilities to a central terminus. Landscaping, water management elements and stabilization of the surrounding non-play grass areas.

Phase 2 -includes the construction of field #2, the second parking area, the concession stand, landscaping, water management elements, septic system and leaching field, and stabilization of the surrounding non-play grass areas.

Phase 3 -includes the extension of the access drive and the remaining parking area, field #3, landscaping, water management elements, second restroom building, required utilities connections and stabilization of the surrounding non-play grass areas.

Phase 4 -includes the construction of the service road, construction of field #4, and stabilization of the surrounding non-play grass areas. Field #4 is located within the 100-yr flood area and the final grades are developed to balance the volumes of cuts and fills such that no loss of flood storage will occur. The access path will mimic the existing grades and is only for emergency or maintenance use. No parking areas or structures are proposed in this vicinity.

The project is divided into 4 phases to allow regrading and subsequent stabilization to proceed as rapidly as possible. Construction activities will also be influenced by funding schedules and the availability of resources. Landscaping including buffer trees, gardens, fencing and the location sign will be installed as the project progresses. The tree species shown on the Site Plans are suggested. Variation from those listed species will be permitted only with the permission of the Ellington Parks and Recreation Director.

Applications to the Ellington IWC, Vernon IWC, North Central District Health Department, and the CT DEEP Stormwater division will also be part of this Project.

The attached plan set and supplemental documents have been provided to assist the Ellington Planning and Zoning Commission in their review of this proposal.

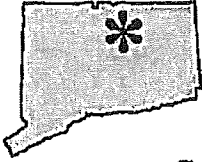
On-site Waste Water Disposal

This project includes two parcels in Ellington, one of which also crosses the town line into Vernon. The northerly parcel, currently owned by Chilson Realty has been included in the Ellington WPCA Sewer Service Area, while the other is not. That portion of the second parcel in Vernon, could access the public sewers, but the location and topography make such a connection impractical.

At the suggestion of Tim Webb, Ellington DPW, the focus was directed toward on-site wastewater disposal. This would not only provide an easy option for disposal, but would be consistent with the idea of recharging the water cycle where it would be most beneficial.

The Town of Vernon Department of Public Works executed 4 deep test pits and prepared a percolation test. Wes Lirot from the North Central District Health Department observed and recorded the data with David Smith, PEELS, Town Engineer for Vernon. The results of that investigation are attached.

The soils are very suitable for on-site waste water disposal for the proposed use. A detailed design will be prepared at a future date for review and approval by the Health District. The leaching fields will be located on the parcel that does not have an allocation from the Ellington WPCA. The flow allocation from the Chilson Realty parcel could be available to other properties if the WPCA desired.



North Central District Health Department

- Enfield - 31 North Main Street - Enfield, CT 06082 - (860) 745-0383 Fax 745-3188
- Vernon - 375 Hatford Turnpike, Room 120 - Vernon-Rockville, CT 06066 - (860) 872-1501 Fax 872-1531
- Windham - Town Hall - 979 Main Street - Willimantic, CT 06226 - (860) 465-3033 Fax 465-3032
- Stafford - Town Hall, 1 Main Street - Stafford Springs, CT 06076 - (860) 684-5609 Fax 684-1768

Subsurface Sewage Disposal Investigation Results

0000 Windermere Ave Ellington

Lot # Street # St_name Town Subdivision

Mjs Leasing Llc 27 Standish Street Ellington Ct 06029

Owner Owner Address Town St Zip

12 May, 2020
Date

HOLE		HOLE		HOLE		HOLE	
Time	Reading	Time	Reading	Time	Reading	Time	Reading
12:31	13"						
12:33	16.5"						
12:34	17.25"						
12:35	18"						
12:36	18.75"						

Hole	Depth	Presoak	Perc Rate (Min/In)
	* 21"+24"	Yes	1.3 min. / in.

Soil Description Observation Pits

Pit 100	Pit 101	Pit 102	Pit 103	Pit																									
0-19" topsoil 19-30" brown sandy loam 30-48" reddish sand and gravel 48-130" reddish medium to fine sand no ledge, no seepage few roots outside of A horizon - field	0-14" topsoil 14-30" reddish sand & gravel 30-94" reddish medium to coarse stratified sand with gravel no ledge no seepage few roots	0-13" topsoil with gravel 13-22" red brown loamy gravel 22-98" reddish coarse sand & gravel with cobbles no ledge no seepage	0-14" topsoil 14-55" reddish sand & gravel 55-101" reddish medium no ledge no seepage																										
Pit	Pit	Pit																											
			<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>PIT</th> <th>DEPTH</th> <th>LEDGE</th> <th>GROUND WATER</th> <th>SOIL MOTTLING</th> </tr> </thead> <tbody> <tr> <td>100</td> <td>130"</td> <td>None</td> <td>None</td> <td>Indistinct</td> </tr> <tr> <td>101</td> <td>94"</td> <td>None</td> <td>None</td> <td>Indistinct</td> </tr> <tr> <td>102</td> <td>98"</td> <td>None</td> <td>None</td> <td>Indistinct</td> </tr> <tr> <td>103</td> <td>101"</td> <td>None</td> <td>None</td> <td>Indistinct</td> </tr> </tbody> </table>	PIT	DEPTH	LEDGE	GROUND WATER	SOIL MOTTLING	100	130"	None	None	Indistinct	101	94"	None	None	Indistinct	102	98"	None	None	Indistinct	103	101"	None	None	Indistinct	
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102	98"	None	None	Indistinct																									
103	101"	None	None	Indistinct																									

David Smith
Investigator

Westford Lirot, R.S.
Confirmed/Witnessed by

Prepared By: _____

Sanitarian
Date: 5/15/2020

0000

Windermere Ave

Ellington

Lot_Num Street # St_name

Town

Subdivision

Mjs Leasing Llc

27 Standish Street

Ellington

Ct 06029

Owner

Owner Address

Town

St Zip

SPECIAL CONDITIONS

- System design larger than 2,000 g.p.d? Yes No
- Water supply watershed? Yes No
- Possible seasonal high ground water? Yes No
- Watercourse, marsh or pond? Yes No
- High ground water (less than 3 ft.)? Yes No
- Possible seasonal flooding? Yes No

- Limited suitable area? Yes No
- Excessive slope (over 25%)? Yes No
- Marginal soil (30-60 mins / inch)? Yes No
- Shallow ledge (less than 5 ft.)? Yes No
- Underlying tight soil (less than 4 ft.)? Yes No
- Other? Yes No

CONCLUSION

- Suitable for sewage disposal? Yes No Pending
- Additional investigation required? Yes No
- Retest during wet season? Yes No

- Engineer's plan required Required
- Not Required
- Recommended

DESIGN REQUIREMENTS:

*note percolation hole total depth = 45" from surface. Perc hole depth of 21" begins at 24" cut down from soil surface.
 Soil testing conducted for possible septic system suitability for potential restrooms and snack bar for sports recreation fields. The soil conditions encountered within the test pit locations are acceptable for construction of a subsurface sewage system, an engineers site development plan including the subsurface sewage design parameters would be required for review by NCDHD.

David Smith

Investigator

Westford Lirot, R.S.

Confirmed/Witnessed by

Prepared By: _____

Sanitarian

Date: 5/15/2020

Drainage Review

It is the intent of this proposal to capture and recharge stormwater runoff to the maximum extent possible. The site is fortunate to have favorable grades and to be underlain with well drained sand and gravel. The access road will slope into the site and the grading for Field #1 will be below the elevation of Windermere Avenue. No water will flow from the site to the road or any town storm drainage system, nor will there be any adverse impact to the Hockanum River system. In addition to the well-drained soils in the area of the Fields, Parking and other improvements, there is an extensive area of poor or very poorly drained Hydric Soils in the center of the campus that provides natural nutrient attenuation, water storage and groundwater recharge.

Adjacent to Fields #1,2 and 3 leaching catch basins have been proposed to supplement natural infiltration, typical of areas with rich well drained soils with a grass cover. The proposed contours are developed to direct water into these structures. Field #4 is located adjacent to traditional wetland soils and rainfall that doesn't infiltrate on the field will easily be accommodated in these wetlands. Each field is graded to provide a uniform 1 to 2% grade and will support a vigorous stand of grass, both characteristics of a strong infiltration program.

The percentage of precipitation that is infiltrated increases with the conversion from bare soil/corn agriculture to uniformly graded grass areas. Approximately $\frac{3}{4}$ of an acre of the existing agriculture use will be developed to provide access and parking for the complex. It is proposed that recycled bituminous millings be used rather than bituminous pavement. This is obviously a cost savings, but the millings also tend to be less impermeable when compared to blacktop. They are however still more impervious than agriculture or grass surfaces.

Using the rational runoff method, we can approximate the potential impacts of this surface change on the site hydrology.

Thunderstorm - A 10 year storm with a time of concentration of 10 minutes will have an precipitation rate of 5.3 inch/hour. The infiltration coefficient for blacktop is 0.9 and for grass is 0.2. If the millings represent a compromise between the two surfaces, let's use a value of 0.55. The conversion from grass to millings would therefore be 0.35. The area of access drive and parking is $\frac{3}{4}$ acres. The runoff increase would be $0.75 \text{ acres} \times 5.3 \text{ iph} \times 0.35$ or 1.4 cfs. Over the storm duration, this would result in 840 cubic feet of runoff water. Each of the 5 leaching catch basin provides approximately 500 cubic feet of storage, and will exfiltrate this stored water rapidly in the coarse-grained soils. It is interesting that the 100 year storm is 12 inch/hour, only slightly double the intensity of the 10 year storm. In this case we can predict about 1900 cubic feet of runoff water due to the change from agriculture to reasonably porous driveway and parking lot treatments. This is also less than the storage capacity of the 5 leaching catch basins.

Really Wet Day - A 10 year storm with a duration of 24 hours will have an precipitation rate of 0.21 inch/hour. The conversion from grass to millings is still 0.35. The area of access drive and parking is $\frac{3}{4}$ acres. The runoff increase would be $0.75 \text{ acres} \times 0.21 \text{ iph} \times 0.35$ or 0.055 cfs. Over

the storm duration, this would result in approximately 4800 cubic feet of runoff water. Each of the 5 leaching catch basin provides approximately 500 cubic feet of storage, and will exfiltrate this excess water rapidly in the native coarse-grained soils. The 100-year storm for the same duration is 0.525 inch/hour, also only slightly double the intensity of the 10-year storm. In this case we can predict about 12000 cubic feet of runoff water due to the change from agriculture to reasonably porous driveway and parking lot treatments. While it is conceivable that even this volume could be accepted by the leaching catch basins, the result of them being overtaxed is merely that the swale and field will retain standing water until it can be infiltrated either in the basins or the ground surface. Recall this is the 100 year event, with a steady rain for 24 hours. Standing water will be observed, and games should be canceled. No other impacts on surrounding properties will occur.

Traffic Considerations

A traffic counting device was installed along Windermere Avenue on Monday March 2 to Monday March 9, 2020. This was considered a typical traffic window, school was in session, no holidays are included in this period and the Covid -19 restrictions had not yet be implemented. Data was collected related to vehicle speed, direction of travel, hour of travel.

During this period, Windermere Avenue experienced 22522 vehicle trips, or an Average Daily Trips (ADT) of 3217 in both directions. This was divided nearly equally, 1604 and 1613, between northbound and southbound travel directions respectively. The mean travel speed was 36.9 miles per hour.

The weekday morning peak hour is generally 7 am or 8 am while the weekday afternoon peak hour is generally 4 pm or 5 pm. Weekend peaks generally occur in mid-day hours. The data generated in this evaluation is consistent with this pattern. Actual volumes for these peak hours are as follows:

Weekday AM Ave Peak Hour	114 northbound	145 southbound
Weekday PM Ave Peak Hour	177 northbound	167 southbound
Weekend AM Ave Peak Hour	119 northbound	120 southbound
Weekend PM Ave Peak Hour	133 northbound	118 southbound

The Institute of Traffic Engineers shows a trip generation rate for Soccer Complexes as 16.43 trips per field to the PM Peak hour. The four fields proposed, once all on line would therefore be expected to add and additional 66 trips to the base traffic. The nature of public recreational complex such as the one proposed is to be most fully utilized on the weekends. With the projected increased traffic, combined with the weekend data, we see that projected peak hours would be only slightly higher than the a busy weekday around 4 or 5 pm.

Windermere Avenue is reasonably level and straight and sightlines are ample to enter and exit this road at the proposed driveway. The proposed driveway entrance provides for a single lane in and two lanes to exit, providing for separate right and left hand turns onto Windermere. It is expected that much of the exiting traffic will be turning southbound when the fields are used by Vernon Soccer League teams, but when programed for Ellington use or when visiting teams are playing a more balance traffic flow is expected.

Other than the construction of the driveway itself and making sure that proposed landscaping does not encroach on the sightlines, no other proposed improvements along Windermere Avenue are anticipated.









Barbra Galovich

From: Timothy Webb
Sent: Thursday, June 04, 2020 6:48 AM
To: Barbra Galovich
Subject: RE: Staff Review request for PZC Z202008 - Windermere Fields

Barbra, will need ROW permit and to move forward into Phase 2, WPCA review. I have made the WPCA aware of this project, will be discussed at the June 17 th meeting in more detail

From: Barbra Galovich
Sent: Wednesday, June 03, 2020 3:49 PM
To: James York <JYork@ELLINGTON-CT.GOV>; Kim Bechard <KBechard@ELLINGTON-CT.GOV>; Lori Spielman <lspielman@ELLINGTON-CT.GOV>; Mike Caronna <mcaronna@ncdhd.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Timothy Webb <twebb@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: RE: Staff Review request for PZC Z202008 - Windermere Fields

Hi,

We just received revised plans dated June 3, 2020 for the Windermere Fields. Please use the attached plan when doing your review.

Thank you and sorry for any inconvenience.
Barbra

From: Barbra Galovich
Sent: Wednesday, June 03, 2020 10:25 AM
To: 'Jim York' <jyork@ellington-ct.gov>; 'kim bechard' <kbechard@ellington-ct.gov>; 'Lori Spielman' <lspielman@ellington-ct.gov>; 'Mike Caronna' <mcaronna@ncdhd.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; 'sydney Kern' <skern@ellington-ct.gov>; Timothy Webb <twebb@ELLINGTON-CT.GOV>; 'Westford Lirot' <wlirot@ncdhd.org>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: Staff Review request for PZC Z202008 - Windermere Fields

Hi,

Please see the attached documentation with Staff Review Sheet. This application will be discussed at the PZC June 22, 2020 meeting.

Please provide your comments/concerns on or before June 16, 2020.

Thank you in advance for your review.
Barbra

Barbra Galovich, CZET
Land Use Assistant
Town of Ellington
55 Main Street

ELLINGTON PLANNING DEPARTMENT
STAFF REVIEW SHEET

PLANNING & ZONING COMMISSION

Z202008 – MJS Leasing LLC & Chilson Realty Co. owners/ Town of Vernon & Town of Ellington applicants, request for Site Plan approval for the construction of four full-size soccer fields, parking and access roads, concession and restroom buildings, and associated site improvements on properties along the east side of Windermere Ave near the Vernon town line, at APNs 011-033-0000, 019-005-0004 and 019-005-0005.

PUBLIC HEARING DATE: June 22, 2020

STAFF REVIEW RETURN DATE: June 16, 2020

DEPARTMENT	COMMENTS AND/OR REQUIREMENTS
Town Engineer	<p>Soil testing has been conducted in the area of Phase 2 / field 2 with the Vernon Town Engineer & NCDHD. Soils encountered in the area predominately included stratified sands and gravel suitable for the construction of a subsurface sewage system with water supplied by a public water service connection.</p> <p>An Engineers septic system design plan for the restrooms must be submitted to NCDHD for review and approval. Soil removal and grading must take into consideration preservation of the underlying natural soils within the septic system leaching area to prevent disturbance.</p> <p>The phase 2 concession stand design will require additional food service plan review by this Department.</p>
Building Official	
North Central District Health Dept	
Fire Marshal	
Public Works Director/WPCA	
Assessor	
Traffic Authority	

Barbra Galovich

From: Dana Steele <dstele@jrusso.com>
Sent: Thursday, June 11, 2020 11:25 AM
To: Smith, David; John Colonese; Lisa Houlihan; Barbra Galovich
Cc: Rachel Dearborn; rvzulick@hotmail.com; Purcaro, Michael; Gately, Shaun
Subject: RE: Windermere Fields Plan Set - REV 2 - 6-3-20

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Greetings all. One more comment from my discussion with our Public Works Director. To avoid dust tracking onto Windermere Ave, we would like at least the first 50' of the driveway to be paved. Dave, can you propose a separate detail for the paved apron? Thanks.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dstele@jrusso.com | www.jrusso.com

From: Dana Steele
Sent: Wednesday, June 10, 2020 5:41 PM
To: 'Smith, David' <dsmith@vernon-ct.gov>; 'John Colonese' <jcolonese@ELLINGTON-CT.GOV>; 'LHoulihan@ELLINGTON-CT.GOV' <LHoulihan@ELLINGTON-CT.GOV>; 'Barbra Galovich' <bgalovich@ELLINGTON-CT.GOV>
Cc: 'rachel@landmarksurveys.com' <rachel@landmarksurveys.com>; 'rvzulick@hotmail.com' <rvzulick@hotmail.com>; 'Purcaro, Michael' <mpurcaro@vernon-ct.gov>; 'Gately, Shaun' <sgately@vernon-ct.gov>
Subject: RE: Windermere Fields Plan Set - REV 2 - 6-3-20

Lisa,

Regarding the 6/3/20 revised plans, in addition to my comments for Wetlands 1-7 below, I offer the following additional PZC specific comments:

- a) At a previous staff meeting, we discussed eliminating the dead end parking by looping the parking north of field 2 back to the main driveway. This could add room for more parking and eliminate the need for the dead end parking east of field 1. The reason for this suggestion is to provide better traffic circulation. With these types of uses, all the traffic tends to enter and leave at the same time between games and a more circular flow would avoid congestion. Dave indicated he forgot to incorporate this suggestion so I assume it will be depicted on the next revision.
- b) The fork in the driveway south of field 1 could also be reconfigured into a 90-degree 4-way intersection, or a 3-way intersection with the middle driveway eliminated.

- c) The Drainage Review included with the application package assumes a runoff coefficient for pavement millings of 0.55. While I believe this is too low, the overall calculations are conservative and the 2,500 cubic feet of infiltration storage capacity provides ample recharge volume. Overall I believe the conversion of agricultural fields to ballfields will yield a reduction in runoff from the site. The infiltration BMP's are a welcome enhancement to the site's stormwater management program.
- d) Specify the top of frame and bottom elevation of each infiltration structure and basin. Provide soil testing data at each structure and basin to verify bottom of system is at least 36" above the seasonal high water table. This could be a condition of approval prior to start of construction, but design changes to accommodate unexpected soil results may require modification of approval by staff or commission.
- e) Provide specification for the infiltrator unit (manufacturer and model number).
- f) The Traffic Considerations report assumes a peak hour trip generation of 16 per field. This seems low if all games start at the same time. But regardless, the volume of traffic on Windermere is very low and this use will produce less trips than a conventional commercial or industrial development.

Let me know if you have any questions.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteale@jrrusso.com | www.jrrusso.com

From: Dana Steele

Sent: Wednesday, June 3, 2020 5:28 PM

To: 'Smith, David' <dsmith@vernon-ct.gov>; John Colonese <jcolonese@ELLINGTON-CT.GOV>; LHoulihan@ELLINGTON-CT.GOV; Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Cc: rachel@landmarksurveys.com; rvzulick@hotmail.com; Purcaro, Michael <mpurcaro@vernon-ct.gov>; Gately, Shaun <sgately@vernon-ct.gov>

Subject: RE: Windermere Fields Plan Set - REV 2 - 6-3-20

Thank you David.

John, David and I have been discussing some of my preliminary comments on the original plans. These latest plans are a product of that initial discussion. While we are moving in the right direction, there remain a few items to be addressed and some additional items I did not identify in my initial discussions with David. I offer the following wetland comments for consideration prior to Monday's wetland meeting:

1. The drawing is difficult to read as all the line types are the same. Provide different line types, legend and more labels to distinguish between utility lines, existing contours and proposed contours. It appears that the proposed 238 and 239 contours are missing on sheet 4.
2. Limits of disturbance are not clearly defined other than by silt fence location. A proposed tree clearing limit should be indicated on sheet 4 beyond the perimeter silt fence where encroaching into existing vegetation.
3. Field 4 includes two low spots at the southern corners of the field below contour 230. It does not appear that these areas will drain to daylight without grading beyond the silt fence limit. Provide spot grades and clarify

- whether these are intended to drain toward the wetlands or retain water. If they are to surface drain, move the perimeter silt fence to the daylight limit and note the area of temporary wetland disturbance if applicable.
4. Temporary sediment traps are proposed during construction to control sediment from areas of concentrated runoff. The trap detail should include a stone filter berm with both wet and dry storage in accordance with the CT Erosion Control Guidelines. Provide watershed area map and sizing calculations for each sediment trap.
 5. The plans have been modified to include stormwater infiltration basins for water quality treatment of runoff from paved areas. Provide calculations demonstrating basins are sized for the water quality volume per DEP Stormwater Quality Manual.
 6. Vegetated filter strips are also proposed for pre-treatment of runoff and containment of pollutants and sediment. However the parking lots are graded such that a significant portion of the runoff will bypass the filter strips. Consider reconfiguring the parking to wrap the filter strips around the parking areas. Also, consider moving the parking area which is east of field 2, closer to the toe of the fill slope east of field 2. This will provide greater wetland buffer and will allow room for runoff to be swaled to the stormwater infiltration basin. Provide a forebay for swale runoff prior to the swale discharge to the main infiltration basin.
 7. A swale reinforcement detail is provided. Clarify where this feature is proposed on the plans.

