Lockwood, Andrews & Newnam
2925 Briarpark Drive, Suite 400
Houston, TX 77042
t (713) 266-6900
www.lan-inc.com

Stafford Municipal School District

1625 Staffordshire Road
Stafford, TX 77477

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
www.autoarch.net

PROJECTS:
(HS) - HIGH SCHOOL RENOVATIONS
(MS) - MAGNET SCHOOL BUILT-OUT

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

STAFFORD MUNICIPAL SCHOOL DISTRICT

M.E.P. Engineers
Infrastructure Associates, Inc.
6117 Richmond Avenue, Suite 200
Houston, Texas 77057
t (713) 622-0120
www.iaghouston.com

BOARD OF TRUSTEES

CHRISTOPHER CALDWELL	BOARD PRESIDENT
XAVIER HERRERA	BOARD VICE PRESIDENT
ALICIA LACY-CASTILLE	BOARD SECRETARY
ASH HAMIRANI	MEMBER
JACQUELINE JEAN-BAPTISTE	MEMBER
GREG HOLSAPPLE	MEMBER
MANUEL HINOJOSA	MEMBER
DR. ROBERT BOSTIC	SUPERINTENDENT

Structural Engineers
ASA Dally
9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t (713) 337-8881
www.dallyassociates.com

BID, PERMIT, & CONSTRUCTION 03/13/2020

THIS SET OF CONTRACT DOCUMENTS INCLUDES BOTH TECHNICAL SPECIFICATIONS AND DRAWINGS. THE INSTALLATION / APPLICATION INFORMATION HEREIN IS NOT TO BE CONSIDERED COMPLETE UNLESS ALL OF THE SHEETS LISTED IN THE INDEX ARE PRESENT.

ALL CONTRACTORS AND BIDDERS MUST READ THE ENTIRETY OF THE WRITTEN SPECIFICATIONS AND DRAWINGS CONTAINED IN THE CONTRACT DOCUMENTS.

THE DRAWINGS INDICATE THE OVERALL DESIGN INTENT, AS WELL AS DIMENSION AND QUANTITY OF BUILDING MATERIALS, PRODUCTS, AND COMPONENTS TO BE PLACED OR INSTALLED.

THE SPECIFICATIONS CONTAIN BIDDING AND PROCEDURAL INFORMATION, AS WELL AS QUALITY, PREPARATION AND INSTALLATION REQUIREMENTS FOR BUILDING MATERIALS, PRODUCTS OR COMPONENTS THAT ARE BEING PLACED OR INSTALLED.

ONLY THE MOST CURRENT SIGNED AND SEALED DRAWINGS AND SPECIFICATIONS SHALL BE USED FOR BIDDING, PERMITTING, AND CONSTRUCTION PURPOSES.

THESE CONTRACT DOCUMENTS ARE THE INSTRUMENT OF SERVICES RENDERED; AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR PURPOSES OTHER THAN THE EXECUTION OF THIS PROJECT, WITHOUT THE ARCHITECT'S CONSENT, IS PROHIBITED. ANY UNAUTHORIZED USE OF THESE CONTRACT DOCUMENTS IS AT THE SOLE RISK OF THE USER.

THESE CONSTRUCTION DOCUMENTS ARE THE DIAGRAMMATIC EXPRESSION OF THE ARCHITECT'S DESIGN INTENTIONS. CONTRACTORS SHALL NEVER SCALE THE DOCUMENTS FOR MEASUREMENTS.

ARCHITECT IS RESPONSIBLE ONLY FOR THOSE UNDERGROUND UTILITIES AND TIE-IN LOCATIONS THAT APPEAR ACCURATELY ON THE COUNTY'S RECORD DRAWINGS. ANY DEVIATION FROM THESE RECORDS SHALL BE INDEPENDENTLY VERIFIED AND LOCATED BY THE GENERAL CONTRACTOR.

ALL CONTRACTORS WORKING ON THIS PROJECT MUST ABIDE BY ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS THE REQUIREMENTS OF THE DEVELOPMENT IN WHICH THE PROJECT IS LOCATED. ANY CONFLICTING REQUIREMENTS, OR REQUESTS FOR INTERPRETATION OF REQUIREMENTS, SHOULD BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE START OF WORK.

CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS, WITH SPECIAL ATTENTION GIVEN TO BUILDING LOCATION, GRID-LINE, AND STRUCTURAL DIMENSIONS.

CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS IMMEDIATELY UPON THEIR DISCOVERY.

DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS ARE PROHIBITED WITHOUT EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

ALL CONTRACTORS SHALL COORDINATE THEIR WORK WITH THAT OF OTHER CONTRACTORS WORKING ON SITE, AND SHALL COMPORT THEMSELVES IN A PROFESSIONAL MANNER. CONCERNS SHALL BE BROUGHT TO THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF SUBCONTRACTORS' WORK, IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS.

ALL WORK REQUIRED TO COMPLETE THE PROJECT, INCLUDING WORK NOT SPECIFIED IN THESE DOCUMENTS BUT NECESSARY FOR THE PROJECT'S COMPLETION, SHALL MEET GENERAL PROFESSIONAL STANDARDS, APPLICABLE CODES AND REGULATIONS, AND MANUFACTURERS' RECOMMENDATIONS.

ALL CONTROLS SHALL BE MOUNTED AT 42" ABOVE FINISHED FLOOR, UNLESS INDICATED OTHERWISE.

29 GENERAL NOTES
SCALE: NOT TO SCALE

PLAN / SECTION

EARTH (UNDISTURBED)	BRICK
POROUS FILL (STONE OR GRAVEL, ECT)	CMU BLOCK
STRUCTURAL CONCRETE	METAL
STONE	DIM.WOOD CONTINUOUS
ROCK	DIM.WOOD BLOCKING
RUBBLE STONE	PLYWOOD

A.F.F.	ABOVE FINISHED FLOOR	I.D.	INSIDE DIMENSION
ALUM.	ALUMINUM	IN.	INCH
BLDG.	BUILDING	LBS.	POUNDS
℄	CENTER LINE	MAX.	MAXIMUM
CFMF	COLD FORMED METAL FRAMING	MFR.	MANUFACTURER
CFM	CUBIC FEET PER MINUTE	MIN.	MINIMUM
CMU	CONCRETE MASONRY UNITS	MISC.	MISCELLANEOUS
COL.	COLUMN	M.O.	MASONRY OPENING
CONC.	CONCRETE	MT'D.	MOUNTED
CONT.	CONTINUOUS	MTL.	METAL
CYL.	CYLINDER	N.I.C.	NOT IN CONTRACT
⌀	DIAMETER	NO.	NUMBER
DOCS.	DOCUMENTS/DRAWINGS	NTS	NOT TO SCALE
EA.	EACH	O.C.	ON CENTER
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	O.D.	OUTSIDE DIMENSION
		OPP.	OPPOSITE
		O.S.B.	ORIENTED STRAND BOARD
ELEV.	ELEVATION	PLYWD.	PLYWOOD
E.S.C.	EXTERIOR SPECIAL COATING	P.S.F	POUNDS PER SQUARE FOOT
F.D.	FLOOR DRAIN	P.S.I	POUNDS PER SQUARE INCH
F.O.C.	FACE OF CURB/CONCRETE	RE:	REFER TO, REFERENCE FROM
F.O.M.	FACE OF MASONRY	REQ'D	REQUIRED
FIN.	FINISHED	R.O.	ROUGH OPENING
FLR.	FLOOR	SHEATH.	SHEATHING
FT.	FEET	SIM.	SIMILAR
FR-S	FIRE-RETARDENT WOOD TREATMENT	SPECS.	SPECIFICATIONS
		STL.	STEEL
GA.	GAUGE	STRUCT.	STRUCTURAL
GALV.	GALVANIZED	SQ.	SQUARE
G.I.	GALVANIZED IRON OR STEEL	T & G	TONGUE & GROOVE
G.L.	GRADE LEVEL	T.D.	TOP OF DRAIN
GYP. BD.	GYPSUM BOARD	T.O.	TOP OF
H.M.	HOLLOW METAL	T.O.C.	TOP OF CURB/CONCRETE
HR.	HOUR	TYP.	TYPICAL
HT.	HEIGHT	W/	WITH
H.V.A.C.	HEATING VENTILATING & AIR CONDITIONING	W.P.	WEATHERPROOF
		W.W.F.	WELDED WIRE FABRIC

27 MATERIALS & ABBREVIATIONS
SCALE: NOT TO SCALE

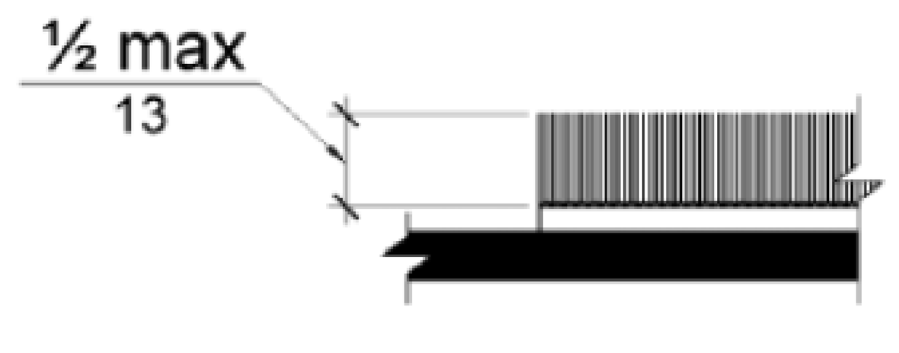


Figure 302.2 Carpet Pile Height

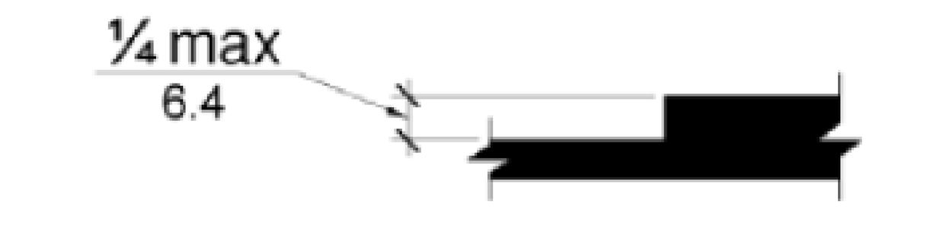


Figure 303.2 Vertical Change in Level

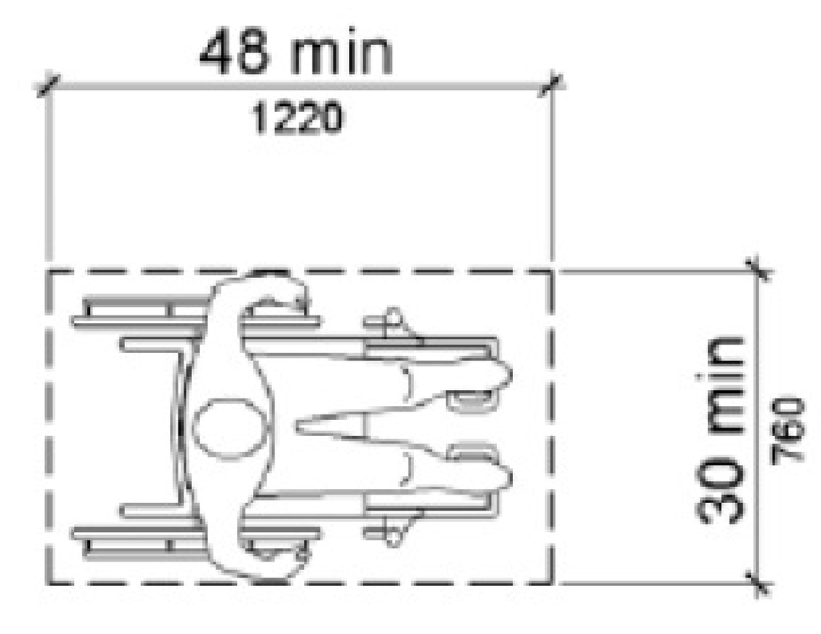


Figure 305.3 Clear Floor or Ground Space

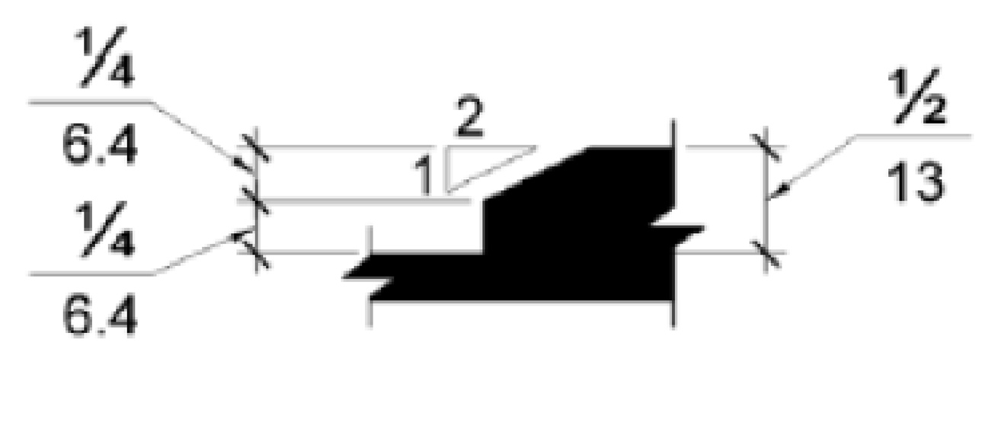


Figure 303.3 Beveled Change in Level

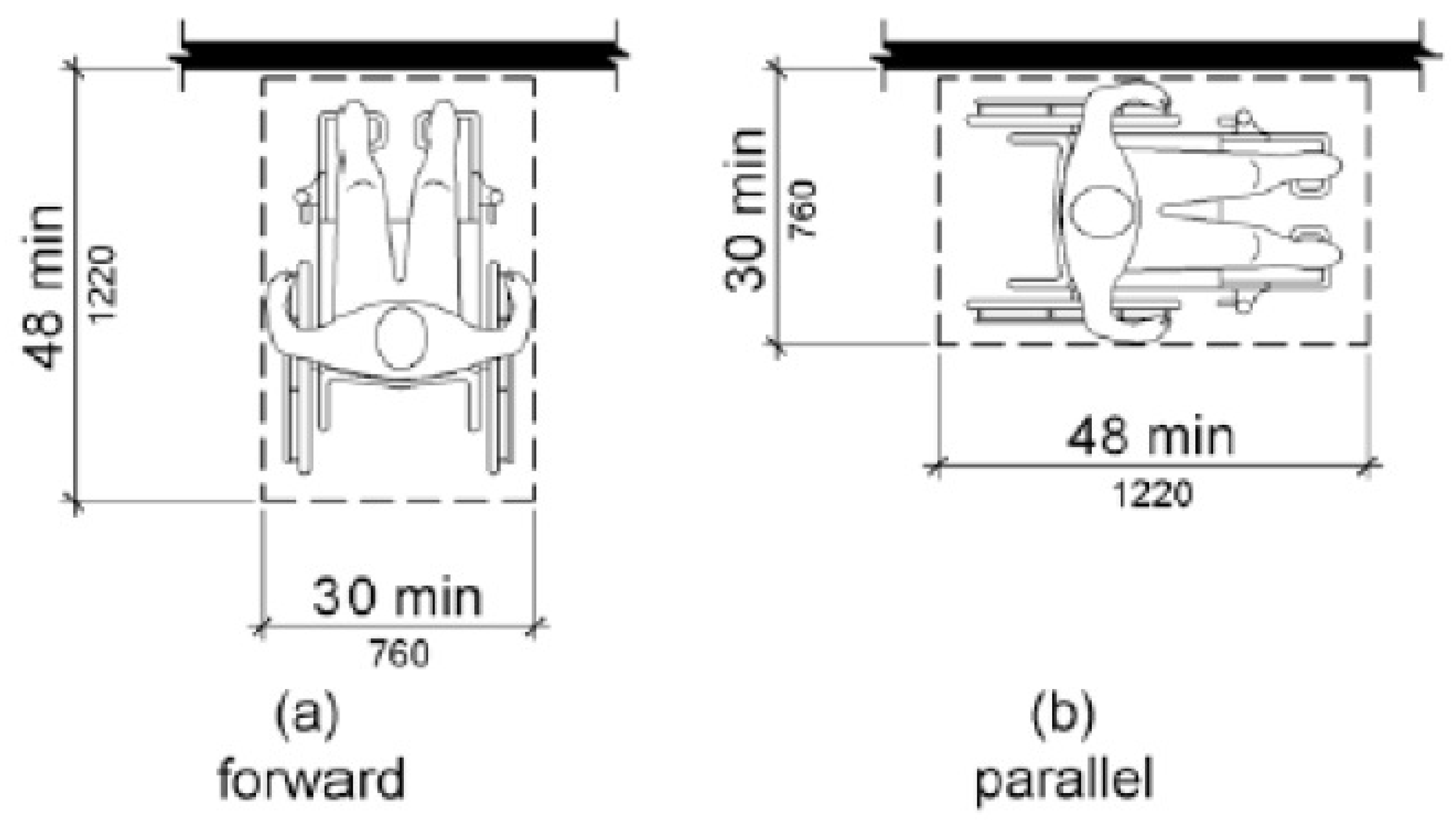


Figure 305.5 Position of Clear Floor or Ground Space

22 ACCESSIBILITY INFORMATION
SCALE: NOT TO SCALE

CODES IN FORCE: STAFFORD TX, 2019

2017 National Electrical Code
2015 International Building Code
2015 International Energy Conservation Code
2015 International Existing Building Code
2015 International Fire Code
2015 International Fuel and Gas Code
2015 International Mechanical Code
2015 International Plumbing Code

Texas Accessibility Standards (TAS), 2012 Edition.

2015 INTERNATIONAL EXISTING BUILDING CODE (IN FORCE IN STAFFORD)

- COMPLIANCE METHOD: WORK AREA COMPLIANCE METHOD.
NO CHANGE IN OCCUPANCY*
- CONTINUES AS E OCCUPANCY
- SEISMIC REQUIREMENTS
- RISK CATEGORY III (E OCCUPANCY)
- ASSUME BSE-1n

ALTERATION LEVEL 2:
- INCLUDES RECONFIGURING THE SPACE
- DOES NOT INVOLVE MORE THAN 50% OF THE AGGREGATE AREA OF THE BUILDING(S)

REQUIREMENTS FOR ALTERATION LEVEL 2:

801.3:
- NEW ELEMENTS MUST COMPLY WITH 2015 IBC, EXCEPTIONS:
- WINDOWS DO NOT NEED TO MEET LIGHT/VENTILATION REQUIREMENTS OF IBC
- NEW ELECTRICAL EQUIPMENT SHALL COMPLY WITH SECTION 808
- DEAD END CORRIDORS ARE PER SECTION 805.6
- MINIMUM CEILING HEIGHT IS 7'-0"

803.2:
- EXISTING OPENINGS MUST BE ENCLOSED WITH 1 HOUR FIRE RATED ENCLOSURES, EXCEPTIONS:
- WHERE OPENING IS NOT REQUIRED BY IBC OR IFC.
- IF NOT STAIRWAY, OPENING CAN BE
- BLOCKED BY MIN. 2" SOLID WOOD OR
- EQUIVALENT.
- IF ALL OF THE FOLLOWING ARE MET:
- LOW HAZARD OR MODERATE HAZARD AND PROTECTED BY AUTOMATIC SPRINKLER THROUGHOUT.
- LOWEST OR NEXT TO LOWEST LEVEL IS STREET LEVEL FLOOR.
- ENTIRE AREA IS OPEN AND UNOBSTRUCTED SO FIRE IS OBVIOUS.
- EVERY FLOOR LEVEL HAS HALF OF ITS REQUIRED EXIT CAPACITY PROVIDED BY EXITS LEADING DIRECTLY OUT OF THAT LEVEL WITHOUT HAVING TO TRAVERSE ANOTHER COMMUNICATING FLOOR LEVEL OR BE EXPOSED TO SMOKE OR FIRE SPREADING FROM ANOTHER COMMUNICATING FLOOR LEVEL.
- ENCLOSURE IS NOT REQUIRED FOR OPENINGS NOT EXCEEDING 3 STORIES IN E OCCUPANCY, AS LONG AS THE BUILDING IS FULLY SPRINKLERED.

803.4
- INTERIOR FINISHES MUST COMPLY WITH IBC.
- EXISTING FINISHES THAT DO NOT MEET IBC REQUIREMENTS CAN BE COATED WITH FIRE-RETARDANT COATING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO ACHIEVE REQUIRED RATING.

803.5
- GUARD RAILS MUST BE ADDED AT ALL DROPS MORE THAN 30" IN ALL WORK AREAS.
- IF EXISTING GUARD RAILS IN WORK AREA ARE AT RISK OF COLLAPSE, NEW GUARD RAILS MUST BE PROVIDED.

803.6
- IF BUILDING IS FULLY SPRINKLERED – THEN FIRE RESISTANCE RATINGS MUST MEET CURRENT CODE.
- TEAM SHALL REQUEST THAT CODE OFFICIAL REVIEW BUILDING ELEMENTS TO DETERMINE EXISTING BUILDING CODE FIRE RESISTANCE RATINGS.
- INCLUDES SPECIAL CONSTRUCTION FEATURES, FIRE-RESISTANCE-RATED ASSEMBLIES, SMOKE RESISTANCE RATED ASSEMBLIES, CONDITIONS OF OCCUPANCY, MEANS OF EGRESS CONDITIONS, FIRE CODE DEFICIENCIES, APPROVED MODIFICATIONS OR APPROVED ALTERNATIVE MATERIALS, DESIGN AND METHODS OF CONSTRUCTION, AND EQUIPMENT THAT AFFECTS FIRE RESISTANCE RATINGS.

804 – FIRE PROTECTION
- IBC GOVERNS FOR CORRIDOR RATINGS; SPRINKLER SYSTEMS WITHIN WORK AREAS
- FIRE ALARM AND DETECTION REQUIRED PER 804.4.1 THRU 804.4.3
- INSTALL IN WORK AREAS PER IBC FOR GROUP E.

805 – EGRESS
- IBC GOVERNS FOR EGRESS WITHIN WORK AREAS
- 1 EXIT IS ALLOWED IF THE STORY AT THE LEVEL OF EXIT DISCHARGED DOES NOT EXCEED 50 OCCUPANTS AND THE EXIT ACCESS TRAVEL DISTANCE IS 75 FEET OR LESS.
- FIRE ESCAPES CAN BE USED AS ONE OF THE MEANS OF EGRESS (RE: 805.3.1.2.1).
- ROOMS AND SPACES WITHIN WORK AREA MUST HAVE 2 EGRESS DOORS (SWINGING IN PATH OF EGRESS) IF THEY HAVE MORE THAN 50 OCCUPANTS.
- MAX DEAD END CORRIDORS: 35' (50' IF SPRINKLERED) (EXISTING OR NEW).
- MEANS OF EGRESS LIGHTING IN WORK AREAS SHALL MEET IBC.

STRUCTURAL REQUIREMENTS SHALL BE PER 807

MEP REQUIREMENTS SHALL BE PER 808 (ELECTRICAL); 809 (MECHANICAL);810 (PLUMBING)

811.1: ENERGY CONSERVATION: ALTERATIONS MUST MEET IECC CODE REQUIREMENTS; BUT IT IS NOT NECESSARY TO BRING ENTIRE BUILDING UP TO IECC CODE.

CHAPTER 15: CONSTRUCTION SAFEGUARDS: CONSTRUCTION BARRICADES SHALL MEET REQUIREMENTS OF CHAPTER 15.

XII. Minimum Required Plumbing fixtures: Per table 2902.1

Use Group B: Business: 24 occupants total:

Water closets: 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50.
= 1 required
Lavatory: 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80.
= 1 required
Drinking Fountains: 1 per 100
= 0 required
Service Sink: Required if occupant load is greater than 15.
= 1 required

XIII. Miscellaneous Remarks

Combustible materials shall be governed by 2012 IBC Section 603. All wood (plywood, blocking, etc.) shall be fire treated.

Refer to drawing FP1.01 for Sprinkler System & other Fire Protection Requirements.

Refer to drawing A0.21 for Egress, Occupant Load, & Toilet Fixture Counts

12 CODE ANALYSIS
SCALE: NOT TO SCALE

ALTERNATE 01:
- PROVIDE WORK INDICATED AT CTE KITCHEN.
- RE: A2.12, & FOODSERVICE DRAWINGS.

ALTERNATE 02:
- PROVIDE WORK INDICATED AT WELDING LAB.
- RE: M1.07 & E2.05.

ALTERNATE 03:
- PROVIDE WORK INDICATED AT HIGH SCHOOL AV ROOM.
- RE: M1.05

ALTERNATE 04:
- PROVIDE DEMOLITIONS INDICATED AT MULTIPURPOSE SPACE IN CTE.
- RE: A2.12

07 ALTERNATES
SCALE: NOT TO SCALE

GENERAL

1	-	COVERSHEET
2	A0.00	PROJECT INFORMATION
3	A0.20	CODE ANALYSIS INFORMATION
4	A0.30	PARTITION TYPES & ACCESSIBILITY REQUIREMENTS

DEMOLITION

1	D1.00	OVERALL DEMOLITION PLAN
2	D1.10	ENLARGED DEMOLITION PLANS

ARCHITECTURAL

1	A2.00	OVERALL CONSTRUCTION PLAN
2	A2.10	PLAN AT MAGNET SCHOOL - SOUTH
3	A2.11	PLAN AT MAGNET SCHOOL - NORTH
5	A2.20	PLANS & DETAILS AT LIBRARY
6	A2.21	PLANS & DETAILS AT CONNECTOR
7	A2.50	CEILING PLAN AT MAGNET SCHOOL - SOUTH
8	A2.51	CEILING PLAN AT MAGNET SCHOOL - NORTH
9	A4.00	ENLARGED PLANS & DETAILS
10	A4.01	ENLARGED PLANS & DETAILS - RESTROOMS
11	A4.02	ENLARGED PLANS & DETAILS - PORTALS
12	A4.03	ENLARGED PLANS & DETAILS - PORTALS
13	A5.00	DOORS & WINDOWS
14	A6.00	MILLWORK / CASEWORK ELEVATIONS & DETAILS
15	A6.01	MILLWORK / CASEWORK ELEVATIONS & DETAILS
16	A6.50	FINISH LEGEND & ROOM SCHEDULE
17	A8.00	INTERIOR ELEVATIONS
18	A8.01	INTERIOR ELEVATIONS
19	A8.02	INTERIOR ELEVATIONS

STRUCTURAL

1	S1.01	STRUCTURAL GENERAL CRITERIA
2	S2.00	OVERALL FLOOR PLAN
3	S2.01	FOUNDATION PLANS
4	S2.02	ROOF FRAMING PLANS
5	S3.01	DRILLED PIER & PLINTH SCHEDULE & DETAILS
6	S3.02	COLUMN SCHEDULE
7	S4.01	TYPICAL FOUNDATION DETAILS
8	S4.10	FOUNDATION DETAILS
9	S5.01	TYPICAL FRAMING DETAILS
10	S5.10	FRAMING DETAILS

MECHANICAL

1	M0.01	SYMBOLS, NOTES, AND LEGEND
2	M0.02	SCHEDULES
3	M1.01	LEVEL-1 KITCHEN - HVAC
4	M1.02	LEVEL-1 LAB B2 - HVAC
5	M1.03	LEVEL-1 LIFE SKILLS - HVAC
6	M1.04	LEVEL-1 LAB B3 - HVAC
7	M1.05	LEVEL-1 GREEN ROOM - HVAC
8	M1.06	LEVEL - 1 LIBRARY
9	M1.07	LEVEL - 1 WELDING LAB
10	M2.01	DETAILS

ELECTRICAL

1	E0.01	SYMBOLS, NOTES, AND LEGENDS
2	E0.03	PANEL SCHEDULES
3	E0.04	PANEL SCHEDULES
4	E0.05	PANEL SCHEDULES
5	E0.06	PANEL SCHEDULES
6	E1.01	OVERALL DEMOLITION PLAN - POWER
7	E1.02	ENLARGED DEMOLITION PLAN - POWER
8	E1.03	ENLARGED DEMOLITION PLAN - POWER
9	E1.04	ENLARGED DEMOLITION PLAN - POWER
10	E1.05	OVERALL DEMOLITION PLAN - LIGHTING
11	E1.06	ENLARGED DEMOLITION PLAN - LIGHTING
12	E1.07	ENLARGED DEMOLITION PLAN - LIGHTING
13	E1.08	ENLARGED DEMOLITION PLAN - LIGHTING
14	E1.09	ENLARGED DEMOLITION PLAN - LIGHTING
15	E2.01	OVERALL PROPOSED PLAN - POWER
16	E2.02	ENLARGED PROPOSED PLAN - POWER
17	E2.03	ENLARGED PROPOSED PLAN - POWER
18	E2.04	ENLARGED PROPOSED PLAN - POWER
19	E2.05	ENLARGED PROPOSED PLAN - POWER
20	E2.06	ENLARGED PROPOSED PLAN - POWER
21	E2.07	ENLARGED PROPOSED PLAN - POWER
22	E3.01	OVERALL PROPOSED PLAN - LIGHTING
23	E3.02	ENLARGED PROPOSED PLAN - LIGHTING
24	E3.03	ENLARGED PROPOSED PLAN - LIGHTING
25	E3.04	ENLARGED PROPOSED PLAN - LIGHTING
26	E3.05	ENLARGED PROPOSED PLAN - LIGHTING
27	E3.06	ENLARGED PROPOSED PLAN - LIGHTING
28	E3.07	ENLARGED PROPOSED PLAN - LIGHTING
29	E4.01	DETAILS

PLUMBING

1	P0.01	SCHEDULES, NOTES, & LEGEND
2	P1.01	PLUMBING DEMO
3	P2.01	PLUMBING PROPOSED SANITARY
4	P3.01	PLUMBING PROPOSED DOMESTIC
5	P4.01	DETAILS

FOODSERVICE

1	K1	FS EQUIPMENT PLAN
2	K2	FS PLUMBING PLAN
3	K3	FS ELECTRICAL PLAN
4	K4	FS ELEVATIONS

FIRE PROTECTION

1	FP1.01	FIRE PROTECTION PLAN

02 SHEET INDEX
SCALE: NOT TO SCALE

PLAN NORTH TRUE NORTH — NORTH ARROW

A5/A5.10 — BUILDING SECTION

A2/A6.02 — WALL SECTION

B5/A8.03 — BUILDING ELEVATION

B5/A8.03 — INTERIOR ELEVATION

C2/A9.05 — SECTION DETAIL

C6/A2.10 — ENLARGED PLAN / DETAIL

KEYNOTE

P4 1 — PARTITION TYPE

COLUMN GRID LINE

PROPERTY LINE

CENTER LINE

HIDDEN LINE

BREAK LINE

G — GAS LINE

S — SEWER LINE

P — POWER LINE

W — WATER LINE

SET BACK LINE

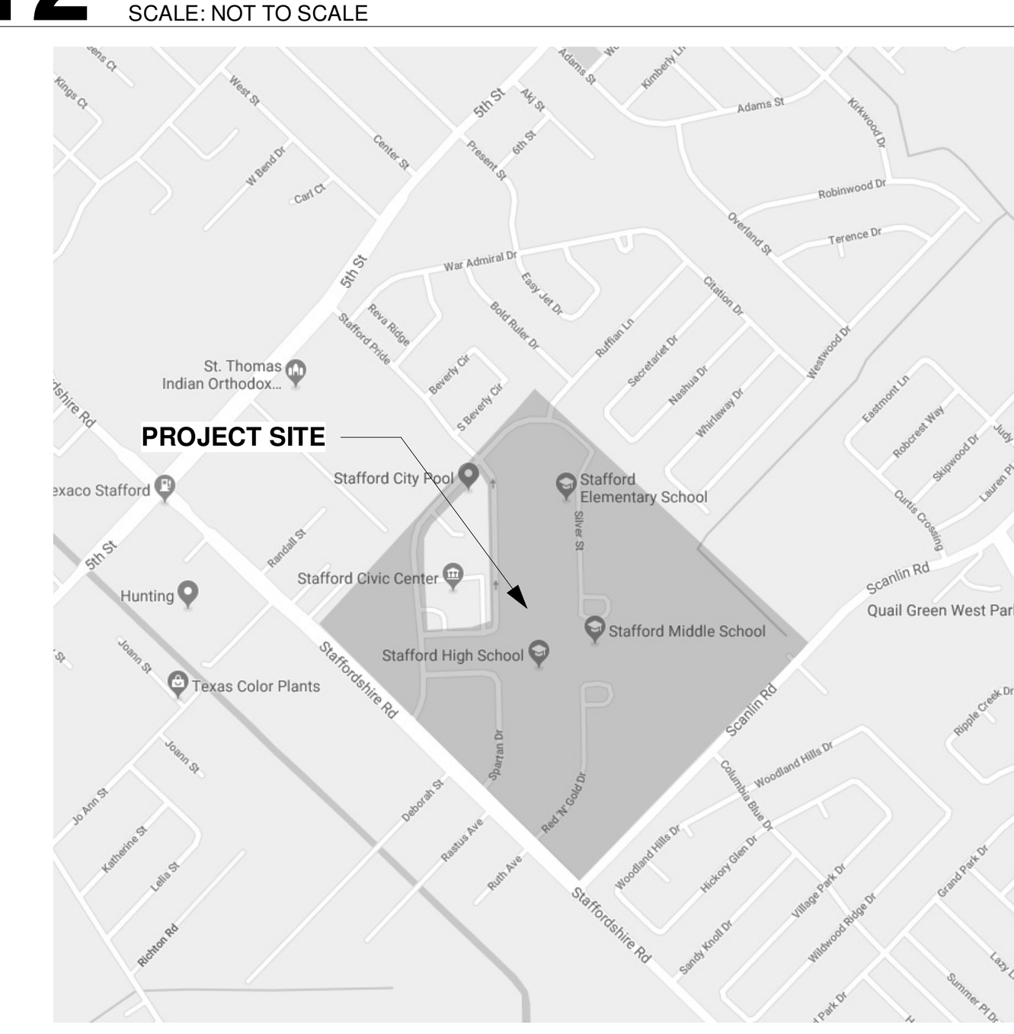
Drawing Title: FLOOR PLAN
Drawing Number: A 2.00

Each sheet is numbered as illustrated above. In this example, the sheet title is "Floor Plan" and the sheet number is "A2.00"

01 ELEVATION
SCALE: 1/8" : 1'-0"

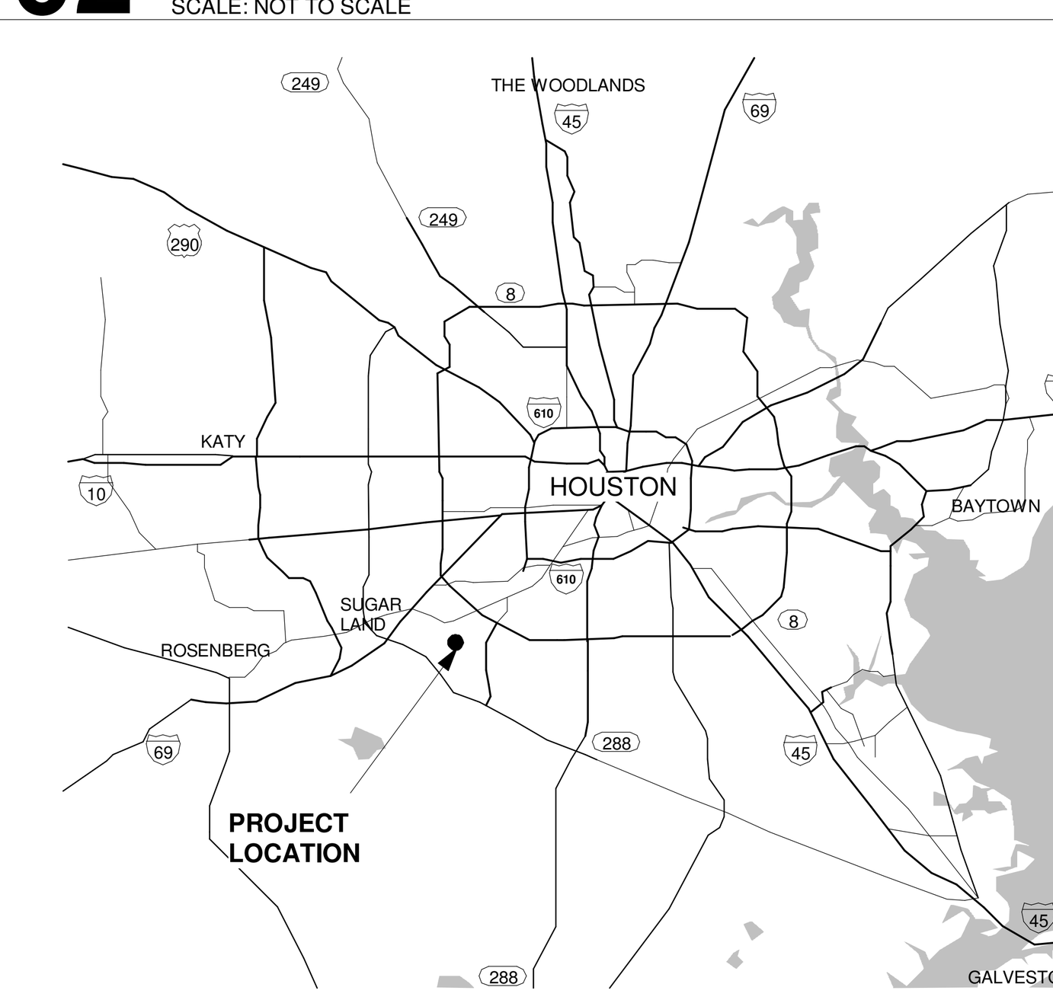
Each drawing is numbered preceding the drawing title. In this example, drawing "1" represents the first drawing on a sheet of the architectural discipline, an "ELEVATION". Followed by a description, "AT NEW OFFICE 100", and drawing scale " 1/8" = 1'-0"

26 SYMBOLS & LEGEND
SCALE: NOT TO SCALE



11 PROJECT SITE
SCALE: NOT TO SCALE

06 PROJECT VICINITY
SCALE: NOT TO SCALE



01 PROJECT LOCATION
SCALE: NOT TO SCALE

AUTOARCH Architects, LLC.

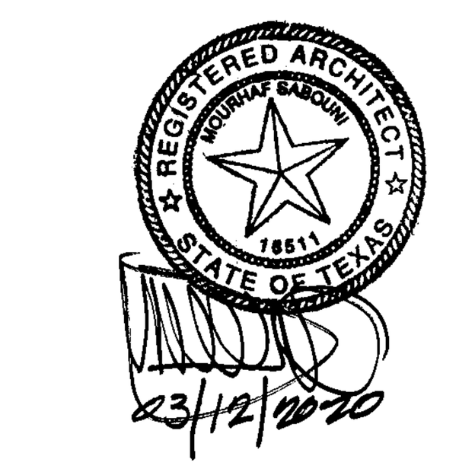
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

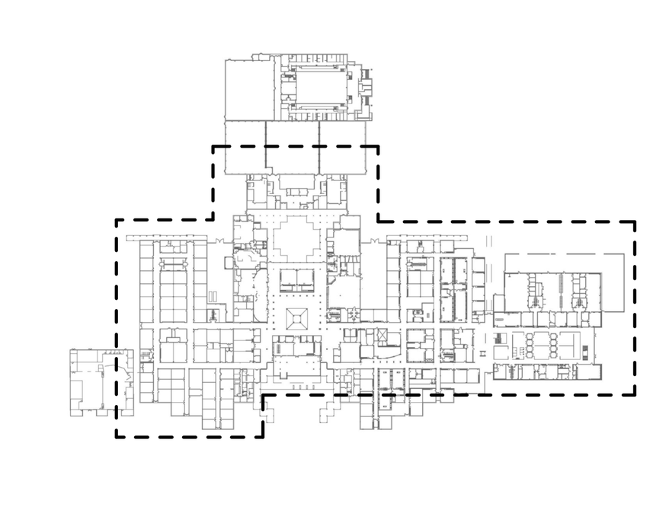


A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION

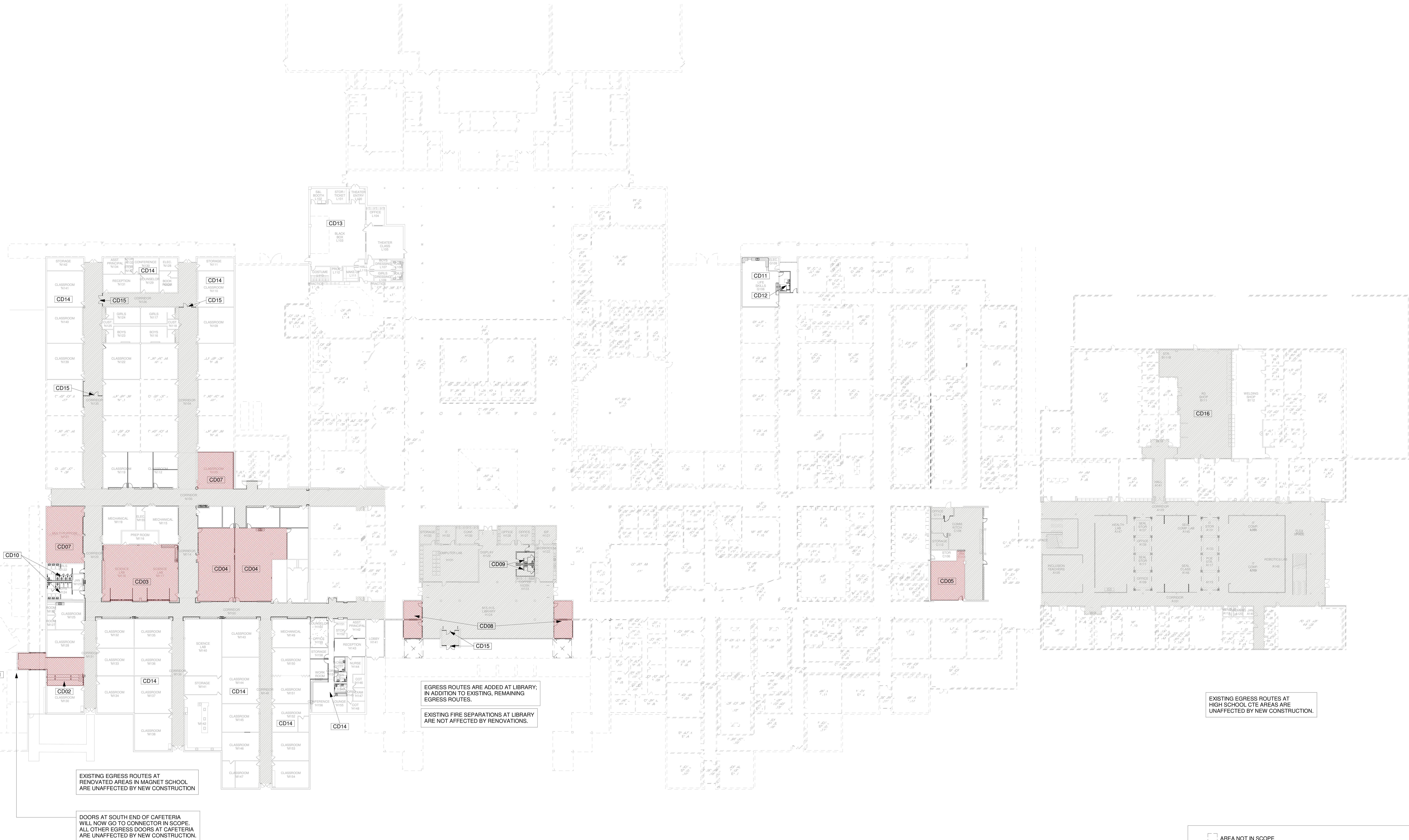


KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
PROJECT INFORMATION

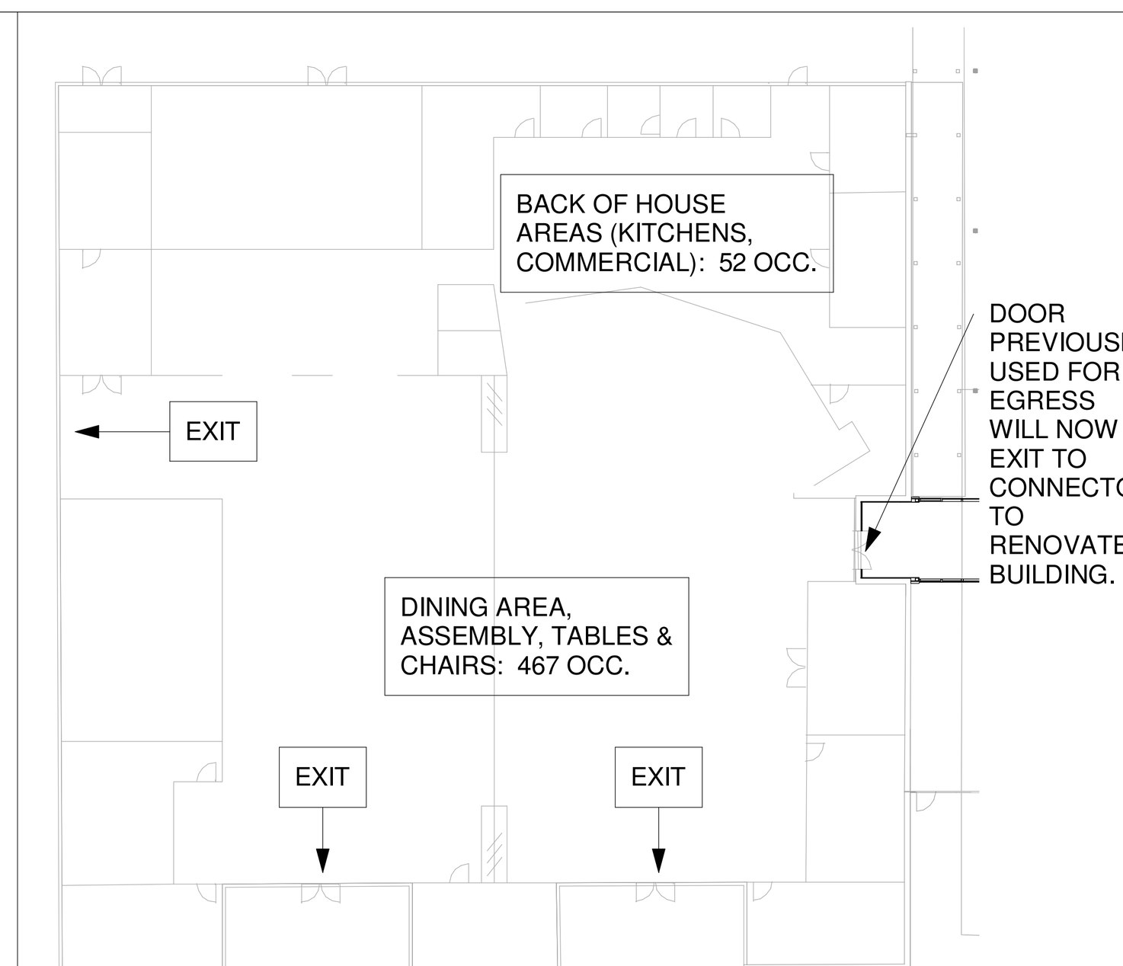
Drawing Number
A0.00



27 CODE REVIEW PLAN
Scale: 1" = 30'-0"

- AREA NOT IN SCOPE
- NO SPRINKLERS
- EXISTING SPRINKLERS
- SPRINKLERS EXTENDED TO SPACE.

02 CODE ANALYSIS KEY
Scale: NTS



11 CAFETERIA ANALYSIS DIAGRAM
Scale: 1" = 30'-0"

CD01	SEE NOTES AT 11/A0.20 FOR CAFETERIA EGRESS.
CD02	LEARNING STAIR IS ADJUSTED TO ASSEMBLY OCCUPANT LOAD WITH CIRCULATION SPACE UNOCCUPIED. OCCUPANT LOAD ADJUSTMENT: +18 OCC.
CD03	SCIENCE LABS CONVERTED TO CTE LABS; NO CHANGE IN OCCUPANT LOAD.
CD04	CLASSROOMS CONVERTED TO CTE LABS. OCCUPANT LOAD ADJUSTMENT: -96 OCC.
CD05	CLASSROOM CONVERTED TO CTE LAB. OCCUPANT LOAD ADJUSTMENT: -22 OCC.
CD07	CLASSROOMS CONVERTED TO MULTIPURPOSE SPACE; COUNTED AS LAB SPACE FOR OCCUPANT LOAD. OCCUPANT LOAD ADJUSTMENT -56 OCC.
CD08	NEW STUDY ROOMS, ADDITIONAL OCCUPANT LOAD ASSUMING CLASSROOM OCCUPANCY (FORMERLY UNOCCUPIED EXTERIOR SPACE): +39 OCC.
CD09	NEW RESTROOMS CONSTRUCTED IN LIBRARY SPACE.
CD10	RESTROOMS RENOVATED TO MEET CURRENT ACCESSIBILITY REQUIREMENTS. RE: DWG/ADX
CD11	RENOVATED LIFE SKILLS ROOM; NO CHANGE TO OCCUPANT LOAD.
CD12	NEW RESTROOM(S) CONSTRUCTED IN CIRCULATION SPACE.
CD13	WORK IN BLACK BOX THEATER IS LIMITED TO AUDIO-VISUAL & ELECTRICAL UPGRADES.
CD14	WORK IN THIS AREA HAS NO EFFECT ON OCCUPANT LOAD.
CD15	NEW DOORS SHALL BE EQUIPPED WITH PANIC DEVICES TO ALLOW FOR FREE EGRESS.
CD16	WORK IN SHOPS IS LIMITED TO NEW EXHAUST SYSTEM & ASSOCIATED MEP WORK.

06 KEYNOTES - CODE ANALYSIS
Scale: NTS

1. THIS WORK IS TO BE PERMITTED UNDER THE REQUIREMENTS OF THE 2015 INTERNATIONAL EXISTING BUILDING CODE, AS ENFORCED IN THE CITY OF STAFFORD, TX.
2. REFER TO 12/A0.00 FOR CODE ANALYSIS NARRATIVE.
3. SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES WILL BE MAINTAINED FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
4. ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
5. EGRESS ROUTES ARE AFFECTED PER THE DRAWINGS ON THIS SHEET.
6. NOTE: THE CAFETERIA IS NOT IN SCOPE, HOWEVER, ONE EXIT DOOR IS TO BE CONVERTED TO A CONNECTOR-ACCESS-DOOR BACK TO THE RENOVATED SPACE. ANALYSIS OF THE CAFETERIA IS INDICATED HERE:
   A. PER PLAN DIAGRAM 11/A0.20, THE CAFETERIA HAS 3 NUMBER OF EXITS WITH A CAPACITY OF 2,160.
   B. THE CAFETERIA HAS A CALCULATED OCCUPANT LOAD OF 519; THUS REQUIRING 3 EXITS.
   C. PER THIS CALCULATION AND IN ACCORDANCE WITH 2015 IBC CHAPTER 10, THE ELIMINATION OF THE EGRESS DOORS INDICATED IN PLAN IS ACCEPTABLE.
7. REFER TO FIRE PROTECTION SHEET FP1.01 FOR MORE INFORMATION ON SPRINKLER SYSTEM.
8. NET CHANGE IN OCCUPANT LOAD IS -117 (OCCUPANT LOAD OF BUILDING IS REDUCED BY 117 OCCUPANTS). OCCUPANT LOAD IN THE HIGH SCHOOL IS REDUCED BY 22 OCCUPANTS; AND THE REMAINDER OF THE REDUCTION IS IN THE MAGNET SCHOOL.

01 GENERAL NOTES - CODE ANALYSIS
Scale: NTS

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:
MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120
STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

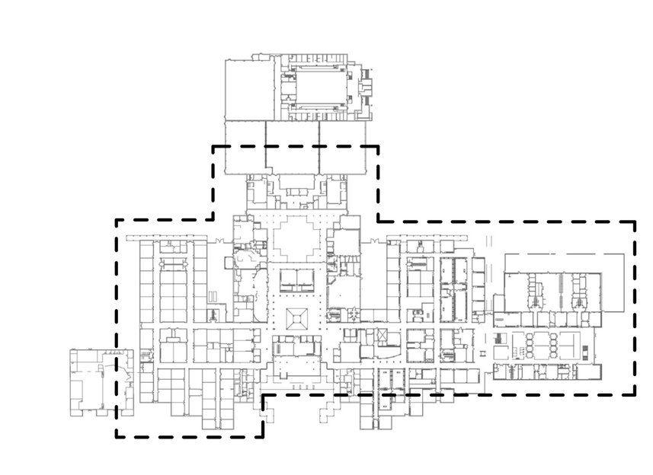
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



KEY PLAN

TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	CODE ANALYSIS INFORMATION

Drawing Number A0.20

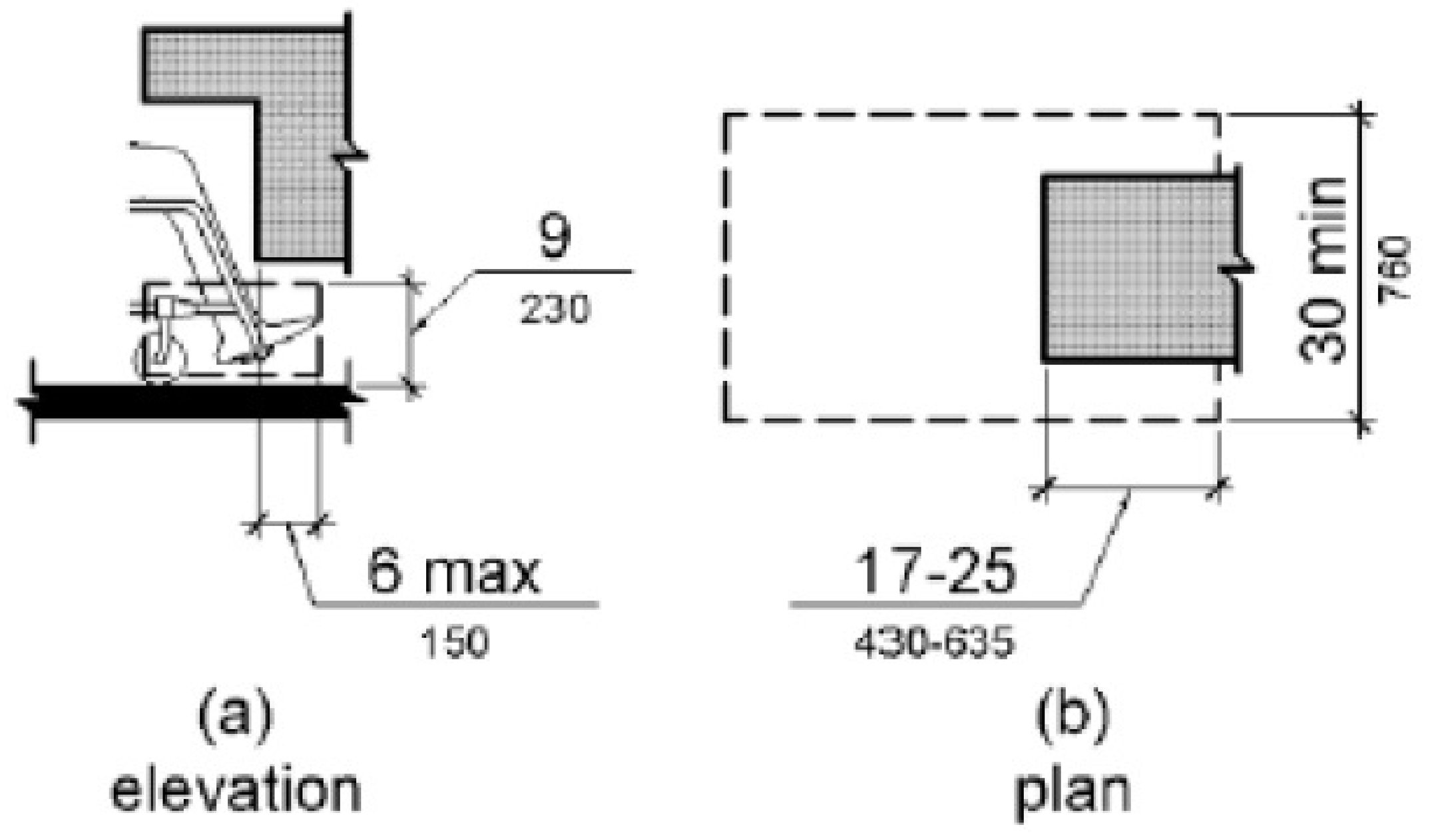


Figure 306.2 Toe Clearance

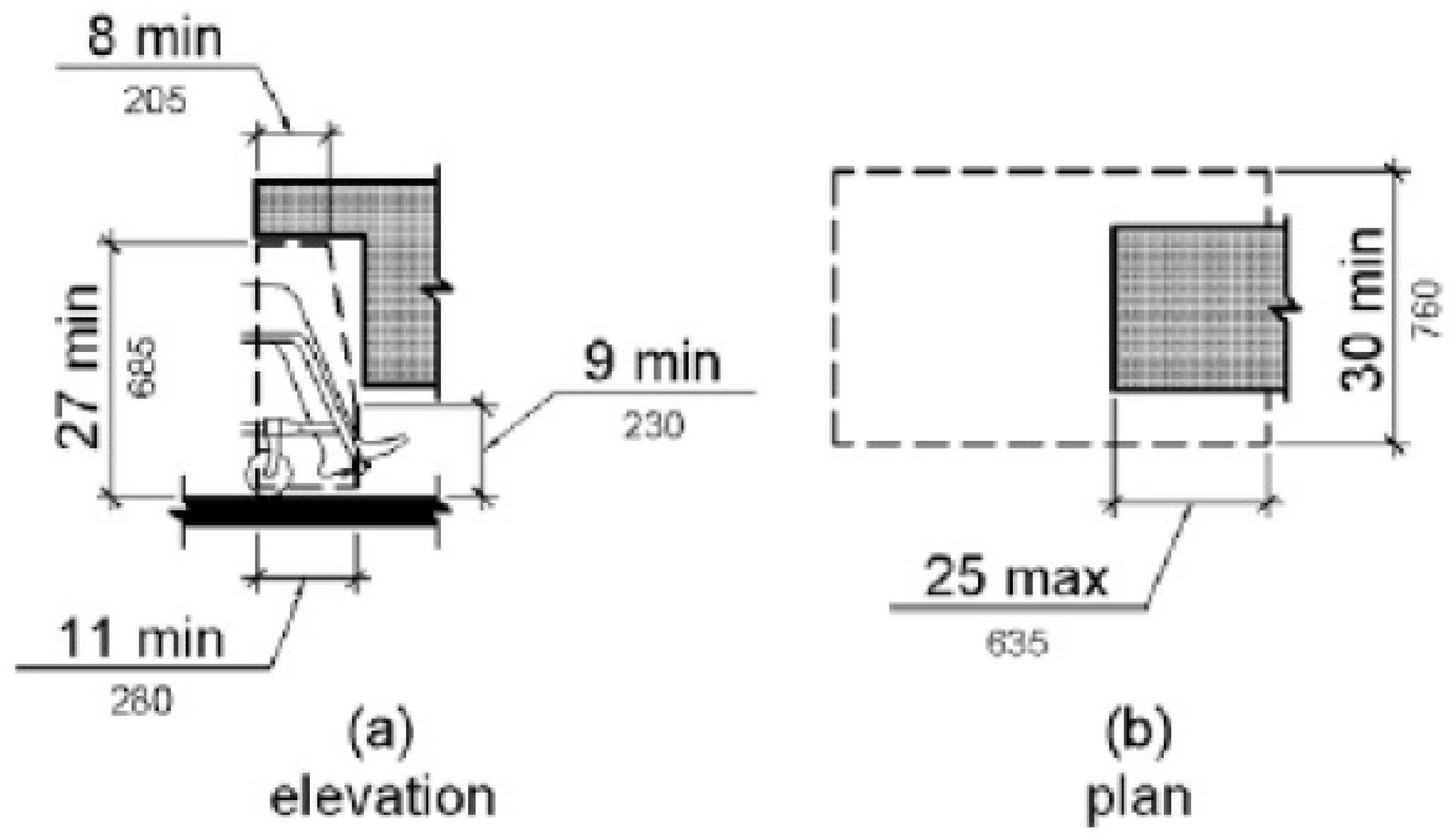


Figure 306.3 Knee Clearance

Advisory 308.1 General. The following table provides guidance on reach ranges for children according to age where building elements such as coat hooks, lockers, or operable parts are designed for use primarily by children. These dimensions apply to either forward or side reaches. Accessible elements and operable parts designed for adult use or children over age 12 can be located outside these ranges but must be within the adult reach ranges required by 308.

