

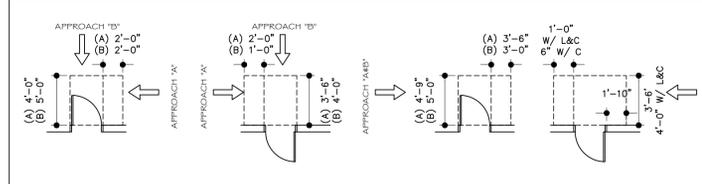
ABBREVIATIONS

ACOUS	ACOUSTICAL	LAM	LAMINATED
ACT	ACOUSTICAL CEILING TILE	LB.#	POUNDS
ADJ	ADJUSTABLE	LF	LINEAR FEET
ADJUST	ADJUSTABLE	LKR	LOCKER(S)
AFF	ABOVE FINISHED FLOOR	LOC	LOCATION
AHU	AIR HANDLING UNIT	LP	LOW POINT
ALLOW	ALLOWANCE	LT	LIGHT
ALT	ALTERNATE		
ALUM. AL	ALUMINUM	MAS	MASONRY
ANCH	ANCHORAGE	MATL	MATERIAL
APPROX	APPROXIMATE	MAX	MAXIMUM
ARCHL	ARCHITECTURAL	MDO	MEDIUM DENSITY OVERLAY
ASHP	ASPHALT	MECH	MECHANICAL
AHC	ACOUSTICAL WALL COVERING	MED	MEDIUM
@	AT	MANUF	MANUFACTURER
		MIN	MINIMUM
BC	BRICK COURSES	MIR	MIRROR
BOD	BOARD	MISC	MISCELLANEOUS
BIT	BITUMINOUS	MO	MASONRY OPENING
BLDG	BUILDING	MTD	MOUNTED
BLKG	BLOCKING	MTL	METAL
BM	BEAM	MUL	MULLION
BRG	BEARING		
BRK	BRICK	N/A	NOT APPLICABLE
BOD	BOTTOM OF DECK	NIC	NOT IN CONTRACT
BOT	BOTTOM	NO.#	NUMBER
B/	BOTTOM OF	NOM	NOMINAL
BO	BOTTOM OF	NTS	NOT TO SCALE
BUR	BUILT-UP ROOF		
		OA	OVERALL
CAB	CABINET	OC	ON CENTER
CB, CKBD	CHALKBOARD	OCUP	OCCUPANCY
CG	CORNER GUARD	OD	OUTSIDE DIAMETER
CH	CEILING HEIGHT	OH	OVERHEAD
CIRC	CIRCUMFERENCE	OHG	OVERHANG
CJ	CONCRETE JOINT	OPNG	OPENING
CLG, CEILG	CEILING	OPP	OPPOSITE
CLR	CLEAR	OZ	OUNCE
CMU	CONCRETE MASONRY UNIT		
CNTR	COURT	PA	PUBLIC ADDRESS
CO	CASED OPENING	PERF	PERFORATED
CO	CLEAN-OUT	PL	PLATE
COL	COLUMN	PL LAM	PLASTIC LAMINATE
CONC	CONCRETE	PLAS	PLASTER
CONT	CONTINUOUS	PLYWOOD	PLYWOOD
CPT	CARPET	PM JT	PRE-MOLDED JOINT FILLER
CRS	COURSES	PRCSGT	PRECAST
CT	CERAMIC TILE	P	POINT
CTD	COATED	PTD	PAINTED
CTR	CENTER(ED)	PTN	PARTITION
		PT	PRESSURE TREATED
		QT	QUARRY TILE
DBL	DOUBLE		
DET	DETAIL		
DIAG	DIAGONAL		
DTL	DETAIL	R	RADIUS
DIAM/DIAM	DIAMETER	RAD	RADIATION, RADIATOR
DM	DIMENSION	RB	RUBBER BASE
DN	DOWN	RD	ROOF DRAIN
DWG	DRAWING	REC	RECESSED
DF	DRINKING FOUNTAIN	RECT	RECTANGULAR
DS	DOWNSPOUT	REF	REGISTER
		REG	REGISTER
EA	EACH	RF	ROOF FAN
EJ	EXPANSION JOINT	REINF	REINFORCED(ING)
ELEV	ELEVATION	REQD	REQUIRED
ELEC	ELECTRICAL	REFL	REFLECTED
ENCL	ENCLOSURE	REM	REMOVABLE
EP	ELECTRICAL PANELBOARD	RLG	RAILING
EQ	EQUAL	RO	ROUGH OPENING
EQUIP	EQUIPMENT	RL	RAINWATER LEADER
ETR	EXISTING TO REMAIN		
EWC	ELECTRICAL WATER COOLER	S&L	SPEACH AND LANGUAGE
EXIST	EXISTING	S&P	SHELF AND POLE
EXP	EXPANSION	SD	SOAP DISPENSER
EXT	EXTERIOR	SEC	SECTION
		SGI	SMALL GROUP INSTRUCTION
FD	FLOOR DRAIN	SGT	STRUCTURAL GLAZED TILE
FDN	FOUNDATION	SHWR	SHOWER
FE	FIRE EXTINGUISHER	SIM	SIMILAR
FEC	FIRE EXTINGUISHER CABINET	SLV	SEAMLESS VINYL
FF	FINISH FLOOR	SND	SANITARY NAPKIN DISPENSER
FHC	FIRE HOUSE CABINET	SPEC	SPECIFICATION
FN	FINISH(ED)	SPK	SPEAKER
FLASH	FLASHING	SS	STAINLESS STEEL
FLR	FLOOR	STD	STANDARD
F/	FACE OF	STL	STEEL
FR	FIRE RATED	STRUCT	STRUCTURAL
FRC	FIRE RESISTANT COATING	SUSP	SUSPENDED
FRT	FIRE RETARDANT	SYS	SYSTEM
FT	FEET, FOOT		
FTG	FOOTING	T	TREAD
FURR	FURRED(ING)	T/	TOP OF
		TOP	TOP OF PANEL (PLATE)
GA	GAGE, GAUGE	TOS	TOP OF STEEL
GALV	GALVANIZED	TBD	TO BE DETERMINED
GB	GRAB BAR	TCT	TECTUM
GC	GENERAL CONTRACTOR	TD	TOP OF DECK
GL	GLASS	TEL	TELEPHONE
GLZ	GLAZED	TERR	TERRAZZO
GRD	GRADE	T&G	TONGUE AND GROOVE
GYP. BD	GYP. BOARD	THK	THICKNESS
GYP	GYP. BOARD	THRES	THRESHOLD
		TBD	TO BE DETERMINED
HB	HOSE BIB	TLT	TOILET
HR	HEADER	TME	TO MATCH EXISTING
HDWD	HARDWOOD	TPD	TOILET PAPER DISPENSER
HM	HOLLOW METAL	TPN	TOILET PARTITION
HORIZ	HORIZONTAL	TYP	TYPICAL
HPT	HIGH POINT		
HT	HEIGHT	UQN	UNLESS OTHERWISE NOTED
HGT	HEIGHT		
HP	HIGH POINT		
HR	HOURS	VB	VINYL BASE
HTG	HEATING	VERT	VERTICAL
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	VIF	VERIFY IN FIELD
		VNR	VENEER
		VT	VINYL TILE
HW	HOT WATER HEATER		
		W	WITH
ID	INSIDE DIAMETER	WD	WOOD
INCL	INCLUDE	WGL	WIRE GLASS
INSUL	INSULATION	WI	WROUGHT IRON
INT	INTERIOR	WM	WIRE MESH
		WO	WITHOUT
JAN	JANITOR	WPT	WORKING POINT
JT	JOINT	WSCT	WAINSCOT
		WSTRP	WEATHERSTRIP(PING)
KD	KNOCK DOWN	WWM	WELDED WIRE MESH
KO	KNOCK OUT		
L	LONG		

MATERIAL SYMBOLS

	EARTH
	GRAVEL FILL
	CONCRETE
	BRICK
	CONCRETE MASONRY UNIT
	ROUGH CUT WOOD
	FINISHED WOOD
	FIBERGLASS INSULATION
	RIGID INSULATION
	PLYWOOD
	CERAMIC TILE
	STRUCTURAL STEEL (REFER TO STRUCT. DWGS.), METALS
	RESILIENT FLOORING/PLASTIC LAMINATE
	GLASS