I have other comments related to the parking layout and soil testing but I will reserve these for my PZC comments. Also, it should be noted that field 4 is located within the 100-year flood zone. A note indicates the grades within the flood zone will be adjusted in the field to ensure no additional soil is brought into the flood zone. Let me know if you have any questions.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteeler@jrrusso.com | www.jrrusso.com

From: Smith, David <dsmith@vernon-ct.gov>
Sent: Wednesday, June 3, 2020 3:26 PM
To: John Colonese <jcolonese@ELLINGTON-CT.GOV>; LHoulihan@ELLINGTON-CT.GOV; Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; Dana Steele <dsteeler@jrrusso.com>
Cc: rachel@landmarksurveys.com; rvzulick@hotmail.com; Purcaro, Michael <mpurcaro@vernon-ct.gov>; Gately, Shaun <sgately@vernon-ct.gov>
Subject: FW: Windermere Fields Plan Set - REV 2 - 6-3-20

Good afternoon All

As discussed the attached file includes the revised plans for the Windermere Fields Project. These have been modified to reflect various design enhancements and all plans should show a revision date of 6/3/20. It was my hope to develop only one set of plans that would be comprehensive enough to serve both Wetlands Commissions and the Ellington Planning and Zoning Commission. Consequently, there may be elements that seemingly may not be necessary for a particular review board, but better to have more details than not enough.

I look forward to your comments and suggestions, and to presenting this plan on Monday to the Ellington Wetlands.

Thank you all for your patience while we pulled this together.

Dave

From: Perry, Craig

Sent: Wednesday, June 3, 2020 2:46 PM

To: Smith, David <dsmith@vernon-ct.gov>; Gately, Shaun <sgately@vernon-ct.gov>

Subject: Windermere Fields Plan Set - REV 2 - 6-3-20

Craig W. Perry

Town of Vernon

Engineering Department

Phone: 860-870-3638

Fax: 860-870-3683

cperry@vernon-ct.gov

Town of Ellington
Department of Town Fire Marshal
Memorandum



To: Planning & Zoning Commission

From: James S. York II, Fire Marshal

Date: June 11, 2020

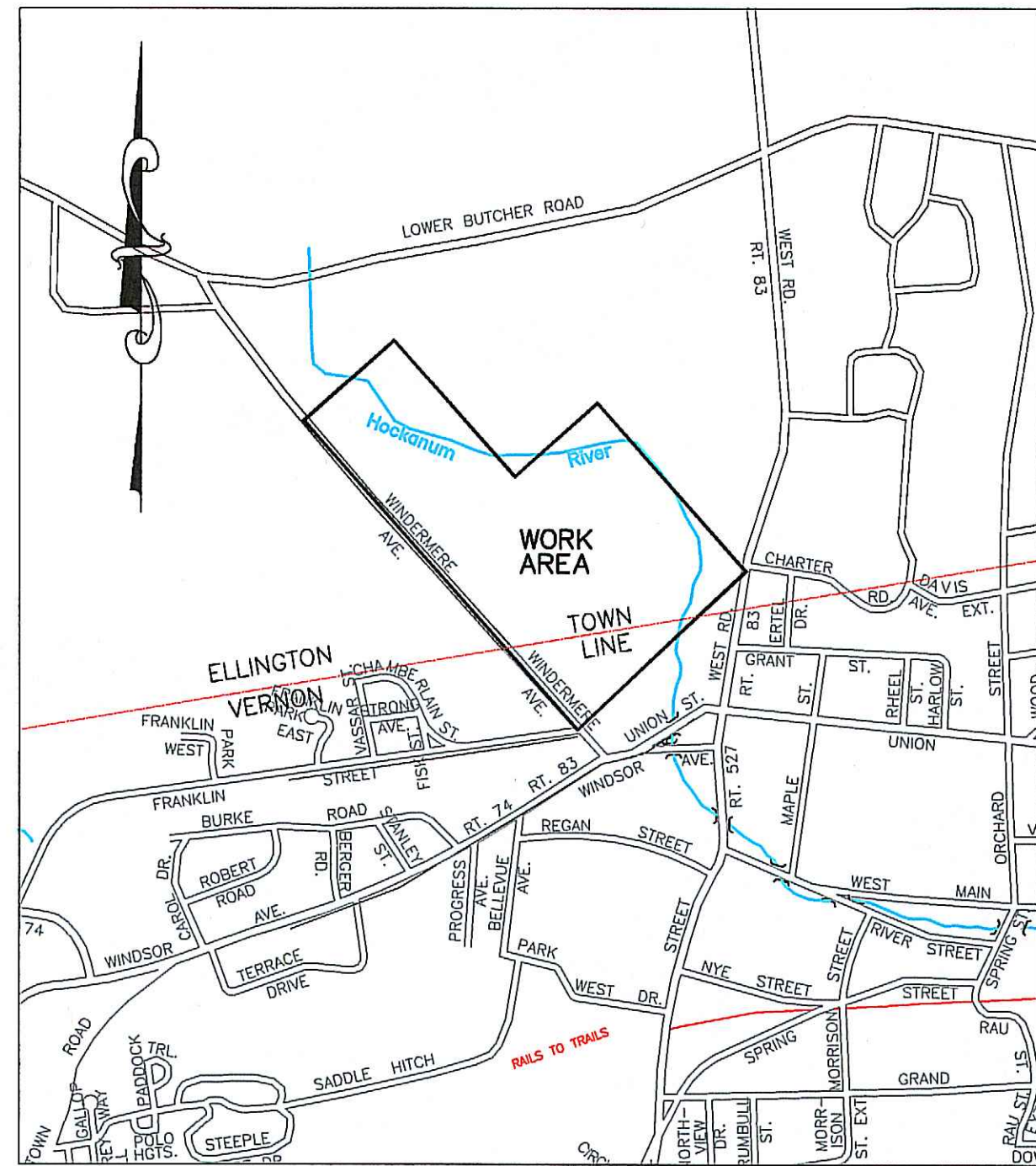
Subject: Windermere Ave soccer fields

Copy(ies): Lisa Houlihan, Town Planner
File

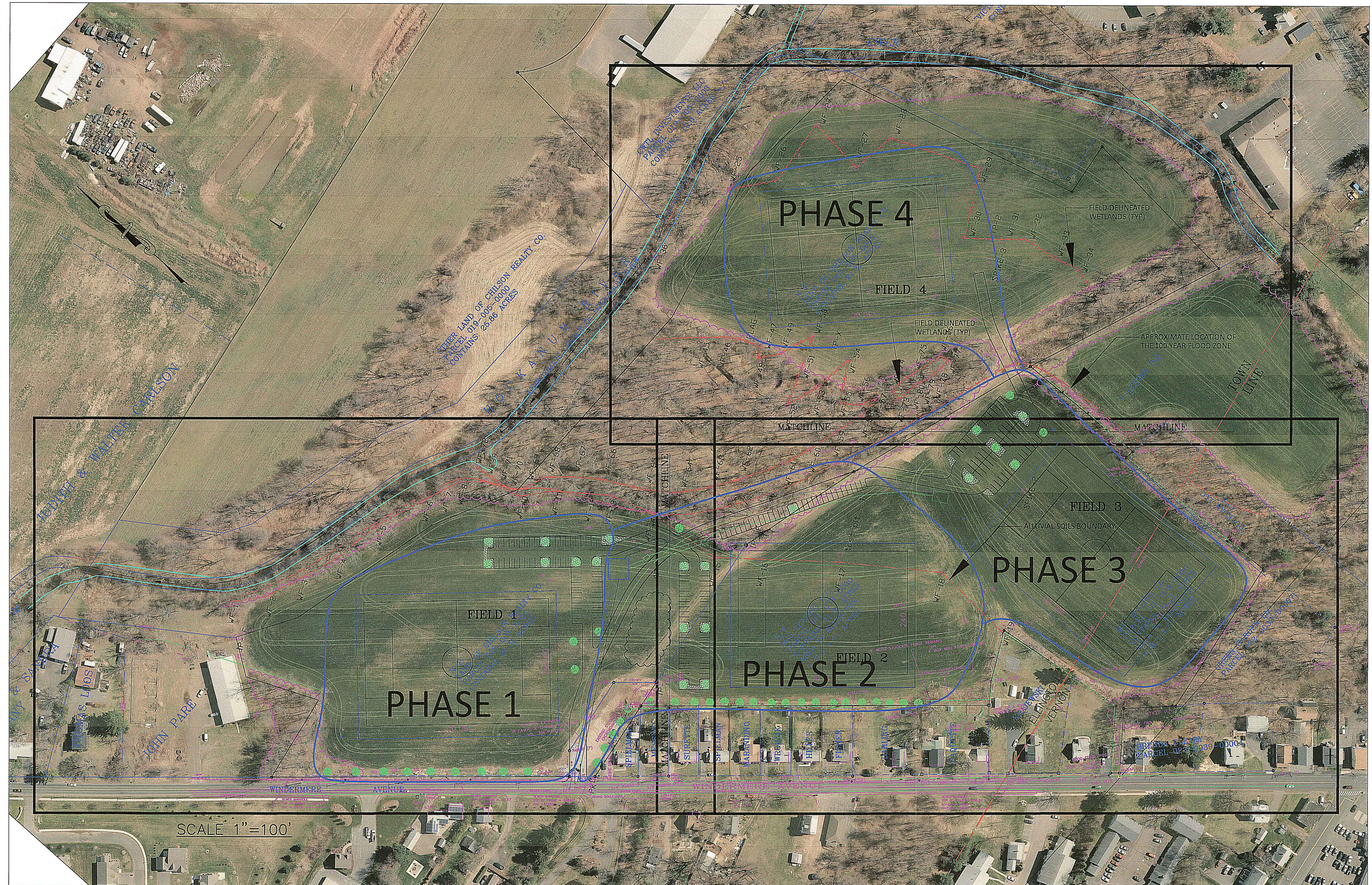
This memo is being sent in reference to a site plan approval request for the construction of four full-size soccer fields, parking and access roads, concession and restroom buildings, etc. Ref. PZC Z202008

The following items should be taken into consideration by the Commission in the interest of public safety.

1. The Town Engineer should certify that the roadways are constructed so that they will support emergency vehicle access.
2. Roads and parking areas should be constructed such that they will accommodate fire apparatus and emergency vehicles and are arranged to require either limited or no backing.
3. Fire Lanes may need to be designated in an effort to control parking and provide for emergency vehicle access. Because the proposed road surface is not asphalt, the method of marking/designating the fire land may include additional signage and/or other barrier requirements.



KEY MAP
SCALE 1" = 1000'



MAP REFERENCE:

- BOUNDARY INFORMATION SHOWN HEREON IS BASED IN PART ON THE FOLLOWING SURVEYS:
 - "REVISION TO SUBDIVISION MAP" LIMITED PROPERTY SURVEY LAND OF CHILSON REALTY CO. LANDMARK SURVEYS, LLC DATED 4/27/2020.
 - PROPERTY SURVEY PREPARED FOR TOWN OF VERNON LAND OF MJS LEASING LLC LANDMARK SURVEYS, LLC DATED 4/27/2020
- CONNECTICUT WATER MAP – PROPOSED WATER MAIN REPLACEMENT PREPARED BY GESICK & ASSOCIATES, P.C. DATED 11/9/2018.
- TOPOGRAPHIC INFORMATION DEVELOPED FROM LIDAR SURVEY PERFORMED BY CT DOT AND ASSESSED FROM UNIVERSITY OF CT MAPPING CENTER.

DAVID A. SMITH CT PELS 314173
VERNON TOWN ENGINEER
AUTHORIZED PRINTS WILL BEAR MY EMBOSSED SEAL

DATE

WETLANDS NOTE:

RICHARD ZULIK /CERT. SOIL SCIENTIST

DATE

#1 - This plan is a dependent Re-Survey with an Accuracy Standard of A-2.
#2 - This Plan has been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300a-20. It is a Completion Plan and is considered Class A-2 and T-D Accuracy Standard.
#3 - A-2 Certification applies only to perimeter boundary information as presented. Map reference #1.

To my knowledge and belief, this map is substantially correct as noted hereon.

Rachel Dearborn, Licensed Land Surveyor #70295
This certification not valid unless this plan bears a live signature and my embossed seal



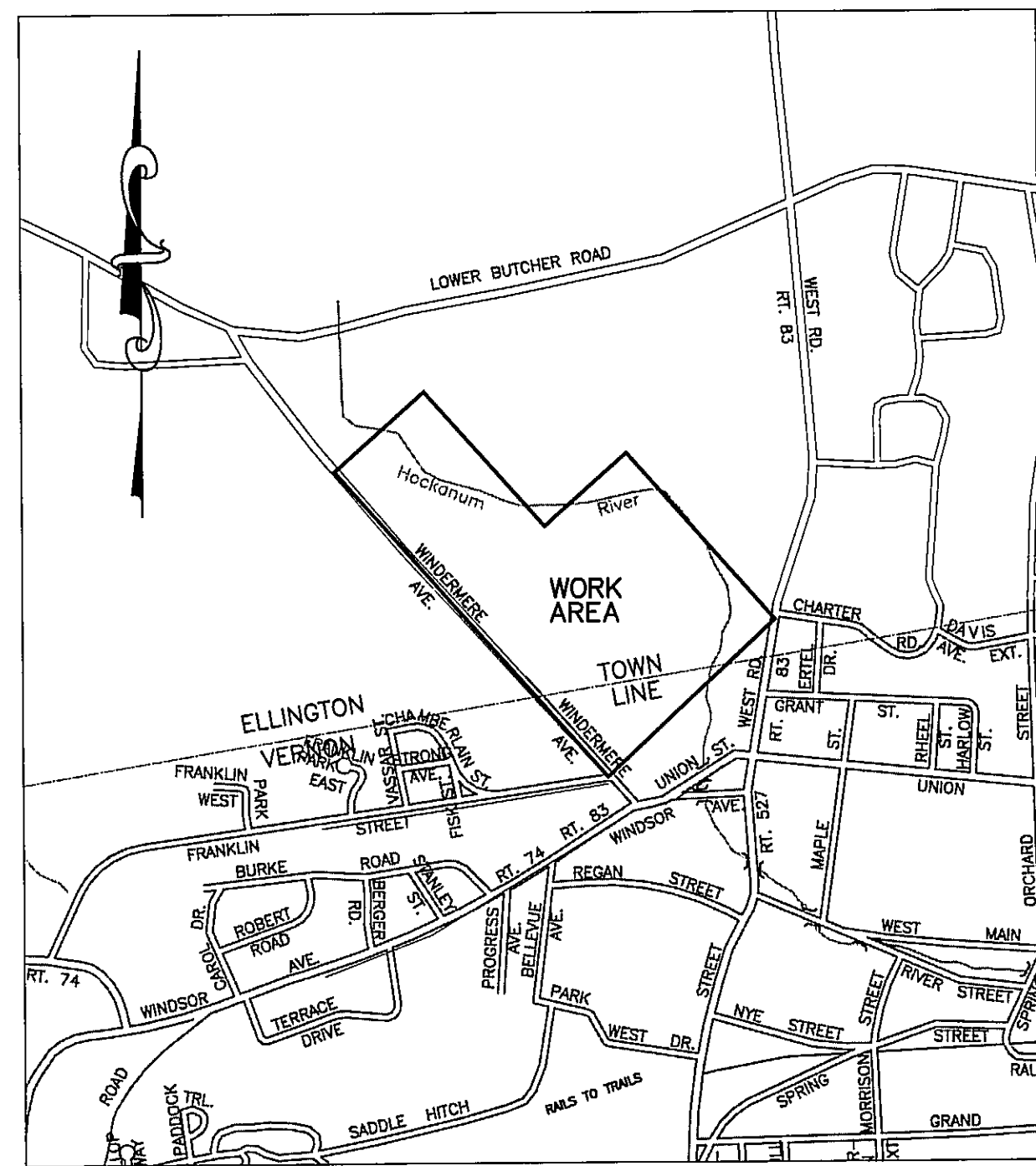
OVERALL SITE PLAN - PHOTO

WINDERMERE FIELDS
WINDERMERE AVENUE
ELLINGTON & VERNON CT

TOWN OF VERNON
ENGINEERING DEPARTMENT
14 PARK PLACE, VERNON, CT 06066

SCALE: AS NOTED DATE: MAY 4, 2020 SHEET: 1 OF 7
FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS

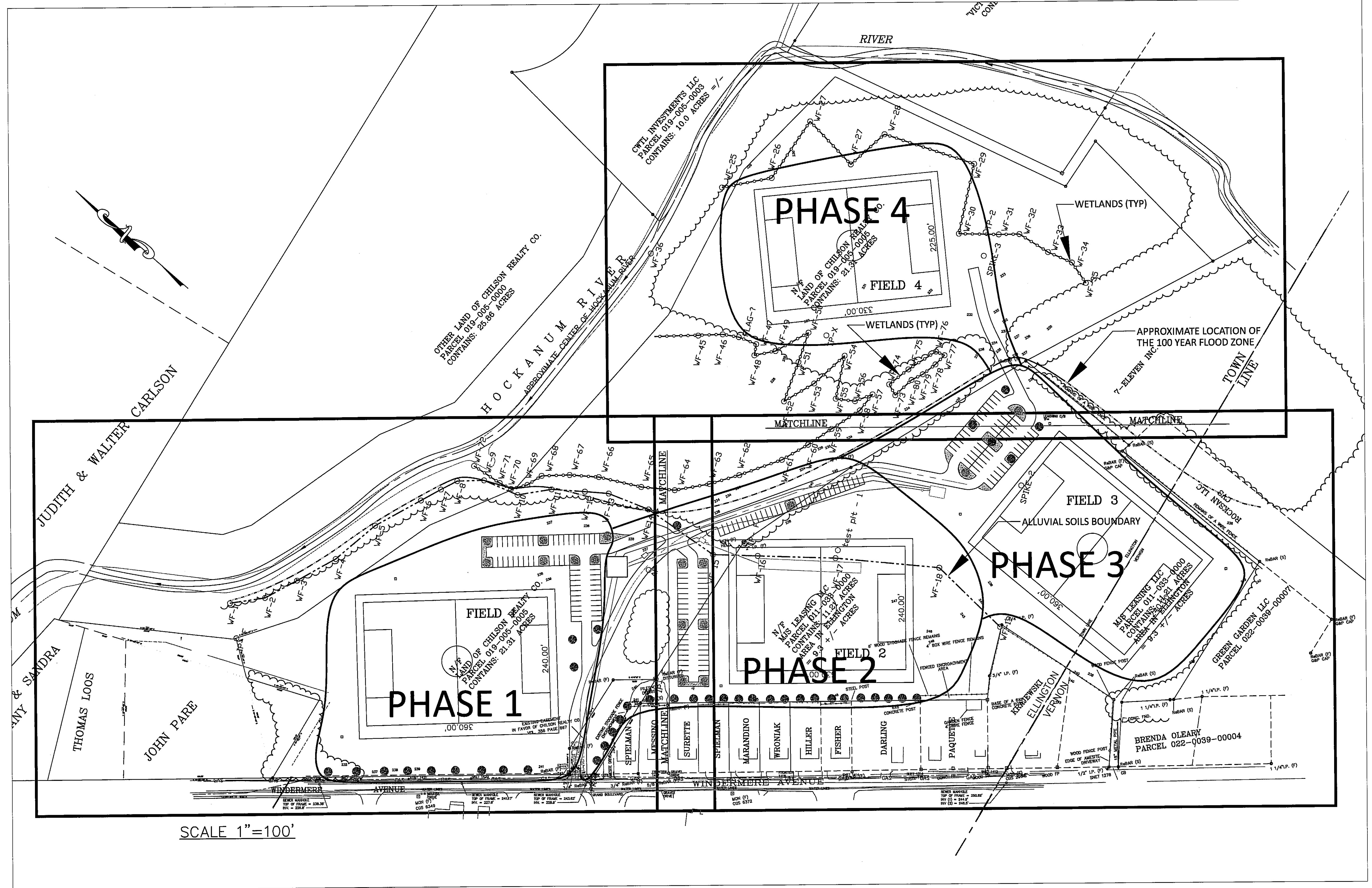
REV 2 - JUNE 3, 2020
REV 1 - MAY 21, 2020



KEY MAP
SCALE 1" = 1000'

MAP REFERENCE:

- BOUNDARY INFORMATION SHOWN HEREON IS BASED IN PART ON THE FOLLOWING SURVEYS:
 - "REVISION TO SUBDIVISION MAP" LIMITED PROPERTY SURVEY LAND OF CHILSON REALTY CO. LANDMARK SURVEYS, LLC DATED 4/27/2020.
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- CONNECTICUT WATER MAP – PROPOSED WATER MAIN REPLACEMENT PREPARED BY GESICK & ASSOCIATES, P.C. DATED 11/9/2018.
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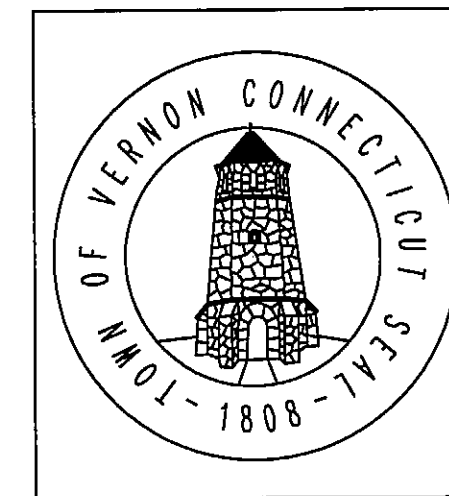


SCALE 1"=100'

DAVID A. SMITH CT PELS 314173 DATE
VERNON TOWN ENGINEER
AUTHORIZED PRINTS WILL BEAR MY EMBOSSED SEAL

WETLANDS NOTE:
RICHARD ZULIK /CERT. SOIL SCIENTIST DATE

#1 - This plan is a dependent Re-Survey with an Accuracy Standard of A-2.
#2 - This Plan has been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300b-20. It is a Completion Plan and is considered Class A-2 and T-D Accuracy Standard.
#3 - A-2 Certification applies only to perimeter boundary information as presented. Map reference #1.
To my knowledge and belief, this map is substantially correct as noted hereon.
Rachel Dearborn, Licensed Land Surveyor #70295
This certification not valid unless this plan bears a live signature and my embossed seal.