Children's Reach Ranges

Forward or Side Reach	Ages 3 and 4	Ages 5 through 8	Ages 9 through 12
High (maximum)	36 in (915 mm)	40 in (1015 mm)	44 in (1120 mm)
Low (minimum)	20 in (510 mm)	18 in (455 mm)	16 in (405 mm)

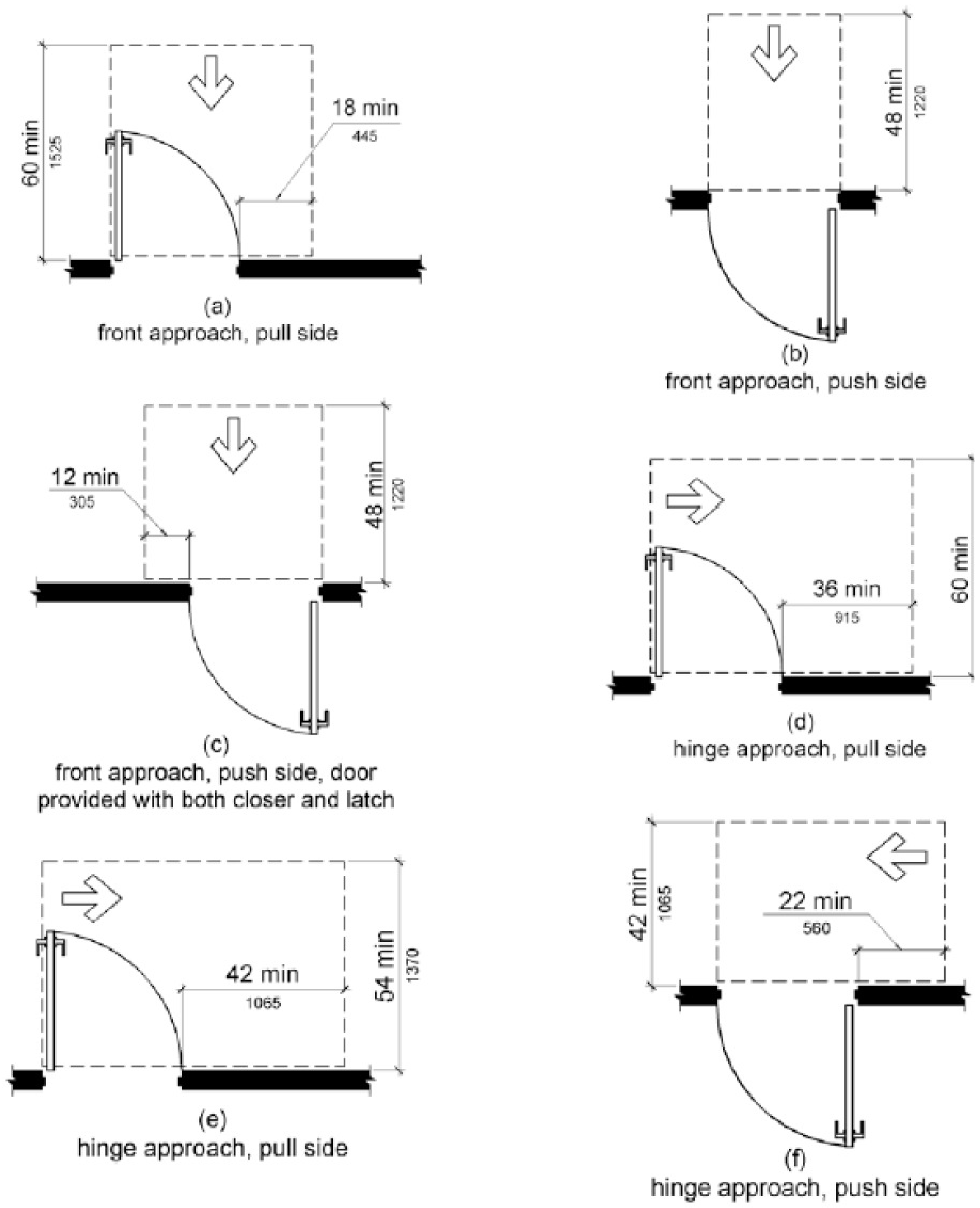
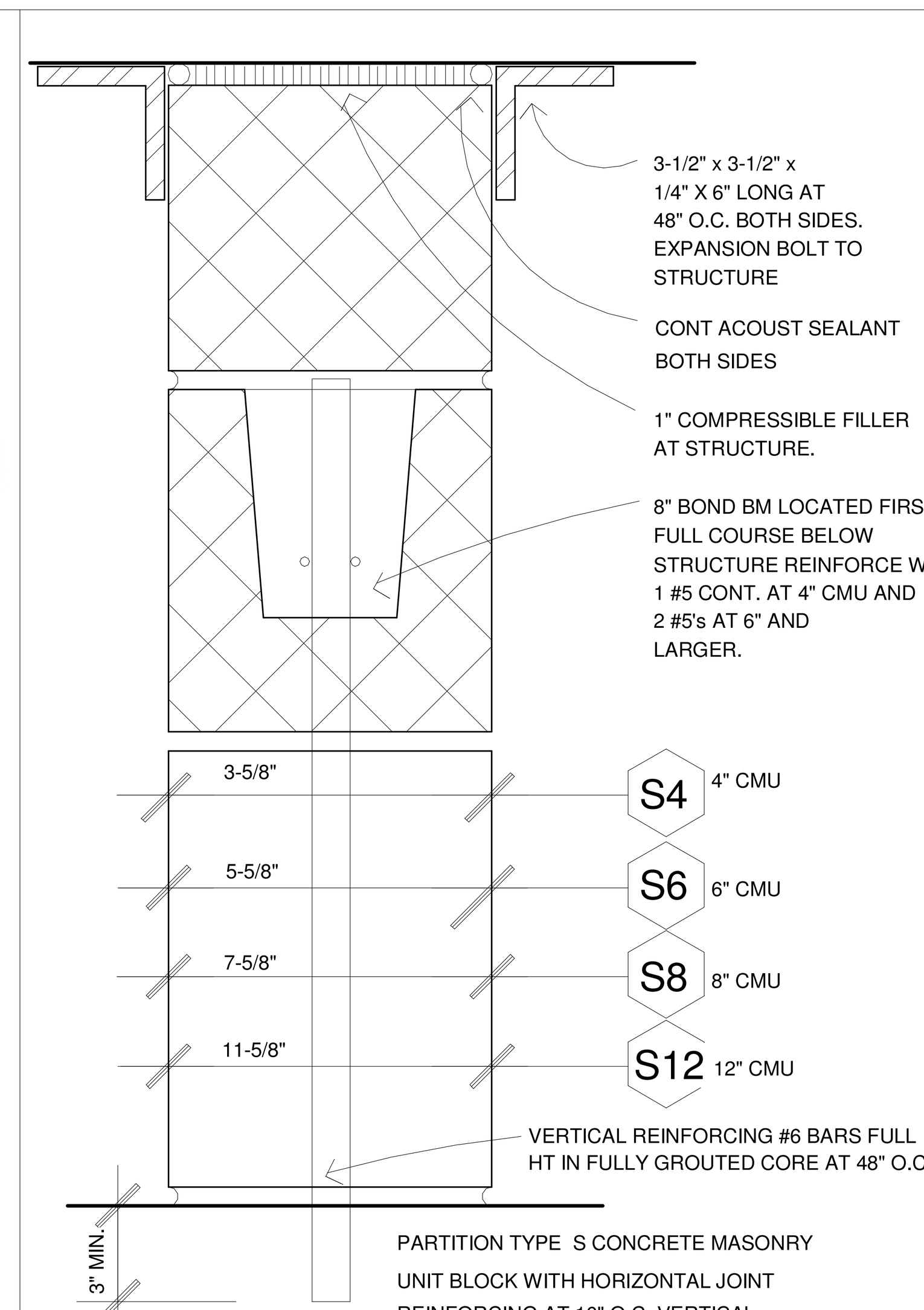


Figure 404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates

26 ACCESSIBILITY INFORMATION
SCALE: NOT TO SCALE

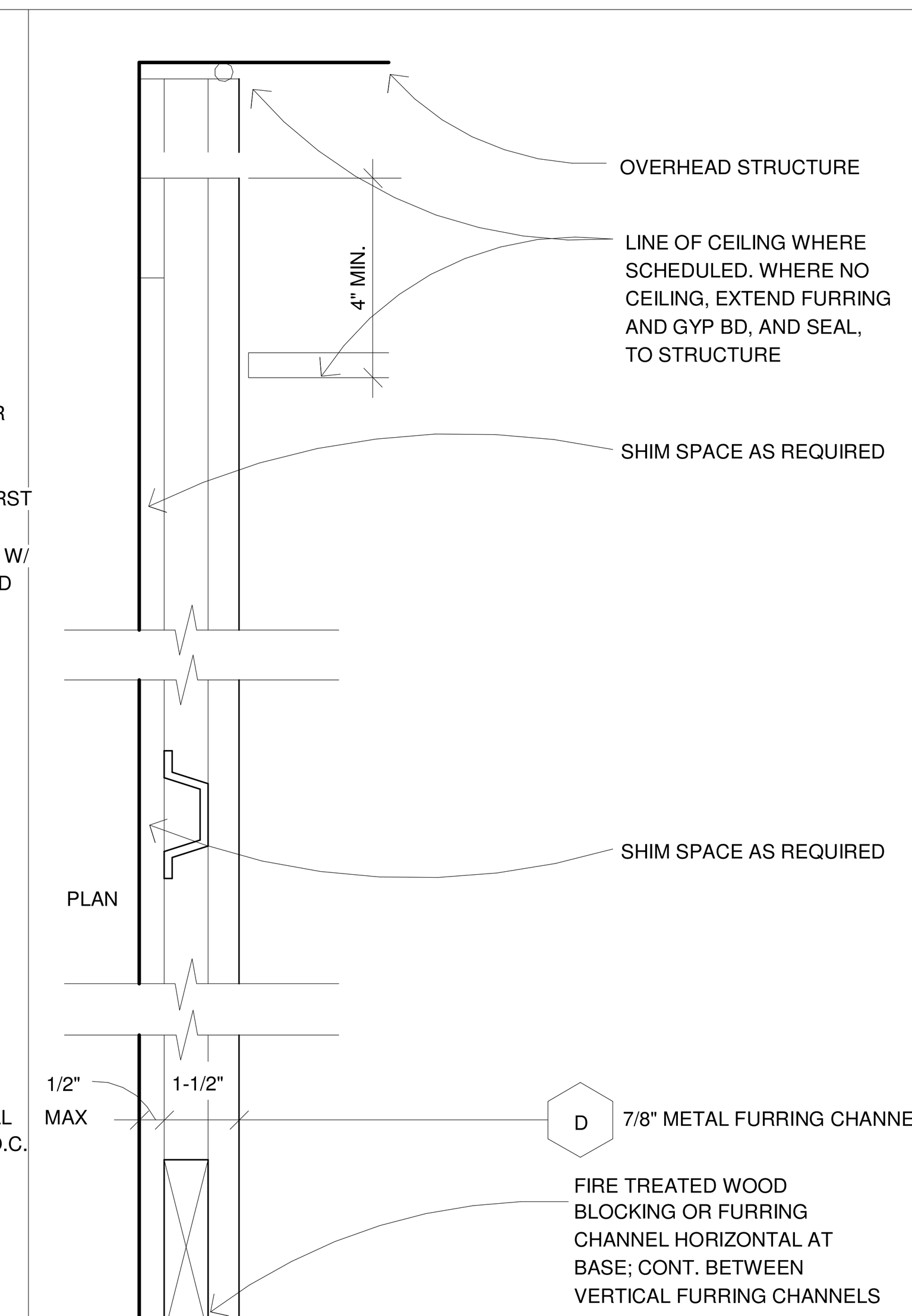


PARTITION TYPE S CONCRETE MASONRY UNIT BLOCK WITH HORIZONTAL JOINT REINFORCING AT 16" O.C. VERTICAL.

PARTITION TYPE	* LIMITING HEIGHT	* FIRE RATING	** STC RATING
S4	6'-10"	-	43
S6	21'-0"	-	46
S8	27'-3"	-	49
S12	37'-3"	2 HR UL-U905	--

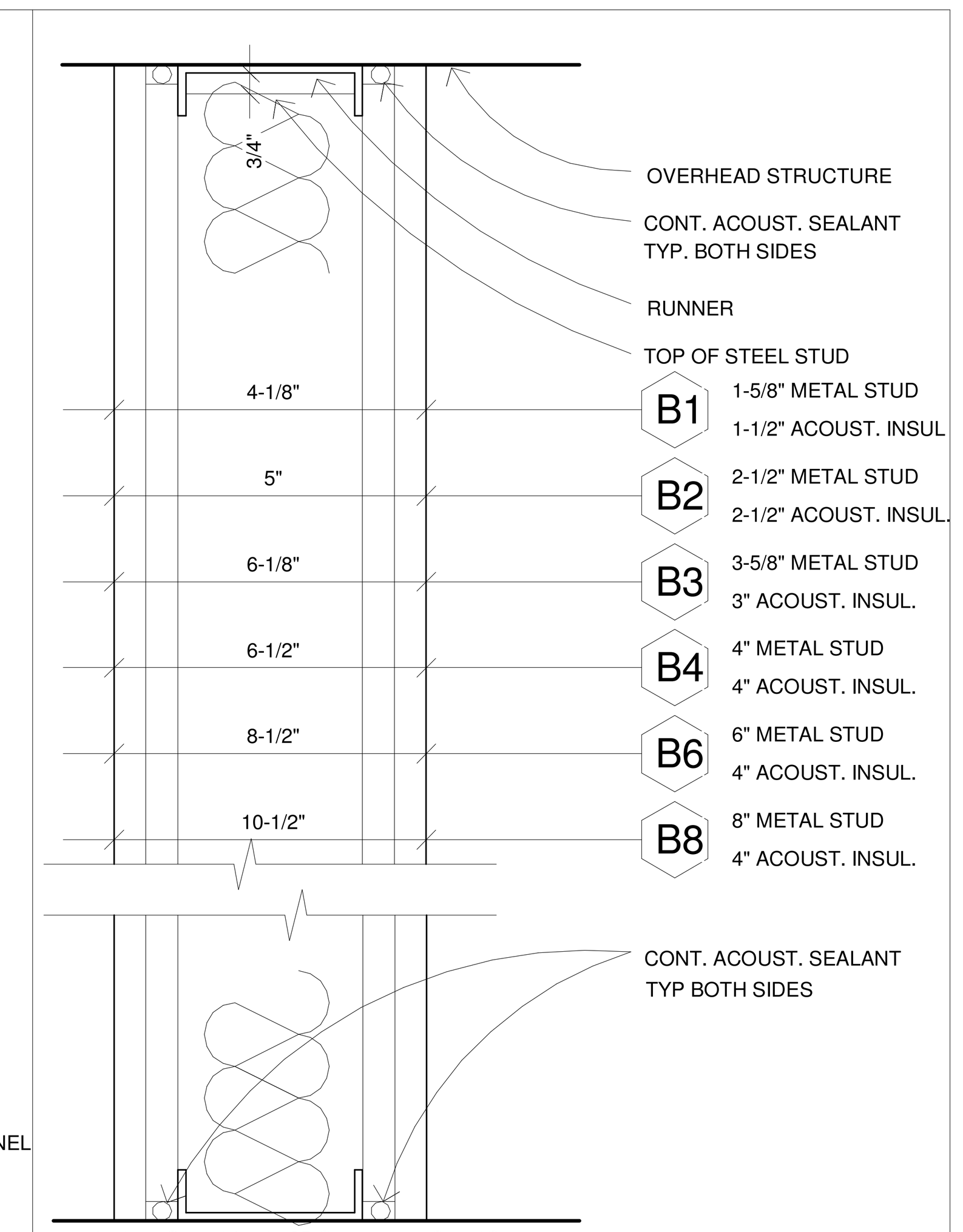
* LIMITING HEIGHTS AND FIRE RATING MAY VARY DEPENDENT ON GOVERNING CODE.
* REINFORCING MAY VARY, REFERENCE STRUCTURAL FOR REINFORCING REQUIREMENTS.
** STC RATINGS INCLUDE SEALING ONE SIDE OF CMU WALL.

15 PARTITION TYPE S
Scale: NTS



PARTITION TYPE D: 7/8" METAL FURRING CHANNELS AT 24" O.C., ANCHORED TO SUBSTRATE, W/ 5/8" GYP. BD. ON FINISHED SIDE.

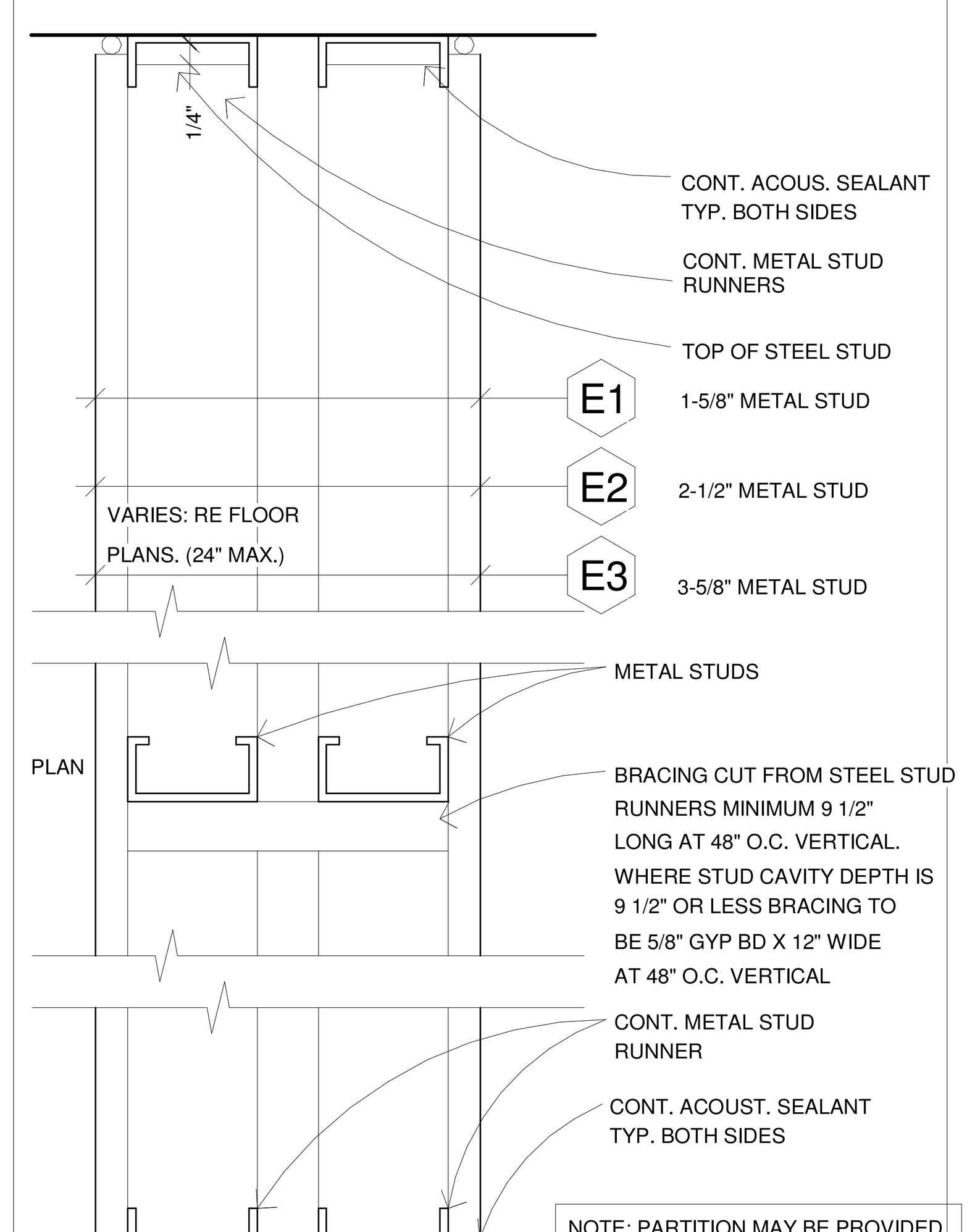
10 PARTITION TYPE D
Scale: NTS



PARTITION TYPE B: 25 GA. METAL STUDS WITH TWO LAYERS 5/8" GYP BD EACH SIDE AND ACOUSTICAL INSULATION FULL HEIGHT.

PARTITION TYPE	LIMITING HT. 24" O.C.	LIMITING HT. 16" O.C.	FIRE RATING	STC RATING
B1	8'-9"	10'-6"	2 HR UL U419	--
B2	11'-3"	13'-6"	2 HR UL U411	STC 51
B3	13'-6"	16'-9"	2 HR UL U411	STC 56
B4	14'-3"	17'-3"	2 HR UL U411	STC 56+
B6	15'-0"	20'-0"	2 HR UL U411	STC 56+
B8	15'-0"	20'-0"	2 HR UL U411	STC 56+

05 PARTITION TYPE B
Scale: NTS



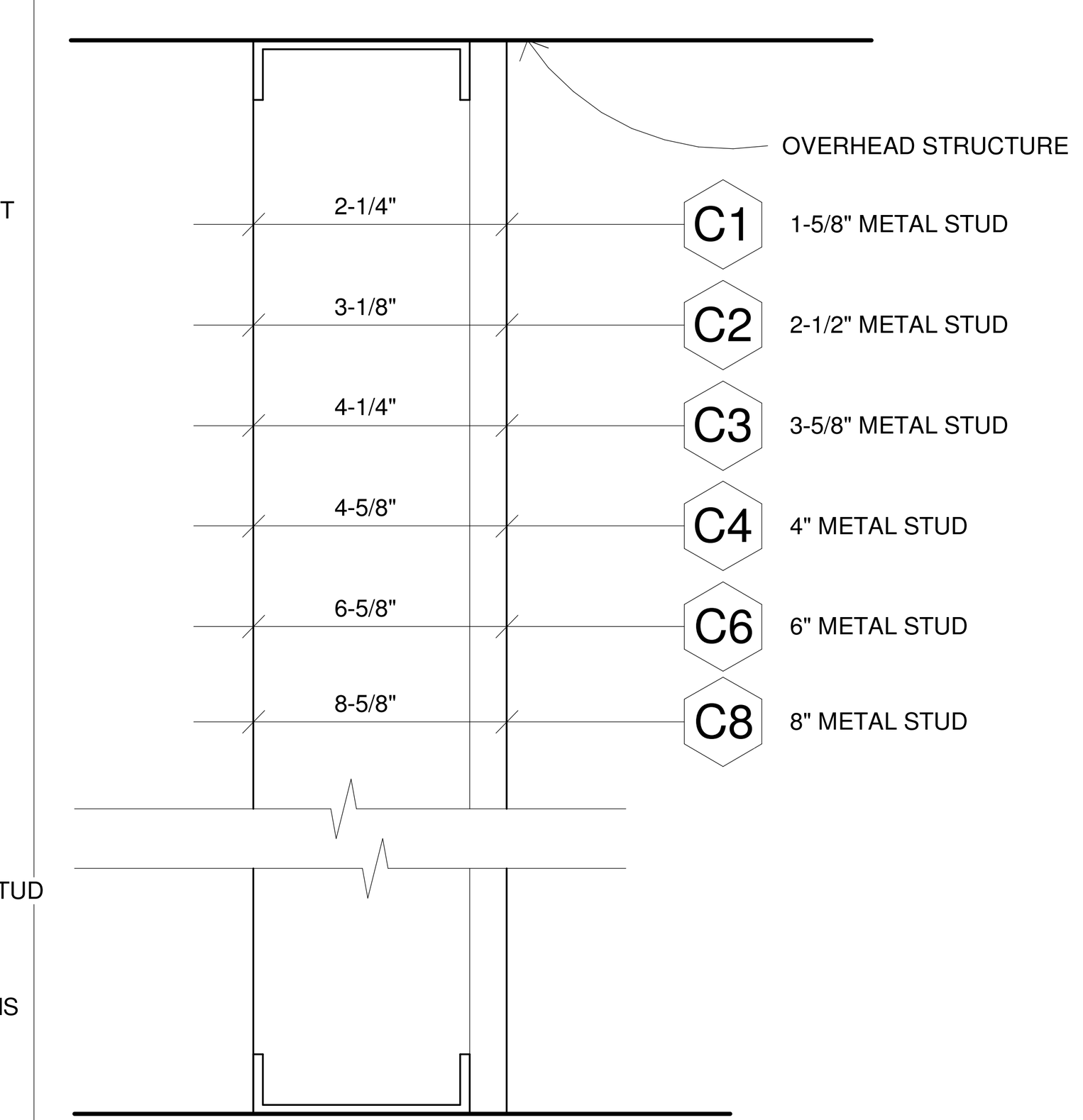
NOTE: PARTITION MAY BE PROVIDED WITH FULL-DEPTH ACOUSTICAL BATTS ON BOTH STUDS. (NOT SHOWN). RE: SHEETS A0.31 - A0.33.

PARTITION TYPE E: TWO 25 GA. METAL STUD WALLS IN BOTH WALLS AND ONE LAYER OF 5/8" GYP BD ON EACH SIDE.

PARTITION TYPE	LIMITING HT. 24" O.C. L/240	LIMITING HT. 16" O.C. L/240	LIMITING HT. 24" O.C. L/360	LIMITING HT. 16" O.C. L/360	FIRE RATING
E1	11'-6"	13'-3"	10'-0"	11'-6"	1 HR UL U420
E2	15'-6"	17'-6"	13'-6"	15'-6"	1 HR UL U420
E3	19'-3"	22'-9"	17'-3"	19'-9"	1 HR UL U420

PARTITION USED MAINLY WITH BRITTLE FINISHES L/360

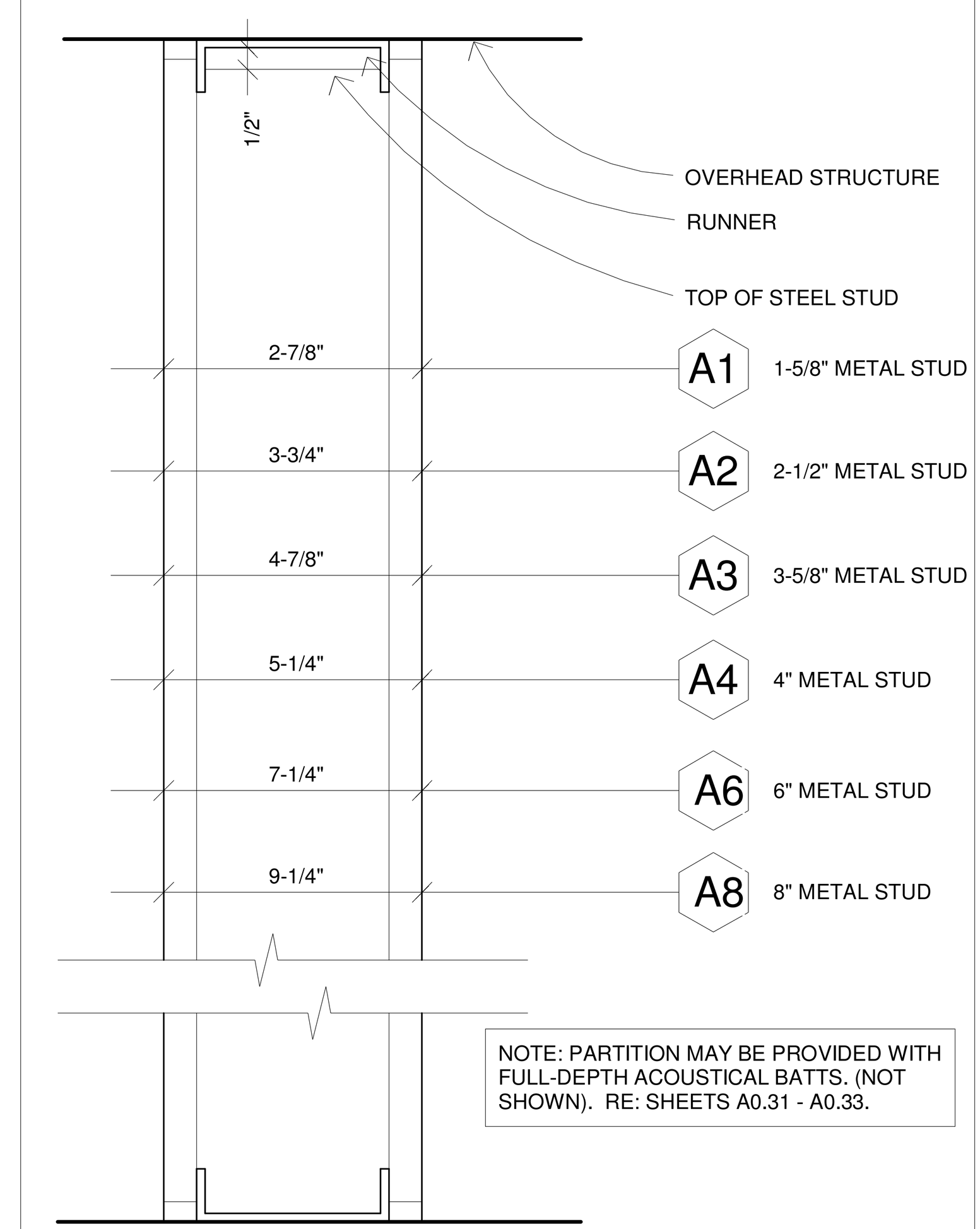
14 PARTITION TYPE E
Scale: NTS



PARTITION TYPE C: 25 GA. METAL STUDS WITH ONE LAYER OF 5/8" GYP BD AT FINISHED SIDE.

PARTITION TYPE	LIMITING HT. 24" O.C.	LIMITING HT. 16" O.C.
C1	7'-3"	8'-3"
C2	9'-9"	11'-0"
C3	12'-9"	14'-6"
C4	13'-9"	15'-9"
C6	15'-0"	20'-0"

09 PARTITION TYPE C
Scale: NTS



NOTE: PARTITION MAY BE PROVIDED WITH FULL-DEPTH ACOUSTICAL BATTS. (NOT SHOWN). RE: SHEETS A0.31 - A0.33.

PARTITION TYPE A: 25 GA. METAL STUDS WITH WITH ONE LAYER OF 5/8" GYP BD EACH SIDE.
STC RATING ** WITH FULL PERIMETER ACOUSTICAL SEALANT

PARTITION TYPE	LIMITING HT. 24" O.C.	LIMITING HT. 16" O.C.	FIRE RATING	STC RATING **	STC RATING W/SOUND BATT INSULATION **
A1	8'-3"	9'-6"	--	38	38
A2	10'-9"	12'-6"	1 HR UL U419	38+	47
A3	13'-6"	16'-0"	1 HR UL U465	40	48+
A4	14'-3"	17'-3"	1 HR UL U465	40+	48+
A6	15'-0"	20'-0"	1 HR UL U465	40+	48+

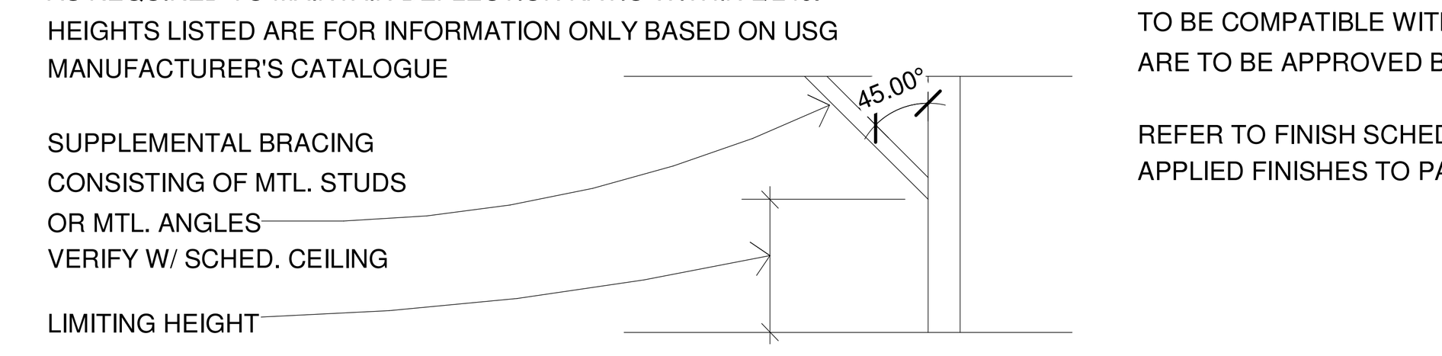
04 PARTITION TYPE A
Scale: NTS

A1 ← PARTITION DESIGNATION

ALL PARTITION TYPES SHOWN HERE ARE DRAWN GRAPHICALLY AS NON FIRE RATED

STUD SPACING IS TYPICALLY 16" O.C. UNLESS OTHERWISE NOTED.

LIMITING HEIGHTS INDICATED GIVE THE MAXIMUM UNSUPPORTED HEIGHT FOR THAT PARTITION TYPE BASED ON A DEFLECTION CRITERIA RATIO OF L/240. WHERE FLOOR TO STRUCTURE HEIGHT OF PARTITION EXCEEDS THE INDICATED LIMITING HEIGHT, PROVIDE SUPPLEMENTAL BRACING TO THE STRUCTURE OVERHEAD AS REQUIRED TO MAINTAIN DEFLECTION RATIO WITHIN L/240. HEIGHTS LISTED ARE FOR INFORMATION ONLY BASED ON USG MANUFACTURER'S CATALOGUE



FOR PARTITIONS WITH "BRITTLE" FINISHES SUCH AS PLASTER AND CERAMIC TILE, DESIGN PARTITION SYSTEM TO MAINTAIN DEFLECTION RATIO WITHIN L/360.

SUSPENDED CEILINGS SHALL NOT BE CONSIDERED AS BRACING.

WHERE GYPSUM WALLBOARD IS THE SUBSTRATE FOR APPLICATION OF CERAMIC TILE, PROVIDE "WATER-RESISTANT" BOARD. WHERE FIRE RESISTIVE CONSTRUCTION IS INDICATED, PROVIDE FIRE RESISTIVE W/R BOARD.

STC RATINGS SHOWN FOR SOUND WALLS ARE BASED ON LABORATORY TESTED ASSEMBLIES AND DO NOT NECESSARILY INDICATE THE ACTUAL STC RATING OF THE COMPLETED WORK. PROVIDE MTL. DECK FILLERS WHERE FULL HEIGHT PARTITIONS ARE PERPENDICULAR TO SPAN OF DECK. DECK FILLERS ARE TO BE COMPATIBLE WITH ALL FIRE RATED ASSEMBLIES AND ARE TO BE APPROVED BY ALL GOVERNING AGENCIES.

REFER TO FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR APPLIED FINISHES TO PARTITIONS

06 PARTITION TYPE NOTES
Scale: NTS

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

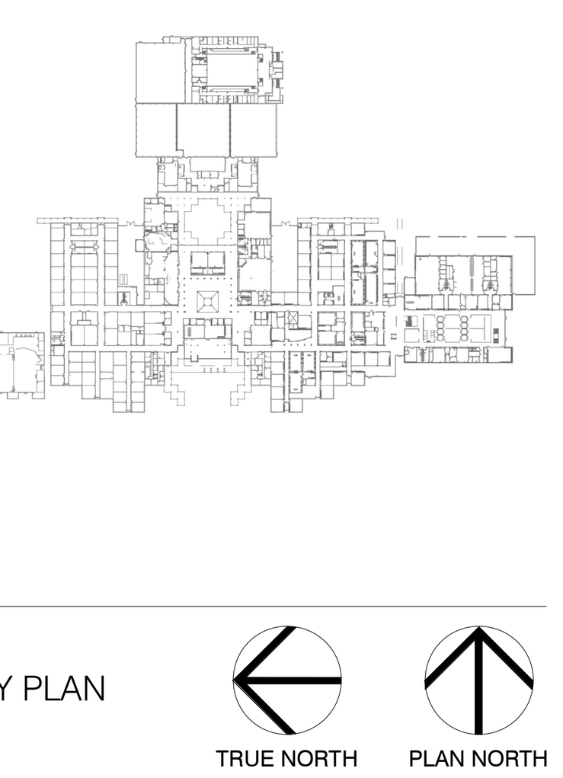
CONSULTANTS:
MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120
STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

A PROJECT FOR:
STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS
1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION

KEY PLAN



Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	PARTITION TYPES & ACCESSIBILITY REQUIREMENTS
Drawing Number	A0.30

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net
AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

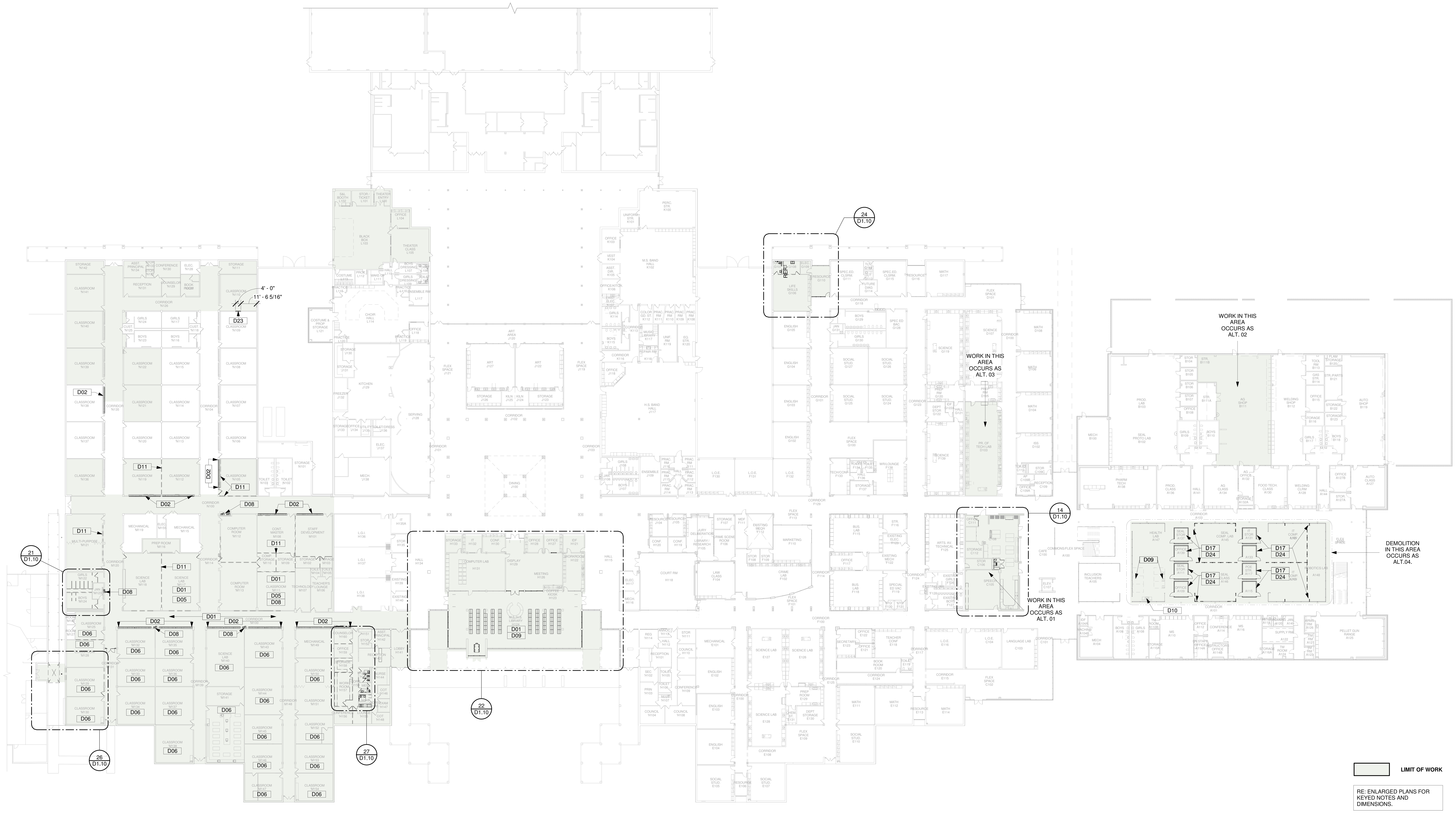
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



RE: ENLARGED PLANS FOR KEYED NOTES AND DIMENSIONS.

27 OVERALL DEMOLITION PLAN
Scale: 1" = 30'-0"

26 LEGEND
Scale: NTS

5	COLUMN GRID BUBBLE & LINE
A	WINDOW TYPE KEY
1-3/4"	DIMENSION
01	DOOR NUMBER KEY
A5/A5.10	BUILDING SECTION
A2/A6.02	WALL SECTION
B5/A8.03	BUILDING ELEVATION
B5/A8.03	INTERIOR ELEVATION
(X)	EXISTING (NO WORK)
*	KEYED NOTE
C2/A9.05	SECTION DETAIL
01 A2.00	ENLARGED PLAN DETAIL

11 SUPPORT NOTES
Scale: NTS

Dimension & Alignment Support Notes:

- ***ALIGN 1:*** *Align face of new construction w/face of existing.*
- ***ALIGN 2:*** *Align Centerline of new construciton w/Centerline of existing.*
- ***ALIGN 3:*** *Align gridline/join grid w/existing grid.*
- ***LEVEL 1:*** *Ensure top of new construction is level w/existing surface.*
- ***LEVEL 2:*** *Level floor & surface to recieve new construction.*
- ***LEVEL 3:*** *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

- ***HANDLE 1:*** *Handle item w/care, and store for owner review.*
- ***HANDLE 2:*** *Handle remaining building, pavement, fence, or item w/care.*
- ***HANDLE 3:*** *Handle re-located items with care. DISCONNECT 1, FIXW.*
- ***FIXW:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***FIX1:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***SITE1:*** *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
- ***INFO1:*** *Inform Architect prior to the start of this work.*
- ***CONNECT1:*** *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
- ***CONNECT2:*** *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
- ***DISCONNECT1:*** *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
- ***ENGINEER1:*** *Professional engineering supervision is required for this work.*
- ***SHOP1:*** *Provide shop drawings for this work.*
- ***REFERENCE:*** *Refer to photo # for the existing condition at this location.*
- ***SLOPE1:*** *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
- ***PROTECT1:*** *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
- ***EGRESS:*** *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
- ***TREE1:*** *Refer to Landscape Drawings & Specs for removing trees.*
- ***OPERATE:*** *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
- ***ENSURE1:*** *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
- ***ENSURE2:*** *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
- ***ENSURE3:*** *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
- ***PHASE1:*** *Work within this area may occur in phase ONE.*
- ***PHASE2:*** *Work within this area may occur in phase TWO.*

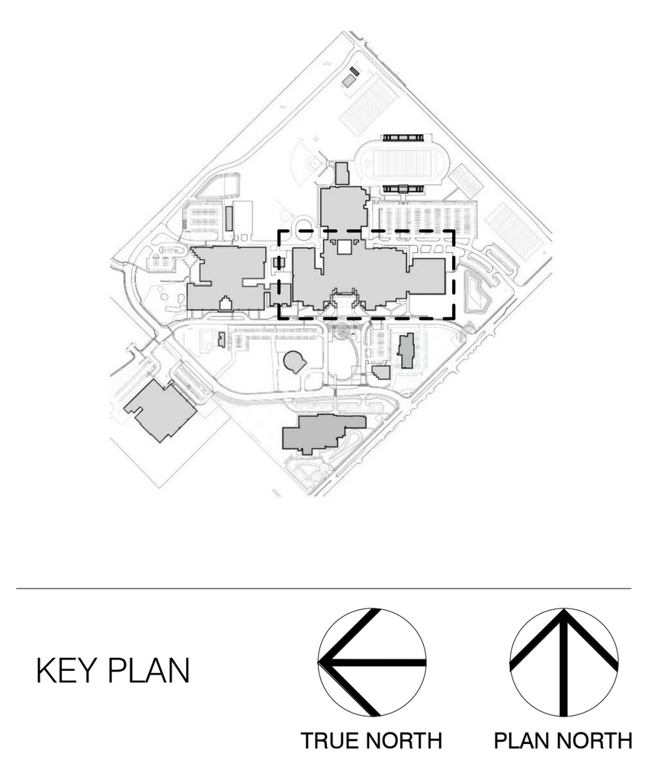
06 KEYNOTES
Scale: NTS

D01	REMOVE CEILING TILE, LIGHT FIXTURES FROM THIS SPACE. PREPARE AREA TO RECEIVE NEW CONSTRUCTION. ADJUST CEILING EQUIPMENT AND PLENUM. RE: NEW CONSTRUCTION PLAN & SPECS. (FIXW; HANDLE 2)
D02	REMOVE METAL LOCKERS & FIX WALLS/ FLOOR/ CEILING TO RECEIVE NEW CONSTRUCTION PLAN & SPECS (FIXW; HANDLE 1).
D05	REMOVE EXISTING FLOORING AND PREPARE THE AREA TO RECEIVE THE NEW CONSTRUCTION. RE: CONSTRUCTION PLAN & SPECS. (FIXW; HANDLE 2)
D06	REMOVE EXISTING CEILING PROJECTOR. POWER / DATA / AV CABLING TO BE RE-ROUTED AND RE-TERMINATED AT NEW WALL-MOUNTED SMART-PROJECTOR LOCATION. RE: NEW CONSTRUCTION PLAN, MEP DRAWINGS, AND SPECS. (FIXW; HANDLE 2)
D08	REMOVE PLUMBING FIXTURES PREPARE AREA TO RECEIVE NEW CONSTRUCTION. (FIXW; HANDLE 2, DISCONNECT 1)
D09	REMOVE ALL FURNITURE, FURNITURE SYSTEMS, SHELVES & MILLWORK IN THIS AREA, REPAIR WALL AS NEEDED. (HANDLE 1; FIXW)
D10	REMOVE EXISTING MILLWORK AS INDICATED. (FIX 1; PROTECT 1)
D11	REMOVE INTERIOR PARTITIONS AND DOORS AS INDICATED AT THIS LOCATION TO ALLOW FOR NEW CONSTRUCTION. RE: NEW CONSTRUCTION PLANS & SPECS. (FIXW, PROTECT 1)
D12	REMOVE PORTIONS OF EXISTING STOREFRONT AS INDICATED IN NEW CONSTRUCTION DETAILS AND PREPARE AREA TO RECEIVE NEW CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR SEQUENCING THE WORK OF THIS ITEM TO KEEP THE BUILDING WEATHERTIGHT UNTIL THE COMPLETION OF THIS TASK.
D17	REMOVE EXISTING MOVABLE PARTITIONS AS INDICATED. RE: CONSTRUCTION PLANS FOR MOVABLE PARTITION SECTIONS TO BE REINSTALLED. (HANDLE 1; FIXW)
D23	REMOVE INDICATED PORTION OF WALL CREATING AN OPENING BETWEEN THE TWO ROOMS, HEIGHT SIMILAR TO DOORS @ SAME ROOM (HANDLE 2; FIX1; PROTECT1)
D24	CAP ELECTRICAL CONNECTIONS BELOW RAISED FLOOR. REPLACE FLOORING AND REPAIR / REPLACE CARPET. (FIXW)

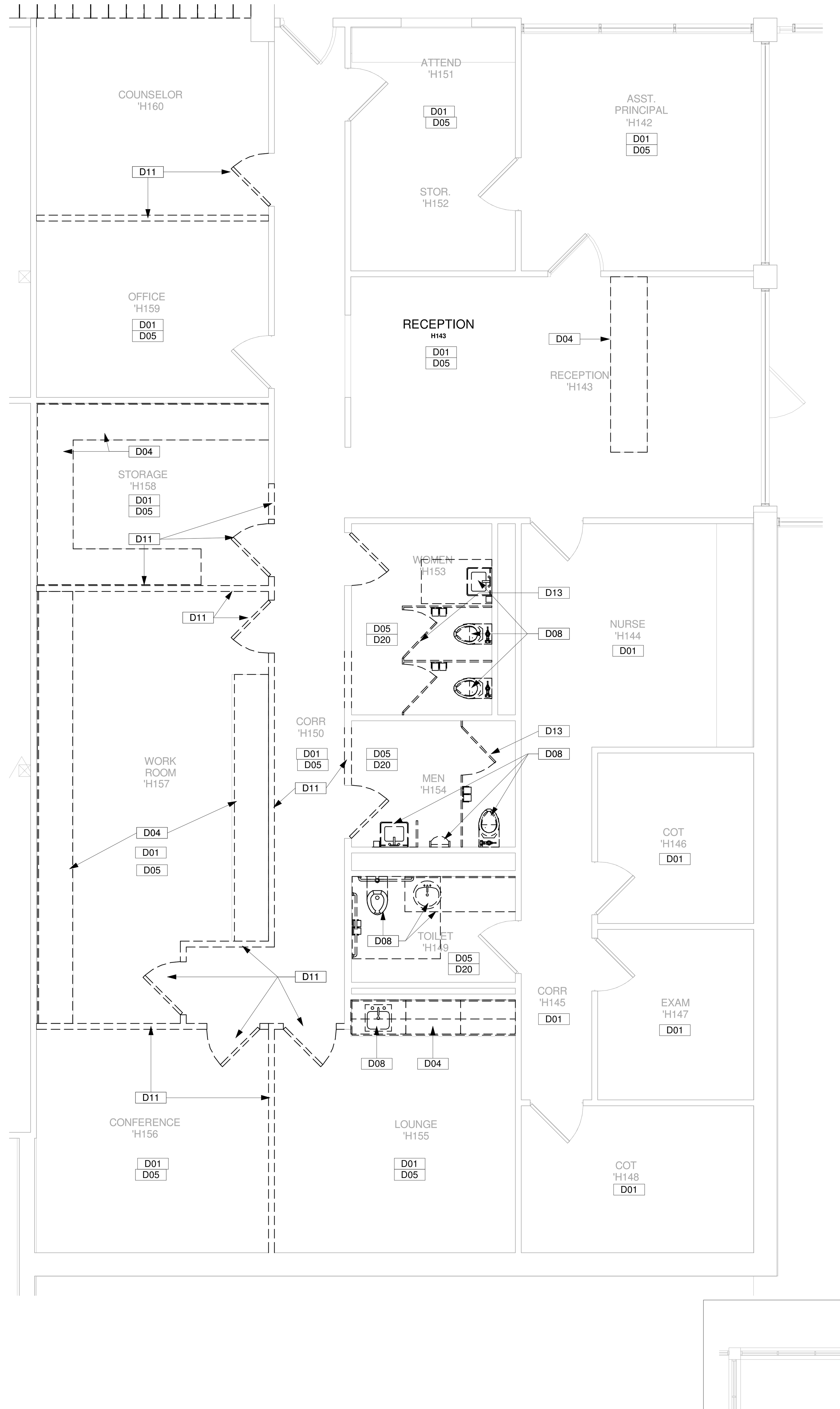
01 GENERAL NOTES - DEMOLITION
Scale: NTS

1. HANDLE THE BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING OR DISTURB ANY SYSTEM THAT SHOULD REMAIN OR REQUIRED FOR OPERATION. REPORT TO THE ARCHITECT ANY INDICATION OF DAMAGE OR POSSIBLE DISRUPTION OF OPERATION.
2. DURING DEMOLITION PROTECT ITEMS TO REMAIN INCLUDING STRUCTURE SYSTEM, ARCHITECTURE, MEP/IT SYS, FURNITURE, FIRE ALARM, SECURITY DEVICES, ROOF, SIDEWALKS, UTILITIES, ETC.
3. ENSURE THERE IS NO INTERRUPTION TO SCHOOL OPERATIONS DURING THE DEMOLITION PHASE.
4. ALL ALARM & SECURITY DEVICES TO REMAIN IN OPERATION DURING DEMOLITION.
5. ALL UTILITIES & POWER TO REMAIN DURING DEMOLITION PHASE.
6. ALL SECURITY CAMERAS, ALARM DEVICES, HVAC THERMOSTATS, OR LIGHT SWITCHES THAT CONFLICT WITH NEW CONSTRUCTION TO BE RELOCATED AND/OR ADJUSTED TO REMAIN FULLY FUNCTIONAL AS INTENDED. REFER TO ARCHITECT FOR DIRECTION.
7. MAINTAIN SAFE & UNRESTRICTED EGRESS ROUTE FOR THE DURATION OF THE DEMOLITION. COMPLY WITH ALL APPLICABLE CODES.
8. REPORT TO ARCHITECT ANY UN-SEEN DISCOVERED CONDITIONS THAT MAY HAVE STRUCTURAL, MEP, OR ARCHITECTURAL COMPLICATIONS AFFECTING THE PROJECT SCHEDULE/CONSTRUCTION/COST/OPERATION.
9. REMOVE ABUNDANT CABLE, SYSTEMS, LIGHT FIXTURE. (FIXW)
10 SAW-CUT & REMOVE EXISTING SIDEWALK/ PAVEMENT AS INDICATED TO ALLOW FOR NEW CONSTRUCTION. RE: NEW CONSTRUCTION PLAN. (SITE1, HANDLE2, PROTECT1, OPERATE).

