

# PROJECT GENERAL NOTES AND SPECIFICATIONS

## 0. DIVISION 00: CONTRACTUAL REQUIREMENTS

- 0.1. THE ARCHITECTURAL CONTRACT DOCUMENTS FOR THIS PROJECT CONSIST OF DRAWINGS A-101, A-102, A-103, AND THESE OUTLINE SPECIFICATIONS.
  - 0.2. ALL TRADES ARE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS.
  - 0.3. ALL CONTRACTORS TO HAVE ADEQUATE INSURANCE AND SHALL SUBMIT PROOF OF SAME BEFORE STARTING WORK.
  - 0.4. G.C. TO CONFIRM STAGING AREAS WITH OWNER TO MINIMIZE THE DISTURBANCE OF DAILY BUILDING OPERATIONS AND TO PROTECT EXISTING SITE ELEMENTS (PAVEMENT, SIDEWALKS, LANDSCAPING, ETC.) FROM DAMAGE.
1. DIVISION 01: GENERAL REQUIREMENTS
    - 1.1. PROTECT EXISTING CONSTRUCTION AND SURROUNDING WALLS FROM DAMAGE.
    - 1.2. CONTRACTOR SHALL REPAIR ALL DAMAGED OR MARRED SURFACES DURING CONSTRUCTION.
    - 1.3. ALTERNATIVE PRODUCTS SHALL BE ACCEPTABLE ONLY IF APPROVED BY THE ARCHITECT AND OWNER AND IF EQUAL OR BETTER THAN THE SPECIFIED PRODUCT.
    - 1.4. AREA OUTSIDE OF WORK LIMIT AREA IS FULLY OCCUPIED. CONTRACTOR SHALL MAINTAIN MINIMAL SOUND, DUST AND NOISE LEVELS. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE OWNER.
    - 1.5. OWNER SHALL REMOVE ALL FURNITURE AND EQUIPMENT PRIOR TO DEMOLITION. GENERAL CONTRACTOR SHALL COORDINATE ALL REMOVALS.
    - 1.6. PRIOR TO COMMENCEMENT OF CONSTRUCTION OR FABRICATION OF PROJECT ITEMS, THE CONTRACTOR SHALL SUBMIT SUBSTITUTE ITEMS TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO BID SELECTION.
    - 1.7. PRODUCT SUBMITTALS OF ALL MATERIALS AND PRODUCTS USED FOR CONSTRUCTION OF THE PROJECT TO BE ISSUED FOR REVIEW PRIOR TO PURCHASE.
    - 1.8. CONTRACTOR SHALL REMOVE ALL CEILING, WALL MOUNTED ACCESSORIES, ETC. IN AREAS SHOWING TO HAVE NEW FINISH.
    - 1.9. GEN. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AMONG ALL TRADES, ENSURING PROPER CLEARANCES BETWEEN ALL NEW WORK AND EXISTING WORK.
    - 1.10. ALL ASPECTS OF THE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE CODES AS NOTED HEREON.
    - 1.11. IF THE CONTRACTOR ENCOUNTERS INCOMPLETE, INACCURATE OR CONTRADICTORY INFORMATION, OR INFORMATION IN CONFLICT WITH APPLICABLE CODES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT AND OWNER AND REQUEST RESOLUTION BEFORE FURTHER WORK IS COMPLETED ON THAT ITEM.
    - 1.12. WHERE DRAWINGS AND SPECIFICATIONS CONFLICT, THE MORE STRINGENT AND/OR MORE COSTLY REQUIREMENT SHALL APPLY. THE DECISION WHICH IS MORE STRINGENT AND/OR COSTLY MAY BE RENDERED BY THE ARCHITECT.
    - 1.13. CERTAIN PRODUCT SPECIFICATIONS ARE CONTAINED ON THESE DRAWING SHEETS.
    - 1.14. IF PRODUCTS ARE NOT SPECIFIED, BUILDING STANDARDS ARE TO APPLY. IF BUILDING STANDARDS ARE NOT APPLICABLE, INDUSTRY STANDARDS ARE TO APPLY.
    - 1.15. ALL CONTRACTORS SHALL VISIT THE PROJECT SITE AND FAMILIARIZE THEMSELVES

2. DIVISION 02: DEMOLITION
  - 2.1. DEMOLITION AND REMOVAL - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARTING AND DUMPING, OF ALL MATERIALS DEMOLISHED FROM THE PROJECT. ALL DISPOSED ITEMS TO BE REMOVED FROM SITE. ASBESTOS CONTAINING MATERIALS SHALL BE REMOVED BY OWNER ABATEMENT CONTRACTOR. GENERAL CONTRACTOR TO COORDINATE WITH ABATEMENT CONTRACTOR FOR DEMOLITION WORK.
  - 2.2. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ALL EXISTING WORK DISTURBED OR OTHERWISE IN NEED OF REPAIRING IN ORDER TO MAKE THE PROJECT A COMPLETE AND FINISHED PROJECT. THIS REPAIR INCLUDES ALL FINISHES NEEDED TO MATCH ADJACENT SURFACES.
  - 2.3. IF A WALL OR SURFACE IS WORKED ON, THAT WALL OR SURFACE SHALL BE REPAIRED WITH A COMPLETE FINISH, TO THE NEAREST CORNER, CHANGE OF PLANE, OR OTHER JUNCTURE. PROVIDE A SMOOTH AND CLEAN TRANSITION FROM THE NEW FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES, I.E., THE INTENT IS TO ELIMINATE THE APPEARANCE OF A REPAIRED CONDITION.
  - 2.4. ALL ITEMS SHOWN TO BE DEMOLISHED SHALL BE REMOVED FROM SITE & DISCARDED, UNLESS OTHERWISE NOTED.
  - 2.5. EACH RADIATOR ENCLOSURE IS ACM, WHICH IS TO BE REMOVED. DEMO CONTRACTOR SHALL COORDINATE ACM REMOVAL WITH OWNER.