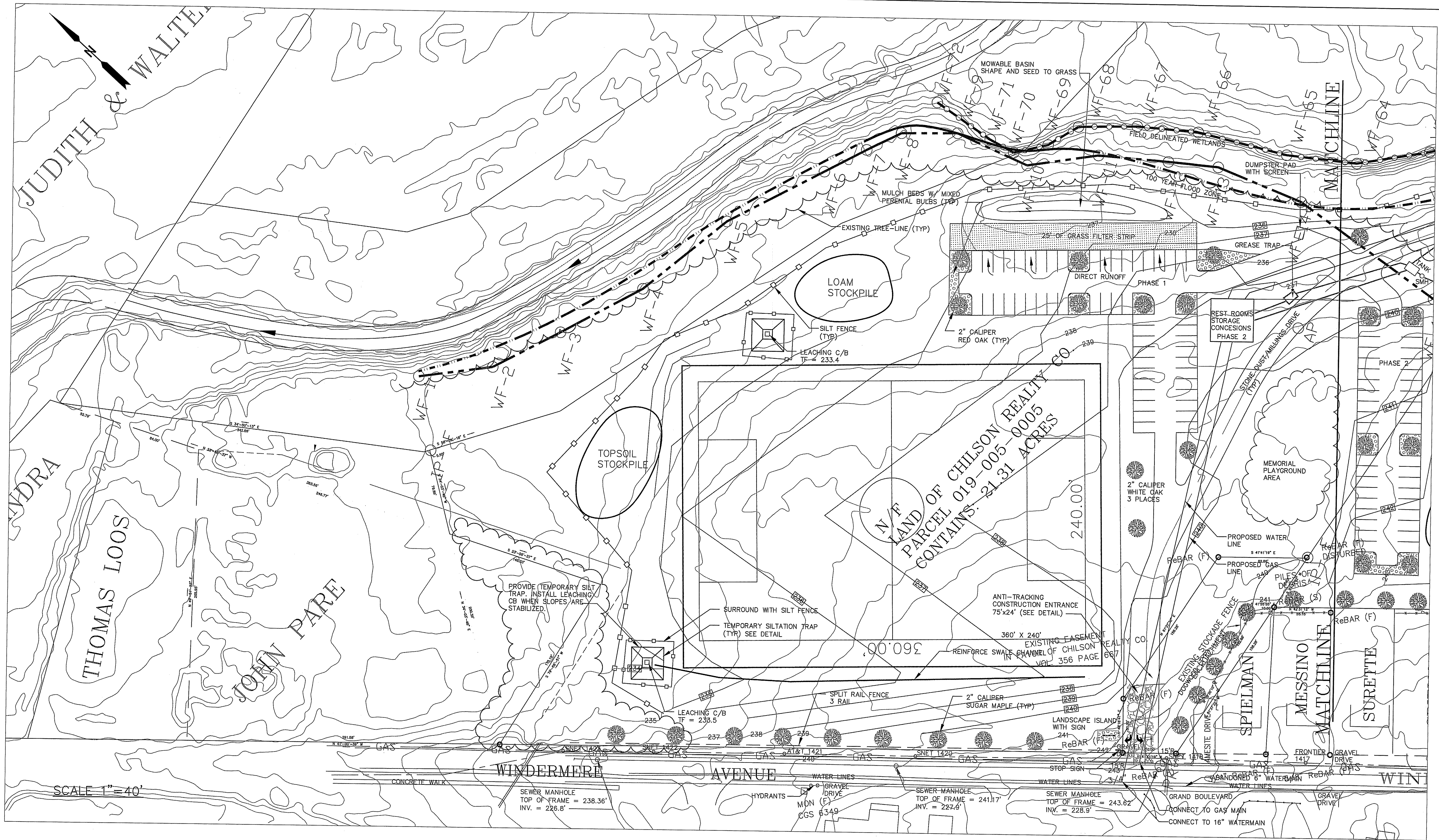


REV 2 - JUNE 3, 2020
REV 1 - MAY 21, 2020

OVERALL SITE PLAN
WINDERMERE AVENUE
WINDERMERE FIELDS
ELLINGTON & VERNON CT

TOWN OF VERNON
ENGINEERING DEPARTMENT
14 PARK PLACE, VERNON, CT 06066

SCALE: AS NOTED DATE: MAY 4, 2020 SHEET: 2 OF 7
FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS



SCALE 1" = 40'

SEWER MANHOLE
TOP OF FRAME = 238.36'
INV. = 228.8'

HYDRANTS
MON (F)
CGS 6349

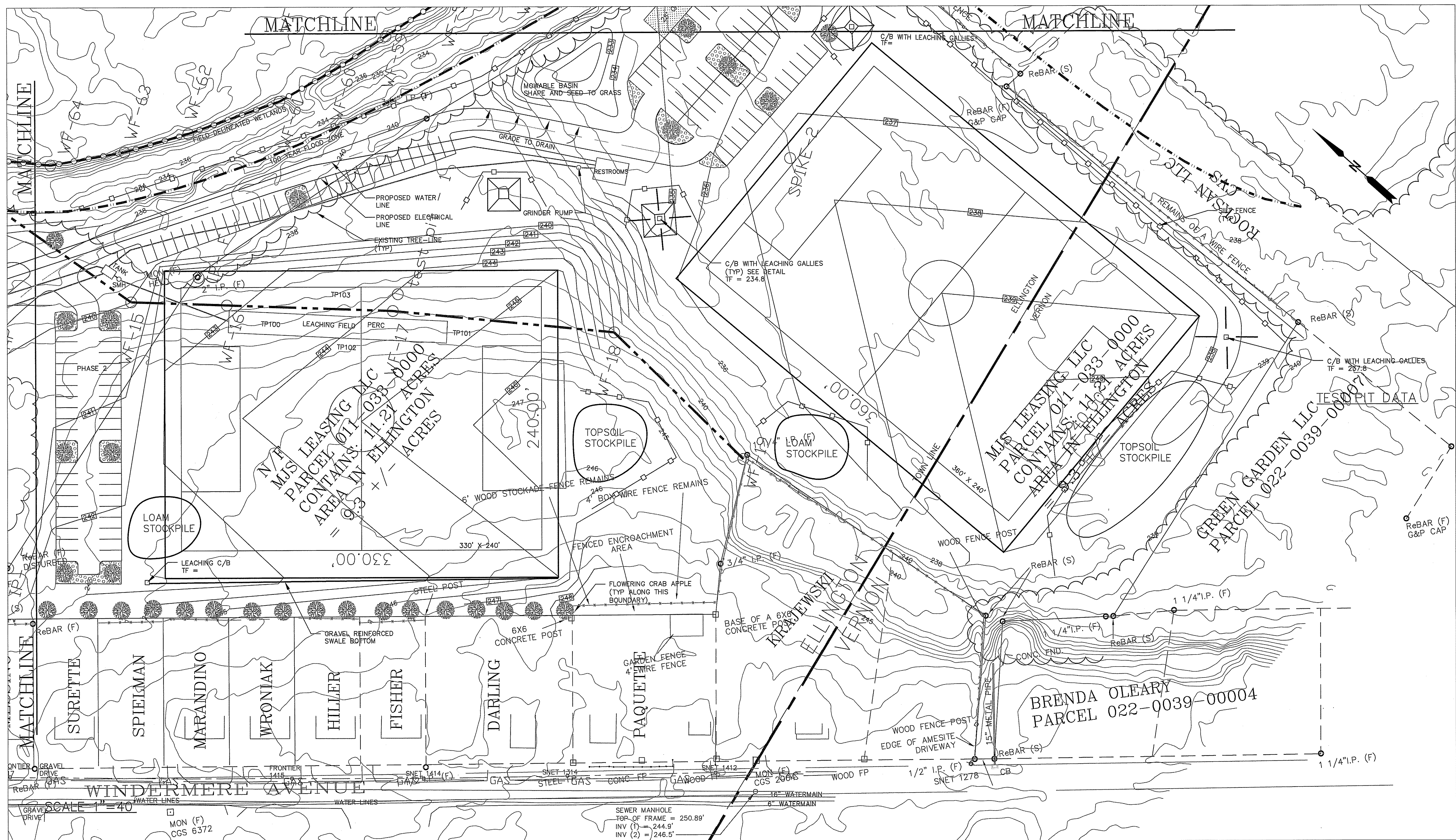
SEWER MANHOLE
TOP OF FRAME = 241.17'
INV. = 227.9'

SEWER MANHOLE
TOP OF FRAME = 243.62'
INV. = 228.9'

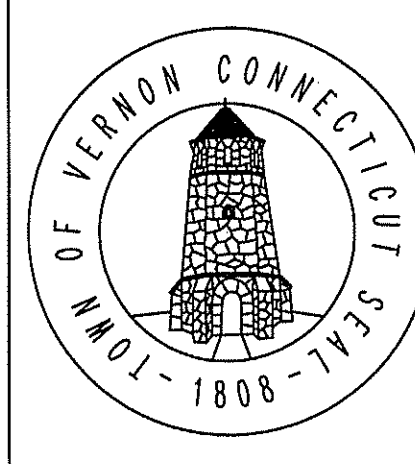
REV 2 - JUNE 3, 2020
REV 1 - MAY 21, 2020



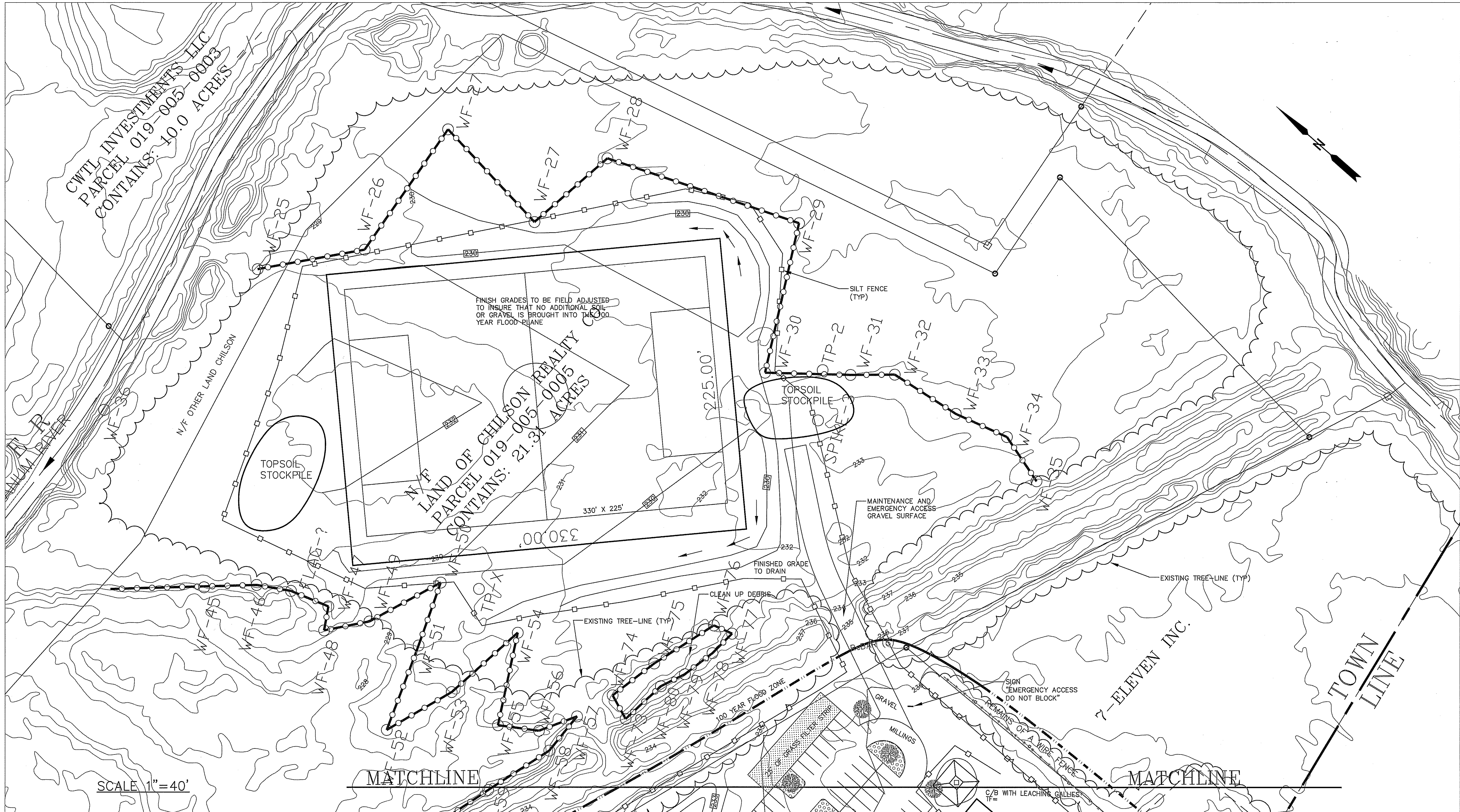
SITE PLAN FIELD - 1
WINDERMERE FIELDS
 WINDERMERE AVENUE
 ELLINGTON & VERNON CT
TOWN OF VERNON
 ENGINEERING DEPARTMENT
 14 PARK PLACE, VERNON, CT 06066
 SCALE: 1" = 40' DATE: MAY 4, 2020 SHEET: 3 OF 7
 FILE: G:\PARKS and REC\WINDERMERE SOCCER FIELDS



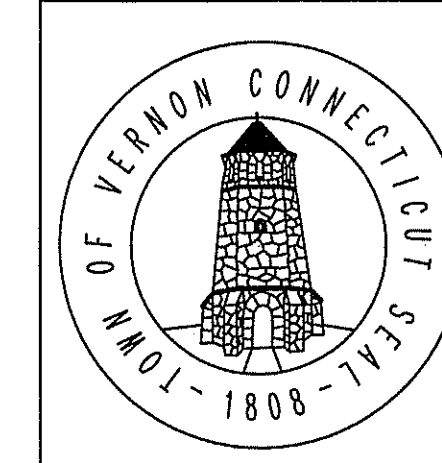
REV 2 - JUNE 3, 2020
 REV 1 - MAY 21, 2020



SITE PLAN FIELD - 2 & 3
 WINDERMERE FIELDS
 WINDERMERE AVENUE
 ELLINGTON & VERNON CT
TOWN OF VERNON
 ENGINEERING DEPARTMENT
 14 PARK PLACE, VERNON, CT 06066
 SCALE: 1" = 40' DATE: MAY 4, 2020 SHEET: 4 OF 7
 FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS



REV 2 - JUNE 3, 2020
 REV 1 - MAY 21, 2020



SITE PLAN FIELD - 4
 WINDERMERE FIELDS
 WINDERMERE AVENUE
 ELLINGTON & VERNON CT
TOWN OF VERNON
 ENGINEERING DEPARTMENT
 14 PARK PLACE, VERNON, CT 06066
 SCALE: 1" = 40' DATE: MAY 4, 2020 SHEET: 5 OF 7
 FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS

GENERAL NOTES -

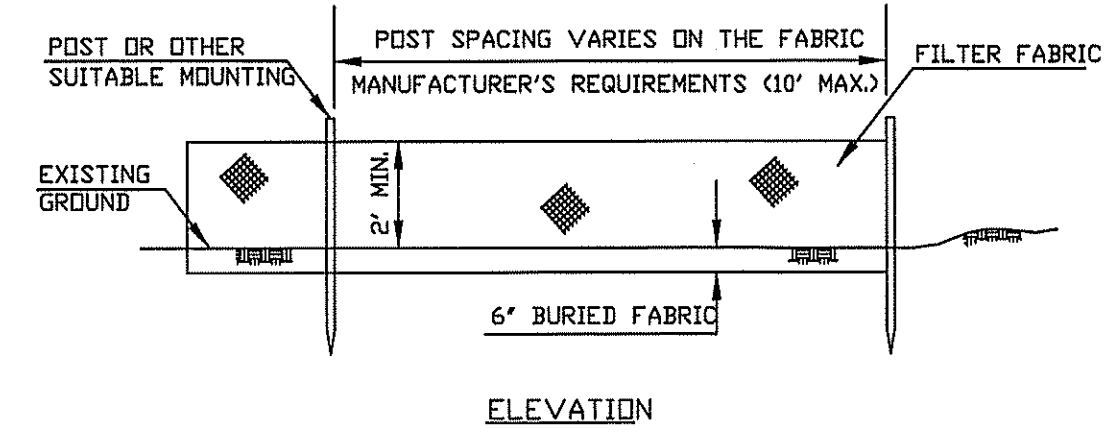
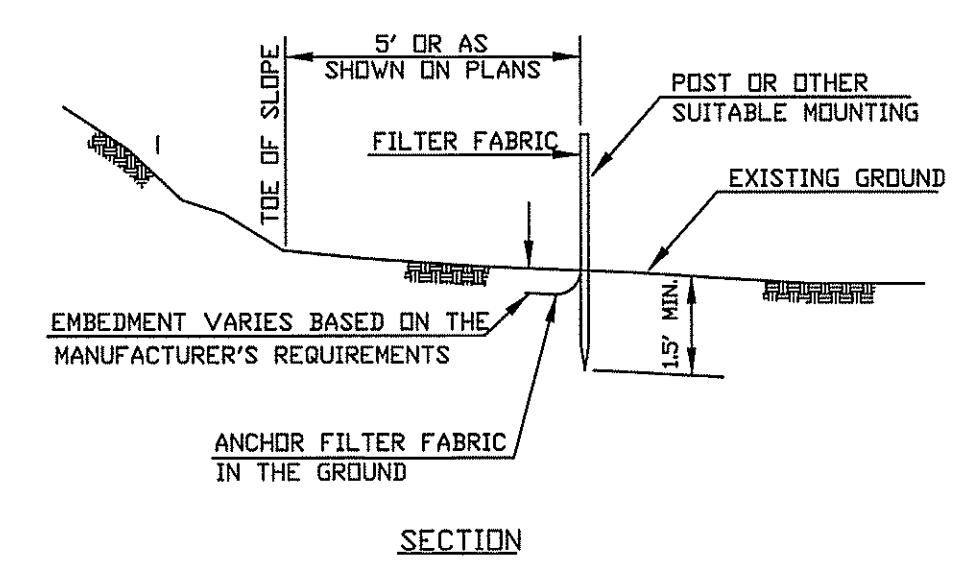
1. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS, AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
2. THE CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE TOWN OF VERNON (TOV) ENGINEERING DEPARTMENT, IN WRITING, IMMEDIATELY IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
3. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY THE TOWN OF VERNON ENGINEERING DEPARTMENT, IN WRITING, IF ANY CONFLICTS OR DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY PROPERTY DURING THE COURSE OF CONSTRUCTION.
5. THE TOV IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES, OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED.
6. THE TOV IS NOT RESPONSIBLE FOR JOB SITE SAFETY.
7. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
8. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES -