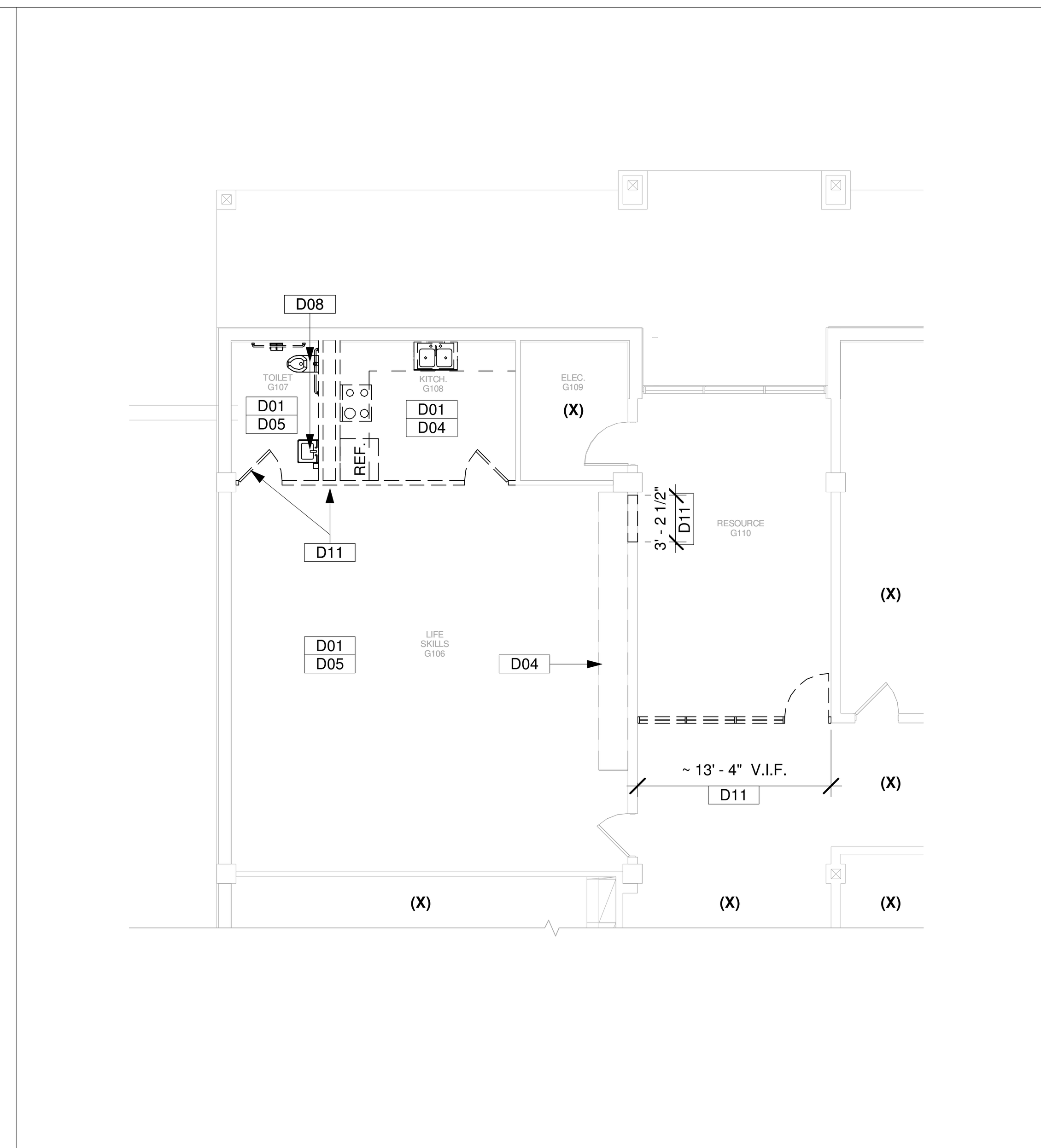
KEY PLAN



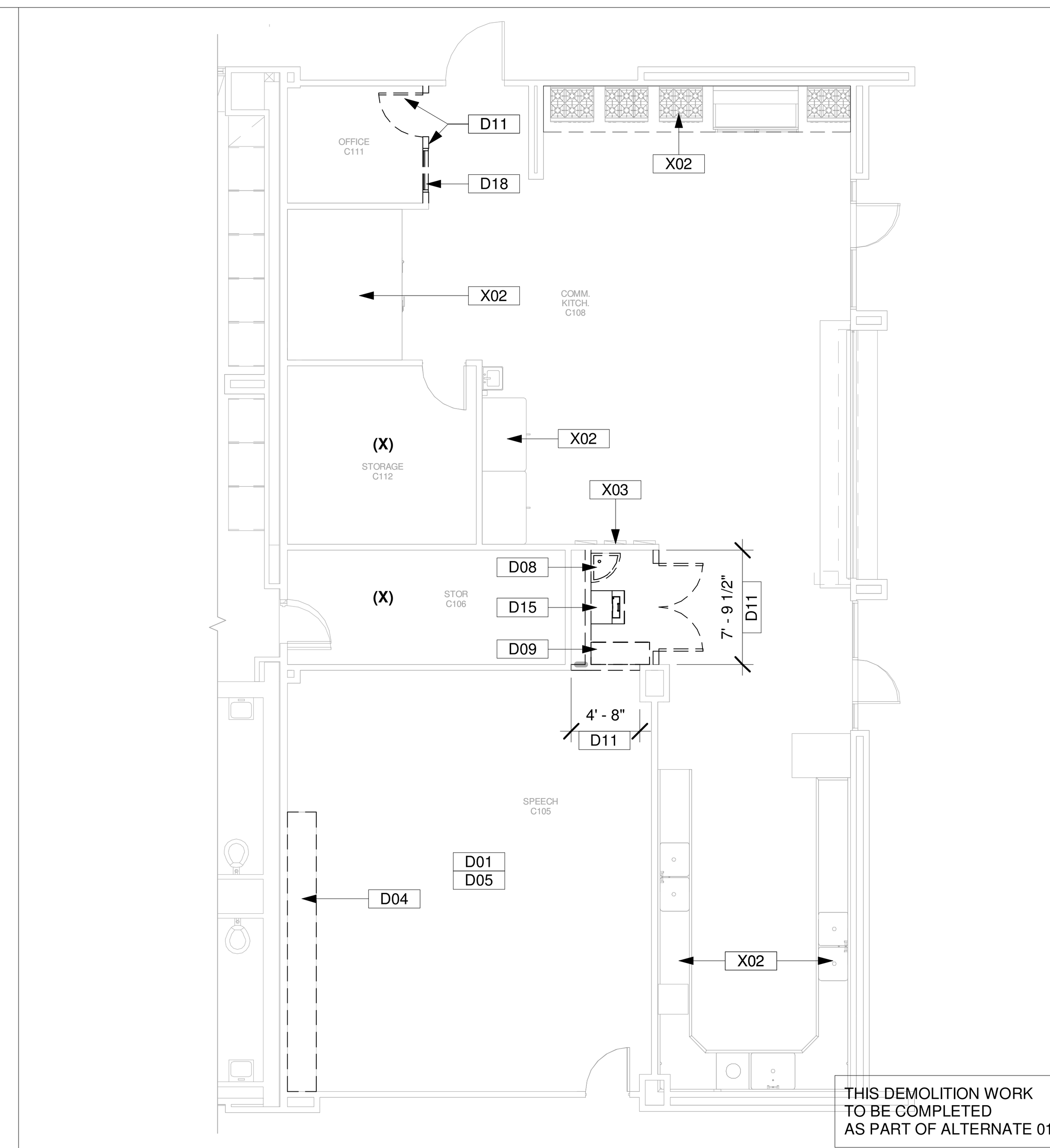
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	OVERALL DEMOLITION PLAN
Drawing Number	D1.00



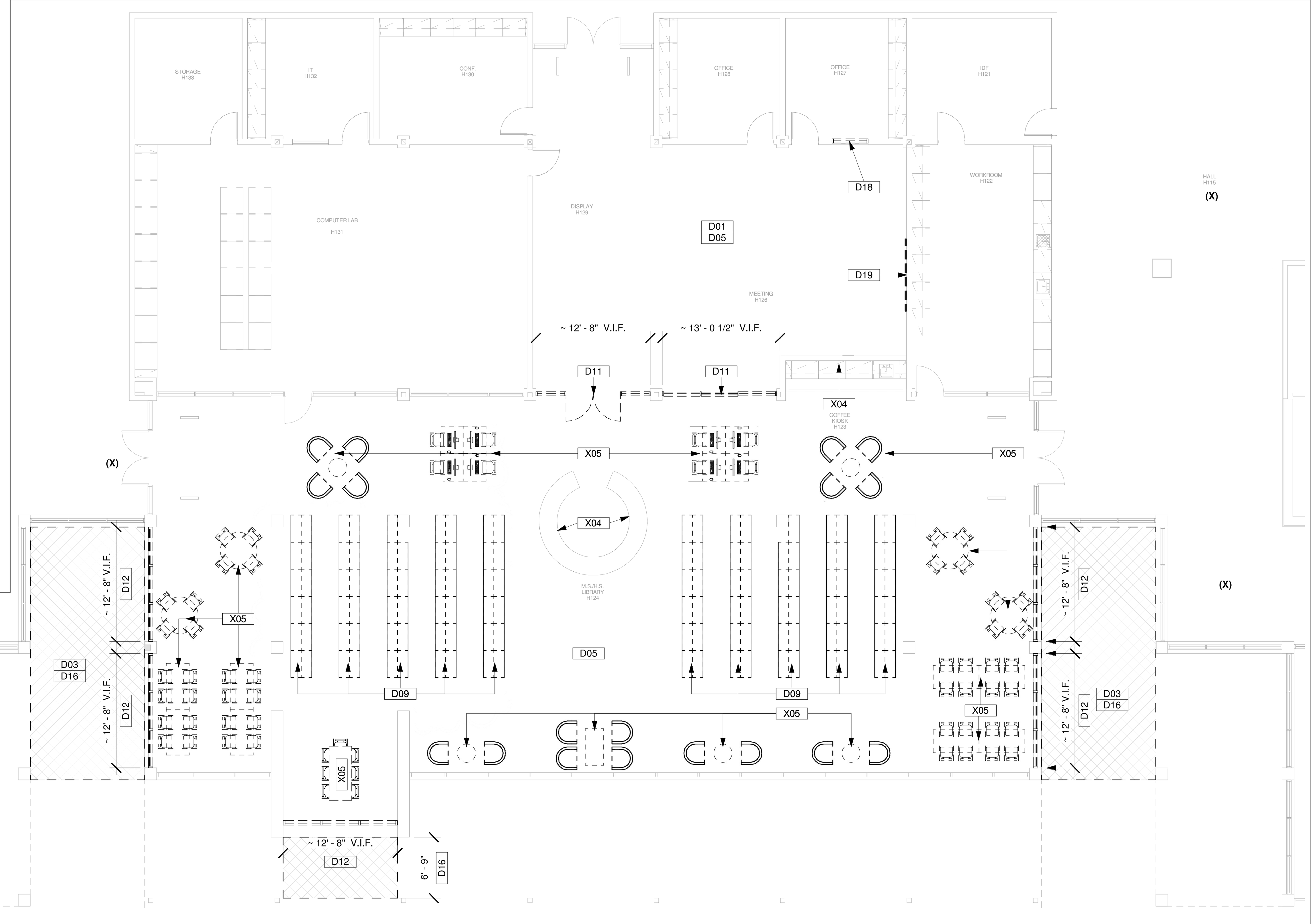
27 ENLARGED DEMOLITION PLAN - ADMIN
Scale: 1/4" = 1'-0"



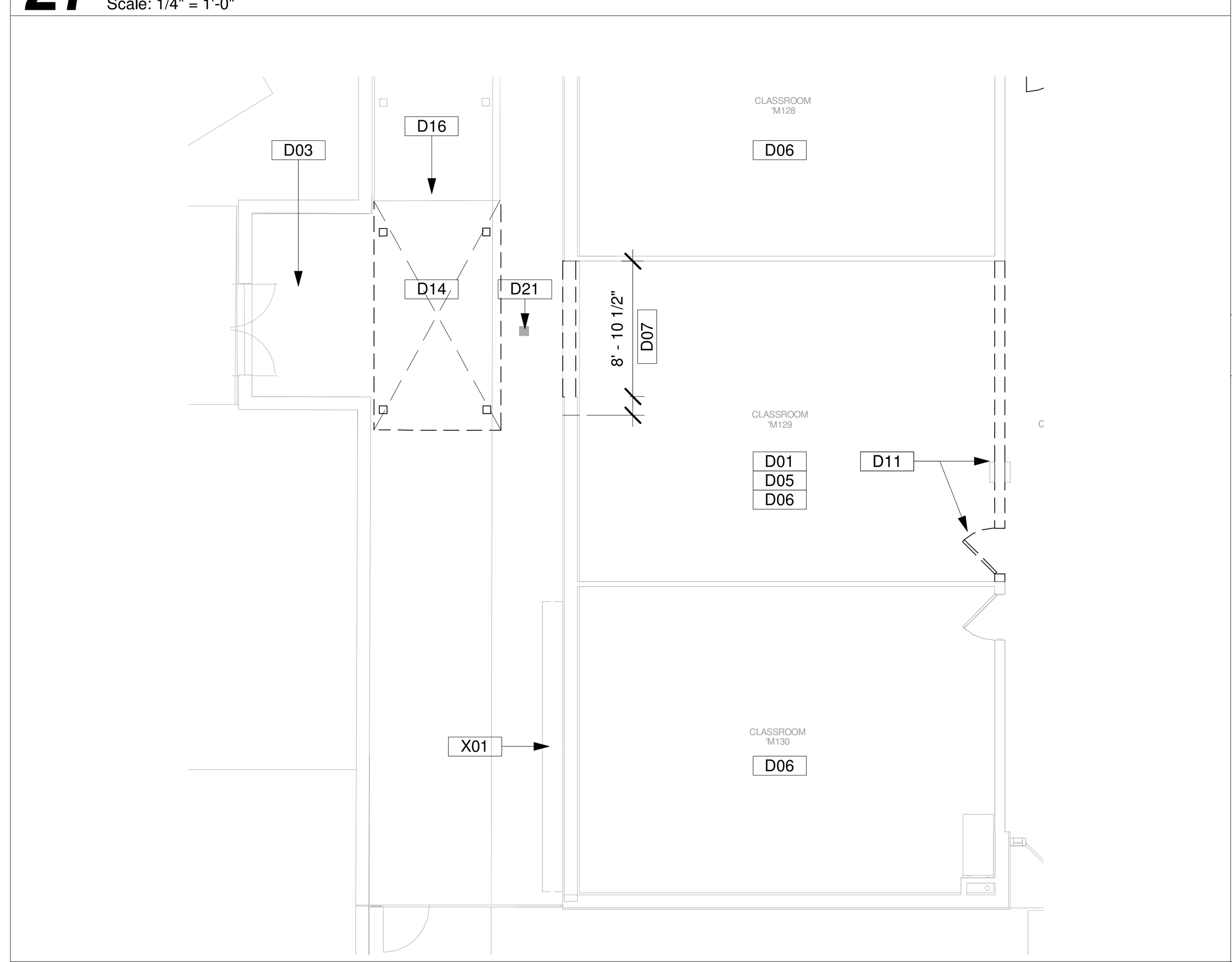
24 ENLARGED DEMOLITION PLAN - LIFE SKILLS
Scale: 1/8" = 1'-0"



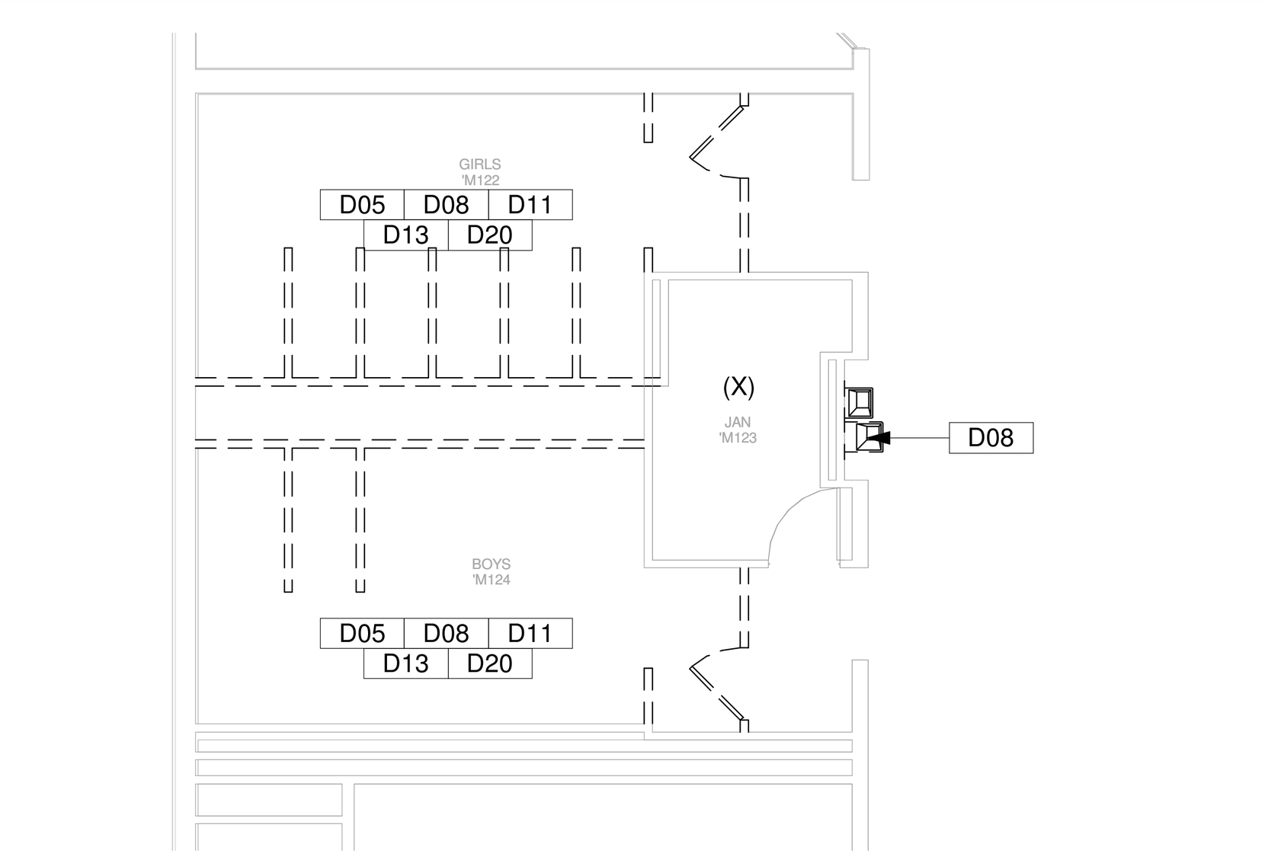
14 ENLARGED DEMOLITION PLAN - KITCHEN
Scale: 1/8" = 1'-0"



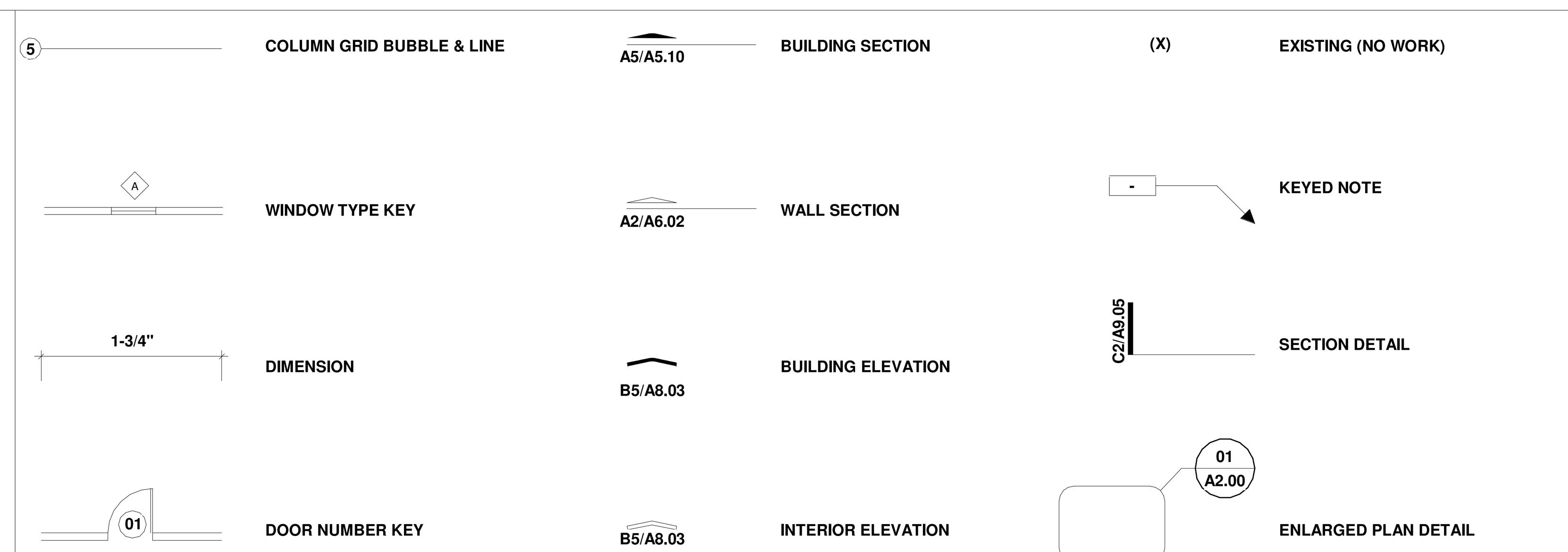
22 ENLARGED DEMOLITION PLAN - LIBRARY / CANOPY
Scale: 1/8" = 1'-0"



26 ENLARGED DEMOLITION PLAN - CONNECTOR
Scale: 1/8" = 1'-0"



21 ENLARGED DEMOLITION PLAN - RR @ MAGNET
Scale: 1/8" = 1'-0"



16 LEGEND
Scale: NTS

Dimension & Alignment Support Notes:

- ***ALIGN 1:*** *Align face of new construction w/face of existing.*
- ***ALIGN 2:*** *Align Centerline of new construciton w/Centerline of existing.*
- ***ALIGN 3:*** *Align gridline/join grid w/existing grid.*
- ***LEVEL 1:*** *Ensure top of new construction is level w/existing surface.*
- ***LEVEL 2:*** *Level floor & surface to recieve new construction.*
- ***LEVEL 3:*** *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

- ***HANDLE 1:*** *Handle item w/care, and store for owner review.*
- ***HANDLE 2:*** *Handle remaining building, pavement, fence, or item w/care.*
- ***HANDLE 3:*** *Handle re-located items with care. DISCONNECT 1, FIXW.*
- ***FIXW:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***FIX1:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***SITE1:*** *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
- ***INFO1:*** *Inform Architect prior to the start of this work.*
- ***CONNECT1:*** *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
- ***CONNECT2:*** *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
- ***DISCONNECT1:*** *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
- ***ENGINEER1:*** *Professional engineering supervision is required for this work.*
- ***SHOP1:*** *Provide shop drawings for this work.*
- ***REFERENCE:*** *Refer to photo # for the existing condition at this location.*
- ***SLOPE1:*** *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
- ***PROTECT1:*** *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
- ***EGRESS:*** *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
- ***TREE1:*** *Refer to Landscape Drawings & Specs for removing trees.*
- ***OPERATE:*** *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
- ***ENSURE1:*** *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
- ***ENSURE2:*** *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
- ***ENSURE3:*** *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
- ***PHASE1:*** *Work within this area may occur in phase ONE.*
- ***PHASE2:*** *Work within this area may occur in phase TWO.*

05 SUPPORT NOTES
Scale: NTS

D01	REMOVE CEILING TILE, LIGHT FIXTURES FROM THIS SPACE. PREPARE AREA TO RECEIVE NEW CONSTRUCTION. ADJUST CEILING EQUIPMENT AND PLENUM. RE: NEW CONSTRUCTION PLAN & SPECS. (FIXW; HANDLE 2)
D03	REMOVE PLASTER CEILING & LIGHT FIXTURES AT THIS AREA.PREPARE AREA TO RECEIVE NEW CONSTRUCTION. RE: NEW CONSTRUCTION PLANS & SPECS. (FIXW; HANDLE 1; DISCONNECT 1)
D04	REMOVE MILLWORK & KITCHEN FIXTURES AS INDICATED IN THIS ROOM. (HANDLE 1; HANDLE 2; DISCONNECT 1)
D05	REMOVE EXISTING FLOORING AND PREPARE THE AREA TO RECEIVE THE NEW CONSTRUCTION. RE: CONSTRUCTION PLAN & SPECS. (FIXW; HANDLE 2)
D06	REMOVE EXISTING CEILING PROJECTOR. POWER / DATA / AV CABLING TO BE RE-ROUTED AND RE-TERMINATED AT NEW WALL-MOUNTED SMART-PROJECTOR LOCATION. RE: NEW CONSTRUCTION PLAN, MEP DRAWINGS, AND SPECS. (FIXW; HANDLE 2)
D07	SAW-CUT & REMOVE EXISTING BRICK VENEER & CONSTRUCTION TO ALLOW FOR NEW CONSTRUCTION. RE: 26/A2.20 (HANDLE2; FIXW)
D08	REMOVE PLUMBING FIXTURES PREPARE AREA TO RECEIVE NEW CONSTRUCTION. (FIXW; HANDLE 2, DISCONNECT 1)
D09	REMOVE ALL FURNITURE, FURNITURE SYSTEMS, SHELVES & MILLWORK IN THIS AREA, REPAIR WALL AS NEEDED. (HANDLE 1; FIXW)
D11	REMOVE INTERIOR PARTITIONS AND DOORS AS INDICATED AT THIS LOCATION TO ALLOW FOR NEW CONSTRUCTION. RE: NEW CONSTRUCTION PLANS & SPECS. (FIXW, PROTECT 1)
D12	REMOVE PORTIONS OF EXISTING STOREFRONT AS INDICATED IN NEW CONSTRUCTION DETAILS AND PREPARE AREA TO RECEIVE NEW CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR SEQUENCING THE WORK OF THIS ITEM TO KEEP THE BUILDING WEATHERTIGHT UNTIL THE COMPLETION OF THIS TASK.
D13	REMOVE EXISTING TOILET PARTITIONS AND ACCESSORIES. (HANDLE 2; FIXW)
D14	REMOVE PORTION OF EXISTING CANOPY. (HANDLE 1; FIXW)
D15	REMOVE AND RELOCATE EQUIPMENT AS INDICATED. (HANDLE 1; FIXW)
D16	SAW CUT AND REMOVE EXISTING SIDEWALK AT THIS AREA. PREPARE AREA TO RECIEVE NEW CONSTRUCTION (PROTECT 1; ENGINEER 1).
D18	REMOVE EXISTING WINDOW AND PREPARE AREA TO RECEIVE NEW CONSTRUCTION. (HANDLE 1; FIXW)
D19	REMOVE AND RELOCATE PROJECTOR AND PROJECTOR SCREEN AS INDICATED IN THE NEW RCP (DISCONECT; CONNECT1; FIXW; HANDLE 3)
D20	REMOVE EXISTING WALL FINISHES AND PREPARE AREA TO RECEIVE NEW CONSTRUCTION RE: CONSTRUCTION PLAN & SPECS. (FIXW)
D21	REMOVE EXISTING AREA DRAIN (DISCONNECT 1; FIXW)
X01	EXISTING UTILITIES, (PROTECT 1)
X02	EXISTING EQUIPMENT (PROTECT 1)
X03	EXISTING SHUTOFFS / ELECTRICAL PANELS. FIELD VERIFY. RE: MEP DRAWINGS. (PROTECT 1)
X04	EXISTING MILLWORK (PROTECT 1)
X05	EXISTING FURNITURE TO BE REMOVED AND RELOCATED IN THIS SPACE AS INDICATED ON THE NEW CONSTRUCTION PLAN. (PROTECT 1)
(X)	NO WORK IN THIS AREA

02 DEMOLITION KEYNOTES
Scale: NTS

1. HANDLE THE BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING OR DISTURB ANY SYSTEM THAT SHOULD REMAIN OR REQUIRED FOR OPERATION. REPORT TO THE ARCHITECT ANY INDICATION OF DAMAGE OR POSSIBLE DISRUPTION OF OPERATION.
2. DURING DEMOLITION PROTECT ITEMS TO REMAIN INCLUDING STRUCTURE SYSTEM, ARCHITECTURE, MEP/IT SYS, FURNITURE, FIRE ALARM, SECURITY DEVICES, ROOF, SIDEWALKS, UTILITIES, ETC.
3. ENSURE THERE IS NO INTERRUPTION TO SCHOOL OPERATIONS DURING THE DEMOLITION PHASE.
4. ALL ALARM & SECURITY DEVICES TO REMAIN IN OPERATION DURING DEMOLITION.
5. ALL UTILITIES & POWER TO REMAIN DURING DEMOLITION PHASE.
6. ALL SECURITY CAMERAS, ALARM DEVICES, HVAC THERMOSTATS, OR LIGHT SWITCHES THAT CONFLICT WITH NEW CONSTRUCTION TO BE RELOCATED AND/OR ADJUSTED TO REMAIN FULLY FUNCTIONAL AS INTENDED. REFER TO ARCHITECT FOR DIRECTION.
7. MAINTAIN SAFE & UNRESTRICTED EGRESS ROUTE FOR THE DURATION OF THE DEMOLITION. COMPLY WITH ALL APPLICABLE CODES.
8. REPORT TO ARCHITECT ANY UN-SEEN DISCOVERED CONDITIONS THAT MAY HAVE STRUCTURAL, MEP, OR ARCHITECTURAL COMPLICATIONS AFFECTING THE PROJECT SCHEDULE/CONSTRUCTION/COST/OPERATION.
9. REMOVE ABUNDANT CABLE, SYSTEMS, LIGHT FIXTURE. (FIXW)
10 SAW-CUT & REMOVE EXISTING SIDEWALK/ PAVEMENT AS INDICATED TO ALLOW FOR NEW CONSTRUCTION. RE: NEW CONSTRUCTION PLAN. (SITE1, HANDLE2, PROTECT1, OPERATE).

01 GENERAL NOTES - DEMOLITION
Scale: NTS

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

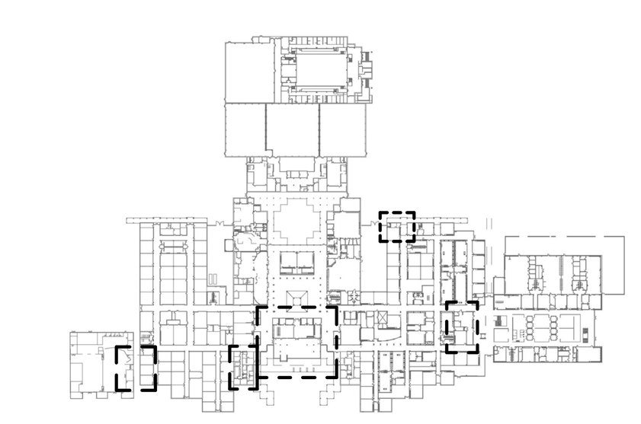
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

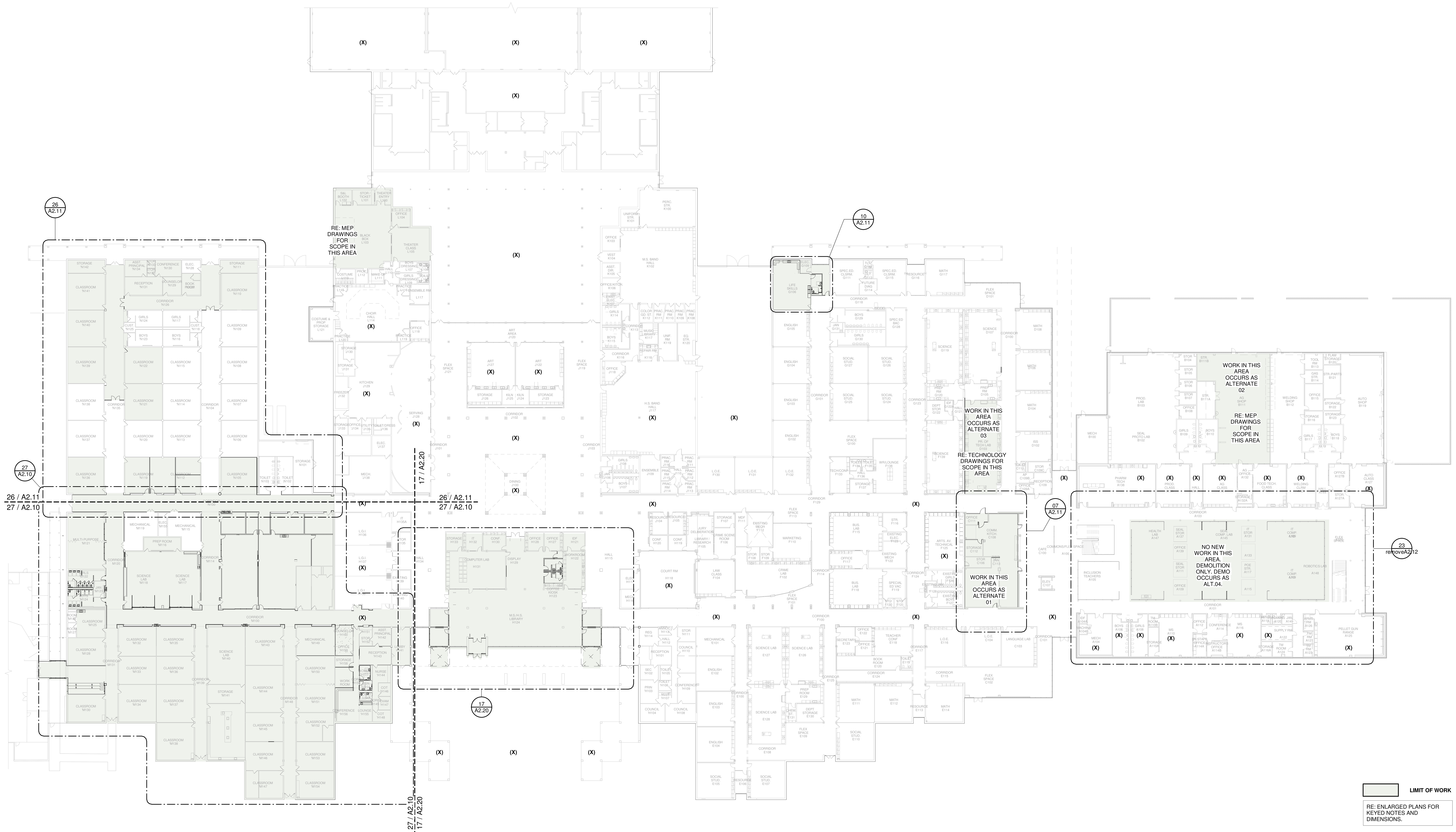
#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



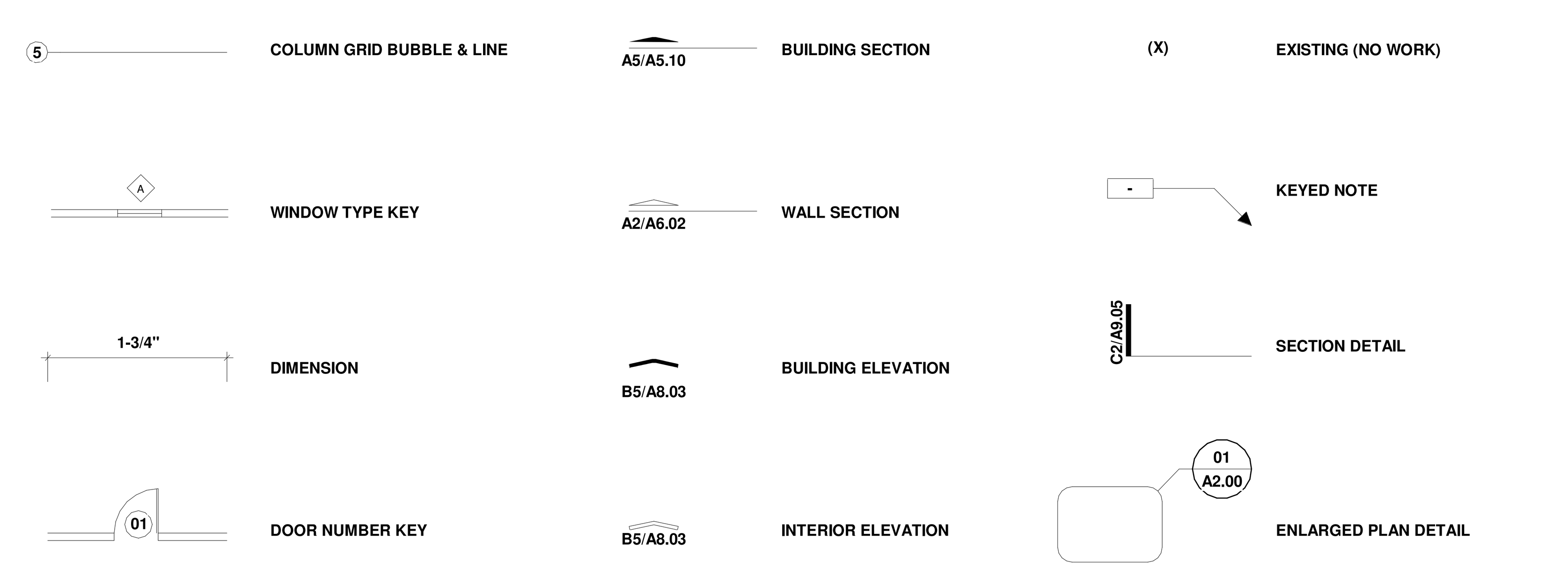
KEY PLAN

TRUE NORTH　PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED DEMOLITION PLANS
Drawing Number	D1.10



27 OVERALL FLOOR PLAN
Scale: 1" = 30'-0"



16 LEGEND
Scale: NTS

1. HANDLE STRUCTURE OF EXISTING BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING. REPORT TO THE ARCHITECT ANY INDICATIONS OF STRUCTURAL DAMAGE.
2. PROTECT THROUGHOUT DEMOLITION AND CONSTRUCTION ALL ITEMS INDICATED TO REMAIN INCLUDING BUT NOT LIMITED TO: BUILDINGS AND OTHER STRUCTURES, FLOORING, WALLS, CEILINGS, FINISHES, MEP/ SECURITY SYSTEMS, UTITIIES, MILWORK, ETC.
3. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION, PARTICULARLY IN AREAS OF WORK.
4. REPORT TO THE ARCHITECT ANY UNFORESEEN CONDITIONS OR AS-BUILT CONDITIONS NOT REFLECTED IN THE DRAWINGS, THAT COULD AFFECT THE WORK.
5. MAINTAIN SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
6. ALL DIMENSIONS TO WALLS ARE TO FINISH-FACE OF WALL UNLESS INDICATED OTHERWISE. (SIDE INDICATED GRAPHICALLY IN THE DRAWINGS).
7. PROVIDE NECESSARY BLOCKING AT WALLS FOR ALL PLUMBING FIXTURES, EQUIPMENT, MILLWORK, AND ACCESSORIES.
8. PLANS INDICATE HORIZONTAL DIMENSIONS ONLY. REFER TO ELEVATIONS & SECTIONS FOR VERTICAL DIMENSIONS.
9. PROVIDE PARTITION CURBS FOR MECH./ELEC. ROOM'S PERIMETER, TYP. UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
11. REFER TO DOOR AND WINDOW DETAILS FOR DIMENSIONS AT OPENINGS.
12. REFER TO DEMOLITION DRAWINGS FOR DEMOLITION INFORMATION.
13. REFER TO CODE ANALYSIS INFORMATION SHEET A0.20 FOR EXTENT OF EXTENDED FIRE-SPRINKLER SYSTEM.

01 GENERAL NOTES - CONSTRUCTION
Scale: NTS

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION

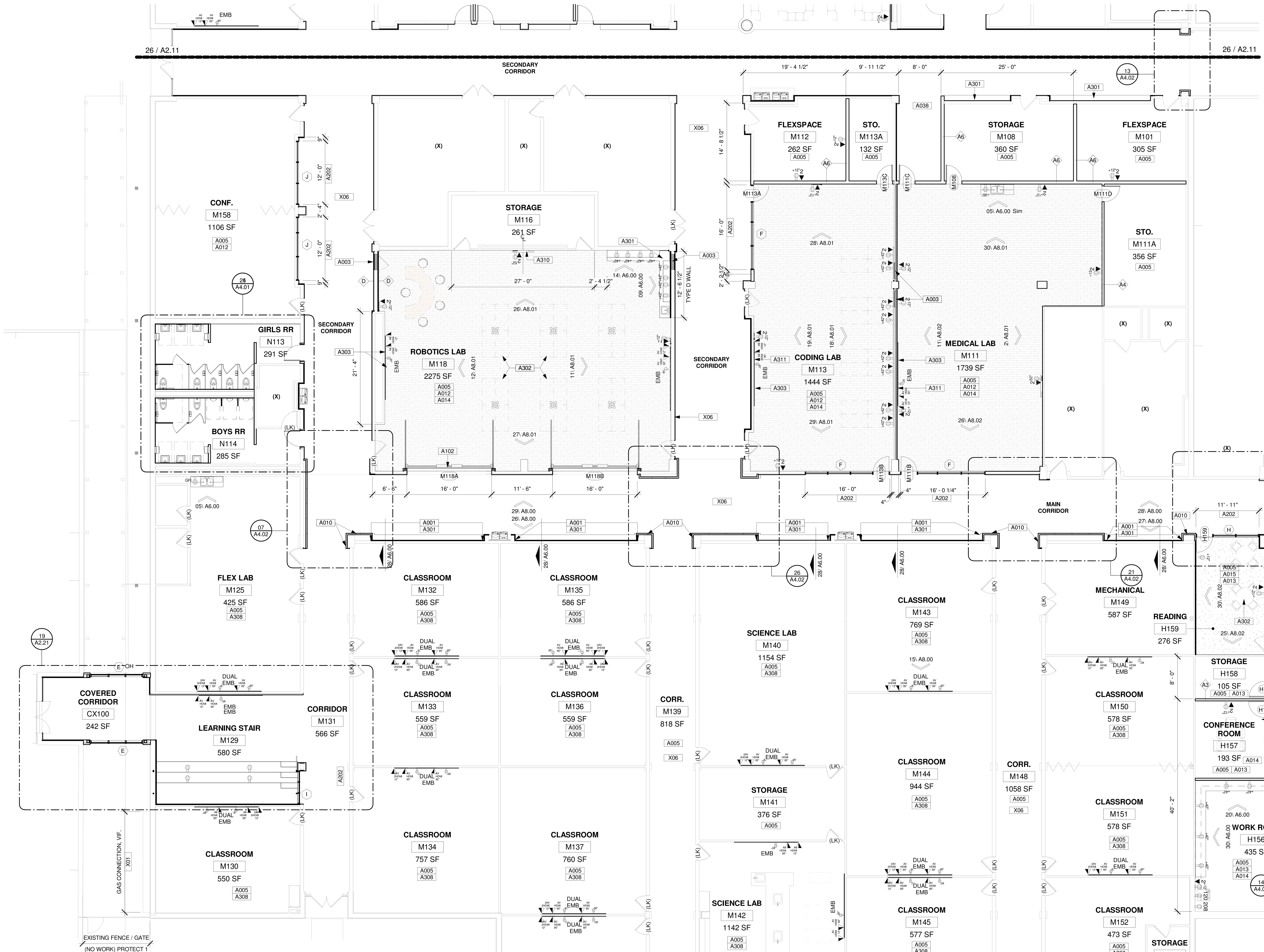
KEY PLAN

TRUE NORTH PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
OVERALL CONSTRUCTION PLAN

Drawing Number
A2.00



27 CONSTRUCTION PLAN - MAGNET SCHOOL - SOUTH
Scale: 1/8" = 1'-0"

A001	INSTALL FURRED-PARTITIONS (TYPE D PER SHEET A0.30) OVER CMU WALLS WHERE LOCKERS WERE REMOVED. PROVIDE RUBBER BASE AND PAINT TO MATCH ADJACENT WALLS. RE: FINISH SCHEDULE & DETAILS. (HANDLE 1; HANDLE 2; FIXW; FIX 1).
A003	CLOSE OPENING LEFT BY REMOVED DOOR OR WINDOW. IF ADJACENT WALLS ARE CMU, PROVIDE FURRED GYP. BD. PARTITIONS ON EITHER SIDE OF EXISTING WALL, TO NEAREST CORNER. ENSURE HEADER IS STRUCTURALLY SOUND AND PROVIDE STEEL LINTEL IF NECESSARY. IF ADJACENT WALLS ARE GYP, CLOSE OPENING WITH GYP.BD./STUD WALL TO MATCH EXISTING ADJACENT WALLS. ALIGN BOTH FACES OF WALL. ENSURE SMOOTH TRANSITIONS. FINISH TO MATCH ADJACENT WALLS. (PROTECT 1; HANDLE 2)
A005	PAINT ENTIRE AREA. FOR CLASSROOMS, USE ACCENT PAINT COLOR TBD ON TEACHING WALL MARKERBOARD IS LOCATED. RE:FINISH SCHEDULE. (HANDLE 2; FIXW)
A010	PROVIDE ONE OUTER LAYER OF IMPACT RESISTANCE GYP BD ONLY ON CORRIDORS AND PUBLIC AREAS. FURRED PARTITIONS BEHIND MILLWORK NEED NOT HAVE IMPACT RESISTANT GYP.
A012	FIRE SPRINKLER SYSTEM SHALL EXTEND TO THIS SPACE; TIE INTO EXISTING SPRINKLER SYSTEM. RE: FIRE PROTECTION/MEP DRAWINGS FOR MORE INFORMATION.
A013	PROVIDE NEW CEILING TILE AND GRID AT SAME HEIGHT AS EXISTING CEILING, RE: FINISH SCHEDULE. WHERE ROOM HAS CHANGED PLAN ARRANGEMENT, CENTER GRID ON NEW WALLS UNLESS INDICATED OTHERWISE. WHERE ROOM REMAINS THE SAME IN PLAN, CENTER GRID TO MATCH PREVIOUS UNLESS INDICATED OTHERWISE.
A014	PROVIDE NEW LVT FLOORING AS INDICATED IN FINISH SCHEDULE.
A015	PROVIDE NEW CARPET FLOORING AS INDICATED IN FINISH SCHEDULE.
A016	PROVIDE DOOR CONTROL FROM RECEPTIONIST DESK. RE: MEP DRAWINGS.
A038	REPAIR FLOORING AT THIS AREA (FIXW)
A101	NEW DOOR AND FRAME AS SCHEDULED, HARDWARE AS SPECIFIED.
A102	OVERHEAD GARAGE DOOR. RE: 19/A5.00 RE: DOOR SCHEDULE FOR DIMENSIONS.
A202	NEW STOREFRONT/CURTAIN WALL, RE: WINDOW TYPES.
A301	NEW MILLWORK. RE: MILLWORK DETAILS & SPECS. (HANDLE 2; FIXW)
A302	DASHED, SCREENED ITEMS ARE FFE AND N.I.C. (FURNITURE, LIBRARY SHELVES, AND OTHER EQUIPMENT INDICATED FOR REFERENCE ONLY)
A303	MARKER BOARD (MB) OR ELECTRONIC MARKER BOARD (EMB). NOTE: ELECTRONIC MARKER BOARDS CONSIST OF MARKERBOARDS AND OFOI WALL-MOUNTED SMART PROJECTORS. RE: SPEC.
A308	RE: DEMOLITION DRAWINGS FOR REMOVAL OF EXISTING CEILING PROJECTORS AND REQUIREMENTS FOR NEW OFOI WALL-MOUNTED SMART PROJECTORS. RE: MEP DRAWINGS.
A310	INTERACTIVE MONITOR AS SPECIFIED.
A311	NEW WALL MOUNTED PROJECTOR AS SPECIFIED.
A312	PROVIDE NEW QUARTZ COUNTERTOP @ OPENING LOCATION
PT1	PAINT (FIELD).
X01	EXISTING UTILITIES, (PROTECT 1)
X06	EXISTING TERRAZZO OR OTHER FLOORING TO REMAIN. V.I.F. (PROTECT 1; HANDLE 2)

04 KEYNOTES
Scale: NTS

1. HANDLE STRUCTURE OF EXISTING BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING. REPORT TO THE ARCHITECT ANY INDICATIONS OF STRUCTURAL DAMAGE.
2. PROTECT THROUGHOUT DEMOLITION AND CONSTRUCTION ALL ITEMS INDICATED TO REMAIN INCLUDING BUT NOT LIMITED TO: BUILDINGS AND OTHER STRUCTURES, FLOORING, WALLS, CEILINGS, FINISHES, MEP/ SECURITY SYSTEMS, UTITIIES, MILWORK, ETC.
3. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION, PARTICULARLY IN AREAS OF WORK.
4. REPORT TO THE ARCHITECT ANY UNFORESEEN CONDITIONS OR AS-BUILT CONDITIONS NOT REFLECTED IN THE DRAWINGS, THAT COULD AFFECT THE WORK.
5. MAINTAIN SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
6. ALL DIMENSIONS TO WALLS ARE TO FINISH-FACE OF WALL UNLESS INDICATED OTHERWISE. (SIDE INDICATED GRAPHICALLY IN THE DRAWINGS).
7. PROVIDE NECESSARY BLOCKING AT WALLS FOR ALL PLUMBING FIXTURES, EQUIPMENT, MILLWORK, AND ACCESSORIES.
8. PLANS INDICATE HORIZONTAL DIMENSIONS ONLY. REFER TO ELEVATIONS & SECTIONS FOR VERTICAL DIMENSIONS.
9. PROVIDE PARTITION CURBS FOR MECH./ELEC. ROOM'S PERIMETER, TYP. UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
11. REFER TO DOOR AND WINDOW DETAILS FOR DIMENSIONS AT OPENINGS.
12. REFER TO DEMOLITION DRAWINGS FOR DEMOLITION INFORMATION.
13. REFER TO CODE ANALYSIS INFORMATION SHEET A0.20 FOR EXTENT OF EXTENDED FIRE-SPRINKLER SYSTEM.

01 GENERAL NOTES - CONSTRUCTION
Scale: NTS

Dimension & Alignment Support Notes:
ALIGN 1: *Align face of new construction w/face of existing.*
ALIGN 2: *Align Centerline of new construciton w/Centerline of existing.*
ALIGN 3: *Align gridline/join grid w/existing grid.*
LEVEL 1: *Ensure top of new construction is level w/existing surface.*
LEVEL 2: *Level floor & surface to recieve new construction.*
LEVEL 3: *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:
HANDLE 1: *Handle item w/care, and store for owner review.*
HANDLE 2: *Handle remaining building, pavement, fence, or item w/care.*
HANDLE 3: *Handle re-located items with care. DISCONNECT 1, FIXW.*
FIXW: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
FIX1: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
SITE1: *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
INFO1: *Inform Architect prior to the start of this work.*
CONNECT1: *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
CONNECT2: *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
DISCONNECT1: *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
ENGINEER1: *Professional engineering supervision is required for this work.*
SHOP1: *Provide shop drawings for this work.*
REFERENCE: *Refer to photo # for the existing condition at this location.*
SLOPE1: *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
PROTECT1: *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
EGRESS: *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
TREE1: *Refer to Landscape Drawings & Specs for removing trees.*
OPERATE: *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
ENSURE1: *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
ENSURE2: *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
ENSURE3: *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
PHASE1: *Work within this area may occur in phase ONE.*
PHASE2: *Work within this area may occur in phase TWO.*

26 SUPPORT NOTES
Scale: NTS

3/13/2020 1:52:34 PM

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

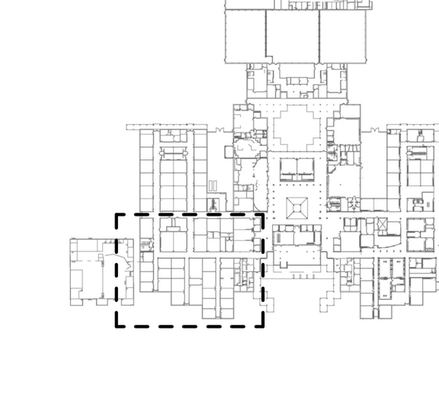
A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION

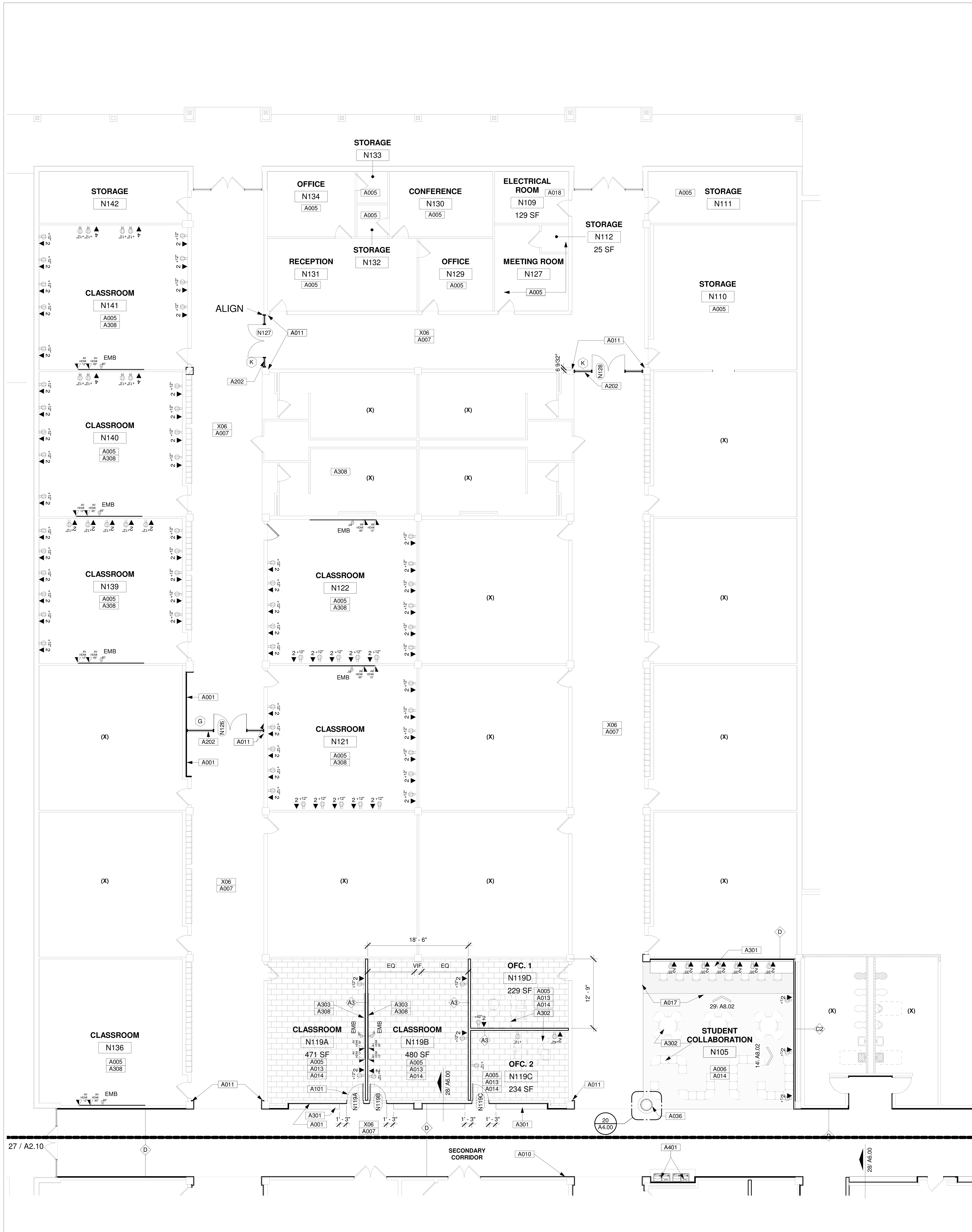
KEY PLAN



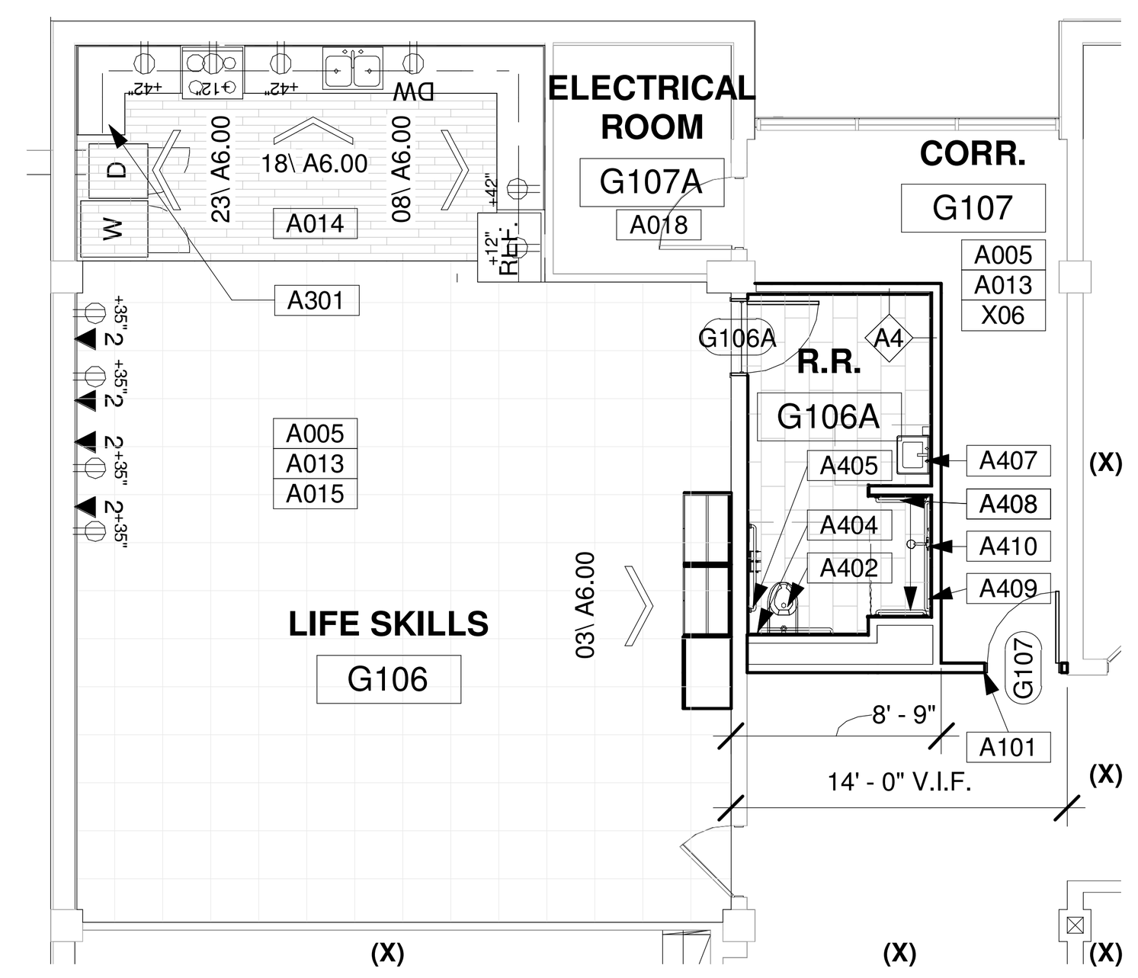
TRUE NORTH PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	PLAN AT MAGNET SCHOOL - SOUTH

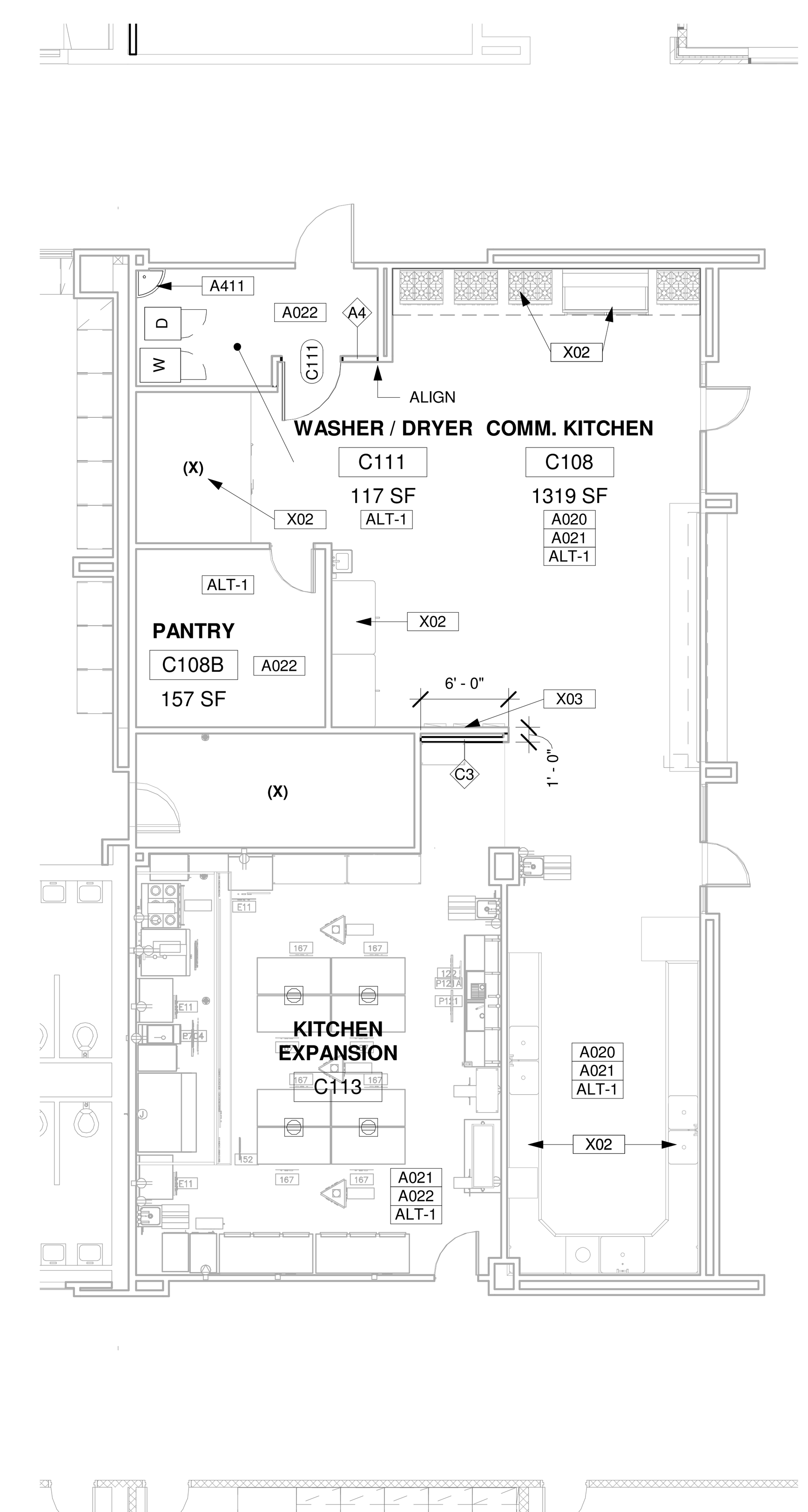
Drawing Number A2.10



26 CONSTRUCTION PLAN - MAGNET SCHOOL - NORTH
Scale: 1/8" = 1'-0"



10 LIFE SKILLS PLAN
Scale: 1/8" = 1'-0"



NOTE: WORK INDICATED IN THIS DETAIL SHALL BE PRICED AS ALTERNATE 1.