## 3. DIVISION 03: CONCRETE - N/A

## 4. DIVISION 04: MASONRY - N/A

## 5. DIVISION 05: METALS

- 5.1. STEEL ANGLES AS INDICATED.
- 5.2. ALUMINUM BAR GRILLE: BY ARCHGRILLE.COM, SATIN FINISH
  - 5.2.1. TOP GRILLE: MODEL AG10
  - 5.2.2. LOWER VENT: MODEL AG10B

## 6. DIVISION 06: WOOD

- 6.1. PLASTIC-LAMINATE CLAD ARCHITECTURAL CASEWORK
  - 6.1.1. ALL CASEWORK TO BE FABRICATED AS PER AWA CUSTOM GRADE STANDARDS.
  - 6.1.2. ALL EXPOSED SURFACES TO HAVE PLASTIC LAMINATE, UON.
  - 6.1.3. ALL SEMI-EXPOSED INTERIOR CABINET SURFACES TO BE PAINTED BLACK.
  - 6.1.4. ALL EXPOSED PLASTIC LAMINATE COLORS TO BE SELECTED BY ARCHITECT AND OWNER.
  - 6.1.5. ALL CABINET PLYWOOD TO BE FURNITURE GRADE.

- 6.1.6. MILLWORK INSTALLER TO PROVIDE 2x SUPPORT BLOCKING WHERE REQUIRED FOR SOUND INSTALLATION.
- 6.2. SOLID SURFACE MATERIAL: CORIAN, COLOR BY ARCHITECT AND OWNER.

## 7. DIVISION 07: MOISTURE, THERMAL PROTECTION

- 7.1. THERMAL BATT INSULATION: THICKNESS AS NOTED BY R-VALUE.
- 7.2. FOIL-FACED POLYISO INSULATION: 1/2" THICK, TAPE JOINTS.
- 7.3. JOINT SEALANTS:
  - 7.3.1. PROVIDE JOINT SEALANTS, BACKINGS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY JOINT-SEALANT MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.
  - 7.3.2. ARCHITECTURAL SEALANTS SHALL HAVE A VOC CONTENT OF 250 G/L OR LESS.
  - 7.3.3. NEW SEALANT COLORS SHALL MATCH ADJACENT EXISTING.

## 8. DIVISION 08: DOORS AND WINDOWS

- 8.1. ALL DOORS TO BE NEW. DAMAGED, SPLIT OR GOUGED DOORS SHALL NOT BE REUSED.
- 8.2. ALUMINUM DOORS:
  - 8.2.1. NEW DOORS: YKK 20D SERIES, INSULATED SOLID FACE, COLOR TO MATCH CURTAIN WALL FRAMES.
  - 8.2.2. ALL NEW LOCKING HARDWARE TO BE KEKEYD TO OWNER STANDARD.
- 8.3. DOOR HARDWARE:
  - 8.4.1. CLOSER: LCN 4040XP FINISH 689
  - 8.4.2. GEARED HINGES: ROTON - 780-224HD
  - 8.4.3. KICK PLATES: IVES STAINLESS STEEL, BEVEL 4 EDGES, 2" LESS THAN DOOR WIDTH

- 8.4.4. SILENCERS: IVES SR64 GRAY
- 8.4.5. PANIC DEVICE: VON-DUPRIN 33 SERIES VERT ROD PUSH BAR EXIT DEVICE WITH LOCKS
- 8.4.6. LEVERSET: VON DUPRIN 996L FINISH 626 (ACTIVE LEAF)
- 8.4.7. FLUSH BOLTS: IVES FB 458 FINISH US26D (INACTIVE LEAF, TOP & BOTTOM)

- 8.4.8. THRESHOLD: PEMKO 2705T
- 8.4.9. WEATHER STRIPPING: PEMKO 290\_S
- 8.4.10. ASTRAGAL: PEMKO 18061\_NB

## 8.5. ALUMINUM-FRAMED EXTERIOR CURTAIN WALL:

- 8.5.1. YKK 750 & 600 THERMALLY IMPROVED SYSTEM WITH 2.5" x 7" STRUCTURALLY GLAZED FRAMES. INTERIOR & EXTERIOR FINISH: KYNAR, WHITE, 3 COAT.
- 8.5.2. DESIGN-BUILD MANUFACTURER TO PROVIDE DESIGN CALCULATIONS FOR WIND LOAD AND STRUCTURAL SEGMENTS.

- 8.5.3. METAL INSULATING PANELS:
  - 8.5.3.1. TO HAVE PEBBLE TEXTURE BOTH SIDES, INFILLED WITH POLY-ISO FOAM.
  - 8.5.3.2. PROVIDE MAXIMUM R-VALUE.
  - 8.5.3.3. COLOR: TO MATCH CURTAIN WALL FRAME.
- 8.4.4. EXTERIOR GLAZING:
  - 8.4.4.1. INTERIOR GLASS: CLEAR TEMPERED GLASS, THICKNESS AS SHOWN.
  - 8.4.4.2. EXTERIOR GLASS: SAFETY LAMINATED, SOLARBANS 90 BY VITRO.
  - 8.4.4.3. 1" LARGE INSULATED UNITS: 5/16" THICK. FILL VOIDS WITH ARGON.
  - 8.4.4.4. 1" OPERABLE INSULATED UNITS: 1/4" THICK. FILL VOIDS WITH ARGON.

## 9. DIVISION 09: FINISHES

- 9.1. ALL FINISH COLORS AND MATERIALS TO BE BUILDING STANDARD OR APPROVED BY OWNER.
- 9.2. ROLLER SHADE: (ADD ALTERNATE #1)
  - 9.2.1. BLACKOUT SHADE BY BLINDS.COM.
  - 9.2.2. FABRIC & COLOR TO BE SELECTED BY OWNER.
- 9.3. CEILING:
  - 9.3.1. TO MATCH EXISTING.
  - 9.3.2. CEILING & SUSPENSION SYSTEM TO BE CAREFULLY REMOVED FOR REUSE.
- 9.4. INTERIOR WALL PAINT: BY BENJAMIN MOORE, COLOR TME AS SELECTED BY ARCHITECT.
  - 9.4.1. LATEX PAINT: PRO-MAR 200, ZERO VOC, EG-SHELL.
  - 9.4.2. NEW DOOR AND FRAME: SEMI-GLOSS LATEX ENAMEL.
- 9.5. RUBBER WALL BASE:
  - 9.5.1. 4" HIGH COVED RUBBER BASE BY ROPPE. COLOR: TO MATCH EXISTING.