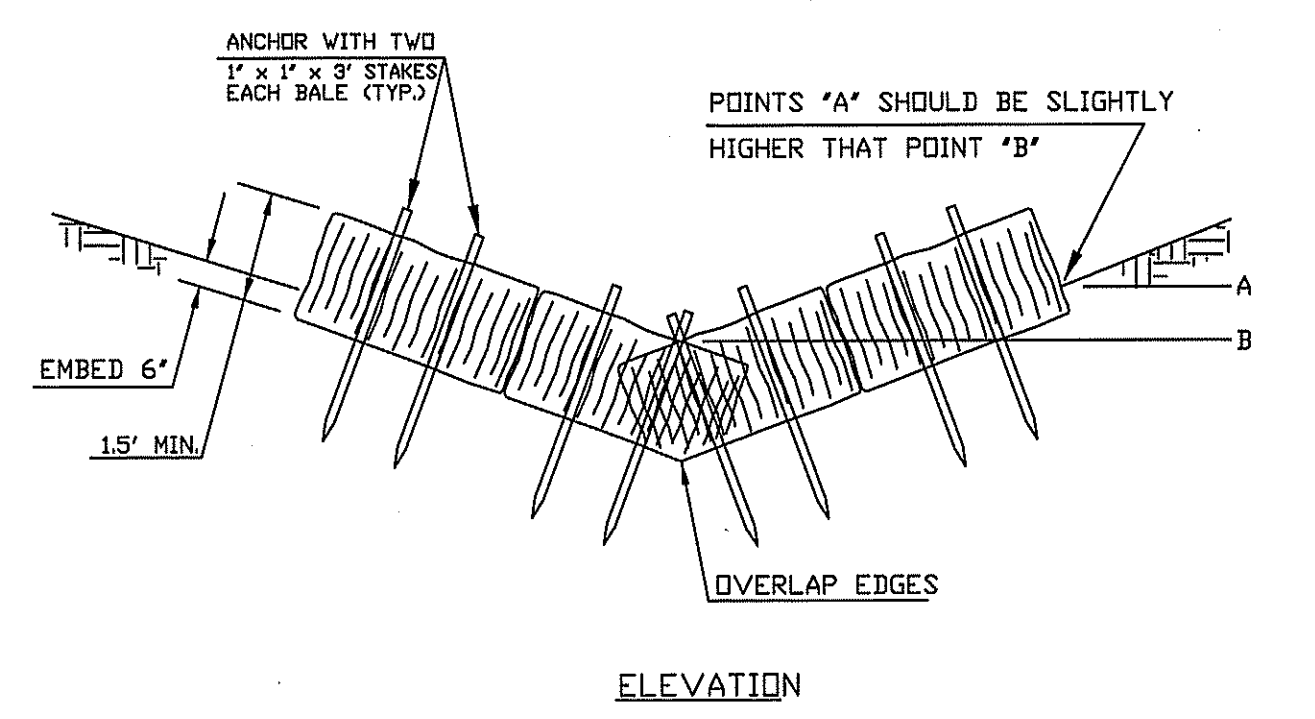
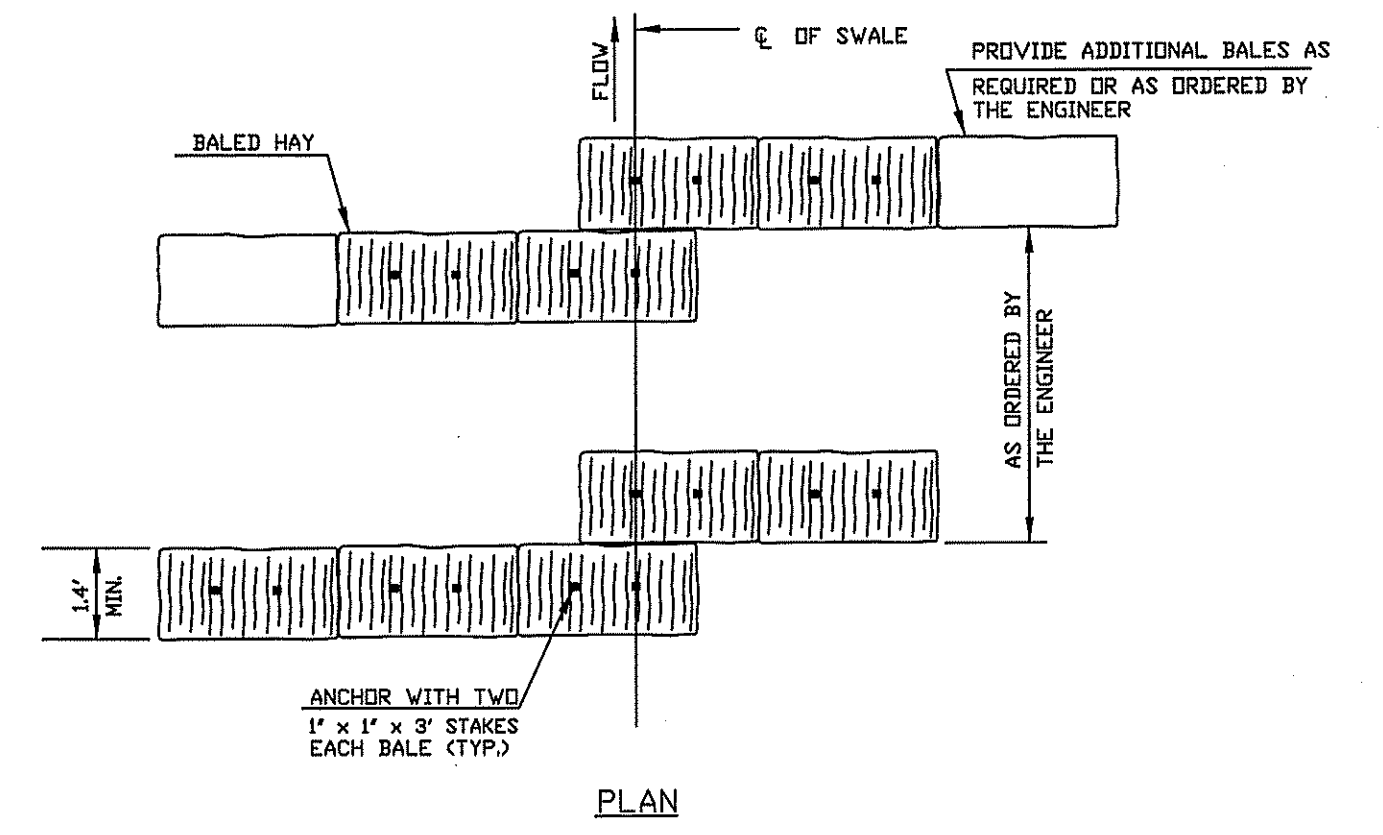
1. ALL EROSION AND SEDIMENT CONTROLS MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN. EROSION CONTROLS MUST BE INSPECTED AFTER EACH RAINFALL.
3. SILT SHALL BE REMOVED FROM BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED.
4. DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.
5. TOPSOIL REQUIRED TO ESTABLISH VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL THE DISTURBED AREAS.
6. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL, PRIOR TO FILLING.
7. ALL FILL AREAS ARE TO BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND LOCAL SPECIFICATIONS.
8. FILL MATERIALS SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIALS, COMPRESSIBLE MATERIALS AND ALL OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. FROZEN MATERIAL, SOFT MUCK, HIGHLY COMPRESSIBLE MATERIALS AND OTHER OBJECTIONABLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
10. SEEPS AND SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS.
11. ALL GRADING AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING ESTABLISHMENT OF THE FINAL GRADE. IF FINISHED GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE, TEMPORARY SOIL STABILIZATION MEASURES, INCLUDING TEMPORARY SEEDING, SHALL BE APPLIED.
12. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". IMPORT TOPSOIL AS NEEDED TO SUPPLEMENT RESERVED TOPSOIL.
13. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER OR HYDROSEEDER. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SURFACE.
14. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER SEEDER OR HYDROSEEDING IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
15. INSPECT THE SEEDBED PRIOR TO SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED BEFORE SEEDING.

GENERAL NOTES

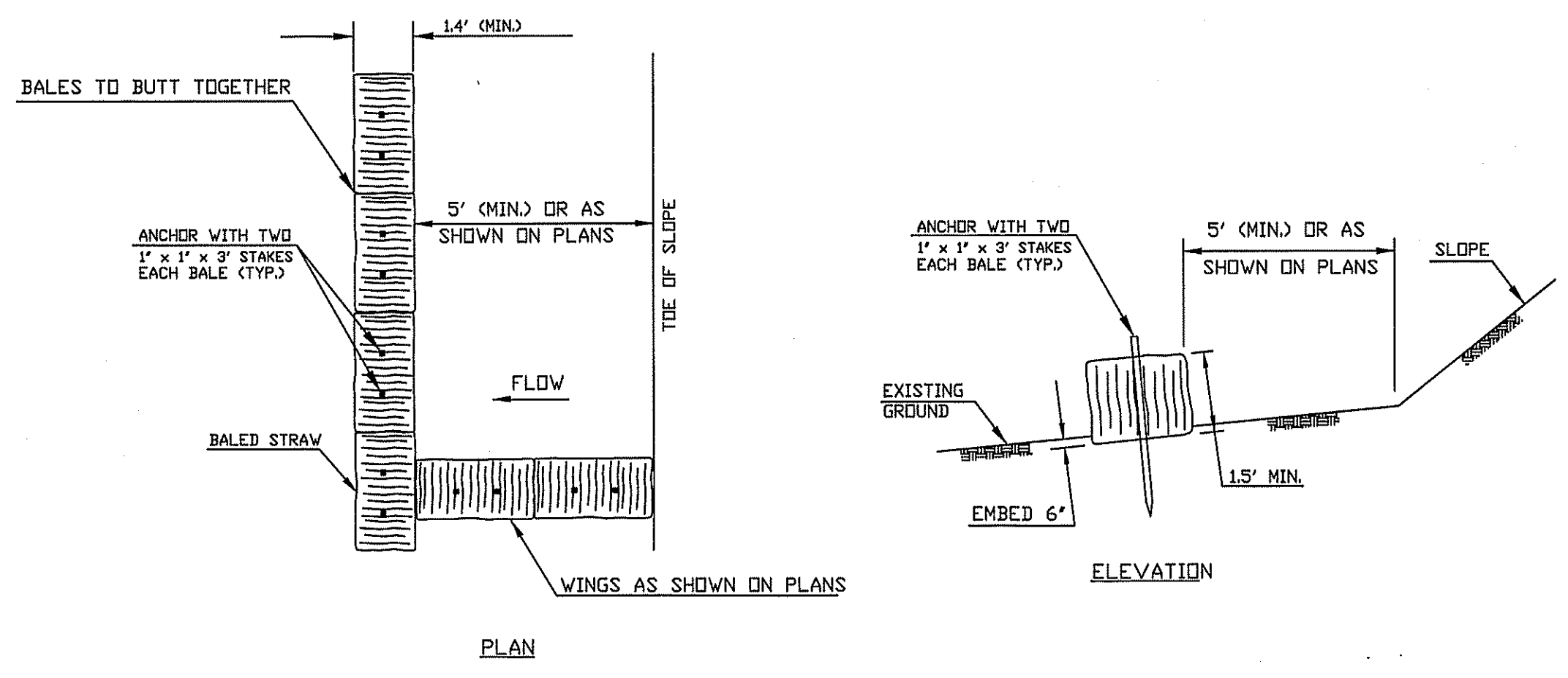
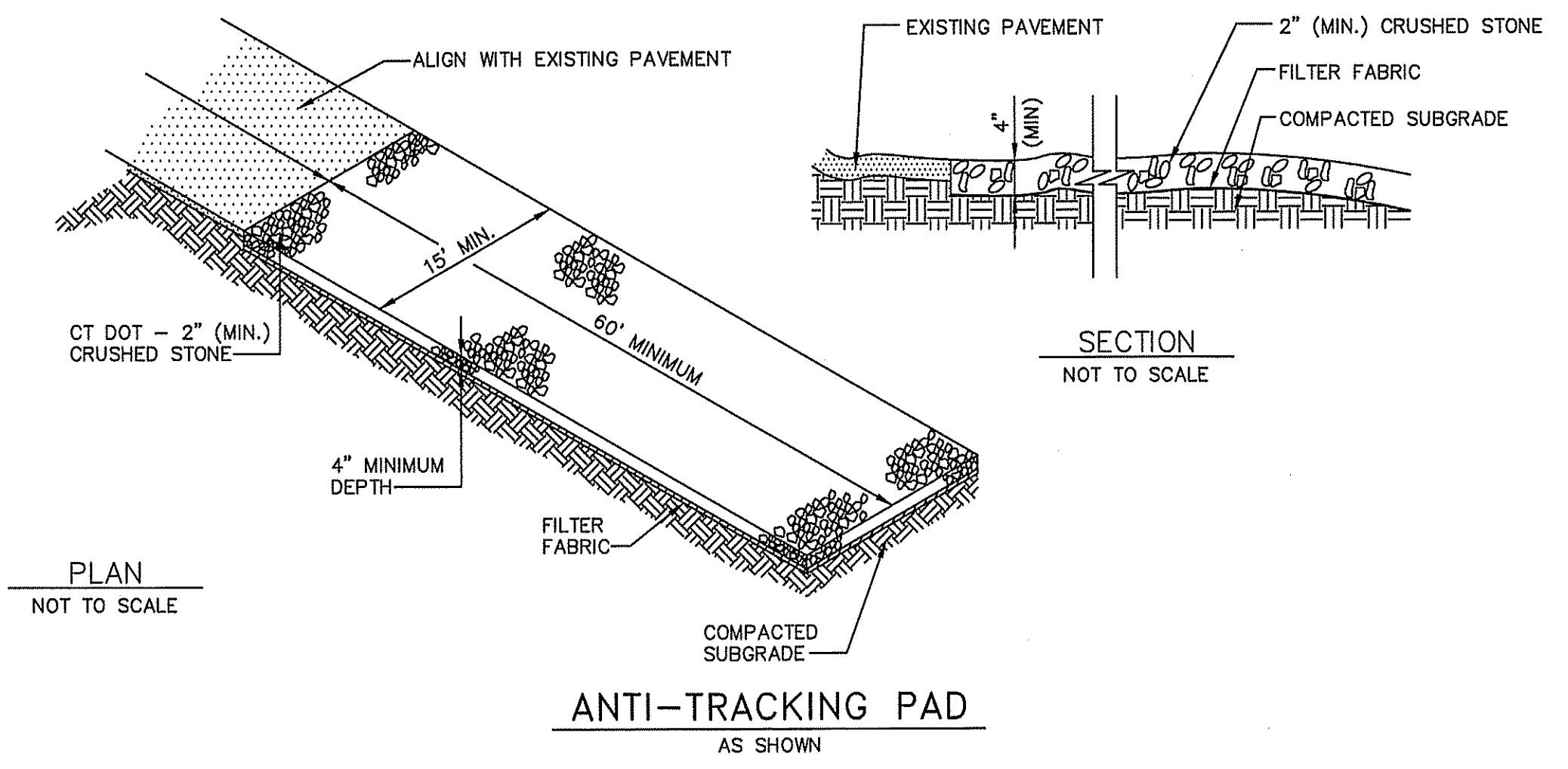
1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE EROSION CONTROL SYSTEM AS SHOWN ON THE PLANS PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY WHICH DISTURBS EXISTING VEGETATIVE GROUND COVER.
2. SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL AND MAINTAIN ADDITIONAL MEASURES, AS REQUIRED, TO CONTROL EROSION AS THE CONSTRUCTION PROJECT PROGRESSES.
3. THE CONTRACTOR SHALL DAILY, OR AS DIRECTED, SWEEP THE PAVED ROADWAYS ADJACENT TO THE WORK AREA AND CONDUCT HIS ACTIVITIES TO MINIMIZE THE TRACKING OF SOIL ONTO THE ROADWAYS.