07 CTE KITCHEN PLAN
Scale: 1/8" = 1'-0"

Dimension & Alignment Support Notes:

- ***ALIGN 1:*** *Align face of new construction w/face of existing.*
- ***ALIGN 2:*** *Align Centerline of new construciton w/Centerline of existing.*
- ***ALIGN 3:*** *Align gridline/join grid w/existing grid.*
- ***LEVEL 1:*** *Ensure top of new construction is level w/existing surface.*
- ***LEVEL 2:*** *Level floor & surface to recieve new construction.*
- ***LEVEL 3:*** *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

- ***HANDLE 1:*** *Handle item w/care, and store for owner review.*
- ***HANDLE 2:*** *Handle remaining building, pavement, fence, or item w/care.*
- ***HANDLE 3:*** *Handle re-located items with care. DISCONNECT 1, FIXW.*
- ***FIXW:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***FIX1:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***SITE1:*** *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
- ***INFO1:*** *Inform Architect prior to the start of this work.*
- ***CONNECT1:*** *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
- ***CONNECT2:*** *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
- ***DISCONNECT1:*** *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
- ***ENGINEER1:*** *Professional engineering supervision is required for this work.*
- ***SHOP1:*** *Provide shop drawings for this work.*
- ***REFERENCE:*** *Refer to photo # for the existing condition at this location.*
- ***SLOPE1:*** *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
- ***PROTECT1:*** *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
- ***EGRESS:*** *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
- ***TREE1:*** *Refer to Landscape Drawings & Specs for removing trees.*
- ***OPERATE:*** *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
- ***ENSURE1:*** *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
- ***ENSURE2:*** *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
- ***ENSURE3:*** *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
- ***PHASE1:*** *Work within this area may occur in phase ONE.*
- ***PHASE2:*** *Work within this area may occur in phase TWO.*

05 SUPPORT NOTES
Scale: NTS

A001	INSTALL FURRED-PARTITIONS (TYPE D PER SHEET A0.30) OVER CMU WALLS WHERE LOCKERS WERE REMOVED. PROVIDE RUBBER BASE AND PAINT TO MATCH ADJACENT WALLS. RE: FINISH SCHEDULE & DETAILS. (HANDLE 1; HANDLE 2; FIXW; FIX 1).
A005	PAINT ENTIRE AREA. FOR CLASSROOMS, USE ACCENT PAINT COLOR TBD ON TEACHING WALL MARKERBOARD IS LOCATED. RE:FINISH SCHEDULE. (HANDLE 2; FIXW)
A006	REHAB DECK AND STRUCTURE ABOVE, CLEAN, AND PAINT. (HANDLE 2; FIXW)
A007	PAINT WALL TO UNDERSIDE OF DECK ABOVE, RE: FINISH SCHEDULE & INTERIOR ELEVATIONS. (HANDLE 2; FIXW)
A010	PROVIDE ONE OUTER LAYER OF IMPACT RESISTANCE GYP BD ONLY ON CORRIDORS AND PUBLIC AREAS. FURRED PARTITIONS BEHIND MILLWORK NEED NOT HAVE IMPACT RESISTANT GYP.
A011	REFINISH ADJACENT SURFACES TO LIKE-NEW CONDITION. RE: SPECS. (HANDLE 2, FIXW)
A013	PROVIDE NEW CEILING TILE AND GRID AT SAME HEIGHT AS EXISTING CEILING, RE: FINISH SCHEDULE. WHERE ROOM HAS CHANGED PLAN ARRANGEMENT, CENTER GRID ON NEW WALLS UNLESS INDICATED OTHERWISE. WHERE ROOM REMAINS THE SAME IN PLAN, CENTER GRID TO MATCH PREVIOUS UNLESS INDICATED OTHERWISE.
A014	PROVIDE NEW LVT FLOORING AS INDICATED IN FINISH SCHEDULE.
A015	PROVIDE NEW CARPET FLOORING AS INDICATED IN FINISH SCHEDULE.
A017	SCREENED LINE REPRESENTS FLOOR MATERIAL TRANSITION. ALIGN AS SHOWN TO FURRED PARTITIONS ADJACENT OR AT LOCATION DIMENSIONED FROM FACE OF WALL. RE: FINISH SCHEDULE FOR MORE INFORMATION.
A018	NO NEW FINISHES OR ARCHITECTURAL WORK IN ELECTRICAL, MECHANICAL, AND JANITOR'S ROOMS. RE: MEP DRAWINGS FOR SCOPE.
A020	CLEAN EXISTING QUARRY TILE FLOORS, INCLUDING GROUT IN KITCHEN; RE: DEMOLITION PLANS FOR FURTHER INFORMATION. (HANDLE2)
A021	PROVIDE NEW FRP PANELS ON ALL WALLS AT KITCHEN; IN EXISTING AND NEW AREAS; EXCLUDING EXISTING STAINLESS STEEL SURFACES. BOTTOM OF PANELS SHALL ALIGN TO TOP OF BASE; TOP OF PANELS SHALL BE 8'-0" ABOVE TOP OF QUARRY TILE BASE. FRP SHALL BE TRIMMED AROUND ALL EXISTING WALL-MOUNTED ACCESSORIES, SWITCHES, AND OTHER WALL MOUNTED ITEMS.
A022	PROVIDE NEW EPOXY FLOORING, SLIP RESISTANT AND ACCEPTABLE FOR USE IN COMMERCIAL KITCHEN APPLICATIONS, COLOR TO MATCH EXISTING QUARRY TILE ADJACENT.
A036	PROVIDE COLUMN WRAP AS SPECIFIED.
A101	NEW DOOR AND FRAME AS SCHEDULED, HARDWARE AS SPECIFIED.
A202	NEW STOREFRONT/CURTAIN WALL, RE: WINDOW TYPES.
A301	NEW MILLWORK. RE: MILLWORK DETAILS & SPECS. (HANDLE 2; FIXW)
A302	DASHED, SCREENED ITEMS ARE FFE AND N.I.C. (FURNITURE, LIBRARY SHELVES, AND OTHER EQUIPMENT INDICATED FOR REFERENCE ONLY)
A303	MARKER BOARD (MB) OR ELECTRONIC MARKER BOARD (EMB). NOTE: ELECTRONIC MARKER BOARDS CONSIST OF MARKERBOARDS AND OFOI WALL-MOUNTED SMART PROJECTORS. RE: SPEC.
A308	RE: DEMOLITION DRAWINGS FOR REMOVAL OF EXISTING CEILING PROJECTORS AND REQUIREMENTS FOR NEW OFOI WALL-MOUNTED SMART PROJECTORS. RE: MEP DRAWINGS.
A401	PAIR OF ELECTRIC DRINKING FOUNTAINS (EDFs): ON-WALL, ADA COMPLIANT VERSION WITH NO RECESSED MECHANISM. SPOUT HEIGHT, CLEARANCES, AND OTHER DIMENSIONS SHALL MEET REQUIREMENTS OF 2012 TAS 602.7. PROVIDE BLOCKING SUPPORT AS NEEDED. RE: MEP DWGS FOR MORE INFORMATION. (PROTECT 1; FIXW; CONNECT 1)
A402	TOILET FIXTURE WITH SEAT HEIGHT AND CLEARANCES TO MEET REQUIREMENTS OF 2012 TAS. PROVIDE NEW CARRIERS AS NEEDED. RE: MEP DWGS FOR MORE INFORMATION. (CONNECT 1; FIXW)
A404	36" HANDICAPPED GRAB BAR @ 34" A.F.F. AND LOCATION REQUIRED TO COMPLY WITH 2012 TAS 604.5 PROVIDE BLOCKING SUPPORT AS NEEDED. (CONNECT 1; FIXW)
A405	42" HANDICAPPED GRAB BAR @ 34" A.F.F. AND LOCATION REQUIRED TO COMPLY WITH 2012 TAS 604.5 PROVIDE BLOCKING SUPPORT AS NEEDED. (CONNECT 1; FIXW)
A407	WALL-HUNG LAVATORY @34" A.F.F. (HOLD) WITH MIRROR ABOVE AND SOAP DISPENSER ADJACENT. RE: TYPICAL ELEVATIONS. COMPLY WITH 2012 TAS 606. (CONNECT 1; FIXW)
A408	24" HANDICAPPED GRAB BAR @ 34" A.F.F. AND LOCATION REQUIRED TO COMPLY WITH 2012 TAS 609.4. PROVIDE BLOCKING SUPPORT AS NEEDED. (CONNECT 1; FIXW)
A409	54" HANDICAPPED GRAB BAR @ 34" A.F.F. AND LOCATION REQUIRED TO COMPLY WITH 2012 TAS 609.4. PROVIDE BLOCKING SUPPORT AS NEEDED. (CONNECT 1; FIXW)
A410	SHOWER CONTROLS AND NOZZLE. RE: PLUMBING DRAWINGS. INSTALL AT HEIGHTS TO COMPLY WITH 2012 TAS 608.5.2. (CONNECT 1; FIXW)
A411	NEW MOP SINK. RE: PLUMBING DRAWINGS.
ALT-1	WORK INDICATED IS TO BE DONE AS ALTERNATE 1. RE: 27/A0.00 FOR MORE INFORMATION.
X02	EXISTING EQUIPMENT (PROTECT 1)
X03	EXISTING SHUTOFFS / ELECTRICAL PANELS. FIELD VERIFY. RE: MEP DRAWINGS. (PROTECT 1)
X06	EXISTING TERRAZZO OR OTHER FLOORING TO REMAIN. V.I.F. (PROTECT 1; HANDLE 2)

02 CONSTRUCTION KEYNOTES
Scale: NTS

1. HANDLE STRUCTURE OF EXISTING BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING. REPORT TO THE ARCHITECT ANY INDICATIONS OF STRUCTURAL DAMAGE.
2. PROTECT THROUGHOUT DEMOLITION AND CONSTRUCTION ALL ITEMS INDICATED TO REMAIN INCLUDING BUT NOT LIMITED TO: BUILDINGS AND OTHER STRUCTURES, FLOORING, WALLS, CEILINGS, FINISHES, MEP/ SECURITY SYSTEMS, UTITIIES, MILWORK, ETC.
3. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION, PARTICULARLY IN AREAS OF WORK.
4. REPORT TO THE ARCHITECT ANY UNFORESEEN CONDITIONS OR AS-BUILT CONDITIONS NOT REFLECTED IN THE DRAWINGS, THAT COULD AFFECT THE WORK.
5. MAINTAIN SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
6. ALL DIMENSIONS TO WALLS ARE TO FINISH-FACE OF WALL UNLESS INDICATED OTHERWISE. (SIDE INDICATED GRAPHICALLY IN THE DRAWINGS).
7. PROVIDE NECESSARY BLOCKING AT WALLS FOR ALL PLUMBING FIXTURES, EQUIPMENT, MILLWORK, AND ACCESSORIES.
8. PLANS INDICATE HORIZONTAL DIMENSIONS ONLY. REFER TO ELEVATIONS & SECTIONS FOR VERTICAL DIMENSIONS.
9. PROVIDE PARTITION CURBS FOR MECH./ELEC. ROOM'S PERIMETER, TYP. UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
11. REFER TO DOOR AND WINDOW DETAILS FOR DIMENSIONS AT OPENINGS.
12. REFER TO DEMOLITION DRAWINGS FOR DEMOLITION INFORMATION.
13. REFER TO CODE ANALYSIS INFORMATION SHEET A0.20 FOR EXTENT OF EXTENDED FIRE-SPRINKLER SYSTEM.

01 GENERAL CONSTRUCTION NOTES
Scale: NTS

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

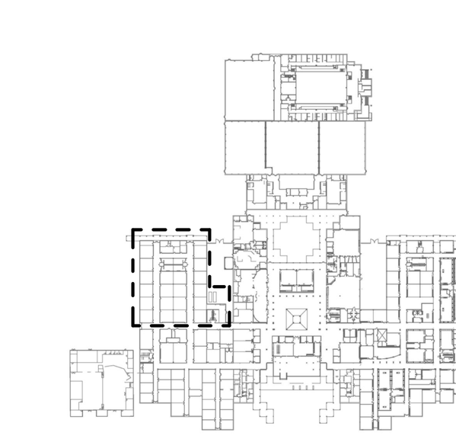
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



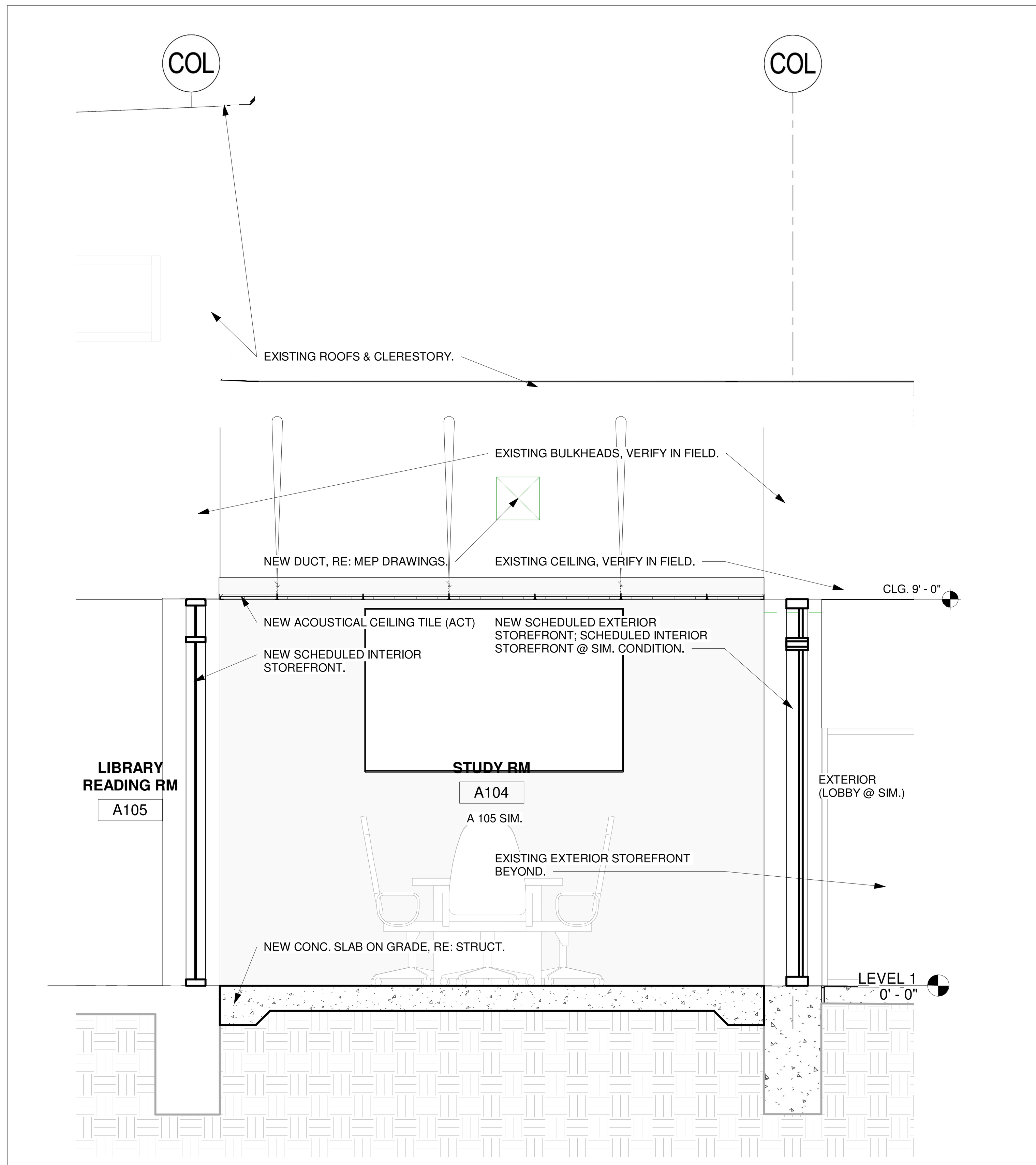
KEY PLAN

TRUE NORTH
PLAN NORTH

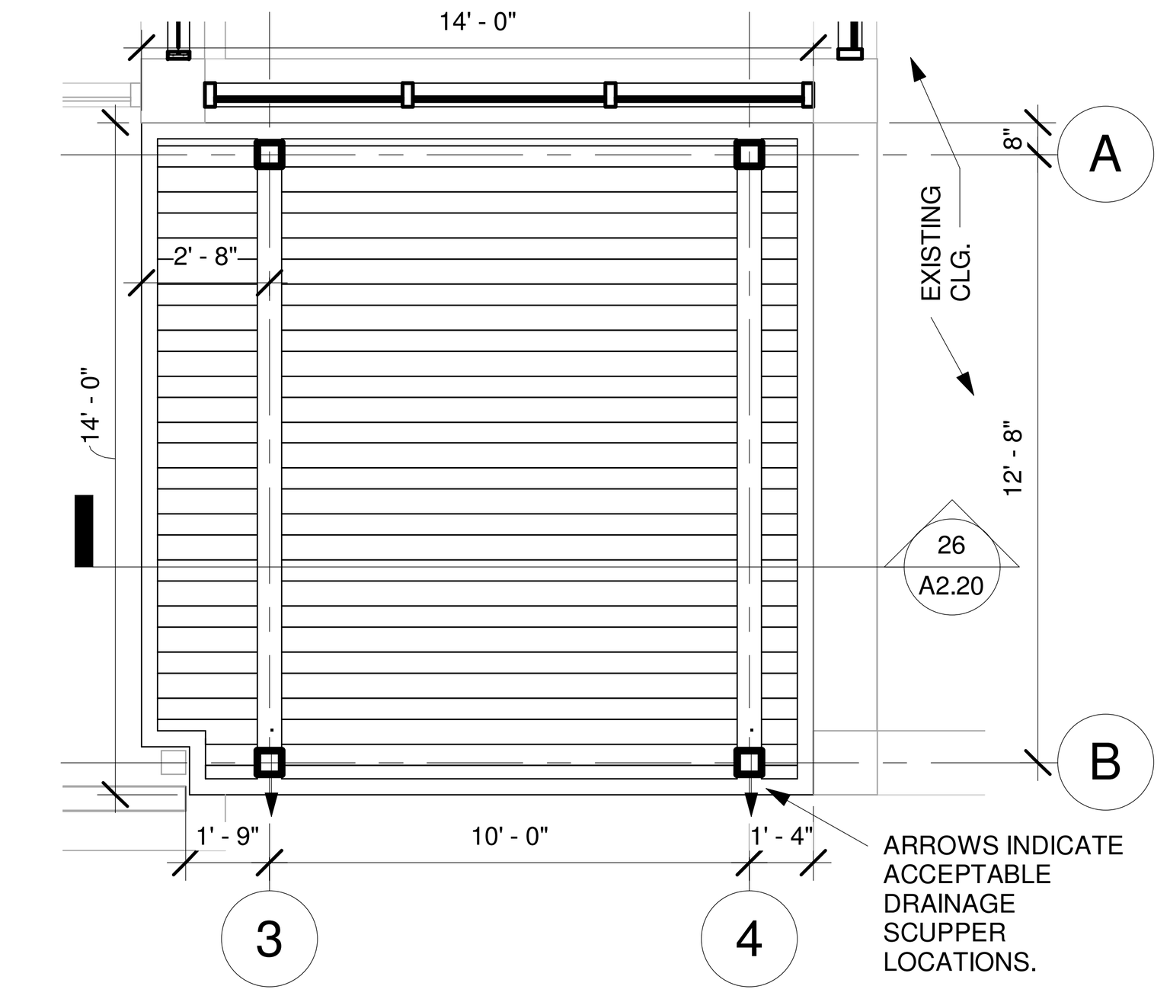
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	PLAN AT MAGNET SCHOOL - NORTH

Drawing Number

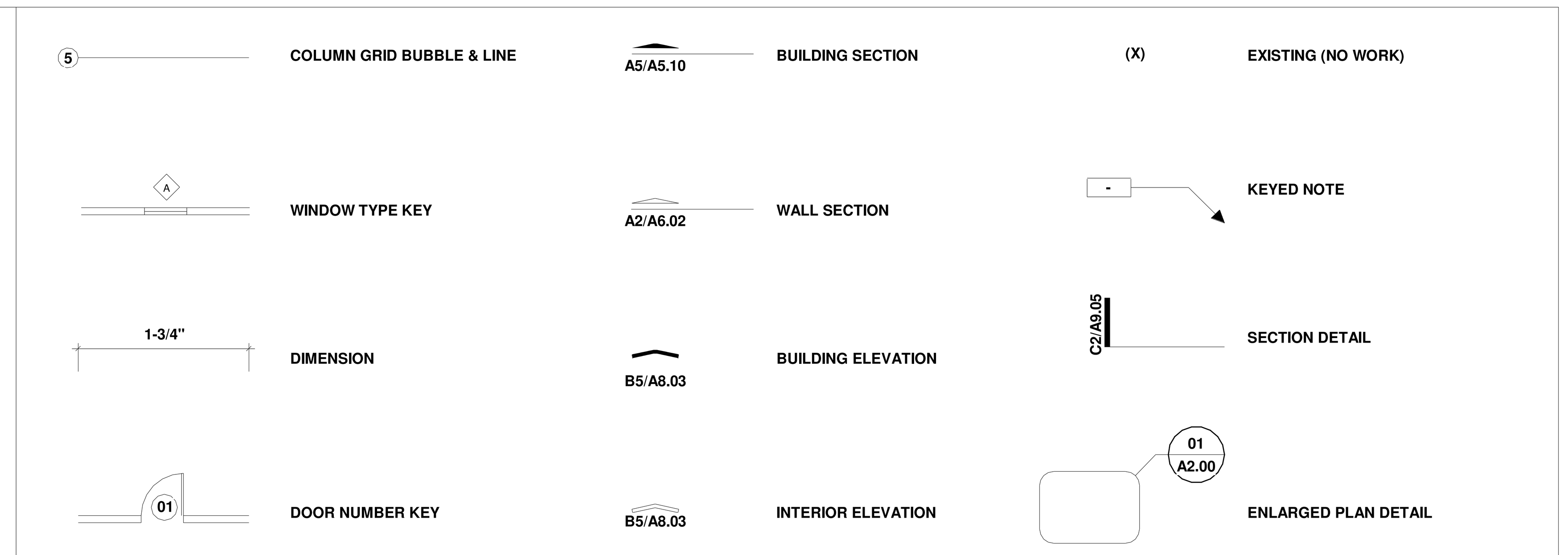
A2.11



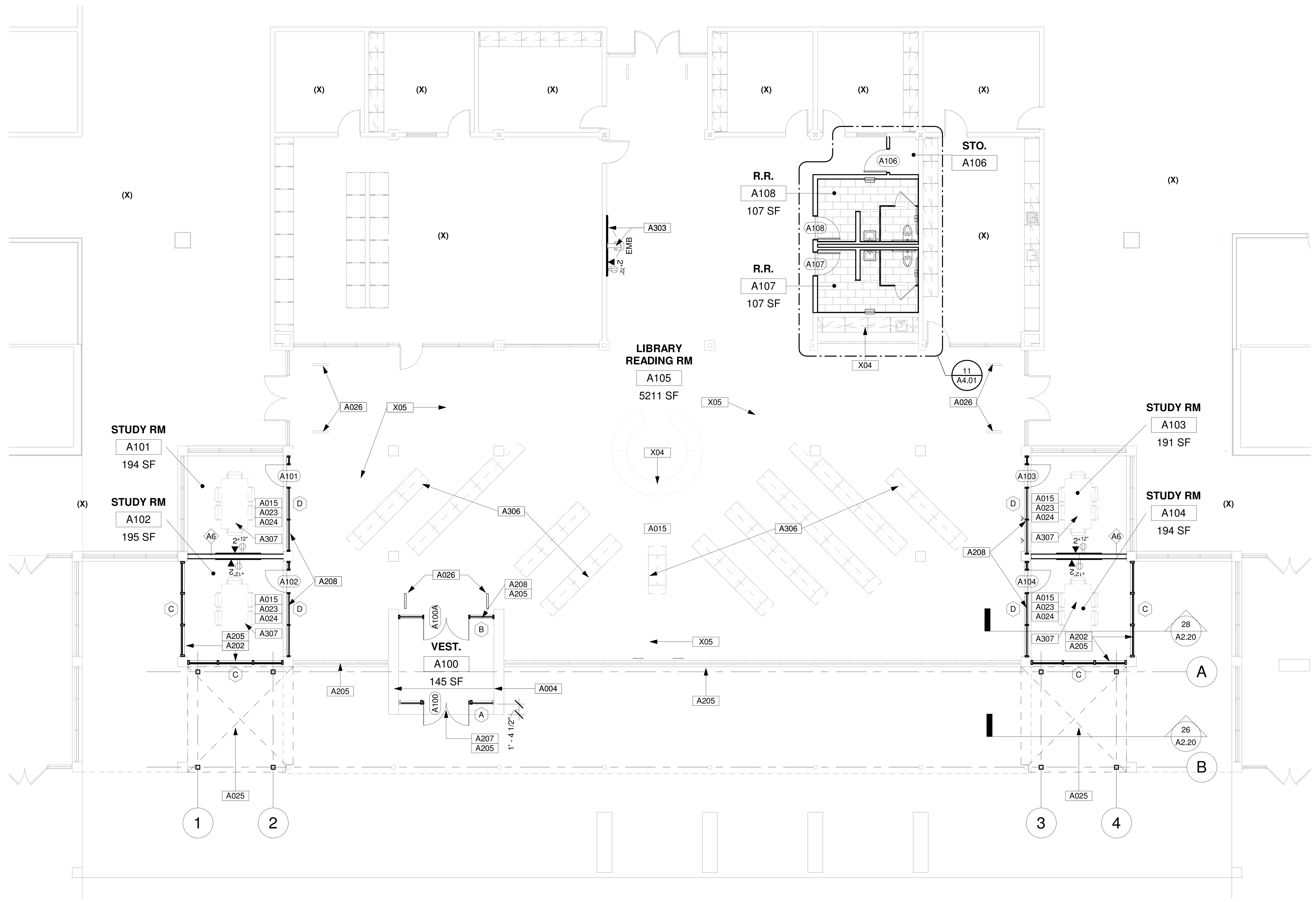
28 SECTION AT STUDY ROOMS
Scale: 1/2" = 1'-0"



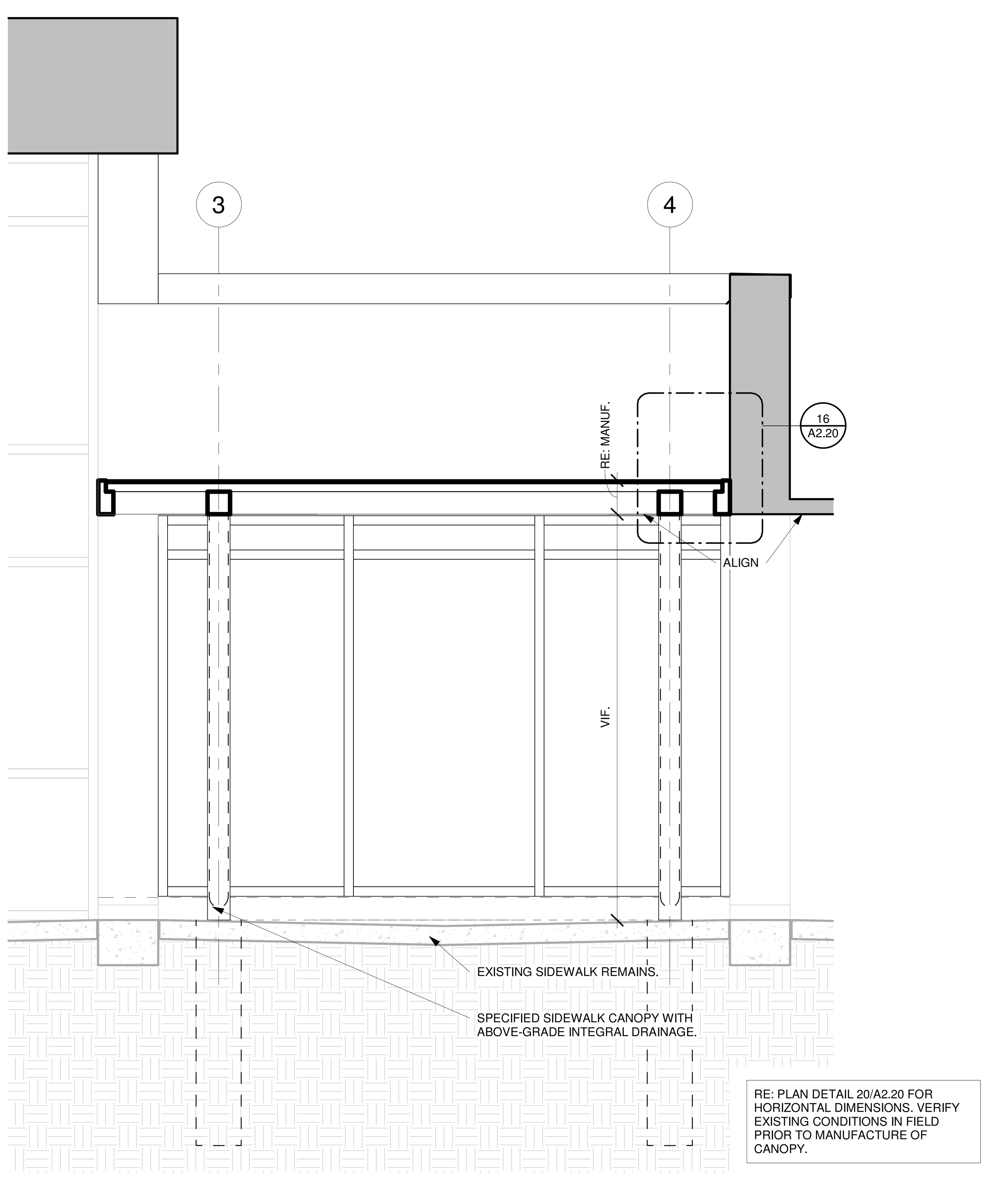
20 NEW CANOPIES AT LIBRARY
Scale: 1/4" = 1'-0"



15 LEGEND
Scale: NTS

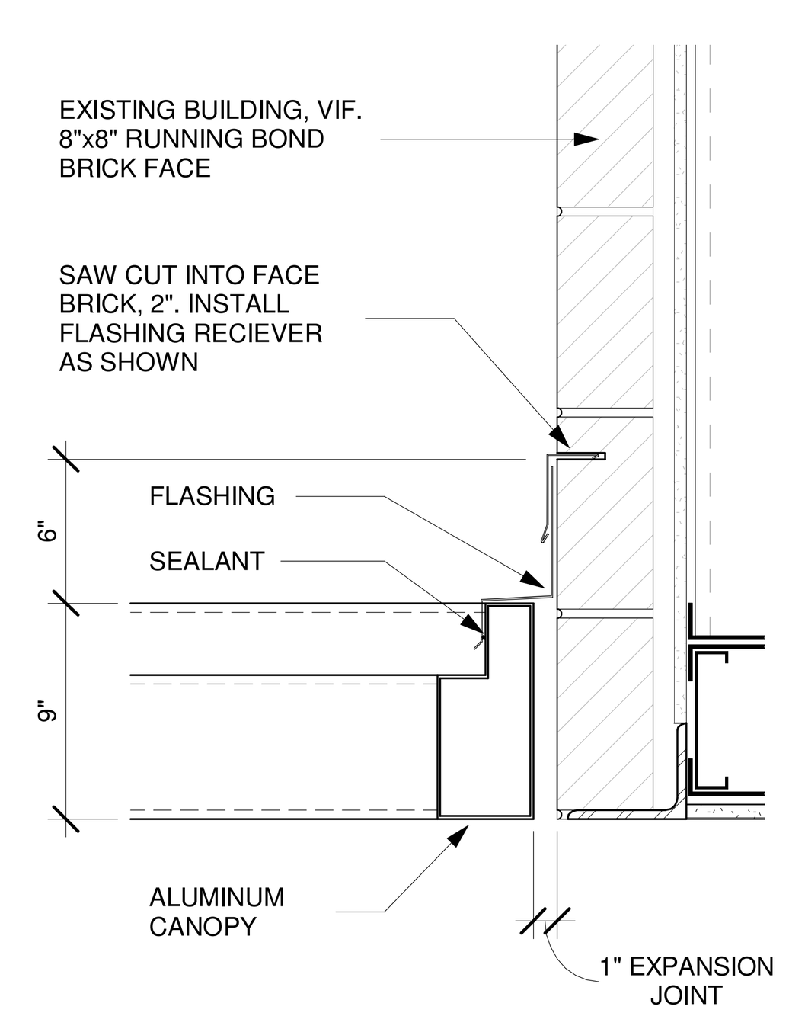


17 ENLARGED CONSTRUCTION PLAN - LIBRARY / CANOPY
Scale: 1/8" = 1'-0"



RE: PLAN DETAIL 20/A2.20 FOR HORIZONTAL DIMENSIONS. VERIFY EXISTING CONDITIONS IN FIELD PRIOR TO MANUFACTURE OF CANOPY.

26 SECTION AT NEW LIBRARY CANOPIES
Scale: 1/2" = 1'-0"



16 CANOPY DETAIL
Scale: 1 1/2" = 1'-0"

Dimension & Alignment Support Notes:

- ***ALIGN 1:*** *Align face of new construction w/face of existing.*
- ***ALIGN 2:*** *Align Centerline of new construciton w/Centerline of existing.*
- ***ALIGN 3:*** *Align gridline/join grid w/existing grid.*
- ***LEVEL 1:*** *Ensure top of new construction is level w/existing surface.*
- ***LEVEL 2:*** *Level floor & surface to recieve new construction.*
- ***LEVEL 3:*** *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

- ***HANDLE 1:*** *Handle item w/care, and store for owner review.*
- ***HANDLE 2:*** *Handle remaining building, pavement, fence, or item w/care.*
- ***HANDLE 3:*** *Handle re-located items with care. DISCONNECT 1, FIXW.*
- ***FIXW:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***FIX1:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***SITE1:*** *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
- ***INFO1:*** *Inform Architect prior to the start of this work.*
- ***CONNECT1:*** *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
- ***CONNECT2:*** *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
- ***DISCONNECT1:*** *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
- ***ENGINEER1:*** *Professional engineering supervision is required for this work.*
- ***SHOP1:*** *Provide shop drawings for this work.*
- ***REFERENCE:*** *Refer to photo # for the existing condition at this location.*
- ***SLOPE1:*** *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
- ***PROTECT1:*** *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
- ***EGRESS:*** *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
- ***TREE1:*** *Refer to Landscape Drawings & Specs for removing trees.*
- ***OPERATE:*** *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
- ***ENSURE1:*** *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
- ***ENSURE2:*** *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
- ***ENSURE3:*** *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
- ***PHASE1:*** *Work within this area may occur in phase ONE.*
- ***PHASE2:*** *Work within this area may occur in phase TWO.*

11 SUPPORT NOTES
Scale: NTS

A004	REHAB EXISTING WOOD SIDING & PAINT. RE: SPECS. (HANDLE 2; FIXW)
A015	PROVIDE NEW CARPET FLOORING AS INDICATED IN FINISH SCHEDULE.
A023	NEW FLOOR SLAB FLUSH WITH LIBRARY SLAB, RE: STRUCTURAL DRAWINGS
A024	PROVIDE NEW CEILING TILE AND GRID AT SPECIFIED HEIGHT, RE: CEILING PLAN; FINISH SCHEDULE. CENTER GRID IN ROOM UNLESS INDICATED OTHERWISE.
A025	12'X12' (VIF) AVADEK CANOPY SYSTEM W/ FOUR 6"X6" ALUMINUM COLUMNS AND ABOVE-GRADE DRAINAGE AT LOCATIONS INDICATED IN DETAIL.
A026	ANTI THEFT SECURITY GATE AS SPECIFIED. CENTER ON DOOR OPENING.
A202	NEW STOREFRONT/CURTAIN WALL, RE: WINDOW TYPES.
A205	INSTALL SECURITY FILM ON INDICATED PANELS ON THE INTERIOR SIDE OF WINDOW, STOREFRONT OR CURTAIN WALL GLAZING, OR AL/GL DOOR. RE: DOOR SCHEDULE, RE: WINDOW TYPES; RE: SPECS.
A207	MODIFY EXISTING STOREFRONT & INSTALL 6'X9' NEW DOOR TO MATCH EXISTING ALUMINUM FRAME & GLASS RE: DOOR/ OPENING SCHEDULE. (HANDLE 2, FIXW)
A208	NEW INTERIOR ALUM. STOREFRONT FLOOR TO CEILING ABOVE. (FIXW)
A303	MARKER BOARD (MB) OR ELECTRONIC MARKER BOARD (EMB). NOTE: ELECTRONIC MARKER BOARDS CONSIST OF MARKERBOARDS AND OFOI WALL-MOUNTED SMART PROJECTORS. RE: SPEC.
A306	NEW LIBRARY STACKS, CFCI, MAX 42" HIGH (SHOWN IS 68 X 48"X14"X42"H UNITS AND 8 X 28"X14"X42"H UNITS. TO BE VERIFIED WITH OWNER PRIOR TO SUBMITTAL AND PURCHASE.
A307	PROVIDE NEW FURNITURE AT INDICATED ROOMS/SPACES. FURNITURE TO BE COORDINATED WITH OWNER PRIOR TO SUBMITTAL AND PURCHASE. FURNITURE INDICATED IN DRAWINGS IS FOR REFERENCE AND SCOPE ONLY.
X04	EXISTING MILLWORK (PROTECT 1)
X05	EXISTING FURNITURE TO BE REMOVED AND RELOCATED IN THIS SPACE AS INDICATED ON THE NEW CONSTRUCTION PLAN. (PROTECT 1)

06 KEYNOTES
Scale: NTS

1. HANDLE STRUCTURE OF EXISTING BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING. REPORT TO THE ARCHITECT ANY INDICATIONS OF STRUCTURAL DAMAGE.
2. PROTECT THROUGHOUT DEMOLITION AND CONSTRUCTION ALL ITEMS INDICATED TO REMAIN INCLUDING BUT NOT LIMITED TO: BUILDINGS AND OTHER STRUCTURES, FLOORING, WALLS, CEILINGS, FINISHES, MEP/ SECURITY SYSTEMS, UTITIIES, MILWORK, ETC.
3. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION, PARTICULARLY IN AREAS OF WORK.
4. REPORT TO THE ARCHITECT ANY UNFORESEEN CONDITIONS OR AS-BUILT CONDITIONS NOT REFLECTED IN THE DRAWINGS, THAT COULD AFFECT THE WORK.
5. MAINTAIN SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
6. ALL DIMENSIONS TO WALLS ARE TO FINISH-FACE OF WALL UNLESS INDICATED OTHERWISE. (SIDE INDICATED GRAPHICALLY IN THE DRAWINGS).
7. PROVIDE NECESSARY BLOCKING AT WALLS FOR ALL PLUMBING FIXTURES, EQUIPMENT, MILLWORK, AND ACCESSORIES.
8. PLANS INDICATE HORIZONTAL DIMENSIONS ONLY. REFER TO ELEVATIONS & SECTIONS FOR VERTICAL DIMENSIONS.
9. PROVIDE PARTITION CURBS FOR MECH./ELEC. ROOM'S PERIMETER, TYP. UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
11. REFER TO DOOR AND WINDOW DETAILS FOR DIMENSIONS AT OPENINGS.
12. REFER TO DEMOLITION DRAWINGS FOR DEMOLITION INFORMATION.
13. REFER TO CODE ANALYSIS INFORMATION SHEET A0.20 FOR EXTENT OF EXTENDED FIRE-SPRINKLER SYSTEM.

01 GENERAL NOTES - CONSTRUCTION
Scale: NTS

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

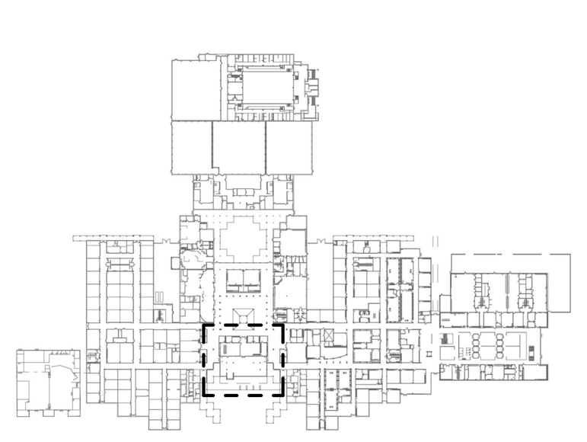
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

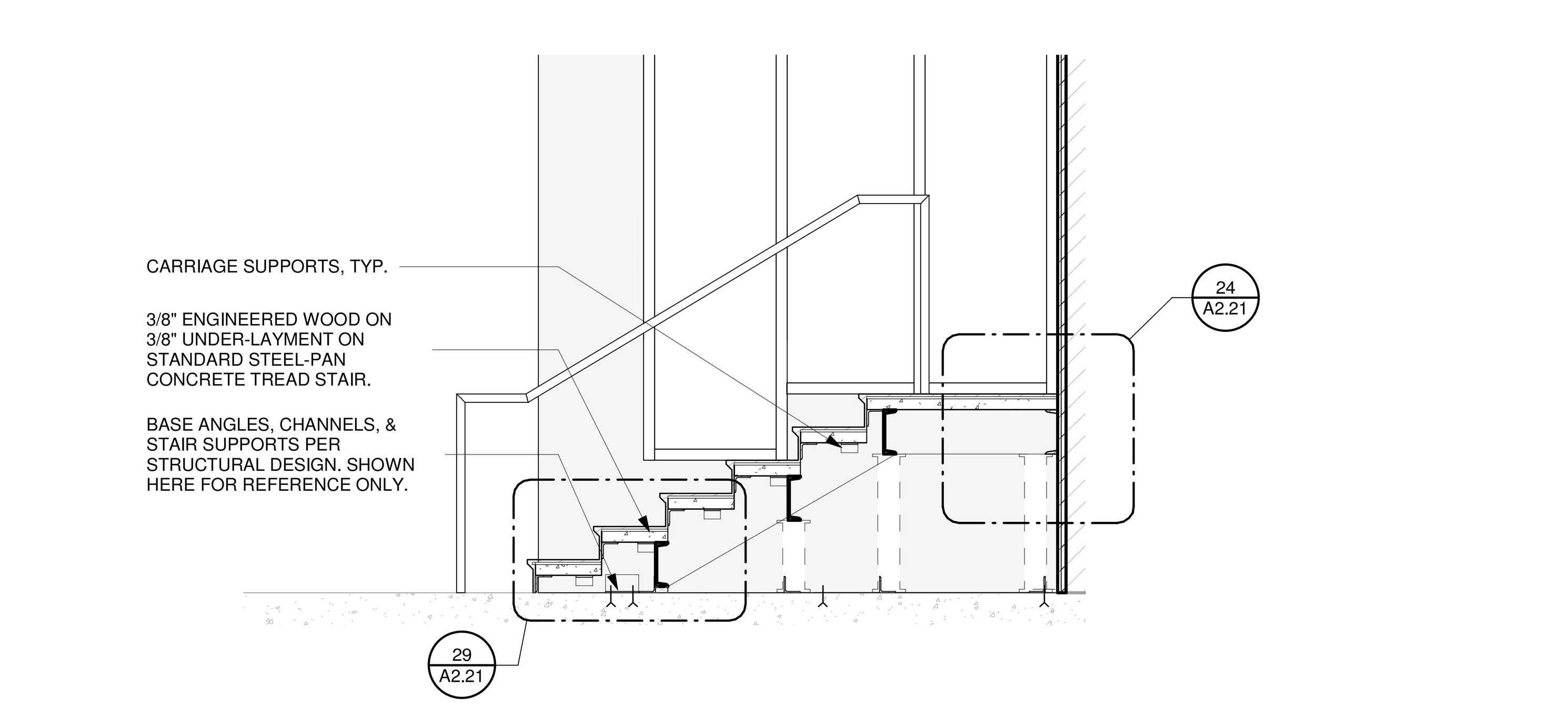
#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



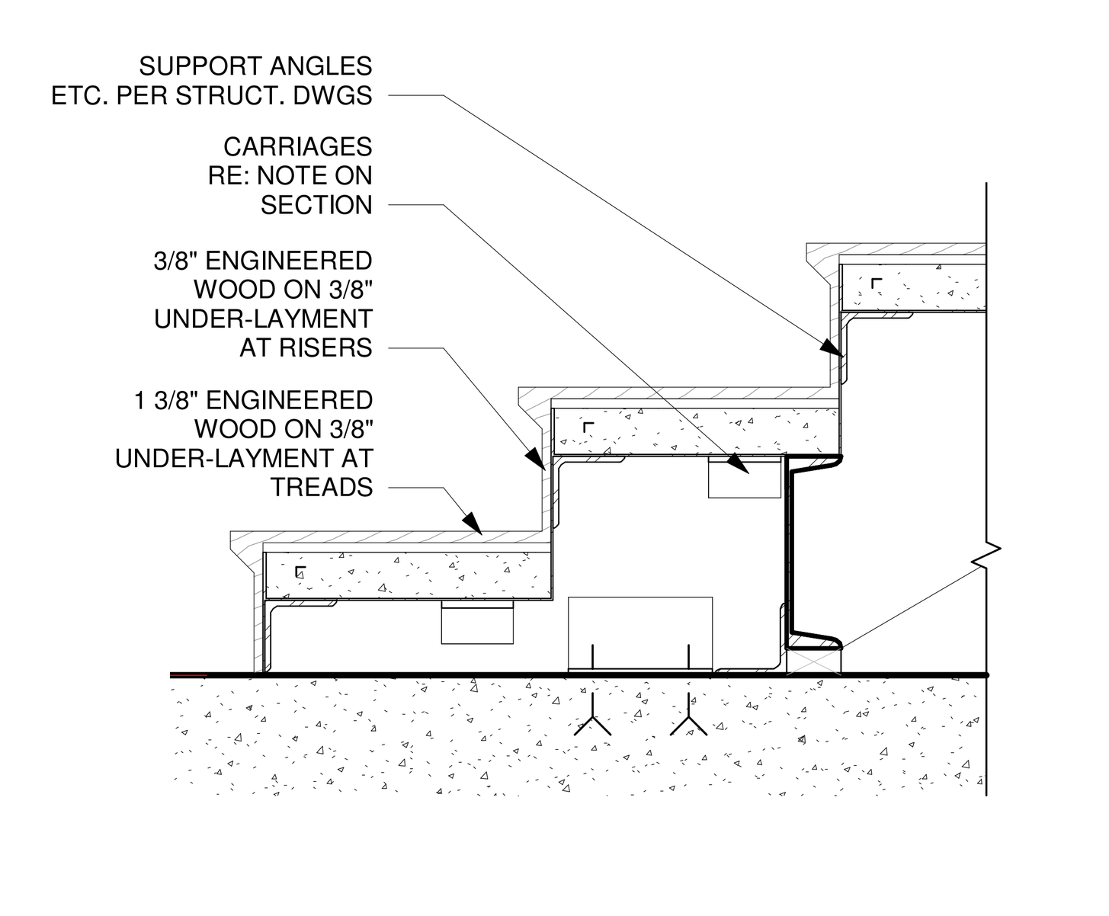
KEY PLAN

TRUE NORTH | PLAN NORTH

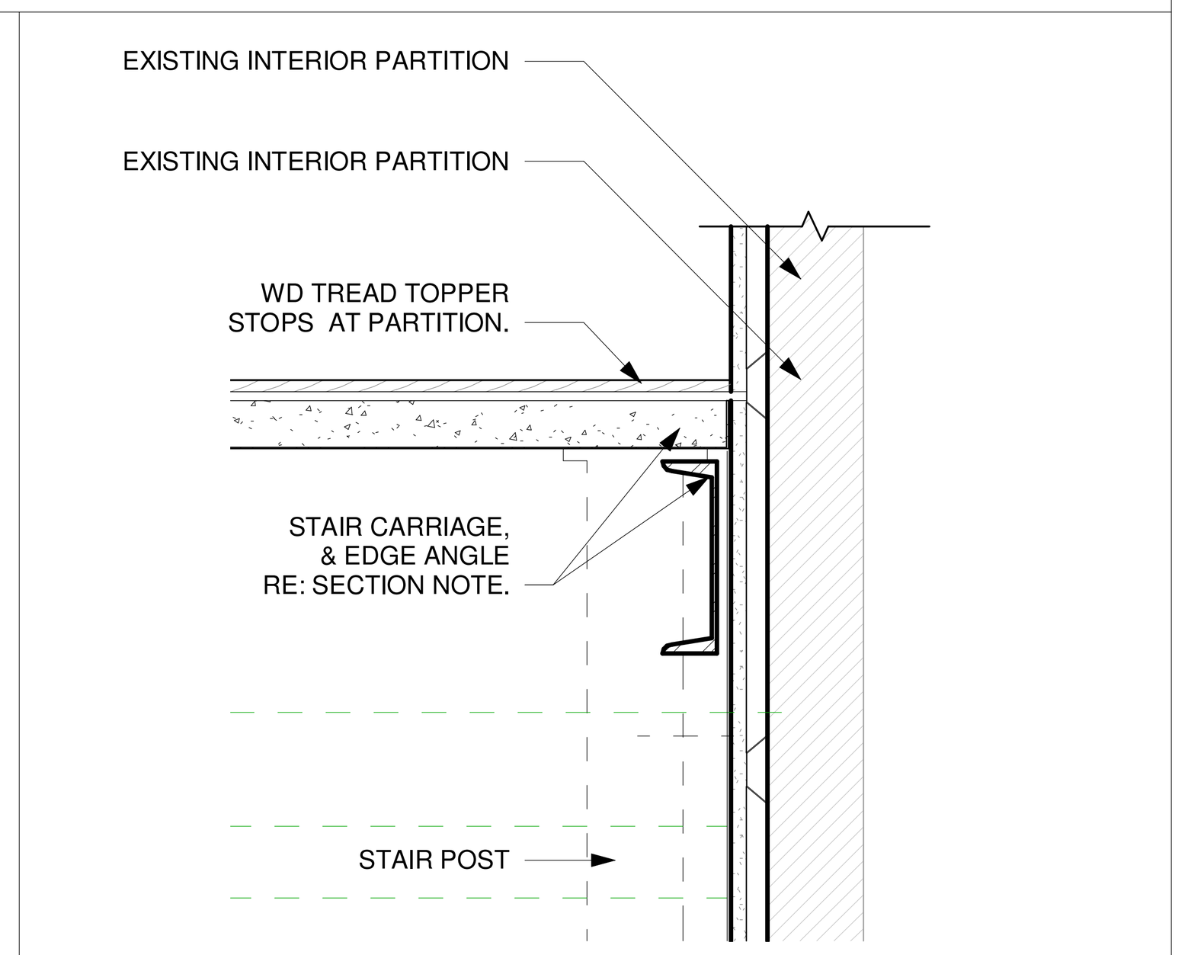
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	PLANS & DETAILS AT LIBRARY
Drawing Number	A2.20



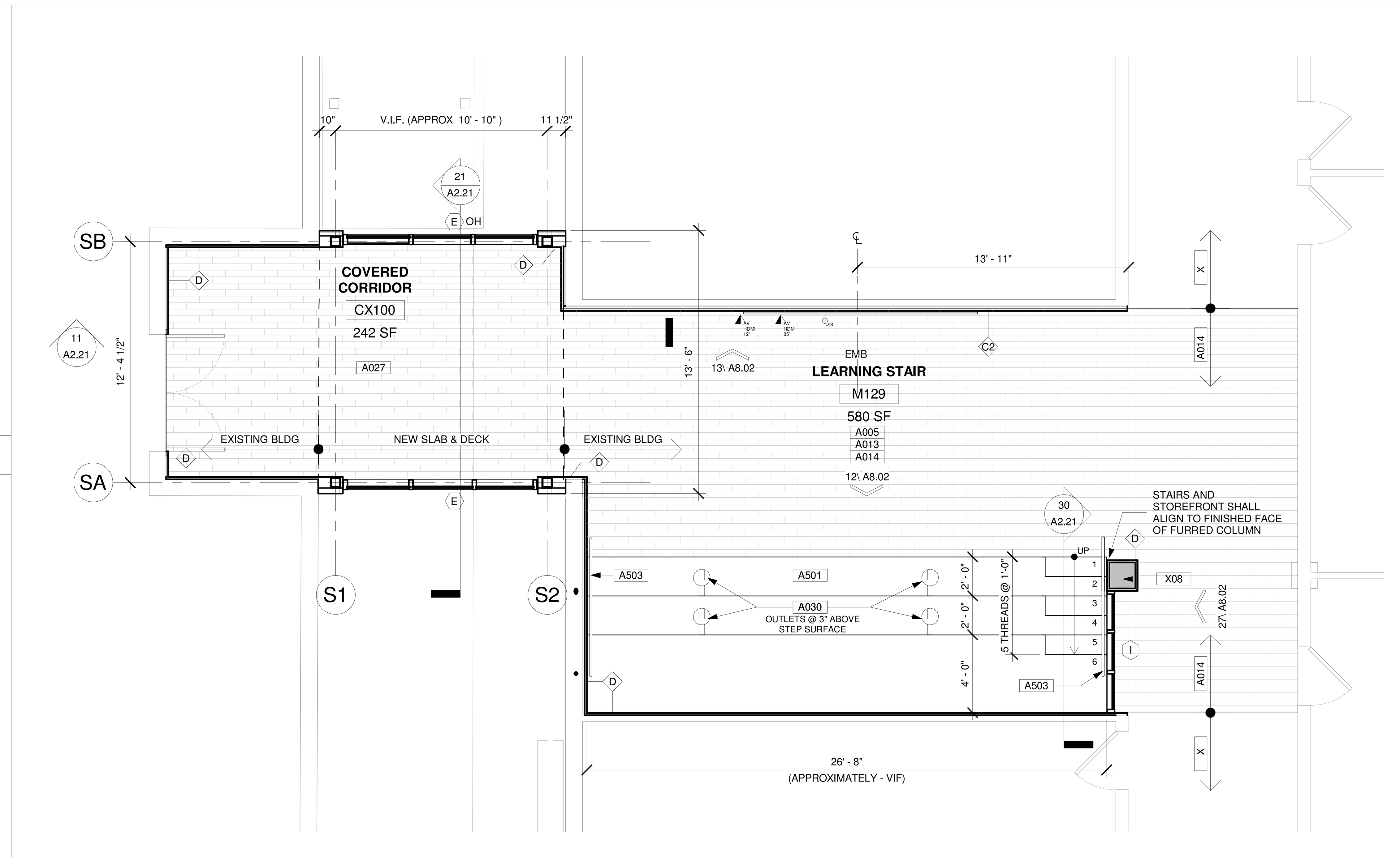
30 SECTION @ LEARNING STAIR - 1
Scale: 1/2" = 1'-0"



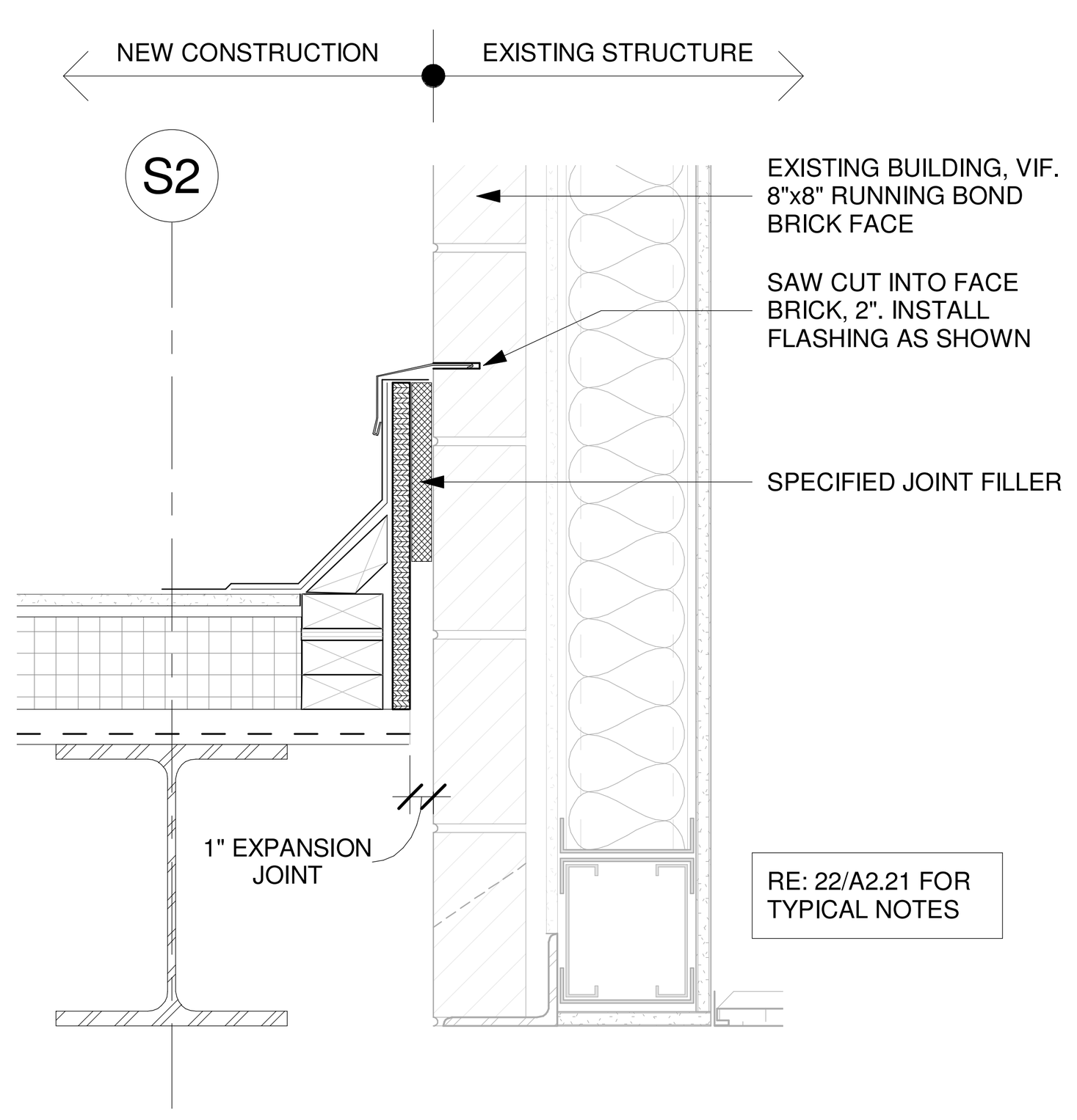
29 DETAIL @ LEARNING STAIR
Scale: 1 1/2" = 1'-0"



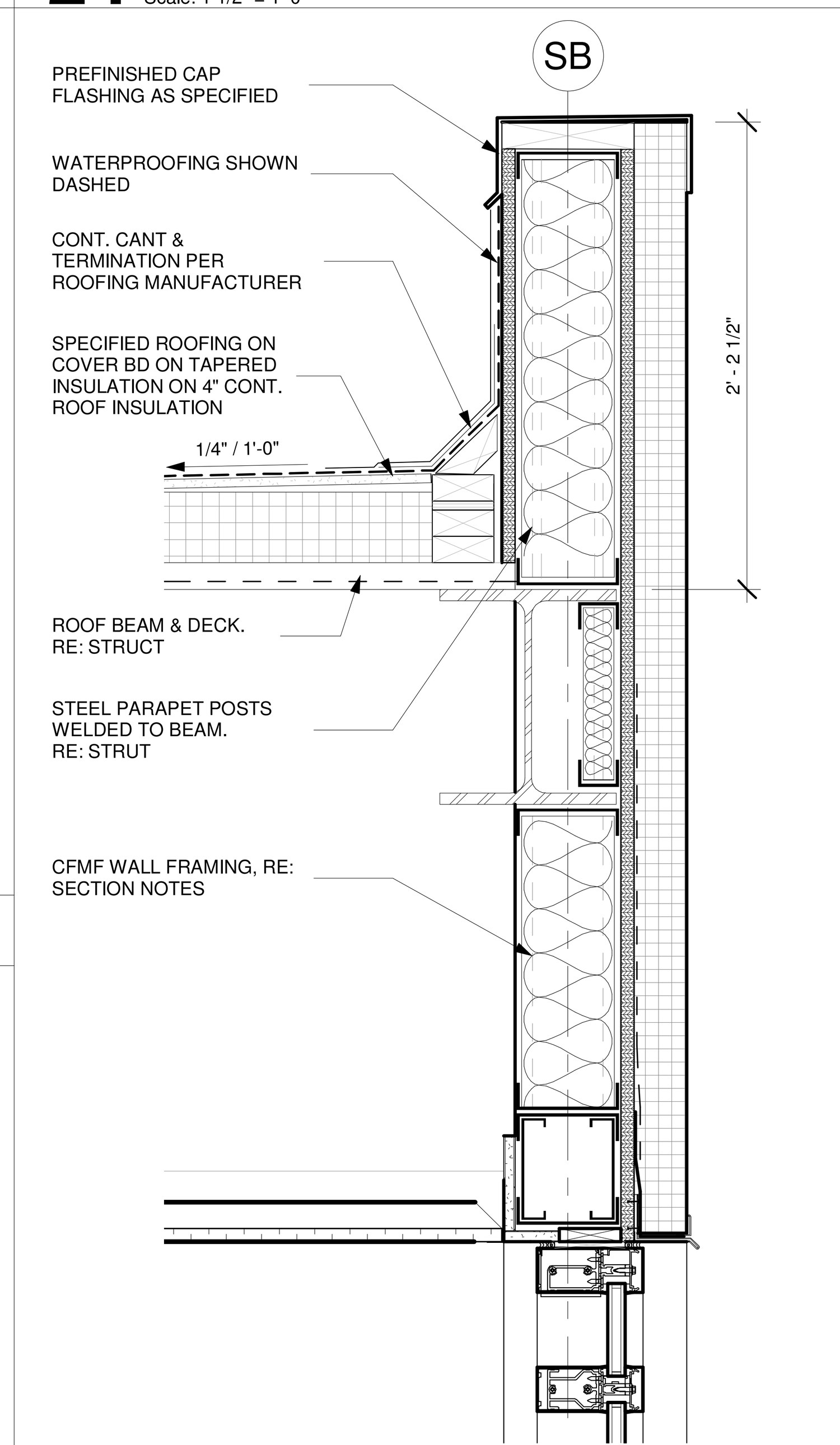
24 DETAIL @ LEARNING STAIR 2
Scale: 1 1/2" = 1'-0"