## 10. DIVISION 10: SPECIALTIES - NA

## 11. DIVISION 11: EQUIPMENT - NA

## 12. DIVISION 12: FURNISHINGS

- 12.1. ALL FURNITURE TO BE MOVED, KNOCKED DOWN, RELOCATED, REASSEMBLED OR RESET BY OWNER.
- 12.2. GENERAL CONTRACTOR TO COVER AND PROTECT ANY FURNITURE THAT REMAINS, DURING DEMOLITION & CONSTRUCTION.

## ARCHITECTURAL DEMO PLAN LEGEND

- ===== EXISTING ITEM TO REMAIN
- ITEM TO BE REMOVED.

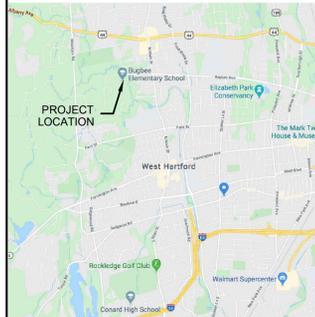
## ARCHITECTURAL DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO ANY DEMOLITION.
2. REMOVE OR CUT BACK ALL CEILING PADS AND SUSPENSION SYSTEMS, WALL BASE, AND WALL MOUNTED ACCESSORIES THIS AREA.
3. PROTECT ALL FLOOR FINISHES IN THIS AREA.

# BUGBEE ELEMENTARY SCHOOL West Hartford, CT

## EXTERIOR AUDITORIUM WALL REPLACEMENT

## CONSULTANTS



LOCATION PLAN  
NOT TO SCALE

No.	Date	Description
Revisions		

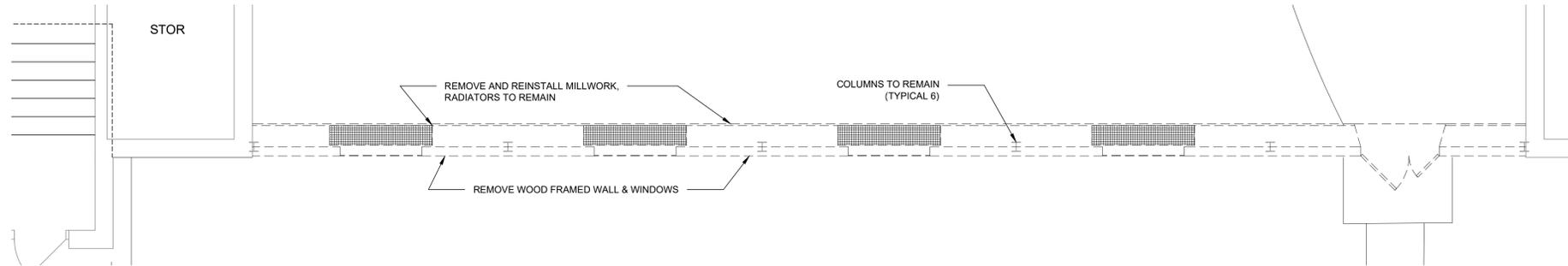


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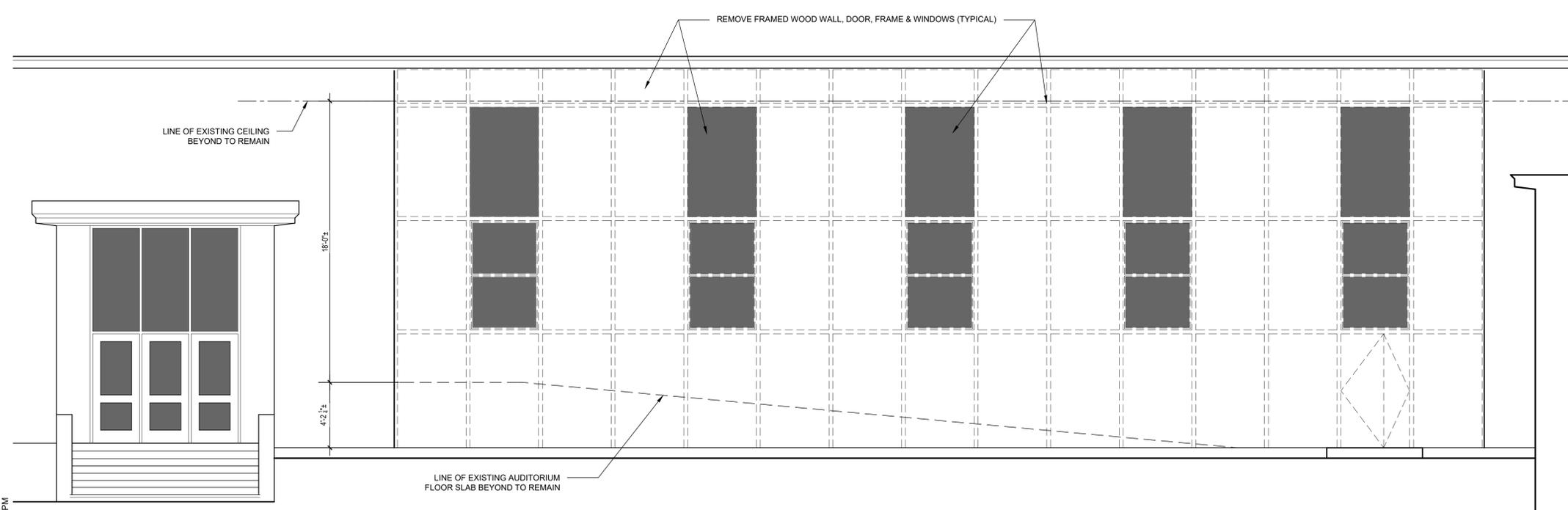
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Project No: 20-0305	Issue Date: 03-20-2020
Drawn by: OM	Scale: AS SHOWN