SEDIMENTATION CONTROL SYSTEM - GEOTEXTILE FENCE
NOT TO SCALE



CHECK DAM (STRAW BALES)
NOT TO SCALE



SEDIMENTATION CONTROL SYSTEM - STRAW BALES
NOT TO SCALE

REV 2 - JUNE 3, 2020
REV 1 - MAY 21, 2020

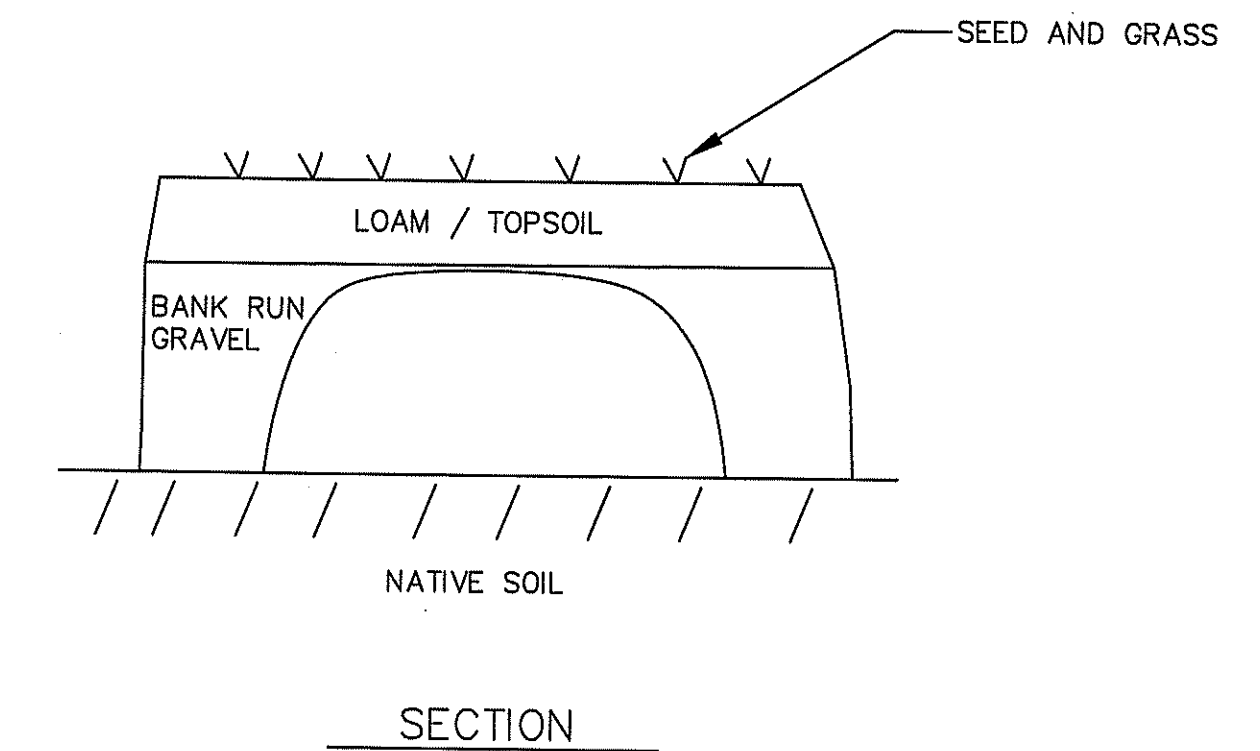
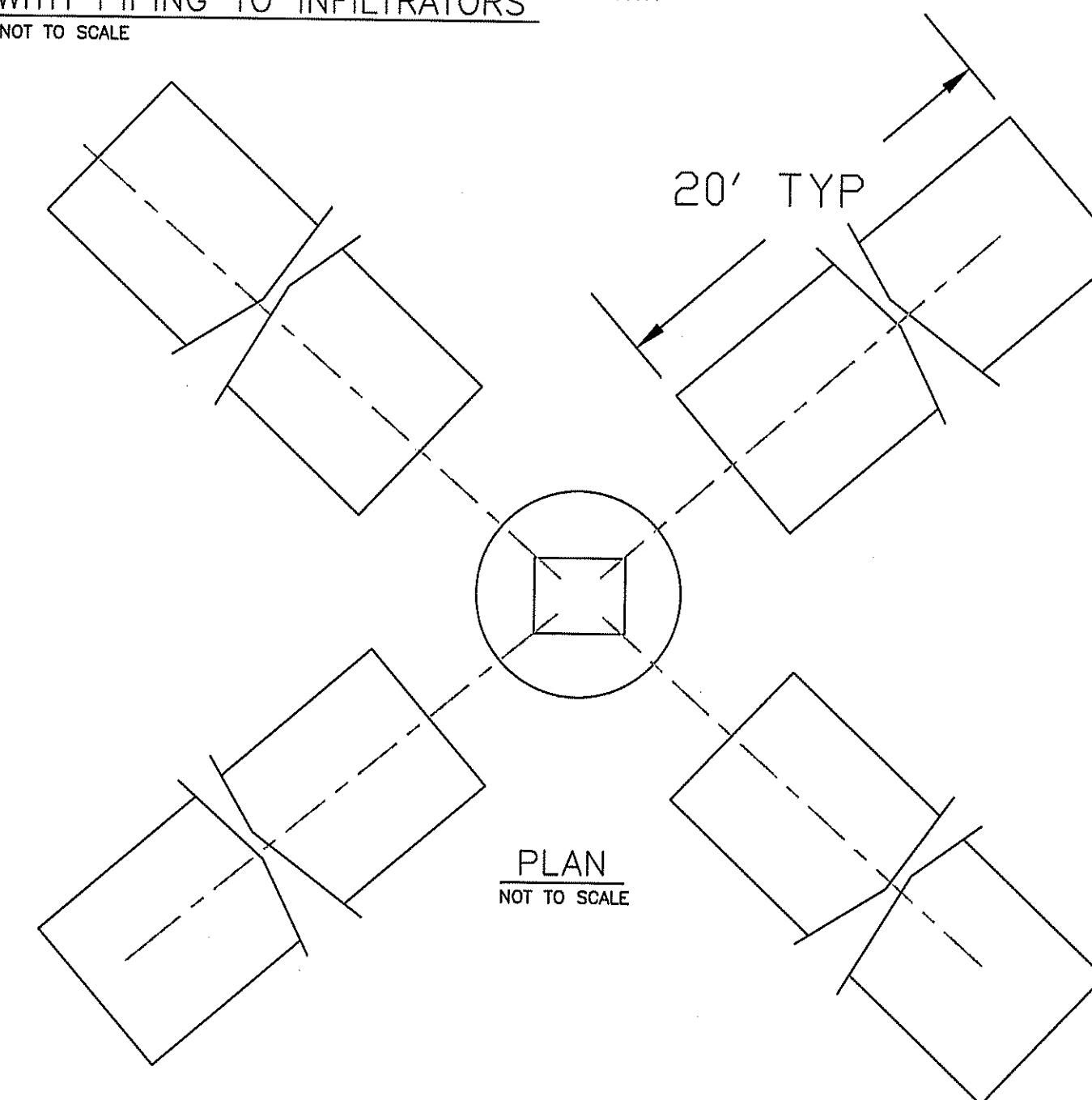
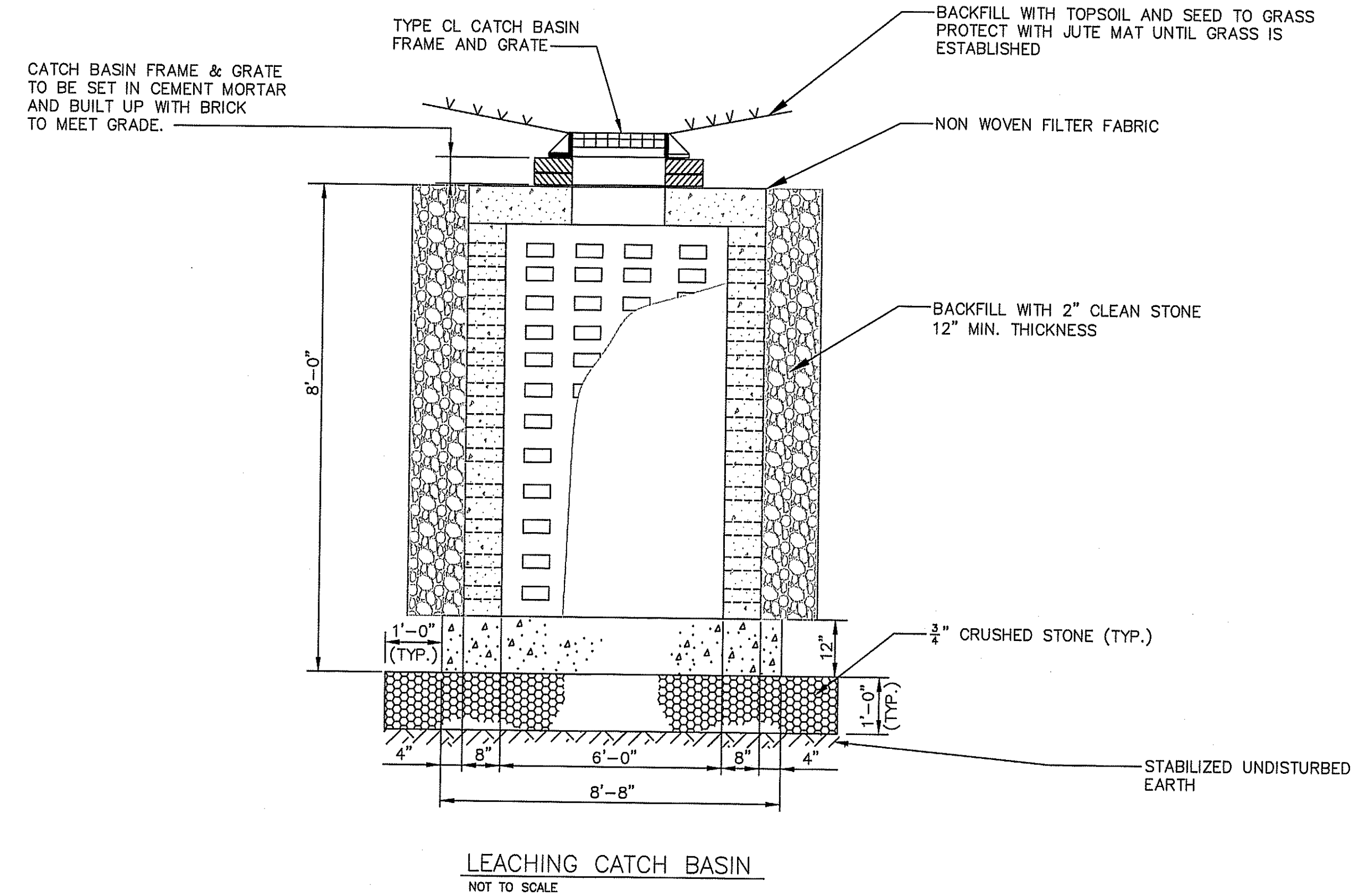
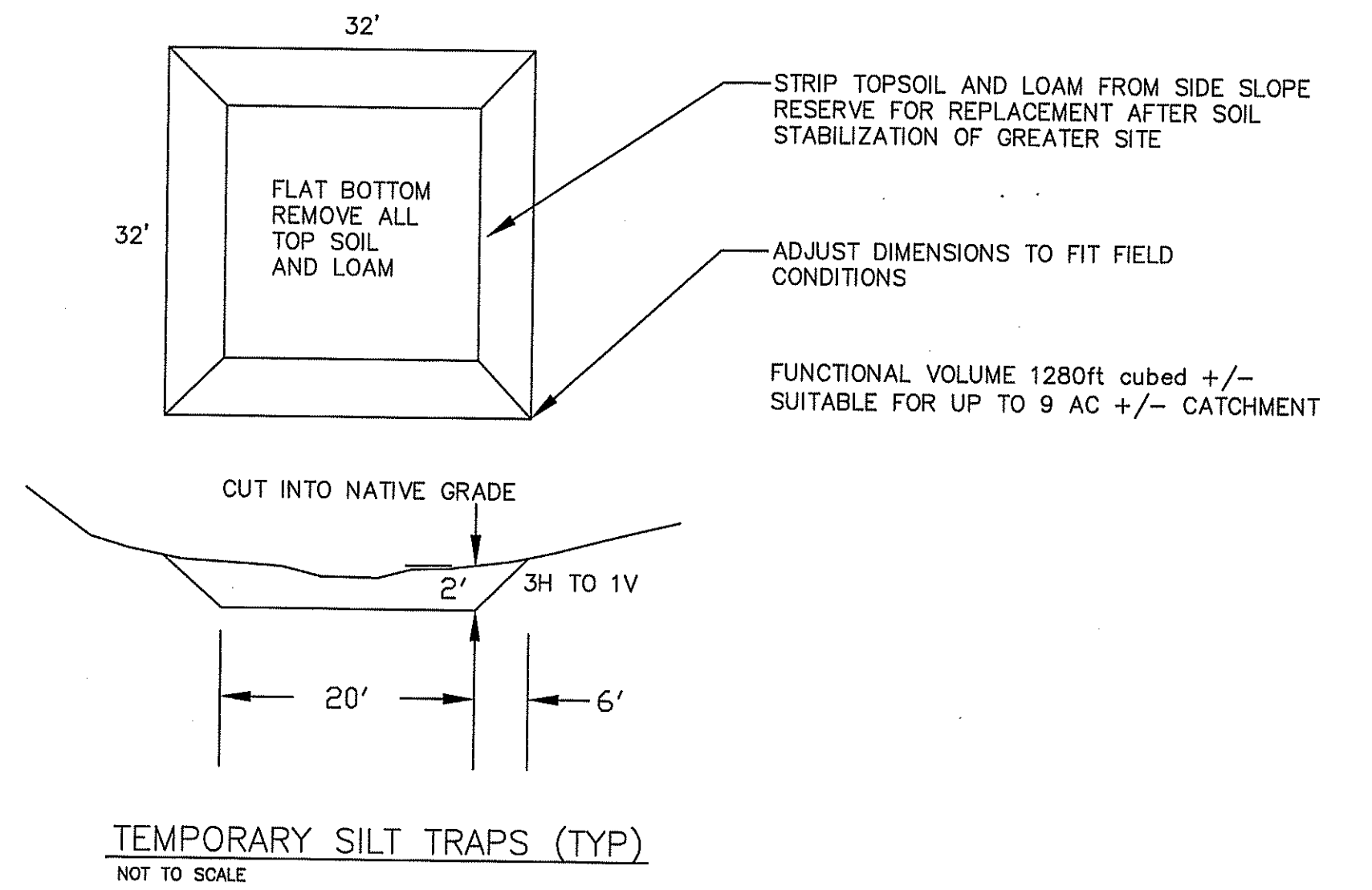
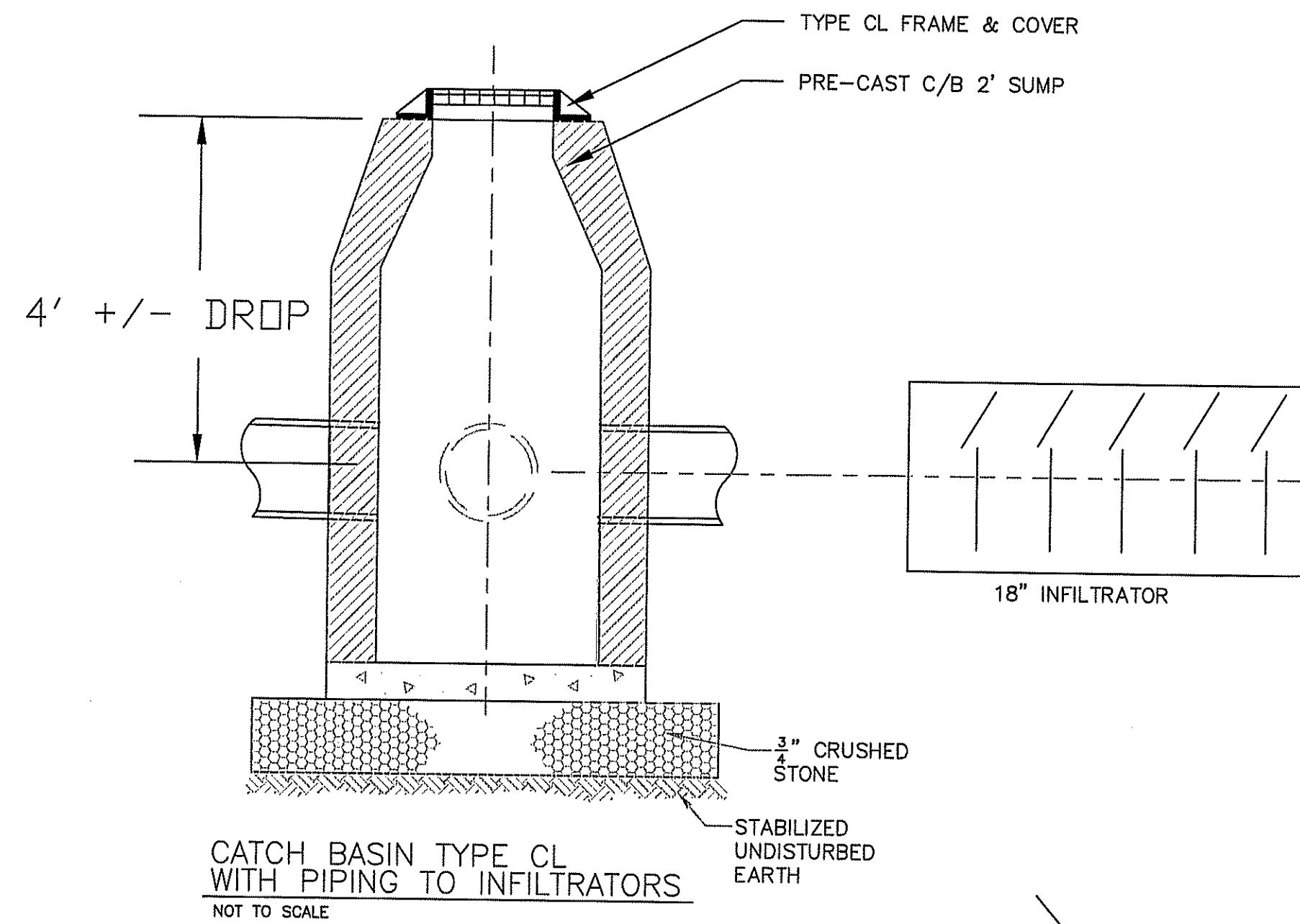
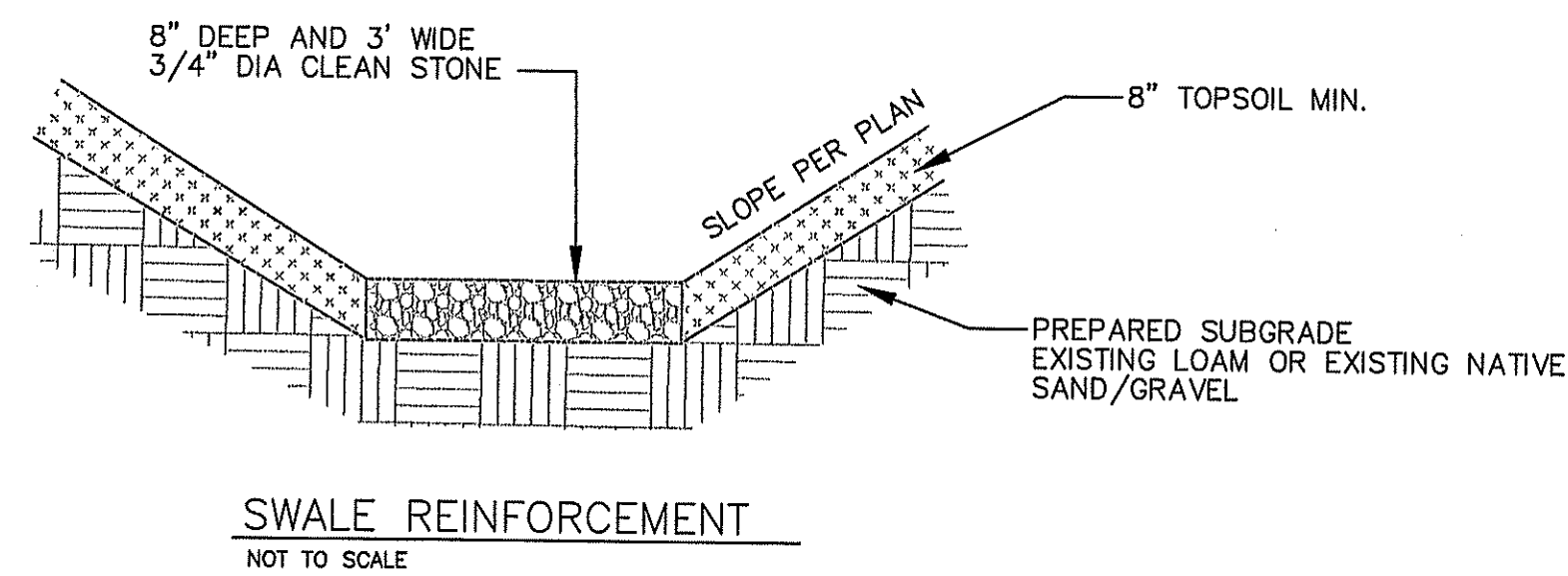
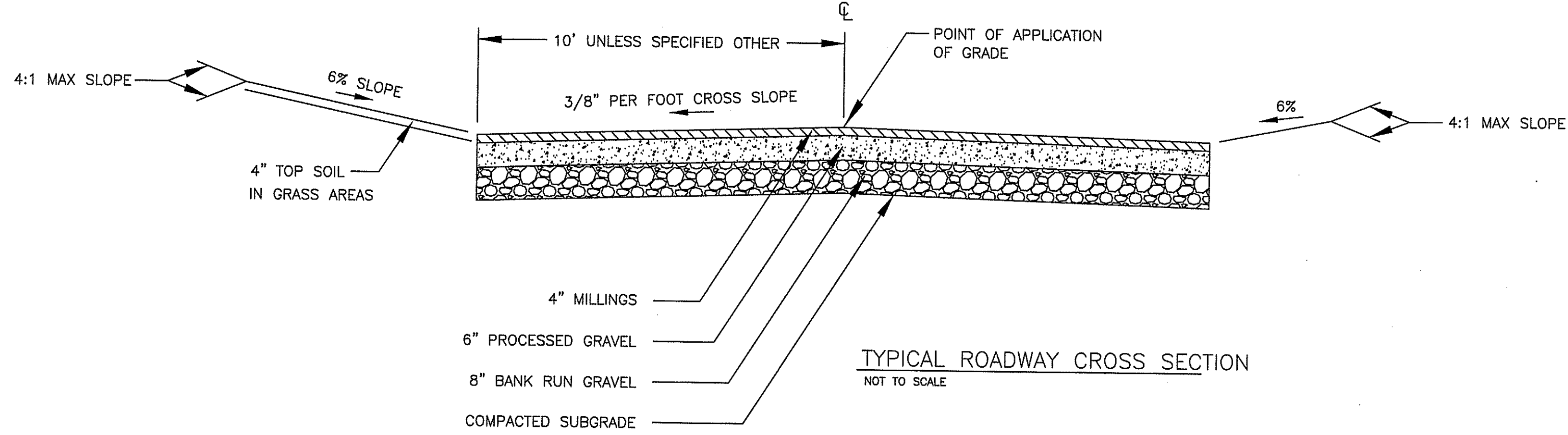