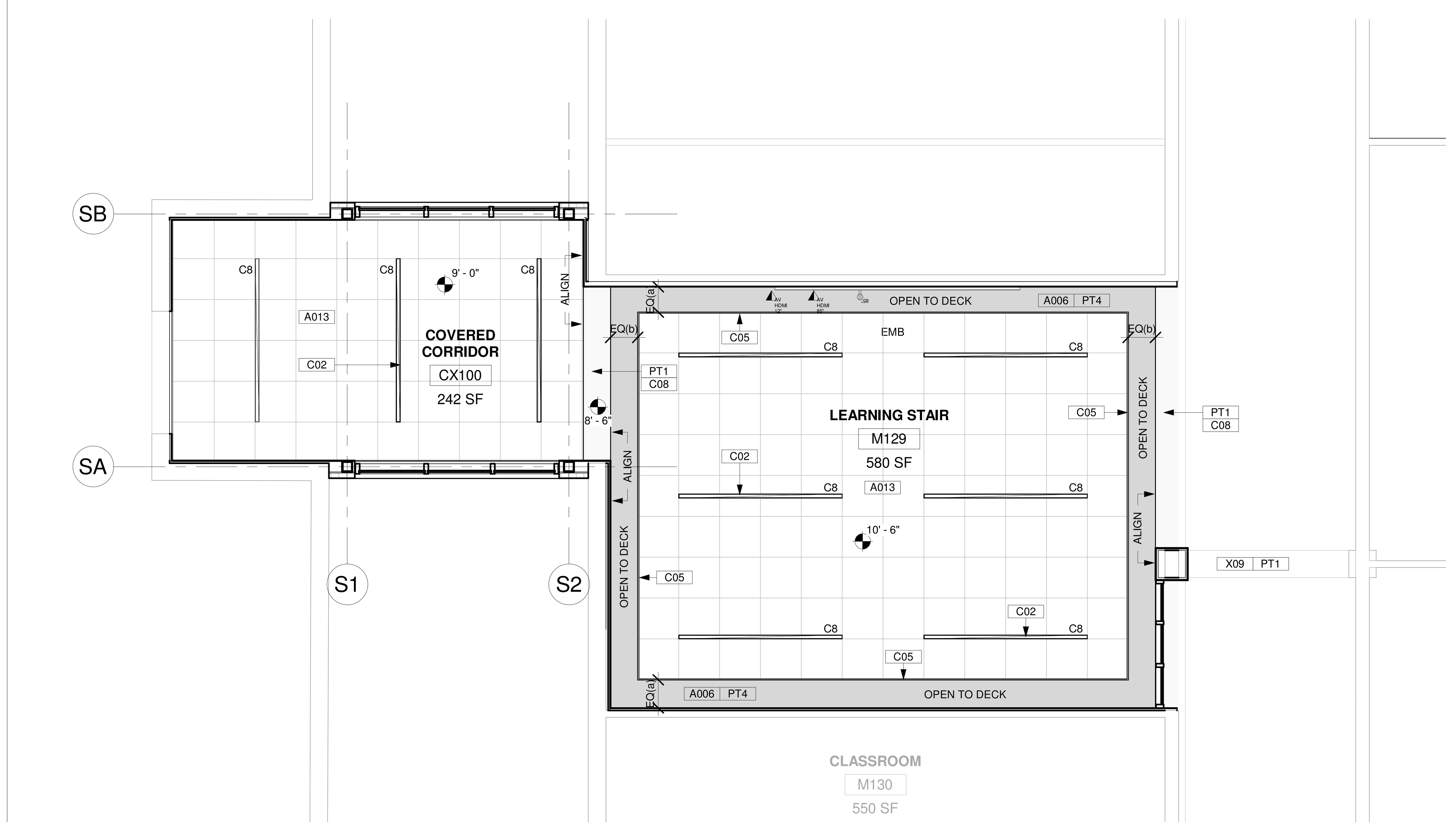
19 ENLARGED CONSTRUCTION PLAN - LEARNING STAIR
Scale: 1/4" = 1'-0"



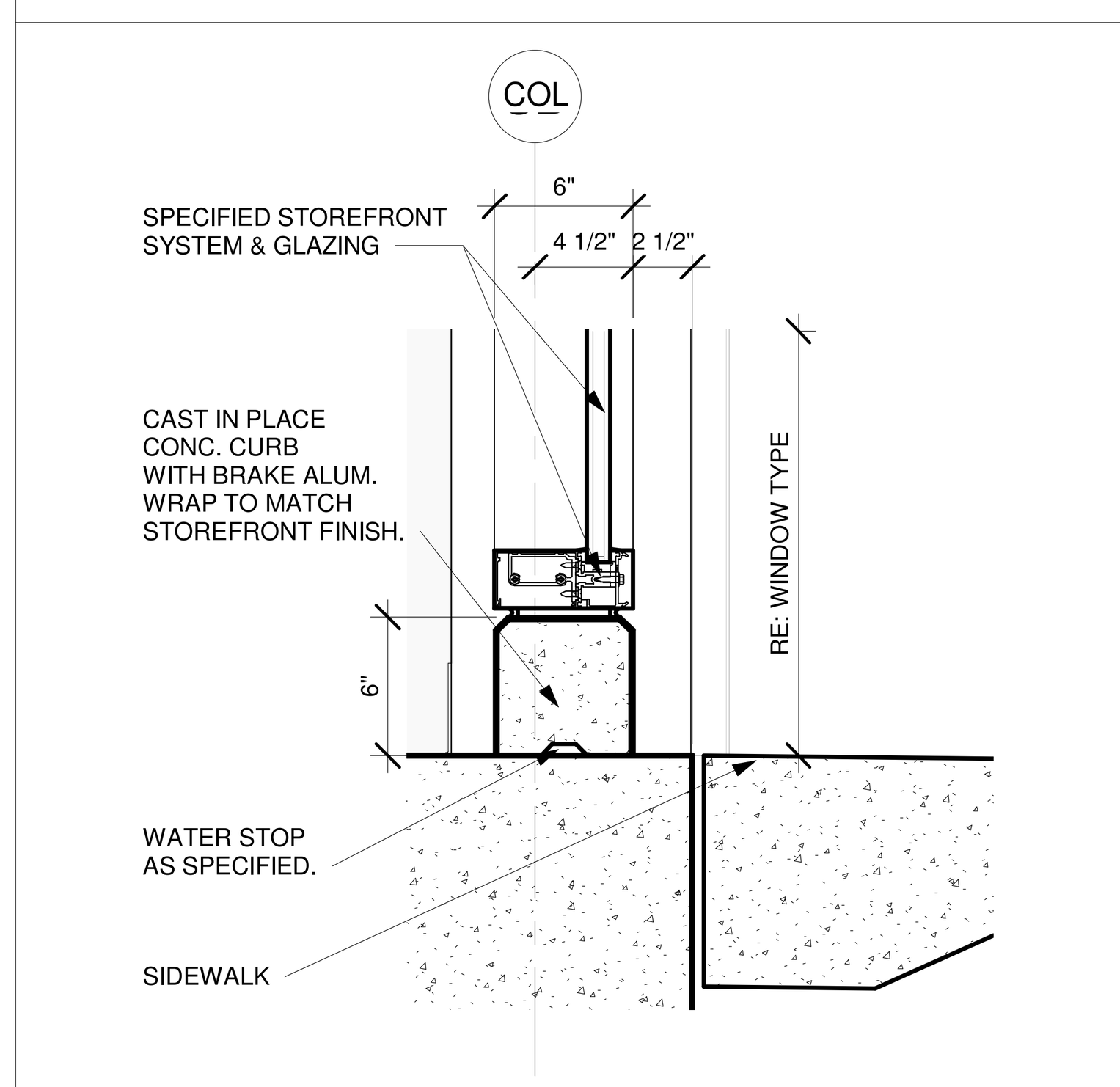
28 CONNECTOR DET @ EXISTING BLDG
Scale: 1 1/2" = 1'-0"



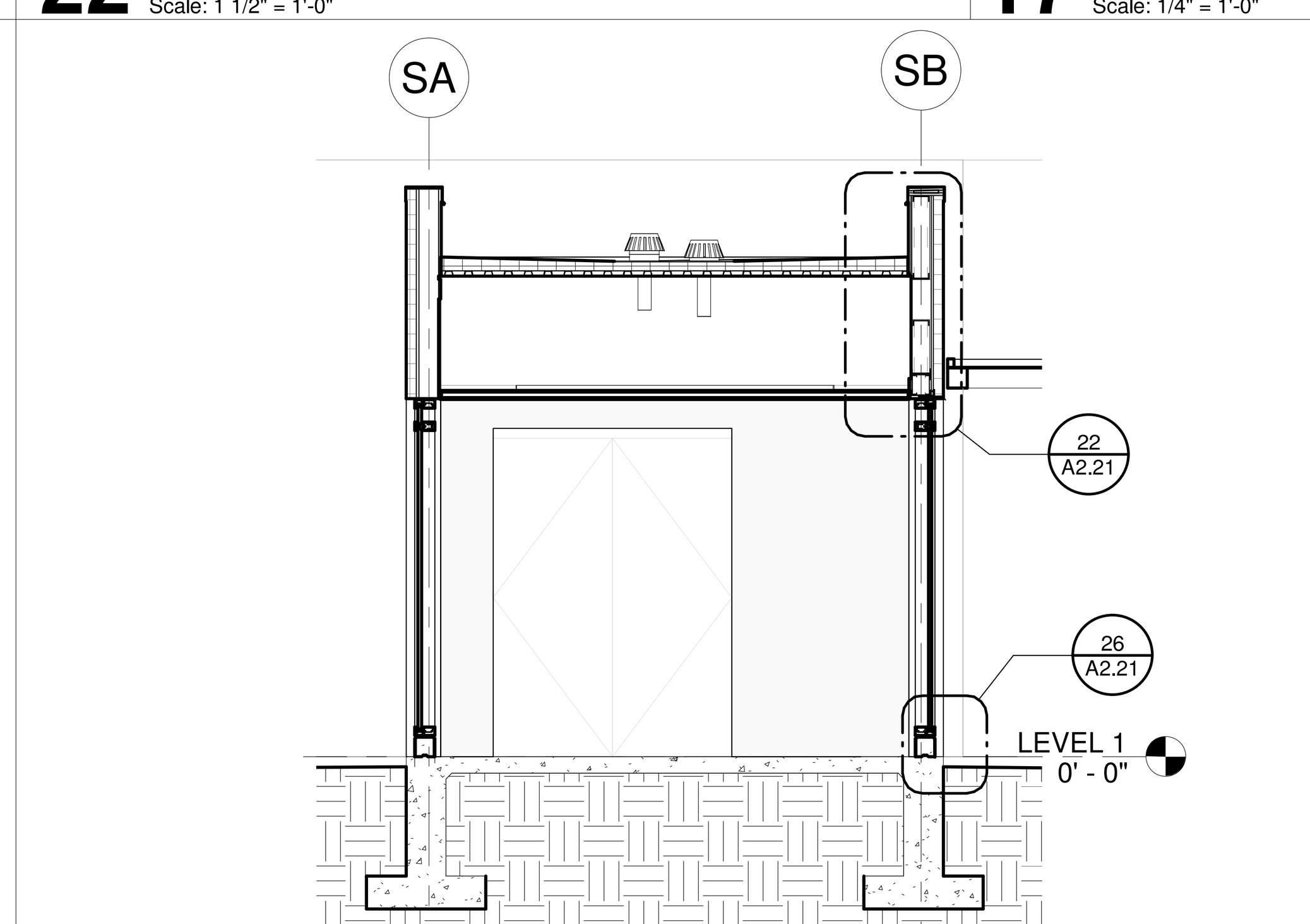
22 CONNECTOR PARAPET DETAIL
Scale: 1 1/2" = 1'-0"



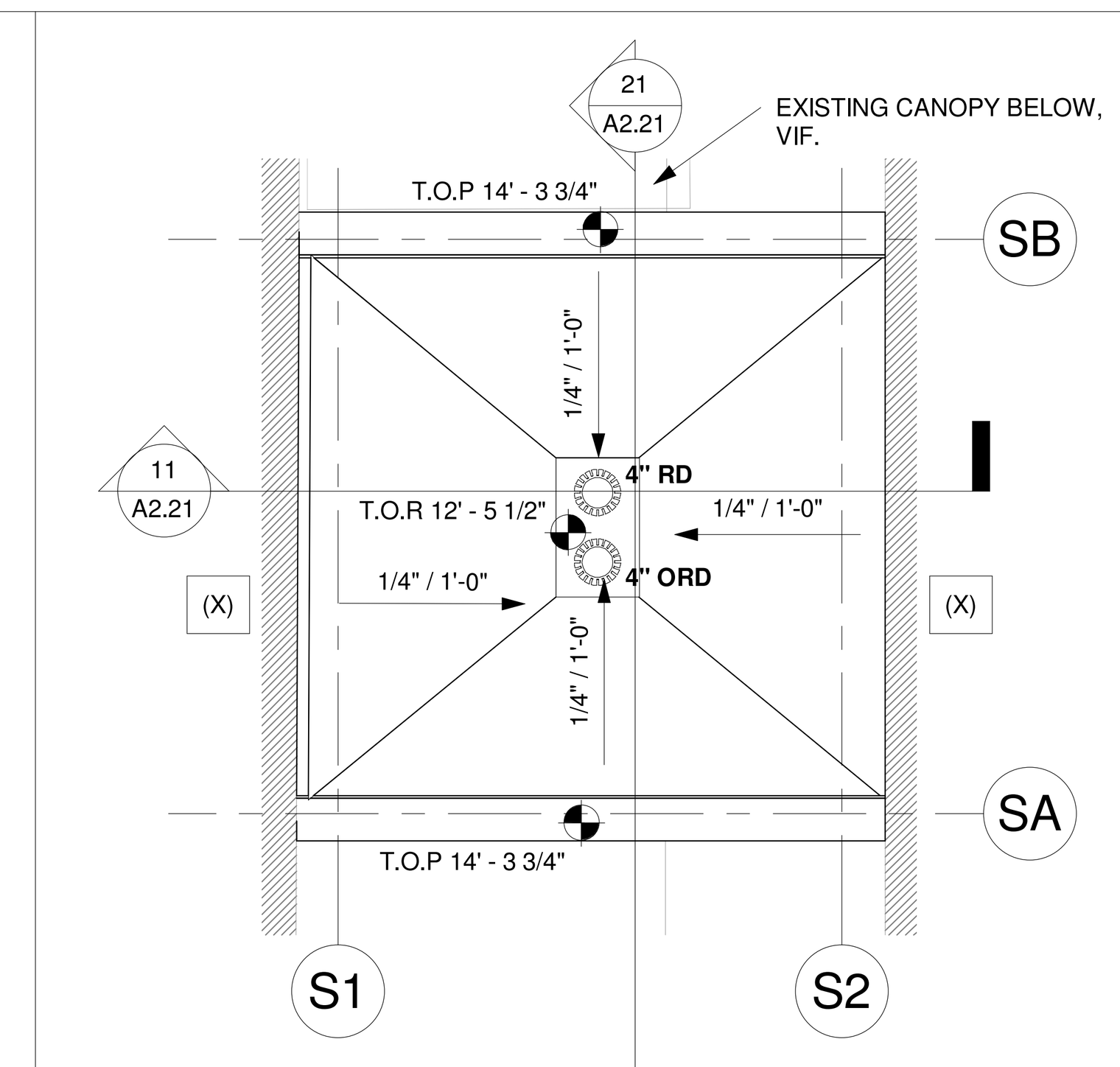
17 ENLARGED CEILING PLAN - LEARNING STAIR
Scale: 1/4" = 1'-0"



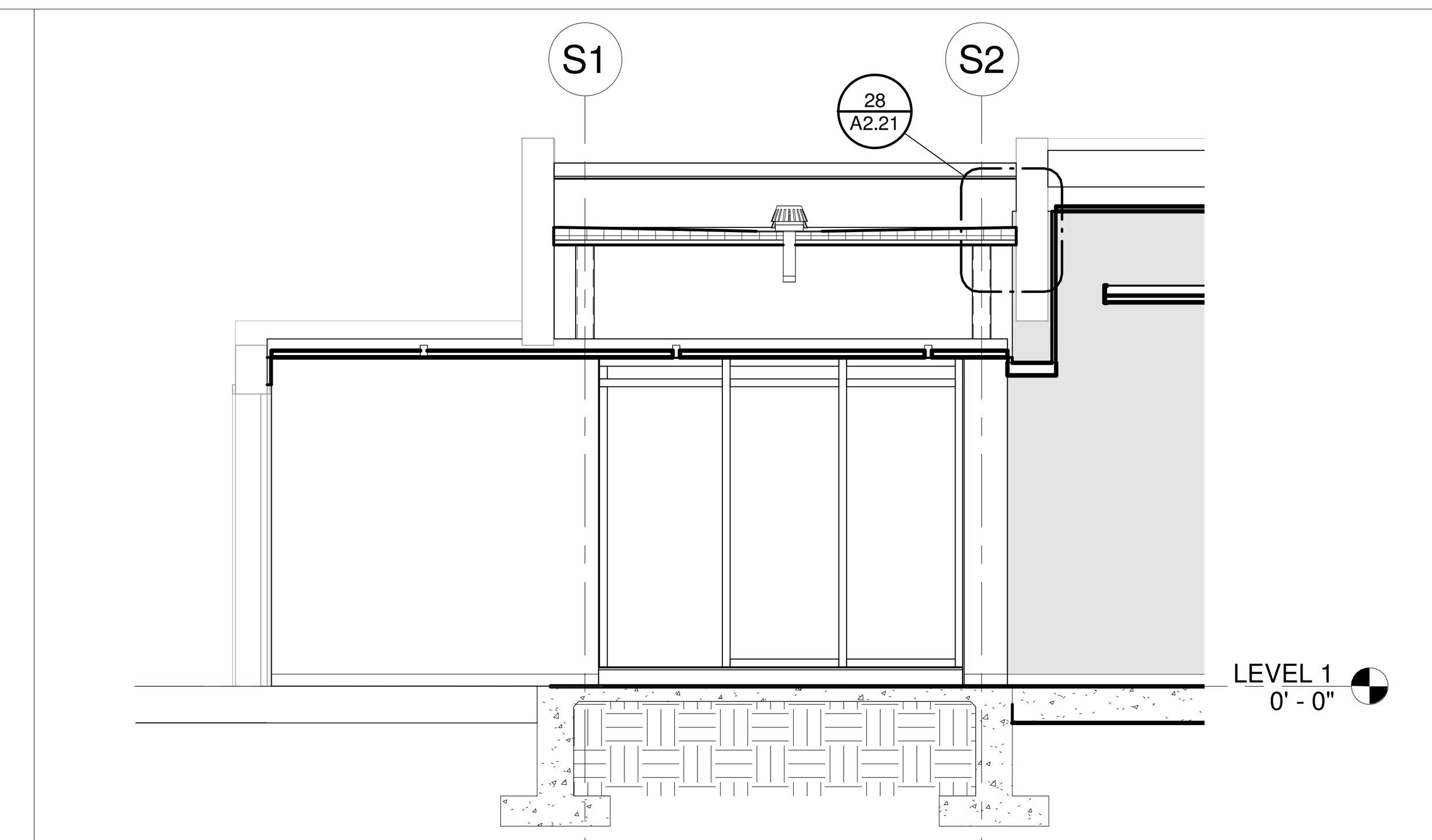
26 SILL @ EXT. STOREFRONT
Scale: 1 1/2" = 1'-0"



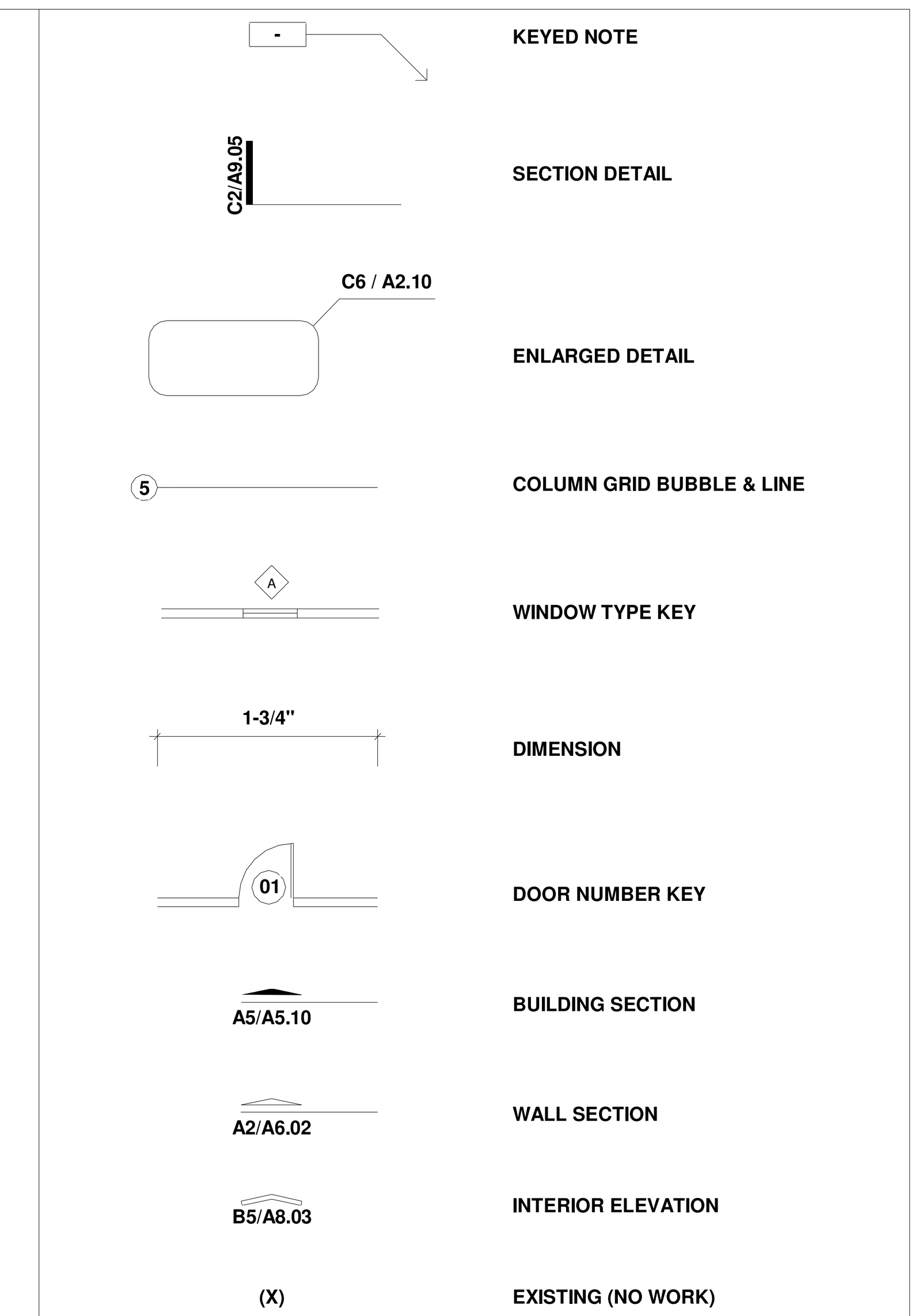
21 CANOPY SECTION
Scale: 1/4" = 1'-0"



16 CONNECTOR ROOF PLAN
Scale: 1/4" = 1'-0"



11 CONNECTOR SECTION
Scale: 1/4" = 1'-0"



04 LEGEND
Scale: NTS

Dimension & Alignment Support Notes:

ALIGN 1: *Align face of new construction w/face of existing.*
ALIGN 2: *Align Centerline of new construciton w/Centerline of existing.*
ALIGN 3: *Align gridline/join grid w/existing grid.*
LEVEL 1: *Ensure top of new construction is level w/existing surface.*
LEVEL 2: *Level floor & surface to recieve new construction.*
LEVEL 3: *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

HANDLE 1: *Handle item w/care, and store for owner review.*
HANDLE 2: *Handle remaining building, pavement, fence, or item w/care.*
HANDLE 3: *Handle re-located items with care. DISCONNECT 1, FIXW.*
FIXW: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
FIX1: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
SITE1: *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
INFO1: *Inform Architect prior to the start of this work.*
CONNECT1: *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
CONNECT2: *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
DISCONNECT1: *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
ENGINEER1: *Professional engineering supervision is required for this work.*
SHOP1: *Provide shop drawings for this work.*
REFERENCE: *Refer to photo # for the existing condition at this location.*
SLOPE1: *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
PROTECT1: *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
EGRESS: *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
TREE1: *Refer to Landscape Drawings & Specs for removing trees.*
OPERATE: *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
ENSURE1: *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
ENSURE2: *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
ENSURE3: *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
PHASE1: *Work within this area may occur in phase ONE.*
PHASE2: *Work within this area may occur in phase TWO.*

03 SUPPORT NOTES
Scale: NTS

A005	PAINT ENTIRE AREA. FOR CLASSROOMS, USE ACCENT PAINT COLOR TBD ON TEACHING WALL MARKERBOARD IS LOCATED. RE:FINISH SCHEDULE. (HANDLE 2; FIXW)
A006	REHAB DECK AND STRUCTURE ABOVE, CLEAN, AND PAINT. (HANDLE 2; FIXW)
A013	PROVIDE NEW CEILING TILE AND GRID AT SAME HEIGHT AS EXISTING CEILING, RE: FINISH SCHEDULE. WHERE ROOM HAS CHANGED PLAN ARRANGEMENT, CENTER GRID ON NEW WALLS UNLESS INDICATED OTHERWISE. WHERE ROOM REMAINS THE SAME IN PLAN, CENTER GRID TO MATCH PREVIOUS UNLESS INDICATED OTHERWISE.
A014	PROVIDE NEW LVT FLOORING AS INDICATED IN FINISH SCHEDULE.
A027	NEW CONNECTOR, WITH STEEL STRUCTURE, METAL ROOF, CONCRETE SLAB & FOUNDATION, AND ALUMINUM STOREFRONT WALLS.
A030	NEW OUTLETS/DATAPORTS AS SPECIFIED. RE: PLANS, ELECTRICAL DRAWINGS.
A501	LEARNING STAIR: WOOD VENEER OVER STEEL STAIR SUBSTRUCTURE, RE: DETAILS. (ENGINEER 1; SHOP 1)
A503	1-1/2" DIA. METAL HANDRAIL @ 36" A.F.F.; FLOOR MOUNTED THROUGH WOOD VENEER TO STEEL STAIR BELOW; PROVIDE ESTUCHEON TO MATCH FINISH OF RAIL. (FIXW; SHOP 1)
C02	SCHEDULED RECESSED LINEAR LIGHT FIXTURE, RCP INDICATES TYPE. RE: ELECTRICAL DRAWINGS.
C05	PERIMETER TRIM AS SPECIFIED AROUND CLOUD CEILING.
C08	GYP. BD. BULKHEAD: 1 LAYER GYP. ON 3-5/8" MTL. STUDS @ 16â€ O.C. SUSPENDED FROM STRUCTURE ABOVE TO ALIGN TO ADJACENT CEILINGS UNLESS OTHERWISE NOTED. (ALIGN 1)
PT1	PAINT (FIELD).
PT4	PAINT (ACCENT 4).
X08	EXISTING STRUCTURAL COLUMNS SHALL NOT BE AFFECTED BY NEW WORK. V.I.F. (PROTECT 1)
X09	EXISTING BULKHEAD FURR DOWN. CONTRACTOR TO VERIFY IN FIELD.

02 KEYNOTES
Scale: NTS

1. HANDLE STRUCTURE OF EXISTING BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING. REPORT TO THE ARCHITECT ANY INDICATIONS OF STRUCTURAL DAMAGE.
2. PROTECT THROUGHOUT DEMOLITION AND CONSTRUCTION ALL ITEMS INDICATED TO REMAIN INCLUDING BUT NOT LIMITED TO: BUILDINGS AND OTHER STRUCTURES, FLOORING, WALLS, CEILINGS, FINISHES, MEP/ SECURITY SYSTEMS, UTITIIES, MILWORK, ETC.
3. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION, PARTICULARLY IN AREAS OF WORK.
4. REPORT TO THE ARCHITECT ANY UNFORESEEN CONDITIONS OR AS-BUILT CONDITIONS NOT REFLECTED IN THE DRAWINGS, THAT COULD AFFECT THE WORK.
5. MAINTAIN SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
6. ALL DIMENSIONS TO WALLS ARE TO FINISH-FACE OF WALL UNLESS INDICATED OTHERWISE. (SIDE INDICATED GRAPHICALLY IN THE DRAWINGS).
7. PROVIDE NECESSARY BLOCKING AT WALLS FOR ALL PLUMBING FIXTURES, EQUIPMENT, MILLWORK, AND ACCESSORIES.
8. PLANS INDICATE HORIZONTAL DIMENSIONS ONLY. REFER TO ELEVATIONS & SECTIONS FOR VERTICAL DIMENSIONS.
9. PROVIDE PARTITION CURBS FOR MECH./ELEC. ROOM'S PERIMETER, TYP. UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
11. REFER TO DOOR AND WINDOW DETAILS FOR DIMENSIONS AT OPENINGS.
12. REFER TO DEMOLITION DRAWINGS FOR DEMOLITION INFORMATION.
13. REFER TO CODE ANALYSIS INFORMATION SHEET A0.20 FOR EXTENT OF EXTENDED FIRE-SPRINKLER SYSTEM.

01 GENERAL NOTES - CONSTRUCTION
Scale: NTS

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

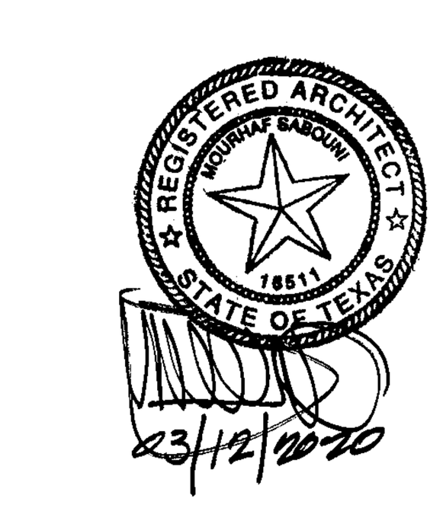
AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

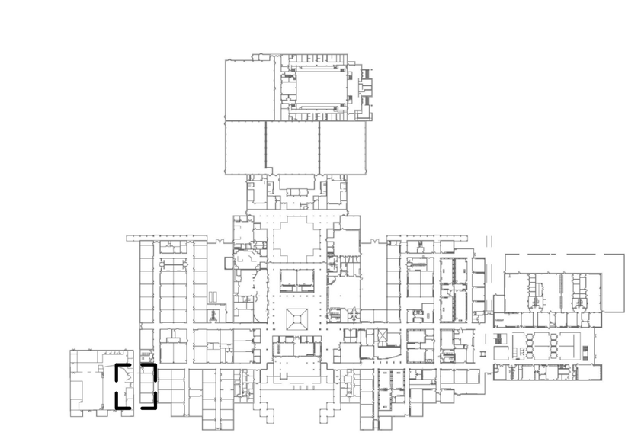


A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



KEY PLAN

TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
PLANS & DETAILS AT CONNECTOR

Drawing Number
A2.21

26 CEILING LEGEND
Scale: NTS

2'X2' ACOUSTICAL CEILING AS SPECIFIED.

INDOORS: GYP. BD. CEILING, PAINTED
OUTDOORS: PLASTER CEILING AS SPECIFIED

TYPE "A": RECESSED INDIRECT (2' (W) X 4' (L)).
RE: ELECTRICAL DWGS.

TYPE "B8": SUSPENDED LINEAR INDIRECT (6" (W) X 8' (L)).
RE: ELECTRICAL DWGS.

TYPE "C8": RECESSED LINEAR DIRECT (4" (W) X 8' (L)).
RE: ELECTRICAL DWGS.

TYPE "D8": CYLINDRICAL PENDANT (12" DIA).
RE: ELECTRICAL DWGS.

TYPE "E4": SQUARE RECESSED DOWNLIGHT (4" (W) X 4" (L)).
TYPE "E6": SQUARE RECESSED DOWNLIGHT (6" (W) X 6" (L)).
RE: ELECTRICAL DWGS.

TYPE "F1": CYLINDRICAL PENDANT INDIRECT (12" DIA).
TYPE "F3": CYLINDRICAL PENDANT INDIRECT (36" DIA).
TYPE "F4": CYLINDRICAL PENDANT INDIRECT (48" DIA).
RE: ELECTRICAL DWGS.

TYPE "X": EMERGENCY LIGHT, RE: ELECTRICAL DWGS

CONT. LED WALL WASHER LIGHT FIXTURE,
RE: ELECTRICAL DWGS.

KEYED NOTE

3/13/2020 1:52:46 PM

21 SUPPORT NOTES
Scale: NTS

Dimension & Alignment Support Notes:

- ***ALIGN 1:*** *Align face of new construction w/face of existing.*
- ***ALIGN 2:*** *Align Centerline of new construciton w/Centerline of existing.*
- ***ALIGN 3:*** *Align gridline/join grid w/existing grid.*
- ***LEVEL 1:*** *Ensure top of new construction is level w/existing surface.*
- ***LEVEL 2:*** *Level floor & surface to recieve new construction.*
- ***LEVEL 3:*** *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

- ***HANDLE 1:*** *Handle item w/care, and store for owner review.*
- ***HANDLE 2:*** *Handle remaining building, pavement, fence, or item w/care.*
- ***HANDLE 3:*** *Handle re-located items with care. DISCONNECT 1, FIXW.*
- ***FIXW:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***FIX1:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***SITE1:*** *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
- ***INFO1:*** *Inform Architect prior to the start of this work.*
- ***CONNECT1:*** *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
- ***CONNECT2:*** *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
- ***DISCONNECT1:*** *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
- ***ENGINEER1:*** *Professional engineering supervision is required for this work.*
- ***SHOP1:*** *Provide shop drawings for this work.*
- ***REFERENCE:*** *Refer to photo # for the existing condition at this location.*
- ***SLOPE1:*** *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
- ***PROTECT1:*** *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
- ***EGRESS:*** *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
- ***TREE1:*** *Refer to Landscape Drawings & Specs for removing trees.*
- ***OPERATE:*** *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
- ***ENSURE1:*** *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
- ***ENSURE2:*** *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
- ***ENSURE3:*** *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
- ***PHASE1:*** *Work within this area may occur in phase ONE.*
- ***PHASE2:*** *Work within this area may occur in phase TWO.*

16 ENLARGED CEILING PLAN AT MAGNET SCHOOL - SOUTH
Scale: 1/8" = 1'-0"

04 KEYNOTES
Scale: NTS

A006	REHAB DECK AND STRUCTURE ABOVE, CLEAN, AND PAINT. (HANDLE 2; FIXW)
A013	PROVIDE NEW CEILING TILE AND GRID AT SAME HEIGHT AS EXISTING CEILING, RE: FINISH SCHEDULE. WHERE ROOM HAS CHANGED PLAN ARRANGEMENT, CENTER GRID ON NEW WALLS UNLESS INDICATED OTHERWISE. WHERE ROOM REMAINS THE SAME IN PLAN, CENTER GRID TO MATCH PREVIOUS UNLESS INDICATED OTHERWISE.
A031	NEW CEILING MOUNTED OUTLET AND POWER CORD REEL. RE:CEILING PLANS, ELECTRICAL DRAWINGS.
A308	RE: DEMOLITION DRAWINGS FOR REMOVAL OF EXISTING CEILING PROJECTORS AND REQUIREMENTS FOR NEW OFOI WALL-MOUNTED SMART PROJECTORS. RE: MEP DRAWINGS.
C01	SCHEDULED 2X4 OR 2X2 LIGHT FIXTURE, RCP INDICATES TYPE. RE: ELECTRICAL DRAWINGS.
C02	SCHEDULED RECESSED LINEAR LIGHT FIXTURE, RCP INDICATES TYPE. RE: ELECTRICAL DRAWINGS.
C03	SCHEDULED RECESSED 4"X4" SQUARE LIGHT FIXTURE, RCP INDICATES TYPE. RE: ELECTRICAL DRAWINGS.
C04	SCHEDULED DECORATIVE PENDANT LIGHT FIXTURE, RCP INDICATES TYPE. PENDANTS HANG TO 10'-0" A.F.F. OR 18" BELOW THE CEILING OR LOWEST DUCT, WHICHEVER IS LESS. PENDANTS SHALL IN NO CASES HANG BELOW 9'-0" RE: ELECTRICAL DRAWINGS.
C05	PERIMETER TRIM AS SPECIFIED AROUND CLOUD CEILING.
C07	GYP. BD. CEILING: 1 LAYER GYP. ON CEILING-FURRING CHANNELS AT 24" O.C. MAX ON 1-1/2" MTL. STUDS AT 48" O.C. MAX IN PERPENDICULAR DIRECTION; SUSPENDED WITH WIRE HANGERS FROM STRUCTURE ABOVE AT 48" O.C. MAX. CEILING AT 9'-0" A.F.F. UNLESS INDICATED OTHERWISE.
C08	GYP. BD. BULKHEAD: 1 LAYER GYP. ON 3-5/8" MTL. STUDS @ 16â€ O.C. SUSPENDED FROM STRUCTURE ABOVE TO ALIGN TO ADJACENT CEILINGS UNLESS OTHERWISE NOTED. (ALIGN 1)
X09	EXISTING BULKHEAD FURR DOWN. CONTRACTOR TO VERIFY IN FIELD.

01 GENERAL NOTES - CEILINGS
Scale: NTS

1. EXTEND ALL SUPPLY AND RETURN AIR DUCTS THROUGH THE NEW CEILINGS AND WALLS. REBALANCE AS NECESSARY TO MAINTAIN FULL FUNCTIONALITY OF HVAC SYSTEM.
2. ADJUST/RELOCATE ALL DUCTS, DIFFUSERS, CABLES, SECURITY DEVICES, AND IT DEVICES THAT CONFLICT WITH NEW CEILINGS, WALLS, AND OTHER CONSTRUCTION.
3. ALL CLOUD CEILINGS TO HAVE 4" EXTRUDED ALUMINUM PERIMETER TRIM. **RE: SPEC.**
4. ALL GYPSUM CEILINGS TO BE 10' - 0" A.F.F. UNLESS INDICATED OTHERWISE.
5. ALL RESTROOM GYPSUM CEILINGS TO BE 9' - 0" A.F.F. UNLESS INDICATED OTHERWISE.
6. ALL ACOUSTICAL LAY-IN CEILINGS TO BE 10' - 0" A.F.F. AND CENTERED WITHIN EACH ROOM UNLESS INDICATED OTHERWISE.
7. ALL LIGHT FIXTURES INSTALLED IN GYP. BD. CEILINGS ARE TO BE CENTERED WITHIN THE ROOM UNLESS INDICATED OTHERWISE.
8. ALL LIGHT FIXTURES AND OTHER EQUIPMENT THAT IS INSTALLED IN ACOUSTICAL CEILING TILE, SHALL BE CENTERED ON A CEILING TILE.
9. ALL LIGHT FIXTURES AT MECHANICAL, ELECRICAL, AND OTHER ROOMS CONTAINING LARGE EQUIPMENT, ARE INDICATED FOR QUANTITY ONLY, LOCATIONS SHALL BE COORDINATED WITH EQUIPMENT BY GC IN FIELD.
10. CEILING PLANS INDICATE ARCHITECTURAL LIGHTING ONLY. RE: MEP/FIRE DRAWINGS FOR EMERGENCY LIGHTING, STROBES, ETC.
11. EXTEND/ADJUST FIRE SPRINKLERS HEADS & PIPES TO ACCOMMODATE THE NEW CEILING & CONSTRUCTION.
12. FIRE SPRINKLER AND ALARM SYSTEMS IN OCCUPIED AREAS SHALL REMAIN FULLY FUNCTIONAL THROUGHOUT THE CONSTRUCTION OF THE PROJECT. UNLESS PERMISSION IS GRANTED BY OWNER, AND COORDINATED WITH APPLICABLE LOCAL AUTHORITIES. CONTACT ARCHITECT AT ONCE IF COMPLETION OF WORK WILL REQUIRE SHUTTING DOWN SPRINKLER OR ALARM SYSTEMS.
13. REFER TO SPECIFICATIONS FOR CEILING TILE MATERIALS AND EQUIPMENT TYPES.

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

REGISTERED ARCHITECT · STATE OF TEXAS
03/12/2020

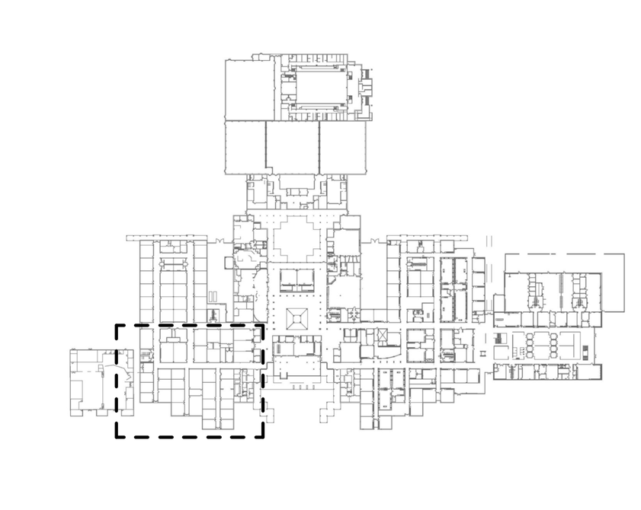
A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

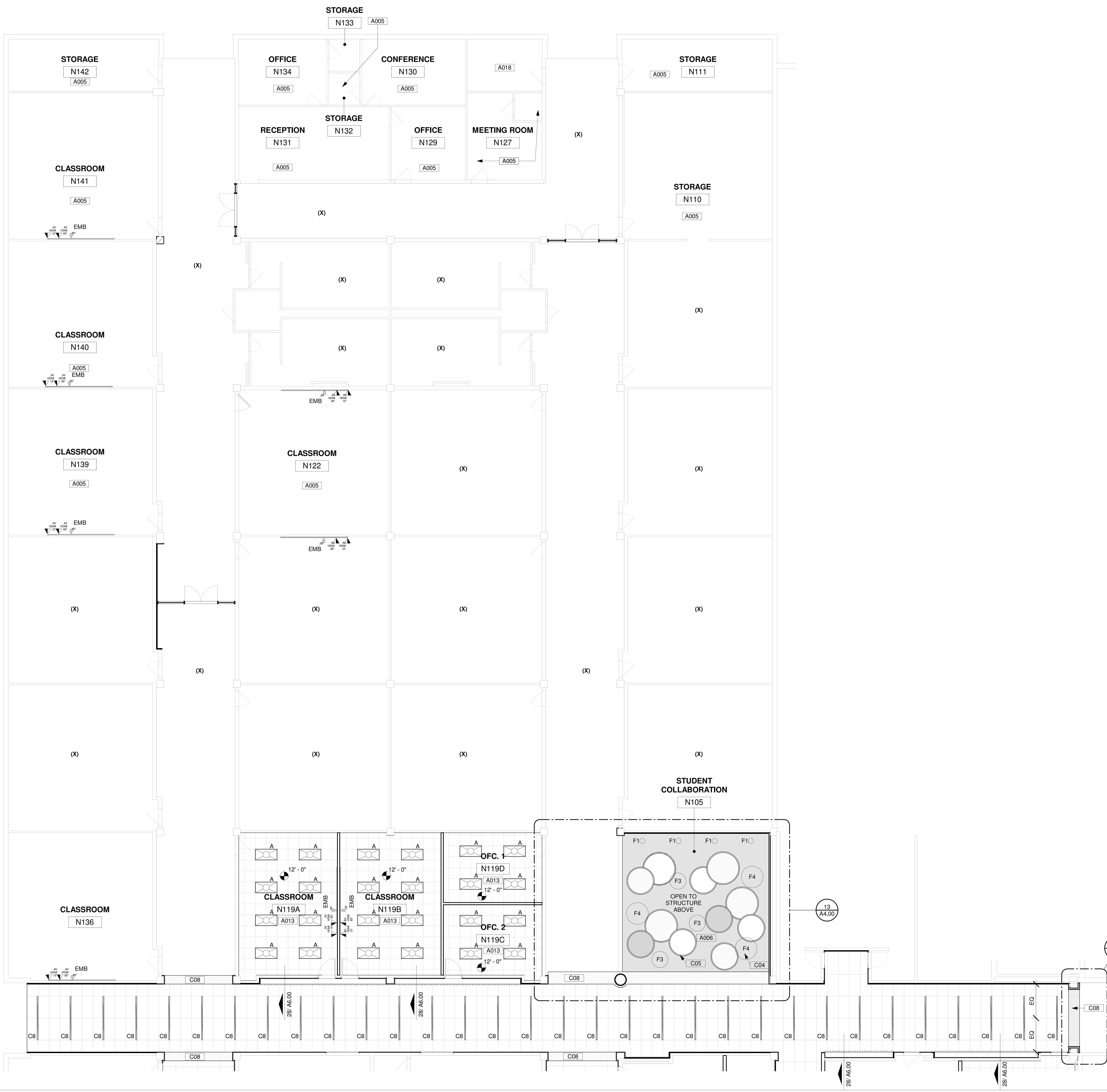
#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION

KEY PLAN



TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	CEILING PLAN AT MAGNET SCHOOL - SOUTH
Drawing Number	A2.50



26 ENLARGED CEILING PLAN AT MAGNET SCHOOL - NORTH

Scale: 1/8" = 1'-0"

2'X2' ACOUSTICAL CEILING AS SPECIFIED.

INDOORS: GYP. BD. CEILING, PAINTED
OUTDOORS: PLASTER CEILING AS SPECIFIED

TYPE "A": RECESSED INDIRECT (2' (W) X 4' (L)).
RE: ELECTRICAL DWGS.

TYPE "B8": SUSPENDED LINEAR INDIRECT (6" (W) X 8' (L)).
RE: ELECTRICAL DWGS.

TYPE "C8": RECESSED LINEAR DIRECT (4" (W) X 8' (L)).
RE: ELECTRICAL DWGS.

TYPE "D8": CYLINDRICAL PENDANT (12" DIA).
RE: ELECTRICAL DWGS.

TYPE "E4": SQUARE RECESSED DOWNLIGHT (4" (W) X 4" (L)).
TYPE "E6": SQUARE RECESSED DOWNLIGHT (6" (W) X 6" (L)).
RE: ELECTRICAL DWGS.

TYPE "F1": CYLINDRICAL PENDANT INDIRECT (12" DIA).
TYPE "F3": CYLINDRICAL PENDANT INDIRECT (36" DIA).
TYPE "F4": CYLINDRICAL PENDANT INDIRECT (48" DIA).
RE: ELECTRICAL DWGS.

TYPE "X": EMERGENCY LIGHT, RE: ELECTRICAL DWGS

CONT. LED WALL WASHER LIGHT FIXTURE,
RE: ELECTRICAL DWGS.

-- KEYED NOTE

05 CEILING LEGEND

Scale: NTS

Dimension & Alignment Support Notes:

ALIGN 1: *Align face of new construction w/face of existing.*
ALIGN 2: *Align Centerline of new construciton w/Centerline of existing.*
ALIGN 3: *Align gridline/join grid w/existing grid.*
LEVEL 1: *Ensure top of new construction is level w/existing surface.*
LEVEL 2: *Level floor & surface to recieve new construction.*
LEVEL 3: *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

HANDLE 1: *Handle item w/care, and store for owner review.*
HANDLE 2: *Handle remaining building, pavement, fence, or item w/care.*
HANDLE 3: *Handle re-located items with care. DISCONNECT 1, FIXW.*
FIXW: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
FIX1: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
SITE1: *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
INFO1: *Inform Architect prior to the start of this work.*
CONNECT1: *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
CONNECT2: *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
DISCONNECT1: *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
ENGINEER1: *Professional engineering supervision is required for this work.*
SHOP1: *Provide shop drawings for this work.*
REFERENCE: *Refer to photo # for the existing condition at this location.*
SLOPE1: *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
PROTECT1: *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
EGRESS: *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
TREE1: *Refer to Landscape Drawings & Specs for removing trees.*
OPERATE: *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
ENSURE1: *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
ENSURE2: *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
ENSURE3: *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
PHASE1: *Work within this area may occur in phase ONE.*
PHASE2: *Work within this area may occur in phase TWO.*

03 SUPPORT NOTES

Scale: NTS

A005 PAINT ENTIRE AREA. FOR CLASSROOMS, USE ACCENT PAINT COLOR TBD ON TEACHING WALL MARKERBOARD IS LOCATED. RE:FINISH SCHEDULE. (HANDLE 2; FIXW)

A006 REHAB DECK AND STRUCTURE ABOVE, CLEAN, AND PAINT. (HANDLE 2; FIXW)

A013 PROVIDE NEW CEILING TILE AND GRID AT SAME HEIGHT AS EXISTING CEILING, RE: FINISH SCHEDULE. WHERE ROOM HAS CHANGED PLAN ARRANGEMENT, CENTER GRID ON NEW WALLS UNLESS INDICATED OTHERWISE. WHERE ROOM REMAINS THE SAME IN PLAN, CENTER GRID TO MATCH PREVIOUS UNLESS INDICATED OTHERWISE.

A018 NO NEW FINISHES OR ARCHITECTURAL WORK IN ELECTRICAL, MECHANICAL, AND JANITOR'S ROOMS. RE: MEP DRAWINGS FOR SCOPE.

C04 SCHEDULED DECORATIVE PENDANT LIGHT FIXTURE, RCP INDICATES TYPE. PENDANTS HANG TO 10'-0" A.F.F. OR 18" BELOW THE CEILING OR LOWEST DUCT, WHICHEVER IS LESS. PENDANTS SHALL IN NO CASES HANG BELOW 9'-0" RE: ELECTRICAL DRAWINGS.

C05 PERIMETER TRIM AS SPECIFIED AROUND CLOUD CEILING.

C08 GYP. BD. BULKHEAD: 1 LAYER GYP. ON 3-5/8" MTL. STUDS @ 16â€ O.C. SUSPENDED FROM STRUCTURE ABOVE TO ALIGN TO ADJACENT CEILINGS UNLESS OTHERWISE NOTED. (ALIGN 1)

02 KEYNOTES

Scale: NTS

1. MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING WALLS, PARAPETS, ROOFTOP UNITS, AND OTHER ROOFTOP EQUIPMENT AT ALL AREAS WHERE ROOF WORK IS DONE. COORDINATE W/ ROOFING MANUFACTURER FOR MEANS AND METHODS.
2. EXISTING ROOFTOP EQUIPMENT INDICATED TO REMAIN, SHALL BE PROTECTED.
3. ALL NEW EXPOSED METAL FLASHING/TRIM PIECES ARE TO BE 24GA PRE-FINISHED GALV. STEEL, UNLESS NOTED OTHERWISE. PAINT ALL EXPOSED METAL FLASHING/TRIM PIECES THAT ARE NOT PREFINISHED, AS WELL AS, ALL EXPOSED MISC STEEL PIECES, TYP.
4. ALL NEW WOOD BLOCKING AT ROOF EDGES, RIDGES, ETC ARE TO BE FABRICATED FROM CONTINUOUS 2X6' FIRE TREATED WOOD BLOCKING; 2X6 IS MIN SIZE, PROVIDE LARGER WHERE REQUIRED.
5. ALL NEW GUTTERS TO BE PREFINISHED 24GA, GALV STEEL. GUTTERS ARE 6"X6" TYP, UNLESS NOTED OTHERWISE. PROVIDE PAINTED 1/4" X 1 1/2" GALV STEEL BENT PLATE BRACKETS & 14GA X 1" GALV STEEL SPACERS AT 36"OC MAX - STAGGER WITH EACH OTHER AT 18"OC TYP. AT ALL GUTTERS, PROVIDE PREFINISHED GUTTER EXPANSION JOINTS & PAINTED SCREENS PER 'SMACNA', TYP. PROVIDE PREFINISHED GALV STEEL 24GA FASCIA ON ALL GUTTERS.
6. WHETHER INDICATED OR NOT ON THESE DRAWINGS, PROVIDE AND INSTALL WALK-PADS AT ALL NEW AND EXISTING SERVICEABLE ROOFTOP EQUIPMENT, AND AT MAINTENANCE PANELS, ROOF HATCHES, LADDER TOPS AND BOTTOMS, AND OTHER AREAS OF MEMBRANE ROOF THAT ARE EXPECTED TO RECIEVE FOOT TRAFFIC.
7. UNLESS INDICATED OTHERWISE, WALK-PADS SHALL BE 36" WIDE MIN. AROUND ROOF HATCHES AND MECHANICAL EQUIPMENT, 48" WIDE MIN. WHERE USED TO CREATE A PATH ON THE ROOF, AND 72"X72" MIN. AT OTHER LOCATIONS.
8. PROVIDE TAPERED INSULATION CRICKETS (1/4" PER FOOT MIN SLOPE) AT HIGH SIDE OF ALL MECHANICAL UNITS, ROOF HATCHES, CURBS, AND OTHER ROOF PENETRATIONS, TO SHED WATER AROUND AND TO INSURE POSITIVE ROOF DRAINAGE.
9. VERIFY ELEVATION OF PRIMARY ROOF DRAINS RELATIVE TO OVERFLOW DRAINS PRIOR TO INSTALLATION OF DRAINS.
10. VERIFY INSULATION REQUIRED TO MAINTAIN SLOPE, PRIOR TO INSTALLATION.
11. TAPERED INSULATION TO HAVE 1/4" PER FOOT MIN SLOPE TO DRAIN UNLESS INDICATED OTHERWISE.
12. REFER TO MEP AND STRUCTURAL DWGS FOR LOCATIONS OF ROOFTOP MECHANICAL EQUIPMENT AND ADDITIONAL INFO.

01 GENERAL NOTES - CEILINGS

Scale: NTS

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

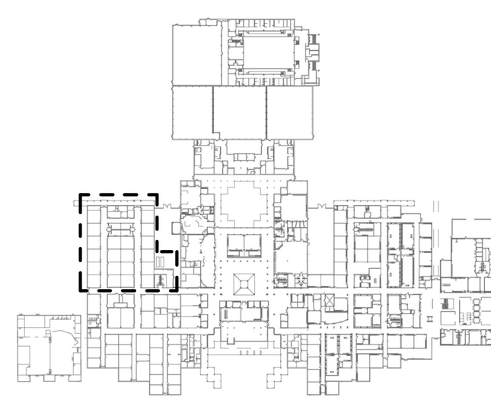
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



KEY PLAN

TRUE NORTH PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	CEILING PLAN AT MAGNET SCHOOL - NORTH

Drawing Number A2.51

2'X2' ACOUSTICAL CEILING AS SPECIFIED.

INDOORS: GYP. BD. CEILING, PAINTED
OUTDOORS: PLASTER CEILING AS SPECIFIED

TYPE "A": RECESSED INDIRECT (2' (W) X 4' (L)).
RE: ELECTRICAL DWGS.

TYPE "B8": SUSPENDED LINEAR INDIRECT (6" (W) X 8' (L)).
RE: ELECTRICAL DWGS.

TYPE "C8": RECESSED LINEAR DIRECT (4" (W) X 8' (L)).
RE: ELECTRICAL DWGS.

TYPE "D8": CYLINDRICAL PENDANT (12" DIA).
RE: ELECTRICAL DWGS.

TYPE "E4": SQUARE RECESSED DOWNLIGHT (4" (W) X 4" (L)).
TYPE "E6": SQUARE RECESSED DOWNLIGHT (6" (W) X 6" (L)).
RE: ELECTRICAL DWGS.

TYPE "F1": CYLINDRICAL PENDANT INDIRECT (12" DIA).
TYPE "F3": CYLINDRICAL PENDANT INDIRECT (36" DIA).
TYPE "F4": CYLINDRICAL PENDANT INDIRECT (48" DIA).
RE: ELECTRICAL DWGS.

TYPE "X": EMERGENCY LIGHT, RE: ELECTRICAL DWGS

CONT. LED WALL WASHER LIGHT FIXTURE,
RE: ELECTRICAL DWGS.

-- KEYED NOTE

05 CEILING LEGEND
Scale: NTS

Dimension & Alignment Support Notes:
- ***ALIGN 1:*** *Align face of new construction w/face of existing.*
- ***ALIGN 2:*** *Align Centerline of new construciton w/Centerline of existing.*
- ***ALIGN 3:*** *Align gridline/join grid w/existing grid.*
- ***LEVEL 1:*** *Ensure top of new construction is level w/existing surface.*
- ***LEVEL 2:*** *Level floor & surface to recieve new construction.*
- ***LEVEL 3:*** *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:
- ***HANDLE 1:*** *Handle item w/care, and store for owner review.*
- ***HANDLE 2:*** *Handle remaining building, pavement, fence, or item w/care.*
- ***HANDLE 3:*** *Handle re-located items with care. DISCONNECT 1, FIXW.*
- ***FIXW:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***FIX1:*** *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
- ***SITE1:*** *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
- ***INFO1:*** *Inform Architect prior to the start of this work.*
- ***CONNECT1:*** *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
- ***CONNECT2:*** *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
- ***DISCONNECT1:*** *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
- ***ENGINEER1:*** *Professional engineering supervision is required for this work.*
- ***SHOP1:*** *Provide shop drawings for this work.*
- ***REFERENCE:*** *Refer to photo # for the existing condition at this location.*
- ***SLOPE1:*** *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
- ***PROTECT1:*** *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
- ***EGRESS:*** *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
- ***TREE1:*** *Refer to Landscape Drawings & Specs for removing trees.*
- ***OPERATE:*** *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
- ***ENSURE1:*** *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
- ***ENSURE2:*** *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
- ***ENSURE3:*** *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
- ***PHASE1:*** *Work within this area may occur in phase ONE.*
- ***PHASE2:*** *Work within this area may occur in phase TWO.*

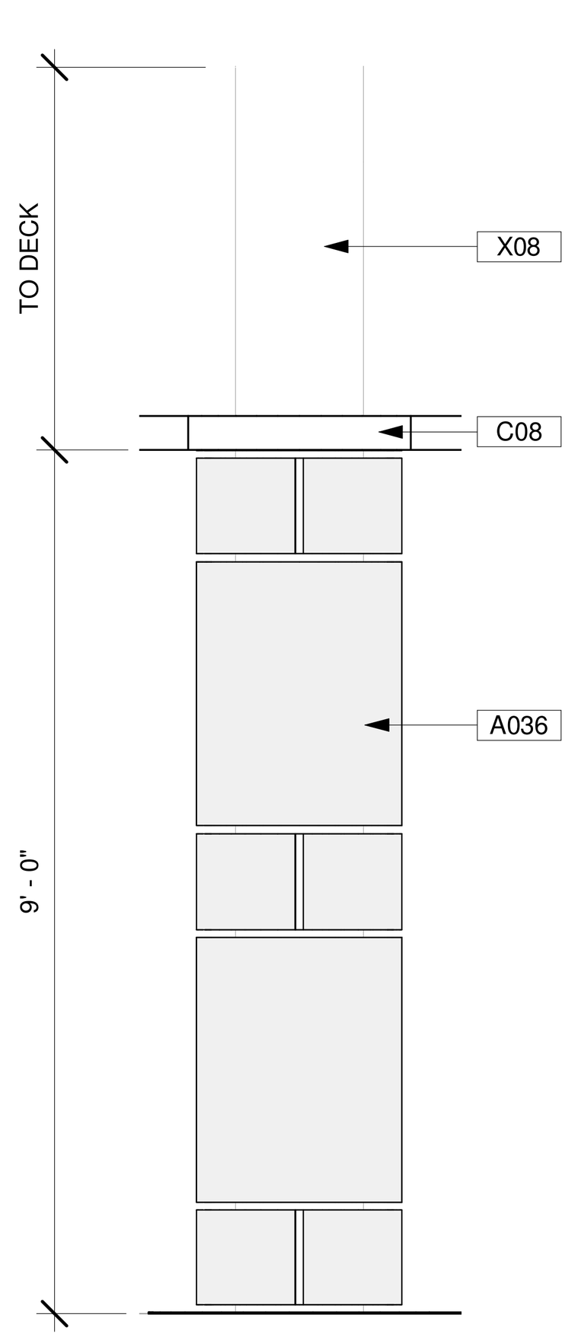
03 SUPPORT NOTES
Scale: NTS

A006	REHAB DECK AND STRUCTURE ABOVE, CLEAN, AND PAINT. (HANDLE 2; FIXW)
A024	PROVIDE NEW CEILING TILE AND GRID AT SPECIFIED HEIGHT, RE: CEILING PLAN; FINISH SCHEDULE. CENTER GRID IN ROOM UNLESS INDICATED OTHERWISE.
A036	PROVIDE COLUMN WRAP AS SPECIFIED.
C08	GYP. BD. BULKHEAD: 1 LAYER GYP. ON 3-5/8" MTL. STUDS @ 16â€ O.C. SUSPENDED FROM STRUCTURE ABOVE TO ALIGN TO ADJACENT CEILINGS UNLESS OTHERWISE NOTED. (ALIGN 1)
PT1	PAINT (FIELD).
PT4	PAINT (ACCENT 4).
PT7	PAINT (ACCENT 7).
PT11	PAINT (ACCENT 11).
X08	EXISTING STRUCTURAL COLUMNS SHALL NOT BE AFFECTED BY NEW WORK. V.I.F. (PROTECT 1)

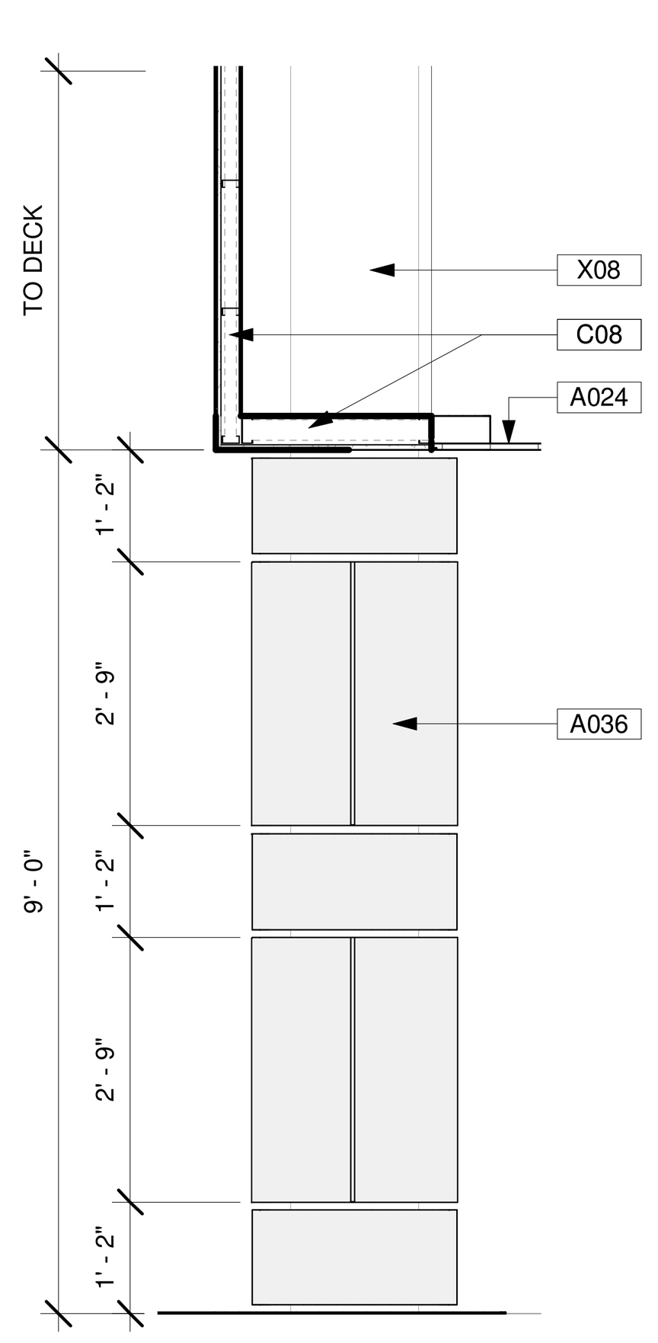
02 KEYNOTES
Scale: NTS

1. HANDLE STRUCTURE OF EXISTING BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING. REPORT TO THE ARCHITECT ANY INDICATIONS OF STRUCTURAL DAMAGE.
2. PROTECT THROUGHOUT DEMOLITION AND CONSTRUCTION ALL ITEMS INDICATED TO REMAIN INCLUDING BUT NOT LIMITED TO: BUILDINGS AND OTHER STRUCTURES, FLOORING, WALLS, CEILINGS, FINISHES, MEP/ SECURITY SYSTEMS, UTITIIES, MILWORK, ETC.
3. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION, PARTICULARLY IN AREAS OF WORK.
4. REPORT TO THE ARCHITECT ANY UNFORESEEN CONDITIONS OR AS-BUILT CONDITIONS NOT REFLECTED IN THE DRAWINGS, THAT COULD AFFECT THE WORK.
5. MAINTAIN SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
6. ALL DIMENSIONS TO WALLS ARE TO FINISH-FACE OF WALL UNLESS INDICATED OTHERWISE. (SIDE INDICATED GRAPHICALLY IN THE DRAWINGS).
7. PROVIDE NECESSARY BLOCKING AT WALLS FOR ALL PLUMBING FIXTURES, EQUIPMENT, MILLWORK, AND ACCESSORIES.
8. PLANS INDICATE HORIZONTAL DIMENSIONS ONLY. REFER TO ELEVATIONS & SECTIONS FOR VERTICAL DIMENSIONS.
9. PROVIDE PARTITION CURBS FOR MECH./ELEC. ROOM'S PERIMETER, TYP. UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
11. REFER TO DOOR AND WINDOW DETAILS FOR DIMENSIONS AT OPENINGS.
12. REFER TO DEMOLITION DRAWINGS FOR DEMOLITION INFORMATION.
13. REFER TO CODE ANALYSIS INFORMATION SHEET A0.20 FOR EXTENT OF EXTENDED FIRE-SPRINKLER SYSTEM.