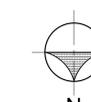
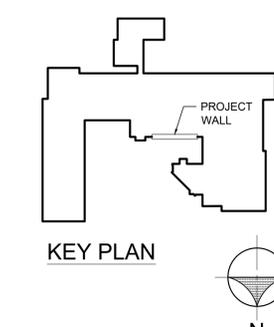
Drawing Number	<b>A-101</b>
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1 PROPOSED DEMOLITION PLAN  
A-101 SCALE 1/4" = 1'-0"



2 PROPOSED DEMOLITION ELEVATION  
A-101 SCALE 1/4" = 1'-0"



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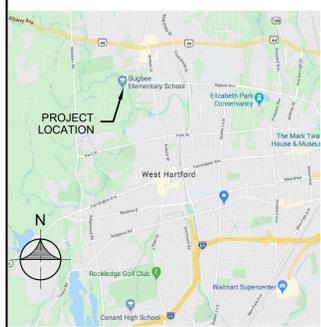
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SCHOOL**  
West Hartford, CT

**EXTERIOR  
AUDITORIUM  
WALL  
REPLACEMENT**

**CONSTRUCTION NOTES**

1. BIDDERS SHALL REVIEW GENERAL NOTE SHEET A-101 FOR ADDITIONAL INFORMATION.
2. CONTRACTOR SHALL FILL AND REPAIR MOUNTING HOLES EXPOSED FROM REMOVED WALL MOUNTED DEVICES.
3. ALL PENETRATIONS AND DAMAGE OF EXISTING WALLS TO REMAIN SHALL BE FILLED AND REPAIRED TO MATCH ADJACENT SURFACE.
4. ALL NEW EXPOSED INTERIOR CONSTRUCTION WITHOUT A FINISH SHALL BE PAINTED OFF-WHITE TO MATCH ADJACENT EXISTING WALLS.

**CONSULTANTS**



**LOCATION PLAN**  
NOT TO SCALE

No.	Date	Description
Revisions		

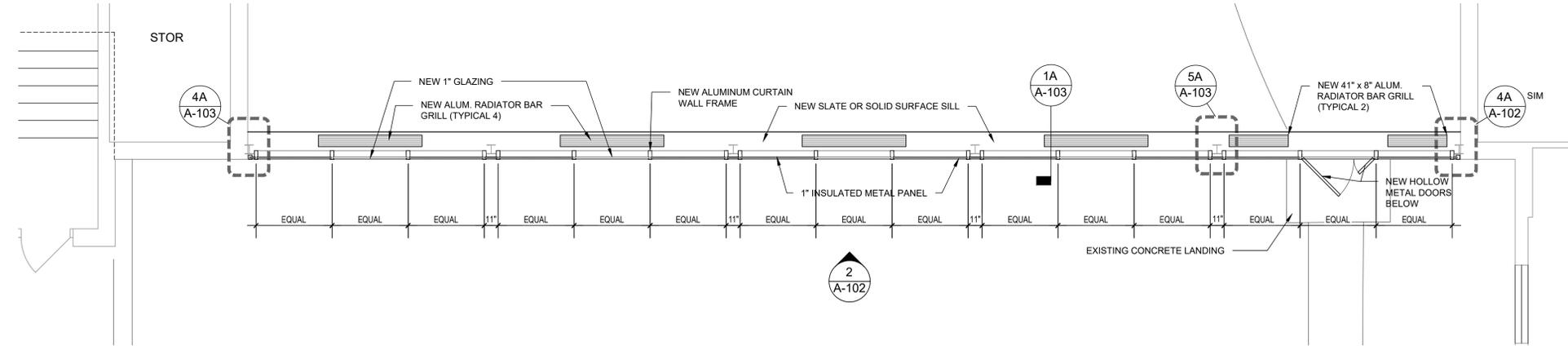
**OPA Architects LLC**  
312 Park Rd West Hartford CT 06119  
www.opaArch.com 860.232.6664

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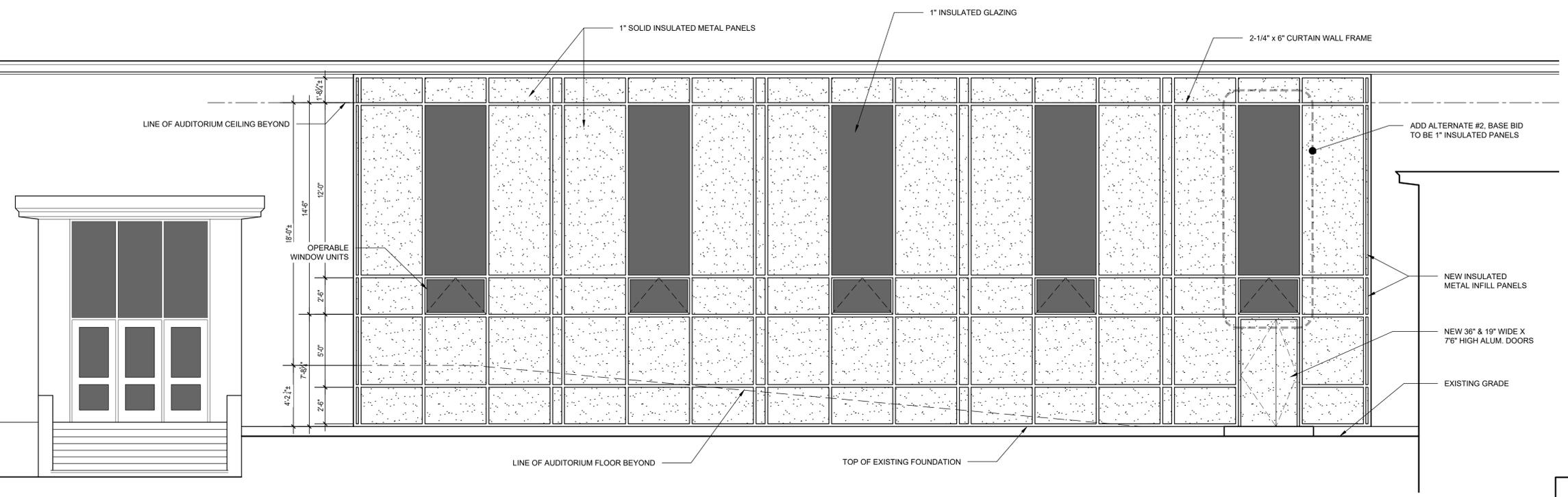
Drawing Title  
**PROPOSED PLAN & ELEVATION**