CLEARANCE DIMENSIONS AT DOORWAYS



PROJECT GENERAL NOTES AND SPECIFICATIONS

- 0. DIVISION 00- CONTRACTUAL REQUIREMENTS**
- 0.1. THE ARCHITECTURAL CONTRACT DOCUMENTS FOR THIS PROJECT CONSIST OF DRAWINGS A-010, A-100, A-101, A-102, AND THESE OUTLINE SPECIFICATIONS.
- 0.2. ALL TRADES ARE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS.
- 0.3. ALL CONTRACTORS TO HAVE ADEQUATE INSURANCE AND SHALL SUBMIT PROOF OF SAME BEFORE STARTING WORK.
- 0.4. G.C. TO CONFIRM STAGING AREAS WITH OWNER TO MINIMIZE THE DISTURBANCE OF DAILY BUILDING OPERATIONS AND TO PROTECT EXISTING SITE ELEMENTS (PAVEMENT, SIDEWALKS, LANDSCAPING, ETC.) FROM DAMAGE.
- 1. DIVISION 01- GENERAL REQUIREMENTS**
- 1.1. PROTECT EXISTING CONSTRUCTION AND SURROUNDING WALLS FROM DAMAGE.
- 1.2. CONTRACTOR SHALL REPAIR ALL DAMAGED OR MARRED SURFACES DURING CONSTRUCTION.
- 1.3. ALTERNATIVE PRODUCTS SHALL BE ACCEPTABLE ONLY IF APPROVED BY THE OWNER AND IF EQUAL OR BETTER THAN THE SPECIFIED PRODUCT.
- 1.4. AREA OUTSIDE OF WORK LIMIT AREA IS FULLY OCCUPIED. CONTRACTOR SHALL MAINTAIN MINIMAL SOUND, DUST AND NOISE LEVELS. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE OWNER.
- 1.5. OWNER SHALL REMOVE ALL FURNITURE AND EQUIPMENT PRIOR TO DEMOLITION. GENERAL CONTRACTOR SHALL COORDINATE ALL REMOVALS.
- 1.6. PRIOR TO COMMENCEMENT OF CONSTRUCTION OR FABRICATION OF PROJECT ITEMS, THE CONTRACTOR SHALL SUBMIT SUBSTITUTE ITEMS TO THE ARCHITECT FOR REVIEW PRIOR TO BID SELECTION.
- 1.7. PRODUCT SUBMITTALS OF ALL MATERIALS AND PRODUCTS USED FOR CONSTRUCTION OF THE PROJECT TO BE ISSUED FOR REVIEW PRIOR TO PURCHASE.
- 1.8. CONTRACTOR SHALL REMOVE ALL CEILINGS, WALL MOUNTED ACCESSORIES, ETC. THAT INTERFERE WITH NEW WORK.
- 1.9. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AMONG ALL TRADES, ENSURING PROPER CLEARANCES BETWEEN ALL NEW WORK AND EXISTING WORK.
- 1.10. ALL ASPECTS OF THE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE CODES AS NOTED HEREON.
- 1.11. IF THE CONTRACTOR ENCOUNTERS INCOMPLETE, INACCURATE OR CONTRADICTORY INFORMATION, OR INFORMATION IN CONFLICT WITH APPLICABLE CODES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND REQUEST RESOLUTION BEFORE FURTHER WORK IS COMPLETED ON THAT ITEM.
- 1.12. WHERE DRAWINGS AND SPECIFICATIONS CONFLICT, THE MORE STRINGENT AND/OR MORE COSTLY REQUIREMENT SHALL APPLY. THE DECISION WHICH IS MORE STRINGENT AND/OR COSTLY MAY BE RENDERED BY THE ARCHITECT.
- 1.13. CERTAIN PRODUCT SPECIFICATIONS ARE CONTAINED ON THESE DRAWING SHEETS.
- 1.14. IF PRODUCTS ARE NOT SPECIFIED, BUILDING STANDARDS ARE TO APPLY. IF BUILDING STANDARDS ARE NOT APPLICABLE, INDUSTRY STANDARDS ARE TO APPLY.
- 1.15. ALL CONTRACTORS SHALL VISIT THE PROJECT SITE AND FAMILIARIZE THEMSELVES WITH ALL BUILDING AND WORKING CONDITIONS BEFORE SUBMITTING A BID.
- 1.16. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER & SECURITY PROTECTION DURING DEMOLITION AND CONSTRUCTION.
- 2. DIVISION 02- DEMOLITION**
- 2.1. DEMOLITION AND REMOVAL - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARTING AND DUMPING, OF ALL MATERIALS DEMOLISHED FROM THE PROJECT. ALL DISPOSED ITEMS TO BE REMOVED FROM SITE.
- 2.2. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ALL EXISTING WORK DISTURBED OR OTHERWISE IN NEED OF REPAIRING IN ORDER TO MAKE THE PROJECT A COMPLETE AND FINISHED PROJECT. THIS REPAIR INCLUDES ALL FINISHES NEEDED TO MATCH ADJACENT SURFACES.
- 2.3. IF A WALL OR SURFACE IS WORKED ON, THAT WALL OR SURFACE SHALL BE REPAIRED WITH A COMPLETE FINISH, TO THE NEAREST CORNER, CHANGE OF PLANE, OR OTHER JUNCTURE. PROVIDE A SMOOTH AND CLEAN TRANSITION FROM THE NEW FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES, I.E., THE INTENT IS TO ELIMINATE THE APPEARANCE OF A REPAIRED CONDITION.
- 2.4. ALL ITEMS SHOWN TO BE DEMOLISHED SHALL BE REMOVED FROM SITE & DISCARDED, UNLESS OTHERWISE NOTED.
- 2.5. IF A WALL OR SURFACE IS BEING WORKED ON, THAT WALL OR SURFACE SHALL BE REPAIRED WITH A COMPLETE FINISH, TO THE NEAREST CORNER, CHANGE OF PLANE OR THE JUNCTURE, WHICH ALLOWS FOR A SMOOTH AND CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO SURROUNDING EXISTING SURFACES.
- 3. DIVISION 03- CONCRETE - N/A**
- 4. DIVISION 04- MASONRY - N/A**
- 5. DIVISION 05- METALS - N/A**
- 6. DIVISION 06- WOOD - N/A**
- 7. DIVISION 07- MOISTURE, THERMAL PROTECTION**
- 7.1. THERMAL BATT INSULATION: THICKNESS AS NOTED BY R-VALUE.
- 7.2. JOINT SEALANTS:
- 7.2.1. PROVIDE JOINT SEALANTS, BACKINGS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY JOINT SEALANT MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.
- 7.2.2. ARCHITECTURAL SEALANTS SHALL HAVE A VOC CONTENT OF 250 G/L OR LESS.
- 7.2.3. NEW SEALANT COLORS SHALL MATCH ADJACENT EXISTING.
- 8. DIVISION 08- DOORS AND WINDOWS**
- 8.1. ALL DOORS TO BE NEW. DAMAGED, SPLIT OR GOUGED DOORS SHALL NOT BE REUSED.
- 8.2. ALUMINUM DOORS:
- 8.2.1. NEW DOORS: YKK 500 SERIES, NARROW STILE, COLOR TO MATCH CURTAIN WALL FRAMES.
- 8.2.2. ALL GLAZED DOORS TO HAVE 1" INSULATED GLAZING, MID RAILS, AND HIGH BOTTOM XT RAILS.
- 8.2.3. SOLID FLUSH DOORS TO HAVE RIGID INSULATION CORES.
- 8.2.4. ALL DOORS TO HAVE HARDWARE REINFORCING PLATES.
- 8.3. ALL NEW LOCKING HARDWARE TO BE KEYPED TO OWNER STANDARD.
- 8.4. DOOR HARDWARE:
- | | | |
|-----------------------------|----------|--------------|
| 8.4.1. CLOSER | LCN 4110 | FINISH 689 |
| 8.4.1.1. PLATE BRACKET: | | 4110-18 |
| 8.4.1.2. CYLINDER ASSEMBLY: | | 4111(6)-3071 |
| 8.4.1.3. PLASTIC COVER: | | 4110-72 |
| 8.4.1.4. ARM: | | 4110-3077EDA |
| 8.4.1.5. BLADE STOP SPACER: | | 4110-61 |
| 8.4.1.6. FINISH: | | ALUMINUM |
- 8.5. HINGES**
- | | |
|--------------------|---------------------------------------------------------|
| 8.4.2. HINGES | YKK AP STANDARD OFFSET PIVOTS |
| 8.4.3. KICK PLATES | STAINLESS STEEL, BEVEL 4 EDGES, 2" LESS THAN DOOR WIDTH |
- 8.4.4. PANIC DEVICE
- | | |
|------------------------------------|---------------------------------------------------------------|
| 8.4.4.1. GROOVED MECHANISM | VON-DUPRIN 99 SERIES VERT ROD PUSH BAR EXIT DEVICE WITH LOCKS |
| 8.4.4.2. RIM DEVICE | |
| 8.4.4.3. NL-OP NIGHT LATCH w/ PULL | |
| 8.4.4.4. US32D FINISH | |
| 8.4.4.5. RIM LOCK: 3216 | |
- 8.4.5. OFFSET PULL
- | | |
|---------------------------|------------------------------------------|
| 8.4.5.1. VON-DUPRIN 352-7 | |
| 8.4.6. ELECTRIC STRIKE | HES 9600 SURFACE MOUNTED CONTINUOUS DUTY |
- 8.4.6.1. 630 FINISH
- | | |
|--------------------------|-------------|
| 8.4.7. THRESHOLD | PEMKO 2705T |
| 8.4.8. WEATHER STRIPPING | PEMKO 290_S |
- 8.4.9. ASTRAGAL
- | | |
|---------------------------------------------|----------------|
| 8.5. ALUMINUM-FRAMED EXTERIOR CURTAIN WALL: | PEMKO 18061_NB |
|---------------------------------------------|----------------|
- 8.5.1. YKKS YES 750 OG FRONT SET THERMALLY IMPROVED SYSTEM WITH 2-1/2" x 7-1/2" GLAZED FRAMES. INTERIOR & EXTERIOR FINISH: ANODIZED, WHITE, YW3N.
- 8.5.2. METAL INSULATING PANELS:
- 8.5.2.1. TO HAVE PEBBLE TEXTURE BOTH SIDES, INFILLED WITH POLY-ISO FOAM.
- 8.5.2.2. PROVIDE MAXIMUM R-VALUE.
- 8.5.2.3. COLOR: TO MATCH CURTAIN WALL FRAME.
- 8.4.3. EXTERIOR GLAZING:
- 8.4.1.1. INTERIOR GLASS: CLEAR TEMPERED GLASS, THICKNESS AS SHOWN.
- 8.4.1.2. EXTERIOR GLASS: TEMPERED, SOLARBAN® 90 BY VITRO.
- 8.4.1.3. 1" LARGE INSULATED UNITS: 5/16" THICK. FILL VOIDS WITH ARGON.
- 8.4.1.4. 1" OPERABLE INSULATED UNITS: 1/4" THICK. FILL VOIDS WITH ARGON.
- 8.4.1.5. GLAZING NOT AGAINST DOOR FRAMES OR WITHIN 24" OF FLOOR MAY BE SAFETY LAMINATED.
- 8.5. HARDWARE ELECTRIFICATION**
- 8.5.1. PROVIDE LOW VOLTAGE WIRING IN ALL DOOR FRAMES FOR CURRENT OR FUTURE ELECTRIC HARDWARE. COIL 6" WIRE ABOVE CEILING SPACE.
- 9. DIVISION 09- FINISHES**
- 9.1. ALL FINISH COLORS AND MATERIALS TO BE BUILDING STANDARD OR APPROVED BY OWNER.
- 9.2. CEILINGS:
- 9.2.1. REPAIRED TO MATCH EXISTING.
- 9.2.2. CEILING & SUSPENSION SYSTEM TO BE CAREFULLY REMOVED FOR REUSE.
- 9.3. INTERIOR WALL PAINT: BY BENJAMIN MOORE, COLOR BY OWNER.
- 9.3.1. LATEX PAINT: PRO-MAR 200, ZERO VOC, EG-SHELL.
- 10. DIVISION 10- SPECIALTIES**
- 10.1. CAREFULLY DISASSEMBLE ALL EXISTING SECURITY DOOR CONTACTS & FRAME WIRING. REINSTALL ALL SECURITY DOOR CONTACTS WITH CONCEALED WIRING.
- 11. DIVISION 11- EQUIPMENT - N/A**
- 12. DIVISION 12- FURNISHINGS**
- 12.1. ALL FURNITURE IN THE WAY OF DEMOLITION OR CONSTRUCTION TO BE MOVED, KNOCKED DOWN, RELOCATED, REASSEMBLED OR RESET BY OWNER.
- 12.2. GENERAL CONTRACTOR TO COVER AND PROTECT ANY FURNITURE THAT REMAINS, DURING DEMOLITION & CONSTRUCTION.