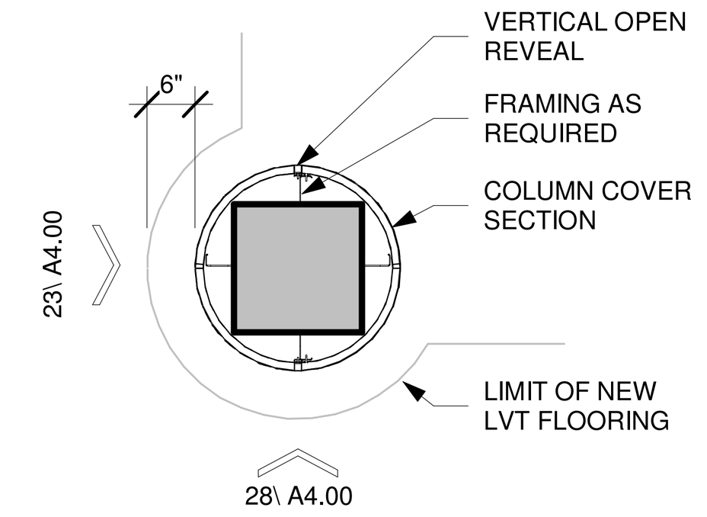
01 GENERAL NOTES - CONSTRUCTION
Scale: NTS



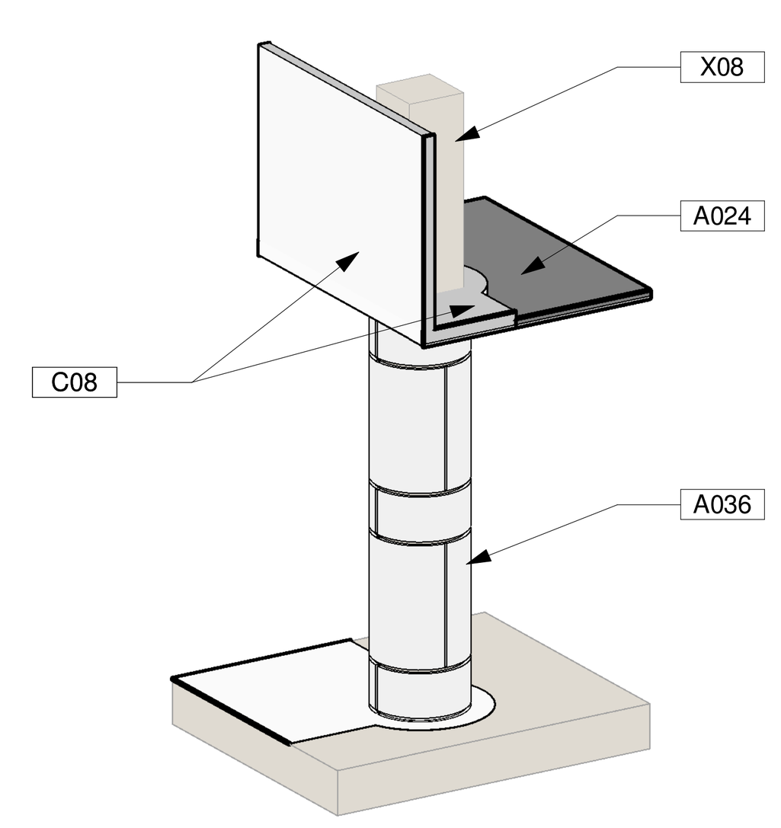
28 COLUMN WRAP 1
Scale: 1/2" = 1'-0"



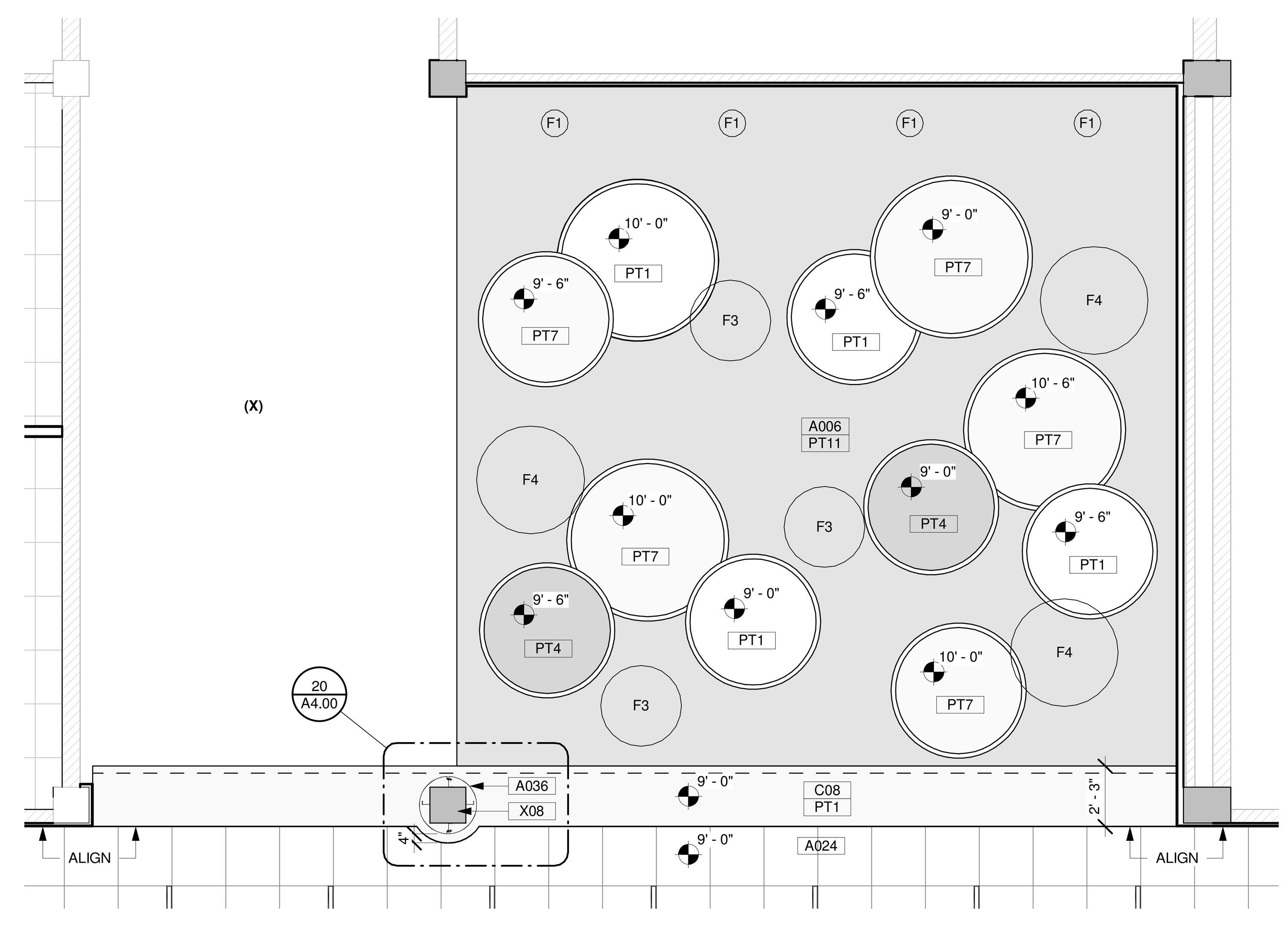
23 COLUMN WRAP 2
Scale: 1/2" = 1'-0"



20 COLUMN DETAIL
Scale: 1/2" = 1'-0"



18 VIGNETTE
Scale:



13 COLLABORATION AREA - CEILING PLAN
Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

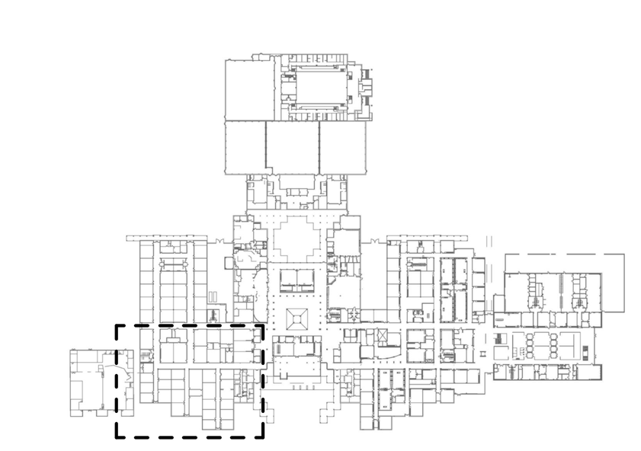
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION

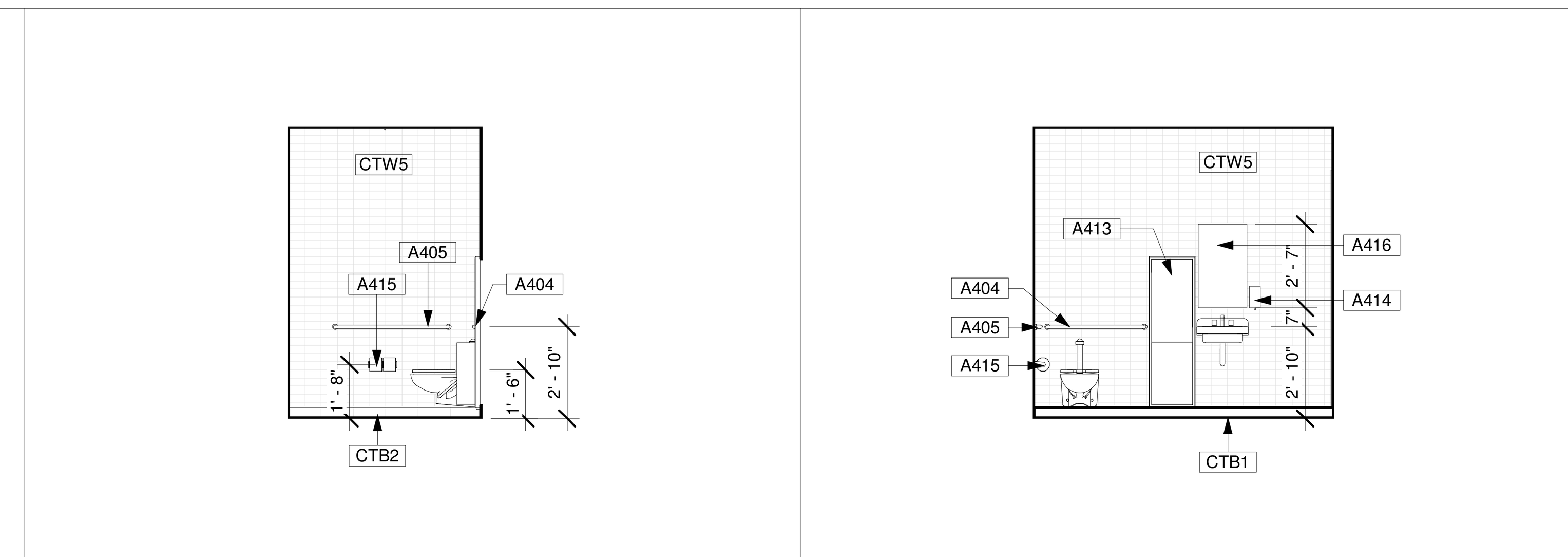


KEY PLAN

TRUE NORTH PLAN NORTH

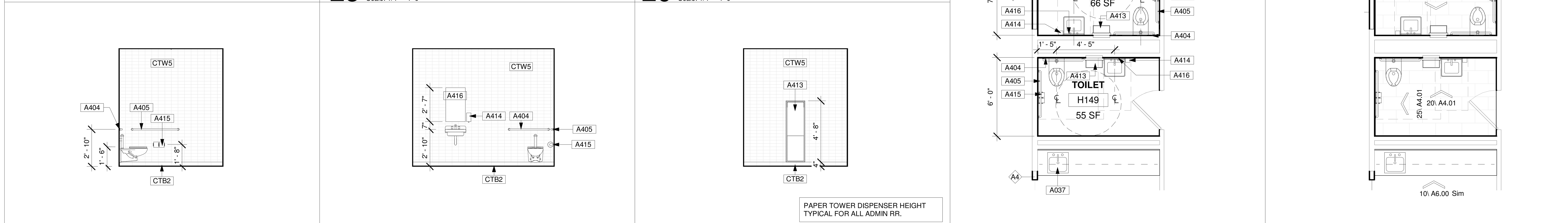
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED PLANS & DETAILS

Drawing Number A4.00



25 ADMIN RR. T ELEVATION - 2
Scale: 1/4" = 1'-0"

20 ADMIN RR. T ELEVATION - 1
Scale: 1/4" = 1'-0"



PAPER TOWER DISPENSER HEIGHT TYPICAL FOR ALL ADMIN RR.

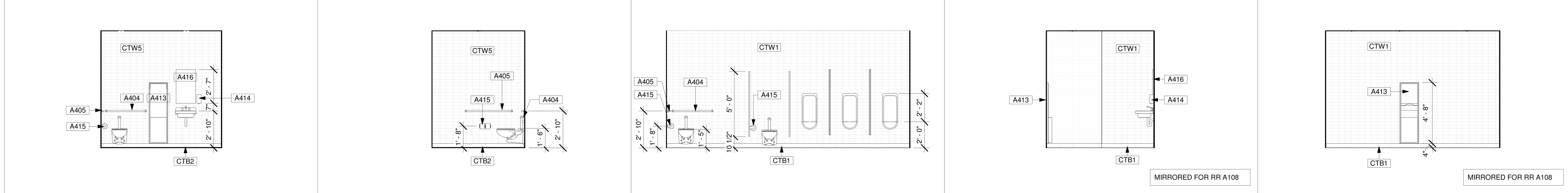
29 ADMIN RR. W ELEVATION - 3
Scale: 1/4" = 1'-0"

24 ADMIN RR. W ELEVATION - 2
Scale: 1/4" = 1'-0"

19 ADMIN RR. W ELEVATION - 1
Scale: 1/4" = 1'-0"

14 ENLARGED PLAN - ADMIN R.R.
Scale: 1/4" = 1'-0"

09 ENLARGED FINISH PLAN - ADMIN R.R.
Scale: 1/4" = 1'-0"



MIRRORED FOR RR A108

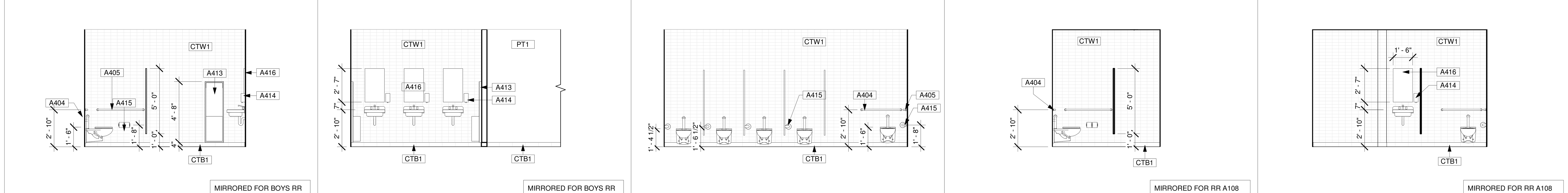
28 ADMIN RR. M ELEVATION - 2
Scale: 1/4" = 1'-0"

23 ADMIN RR. M ELEVATION - 1
Scale: 1/4" = 1'-0"

18 MAGNET RR ELEVATION - 4
Scale: 1/4" = 1'-0"

13 LIBRARY RR ELEVATION - 4
Scale: 1/4" = 1'-0"

08 LIBRARY RR ELEVATION - 3
Scale: 1/4" = 1'-0"



MIRRORED FOR BOYS RR

27 MAGNET RR ELEVATION - 3
Scale: 1/4" = 1'-0"

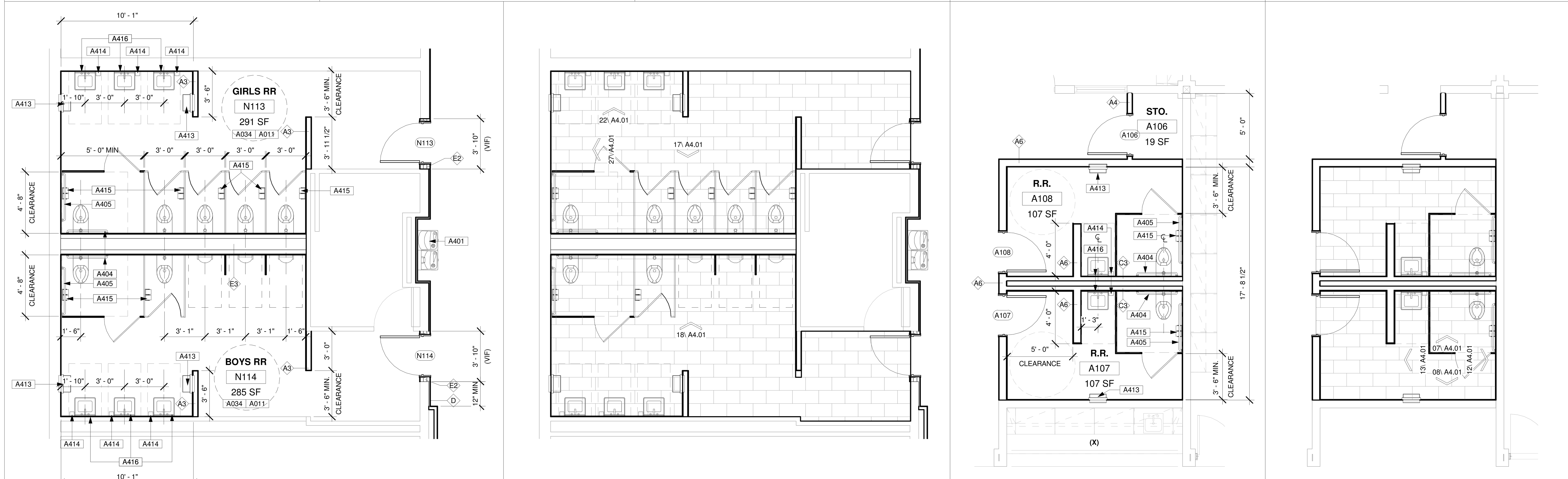
22 MAGNET RR ELEVATION - 2
Scale: 1/4" = 1'-0"

17 MAGNET RR ELEVATION - 1
Scale: 1/4" = 1'-0"

MIRRORED FOR RR A108

12 LIBRARY RR ELEVATION - 2
Scale: 1/4" = 1'-0"

07 LIBRARY RR ELEVATION - 1
Scale: 1/4" = 1'-0"



26 ENLARGED PLAN - MAGNET R.R.
Scale: 1/4" = 1'-0"

21 ENLARGED PLAN - MAGNET R.R. FINISH PLAN
Scale: 1/4" = 1'-0"

11 ENLARGED PLAN - LIBRARY R.R.
Scale: 1/4" = 1'-0"

06 ENLARGED FINISH PLAN - LIBRARY R.R.
Scale: 1/4" = 1'-0"

Dimension & Alignment Support Notes:

ALIGN 1: *Align face of new construction w/face of existing.*
ALIGN 2: *Align Centerline of new construciton w/Centerline of existing.*
ALIGN 3: *Align gridline/join grid w/existing grid.*
LEVEL 1: *Ensure top of new construction is level w/existing surface.*
LEVEL 2: *Level floor & surface to recieve new construction.*
LEVEL 3: *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

HANDLE 1: *Handle item w/care, and store for owner review.*
HANDLE 2: *Handle remaining building, pavement, fence, or item w/care.*
HANDLE 3: *Handle re-located items with care. DISCONNECT 1, FIXW.*
FIXW: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
FIX1: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
SITE1: *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
INFO1: *Inform Architect prior to the start of this work.*
CONNECT1: *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
CONNECT2: *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
DISCONNECT1: *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
ENGINEER1: *Professional engineering supervision is required for this work.*
SHOP1: *Provide shop drawings for this work.*
REFERENCE: *Refer to photo # for the existing condition at this location.*
SLOPE1: *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
PROTECT1: *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
EGRESS: *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
TREE1: *Refer to Landscape Drawings & Specs for removing trees.*
OPERATE: *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
ENSURE1: *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
ENSURE2: *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
ENSURE3: *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
PHASE1: *Work within this area may occur in phase ONE.*
PHASE2: *Work within this area may occur in phase TWO.*

03 SUPPORT NOTES
Scale: NTS

A011	REFINISH ADJACENT SURFACES TO LIKE-NEW CONDITION. RE: SPECS. (HANDLE 2, FIXW)
A034	PROVIDE NEW TILE FLOORING AND WALL TILING AS INDICATED IN FINISH SCHEDULE, PLANS AND ELEVATIONS.
A037	PROVIDE NEW STAINLESS STEEL SINK (CONNECT1)
A401	PAIR OF ELECTRIC DRINKING FOUNTAINS (EDFs): ON-WALL, ADA COMPLIANT VERSION WITH NO RECESSED MECHANISM. SPOUT HEIGHT, CLEARANCES, AND OTHER DIMENSIONS SHALL MEET REQUIREMENTS OF 2012 TAS 602.7. PROVIDE BLOCKING SUPPORT AS NEEDED. RE: MEP DWGS FOR MORE INFORMATION. (PROTECT 1; FIXW; CONNECT 1)
A404	36" HANDICAPPED GRAB BAR @ 34" A.F.F. AND LOCATION REQUIRED TO COMPLY WITH 2012 TAS 604.5 PROVIDE BLOCKING SUPPORT AS NEEDED. (CONNECT 1; FIXW)
A405	42" HANDICAPPED GRAB BAR @ 34" A.F.F. AND LOCATION REQUIRED TO COMPLY WITH 2012 TAS 604.5 PROVIDE BLOCKING SUPPORT AS NEEDED. (CONNECT 1; FIXW)
A413	SEMI-RECESSED PAPER TOWEL DISPENSER WITH WASTE RECEPTACLE
A414	WALL MOUNTED SOAP DISPENSER
A415	TOILET PAPER DISPENSER
A416	MIRROR
CTB1	CERAMIC TILE BASE
CTB2	CERAMIC TILE BASE
CTW1	CERAMIC WALL TILE
CTW5	CERAMIC WALL TILE
PT1	PAINT (FIELD).

02 KEYNOTES
Scale: NTS

1. HANDLE STRUCTURE OF EXISTING BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING. REPORT TO THE ARCHITECT ANY INDICATIONS OF STRUCTURAL DAMAGE.
2. PROTECT THROUGHOUT DEMOLITION AND CONSTRUCTION ALL ITEMS INDICATED TO REMAIN INCLUDING BUT NOT LIMITED TO: BUILDINGS AND OTHER STRUCTURES, FLOORING, WALLS, CEILINGS, FINISHES, MEP/ SECURITY SYSTEMS, UTITIIES, MILWORK, ETC.
3. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION, PARTICULARLY IN AREAS OF WORK.
4. REPORT TO THE ARCHITECT ANY UNFORESEEN CONDITIONS OR AS-BUILT CONDITIONS NOT REFLECTED IN THE DRAWINGS, THAT COULD AFFECT THE WORK.
5. MAINTAIN SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
6. ALL DIMENSIONS TO WALLS ARE TO FINISH-FACE OF WALL UNLESS INDICATED OTHERWISE. (SIDE INDICATED GRAPHICALLY IN THE DRAWINGS).
7. PROVIDE NECESSARY BLOCKING AT WALLS FOR ALL PLUMBING FIXTURES, EQUIPMENT, MILLWORK, AND ACCESSORIES.
8. PLANS INDICATE HORIZONTAL DIMENSIONS ONLY. REFER TO ELEVATIONS & SECTIONS FOR VERTICAL DIMENSIONS.
9. PROVIDE PARTITION CURBS FOR MECH./ELEC. ROOM'S PERIMETER, TYP. UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
11. REFER TO DOOR AND WINDOW DETAILS FOR DIMENSIONS AT OPENINGS.
12. REFER TO DEMOLITION DRAWINGS FOR DEMOLITION INFORMATION.
13. REFER TO CODE ANALYSIS INFORMATION SHEET A0.20 FOR EXTENT OF EXTENDED FIRE-SPRINKLER SYSTEM.

01 GENERAL NOTES - CONSTRUCTION
Scale: NTS

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

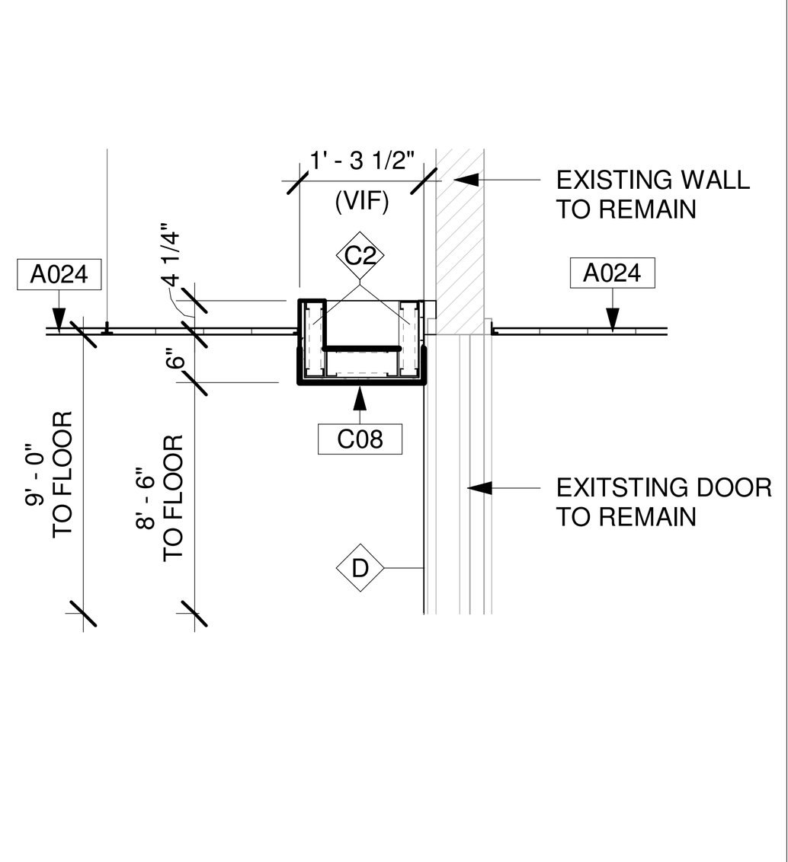
1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION

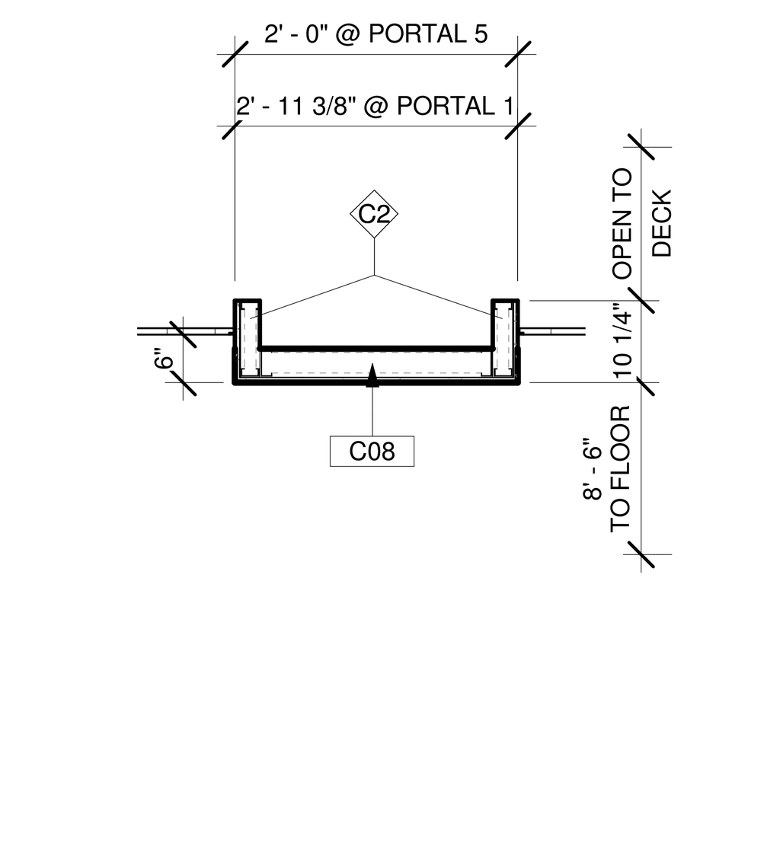
KEY PLAN

TRUE NORTH · PLAN NORTH

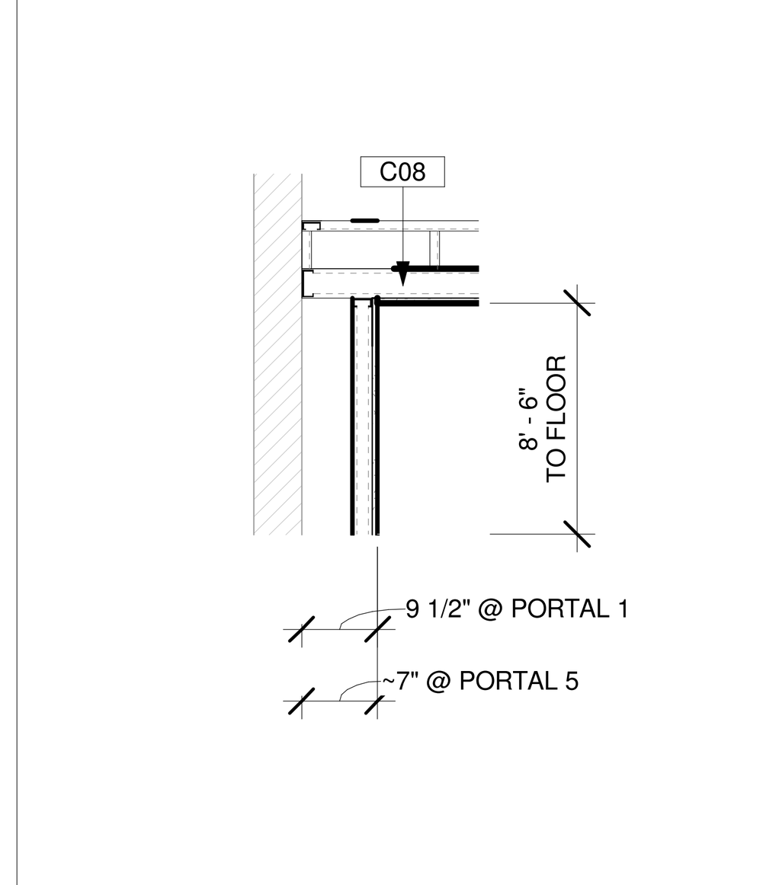
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED PLANS & DETAILS - RESTROOMS
Drawing Number	A4.01



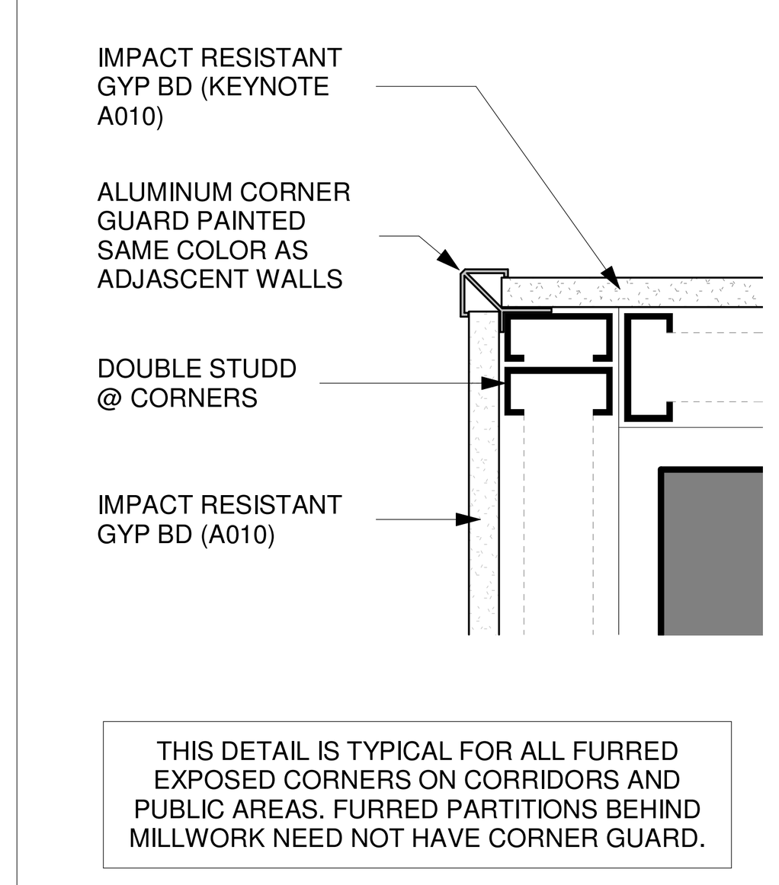
30 PORTAL DETAIL 3
Scale: 1/2" = 1'-0"



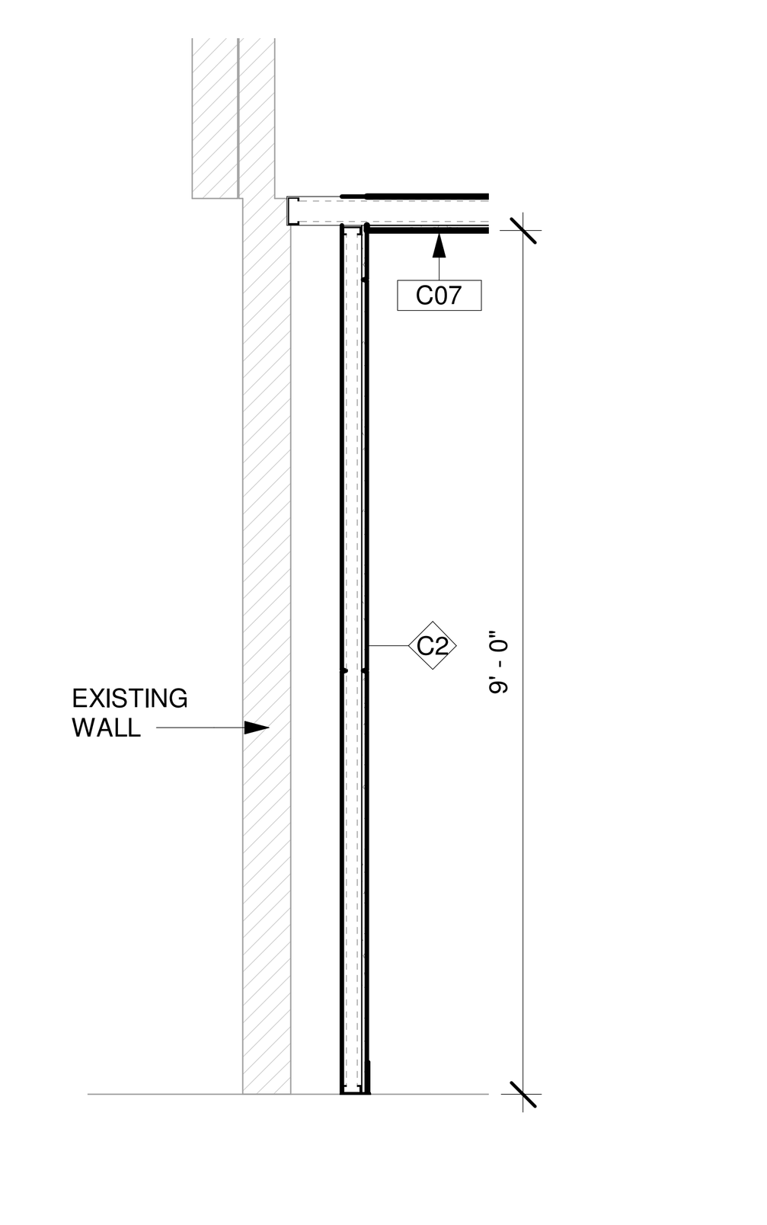
25 PORTAL DETAIL 4
Scale: 1/2" = 1'-0"



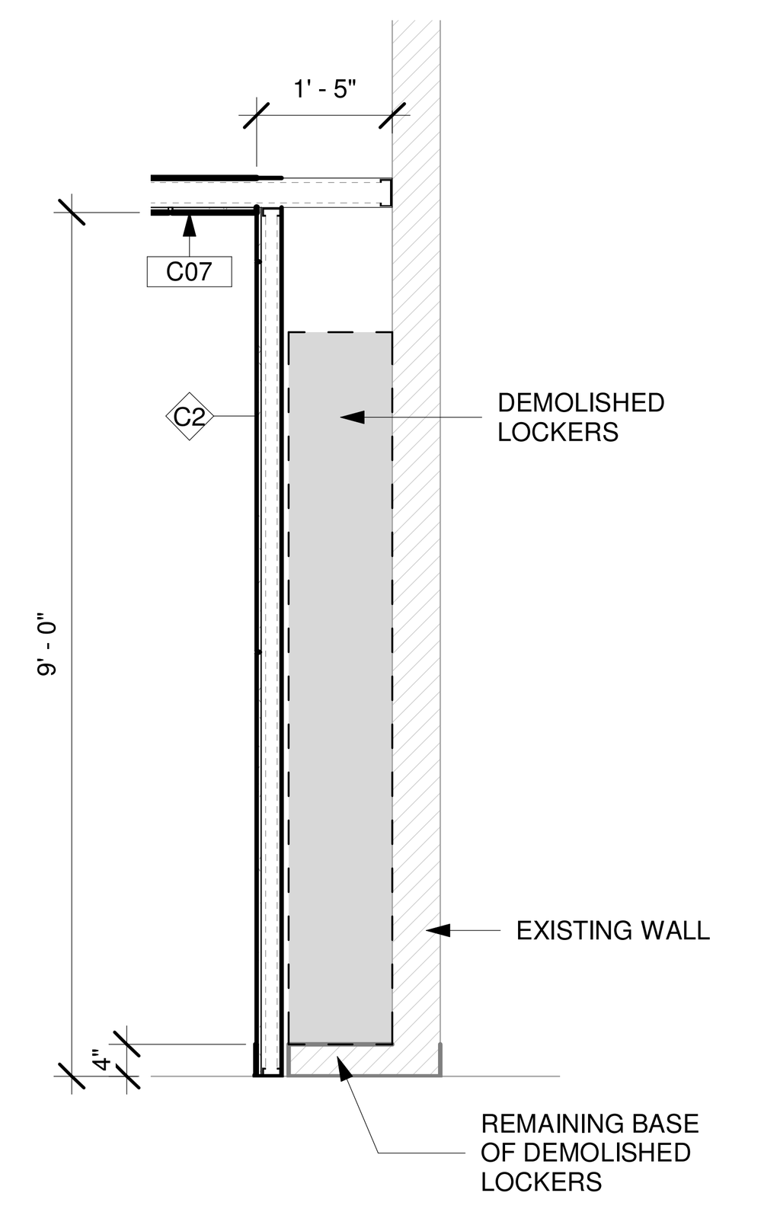
20 PORTAL DETAIL 5
Scale: 1/2" = 1'-0"



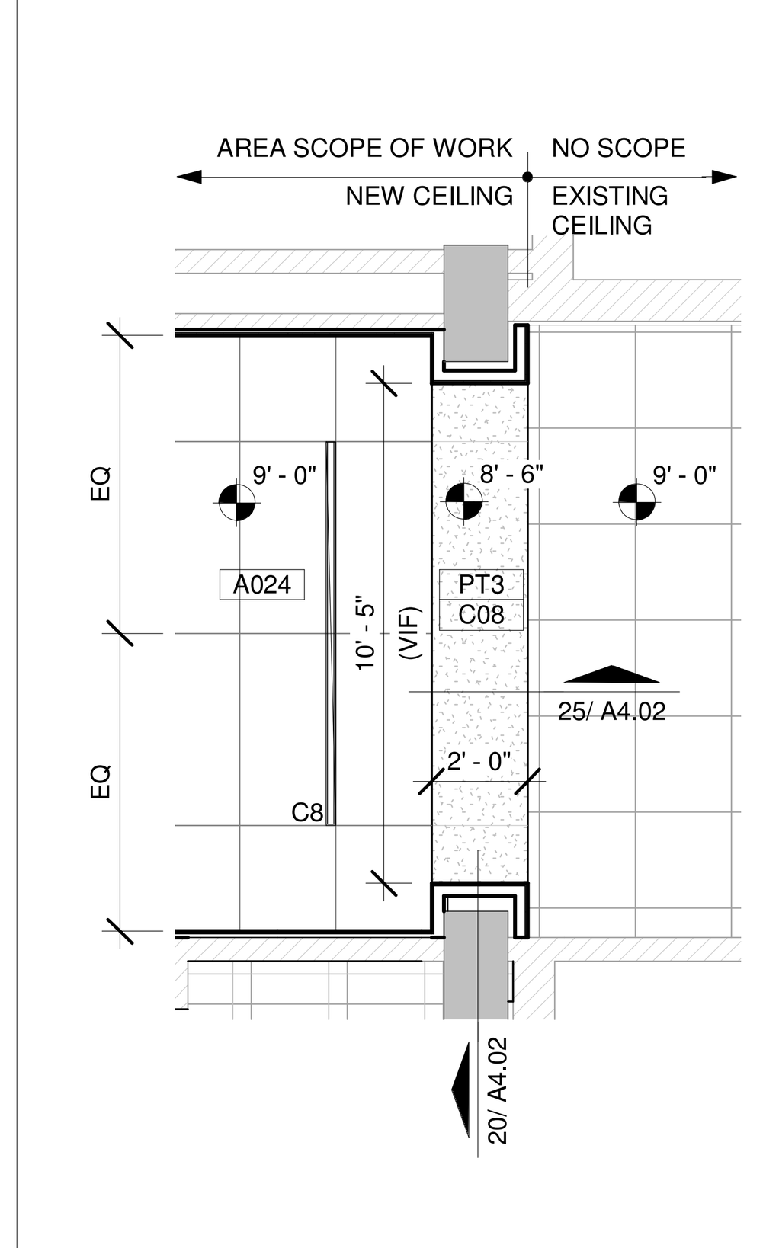
15 CORNER GUARD DETAIL
Scale: 3" = 1'-0"



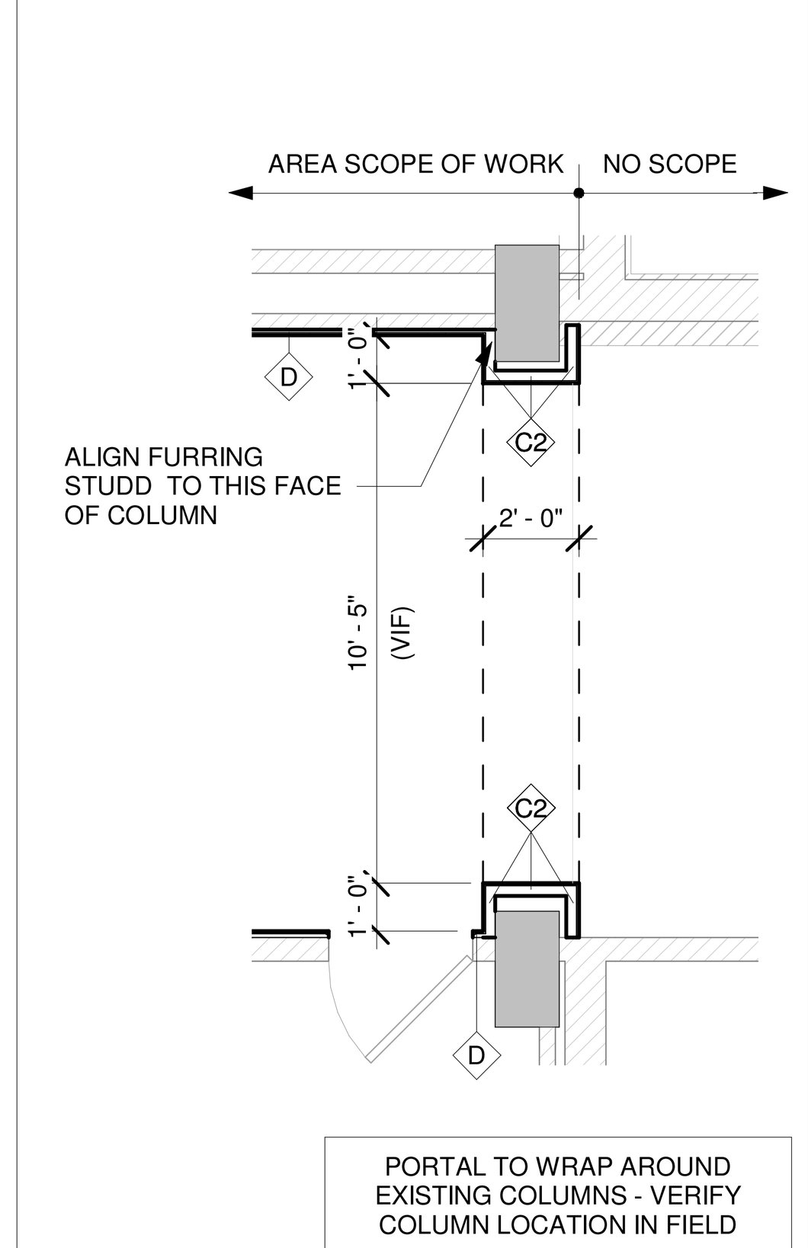
28 DETAIL 4 - PORTAL TYP
Scale: 1/2" = 1'-0"



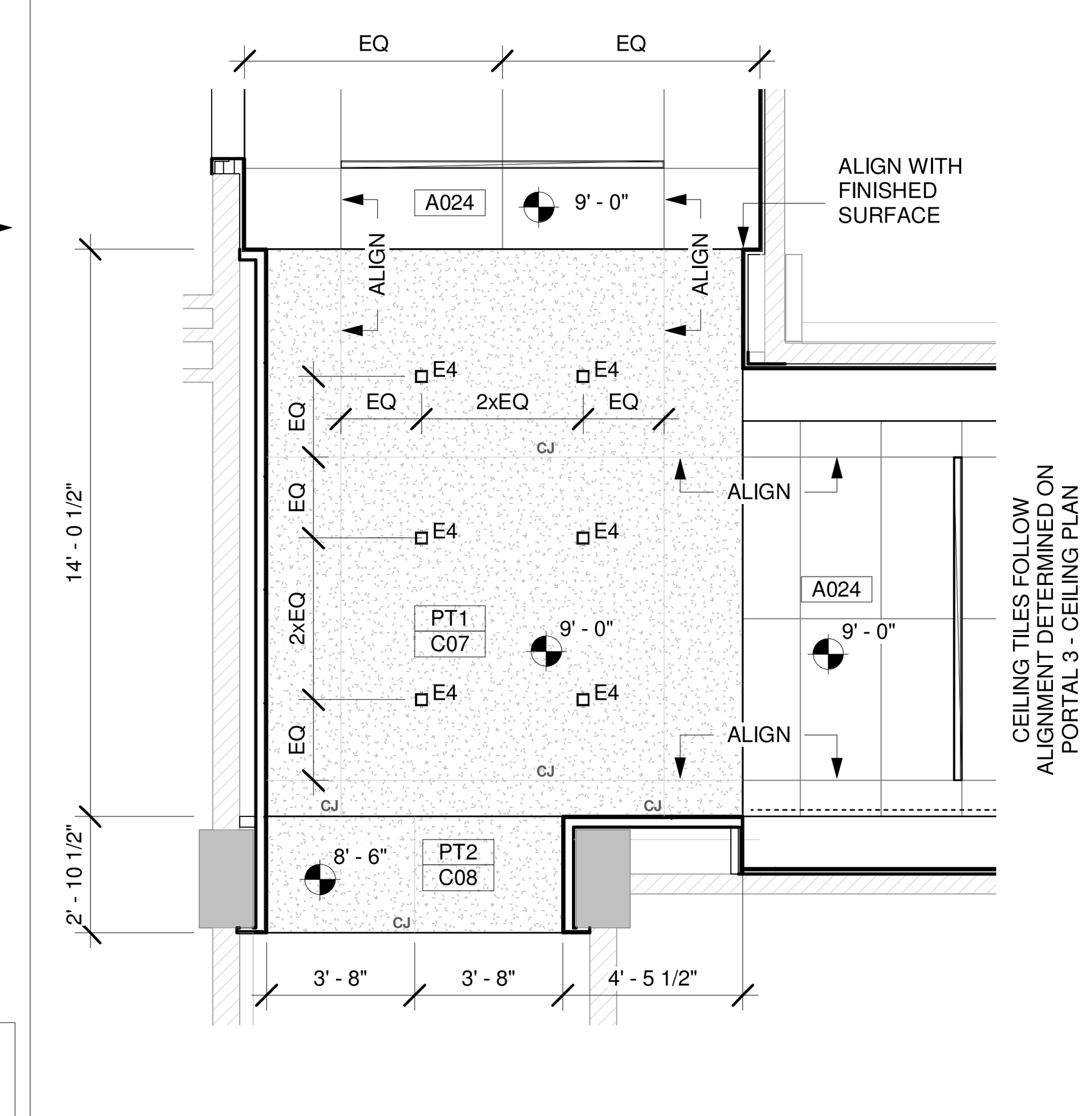
23 DETAIL 3 - PORTAL TYP
Scale: 1/2" = 1'-0"



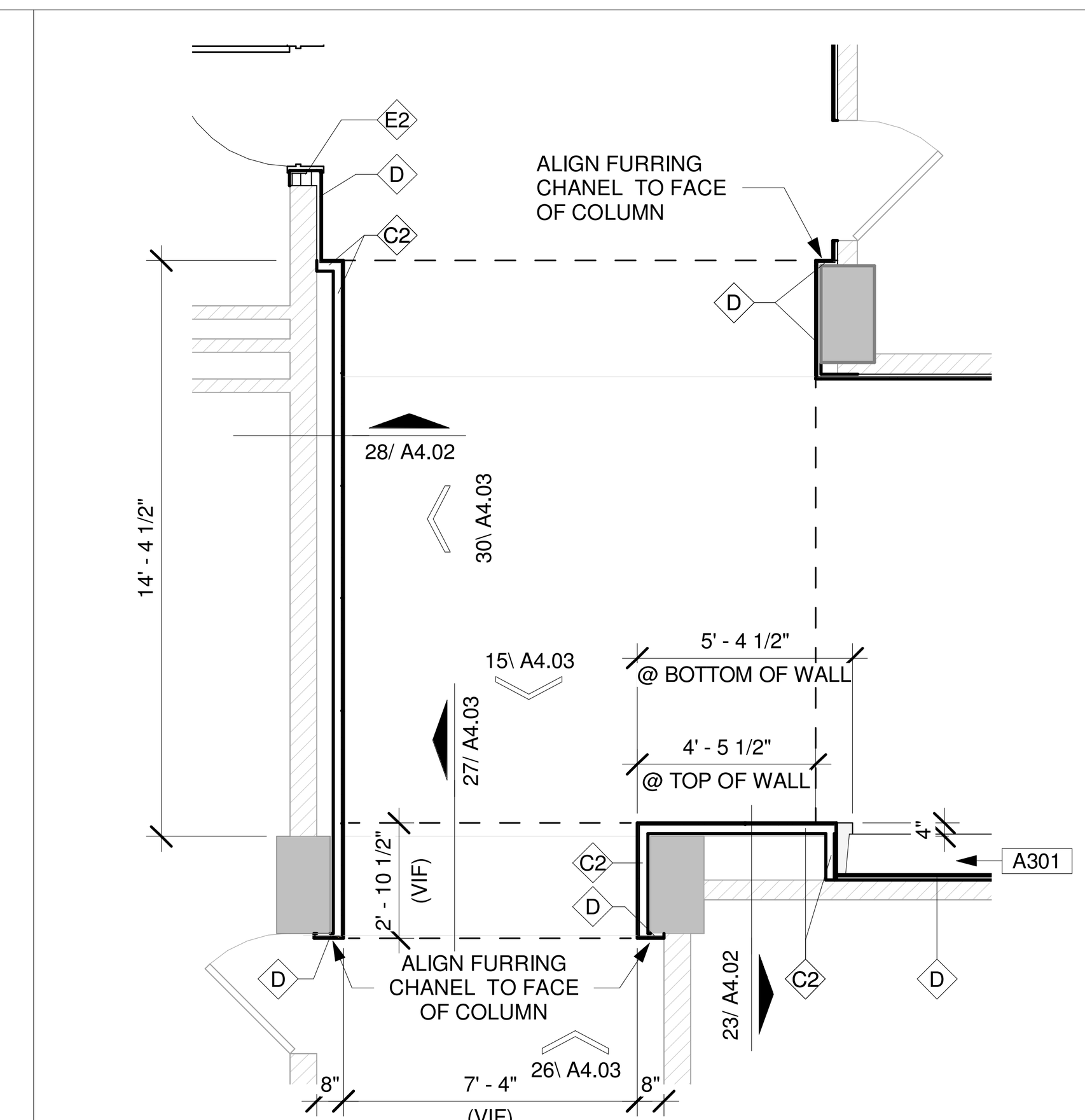
18 PORTAL 5 - CEILING PLAN
Scale: 1/4" = 1'-0"



13 PORTAL 5 - PLAN
Scale: 1/4" = 1'-0"



08 PORTAL 4 - CEILING PLAN
Scale: 1/4" = 1'-0"



07 PORTAL 4 - PLAN
Scale: 1/4" = 1'-0"

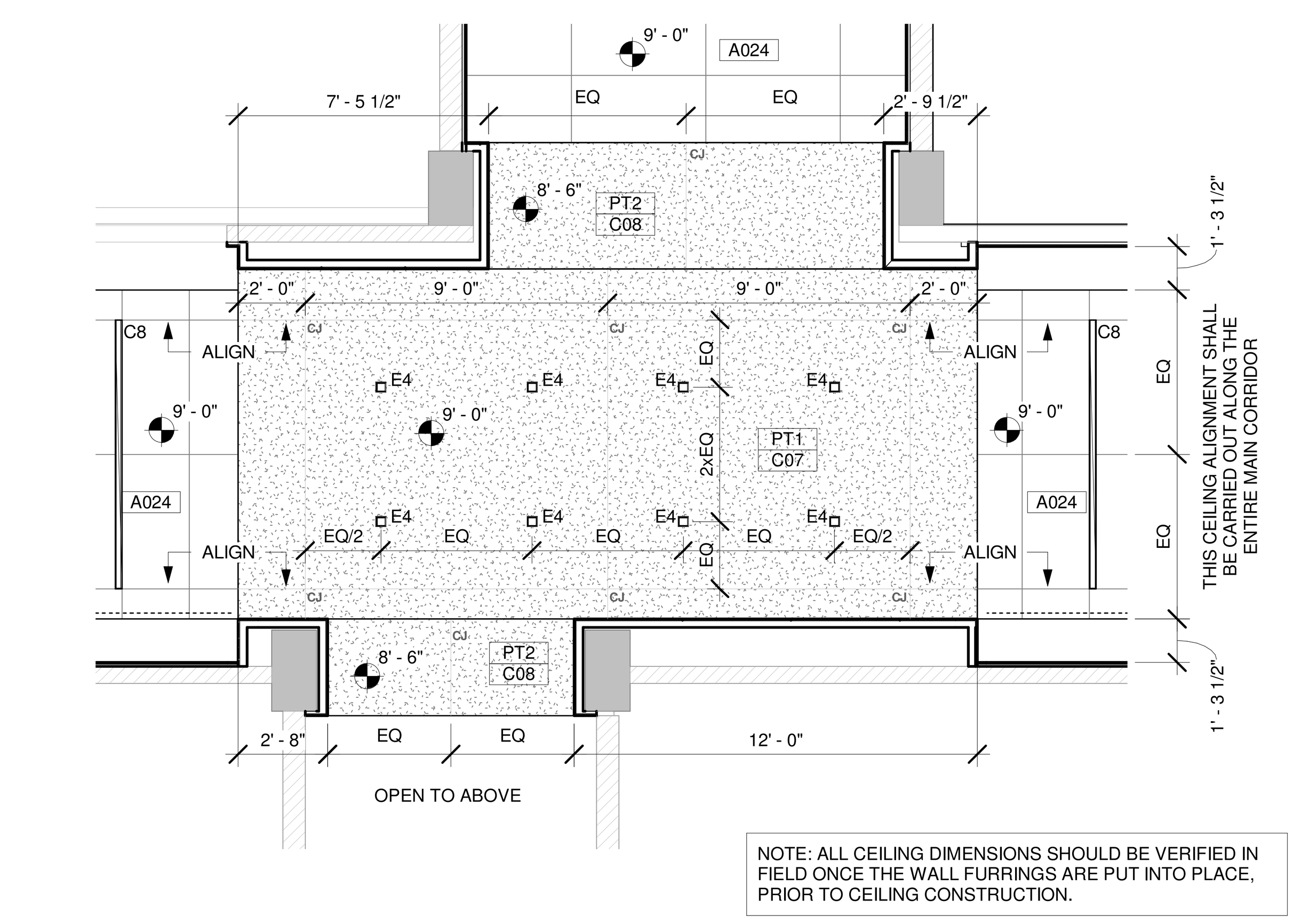
Dimension & Alignment Support Notes:

- **ALIGN 1:** Align face of new construction w/face of existing.
- **ALIGN 2:** Align Centerline of new construciton w/Centerline of existing.
- **ALIGN 3:** Align gridline/join grid w/existing grid.
- **LEVEL 1:** Ensure top of new construction is level w/existing surface.
- **LEVEL 2:** Level floor & surface to recieve new construction.
- **LEVEL 3:** Ensure the top of grade is level w/surrounding ground.