Project No: 20-0305	Issue Date: 03-20-2020
Drawn by: OM	Scale: AS SHOWN

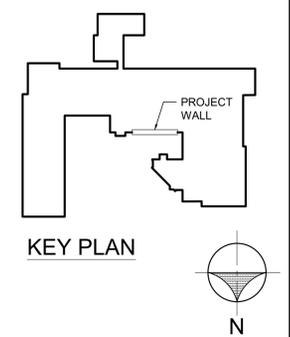
Drawing Number	<b>A-102</b>
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**1 PROPOSED GROUND FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**2 PROPOSED EXTERIOR ELEVATION**  
SCALE 1/4" = 1'-0"

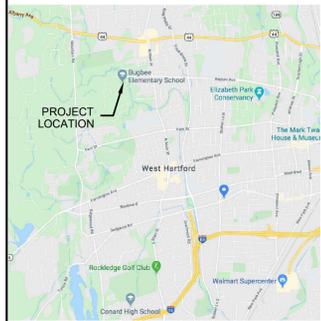


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WALL  
REPLACEMENT**

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**LOCATION PLAN**  
NOT TO SCALE

No.	Date	Description
Revisions		

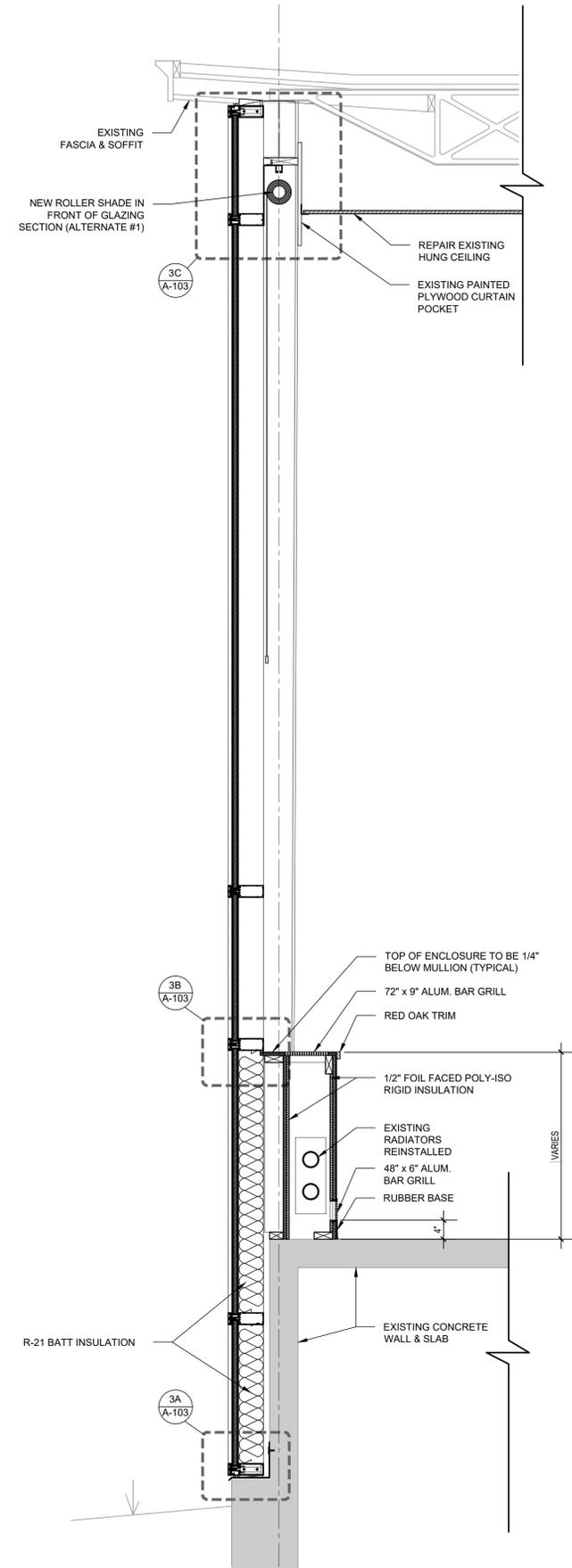
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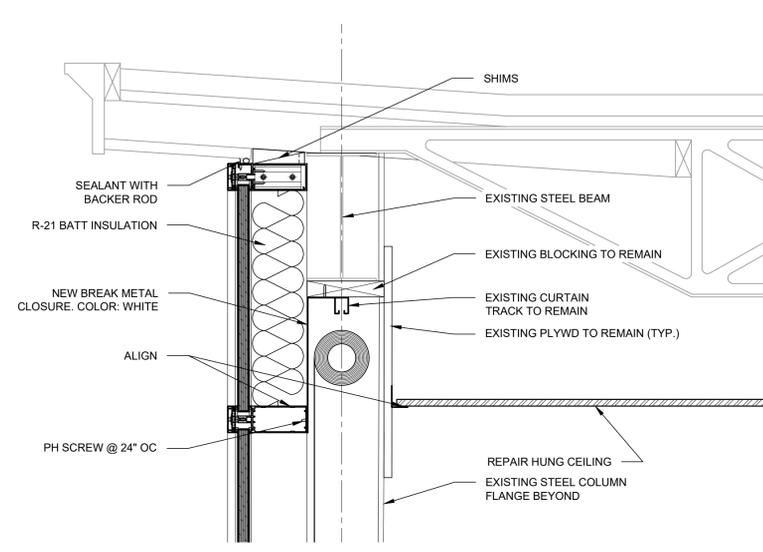
**CURTAIN WALL  
SECTIONS & DETAILS**