DETAILS

WINDERMERE FIELDS
WINDERMERE AVENUE
ELLINGTON & VERNON CT

TOWN OF VERNON
ENGINEERING DEPARTMENT
14 PARK PLACE, VERNON, CT 06066

SCALE: AS NOTED | DATE: MAY 4, 2020 | SHEET: 6 OF 7
FILE: G:\PARKS and rec\WINDERMERE SOCCER FIELDS



REV 2 - JUNE 3, 2020
REV 1 - MAY 21, 2020

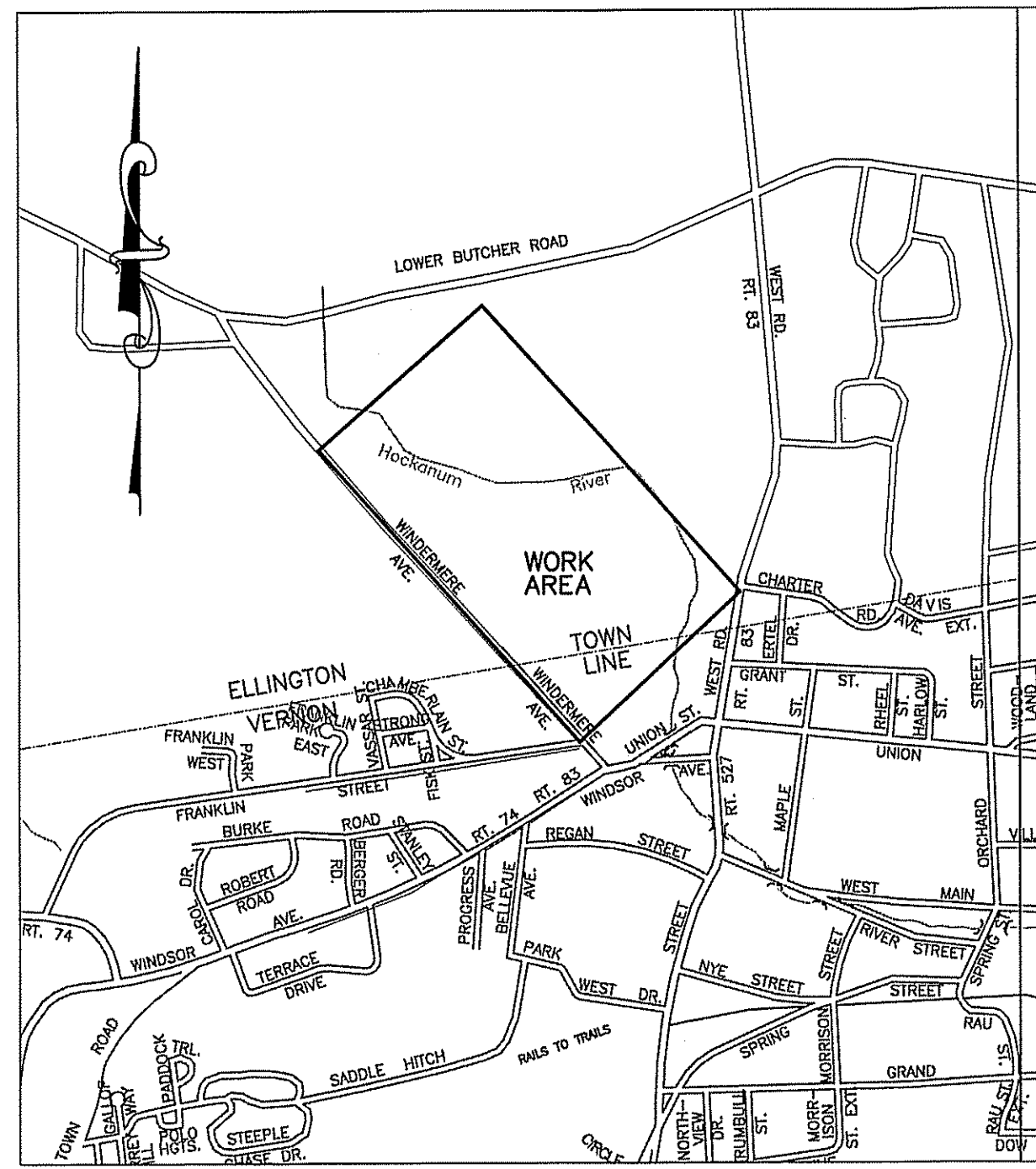


DETAILS

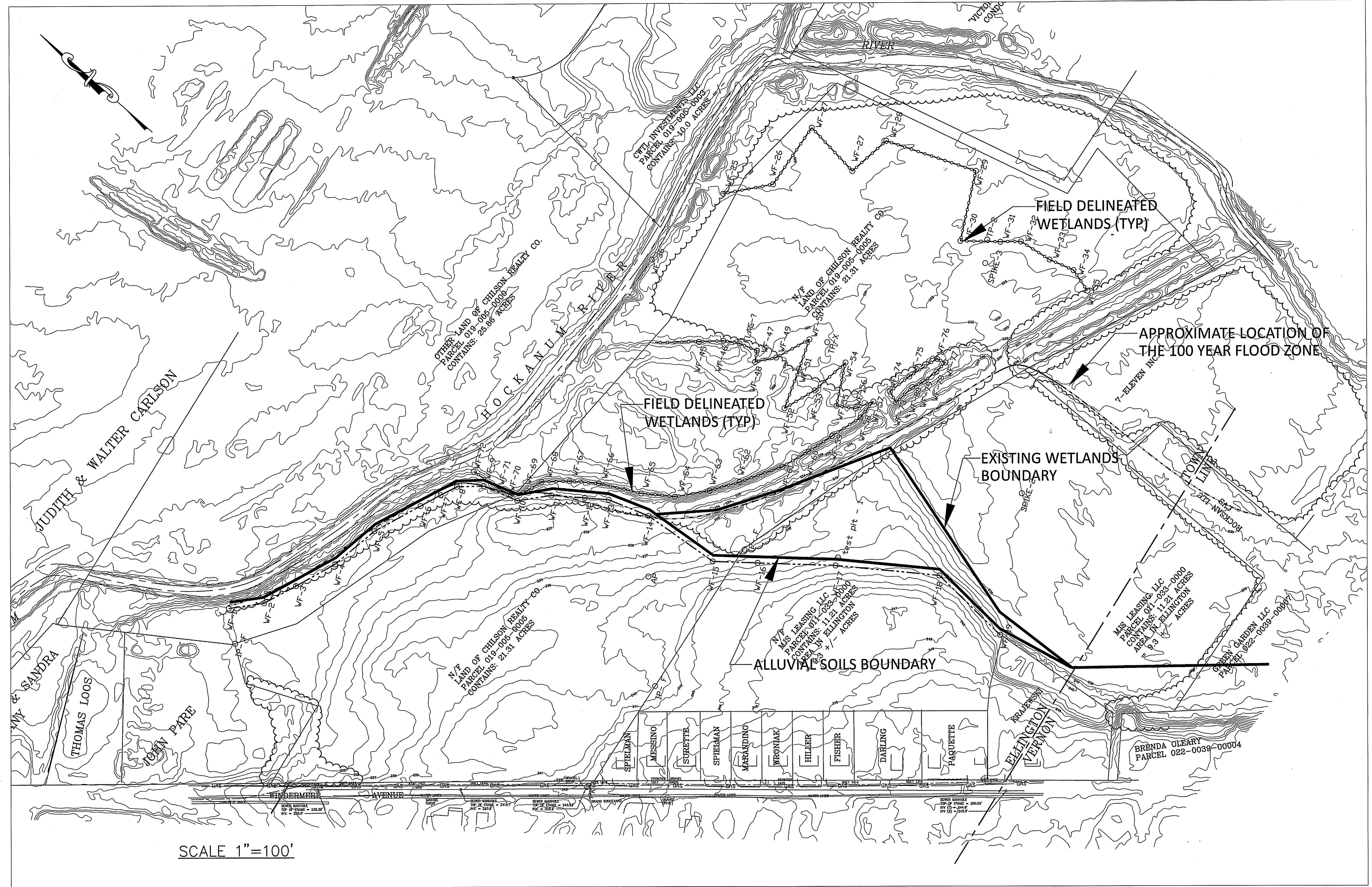
WINDERMERE FIELDS
WINDERMERE AVENUE
ELLINGTON & VERNON CT

TOWN OF VERNON
ENGINEERING DEPARTMENT
14 PARK PLACE, VERNON, CT 06066

SCALE: AS NOTED DATE: MAY 4, 2020 SHEET: 7 OF 7
FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS



KEY MAP
SCALE 1" = 1000'



SCALE 1"=100'

MAP REFERENCE:

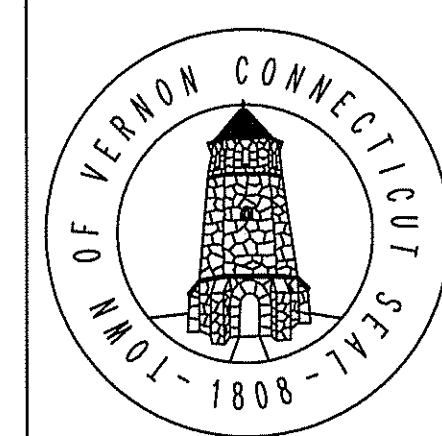
1. BOUNDARY INFORMATION SHOWN HEREON IS BASED IN PART ON THE FOLLOWING SURVEYS:
 - A. "REVISION TO SUBDIVISION MAP" LIMITED PROPERTY SURVEY LAND OF CHILSON REALTY CO. LANDMARK SURVEYS, LLC DATED 4/27/2020.
 - B. PROPERTY SURVEY PREPARED FOR TOWN OF VERNON LAND OF MJS LEASING LLC LANDMARK SURVEYS, LLC DATED 4/27/2020
2. CONNECTICUT WATER MAP – PROPOSED WATER MAIN REPLACEMENT PREPARED BY GESICK & ASSOCIATES, P.C. DATED 11/9/2018.
3. TOPOGRAPHIC INFORMATION DEVELOPED FROM LIDAR SURVEY PERFORMED BY CT DOT AND ASSESSED FROM UNIVERSITY OF CT MAPPING CENTER.

DAVID A. SMITH CT PELS 314173 _____ DATE _____
VERNON TOWN ENGINEER
AUTHORIZED PRINTS WILL BEAR MY EMBOSSED SEAL

WETLANDS NOTE:
RICHARD ZULIK /CERT. SOIL SCIENTIST _____ DATE _____

#1 - This plan is a dependent Re-Survey with an Accuracy Standard of A-2.
#2 - This Plan has been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300b-20. It is a Compilation Plan and is considered Class A-2 and T-D Accuracy Standard.
#3 - A-2 Certification applies only to perimeter boundary information as presented. Map reference #1.
To my knowledge and belief, this map is substantially correct as noted hereon.
Rachel Dearborn, Licensed Land Surveyor #70295
This certification not valid unless this plan bears a live signature and my embossed seal

MAP AMENDMENT / WETLAND RE-DESIGNATION



WINDERMERE FIELDS
WINDERMERE AVENUE
ELLINGTON & VERNON CT

TOWN OF VERNON
ENGINEERING DEPARTMENT
14 PARK PLACE, VERNON, CT 06066

SCALE: AS NOTED DATE: MAY 4, 2020 SHEET: 1 OF 1
FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS

REV 2 - JUNE 3, 2020
REV 1 - MAY 21, 2020

2202009

**TOWN OF ELLINGTON
FIRST SELECTMAN'S OFFICE**



MEMO

DATE: June 10, 2020
TO: Arlo Hoffman, Chairman, Planning and Zoning Commission
Lisa Houlihan, Town Planner
FROM: Lori Spielman, First Selectman *LS*
SUBJECT: Offer to Donate Land: Parcel 108-008-0001 Webster Road

At the June 8, 2020 meeting of the Board of Selectmen, the following action was taken:

MOVED (TURNER), SECONDED (PRICHARD) AND PASSED UNANIMOUSLY TO ACCEPT THE DONATION TO THE TOWN OF 0.72 ACRES OF VACANT LAND WITHIN THE RURAL AGRICULTURAL RESIDENTIAL ZONE LOCATED AT WEBSTER ROAD, ASSESSOR PARCEL NUMBER 108-008-0001, FROM JOHN E. RIDZON, PENDING A POSITIVE REFERRAL REPORT FROM THE PLANNING AND ZONING COMMISSION PURSUANT TO CONNECTICUT GENERAL STATUTE §8-24.

cc: Timothy Webb, Director of Public Works/WPCA Administrator
John Ridzon

RECEIVED
JUN 15 2020
TOWN OF ELLINGTON
PLANNING DEPARTMENT

TO ENSURE THE PUBLIC HEALTH AND SAFETY OF THE TOWN RESIDENTS, TO ENTER INTO A 5 YEAR LEASE AGREEMENT FOR THE PURCHASE OF THE EVFD-REPLACEMENT PUMPER ET-143 NOT TO EXCEED \$650,000. THE PUBLIC HEARING WILL BEGIN AT 6:30 PM ON MONDAY, JUNE 22, 2020, FOLLOWED IMMEDIATELY BY THE SPECIAL BOARD OF SELECTMEN MEETING.

L. EVAC Second Ambulance

ZOOM Conference attendees said that they could not hear Mr. Hany. Mr. Hany relocated to another part of the room in order to accommodate this issue. Mr. Hany said that EVAC has been running a second ambulance since mid-March when COVID-19 struck in the area. Mr. Hany said that in discussions with Ms. Spielman, he recommended that EVAC run a second ambulance, and she agreed as it is right for the Town. He reviewed staffing and that EVAC has been making many more calls. He asked for direction from the Board of Selectman if they agree with continuing to run the second ambulance as needed, since it will increase the budget for now, with expectations that the costs will return to the Town through FEMA. Ms. Spielman said that she believes it is quite important that the Town run the second ambulance, even though it will take some up-front money to carry this for a while. Mr. Webb explained in detail the options for submitting reimbursement information to FEMA. Mr. Prichard asked how long it takes for FEMA reimbursement; Mr. Webb said that his experience has been that FEMA reimbursement comes between four to six months from submittal of the request to FEMA.

Sarah Cook had lost connection to the meeting again during the above conversation, and she rejoined shortly after. Ms. Ferry stated that she did not hear the above conversation due to her ZOOM connection and she asked Ms. Spielman to recap the conversation; Mr. Webb recapped for Ms. Ferry.

Mr. Turner said that he believes the second ambulance should continue until the end of August and then evaluate where the country and state are at that time. He added that this is also a reflection of the surrounding communities and that mutual aid participation between the towns is significant. He pointed out the importance of being a good partner in that effort as well as a recipient. Mr. Stomberg and Ms. Cook agreed. Mr. Hany said he can work with that, if the BOS agrees.

Ms. Busse said that she can only hear bits and pieces of the BOS meeting discussion through her ZOOM connection, but she wanted to have it considered where the money will come from if FEMA does not reimburse. Mr. Prichard suggested the EVAC charging fund. Mr. Stavens suggested that the Ad Hoc Emergency Services Committee should look at this as well. Ms. Ferry said that if there is a miraculous reduction in cases that the Town return to one ambulance sooner than August. Ms. Spielman said that Chief Hany will monitor what is going on and will not allow people to stand around.

M. Offer to Donate Land: Parcel 108-008-0001 Webster Road

Ms. Spielman explained that this piece of property is being offered to the Town through donation. The Town has a culvert right there so if any work is needed, the Town could get in and do the work. She added that the Assessor valued the piece of land at \$23,500. Mr. Webb said that this piece of land would be of value to the Town as a staging area for working on the culvert.

MOVED (TURNER), SECONDED (PRICHARD) AND PASSED UNANIMOUSLY TO ACCEPT THE DONATION TO THE TOWN OF 0.72 ACRES OF VACANT LAND WITHIN THE RURAL AGRICULTURAL RESIDENTIAL ZONE LOCATED AT WEBSTER ROAD, ASSESSOR PARCEL NUMBER 108-008-0001, FROM JOHN E. RIDZON, PENDING A POSITIVE REFERRAL REPORT FROM THE PLANNING AND ZONING COMMISSION PURSUANT TO CONNECTICUT GENERAL STATUTE §8-24.

N. Stein Road Parking Area

Ms. Spielman said that the Planning and Zoning Commission reviewed this project and gave it a favorable CT General Statute §8-24 report. She added that there is no rush to this project at this time as it is in the plan for the future.

Ms. Feldman asked if there would be a guardrail installed; Ms. Spielman said that there would be.

O. EVFD Request to use Robert Tedford Memorial Park

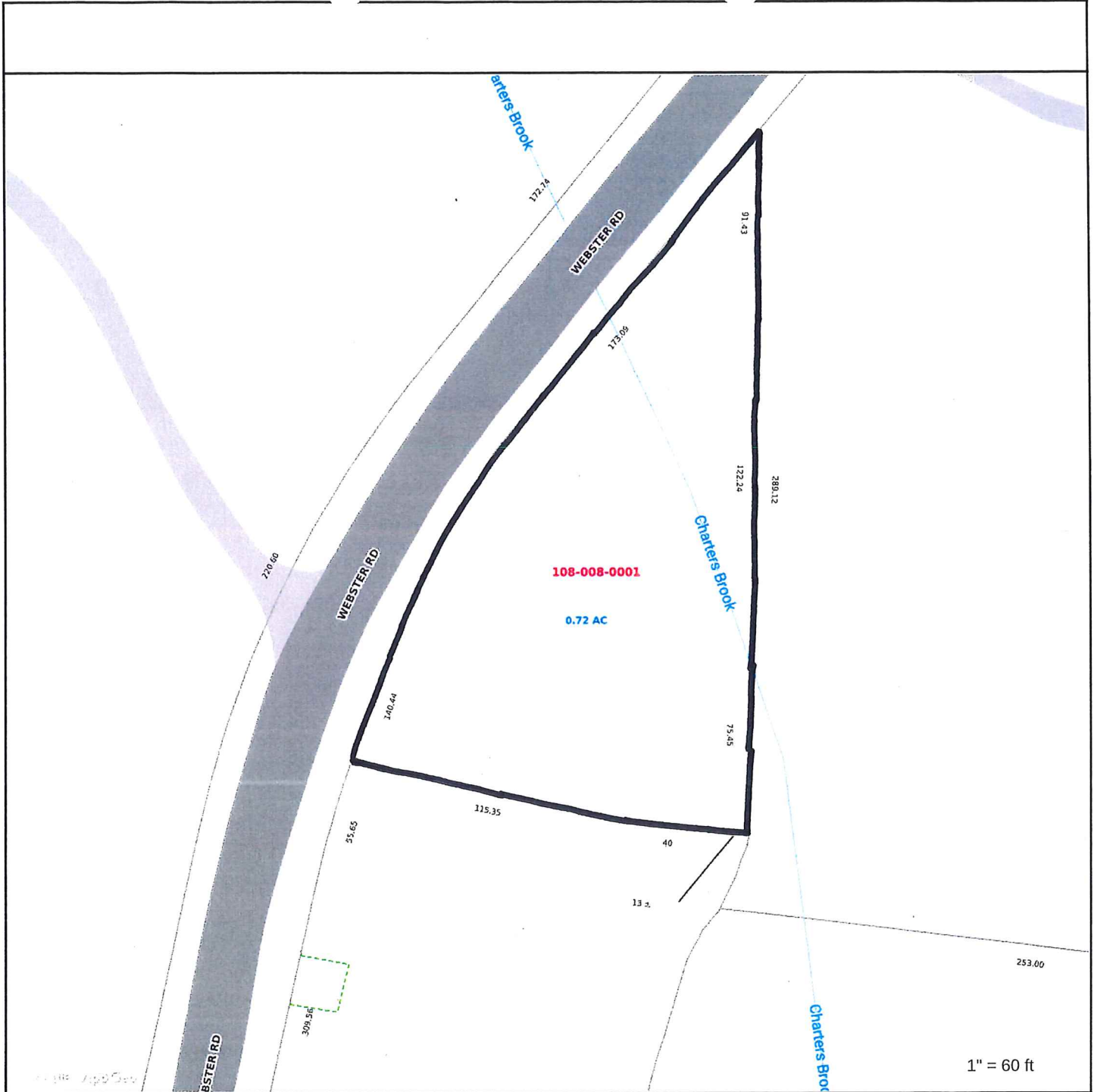
Mr. Stavens asked if the EVFD believes they will be able to hold this event this year. Ms. Spielman said that it is her understanding that the EVFD is unsure at this time.

MOVED (TURNER), SECONDED (PRICHARD) AND PASSED UNANIMOUSLY TO GRANT PERMISSION TO THE ELLINGTON VOLUNTEER FIRE DEPARTMENT (EVFD) TO USE THE WEST SECTION OF ROBERT TEDFORD MEMORIAL PARK FROM AUGUST 30, 2020 THROUGH SEPTEMBER 12, 2020 FOR THE ANNUAL EVFD CARNIVAL AND TO ERECT SIGNS PROMOTING THE ANNUAL EVFD CARNIVAL ON THE ROBERT TEDFORD MEMORIAL PARK GROUNDS, ON THE PROPERTY IN FRONT OF THE PUBLIC WORKS COMPLEX ADJACENT TO THE FIREHOUSE, IN FRONT OF THE PINNEY STREET FIREHOUSE ON NUTMEG DRIVE AS WELL AS SMALLER SIGNS AT MAJOR INTERSECTIONS IN TOWN. FURTHER, TO DIRECT THE EVFD TO CONSULT WITH THE RECREATION DIRECTOR REGARDING THE DETAILS OF THE SPACE REQUIREMENTS FOR THIS EVENT AND TO BE CONSISTENT WITH FEDERAL, CDC, STATE AND LOCAL HEALTH DEPARTMENT GUIDELINES THAT ARE IN EFFECT AT THE TIME OF THE EVENT.

P. EVFD Replacement Pumper ET-143 – Request to waive the bid process

Ms. Spielman asked Chief Rich about the state of the current pumper. Chief Rich explained in detail the issues that he is having with that vehicle. He said the truck is still in service, but it is so old that parts have to be manufactured for proper fit. He added that the truck is valued at about \$25,000; to replace the leaking tank is estimated to be around \$50,000. The truck is 23 years old. Chief Rich said that he was able to find a demo truck and this could be secured at a significant savings to the Town.

Ms. Spielman said that a common question from residents is if the EVFD will come back for a new truck every year. Chief Rich said that this would prolong the replacement of Rescue 143 which would be due in 2021. By putting another squad in the fleet replacing ET-143, it would prolong the replacement of Rescue 143 by a few years. He said he shouldn't have to come back to the Town for a vehicle next year. He added that the \$650,000 that the Board of Finance approved is generous and he is confident that he can add what needs to be added to this demo truck to make it fit for Ellington for around \$625,000. Chief Rich requested that the Town provide a letter of intent so this

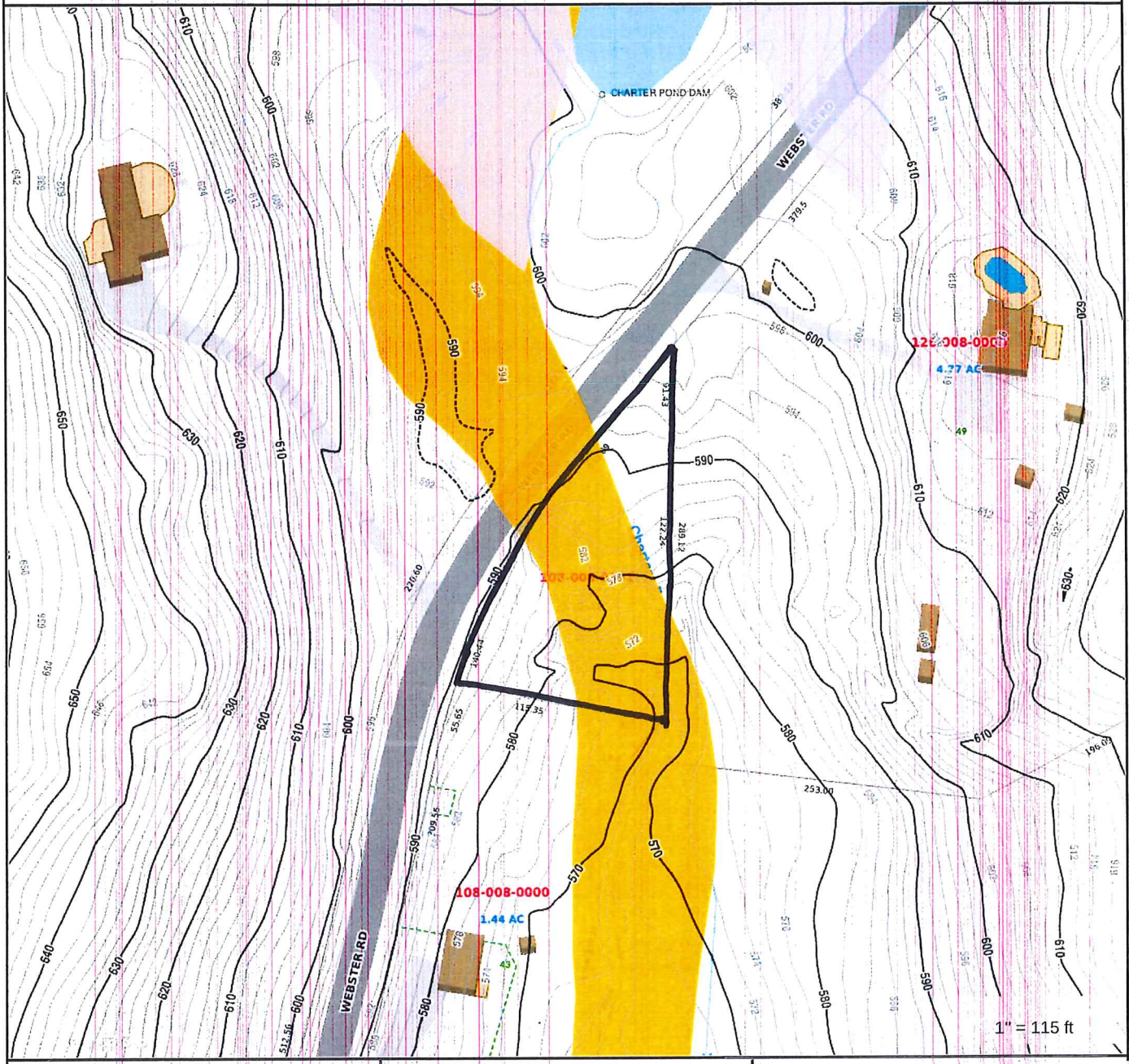


MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 7/1/2018
Data updated 11/19/2018

Webster Rd, APN 108-008-0001



Map Theme Legends

Hazard Mitigation

- Base Flood Elevation
- Unclassified
- Low Hazard Potential
- Significant Hazard Potential
- Moderate Hazard Potential
- High Hazard Potential

Flood Zones

- 100 Year
- 100 Year with Wave Velocity
- 500 Year

Topography

- Spot Elevations
- Major Index Contours
- Major Index Depressions
- Minor Contours
- Minor Depressions

Wetlands

- Site Certified Wetlands/Watercourse
- Swamp Areas
- Poorly Drained and Very Poorly Drained Soils
- Alluvial and Floodplain Soils

CT DEEP



TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING MINUTES MONDAY, MAY 18, 2020, 7:00 PM ZOOM MEETING

MEMBERS PRESENT: CHAIRMAN ARLO HOFFMAN, VICE CHAIRMAN BILL HOGAN,
REGULAR MEMBERS SEAN KELLY, ROBERT SANDBERG, JR.,
RICCI HIRTH, F. MICHAEL FRANCIS AND MICHAEL SWANSON,
AND ALTERNATES JON MOSER AND KEITH DURAO

MEMBERS ABSENT: NONE

STAFF PRESENT: LISA HOULIHAN, TOWN PLANNER AND BARBRA GALOVICH,
RECORDING CLERK

I. CALL TO ORDER: Chairman Hoffman called the meeting to order at 7:10 PM.

Lisa Houlihan, Town Planner, explained general procedures for how the meeting will be conducted.