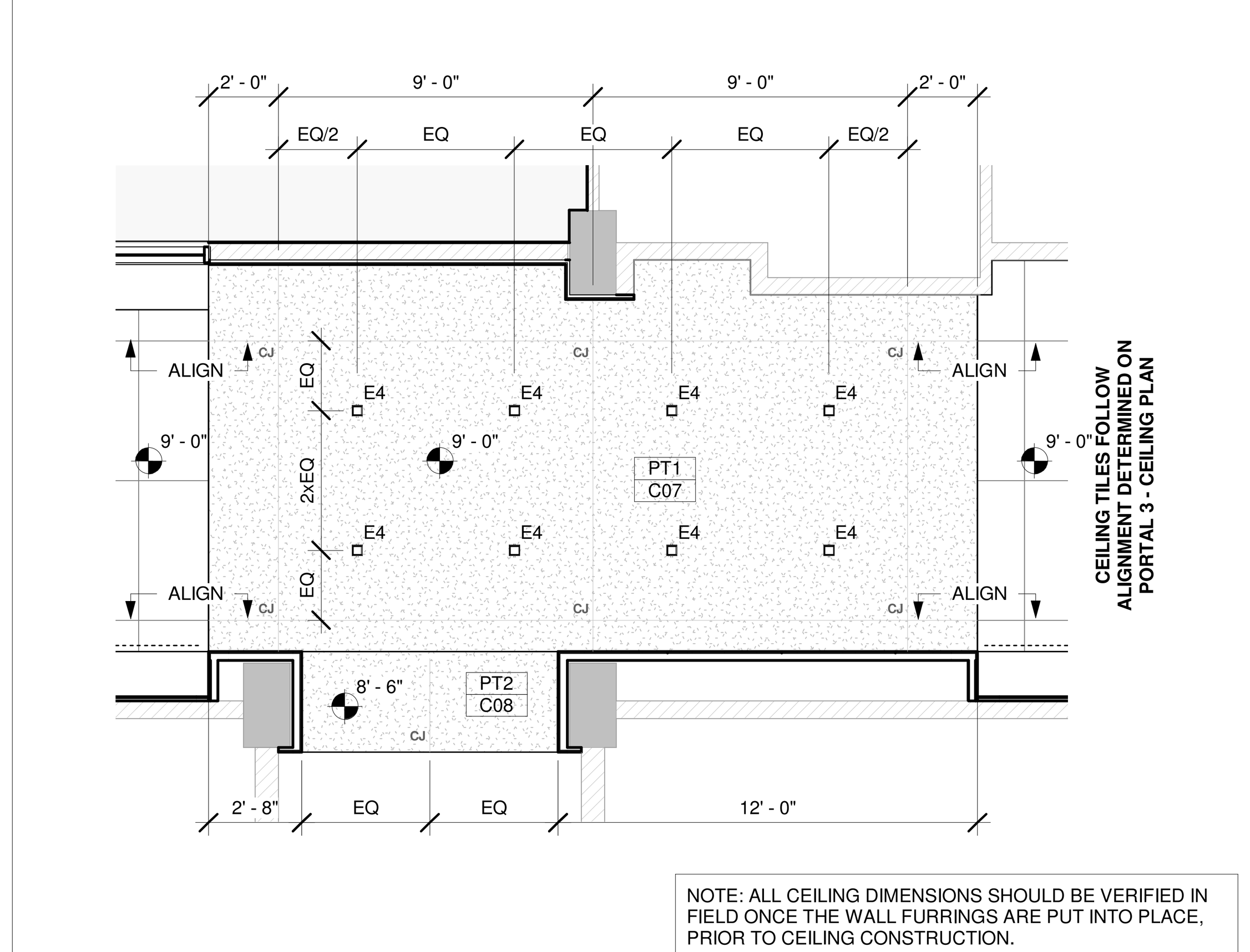
Construction & Condition Support Notes:

- **HANDLE 1:** Handle item w/care, and store for owner review.
- **HANDLE 2:** Handle remaining building, pavement, fence, or item w/care.
- **HANDLE 3:** Handle re-located items with care. DISCONNECT 1, FIXW.
- **FIXW:** Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.
- **FIX1:** Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.
- **SITE1:** Prepare the site where construction was removed, and prepare the ground to an acceptable condition.
- **INFO1:** Inform Architect prior to the start of this work.
- **CONNECT1:** Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.
- **CONNECT2:** Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care
- **DISCONNECT1:** Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.
- **ENGINEER1:** Professional engineering supervision is required for this work.
- **SHOP1:** Provide shop drawings for this work.
- **REFERENCE:** Refer to photo # for the existing condition at this location.
- **SLOPE1:** Maintain positive slope towards drains, gutters, and storm systems and away from the building.
- **PROTECT1:** Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.
- **EGRESS:** Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.
- **TREE1:** Refer to Landscape Drawings & Specs for removing trees.
- **OPERATE:** Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.
- **ENSURE1:** Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.
- **ENSURE2:** Ensure system is water-tight. Provide additional flashing & sealants as needed.
- **ENSURE3:** Ensure the slope of the new roof matches the slope and slope direction of the existing roof.
- **PHASE1:** Work within this area may occur in phase ONE.
- **PHASE2:** Work within this area may occur in phase TWO.

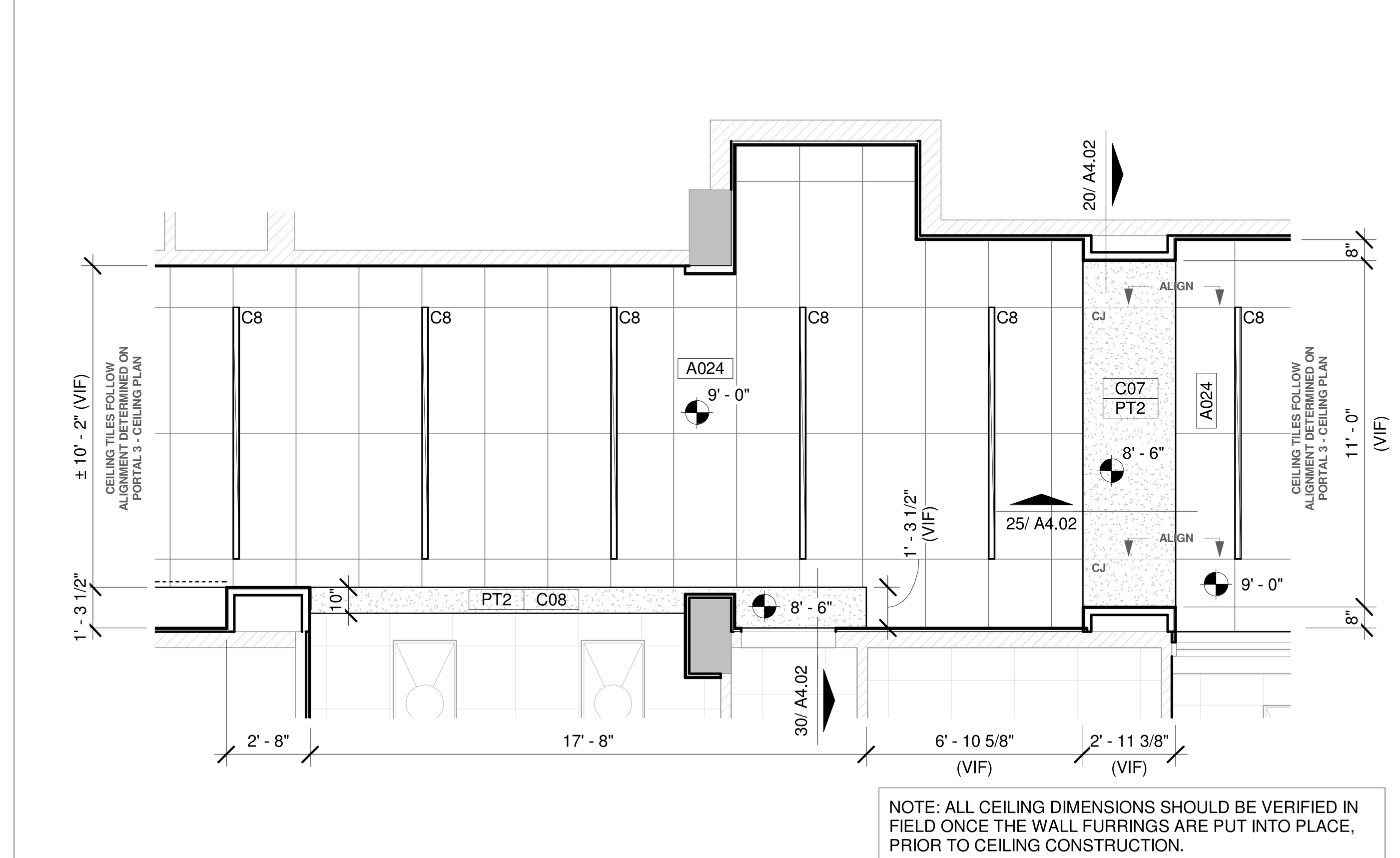
03 SUPPORT NOTES
Scale: NTS



27 PORTAL 3 - CEILING PLAN
Scale: 1/4" = 1'-0"



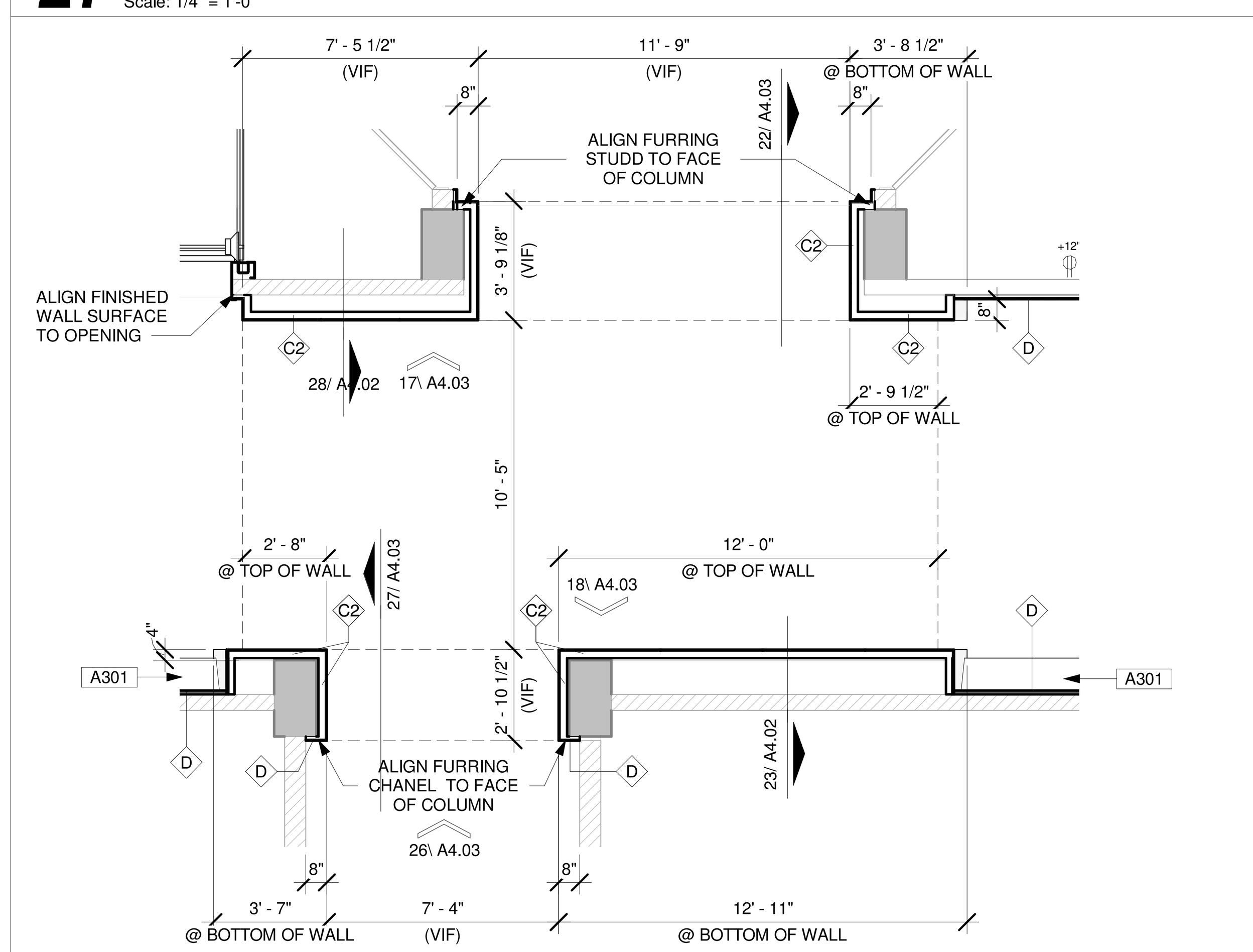
22 PORTAL 2 - CEILING PLAN
Scale: 1/4" = 1'-0"



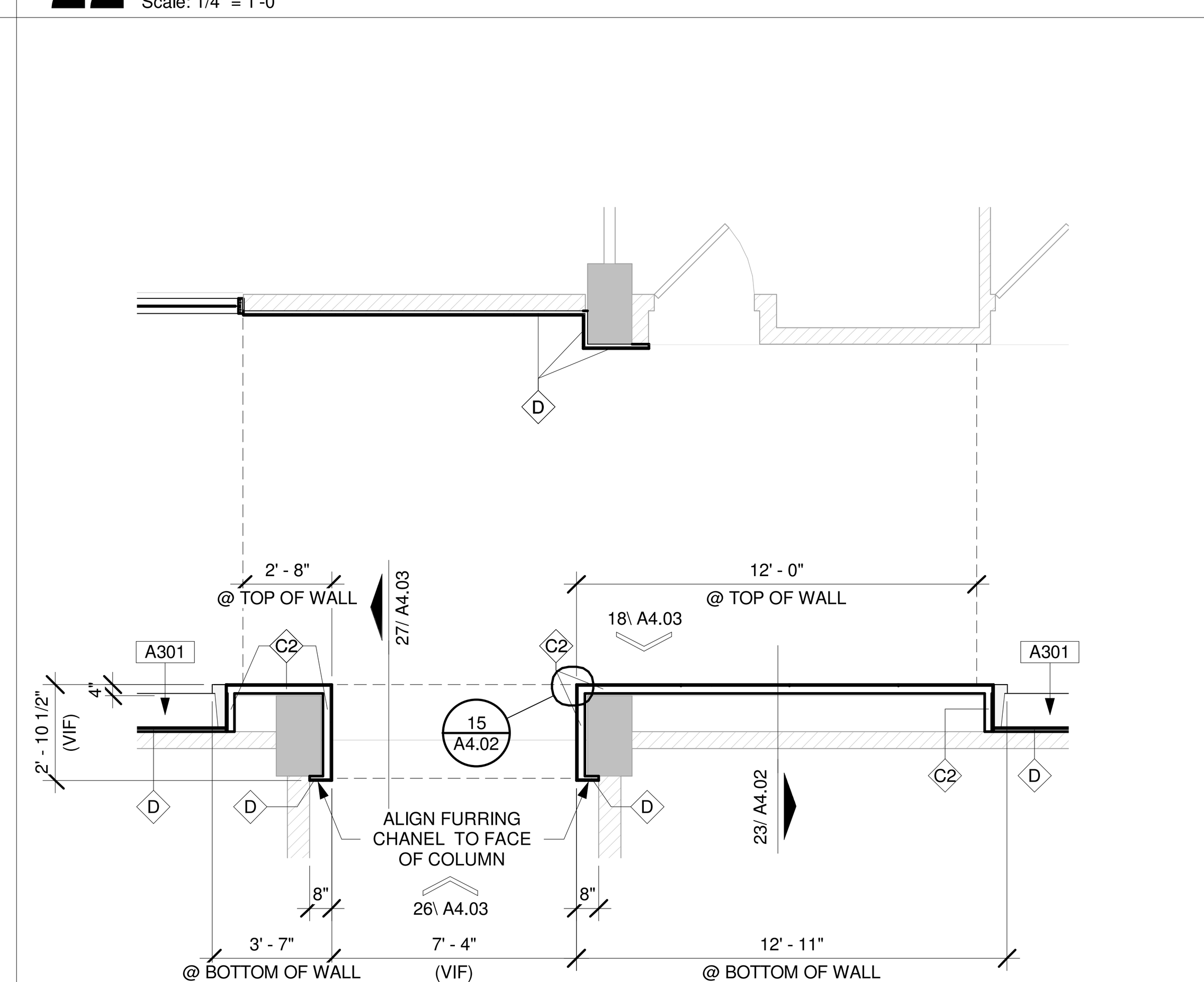
17 PORTAL 1 - CEILING PLAN
Scale: 1/4" = 1'-0"

A024	PROVIDE NEW CEILING TILE AND GRID AT SPECIFIED HEIGHT, RE: CEILING PLAN; FINISH SCHEDULE. CENTER GRID IN ROOM UNLESS INDICATED OTHERWISE.
A301	NEW MILLWORK. RE: MILLWORK DETAILS & SPECS. (HANDLE 2; FIXW)
A312	PROVIDE NEW QUARTZ COUNTERTOP @ OPENING LOCATION
C07	GYP. BD. CEILING: 1 LAYER GYP. ON CEILING-FURRING CHANNELS AT 24" O.C. MAX ON 1-1/2" MTL. STUDS AT 48" O.C. MAX IN PERPENDICULAR DIRECTION; SUSPENDED WITH WIRE HANGERS FROM STRUCTURE ABOVE AT 48" O.C. MAX. CEILING AT 9'-0" A.F.F. UNLESS INDICATED OTHERWISE.
C08	GYP. BD. BULKHEAD: 1 LAYER GYP. ON 3-5/8" MTL. STUDS @ 16â€ O.C. SUSPENDED FROM STRUCTURE ABOVE TO ALIGN TO ADJACENT CEILINGS UNLESS OTHERWISE NOTED. (ALIGN 1)
PT1	PAINT (FIELD).
PT2	PAINT (ACCENT 2).
PT3	PAINT (ACCENT 3).

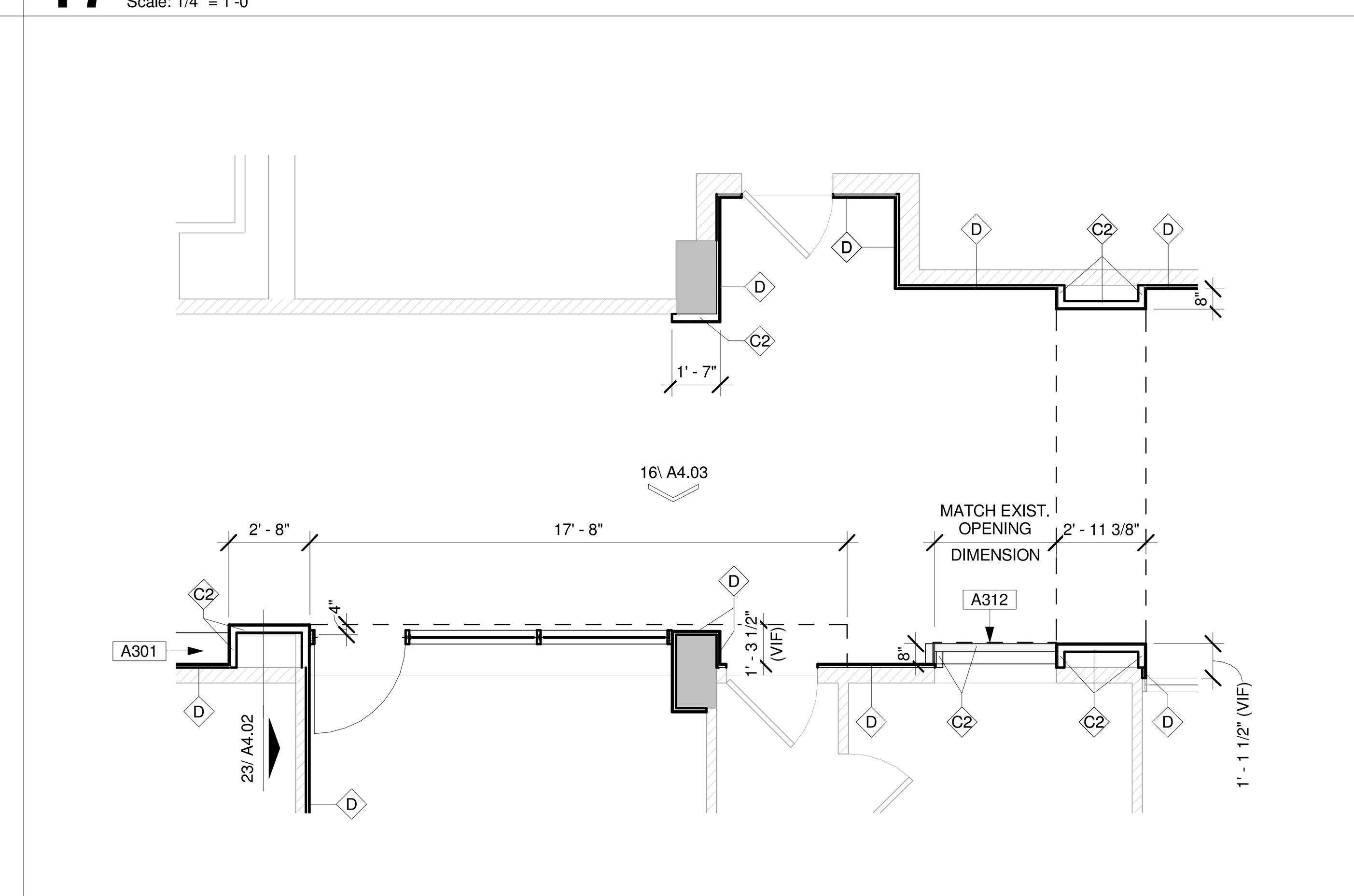
02 KEYNOTES
Scale: NTS



26 PORTAL 3 - PLAN
Scale: 1/4" = 1'-0"



21 PORTAL 2 - PLAN
Scale: 1/4" = 1'-0"



11 PORTAL 1 - PLAN
Scale: 1/4" = 1'-0"

1. HANDLE STRUCTURE OF EXISTING BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING. REPORT TO THE ARCHITECT ANY INDICATIONS OF STRUCTURAL DAMAGE.
2. PROTECT THROUGHOUT DEMOLITION AND CONSTRUCTION ALL ITEMS INDICATED TO REMAIN INCLUDING BUT NOT LIMITED TO: BUILDINGS AND OTHER STRUCTURES, FLOORING, WALLS, CEILINGS, FINISHES, MEP/ SECURITY SYSTEMS, UTITIIES, MILWORK, ETC.
3. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION, PARTICULARLY IN AREAS OF WORK.
4. REPORT TO THE ARCHITECT ANY UNFORESEEN CONDITIONS OR AS-BUILT CONDITIONS NOT REFLECTED IN THE DRAWINGS, THAT COULD AFFECT THE WORK.
5. MAINTAIN SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
6. ALL DIMENSIONS TO WALLS ARE TO FINISH-FACE OF WALL UNLESS INDICATED OTHERWISE. (SIDE INDICATED GRAPHICALLY IN THE DRAWINGS).
7. PROVIDE NECESSARY BLOCKING AT WALLS FOR ALL PLUMBING FIXTURES, EQUIPMENT, MILLWORK, AND ACCESSORIES.
8. PLANS INDICATE HORIZONTAL DIMENSIONS ONLY. REFER TO ELEVATIONS & SECTIONS FOR VERTICAL DIMENSIONS.
9. PROVIDE PARTITION CURBS FOR MECH./ELEC. ROOM'S PERIMETER, TYP. UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
11. REFER TO DOOR AND WINDOW DETAILS FOR DIMENSIONS AT OPENINGS.
12. REFER TO DEMOLITION DRAWINGS FOR DEMOLITION INFORMATION.
13. REFER TO CODE ANALYSIS INFORMATION SHEET A0.20 FOR EXTENT OF EXTENDED FIRE-SPRINKLER SYSTEM.

01 GENERAL NOTES - CONSTRUCTION
Scale: NTS

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

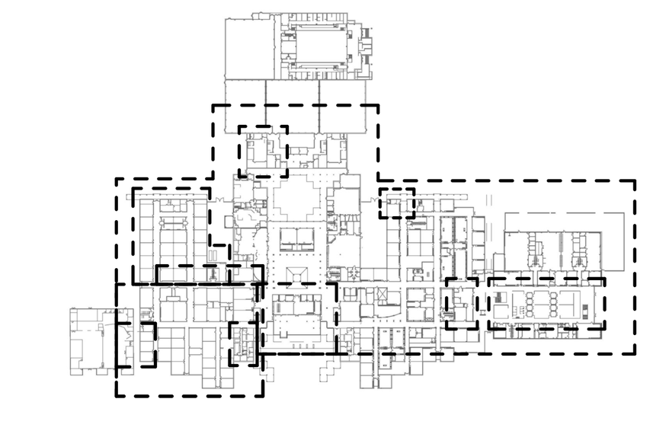
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

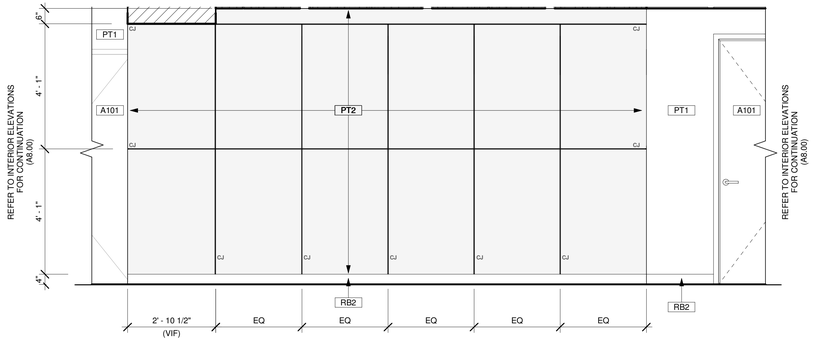
#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



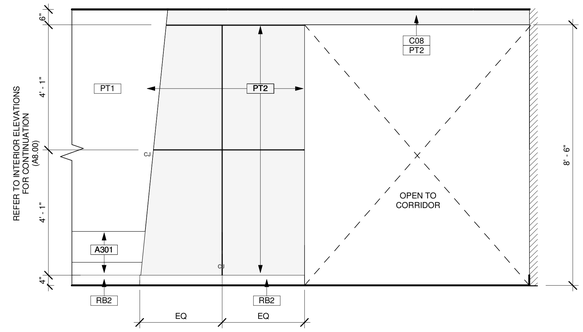
KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED PLANS & DETAILS - PORTALS

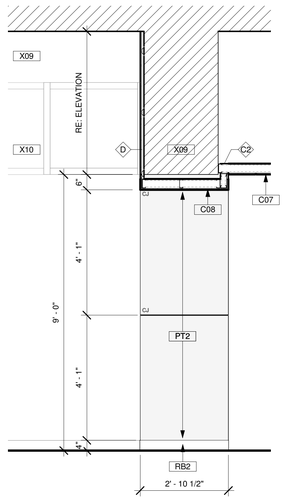
Drawing Number
A4.02



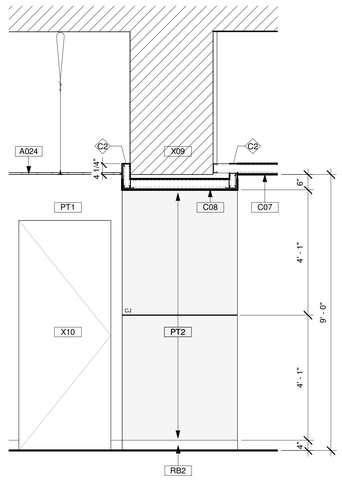
30 PORTAL 4 - WEST ELEVATION
Scale: 1/2" = 1'-0"



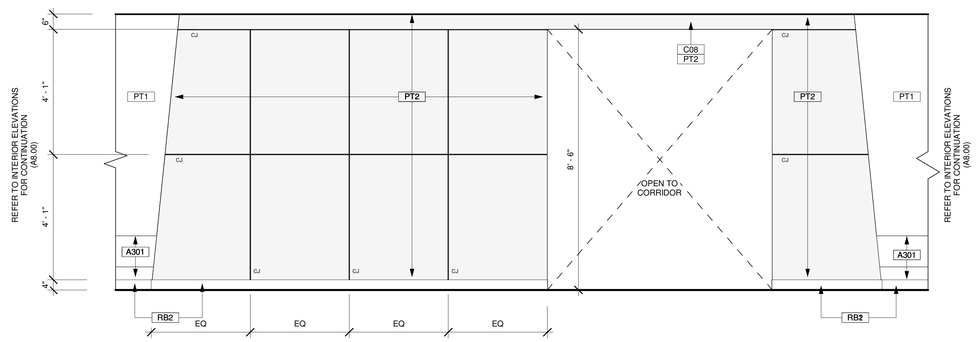
15 PORTAL 4 - SOUTH ELEVATION
Scale: 1/2" = 1'-0"



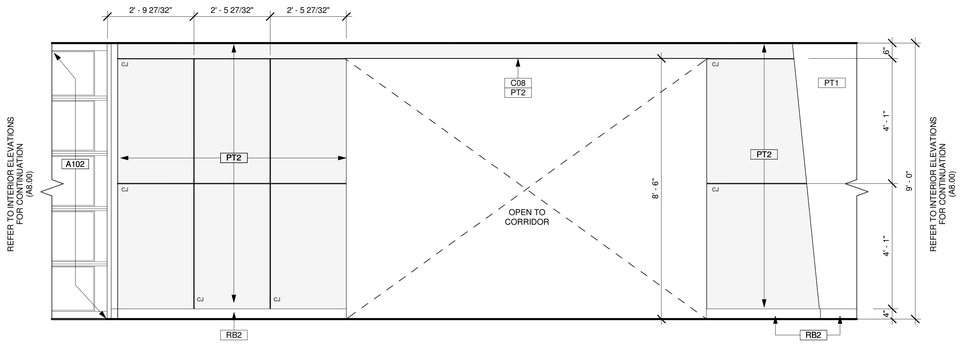
27 DETAIL 2 - PORTAL TYP
Scale: 1/2" = 1'-0"



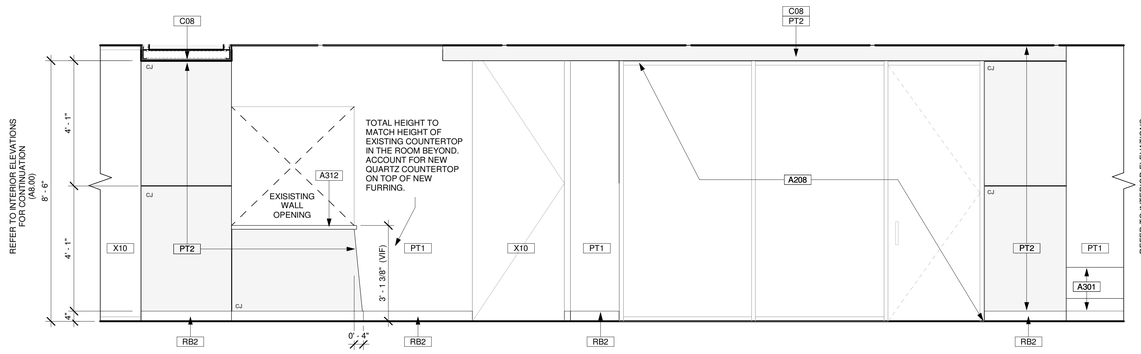
22 DETAIL 1 - PORTAL 3
Scale: 1/2" = 1'-0"



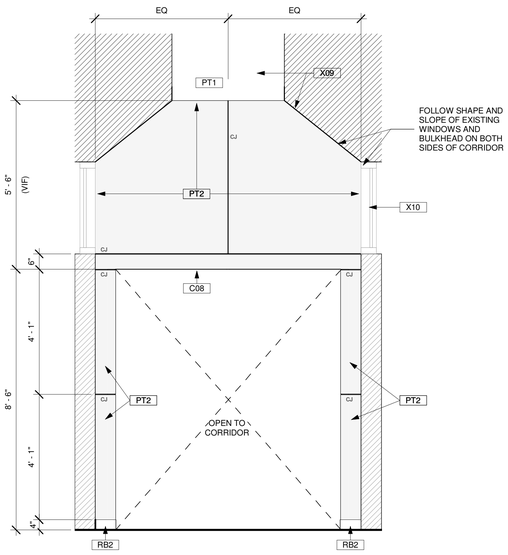
18 PORTAL 2,3 - SOUTH ELEVATION
Scale: 1/2" = 1'-0"



17 PORTAL 3 - NORTH ELEVATION
Scale: 1/2" = 1'-0"



16 PORTAL 1 - SOUTH ELEVATION
Scale: 1/2" = 1'-0"



26 PORTAL 2,3 - ELEVATION
Scale: 1/2" = 1'-0"

Dimension & Alignment Support Notes:

ALIGN 1: Align face of new construction w/face of existing.
ALIGN 2: Align Centerline of new construciton w/Centerline of existing.
ALIGN 3: Align gridline/join grid w/existing grid.
LEVEL 1: Ensure top of new construction is level w/existing surface.
LEVEL 2: Level floor & surface to recieve new construction.
LEVEL 3: Ensure the top of grade is level w/surrounding ground.

Construction & Condition Support Notes:

HANDLE 1: Handle item w/care, and store for owner review.
HANDLE 2: Handle remaining building, pavement, fence, or item w/care.
HANDLE 3: Handle re-located items with care. *DISCONNECT 1, FIXW.*
FIXW: Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.
FIX1: Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.
SITE1: Prepare the site where construction was removed, and prepare the ground to an acceptable condition.
INFO1: Inform Architect prior to the start of this work.
CONNECT1: Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.
CONNECT2: Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care
DISCONNECT1: Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.
ENGINEER1: Professional engineering supervision is required for this work.
SHOP1: Provide shop drawings for this work.
REFERENCE: Refer to photo # for the existing condition at this location.
SLOPE1: Maintain positive slope towards drains, gutters, and storm systems and away from the building.
PROTECT1: Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.
EGRESS: Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.
TREE1: Refer to Landscape Drawings & Specs for removing trees.
OPERATE: Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.
ENSURE1: Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.
ENSURE2: Ensure system is water-tight. Provide additional flashing & sealants as needed.
ENSURE3: Ensure the slope of the new roof matches the slope and slope direction of the existing roof.
PHASE1: Work within this area may occur in phase ONE.
PHASE2: Work within this area may occur in phase TWO.

03 SUPPORT NOTES
Scale: NTS

A024	PROVIDE NEW CEILING TILE AND GRID AT SPECIFIED HEIGHT, RE: CEILING PLAN; FINISH SCHEDULE. CENTER GRID IN ROOM UNLESS INDICATED OTHERWISE.
A101	NEW DOOR AND FRAME AS SCHEDULED, HARDWARE AS SPECIFIED.
A102	OVERHEAD GARAGE DOOR. RE: 19/A5.00 RE: DOOR SCHEDULE FOR DIMENSIONS.
A208	NEW INTERIOR ALUM. STOREFRONT FLOOR TO CEILING ABOVE. (FIXW)
A301	NEW MILLWORK. RE: MILLWORK DETAILS & SPECS. (HANDLE 2; FIXW)
A312	PROVIDE NEW QUARTZ COUNTERTOP @ OPENING LOCATION
C07	GYP. BD. CEILING; 1 LAYER GYP. ON CEILING-FURRING CHANNELS AT 24" O.C. MAX ON 1-1/2" MTL. STUDS AT 48" O.C. MAX IN PERPENDICULAR DIRECTION; SUSPENDED WITH WIRE HANGERS FROM STRUCTURE ABOVE AT 48" O.C. MAX. CEILING AT 9'-0" A.F.F. UNLESS INDICATED OTHERWISE.
C08	GYP. BD. BULKHEAD; 1 LAYER GYP. ON 3-5/8" MTL. STUDS @ 16â€ O.C. SUSPENDED FROM STRUCTURE ABOVE TO ALIGN TO ADJACENT CEILINGS UNLESS OTHERWISE NOTED. (ALIGN 1)
PT1	PAINT (FIELD).
PT2	PAINT (ACCENT 2).
RB1	RUBBER BASE
RB2	RUBBER BASE
X09	EXISTING BULKHEAD FURR DOWN. CONTRACTOR TO VERIFY IN FIELD.
X10	EXISTING DOOR / WINDOW. FIELD VERIFY. (PROTECT 1)

02 KEYNOTES
Scale: NTS

1. HANDLE STRUCTURE OF EXISTING BUILDING WITH CARE. NO WORK SHOULD HAVE ANY AFFECT ON THE STRUCTURAL INTEGRITY OF THE BUILDING. REPORT TO THE ARCHITECT ANY INDICATIONS OF STRUCTURAL DAMAGE.
2. PROTECT THROUGHOUT DEMOLITION AND CONSTRUCTION ALL ITEMS INDICATED TO REMAIN INCLUDING BUT NOT LIMITED TO: BUILDINGS AND OTHER STRUCTURES, FLOORING, WALLS, CEILINGS, FINISHES, MEP/ SECURITY SYSTEMS, UTITIIES, MILWORK, ETC.
3. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION, PARTICULARLY IN AREAS OF WORK.
4. REPORT TO THE ARCHITECT ANY UNFORESEEN CONDITIONS OR AS-BUILT CONDITIONS NOT REFLECTED IN THE DRAWINGS, THAT COULD AFFECT THE WORK.
5. MAINTAIN SAFE AND UNRESTRICTED ACCESS AND EGRESS ROUTES FOR OCCUPIED AREAS ADJACENT TO WORK AREA, IN ACCORDANCE WITH APPLICABLE CODES.
6. ALL DIMENSIONS TO WALLS ARE TO FINISH-FACE OF WALL UNLESS INDICATED OTHERWISE. (SIDE INDICATED GRAPHICALLY IN THE DRAWINGS).
7. PROVIDE NECESSARY BLOCKING AT WALLS FOR ALL PLUMBING FIXTURES, EQUIPMENT, MILLWORK, AND ACCESSORIES.
8. PLANS INDICATE HORIZONTAL DIMENSIONS ONLY. REFER TO ELEVATIONS & SECTIONS FOR VERTICAL DIMENSIONS.
9. PROVIDE PARTITION CURBS FOR MECH./ELEC. ROOM'S PERIMETER, TYP. UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NEW WORK IN THIS PROJECT IS TO BE ACCESSIBLE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS. REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.00 AND A0.30 FOR MORE INFORMATION.
11. REFER TO DOOR AND WINDOW DETAILS FOR DIMENSIONS AT OPENINGS.
12. REFER TO DEMOLITION DRAWINGS FOR DEMOLITION INFORMATION.
13. REFER TO CODE ANALYSIS INFORMATION SHEET A0.20 FOR EXTENT OF EXTENDED FIRE-SPRINKLER SYSTEM.

01 GENERAL NOTES - CONSTRUCTION
Scale: NTS

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

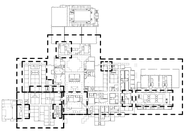
REGISTERED ARCHITECT MICHAEL SHANNON 18611 STATE OF TEXAS
03/12/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



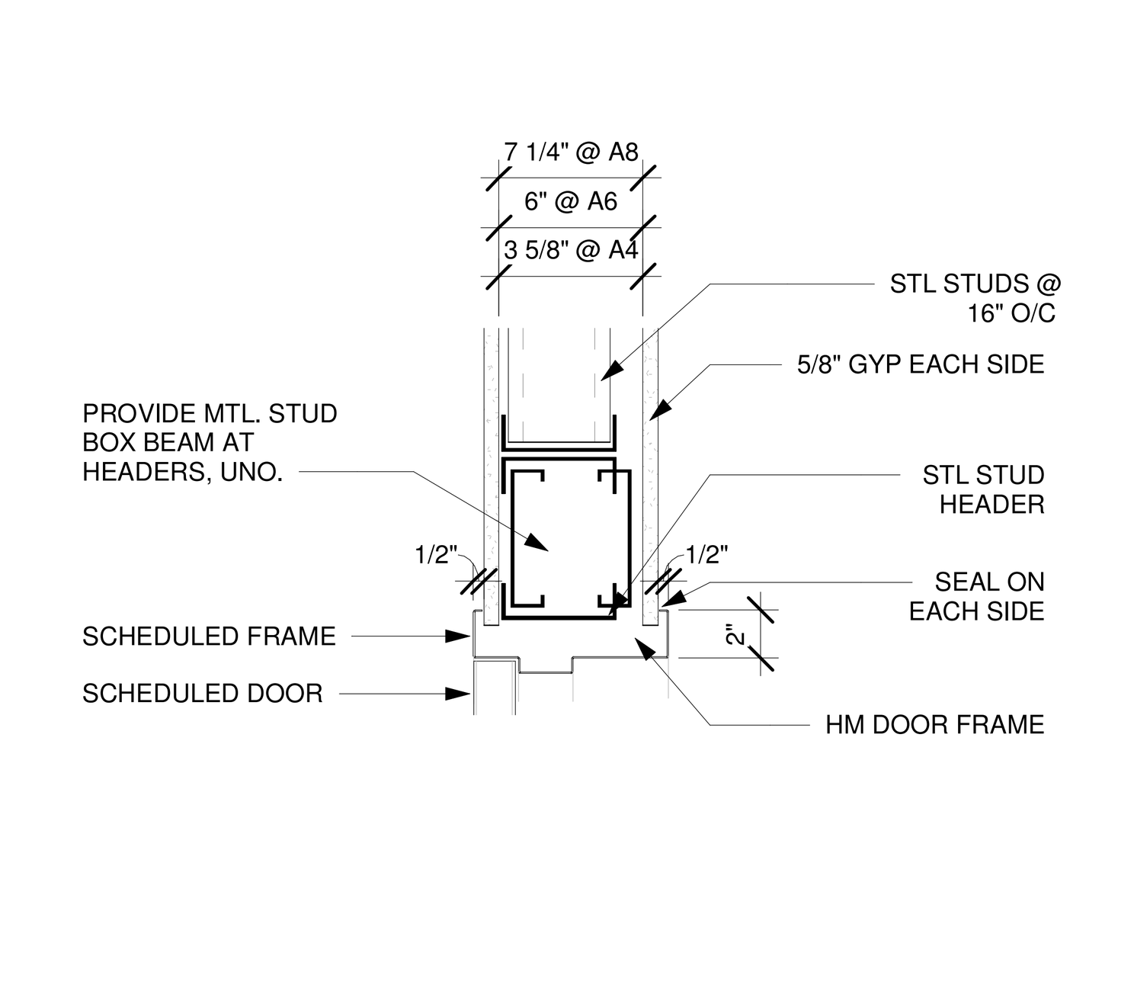
KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

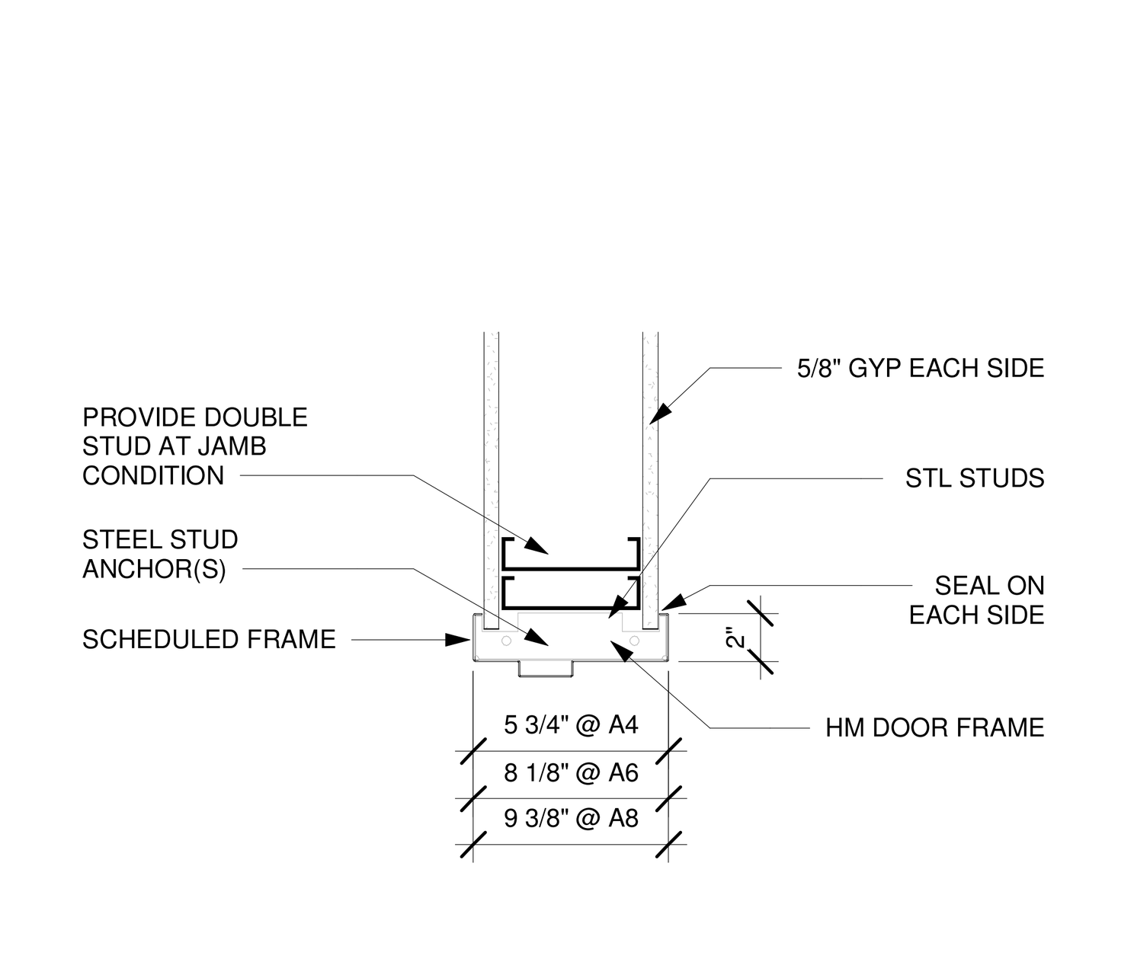
Drawing Title
ENLARGED PLANS & DETAILS - PORTALS

Drawing Number A4.03

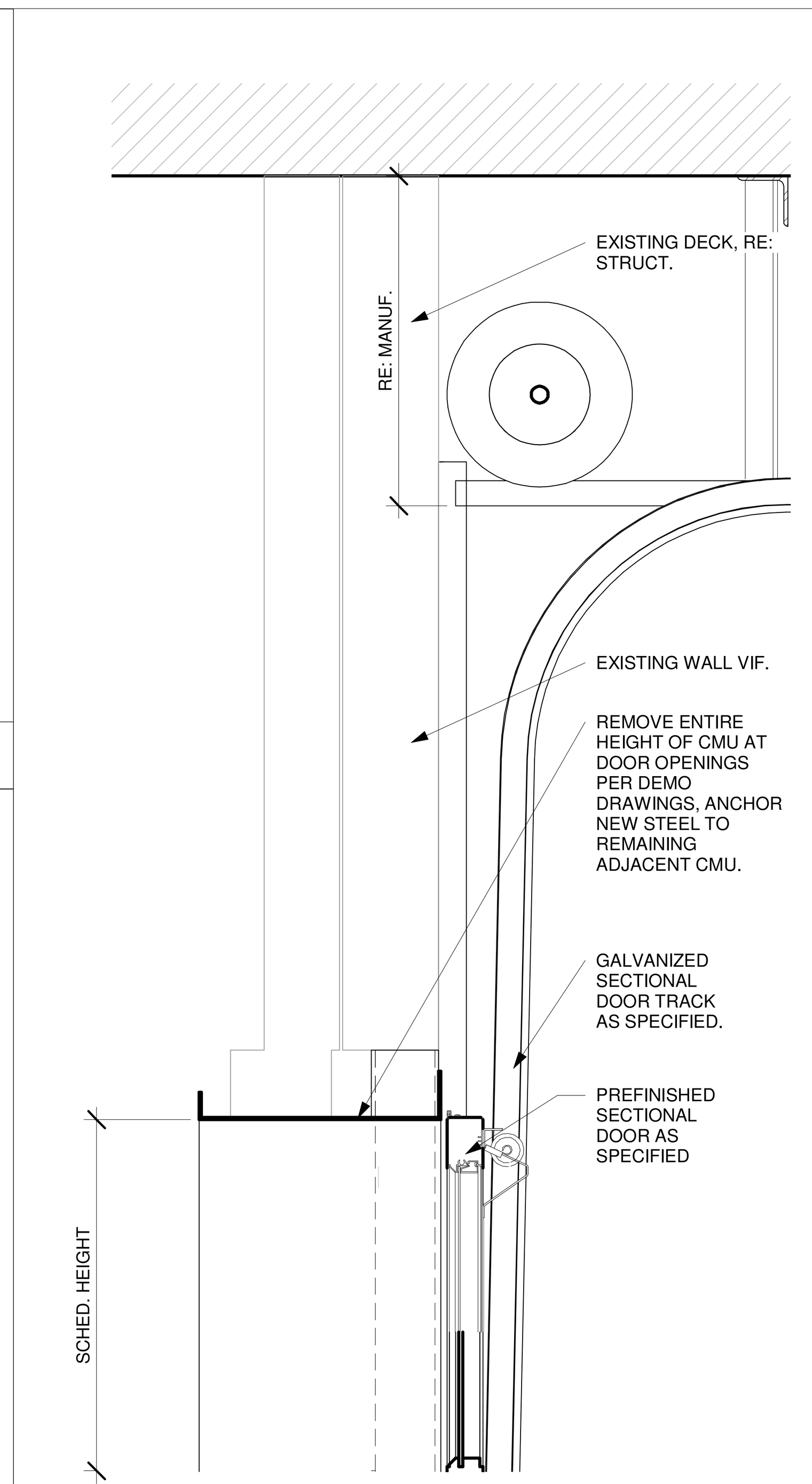
3/13/2020 1:53:56 PM



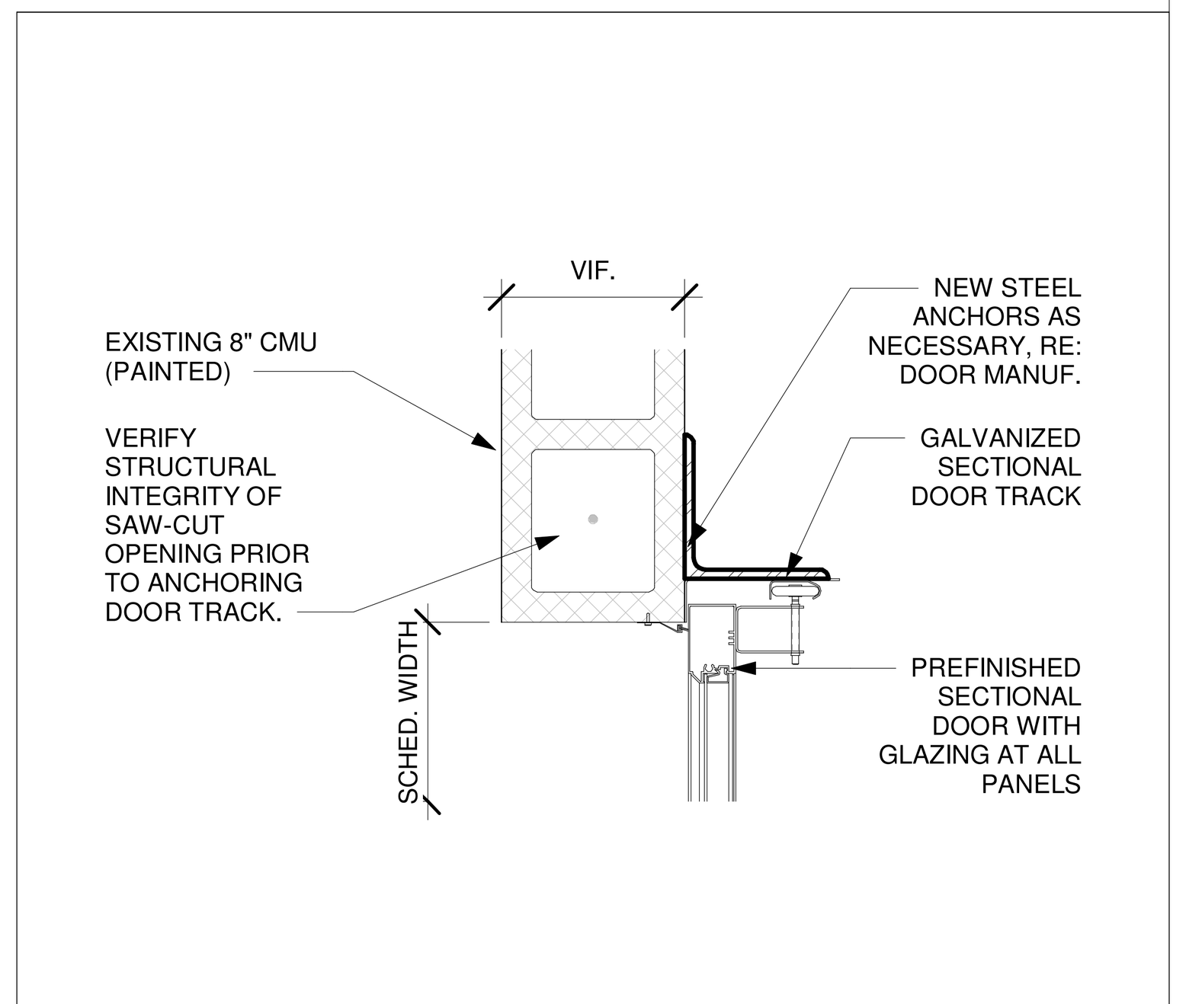
30 DOOR - HM HEAD DETAIL
Scale: NTS



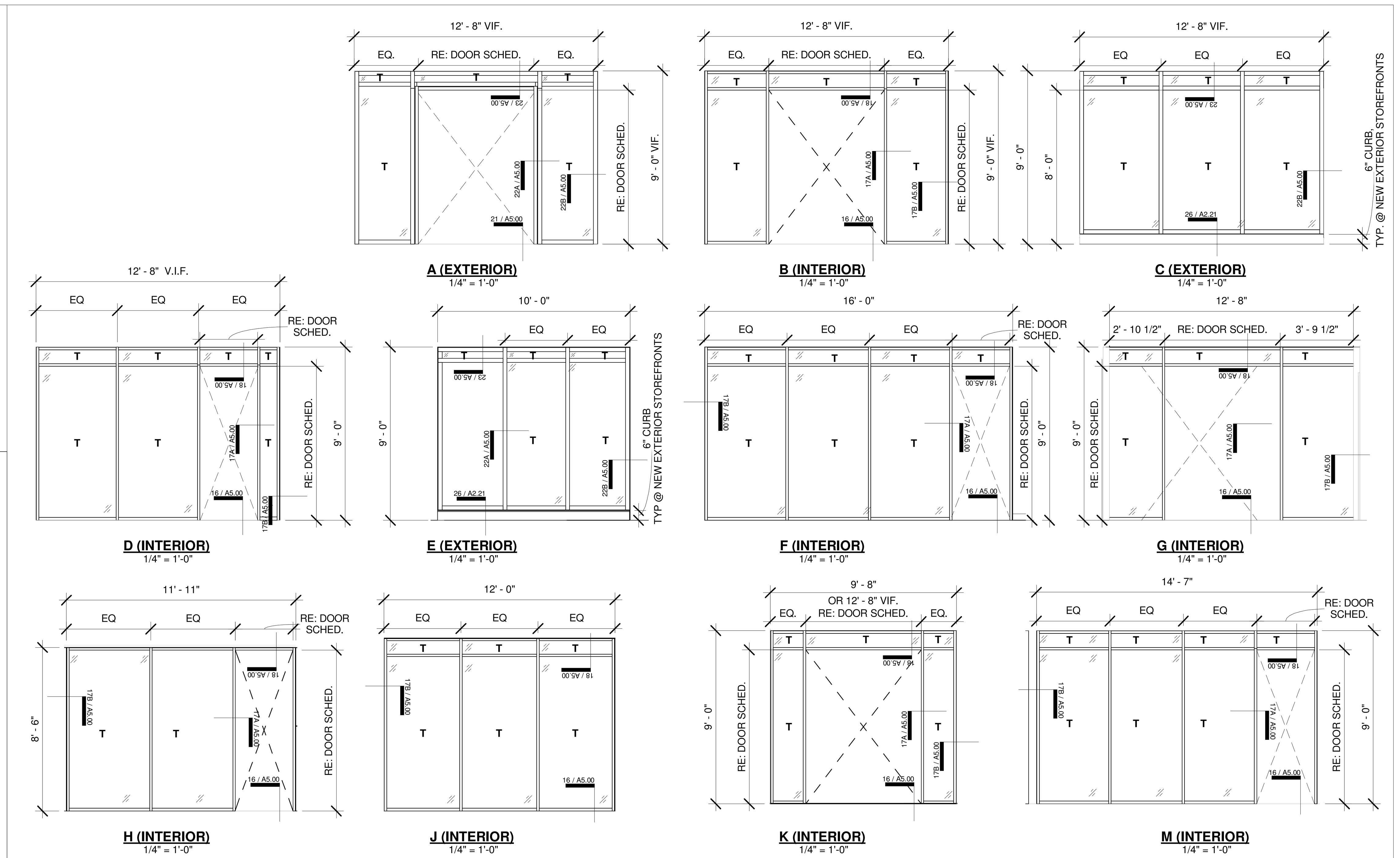
29 DOOR - HM JAMB DETAIL
Scale: NTS



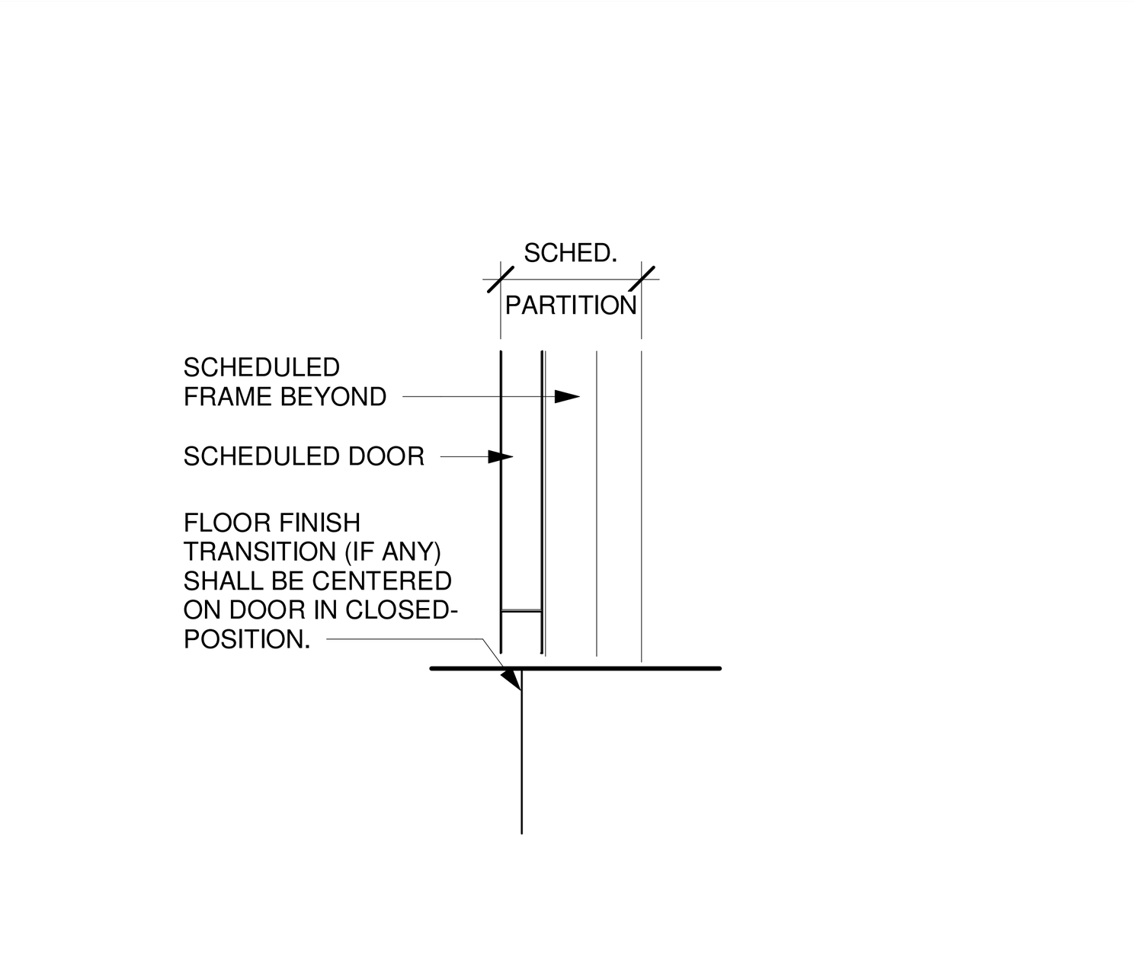
24 DOOR - HEAD DETAIL
Scale: 1 1/2" = 1'-0"