Project No: 20-0305	Issue Date: 03-20-2020
Drawn by: OM	Scale: AS SHOWN

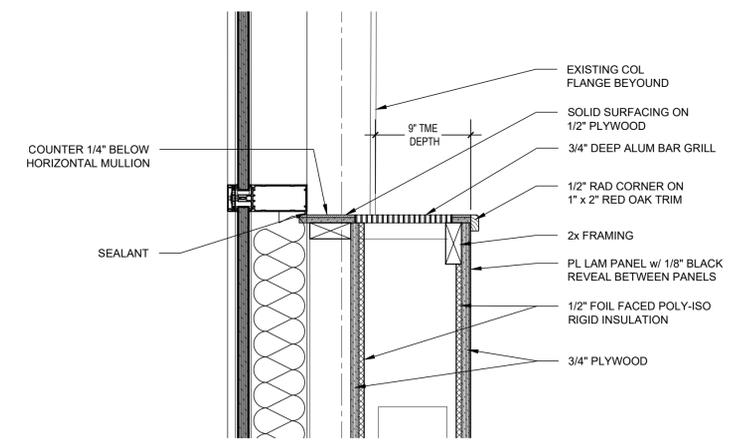
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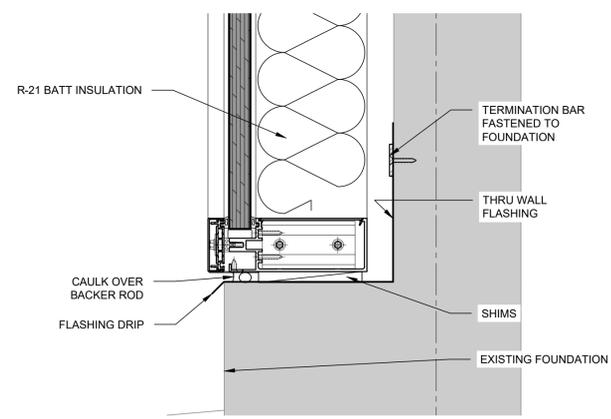
**1A CURTAIN WALL SECTION**  
A-103 SCALE 3/4" = 1'-0"



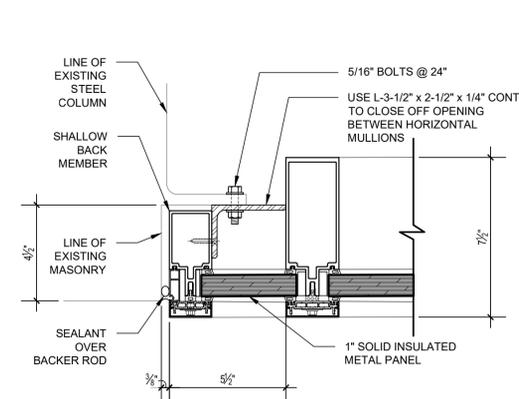
**3C CURTAIN WALL TOP PLATE and ROLLER SHADE POCKET**  
A-103 SCALE 1 1/2" = 1'-0"



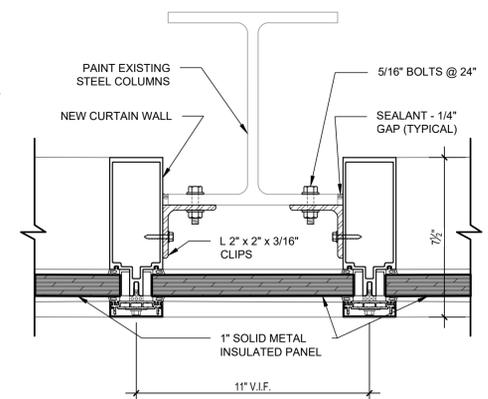
**3B RADIATOR ENCLOSURE TOP SECTION**  
A-103 SCALE 1-1/2" = 1'-0"