TOWN OF WEST HARTFORD

DOOR AND FRAME REPLACEMENT AT THREE SCHOOLS

WEST HARTFORD, CT

GENERAL NOTES & SPECIFICATIONS

CONSULTANTS

LOCATION PLAN

NOT TO SCALE

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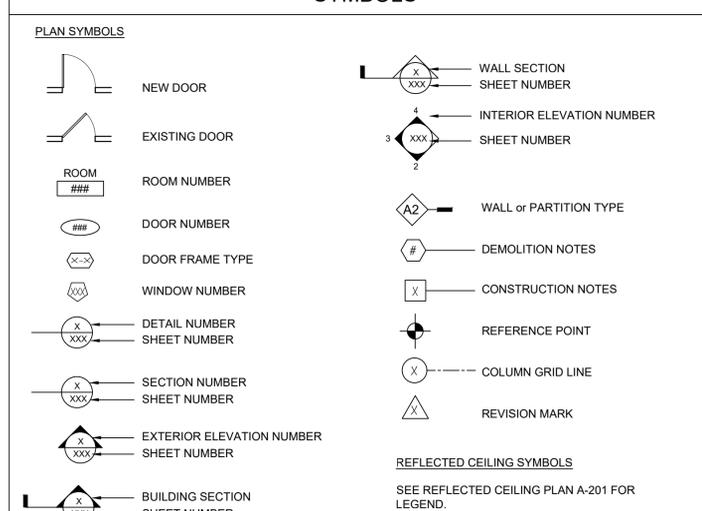
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REVISIONS:

DATE: MARCH 20, 2020

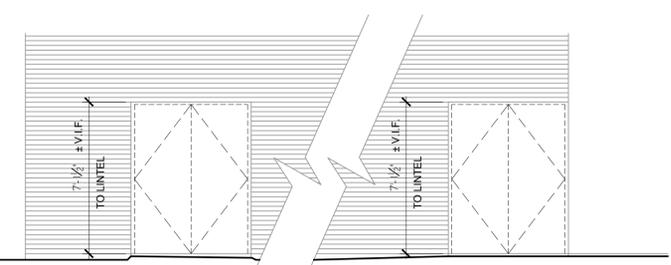
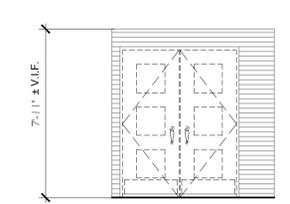
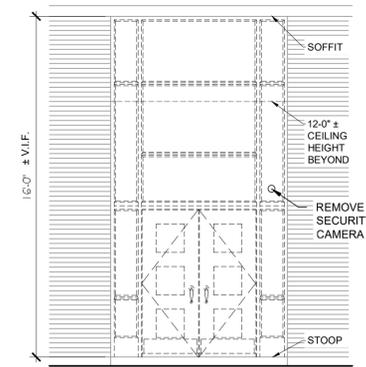
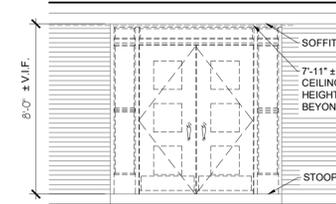
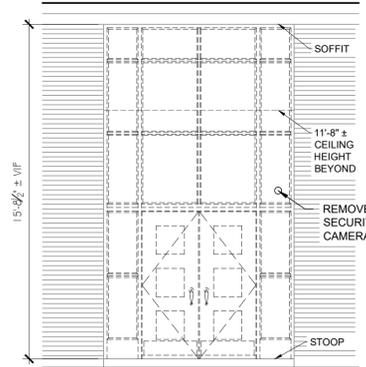
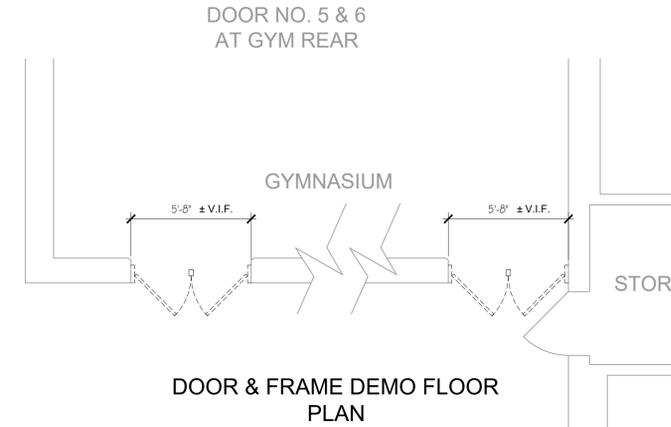
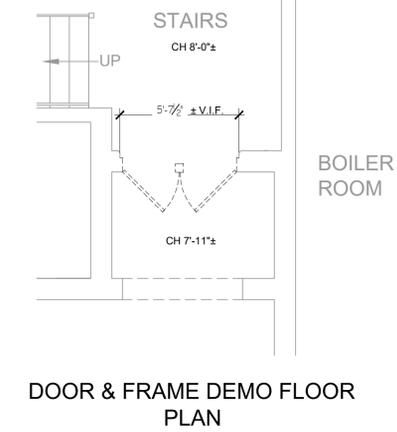
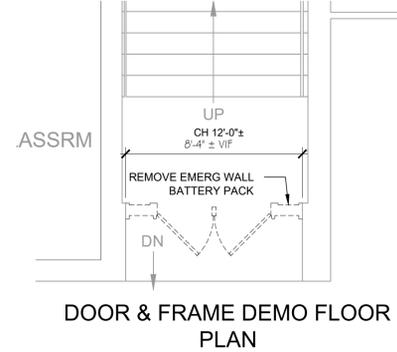
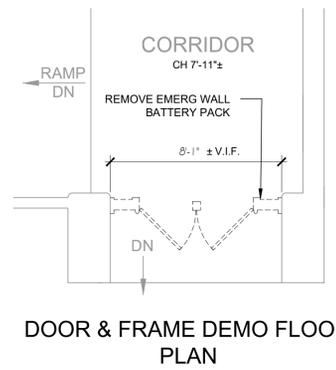
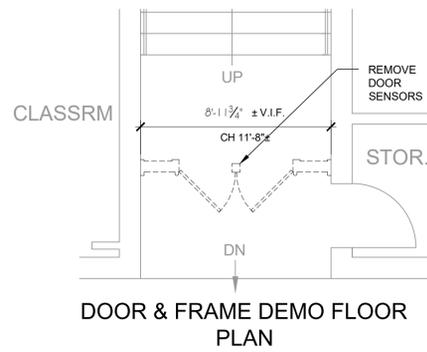
SCALE: AS NOTED

SYMBOLS

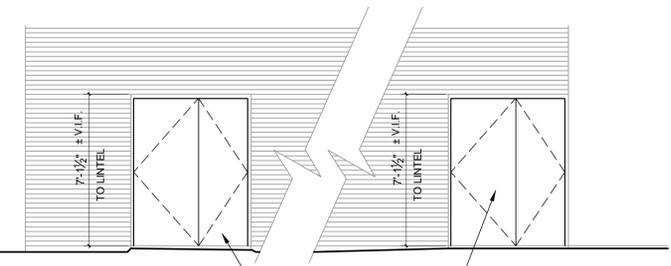
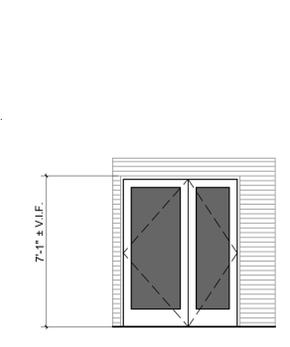
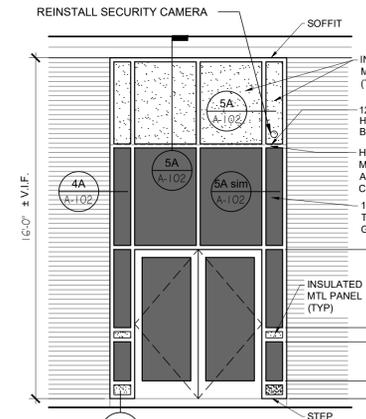
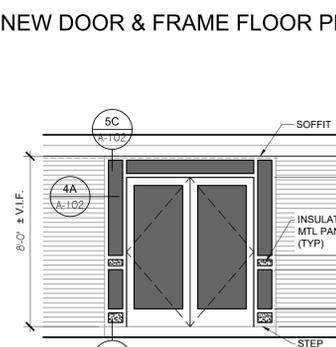
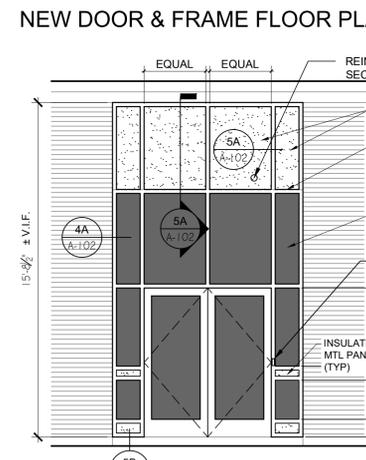
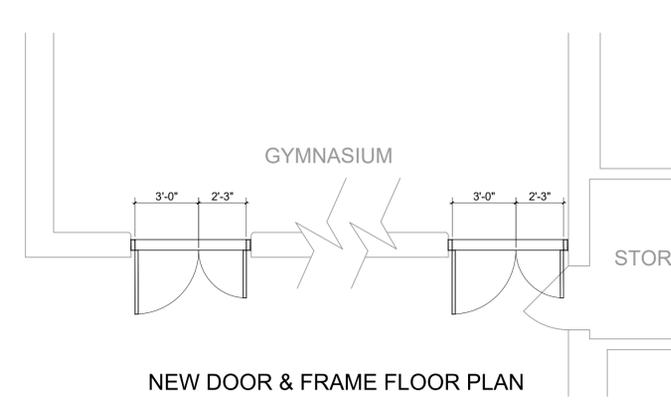
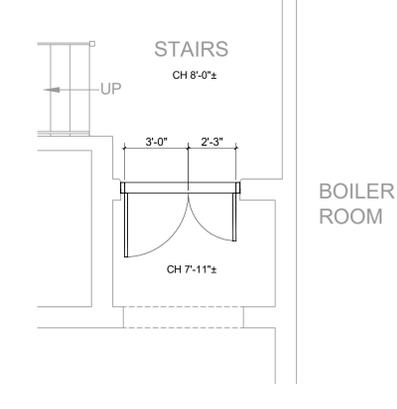
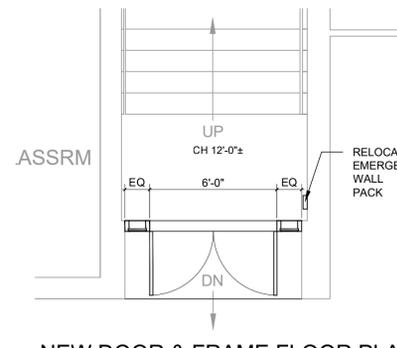
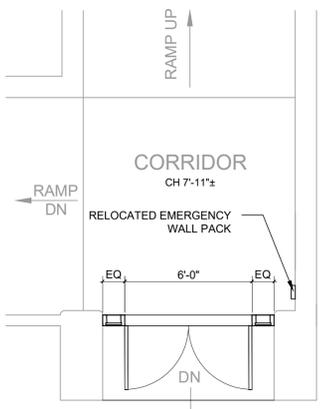
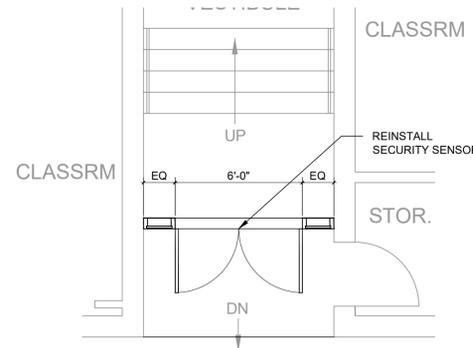