II. PUBLIC COMMENTS (On non-agenda items): **None**

III. PUBLIC HEARING(S): (Notice requirements met, hearings may commence)

Chairman Arlo Hoffman announced Public Hearing items #1 & #2 will be heard simultaneously.

1. S202003 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a re-subdivision for seventeen (17) lots for 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential), Zone and request to waive Section 4.06(iii) to allow permanent cul-de-sac of 1,350', Section 4.07 to allow 24' street width, and Appendix C 3.13(a) to allow HDPE pipe.

TIME: 7:12 pm

SEATED: Hoffman, Hogan, Kelly, Sandberg, Hirth, Francis and Swanson

Mark Peterson, Gardner & Peterson Associates, LLC, 178 Hartford Turnpike, Tolland, CT, and Mike Leaska, Leaska Construction Company, 22 Bittersweet Hill, Comers, CT, were present to represent the application.

Mr. Peterson described the proposed subdivision located on the west side of Tripp Road owned by the Hastillo family. He explained back in 1994 four lots were subdivided and the open space requirement for the entire 80 acre parcel satisfied. Mr. Peterson reviewed the topography and lot layouts shown on pages 6 and 7 of the subdivision plans. The parcel will have public water and North Central District Health Department gave conceptual approval for the septic systems. He reviewed the Stormwater Report and explained how the drainage will flow away from Tripp Road. The developer proposes street trees and a stormwater management basin on land that will be conveyed to and maintained by the Town. Mr. Peterson stated the entrance of the subdivision will be directly across from Standish Road.

Mr. Peterson reviewed the three waivers they are proposing. Section 4.06(iii) to allow a permanent cul-de-sac to extend from 1,000' to 1,350', Section 4.07 to allow a reduced road width from 26' to 24', and of Appendix C 3.13 to replace RCP with HDPE pipe of the Ellington Subdivision Regulations. He explained he met with staff via Zoom over a week ago to review the proposed plans and revisions are in progress based on staff comment during the meeting. They have received written support from the Town Engineer and Director of Public Works (DPW) for all three waivers.

Chairman Hoffman stated the sole responsibility to grant waivers rests with the commission, noting they rely on staff to provide guidance. Mr. Peterson understands it's the commission's role and that they rely heavily on staff recommendations. He explained that staff supports two of three waivers and acknowledged the Fire Marshal's concerns for reducing the width of pavement. Chairman Hoffman asked Mr. Peterson to explain why the commission should grant the requested waivers.

Mr. Peterson explained the regulations do not consider current industry standards, noting plastic pipe is more commonly used today. HDPE pipe will last longer and the DPW supports the use of it. The regulations refer to 1,000' cul-de-sacs, noting in this case, it's appropriate to extend the length to access the northern parts of the site and there's no option to connect to abutting land. He explained a number of temporary and permanent cul-de-sacs in Ellington in excess of 1,000' and explained that staff supports the waiver. He noted many towns are reducing road widths to minimize runoff and long-term maintenance. The Town Engineer and DPW support the reduced width and length of road.

Chairman Hoffman asked if better planning was put in place in the 90's to consider the development for the entire parcel if a longer cul-de-sac would be needed. Mr. Peterson explained that he was not involved with the 1994 division, but at that time the owners only wanted four lots. He explained the location of the dedicated open space along the north side of the property prevents access to Eagle Drive.

Chairman Hoffman stated there is a number of over length cul-de-sacs in Town, but considerations are site specific, different land - different sites, and the commission looks at each one separately. He does not feel past decisions set precedent. Mr. Peterson described the proposal as appropriate development for the land explaining they are only proposing seventeen (17) lots on sixty (60) plus acres.

Vice Chairman Hogan asked if Eagle Drive was part of the original eighty (80) acre parcel. Mr. Peterson explained Eagle Drive was not part of the original parcel; the original 80 acres was comprised of the 61 acres owned today, the eight acre open space parcel to the north, the five (5) frontage lots, and the large parcel to the south owned by Trueb.

Vice Chairman Hogan explained the length of cul-de-sac is because the access point is skewed to the south and felt if the access was more central to the parcel a longer cul-de-sac wouldn't be needed. Vice Chairman Hogan asked for a listing of cul-de-sacs beyond 1,000 feet. Ms. Houlihan, Town Planner, will research and report back to the commission.

Ms. Houlihan noted an error made with a recent conveyance of land formerly owned by Hastillo that eliminated a second right-of-way on Tripp Road. She referred to regulations that would not support the new road where the extinguished right-of-way was and how the regulations support the access point where it is proposed for safety considerations.

Vice Chairman Hogan explained the commission might want to revisit the length of cul-de-sac standard if they commonly grant waivers of it. Ms. Houlihan explained when a road is proposed without a cul-de-sac there's no turnaround for vehicles and there's justification for limiting the road length, but in this case there is a full 50' radius. Research will have to be conducted to determine what the basis is for the 1,000' length cul-de-sac.

Vice Chairman Hogan would like to understand where the second right-of-way was and why it's not available. Mark Peterson explained there was a second access point a few lots north of the proposed location, but was combined with one of the current residences along Tripp Road. He explained the regulations require new roads to connect at intersections when possible and even if the second point was available staff would not support it. As proposed, we are creating a four way intersection with stop signs and stop bars. Mr. Peterson noted that regulations recommend applicants present preliminary plans to staff for review and a prior plan layout showed the proposed access point in the former location before the owner realized the northern access was no longer there. At that time, staff did not approve the access point because of safety concerns.

Chairman Hoffman asked Ms. Houlihan to read the memo from the Fire Marshal. Ms. Houlihan noted the Planning Department received additional comments from the Fire Marshal via email dated May 18, 2020, sent at 4:00 pm which states, " Hi Lisa, When I was writing the memo in support of the cul-de-sac extension I neglected to address the developer's request to reduce the street width from 26' to 24'. I do not remember this issue being discussed in the Zoom meeting. I've attached a memo addressed to the P&Z Commission regarding my position on this issue. I know this is last minute in regards to tonight's meeting, but I feel that it is important to have on the record. This memo is sent to document the fact that as the Town Fire Marshal, I do not support the applicant's request to reduce the required street width from 26 feet to 24 feet. My previous memo dated May 13, 2020 in support of allowing a 35% increase in the length of the cul-de-sac is dependent upon the street meeting the width requirements of 26 feet. Currently the Ellington Volunteer Fire Departments ladder truck has an outrigger set-up width of 16 feet. If the road were allowed to be reduced to 24 feet this would leave only 8 feet for additional emergency vehicles to navigate past the ladder truck. This width is less than the typical fire apparatus width of 10 feet. I do not believe that reducing the required street width from 26 feet to 24 feet is in the interests of public safety."

Chairman Hoffman asked the commission for comments or concerns they have with the proposed application. Commissioner Kelly stated he does not support the road width waiver and feels the length of the road would not be an issue. He explained with only one point of access it would be difficult for emergency vehicles to pass with a reduced width. He stated he's okay with the proposed length as long as width is maintained for emergency vehicles.

Commissioner Sandberg said he has no issue with the proposed pipe type and defers to DPW. He inquired about the installation of sidewalks. Ms. Houlihan stated sidewalks are proposed to be installed on the east side of the new road and Mr. Peterson confirmed. Commissioner Sandberg stated he is okay with the proposed rear lots, but agrees with Vice Chairman Hogan about the extension of the road. Similar to requirements for properties fronting on Route 83, he inquired about providing connection to the abutting land to the rear of the property. Commission Hirth did not have any comments.

Commission Francis stated in the past there was an issue with using plastic pipe due to kids setting the catch basin on fire and the pipes melting. He is okay with either type of pipe. He stated he's against the narrowing of the road and length of the cul-de-sac. He said the Town

may have cul-de-sacs that are longer, but he's unaware of them and they were approved before his time.

Ms. Houlihan explained the Zoning Board of Appeals (ZBA) considers variances to zoning regulations and not subdivision regulations.

Commissioner Swanson is okay with the proposed type of pipe, but felt the applicant should abide by the subdivision regulations for the length and width of the road.

Alternate Moser departed the meeting at 7:45 p.m. and was not available for comment.

Alternate Durao inquired why the regulations set a 1,000 foot length. Chairman Hoffman believes the standard came from a past fire marshal because fire trucks could only carry 1,000' of hose. Alternate Durao will not support a waiver that creates safety issues. He expressed concerns for obstruction to safety vehicles from cars parking along road sides.

Ms. Houlihan stated that all prerequisite commission/agency approvals were present such as Inland Wetland Agency granted positive statutory referral, North Central District Health Department issued conceptual approval for 17 onsite septic systems, and open space requirements met via past land dedication. The lot dimensional standards and density yield calculations comply with applicable zoning requirements. The number of proposed rear lots is consistent with established limitations and proposed where topographical constraints are present. Some driveways in excess of 100' do not meet required driveway standards. If the commission grants a favorable decision, a condition of approval should be set requiring compliance to Section 2.1.3 Private Property Driveways, at the time of construction.

Commissioner Sandberg questioned if the development will have public water. Mr. Peterson confirmed that it will. The plans include a fire hydrant for fire suppression at the intersection with Tripp Road and midway in the development. Chairman Hoffman stated the Fire Marshal said the length of cul-de-sac was okay because hydrants will be brought in.

Chairman Hoffman asked Mr. Peterson if the pipe being proposed to be installed complies with state requirements for road construction. Mr. Peterson said he'd research state standards to determine if the proposed pipe would be allowed.

Chairman Hoffman said the applicant is working on plan revisions to address staff comments and opened up the item to public comment.

Francis DeCarli, 42 Sadds Mill Road, stated he is against developing the property because too much farmland in Ellington has been lost to development. He does not think the development is a good idea. He said Ellington is becoming too populated. Chairman Hoffman noted the difficulty in balancing property rights and population growth.

Scott Marcus, 25 Standish Road, 22 year resident, does not support the waiver to extend beyond 1,000' and feels the developer hasn't proven why the 1,350' cul-de-sac should be approved. He asked how the subdivision will impact the school system and was concerned it would create more traffic. He is concerned with losing more farmland. He anticipates large houses to be built that will generate two or more children per home and questioned what plans will be made to accommodate the children at Windermere School.

Jason Waksman, 10 Minor Hill Road, grew up in the area and his parents still reside at 24 Standish Road. He is against the subdivision because of traffic in the area explaining there's no sidewalks on Standish Road. He is concerned about the impact to schools and would rather see the property be farmland. He opposes the requested waivers.

Gordon Fish, 97 Tripp Road, will rely on technical staff to determine if the proposed pipe is suitable. He is against the waiver pertaining to the reduction in road width. He questioned the rear lots and read from the subdivision regulations which states in general, rear lots shall be avoided, except where there's topo or unusual shape, in the opinion of the commission, then they may be permitted. He felt the topo was level and the land did not have an unusual shape and the only reason for the rear lots is for financial benefits for the developer. He said the length of road can't happen because that would be ignoring the regulations. He assumes the regulations were written by a committee that had reasons for setting 1,000' and said it was wrong for the developer to disregard a group of people that drafted the regulations. He said he'd like to hear a valid reason for the length of road, noting the only excuse is to increase the length to make more money for the developer.

Mr. Fish stated in order for waivers to be given land has to be uniquely affected by the regulations. He said there's nothing unique about the project; regulations speak to physical features or location that cause exceptional difficulty or unusual hardship in meeting requirements. He said other than financial hardship, there's no difficulty in following the rules. The regulations include language that granting waivers will not have significant adverse effect upon adjacent property or public safety. He said there's at least six properties that have counted on the fact when they bought their house or bought the land and built a house that the land behind them couldn't be built on. He is totally against the length and width waivers, and to the proposed rear lots.

Earnest Lally, formerly of 26 Wells Road and currently of 154 Federal Road, Chaplin, CT, is against building on farmland.

Shannon Reed, 32 Charter Road, is against the development and wants to keep it as farmland. She doesn't agree with granting of waivers and feels the developer should adhere to the regulations.

Kerri Heffernan, 3 Hatheway, is not in favor of the road extension for the reasons stated by others.

Mark Schneider, 133 Jobs Hill Road, explained he is currently the Cub Master for Pack 96 in Ellington. He supports keeping the land as open farmland, noting it's a better resource for kids. He mentioned the Hastillos have been generous and allow the scouts to hold activities on their land. He feels open/farmland is a better use for the land than more development.

Richard Dubord, new property owner, 104 Tripp Road, stated when he purchased the property he consulted with Gardner and Peterson about his development plans and followed advice provided by Mark Peterson to stay within the boundaries. He stated he did and asked the commission to stay within the regulations. Currently, he has an open and free view to the rear of his new home. He moved to Tripp Road because of the amount of open land. He looked at the possibility for land to the rear of his home to be developed and believed if the property was developed, the owner would have to abide by the subdivision regulations. He said the length of the cul-de-sac will affect his land.

Mary Lusso, 108 Tripp Road, said she has lived there for 10 years and has concerns about the potential development and would like to protect the community. When she looked at the land she was concerned about development but we expected the regulations to be followed. She said the commission should protect the community and rural character.

Jessica Hastillo, 100 Tripp Road, is against the project. She explained she hasn't heard a good reason why a rear lot or narrower, longer street should be approved. She was concerned about the impact the waivers would have for emergency access.

Russ Grace, 90 Tripp Road, has lived there since 2010 and opposed the waivers. He agrees with Mr. Fish and hasn't heard justification for extending the road and the rear lots. He would be affected by the development because there would be more homes, more traffic, and more noise. Mr. Grace grew up in Tolland, CT. He said when friends visit Ellington they are awed by the rural view of his backyard. He feels the fields are a jewel and the town should maintain it.

Neil Malkin, 102 Tripp Road, is against the project. If approved, he will have three new neighbors in his backyard. He said if 350' can be added, why not 500' or 1,000'.

Phillip Sis, 3 Eagle Drive, said he is against the construction of the two rear lots and granting of the waivers sets a negative precedent. He felt adding 17 new homes in the area will increase traffic and will not be safe for individuals walking in the neighborhood. He spoke against allowing a large increase in population in the area.

Sal Laudaro, 26 Standish Road, stated his main concern is additional traffic and safety, noting a lot of children live in the area and play on the road.

Matt Dougless, 7 Glenwood Road, stated rules are in place for a reason and he's against the waivers. He also has concerns about the width of the proposed road and passing of emergency vehicles. He said the town should protect open space and farmland.

Carissa Dubord, 104 Tripp Road, said she just built her home 2 years ago. She questioned the impact to the school system. She explained that new children are not guaranteed to attend Windermere School and may have to go to Crystal Lake School.

Amy Grace, 90 Tripp Road, stated she is concerned about the two rear lots being so close to the power lines and the impact the lines could have on someone's health. She explained she used to live on Carolyn Circle where power lines are close to properties and women that lived within two of the five home were diagnosed with breast cancer. She said homes should not be built close to power lines without understanding health impacts.

Chairman Hoffman announced the two applications will be continued to the next meeting. He asked if the developer was present and aware of the discussed concerns. Chairman Hoffman was surprised the developer did not attend the meeting and felt he should have attended to show support. He suggested the plan be revised to show a ten lot subdivision with five or six acre lots versus pushing for seventeen (17) lots. Mr. Peterson explained that he has taken notes and will share them with his client. He will revise the plans and visit in June.

MOVED (KELLY) SECONDED (SANDBERG) AND PASSED UNANIMOUSLY TO CONTINUE THE PUBLIC HEARING TO THE NEXT REGULAR MEETING ON JUNE 22, 2020, 7PM, VIA ZOOM OR PHYSICAL LOCATION AT 57 MAIN STREET, ELLINGTON, CT, WHICHEVER IS APPLICABLE AND IN ACCORDANCE WITH STATE EXECUTIVE

ORDERS AND LOCAL RECOMMENDATIONS FOR SOCIAL DISTANCING RELATING TO COVID-19 FOR S202003 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a re-subdivision for seventeen (17) lots for 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential), Zone and request to waive Section 4.06(iii) to allow permanent cul-de-sac of 1,350', Section 4.07 to allow 24' street width, and Appendix C 3.13(a) to allow HDPE pipe.

2. Z202005 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a Special Permit pursuant to Section 7.9 – Rear Lot Requirements for two rear lots to construct single family homes associated with a seventeen (17) lot resubdivision of 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential) Zone.

TIME: 7:12 pm

SEATED: Hoffman, Hogan, Kelly, Sandberg, Hirth, Francis and Swanson

MOVED (KELLY) SECONDED (SANDBERG) AND PASSED UNANIMOUSLY TO CONTINUE THE PUBLIC HEARING TO THE NEXT REGULAR MEETING ON JUNE 22, 2020, 7PM, VIA ZOOM OR PHYSICAL LOCATION AT 57 MAIN STREET, ELLINGTON, CT, WHICHEVER IS APPLICABLE AND IN ACCORDANCE WITH STATE EXECUTIVE ORDERS AND LOCAL RECOMMENDATIONS FOR SOCIAL DISTANCING RELATING TO COVID-19 FOR Z202005 – Hastillo Properties, LLC, owner/ TYMAC Holdings, LLC, applicant, request for a Special Permit pursuant to Section 7.9 – Rear Lot Requirements for two rear lots to construct single family homes associated with a seventeen (17) lot resubdivision of 61.56 acres on west side of Tripp Road, APN 023-001-0000, in a RAR (Rural Agricultural/Residential) Zone.

By consensus, due to technical connections with the representative of Item # 3, Chairman Hoffman requested to open Public Hearing Item # 4 and return to Item # 3.

3. Z202006 - Nutmeg Industrial Park, LLC owner/applicant, request for a Special Permit for light industrial uses and Site Plan Modification to previously approved plan for Building "C", parking, outdoor storage and associated site improvements at 10 Nutmeg Drive, APN 017-022-0005, in an I (Industrial) Zone.

TIME: 8:38 pm

SEATED: Hoffman, Hogan, Kelly, Sandberg, Hirth, Francis and Swanson

Guy Burns, 9 Lake Lane, Ellington, CT and Denise Lord, PE of Anchor Engineering Services, Inc., 41 Sequin Drive, Glastonbury, CT were present to represent the application.

Mr. Burns stated they are ready to complete Phase 3 of the previously approved site plan for the construction of Building "C". He explained the reason for the modification request was to reduce the square footage of the building from 31,500 sf to 18,000 sf., increase the number of units from fifteen (15) 2,100 sf units (30x70), to eighteen (18) 1,000 sf units (25X40), and increase the outside storage from 15,000 sf (40x375) to approximately 27,200 sf (+/-80X180 and 80x160). They are also proposing to increase the parking spaces from 35 to 50, switch the building from one-sided access to two-sided access and move the location of parking. Ms. Lord stated they will address all staff concerns for lights, drainage, bollards and fire access to all four sides of building. She agrees with the Town Engineer about raising the berm and existing detention basin. Mr. Burns said each tenant will have their own outside storage area.

Commissioner Kelly inquired about the request to revise the Special Permit to also allow a group of light industrial uses. Ms. Houlihan reviewed the list of uses and the proposed conditions of approval.

No one from the public spoke regarding the application.

MOVED (SANDBERG) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202006 - Nutmeg Industrial Park, LLC owner/applicant, request for a Special Permit for light industrial uses and Site Plan Modification to previously approved plan for Building "C", parking, outdoor storage and associated site improvements at 10 Nutmeg Drive, APN 017-022-0005, in an I (Industrial) Zone.

MOVED (SANDBERG) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITIONS FOR Z202006 - Nutmeg Industrial Park, LLC owner/applicant, request for a Special Permit for light industrial uses and Site Plan Modification to previously approved plan for Building "C", parking, outdoor storage and associated site improvements at 10 Nutmeg Drive, APN 017-022-0005, in an I (Industrial) Zone.

CONDITIONS:

1. Plans shall be revised to comply with recommendations from the Town Engineer and as detailed in a memo dated May 13, 2020, recommendations from the Fire Marshal and as detailed in a memo dated May 5, 2020, and recommendations from the Public Works Director and Water Pollution Control Authority and in a memo dated April 29, 2020.
2. Limits of outdoor storage area shall be enclosed with timber rail.