**3A CURTAIN WALL SILL DETAIL**  
A-103 SCALE 3" = 1'-0"



**4A END CURTAIN WALL DETAIL**  
A-103 SCALE 3" = 1'-0"

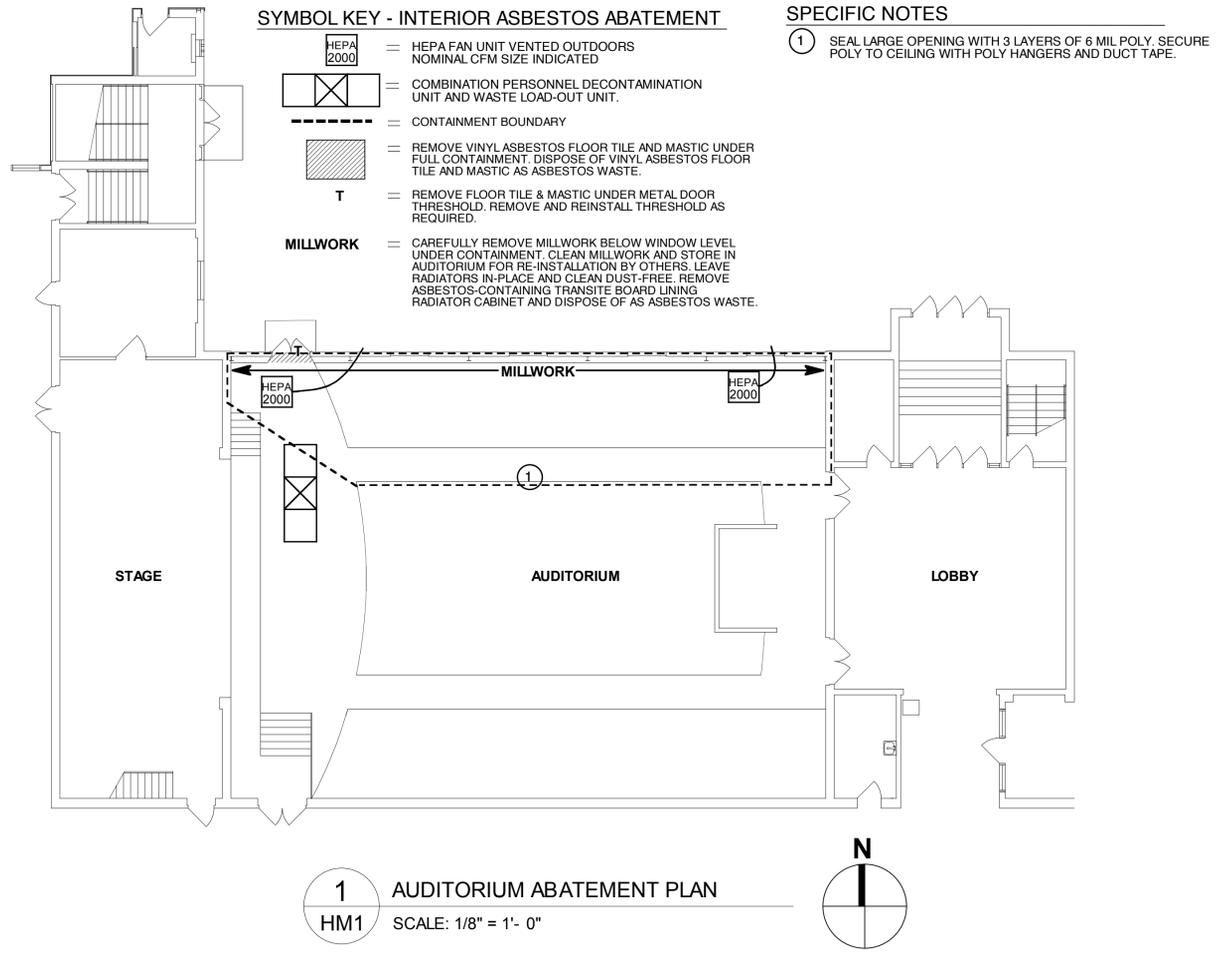
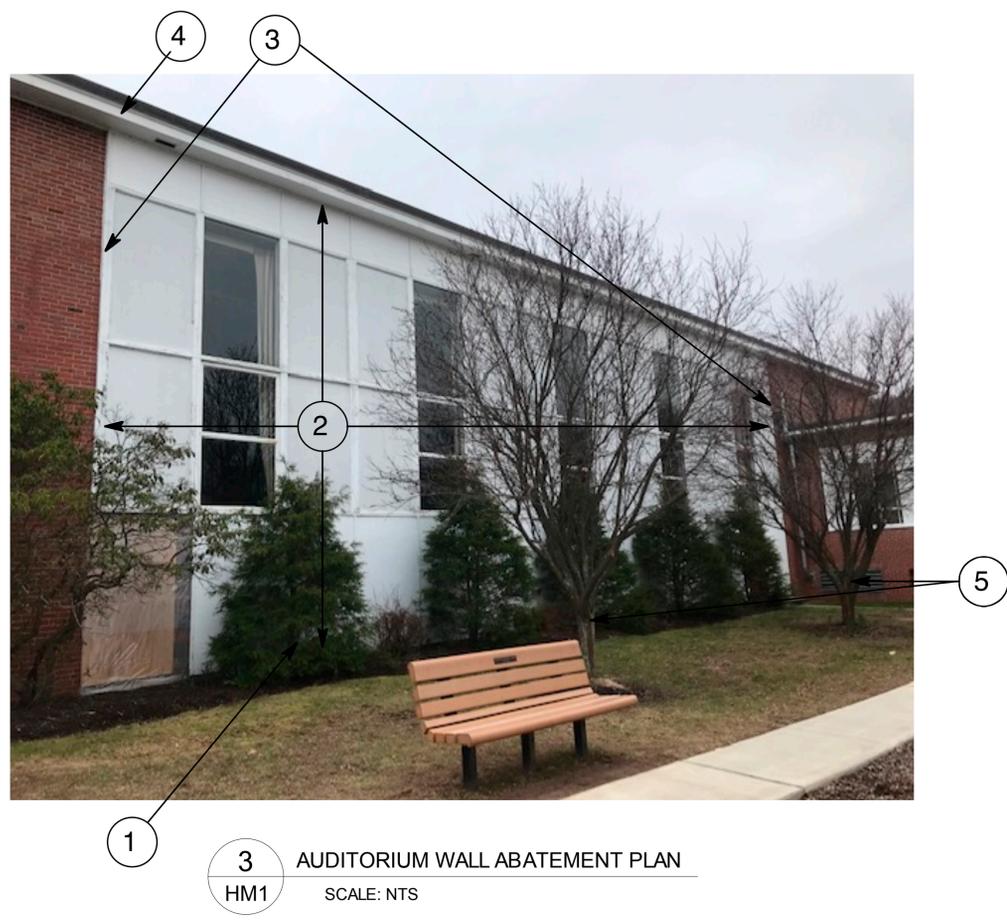
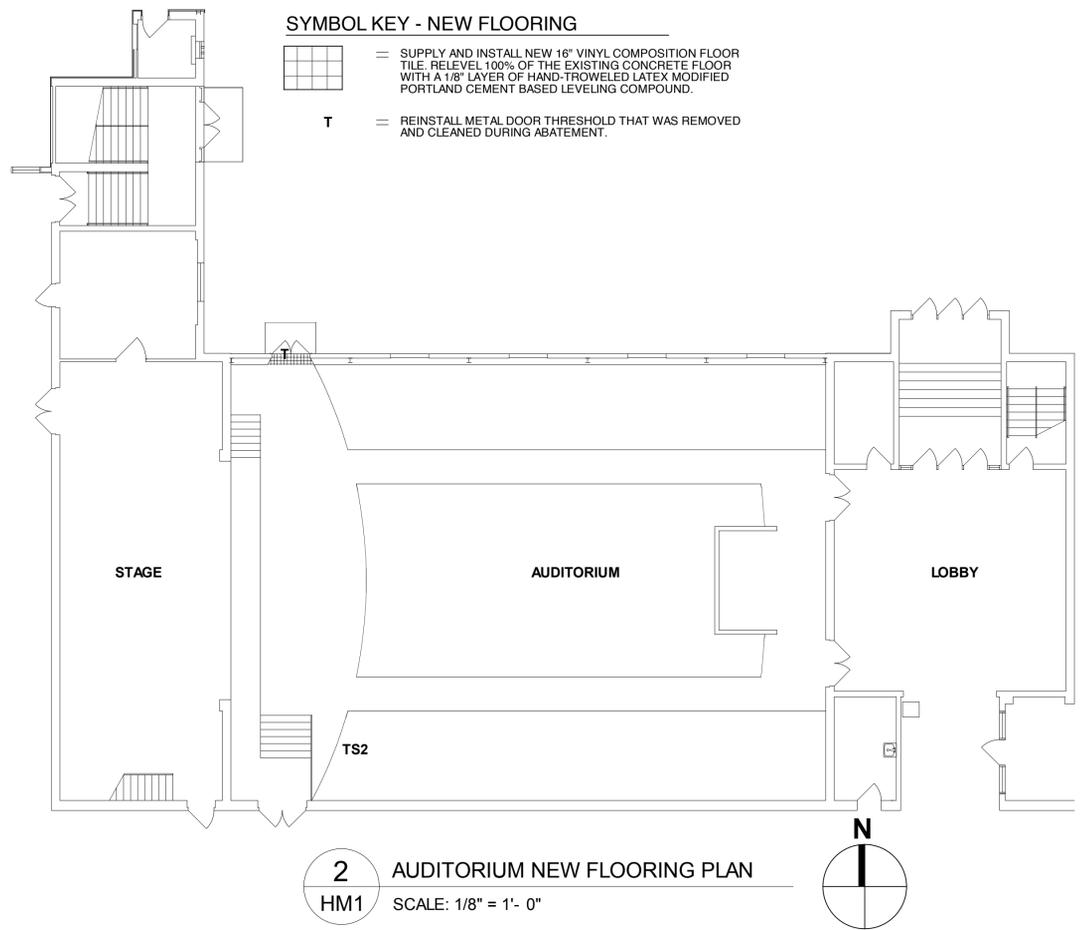