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A-010



DOOR & FRAME DEMO ELEVATION



NEW DOOR & FRAME ELEVATION

1 DOOR NO. 1 - WEBSTER HILL
A-100 SCALE: 1/4"=1'-0"

2 DOOR NO. 2 - WEBSTER HILL
A-100 SCALE: 1/4"=1'-0"

3 DOOR NO. 3
A-100 SCALE: 1/4"=1'-0"

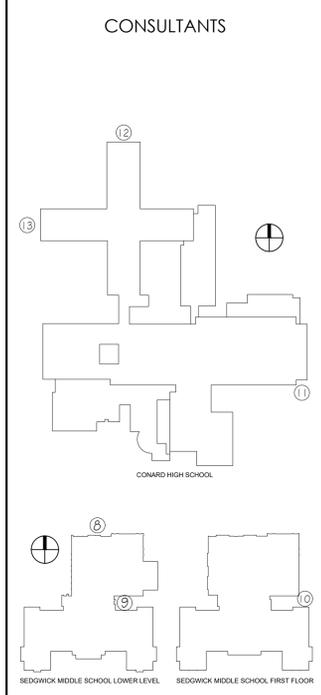
4 DOOR NO. 4
A-100 SCALE: 1/4"=1'-0"

5 DOORS NO. 5 & 6
A-100 SCALE: 1/4"=1'-0"

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TOWN OF WEST HARTFORD
 DOOR AND FRAME REPLACEMENT AT THREE SCHOOLS
 WEST HARTFORD, CT

SEDGWICK MIDDLE SCHOOL AND CONARD HIGH SCHOOL

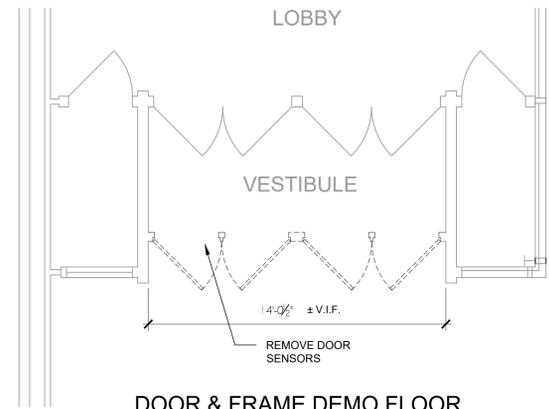


LOCATION PLAN
 NOT TO SCALE

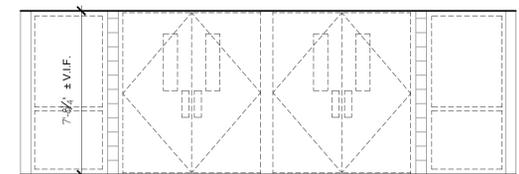
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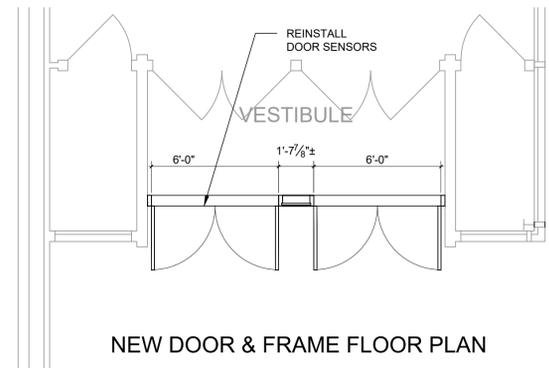
REVISIONS: -----	DATE: MARCH 20, 2020
	SCALE: AS NOTED



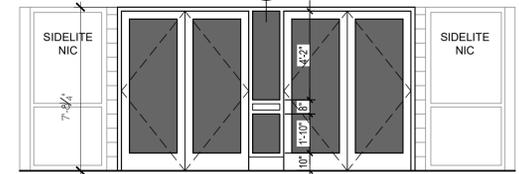
DOOR & FRAME DEMO FLOOR PLAN



DOOR & FRAME DEMO ELEVATION

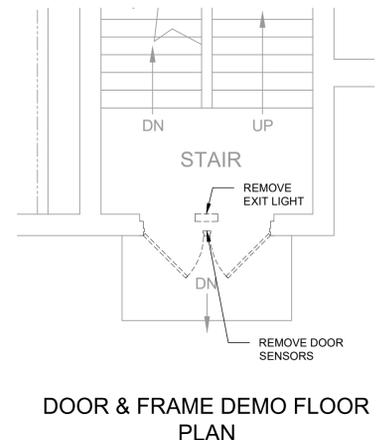


NEW DOOR & FRAME FLOOR PLAN

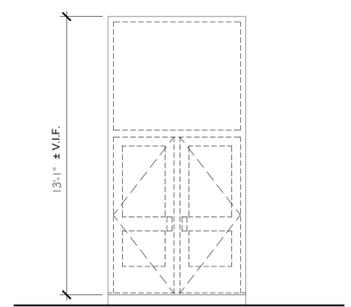


NEW DOOR & FRAME ELEVATION

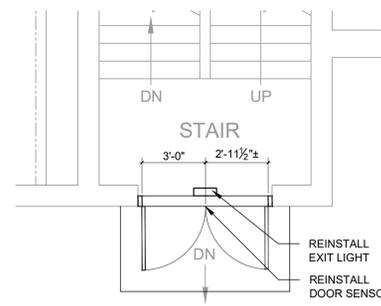
5 DOOR NO. 11 - CONARD
 A-101 SCALE: 1/4"=1'-0"



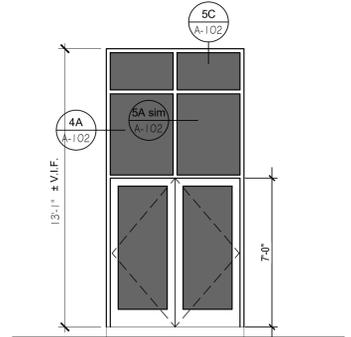
DOOR & FRAME DEMO FLOOR PLAN



DOOR & FRAME DEMO ELEVATION

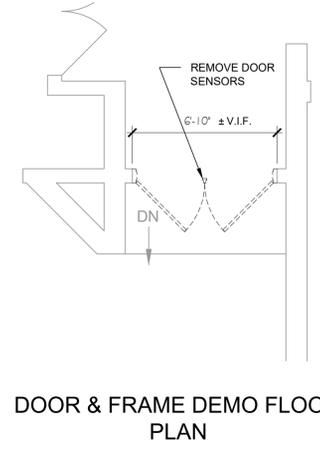


NEW DOOR & FRAME FLOOR PLAN

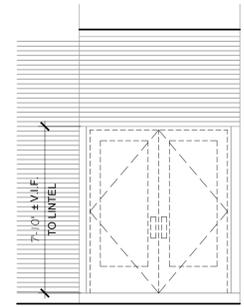


NEW DOOR & FRAME ELEVATION

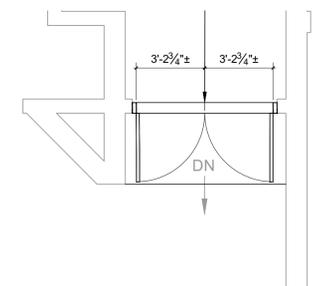
4 DOOR NO. 10 - SEDGWICK
 A-101 SCALE: 1/4"=1'-0"



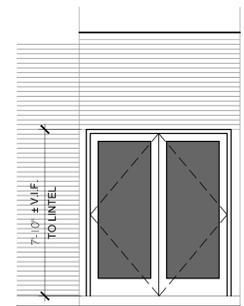
DOOR & FRAME DEMO FLOOR PLAN



DOOR & FRAME DEMO ELEVATION

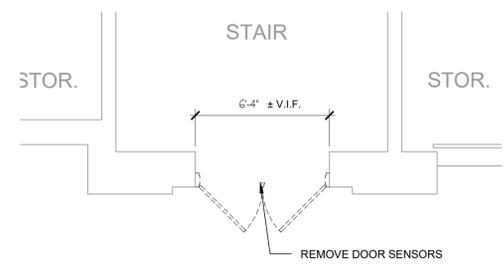


NEW DOOR & FRAME FLOOR PLAN

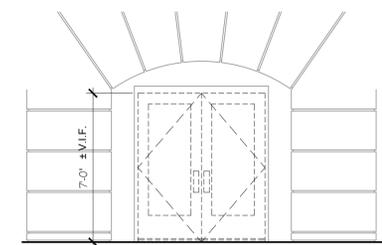


NEW DOOR & FRAME ELEVATION

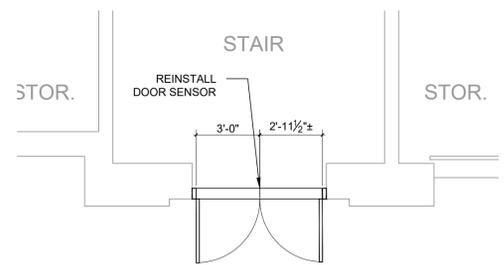
3 DOOR NO. 9 - SEDGWICK
 A-101 SCALE: 1/4"=1'-0"



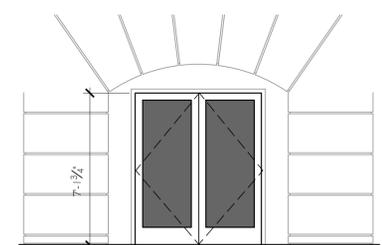
DOOR & FRAME DEMO FLOOR PLAN



DOOR & FRAME DEMO ELEVATION

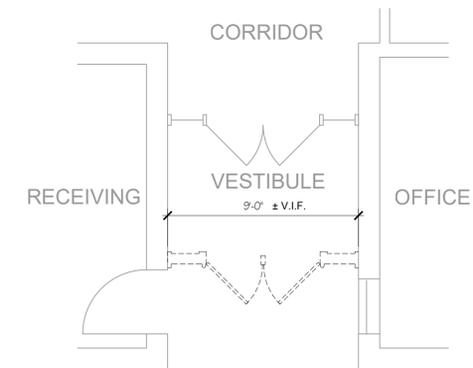


NEW DOOR & FRAME FLOOR PLAN

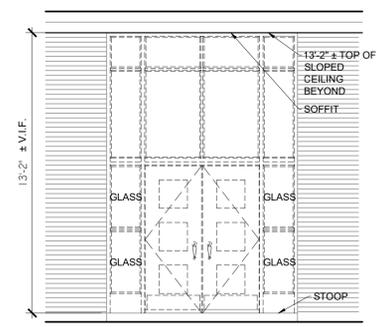


NEW DOOR & FRAME ELEVATION

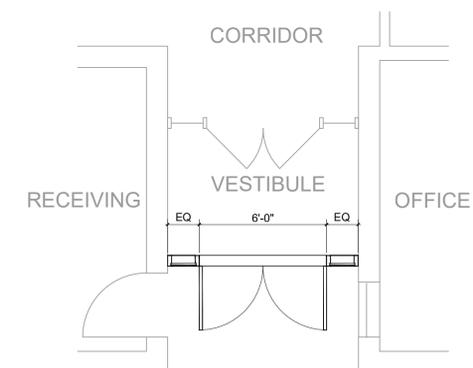
2 DOOR NO. 8 - SEDGWICK
 A-101 SCALE: 1/4"=1'-0"