Chairman Hoffman requested to return to Public Hear Item # 3.

4. Z202004 - Big Y Foods, Inc., owner/Graphic Impact Signs, Inc., applicant, request for a Special Permit for the installation of a detached digital LED gas price sign at 140 West Road, APN 046-001-0000, in a PC (Planned Commercial) Zone.

TIME: 8:48 pm

SEATED: Hoffman, Hogan, Kelly, Sandberg, Hirth, Francis and Swanson

John Renzi, Graphic Impact Signs, 575 Dalton Avenue, Pittsfield, MA, was present to represent the application. He stated the applicant proposes to modify the previously approved detached sign to allow LED illumination of gas price information. He explained the digital portion of the monument sign will adjust to outside lighting and will shut off at the close of business each day. He said the sign complies with Section 6.3.7 (B) and the size of the digital numbers are 8" in height.

Vice Chairman Hogan appreciates that auto dimmer lighting will be used. Commissioner Sandberg inquired about the hours of operation for the gas station. After a brief discussion with Mr. Renzi, it was agreed the hours would be 5:00 am to 10:00 pm, seven days a week.

No one from the public spoke regarding the application.

MOVED (HOGAN) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202004 - Big Y Foods, Inc., owner/Graphic Impact Signs, Inc.,

applicant, request for a Special Permit for the installation of a detached digital LED gas price sign at 140 West Road, APN 046-001-0000, in a PC (Planned Commercial) Zone.

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITIONS Z202004 - Big Y Foods, Inc., owner/Graphic Impact Signs, Inc., applicant, request for a Special Permit for the installation of a detached digital LED gas price sign at 140 West Road, APN 046-001-0000, in a PC (Planned Commercial) Zone.

CONDITIONS:

1. Operation of the detached digital led gas price sign shall be maintained in compliance with Ellington Zoning Regulations Section 6.3.7(b).
2. Hours of operation are 5:00am to 10:0 pm, seven days a week.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Z201507-2020 – Gale Construction Inc., owner/Gregory J. Gale, applicant, request for a five (5) year extension of Special Permit granted May 18, 2015 for the earth excavation, screening, crushing and reopening of phases 1,2,3, and 4 at 90 Sadds Mill Road, APN 079-002-0000 in a RAR (Rural Agricultural Residential) Zone.

The applicant is requesting a five year extension of the current Special Permit for earth excavation located at 90 Sadds Mill Road.

BY CONSENSUS GRANT FIVE YEAR EXTENSION FOR Z201507-2020, Gale Construction Inc., owner/Gregory J. Gale, applicant, request for five (5) year extension of Special Permit granted May 18, 2015 for earth excavation, screening, crushing and reopening of phases 1,2,3, and 4 at 90 Sadds Mill Road, APN 079-002-0000 in a RAR (Rural Agricultural Residential) Zone.

2. Z202007 – Request from the Board of Selectmen for minor site modification and Connecticut General Statute Section 8-24 review for gravel parking area and path leading to walking trails off of Stein Road on Assessor Parcel Number 037-005-0082, town-owned open space.

Lori Spielman, First Selectman, was present to represent the application. Ms. Spielman said when the subdivision behind Big Y was constructed the developer of the project deeded open space to the town rather than pay a fee. The Trails Committee has been working on reestablishing trails on the property. There is no safe public access at the end of Bronisz Drive where the future right-of-way was provided. Ms. Spielman stated the view is beautiful along the trail and they'd like to create a parking area along Stein Road to access the property.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO APPROVE AS MINOR SITE MODIFICATIONS AND GRANT A POSITIVE REFERRAL FOR Z202007 – Request from the Board of Selectmen for minor site modification and Connecticut General Statute Section 8-24 review for gravel parking area and path leading to walking trails off of Stein Road on Assessor Parcel Number 037-005-0082, town-owned open space.

IN SO RECOMMENDING THE PLANNING AND ZONING COMMISSION FINDS THE PROPOSAL TO BE CONSISTENT WITH THE PLAN OF CONSERVATION AND DEVELOPMENT BY PROVIDING VALUABLE RECREATIONAL OPPORTUNITIES AND MANAGING OPEN SPACE TO IMPROVE QUALITY OF LIFE IN TOWN.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of April 22, 2020 Special Meeting Minutes and April 27, 2020 Regular Meeting Minutes

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE APRIL 22, 2020 SPECIAL MEETING MINUTES AS WRITTEN.

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE APRIL 27, 2020 REGULAR MEETING MINUTES WITH CHANGES TO PAGE 3 OF 6, PARAGRAPH FIVE, CORRECT THE WORD RECOMMENDATIONS TO RECOMMENDATIONS ON LINE 2 AND CORRECT THE WORD DEVELOPMENT TO DEVELOPMENT ON LINE 3.

2. Correspondence:

- a. Executive Order No. 7MM – Protection of Public Health and Safety During COVID-19 Pandemic and Response – Expedited Approval and Permitting for Expanded Outdoor Dining.

Ms. Houlihan summarized the new requirements for temporary outdoor dining according to the Governor's Executive Order No. 7MM. The Planning Department, Building Department, Fire Marshal's Office and North Central District Health Department will work with restaurants to provide temporary outdoor seating.

BY CONSENSUS GRANT AUTHORITY TO THE PLANNING DEPARTMENT TO ISSUE TEMPORARY CERTIFICATE FOR OUTDOOR DINING FOR LOCAL RESTAURANTS PURSUANT TO REOPEN CONNECTICUT PHASE 1 EFFECTIVE MAY 20, 2020.

VII. ADJOURNMENT:

MOVED (FRANCIS) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO ADJOURN THE PLANNING & ZONING COMMISSION REGULAR MEETING AT 9:20 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk

From: Bryan Fitzgerald <bfitzgerald@verogy.com>
Sent: Monday, June 08, 2020 2:30 PM
To: Lisa Houlihan
Subject: Verogy - East Windsor Solar One Update 6/8/2020
Attachments: East Windsor Solar One FAQ Sheet Final 6-5.pdf; East Windsor Solar One Fact Sheet Final 6-5.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Lisa –

I hope this email finds you well and healthy.

I wanted to reach back out and let you know that we will be initiating our public outreach campaign this week to residents who are neighbors of our proposed East Windsor Solar One project located at 341 East Road in East Windsor. If you recall, this project is only located within East Windsor but the eastern parcel boundary is the Ellington Border. The landowner we are working with also owns the abutting property in Ellington. Including our current landowner, there are only three direct parcel neighbors that will receive letters from us in this campaign. We will also be sending a letter to you office with the attached material included.

Attached to this email are the materials that we will deliver to the residents, primarily of East Windsor, but also town officials of both Ellington and East Windsor. We will be following the timeline outlined below:

- Mailing of letters containing the following information to direct and proximate parcel neighbors as well as the Town of East Windsor and Ellington: June 9, 2020
 - o Introductory Letter
 - o Project Fact Sheet (attached for reference)
 - o Project FAQ document (attached for reference)
- Launching of project website: verogy.com/east-windsor-solar-one/ : June 8, 2020
 - o This website will provide project updates and include the material distributed in the letters
 - o The website will also serve as another way for stakeholders, neighbors, or anyone for that matter to send a message that gets direct directly to our email inbox's
- Anticipated Filing with the Connecticut Siting Council: June 30 – July 15th, 2020
 - o Formal notices will be delivered again prior to the filing being submitted to the Siting Council

Please feel free to let me know if you have any questions or would like schedule a conference call this week to discuss in further detail.

Thank you,

Bryan Fitzgerald
Director of Development
Verogy | 150 Trumbull Street, 4th Floor
Hartford, CT 06103
M: 203.257.3375
O: 860.288.7215 x701





East Windsor Solar One Project FAQ Sheet

Solar Photovoltaic

How does a solar photovoltaic (PV) system work?

Solar panels absorb the sun's energy and convert it into DC electricity. The DC electricity is converted to AC electricity through inverters, which is then delivered to the local utility's infrastructure.

How much energy will the solar array generate?

East Windsor Solar One will generate 9,517 MWh/year. This is enough renewable energy to power 1,139 homes for an entire year and offset 6,729 tons of carbon dioxide.

Local Benefits

What are the local benefits of having solar generation?

In general, energy production takes place at power plants, which can be located a significant distance from where the electricity is used. Local energy production such as East Windsor Solar One will help strengthen the electricity grid in East Windsor through more reliable, advanced infrastructure. Additionally, solar generation is a renewable energy, which delivers locally produced power with zero emissions.

What are the municipal benefits?

Once operational, the Town of East Windsor will receive annual tax revenues from Verogy for an estimated 20 years. Additionally, there will be no burdens placed on municipal infrastructure or demands on Town of East Windsor services.

Construction & Operation

How long will construction take?

Following all state and local approvals, construction will take approximately six months.

How will the solar array be maintained?

Maintenance visits by Verogy staff will take place onsite every one to two months. Once the solar array is operational, Verogy will monitor energy production remotely.

What is the lifespan of this solar array?

East Windsor Solar One has an overall lifespan of 35 years.

What will happen to the array at the end of its lifespan?

At the end of its lifespan, East Windsor Solar One will be decommissioned and removed from the property. Once cleared, the land will be restored to its original condition.

Location & Site Selection

Why was this location chosen?

The site was selected due to its minimal impact to both neighboring property owners and the environmental conditions of the area. The project is located on land that is pre-cleared and not located on core forest, helping to minimize tree clearing. The array itself will not impact any wetlands and appropriate setbacks from neighboring properties have been incorporated into the project's site design. Additionally, the site is located in close proximity to the electrical grid, further limiting construction or operational impacts.

Are there any dangers living near a solar array?

There are no known dangers or adverse effects of living near a solar array.

Will the project create glare or other visual impacts?

Solar panels are designed to absorb light in order to maximize their efficiency and generally reflect about 2% of sunlight. The panels that will be used at East Windsor Solar One are about 10 feet tall; due to the existing vegetation and topography of the site, there will be limited views of the project. Additionally, Verogy will identify areas in the neighborhood that may experience visual impacts and use vegetative screening and other techniques to limit these impacts.

East Windsor Solar One and the Environment

What will happen to the existing land, forest, and trees on the property currently?

This project was designed with the least possible impact on the existing environment of the property with no planned tree trimming taking place during construction.

What measures will be taken to protect wildlife that visit or live on the property?

A full survey of the land will be conducted as part of the approval process. Verogy will be working with environmental professionals to conduct numerous studies on the property, including:

- **Natural Diversity Database:** Identify the endangered, threatened and special concern species and significant natural communities on or nearby the property
- **USFWS:** Consultation in regard to Section 7 and 10 of the Endangered Species Act
- **Soil:** Identify the types of soil and their uses
- **Wetlands:** Identify any existing wetland areas in order to avoid impact

Verogy takes its commitment to sustainability and the environment very seriously. We will continue to work with our environmental engineers and other stakeholders to ensure that East Windsor Solar One's impacts are as limited as possible.

Approval Process

What is the approval process for East Windsor Solar One?

In order to begin construction, Verogy requires approval from the Connecticut State Siting Council, who has jurisdiction over projects like East Windsor Solar One. We will also be working closely with municipal departments in East Windsor.

Residents with questions about the approval process can contact Verogy's Director of Development, Bryan Fitzgerald at development@verogy.com or (203) 257-3375.

Contact Us

Verogy is committed to keeping members of the East Windsor community informed about our projects. Please feel free to contact us with questions or concerns.

Project Contact:
Bryan Fitzgerald
Director of Development
development@verogy.com
(203) 257-3375

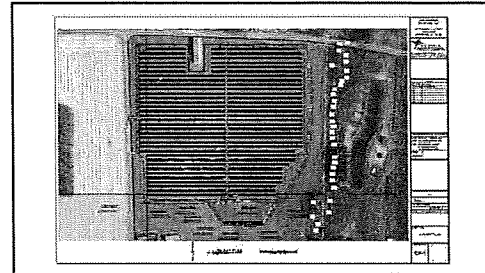
About Verogy

Verogy is a Hartford-based solar developer focused on commercial, industrial and small utility scale projects. Built on 50+ years of combined industry experience, the professionals at Verogy have developed, financed and constructed hundreds of solar projects across the United States.

For more information, visit www.verogy.com/east-windsor-solar-one/

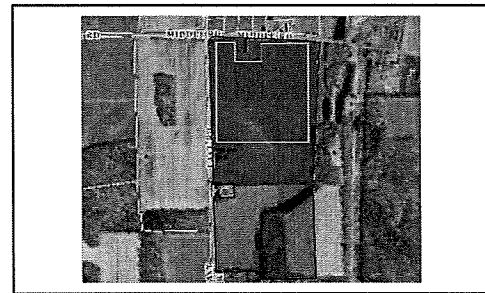
PROJECT DESCRIPTION

- East Windsor Solar One is a solar project located at 341 East Road in East Windsor
- The 4.975 MW ac system will generate enough electricity to power 1,154 average homes for a year
- The project site is designed to have minimal environmental impacts with no disruption to wetlands or core forest



BENEFITS TO EAST WINDSOR

- Increasing new annual municipal tax revenues with no additional burden on town services
- Infrastructure upgrades that improve the reliability of East Windsor's electrical grid
- Reduction in energy demand during peak usage will decrease energy costs for ratepayers statewide
- Strengthened renewable energy resources that produce electricity locally with zero pollution
- The creation of 24 construction jobs and 2 new full-time jobs in the region



ACHIEVING THE 100% ZERO CARBON TARGET BY 2040 & ENVIRONMENTAL BENEFITS

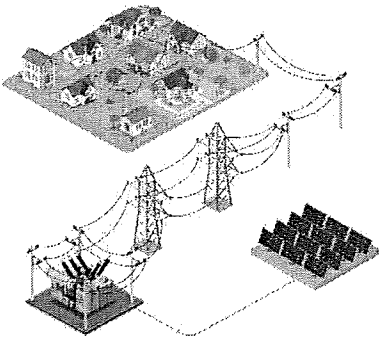
- As a Class I Renewable Energy Source, Burlington Solar One will help support the goals set forth in Governor Lamont's September 2019 Executive Order No. 3 → **100% zero carbon target for the electricity sector by 2040**
- Once operational, the project will offset the equivalent of 6,729 metric tons of CO2 annually, the same amount as 111,262 tree seedlings grown for 10 years or 16,696,686 miles driven by an average passenger vehicle.
- When completed, the project will use an estimated 30 acres out of a total 73 acres, leaving 59% of the parcel undeveloped and available for other uses, including agricultural production.

APPROVAL PROCESS

Verogy requires approval from the Connecticut State Siting Council, who has jurisdiction over projects like East Windsor Solar One. We will also be working closely with municipal departments in East Windsor throughout the development of this project. East Windsor Solar One will also obtain a Construction General / SWPCP Permit from CT DEEP.

ESTIMATED PROJECT CALENDAR

AUGUST 2019: Design phase completed
FEBRUARY 2020: Interconnection approvals from Eversource
JUNE 2020: Completion of environmental studies
JULY 2020: Application submitted to Connecticut Siting Council
OCTOBER 2020: Connecticut Siting Council decision issued
NOVEMBER 2020: Construction groundbreaking
APRIL 2021: Project completion



Solar Energy 101

- 1. Solar Panels**
Collect energy from the sun
- 2. Inverters**
Converts DC Electricity to AC Electricity
- 3. Utility Infrastructure**
Electricity is delivered to the circuit that connects to the substation
- 4. Delivery to Consumers**
Power is delivered to residential and business consumers through the local grid.

CONTACT US

Verogy is committed to keeping members of the East Windsor community informed about our projects. Residents with questions about the project or its approval process can contact Verogy's Director of Development, Bryan Fitzgerald at development@verogy.com or (203) 257-3375.

Project Contact:

Bryan Fitzgerald
Director of Development
development@verogy.com
(203) 257-3375

ABOUT VEROGY

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For more information, visit www.verogy.com/east-windsor-solar-one/



Filed by:

G. Scott Shepherd - SBA Communications
134 Flanders Rd., Suite 125, Westborough, MA 01581
508.251.0720 x 3807 – Gshepherd@SBASite.com

June 8, 2020

Melanie A. Bachman
Acting Executive Director
Connecticut Siting Council
Ten Franklin Square
New Britain, CT 06051

Notice of Exempt Modification

101 Burbank Road, Ellington, CT 06029
N 41.936257
W 72.385383
T-Mobile#: CT11292A_L600

Dear Ms. Bachman:

T-Mobile currently maintains six (6) antennas at the 186-foot level of the existing 189-foot Monopole Tower at 101 Burbank Road, Ellington, CT. The tower is owned SBA Towers V, LLC. The property is owned by Bernard and Jane Asumadu. T-Mobile intends to replace three (3) antennas with three (3) new 600 MHz/700 MHz/1900 MHz/2100 MHz antennas. The new antennas would be installed at the 186-foot level of the tower.

Please note: Per the Connecticut Siting Council Website: CSC COVID 19 Guidelines. *In order to prevent the spread of Coronavirus and protect the health and safety of our members and staff, as of March 18, 2020, the Connecticut Siting Council shall convert to full remote operations until March 30, 2020. Please be advised that during this time period, all hard copy filing requirements will be waived in lieu of an electronic filing. Please also be advised that the March 26, 2020 regular meeting shall be held via teleconference. The Council's website is not equipped with an on-line filing fee receipt service. Therefore, filing fees and/or direct cost charges associated with matters received electronically during the above-mentioned time period will be directly invoiced at a later date.*

Planned Modifications:

TOWER

Remove:

- N/A

Remove and Replace:

- (3) LNX-6515DS-A1M antenna (remove) – (3) RFS APXVAARR24_43-U-NA20 (replace)

Install New:

- (1) 1 5/8" Fiber
- (3) Ericsson KRY 112 489/2 TMAs

The logo for the State of Connecticut's State Bridge Authority (SBA). It consists of the letters "SBA" in a bold, sans-serif font, followed by a square icon containing three curved lines representing a signal or radio waves.

- (3) Ericsson Radio 4449 B71+B12 RRU
- (2) V-bracing kit (MS-C2B-350P)
- (1) Support Rail Kit (M-HR35-2375)
- (3) Stabilizer kit (MSSTZ-2PST)
- (12) 2" PST

Existing Equipment to Remain:

- (3) sector frames
- (3) EMS RR90-17-02DP antenna
- (3) Ericsson KRY 112 144/1 TMAs
- (3) Kathrein 782 11056 BIAS T's
- (12) 1 5/8" coax

Entitlements:

- N/A

GROUND

Install New:

- Equipment inside existing 6102 cabinet
- (3) Ericsson Radio 4415

This facility was approved by the Town of Ellington on October 4, 1999 under Case V9915. A 190' tower was approved. It was to have a fence of 6' above ground level and no lighting with the exception of ground lighting for maintenance purposes. There were to be no signs on the tower and space was to be provided for municipal emergency service transmission as required by the Town. Utilities were to be installed underground unless otherwise approved. There were no post construction stipulations set. Please see attached.

Please accept this letter as notification pursuant to Regulations of Connecticut State Agencies §16-50j-73, for construction that constitutes an exempt modification pursuant to R.C.S.A. §16.50j-72(b)(2). In accordance with R.C.S.A. § 16.50j-73, a copy of this letter is being sent to the Town of Ellington's First Selectman, Lori Spielman, and Town Planner, Lisa M. Houlihan, as well as the property owner. (Separate notice is not being sent to tower owner, as it belongs to SBA.)

The planned modifications to the facility fall squarely within those activities explicitly provided for in R.C.S.A. §16.50j-72(b)(2).

1. The proposed modifications will not result in an increase in the height of the existing structure.
2. The proposed modification will not require the extension of the site boundary.
3. The proposed modifications will not increase noise levels at the facility by six decibels or more, or to levels that exceed state and local criteria.
4. The operation of the replacement antennas will not increase radio frequency emissions at the facility to a level at or above the Federal Communications Commission safety standard.



5. The proposed modification will not cause a change or alteration in the physical or environmental characteristics of the site.
6. The existing structure and its foundation can support the proposed loading.

For the foregoing reasons, T-Mobile respectfully submits that the proposed modifications to the above-referenced telecommunication facility constitute an exempt modifications under R.C.S.A. § 16-50j-72(b)(2).

Sincerely,

G. Scott Shepherd
Site Development Specialist II
SBA COMMUNICATIONS CORPORATION
134 Flanders Rd., Suite 125
Westborough, MA 01581

508.251.0720 x3807 + T
508.366.2610 + F
508.868.6000 + C
GShepherd@sbsite.com

Attachments

- cc: Lori Spielman, First Selectman / with attachments
55 Main Street, Ellington, CT 06029
✓ Lisa M. Houlihan, AICP, Town Planner / with attachments
55 Main Street, Ellington, CT 06029
Bernard and Jane Asumadu / with attachments
101 Burbank Rd., Ellington, CT 06029

EXHIBIT LIST

Exhibit 1	Check Copy	
Exhibit 2	Notification Receipts	x
Exhibit 3	Property Card	x
Exhibit 4	Property Map	x
Exhibit 5	Original Zoning Approval	Town of Ellington P&Z Commission 10/25/99
Exhibit 6	Construction Drawings	Chappell Engineering Associates 9/17/19
Exhibit 7	Modification Drawings	Chappell Engineering Associates 8/8/19
Exhibit 8	Structural Analysis	TES 5/27/20
Exhibit 9	Mount Analysis	TES 5/26/20
Exhibit 10	EME Report	Transcom Engineering 5/17/19