**5A COLUMN & CURTAIN WALL DETAIL**  
A-103 SCALE 3" = 1'-0"

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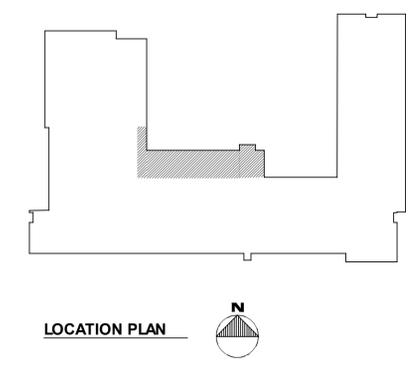
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AUDITORIUM  
WALL  
REPLACEMENT**



- SPECIFIC NOTES - EXTERIOR ABATEMENT**
- REMOVE SHRUBS AND ROOT BALLS ADJACENT TO WALL PRIOR TO ABATEMENT. DISPOSE OF SHRUBS AND ROOTS OFF SITE.
  - REMOVE WINDOWS, DOORS, TRIM, AND PANELS FROM WALL SYSTEM. DISPOSE OF PAINTED WOOD COMPONENTS AS HAZARDOUS LEAD WASTE WITH LEAD TCLP LEVEL >5 MG/L.
  - REMOVE VERTICAL WOOD BRICKMOLD AND CAULKING AT SIDE OF WINDOW WALL. DISPOSE OF TRIM AND CAULK AS COMBINATION HAZARDOUS LEAD WASTE WITH LEAD TCLP LEVEL >5 MG/L AND PRESUMED PCB BULK PRODUCT WASTE WITH PCB LEVEL >50 PPM.
  - LEAVE SOFFIT & FASCIA IN-PLACE.
  - LEAVE 2 TREES IN-PLACE AND PROTECT FROM DAMAGE.
  - REMOVE WINDOW SHADES PRIOR TO ABATEMENT. FOLD AND STORE IN AUDITORIUM.
  - REMOVE LIGHTS AND STORE IN AUDITORIUM. MAKE SAFE WIRING TO LIGHTS.
  - STEEL COLUMNS ARE PAINTED WITH LEAD-BASED PAINT. NO WORK ON COLUMNS. COLUMNS REMAIN IN-PLACE AS-IS.

- SPECIFIC NOTES - EXTERIOR ABATEMENT**
- AUDITORIUM SEATS REMAIN IN-PLACE DURING ABATEMENT. PROTECT WITH 6 MIL POLY SHEETING.
  - CAREFULLY REMOVE MILLWORK BELOW WINDOW LEVEL UNDER CONTAINMENT. CLEAN MILLWORK AND STORE IN AUDITORIUM FOR RE-INSTALLATION BY OTHERS. LEAVE RADIATORS IN-PLACE AND CLEAN DUST-FREE. REMOVE ASBESTOS-CONTAINING TRANSITE BOARD LINING RADIATOR CABINET AND DISPOSE OF AS ASBESTOS WASTE.
- GENERAL NOTES**
- COVER GROUND 10' OUT FROM WALL WITH 6 MIL POLY SHEETING. WEIGHTED FOR WIND. CLEAN, REMOVE, AND DISPOSE OF POLY AT END OF EACH WORK DAY AND USE FRESH POLY TARP NEXT WORK MORNING.
  - PRIOR TO WINDOW WALL REMOVAL CUT-BACK CEILING TO ALLOW POLY INSTALLATION UP TO ROOF DECK. SEAL INTERIOR OF WALL OPENING WITH 1 LAYER OF 6 MIL POLY FOLLOWED BY 1 LAYER OF 10 MIL REINFORCED POLY. SECURE PERIMETER OF 6 MIL POLY WITH 3" DUCT TAPE. INDEPENDENTLY SECURE PERIMETER OF 10 MIL POLY WITH NAILED FIRING STRIPS AND 3" DUCT TAPE. REMOVE 6 MIL POLY AT COMPLETION OF ABATEMENT. LEAVE 10 MIL POLY IN-PLACE FOR REMOVAL BY OTHERS.



REVISION: DATE:  
DESIGN BY: MARCH 27, 2020  
JL SCALE:  
AS NOTED

**EnviroMed**  
Cleaner environment. Safer workplaces.  
DESIGNED BY: JOHN LUBY  
CT ASBESTOS PROJECT DESIGNER LICENSE #19  
CT LEAD PLANNER/PROJECT DESIGNER LICENSE #998

**HM1**