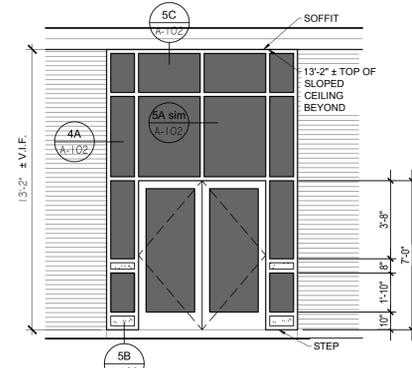
DOOR & FRAME DEMO FLOOR PLAN



DOOR & FRAME DEMO ELEVATION



NEW DOOR & FRAME FLOOR PLAN



NEW DOOR & FRAME ELEVATION

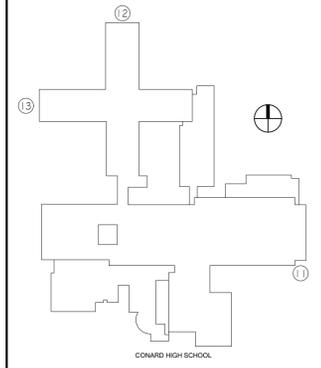
1 DOOR NO. 7 - WEBSTER HILL
 A-101 SCALE: 1/4"=1'-0"

3/20/2020 2:49:05 PM

TOWN OF WEST HARTFORD
 DOOR AND FRAME REPLACEMENT AT THREE SCHOOLS
 WEST HARTFORD, CT

SCHEDULES AND DETAILS

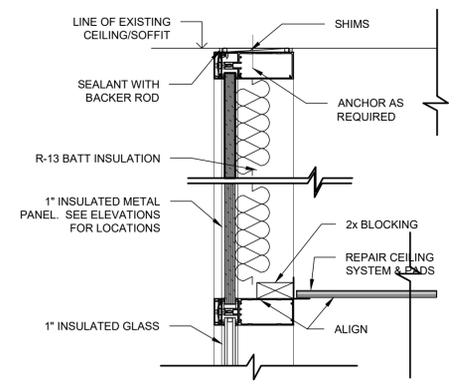
CONSULTANTS



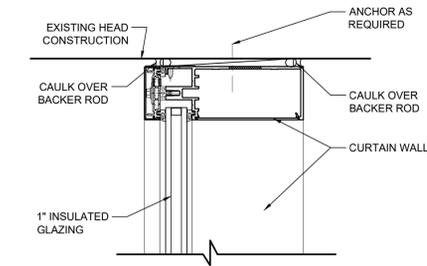
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REVISIONS: ----- DATE: MARCH 20, 2020 SCALE: AS NOTED

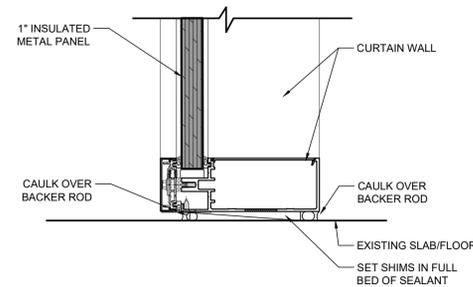
OPA OakPark Architects LLC
 312 Park Rd West Hartford CT 06119
 www.opaArch.com 860.232.6664



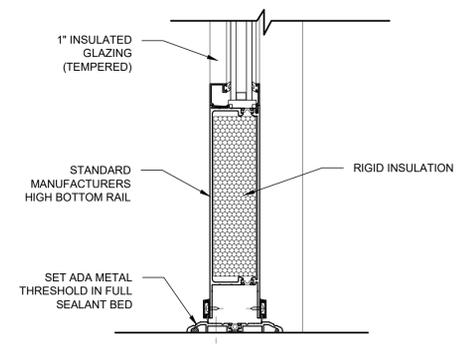
5D CURTAIN WALL TOP PLATE and CEILING SOFFIT
 A-103 SCALE 1 1/2" = 1'-0"



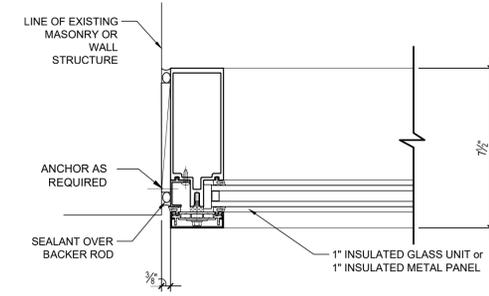
5C TYPICAL CURTAIN WALL HEAD DETAIL
 A-102 SCALE 3" = 1'-0"



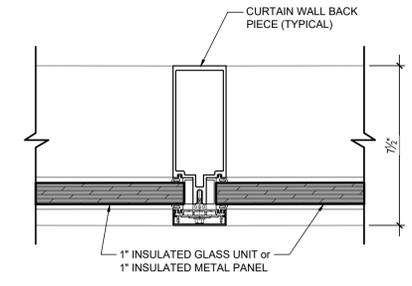
5B TYPICAL CURTAIN WALL SILL DETAIL
 A-102 SCALE 3" = 1'-0"



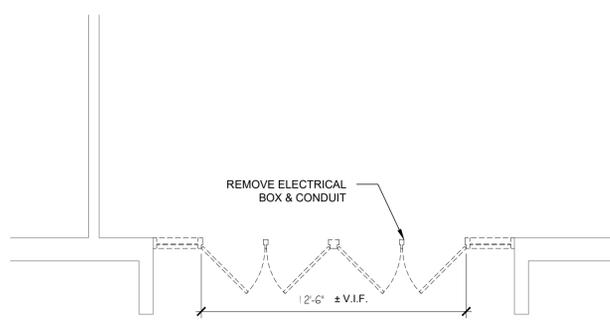
4B TYPICAL DOOR BOTTOM RAIL DETAIL
 A-102 SCALE 3" = 1'-0"



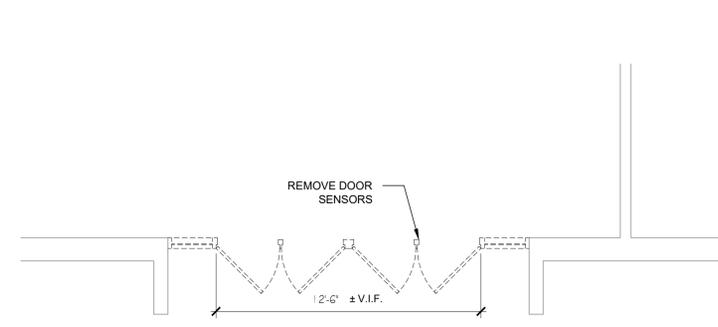
4A END CURTAIN WALL DETAIL
 A-102 SCALE 3" = 1'-0"



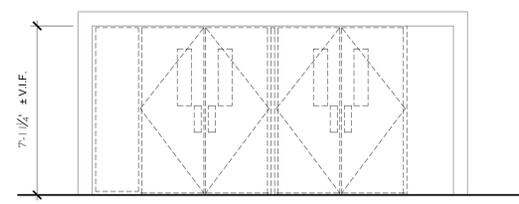
5A TYPICAL CURTAIN WALL DETAIL
 A-102 SCALE 3" = 1'-0"



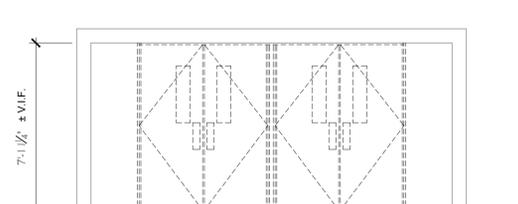
1A DOOR SET NO. 12 - CONARD
 A-102 SCALE: 1/4"=1'-0"



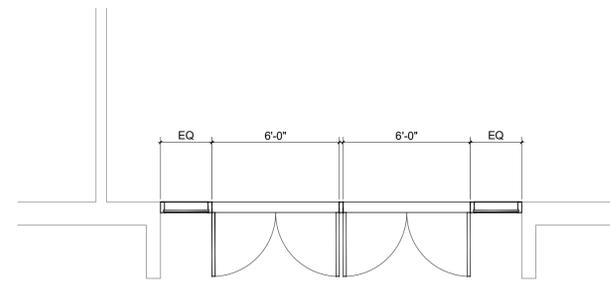
3A DOOR SET NO. 13 - CONARD
 A-102 SCALE: 1/4"=1'-0"



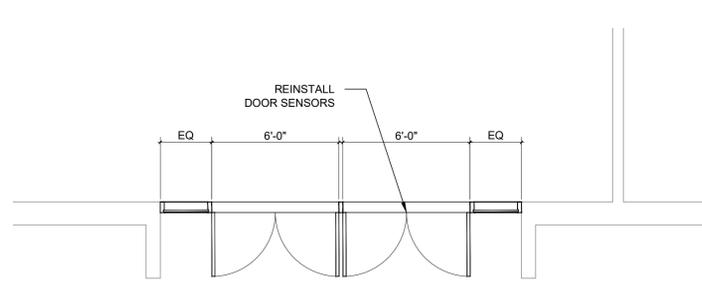
4A DOOR & FRAME DEMO ELEVATION



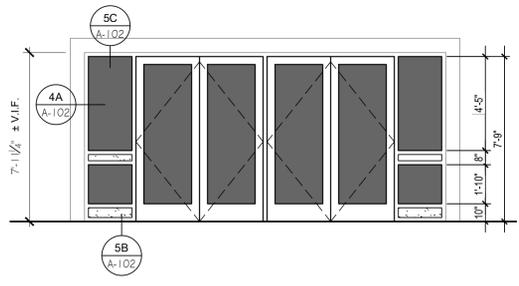
4A DOOR & FRAME DEMO ELEVATION



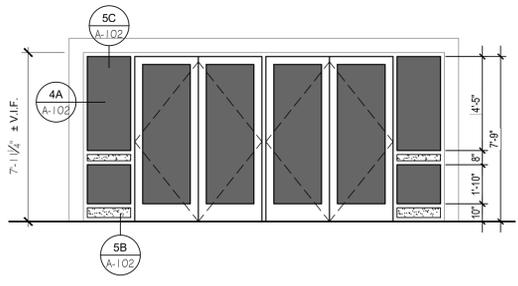
4A NEW DOOR & FRAME FLOOR PLAN



4A NEW DOOR & FRAME FLOOR PLAN



4A NEW DOOR & FRAME ELEVATION



4A NEW DOOR & FRAME ELEVATION

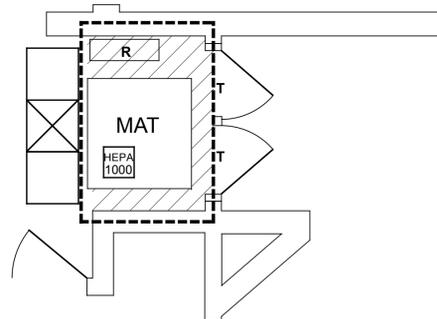
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DOOR
REPLACEMENT
ABATEMENT

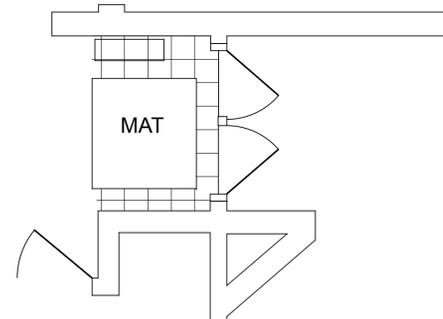
SEDGWICK
MIDDLE SCHOOL



EXTERIOR
ABATEMENT



INTERIOR
ABATEMENT

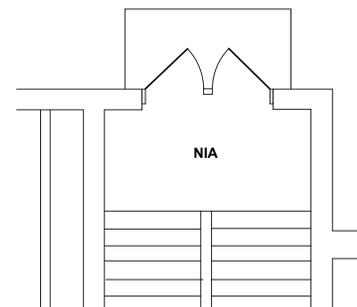


NEW
FLOORING

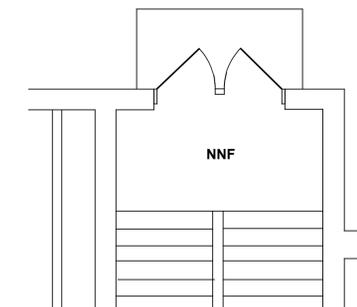
2 SEDGWICK DOOR 9 ABATEMENT PLAN
DA1 SCALE: 1/4" = 1'- 0"



EXTERIOR
ABATEMENT



INTERIOR
ABATEMENT

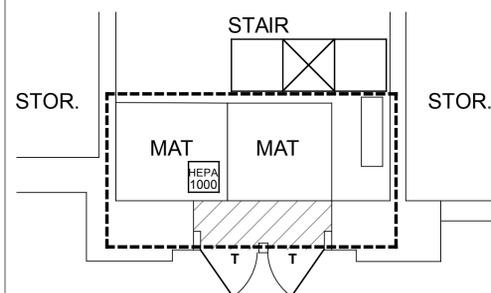


NEW
FLOORING

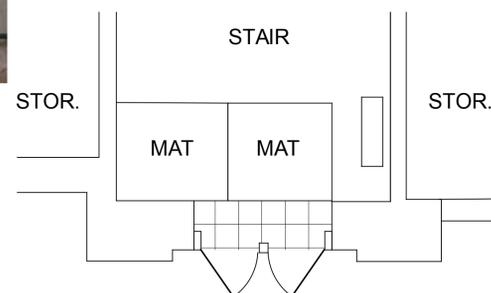
3 SEDGWICK DOOR 10 ABATEMENT PLAN
DA1 SCALE: 1/4" = 1'- 0"



EXTERIOR
ABATEMENT



INTERIOR
ABATEMENT



NEW
FLOORING

1 SEDGWICK DOOR 8 ABATEMENT PLAN
DA1 SCALE: 1/4" = 1'- 0"

SYMBOL KEY - INTERIOR ASBESTOS ABATEMENT

- = HEPA FAN UNIT VENTED OUTDOORS NOMINAL CFM SIZE INDICATED USE NEAREST WINDOW TO VENT EXHAUST
- = COMBINATION PERSONNEL DECONTAMINATION UNIT AND WASTE LOAD-OUT UNIT.
- = CONTAINMENT BOUNDARY
- = REMOVE VINYL ASBESTOS FLOOR, MASTIC, AND VINYL BASE UNDER FULL CONTAINMENT. DISPOSE OF VINYL ASBESTOS FLOOR TILE, MASTIC, AND VINYL BASE AS ASBESTOS WASTE.
- T** = REMOVE FLOOR TILE & MASTIC UNDER METAL DOOR THRESHOLD. REMOVE THRESHOLD AS REQUIRED.
- MAT** = REMOVE AND STORE RUBBER FLOOR MAT PRIOR TO ABATEMENT.
- NIA** = NO INTERIOR FLOORING ABATEMENT SCHEDULED FOR THIS AREA.
- R** = REMOVE FLOOR TILE & MASTIC UNDER RADIATOR. REMOVE RADIATOR COVER AS REQUIRED. REINSTALL COVER.

SYMBOL KEY - NEW FLOORING

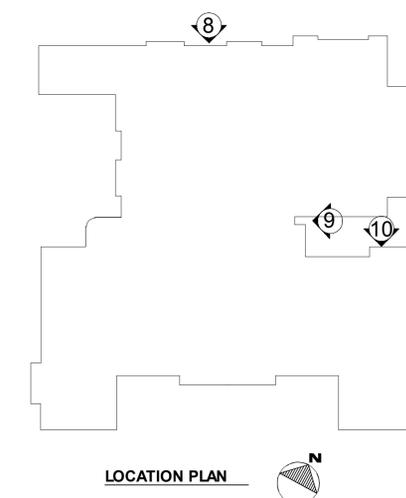
- = SUPPLY AND INSTALL NEW 16" VINYL COMPOSITION FLOOR TILE AND 4" BLACK VINYL BASE. RELEVEL 100% OF THE EXISTING CONCRETE FLOOR WITH A 1/8" LAYER OF HAND-TROWELED LATEX MODIFIED PORTLAND CEMENT BASED LEVELING COMPOUND.
- NNF** = NO NEW FLOORING SCHEDULED FOR THIS AREA.
- MAT** = REINSTALL RUBBER FLOOR MAT REMOVED DURING ABATEMENT.

SYMBOL KEY - EXTERIOR ABATEMENT

- DR** = REMOVE DOOR AND DISPOSE OF DOOR AS SCRAP METAL.
- DF** = REMOVE DOOR FRAME AND DISPOSE OF FRAME AS COMBINATION ASBESTOS & PRESUMED PCB REMEDIATION WASTE WITH PCB LEVEL >50 PPM AT TSCA FACILITY. SCRAPE DOOR OPENING FREE OF CAULK AND DISPOSE OF CAULK ALONG WITH FRAME.
- WS** = REMOVE WINDOW SASH AND DISPOSE OF SASH AS SCRAP METAL.
- WF** = REMOVE WINDOW FRAME AND DISPOSE OF FRAME AS COMBINATION ASBESTOS & PRESUMED PCB REMEDIATION WASTE WITH PCB LEVEL >50 PPM AT TSCA FACILITY. SCRAPE WINDOW OPENING FREE OF CAULK AND DISPOSE OF CAULK ALONG WITH FRAME.
- UNTEL** = UNTEL PAINTED WITH LEAD-BASED PAINT. PREPARE UNTEL FOR REPAINTING BY REMOVING CAULK, RUST, AND LOOSE PAINT. DISPOSE OF REMOVED PAINT, CAULK, AND RUST AS COMBINATION HAZARDOUS LEAD WASTE WITH LEAD TCLP READING >5 MG/L & PRESUMED PCB REMEDIATION WASTE WITH PCB LEVEL >50 PPM AT TSCA FACILITY.

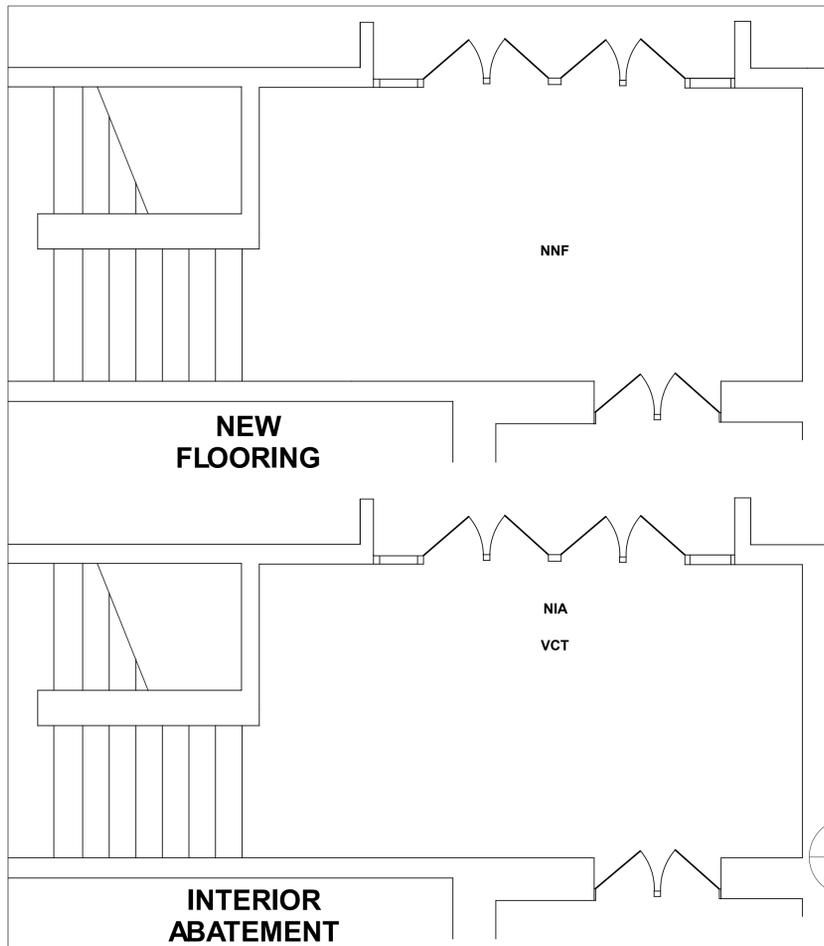
GENERAL NOTES

1. REMOVE FLOORING MASTIC USING MECHANICAL METHODS. ADEQUATELY WET FLOOR DURING MASTIC REMOVAL.
2. USE CONCRETE FLOOR PRIMER SPECIFIED IN SECTION 096310 AS THE LOCKDOWN ENCAPSULANT ON THE ABATED FLOORS.



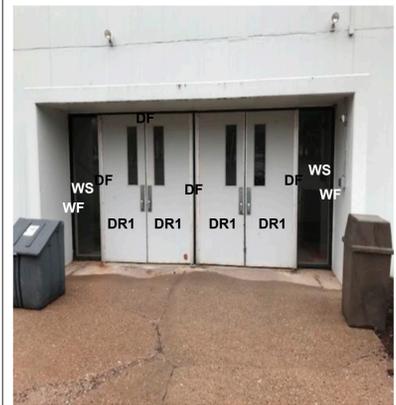
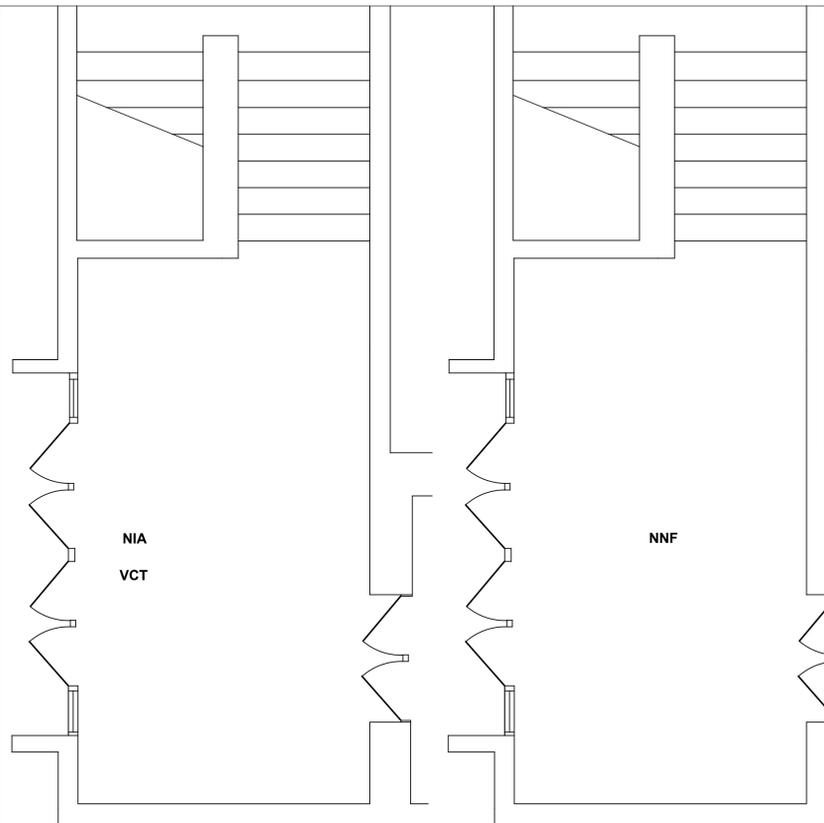
REVISION:	DATE:
DESIGN BY:	SCALE:
JL	AS NOTED

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DESIGNED BY: JOHN LUBY
CT ASBESTOS PROJECT DESIGNER LICENSE #19
CT LEAD PLANNER/PROJECT DESIGNER LICENSE #988



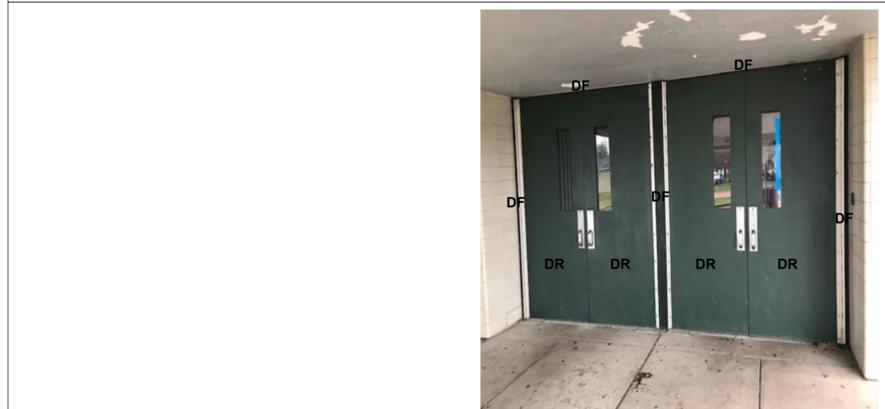
EXTERIOR ABATEMENT

2 CONARD DOOR 12 ABATEMENT PLAN
DA2 SCALE: 1/4" = 1'- 0"

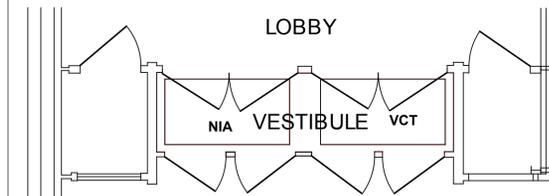


EXTERIOR ABATEMENT

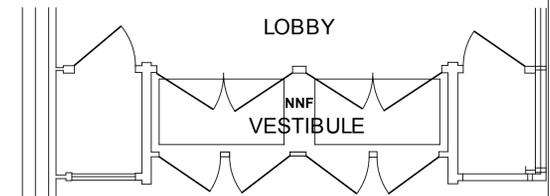
3 CONARD DOOR 13 ABATEMENT PLAN
DA2 SCALE: 1/4" = 1'- 0"



EXTERIOR ABATEMENT



INTERIOR ABATEMENT



NEW FLOORING

1 CONARD DOOR 11 ABATEMENT PLAN
DA2 SCALE: 1/4" = 1'- 0"

SYMBOL KEY - INTERIOR ASBESTOS ABATEMENT

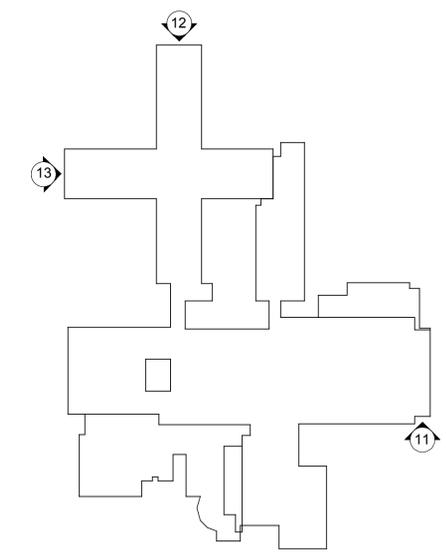
- NIA** = NO INTERIOR FLOORING ABATEMENT SCHEDULED FOR THIS AREA.
- VCT** = INTERIOR FLOORING AND MASTIC IS NON-ASBESTOS.

SYMBOL KEY - EXTERIOR ABATEMENT

- DR** = REMOVE DOOR AND DISPOSE OF DOOR AS SCRAP METAL.
- DR1** = REMOVE DOOR PAINTED WITH LEAD-BASED PAINT AND DISPOSE OF DOOR AS SCRAP METAL.
- DF** = REMOVE DOOR FRAME AND DISPOSE OF FRAME AS PRESUMED PCB REMEDIATION WASTE WITH PCB LEVEL >50 PPM AT TSCA FACILITY. SCRAPE DOOR OPENING FREE OF CAULK AND DISPOSE OF CAULK ALONG WITH FRAME.
- WS** = REMOVE WINDOW SASH AND DISPOSE OF SASH AS SCRAP METAL.
- WF** = REMOVE WINDOW FRAME AND DISPOSE OF FRAME AS PRESUMED PCB REMEDIATION WASTE WITH PCB LEVEL >50 PPM AT TSCA FACILITY. SCRAPE WINDOW OPENING FREE OF CAULK AND DISPOSE OF CAULK ALONG WITH FRAME.

SYMBOL KEY - NEW FLOORING

- NNF** = NO NEW FLOORING SCHEDULED FOR THIS AREA.



LOCATION PLAN

SEDGWICK SCHOOL
WEBSTER HILL SCHOOL
CONARD HIGH SCHOOL

West Hartford, CT

DOOR REPLACEMENT ABATEMENT

CONARD HIGH SCHOOL

REVISION: DATE:
DESIGN BY: APRIL 6, 2020
JL AS NOTED

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DA2

DOOR
REPLACEMENT
ABATEMENT

WEBSTER HILL
SCHOOL

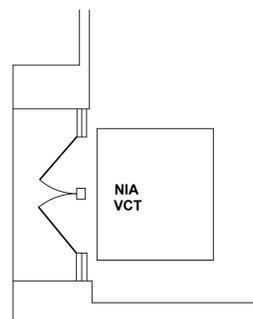
REVISION: DATE:
DESIGN BY: APRIL 6, 2020
JL SCALE:
AS NOTED

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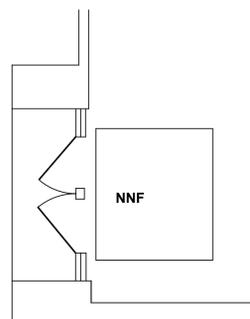
DA3



EXTERIOR
ABATEMENT



INTERIOR
ABATEMENT

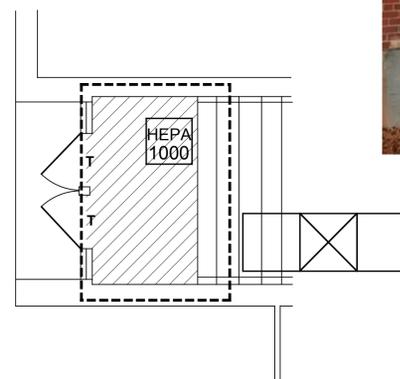


NEW
FLOORING

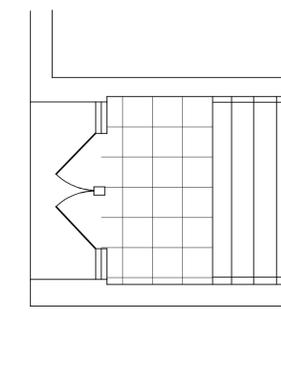
2 WEBSTER DOOR 2 ABATEMENT PLAN
DA3 SCALE: 1/4" = 1'- 0"



EXTERIOR
ABATEMENT



INTERIOR
ABATEMENT

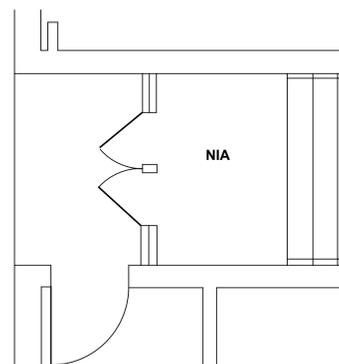


NEW
FLOORING

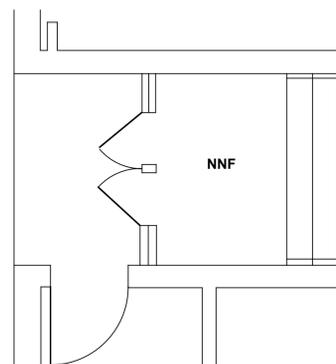
3 WEBSTER DOOR 3 ABATEMENT PLAN
DA3 SCALE: 1/4" = 1'- 0"



EXTERIOR
ABATEMENT



INTERIOR
ABATEMENT



NEW
FLOORING

1 WEBSTER DOOR 1 ABATEMENT PLAN
DA3 SCALE: 1/4" = 1'- 0"

SYMBOL KEY - INTERIOR ASBESTOS ABATEMENT

- = HEPA FAN UNIT VENTED OUTDOORS NOMINAL CFM SIZE INDICATED USE NEAREST WINDOW TO VENT EXHAUST
- = COMBINATION PERSONNEL DECONTAMINATION UNIT AND WASTE LOAD-OUT UNIT.
- = CONTAINMENT BOUNDARY
- = REMOVE VINYL ASBESTOS FLOOR, MASTIC, AND VINYL BASE UNDER FULL CONTAINMENT. DISPOSE OF VINYL ASBESTOS FLOOR TILE, MASTIC, AND VINYL BASE AS ASBESTOS WASTE.
- T** = REMOVE FLOOR TILE & MASTIC UNDER METAL DOOR THRESHOLD. REMOVE THRESHOLD AS REQUIRED.
- MAT** = REMOVE AND STORE RUBBER FLOOR MAT PRIOR TO ABATEMENT.
- NIA** = NO INTERIOR FLOORING ABATEMENT SCHEDULED FOR THIS AREA.
- VCT** = INTERIOR FLOORING AND MASTIC IS NON-ASBESTOS.

SYMBOL KEY - EXTERIOR ABATEMENT

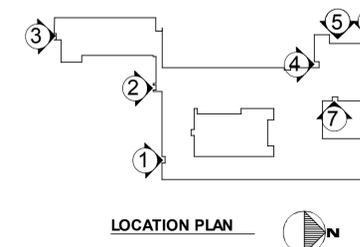
- DR** = REMOVE WOOD DOOR AND DISPOSE OF DOOR AS SOLID WASTE.
- DR1** = REMOVE WOOD DOOR AND DISPOSE OF DOOR AS HAZARDOUS LEAD WASTE WITH TCLP LEAD READING >5 MG/L.
- DF** = REMOVE DOOR FRAME AND DISPOSE OF FRAME AS SOLID WASTE.
- DF1** = REMOVE DOOR FRAME AND DISPOSE OF FRAME AS HAZARDOUS LEAD WASTE WITH LEAD TCLP READING >5 MG/L.
- WS** = REMOVE WINDOW SYSTEM AND DISPOSE OF SYSTEM AS PRESUMED PCB REMEDIATION WASTE WITH PCB LEVEL >50 PPM AT TSCA FACILITY. SCRAPE WINDOW OPENING FREE OF CAULK AND DISPOSE OF CAULK ALONG WITH WINDOW SYSTEM.
- WS1** = REMOVE WINDOW SYSTEM AND DISPOSE OF SYSTEM AS COMBINED HAZARDOUS LEAD WASTE WITH TCLP LEAD READING >5 MG/L AND PRESUMED PCB REMEDIATION WASTE WITH PCB LEVEL >50 PPM AT TSCA FACILITY. SCRAPE WINDOW OPENING FREE OF CAULK AND DISPOSE OF CAULK ALONG WITH WINDOW SYSTEM.

GENERAL NOTES

1. REMOVE FLOORING MASTIC USING MECHANICAL METHODS. ADEQUATELY WET FLOOR DURING MASTIC REMOVAL.
2. USE CONCRETE FLOOR PRIMER SPECIFIED IN SECTION 096510 AS THE LOCKDOWN ENCAPSULANT ON THE ABATED FLOORS.

SYMBOL KEY - NEW FLOORING

- = SUPPLY AND INSTALL NEW 16" VINYL COMPOSITION FLOOR TILE AND 4" BLACK VINYL BASE. RELEVEL 100% OF THE EXISTING CONCRETE FLOOR WITH A 1/8" LAYER OF HAND-TROWELED LATEX MODIFIED PORTLAND CEMENT BASED LEVELING COMPOUND.
- MAT** = REINSTALL RUBBER FLOOR MAT REMOVED DURING ABATEMENT.
- NNF** = NO NEW FLOORING SCHEDULED FOR THIS AREA.



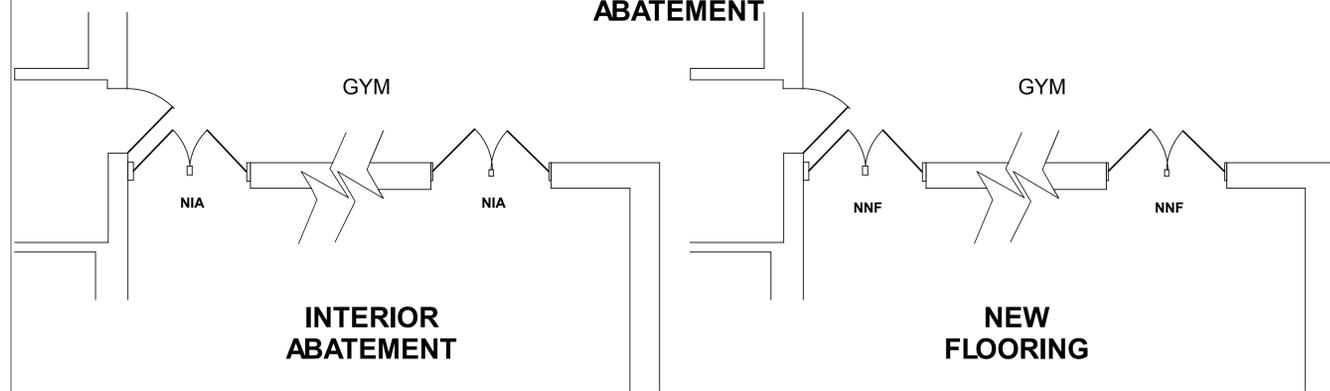
LOCATION PLAN

DOOR
REPLACEMENT
ABATEMENT

WEBSTER HILL
SCHOOL



EXTERIOR
ABATEMENT



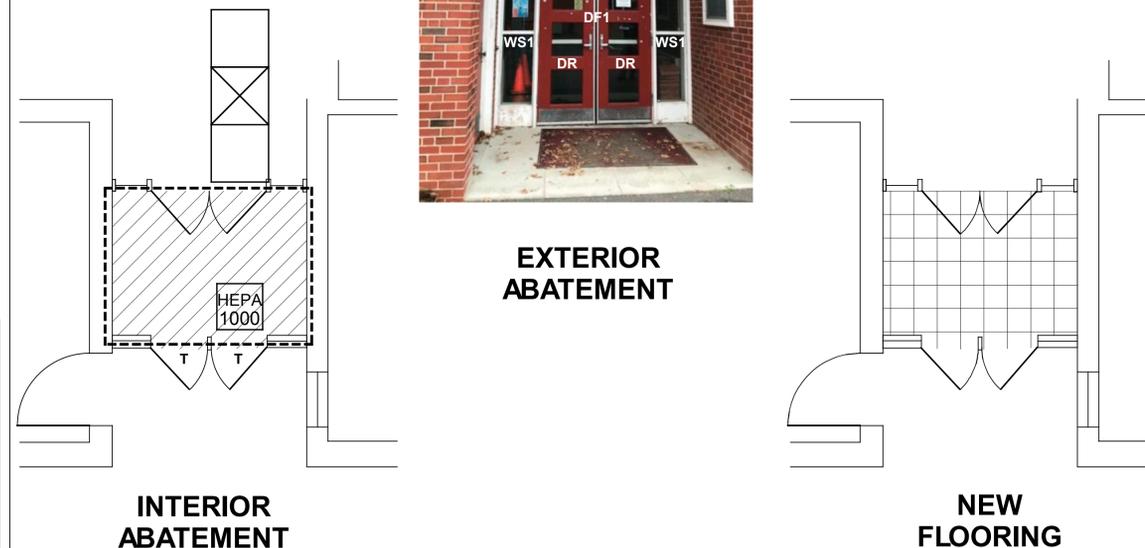
INTERIOR
ABATEMENT

NEW
FLOORING

2 WEBSTER DOOR 5 & 6 ABATEMENT PLAN
DA4 SCALE: 1/4" = 1'- 0"



EXTERIOR
ABATEMENT



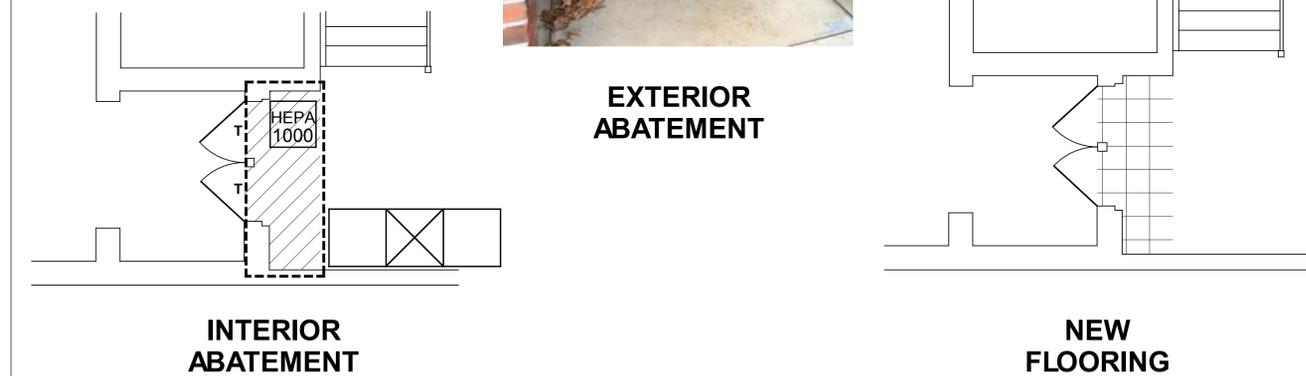
INTERIOR
ABATEMENT

NEW
FLOORING

3 WEBSTER DOOR 7 ABATEMENT PLAN
DA4 SCALE: 1/4" = 1'- 0"



EXTERIOR
ABATEMENT



INTERIOR
ABATEMENT

NEW
FLOORING

1 WEBSTER DOOR 4 ABATEMENT PLAN
DA4 SCALE: 1/4" = 1'- 0"

SYMBOL KEY - INTERIOR ASBESTOS ABATEMENT

- = HEPA FAN UNIT VENTED OUTDOORS
NOMINAL CFM SIZE INDICATED
USE NEAREST WINDOW TO VENT EXHAUST
- = COMBINATION PERSONNEL DECONTAMINATION
UNIT AND WASTE LOAD-OUT UNIT.
- = CONTAINMENT BOUNDARY
- = REMOVE VINYL ASBESTOS FLOOR, MASTIC, AND VINYL BASE
UNDER FULL CONTAINMENT. DISPOSE OF VINYL ASBESTOS
FLOOR TILE, MASTIC, AND VINYL BASE AS ASBESTOS WASTE.
- = REMOVE FLOOR TILE & MASTIC UNDER METAL DOOR
THRESHOLD. REMOVE THRESHOLD AS REQUIRED.
- = REMOVE AND STORE RUBBER FLOOR MAT PRIOR TO
ABATEMENT.
- = NO INTERIOR FLOORING ABATEMENT SCHEDULED FOR
THIS AREA.

SYMBOL KEY - EXTERIOR ABATEMENT

- = REMOVE WOOD DOOR AND DISPOSE OF DOOR AS SOLID
WASTE.
- = REMOVE DOOR FRAME AND DISPOSE OF FRAME AS
HAZARDOUS LEAD WASTE WITH LEAD TCLP READING >5 MG/L
- = REMOVE WINDOW SYSTEM AND DISPOSE OF SYSTEM AS
COMBINED HAZARDOUS LEAD WASTE WITH TCLP LEAD
READING >5 MG/L AND PRESUMED PCB REMEDIATION
WASTE WITH PCB LEVEL >50 PPM AT TSCA FACILITY.
SCRAPE WINDOW OPENING FREE OF CAULK AND DISPOSE
OF CAULK ALONG WITH WINDOW SYSTEM.
- = LUNTEL PAINTED WITH LEAD-BASED PAINT. PREPARE LUNTEL
FOR REPAINTING BY REMOVING CAULK, RUST, AND LOOSE
PAINT. DISPOSE OF REMOVED PAINT, CAULK, AND RUST AS
COMBINATION HAZARDOUS LEAD WASTE WITH LEAD TCLP
READING >5 MG/L & PRESUMED PCB REMEDIATION WASTE
WITH PCB LEVEL >50 PPM AT TSCA FACILITY.

GENERAL NOTES

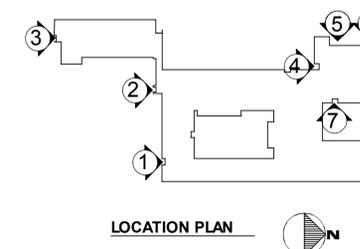
1. REMOVE FLOORING MASTIC USING MECHANICAL
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2. USE CONCRETE FLOOR PRIMER SPECIFIED IN
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ENCAPSULANT ON THE ABATED FLOORS.

SYMBOL KEY - NEW FLOORING

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EXISTING CONCRETE FLOOR WITH A 1/8" LAYER OF HAND-
TROWELED LATEX MODIFIED PORTLAND CEMENT BASED
LEVELING COMPOUND.
- = REINSTALL RUBBER FLOOR MAT REMOVED DURING
ABATEMENT.
- = NO NEW FLOORING SCHEDULED FOR THIS AREA.

REVISION:	DATE:
DESIGN BY:	SCALE:
JL	AS NOTED

EnviroMed
Cleaner environment. Safer workplaces.
DESIGNED BY: JOHN LUBY
CT ASBESTOS PROJECT DESIGNER LICENSE #19
CT LEAD PLANNER/PROJECT DESIGNER LICENSE #998



DA4