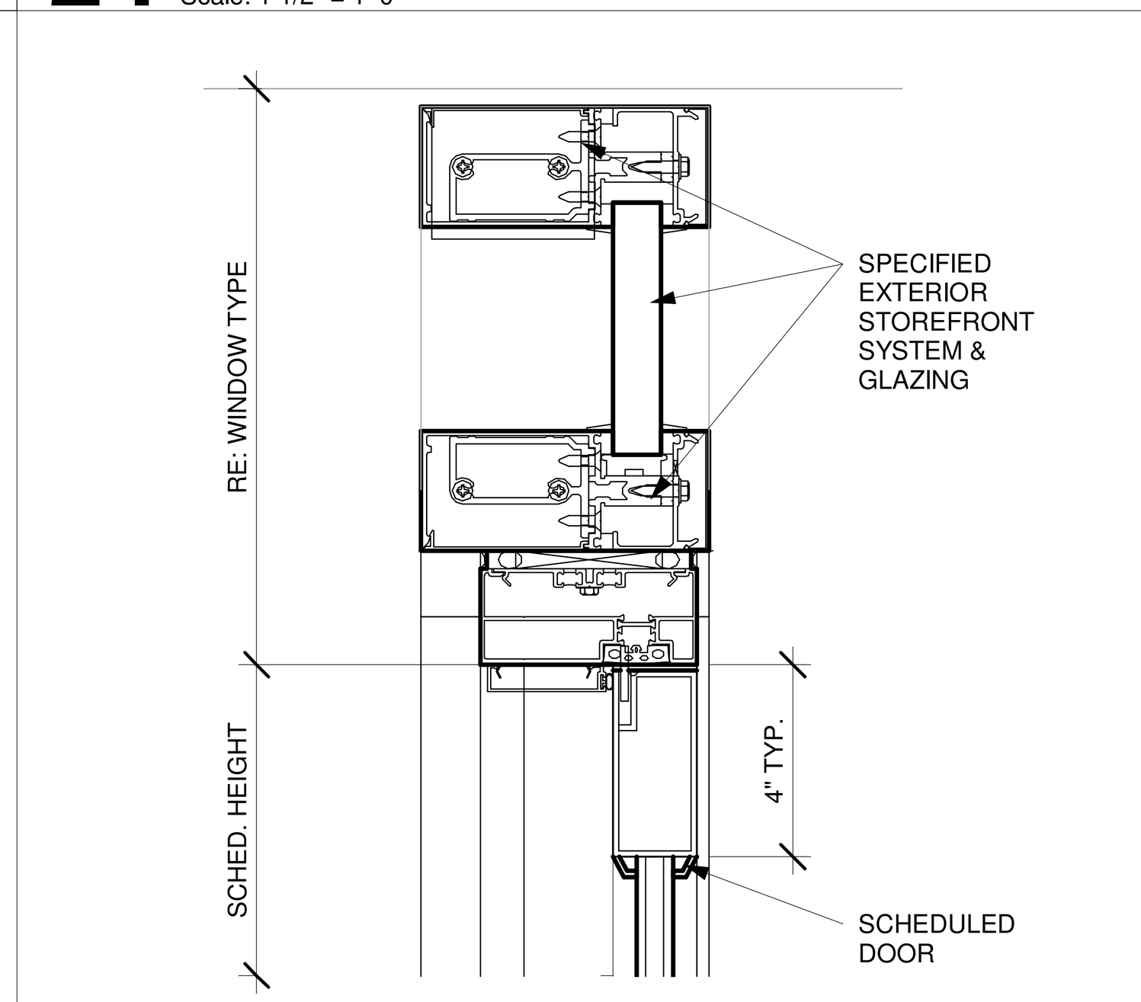
19 DOOR - JAMB DETAIL
Scale: 1 1/2" = 1'-0"



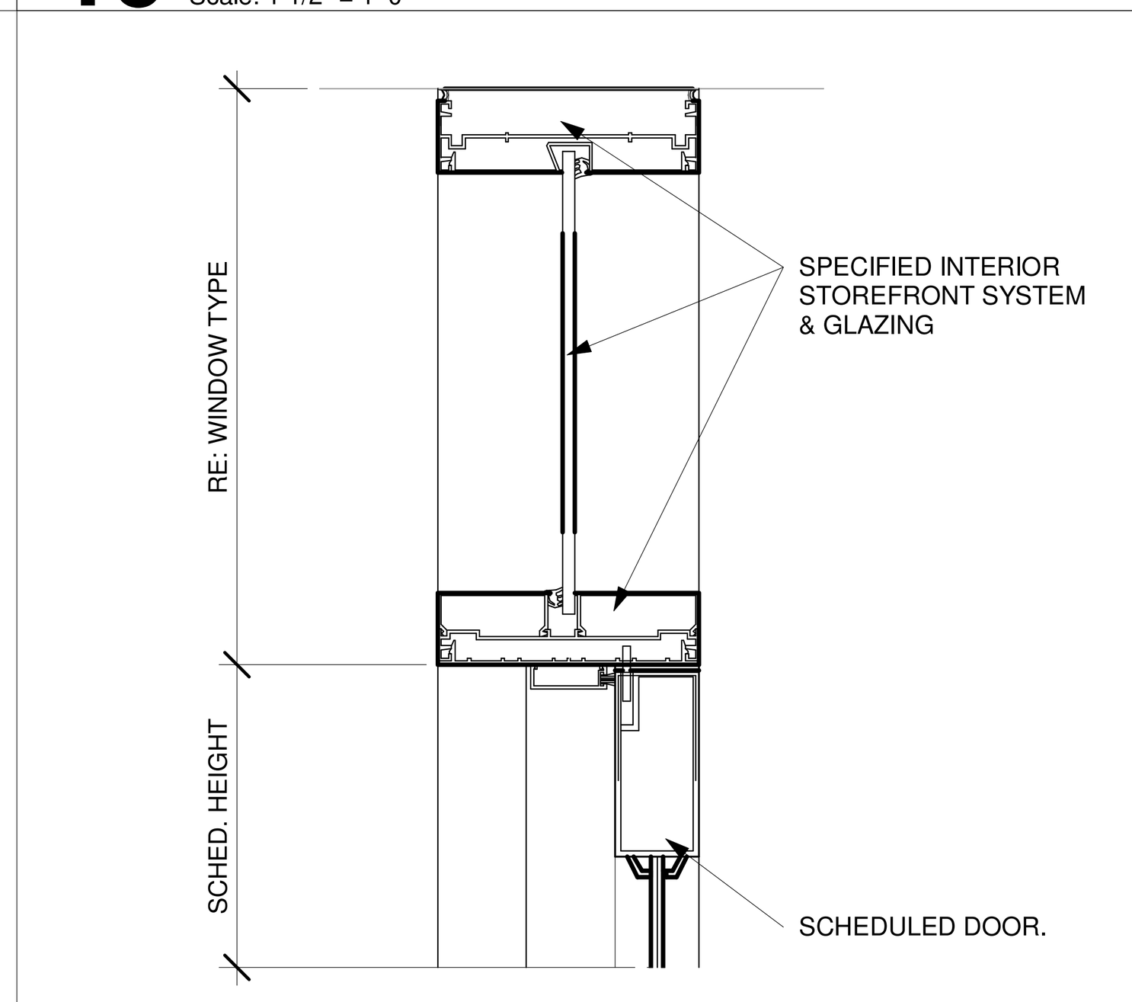
14 WINDOW TYPES
Scale: NTS



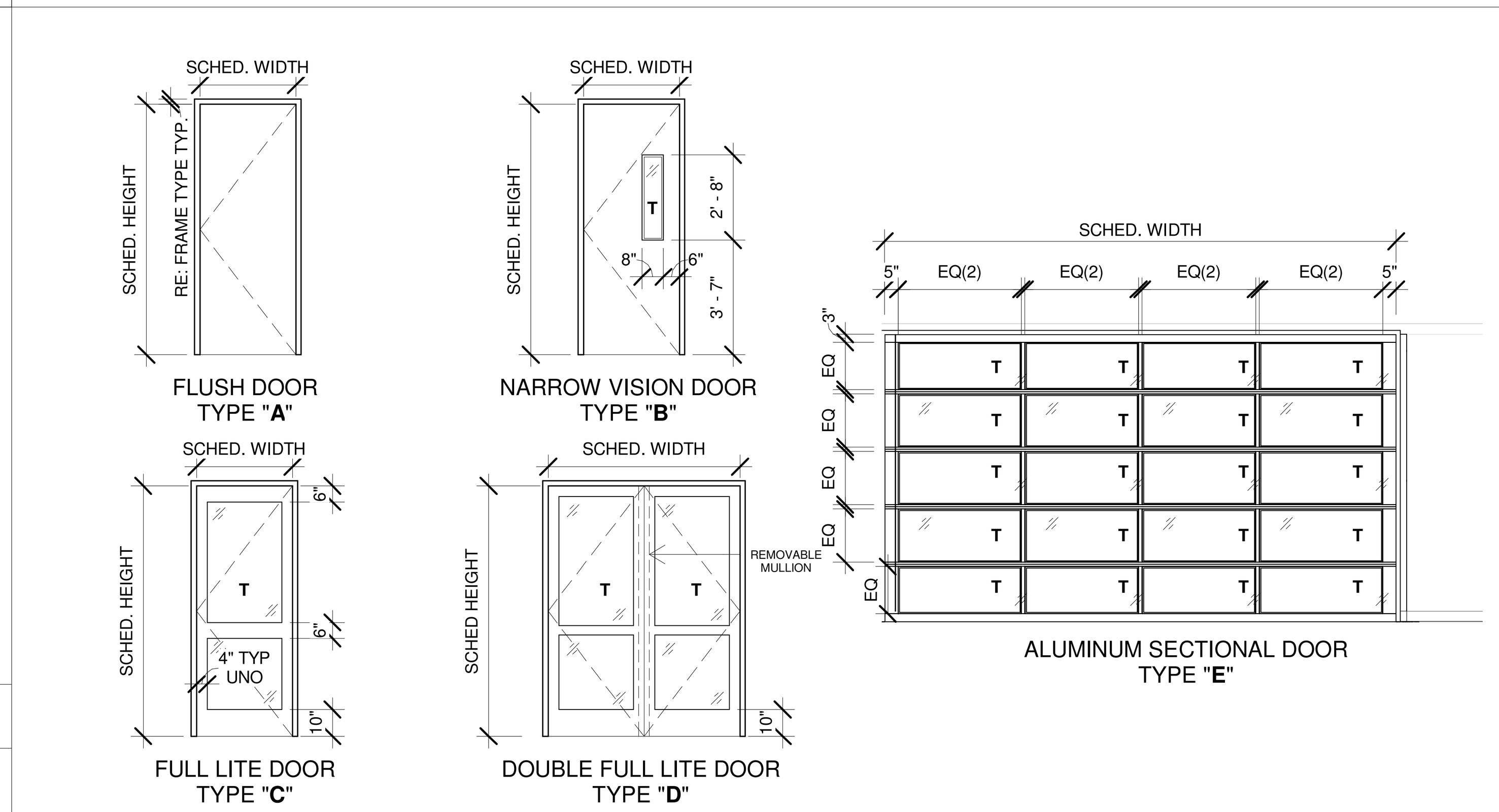
28 DOOR - SILL DETAIL
Scale: NTS



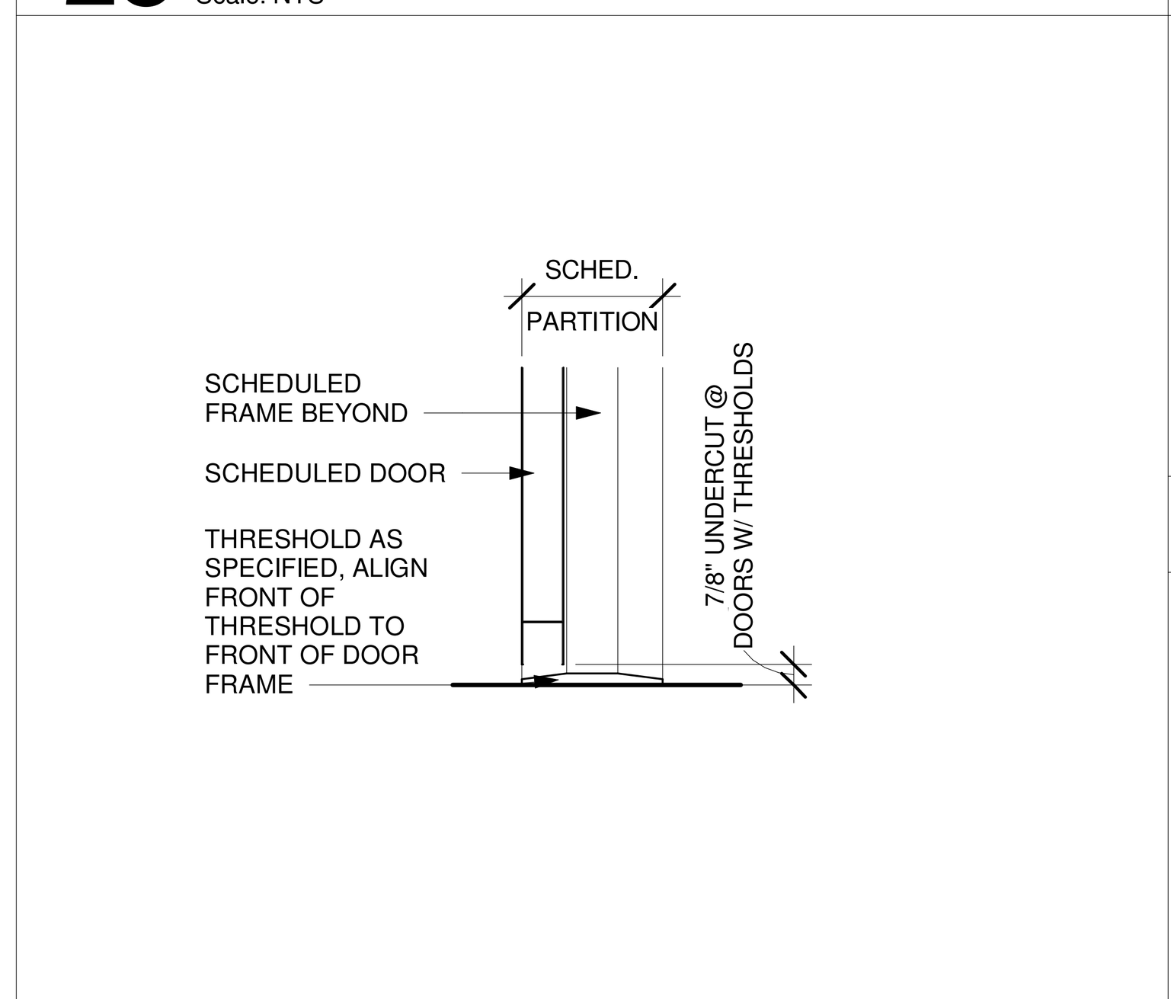
23 EXTERIOR AL/GL DOOR HEAD
Scale: 3" = 1'-0"



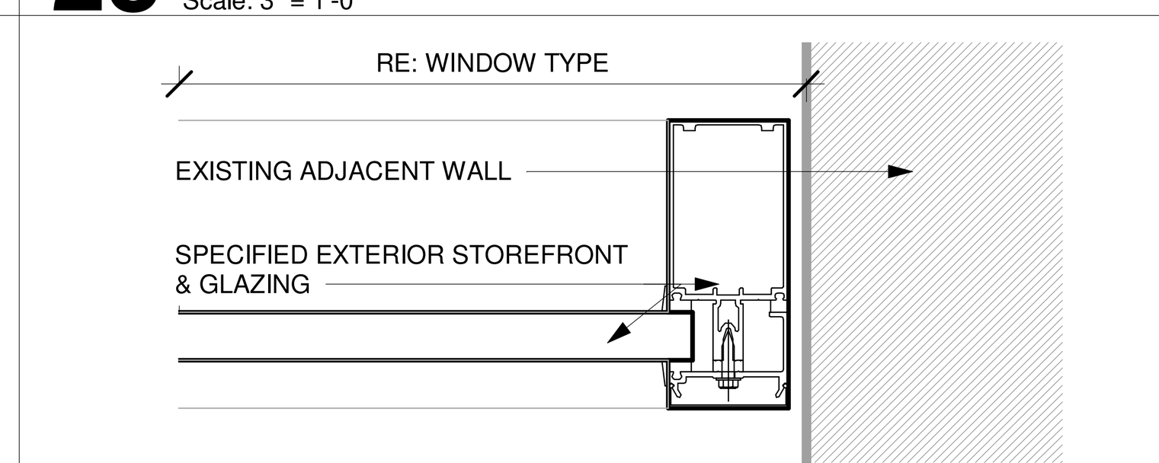
18 TYPICAL INT. AL/GL DOOR HEAD
Scale: 3" = 1'-0"



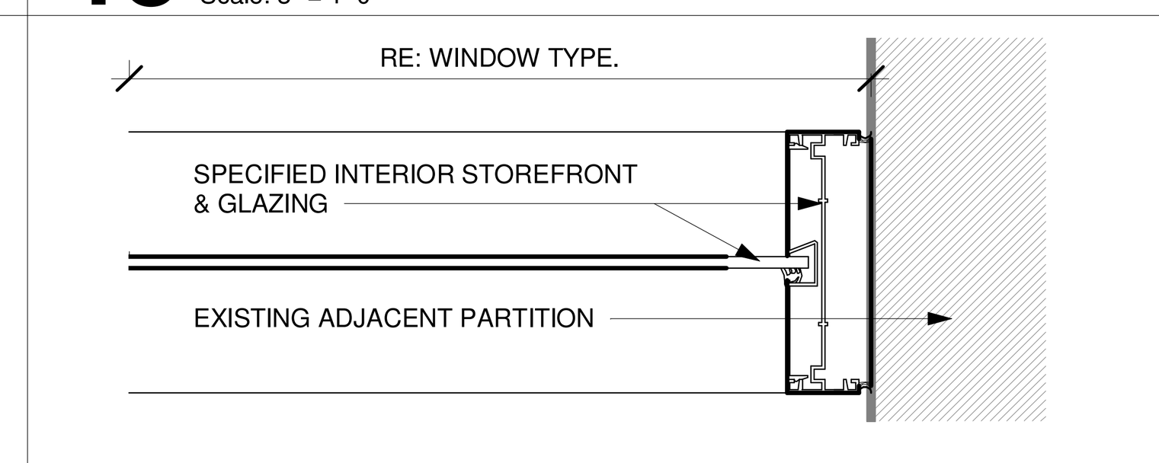
13 DOOR TYPES
Scale: NTS



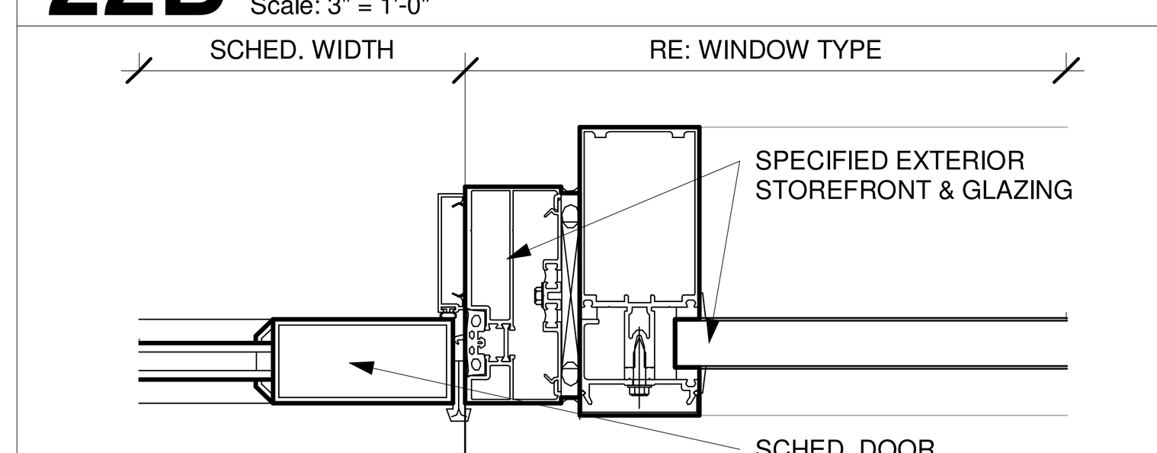
27 DOOR - SILL DETAIL W/THRESHOLD
Scale: NTS



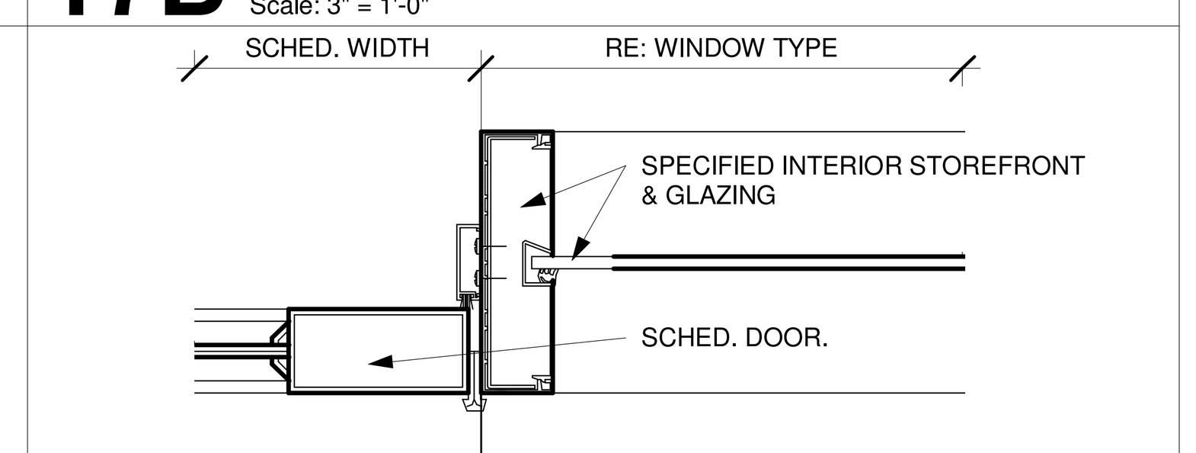
22B EXTERIOR STOREFRONT JAMB
Scale: 3" = 1'-0"



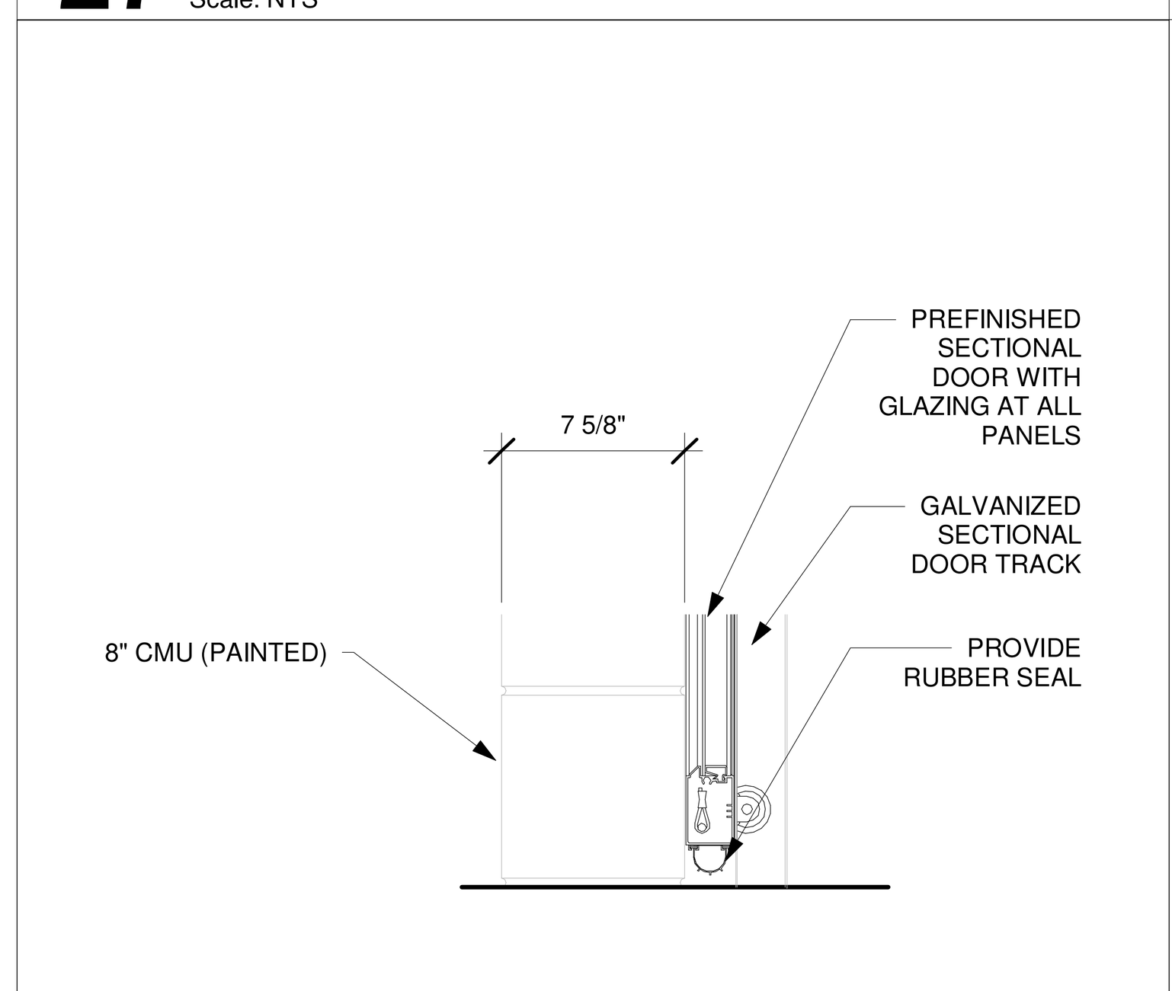
17B INT STOREFRONT JAMB
Scale: 3" = 1'-0"



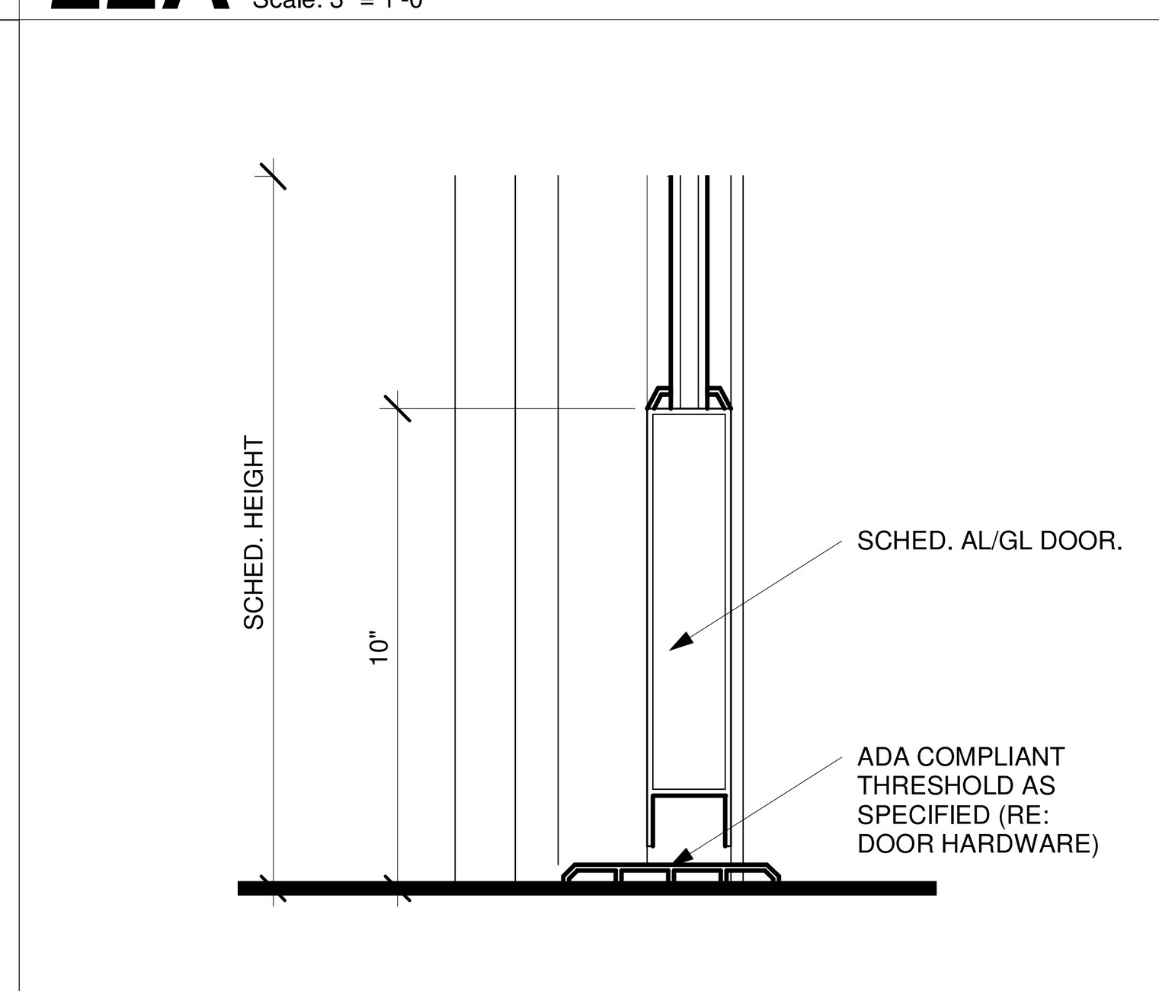
22A EXTERIOR AL/GL DOOR JAMB
Scale: 3" = 1'-0"



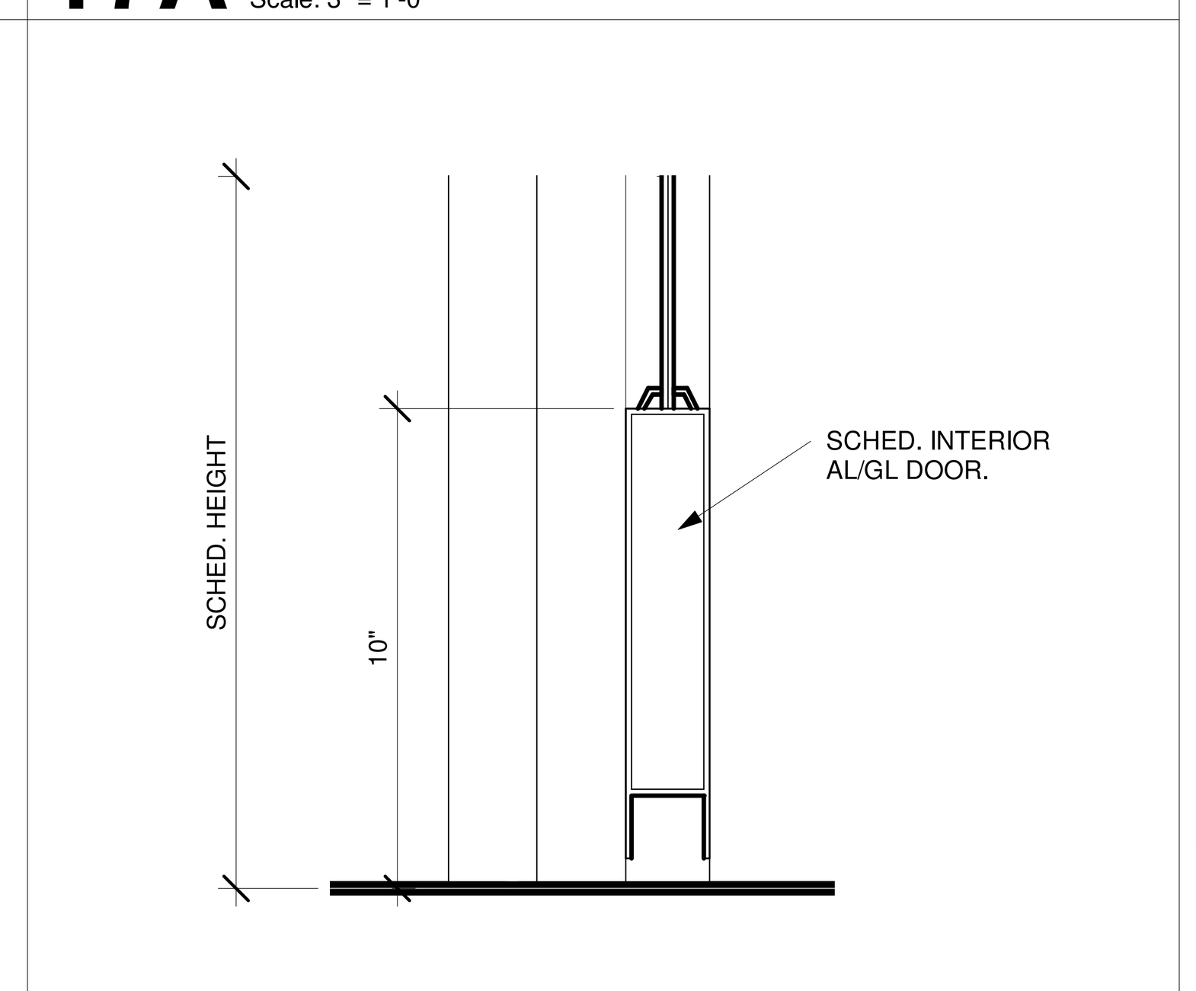
17A INT. AL/GL DOOR JAMB
Scale: 3" = 1'-0"



26 DOOR - SILL DETAIL
Scale: 1 1/2" = 1'-0"



21 EXTERIOR AL/GL DOOR SILL
Scale: 3" = 1'-0"



16 TYPICAL INT. AL/GL DOOR SILL
Scale: 3" = 1'-0"

Mark	Dimensions		Door Type	Material / Finish		Hardware Set	Fire Rating	Details			Comments
	Height	Width		Door	Frame			Sill	Jamb 1	Head	
A100	8' - 0"	6' - 0"	D	AL/GL	AL		-	21/A5.00	22A/A5.00	23/A5.00	
A100A	8' - 0"	6' - 0"	D	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
A101	8' - 0"	3' - 0"	C	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
A102	8' - 0"	3' - 0"	C	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
A103	8' - 0"	3' - 0"	C	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
A104	8' - 0"	3' - 0"	C	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
A106	8' - 0"	3' - 0"	A	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
A107	8' - 0"	3' - 0"	A	SC/WD	HM		-	27/A5.00	29/A5.00	30/A5.00	
A108	8' - 0"	3' - 0"	A	SC/WD	HM		-	27/A5.00	29/A5.00	30/A5.00	
C111	8' - 0"	4' - 0"	A	SC/WD	HM		-	27/A5.00	29/A5.00	30/A5.00	
G106A	8' - 0"	3' - 0"	A	SC/WD	HM		-	27/A5.00	29/A5.00	30/A5.00	
G107	8' - 0"	3' - 0"	A	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
H153	8' - 0"	3' - 0"	A	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
H154	8' - 0"	3' - 0"	A	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
H157	8' - 0"	3' - 0"	C	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
H158	8' - 0"	3' - 0"	B	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
H159	8' - 4 1/4"	3' - 0"	C	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
M108	8' - 0"	3' - 0"	A	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
M111B	8' - 0"	3' - 0"	C	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
M111C	8' - 0"	3' - 0"	A	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
M111D	8' - 0"	3' - 0"	A	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
M113A	8' - 0"	3' - 0"	C	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
M113B	8' - 0"	3' - 0"	C	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
M113C	7' - 6"	3' - 0"	A	SC/WD	HM		-	28/A5.00	29/A5.00	30/A5.00	
M118A	9' - 0"	16' - 0"	E	AL/GL	-		-	06/A5.10	11/A5.10	12/A5.10	
M118B	9' - 0"	16' - 0"	E	AL/GL	-		-	06/A5.10	11/A5.10	12/A5.10	
N113	8' - 0"	3' - 0"	A	SC/WD	HM		-	27/A5.00	29/A5.00	30/A5.00	
N114	8' - 0"	3' - 0"	A	SC/WD	HM		-	27/A5.00	29/A5.00	30/A5.00	
N119A	8' - 0"	3' - 0"	B	SC/WD	HM		-	27/A5.00	29/A5.00	30/A5.00	
N119B	8' - 0"	3' - 0"	B	SC/WD	HM		-	27/A5.00	29/A5.00	30/A5.00	
N119C	8' - 0"	3' - 0"	B	SC/WD	HM		-	27/A5.00	29/A5.00	30/A5.00	
N126	8' - 0"	6' - 0"	D	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
N127	8' - 0"	6' - 0"	D	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	
N128	8' - 0"	6' - 0"	D	AL/GL	AL		-	16/A5.00	17A/A5.00	18/A5.00	

11 DOOR SCHEDULE
Scale: NTS

1. DOOR SCHEDULE, RE: A5.00
2. FIELD VERIFY DIMENSIONS PRIOR TO FABRICATING FRAMES.
3. REFER TO SPECIFICATIONS FOR MORE INFORMATION ON GLAZING AND FRAMES.
4. SECURITY FILM REQUIRED ON ALL ENTRANCE GLAZING UP TO 8' - 0" A.F.F. OR NEAREST HORIZONTAL MULLION. REFER TO WINDOW TYPES & SPECS FOR MORE INFO.

GLAZING TYPES:
RE: SPEC SECTION 08 81 00

C CLEAR TEMPERED GLASS.
T CLEAR LOW-E INSULATING GLASS.
TP LOW-E INSULATING SPANDREL GLASS.
R CLEAR ONE-HOUR RATED CERAMIC SAFETY GLASS.
M MIRRORED ANNEALED GLASS.

SECURITY FILM TYPES:
RE: SPEC SECTION 08 87 00

S1 15 MIL SECURITY FILM
S2 7 MIL SECURITY FILM

GLAZING TYPE → **C/S1** ← SECURITY FILM TYPE (IF NOT PRESENT, GLAZING DOES NOT HAVE SECURITY FILM)

GLAZING / SECURITY FILM KEY

03 GLAZING NOTES & LEGEND
Scale: NTS

NOTE: ONLY NEW DOORS ARE SCHEDULED. EXISTING DOORS MARKED IN PLAN WITH '(LK)' ARE TO RECEIVE NEW LOCKSETS WITH LEVERS, TO MATCH FUNCTION OF EXISTING, AND ADJUSTMENTS/REPAIRS TO DOOR HINGES AND OTHER HARDWARE TO MEET CURRENT CODES. RE: HARDWARE SET '13' IN SPECIFICATIONS. THESE DOORS DO NOT APPEAR IN SCHEDULE, HOWEVER THE LOCKSETS, LEVERS, AND CYLINDERS INDICATED IN THE HARDWARE SET ARE IN SCOPE FOR THE PROJECT.
CONTRACTOR SHALL ENSURE THAT ALL DOORS MARKED '(LK)' ARE TREATED THUSLY, AND SHALL PERFORM A FIELD OBSERVATION IN ACCORDANCE WITH SPEC SECTION 08 71 00 PRIOR TO PURCHASE OF DOOR HARDWARE TO ENSURE THAT INITIAL COUNTS ARE CORRECT.

1. NEW DOOR TO MATCH EXISTING ONES AS HIEGHT, FINISH, HW FINISH, FRAME MATERIAL & COLOR.
2. FIELD VERIFY EXISTING OPENING DIMENSIONS & CONDITION PRIOR TO FABRICATING DOOR & FRAMES.
3. REFER TO DOOR SCHEDULE FOR DOOR & DOOR FRAME INFORMATION AND DIMENSIONS.
4. REFER TO SPECIFICATIONS FOR HARDWARE SETS.
5. REFER TO GLASS TYPES AND SPECIFICATIONS FOR DOOR GLAZING.
6. FLOOR MATERIAL TRANSITIONS BETWEEN ROOMS SHALL BE CENTERED ON THE DOOR LEAF.
7. PROVIDE TREATED WOOD BLOCKING IN GYPSUM BOARD WALLS BEHIND DOORS SCHEDULED TO HAVE WALL MOUNTED DOOR STOPS.
8. REFER TO DOOR SCHEDULE & SPECIFICATIONS FOR FIRE-RATED DOORS. FIRE RATED DOORS AND FRAMES SHALL COMPLY WITH APPLICABLE FIRE CODES, AND THEY SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE REQUIRED RATING.
9. NON-RATED DOORS DESIGNATED BY "WD" IN THE DOOR SCHEDULE SHALL BE PLASTIC LAMINATE FACED WOOD DOORS UNLESS NOTED OTHERWISE AND PROVIDED PER SPECIFICATIONS.
10. DOORS W/ CARD READERS (DESIGNED W/ "CR" IN THE DOOR SCHEDULE) REQUIRE POWER-SUPPLY AS SPECIFIED IN THE DOOR HARDWARE SPECIFICATIONS. RE: MEP DWGS FOR MORE INFO.
11. REFER TO FINISH SCHEDULE FOR DOOR LAMINATES AND DOOR FRAME PAINT COLORS. REFER TO DOOR HARDWARE SPECIFICATIONS FOR DOOR HARDWARE FINISH DESIGNATIONS.
12. WHERE DOORS AND FRAMES ARE INDICATED TO BE ALUMINUM, THEY SHALL RECIEVE THE MANUFACTURER'S STANDARD CLEAR ANODIZED FINISH.
13. ALL DOORS THAT ARE TO BE INSTALLED WITHIN ALUMINUM FRAMES/CURTAINWALL SHALL ADHERE TO MANUFACTURER DETAILS AND RECOMMENDATIONS.
14. ALUMINUM PANELS AT EXTERIOR DOORS TO BE IMPACT RESISTANT. PROVIDE TWO 1/8" THICK ALUMINUM SHEETS LAMINATED TO 3/4" EXTERIOR GRADE PLYWOOD AT 1" THICK. ALUMINUM PANELS AT EXTERIOR DOORS TO BE KYNAR COATED TO MATCH DOOR FRAME.
15. DOOR SILLS AT THE THRESHOLD OF ALL EXTERIOR DOORS SHALL INCORPORATE A 3/8" BEVELED DROP WITH THE EXTERIOR SLAB/HARDSCAPE SLOPING AT 1/8"/FT AWAY FROM THE DOOR OPENING. THRESHOLDS, DOOR STOPS, AND SIDEWALK SLOPES SHALL COMPLY WITH THE VERTICAL CHANGES IN HEIGHT, MAXIMUM SLOPES, AND OTHER ADA REGULATIONS.
16. WHEN INSTALLING NEW DOOR/S AMONG EXISTING GROUP, THE NEW SHOULD MATCH THE HIEGHT,FINISH, FRAME MATERIAL & COLOR, HW FINISH OF EXISTING DOORS.
17. DOOR TYPES C, D, AND E CANNOT BE USED IN RATED OPENINGS.
18. WHERE DOOR TYPE 'B' IS INDICATED IN A RATED OPENING, THE AREA OF THE LITE CANNOT BE MORE THAN 100 SQIN.

ABBREVIATIONS

SC/WD SOLID CORE WOOD W/ PLAM
AL ALUMINUM
AL/GL ALUMINUM W/ GLASS (STOREFRONT)
GL GLASS
HM HOLLOW METAL
HM/GL HOLLOW METAL W/ GLASS

01 DOOR NOTES & ABBREVIATIONS
Scale: NTS

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net
AUTOARCH ARCHITECTS

CONSULTANTS:
MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120
STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

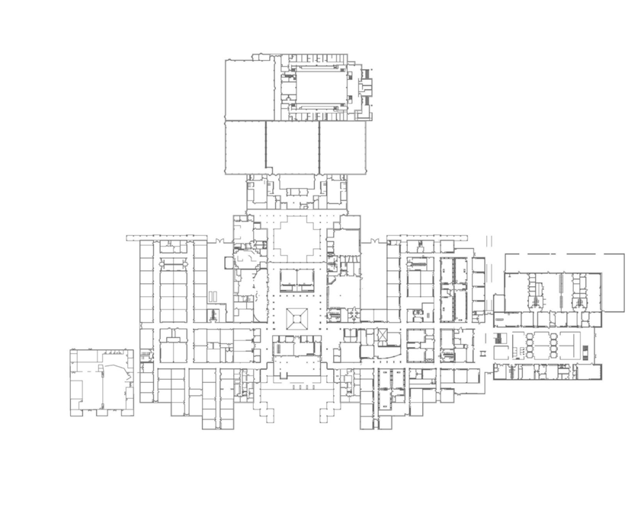
PROFESSIONAL SEAL:

A PROJECT FOR:

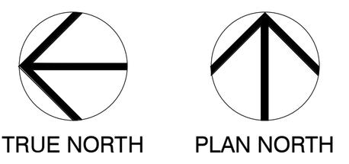
STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

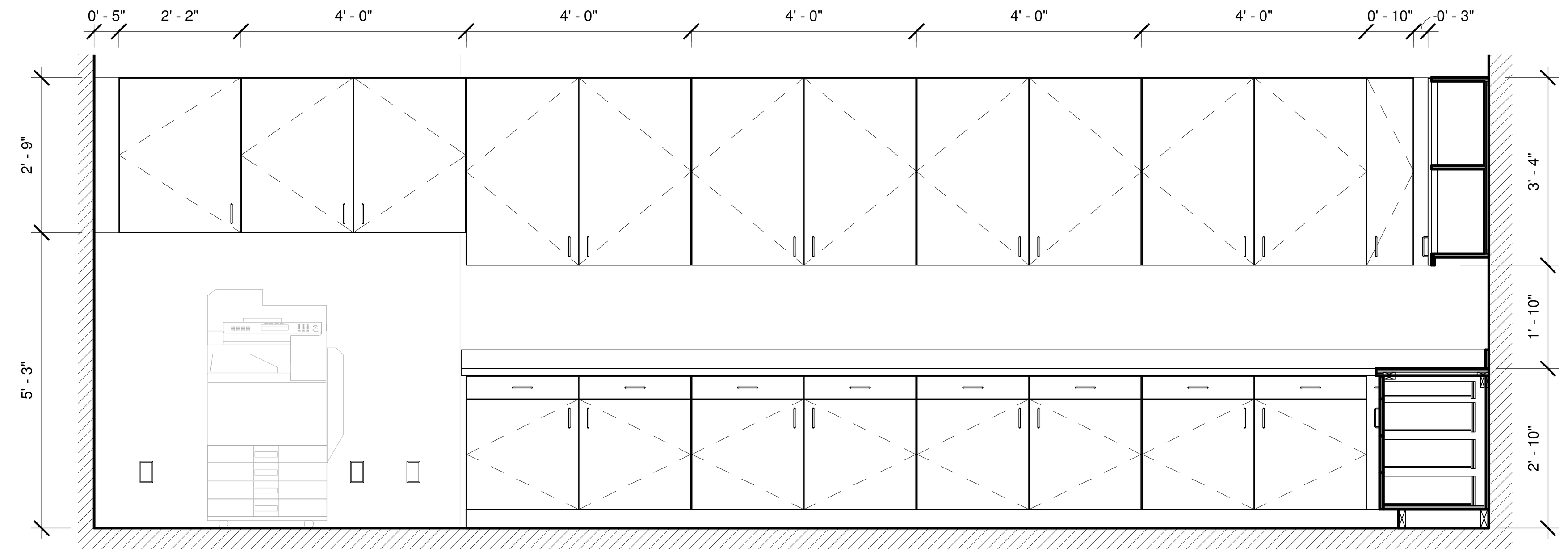
#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



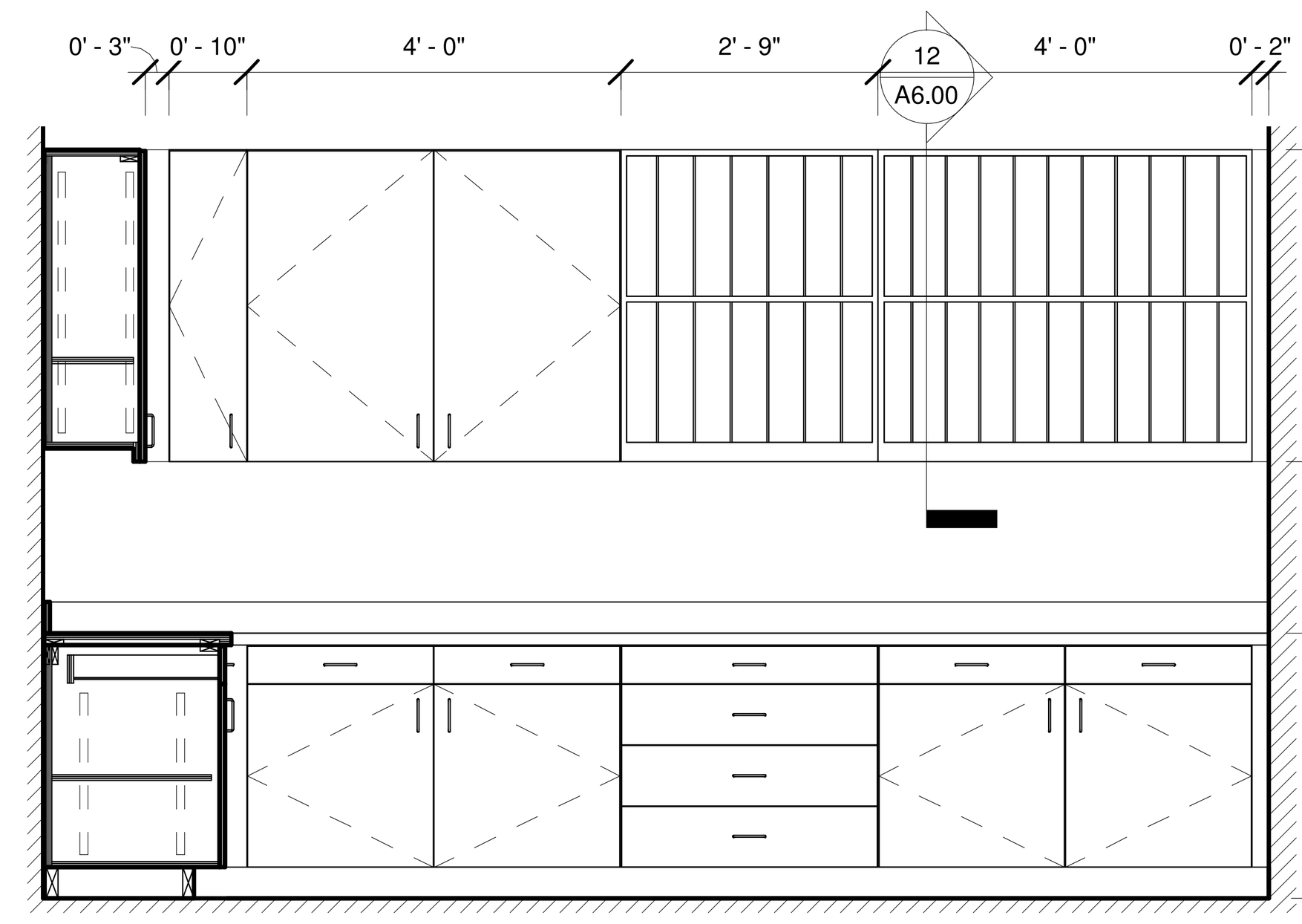
KEY PLAN



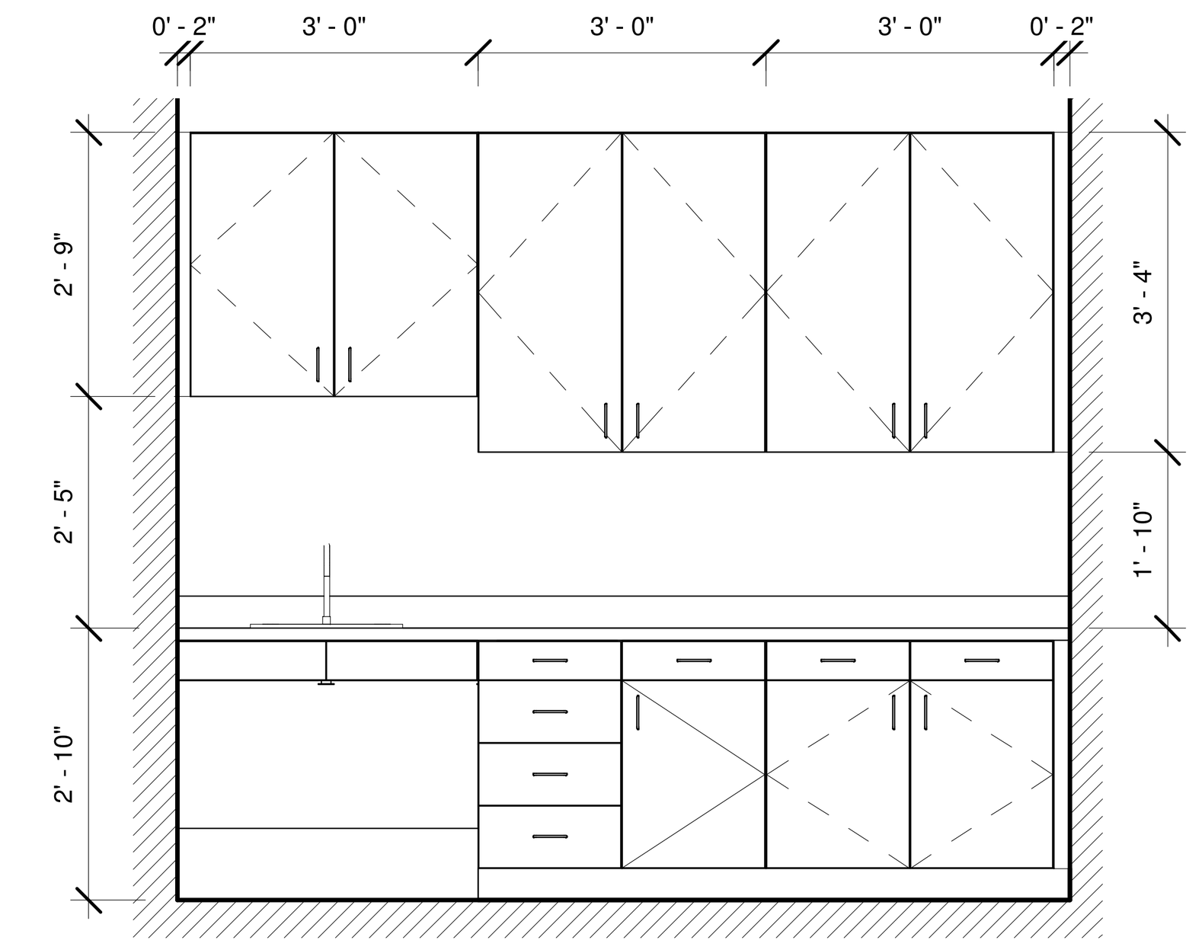
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	DOORS & WINDOWS
Drawing Number	A5.00



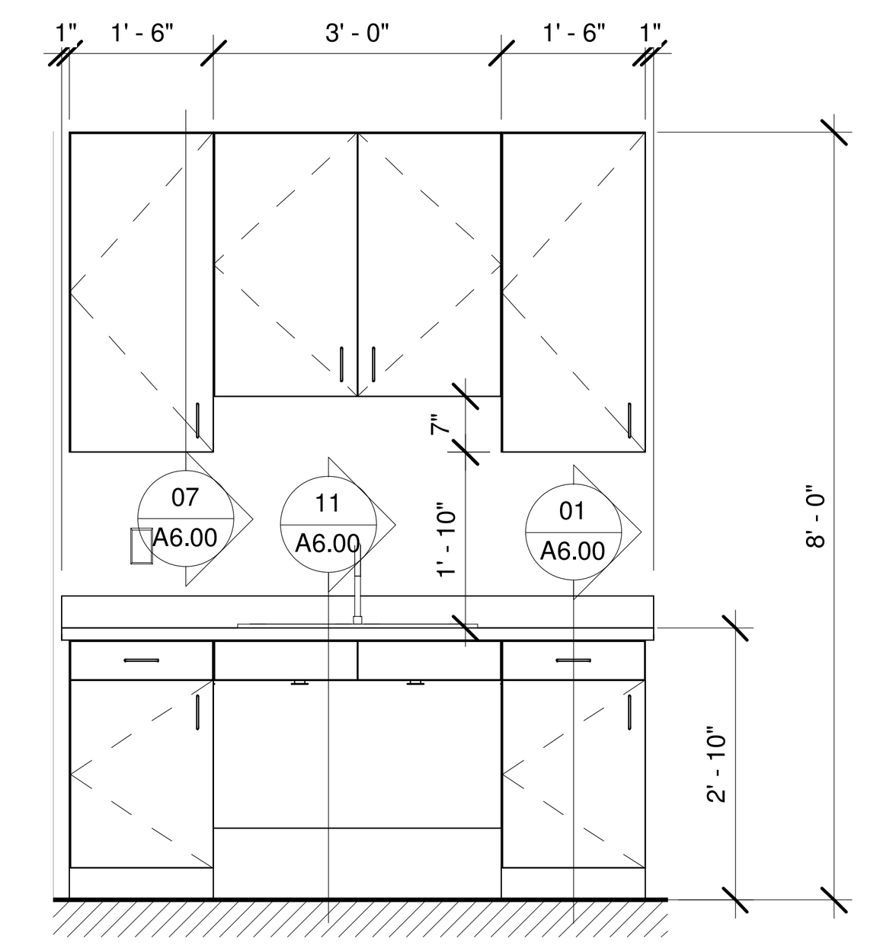
30 MILLWORK ELEVATION - WORK ROOM - 1
Scale: 1/2" = 1'-0"



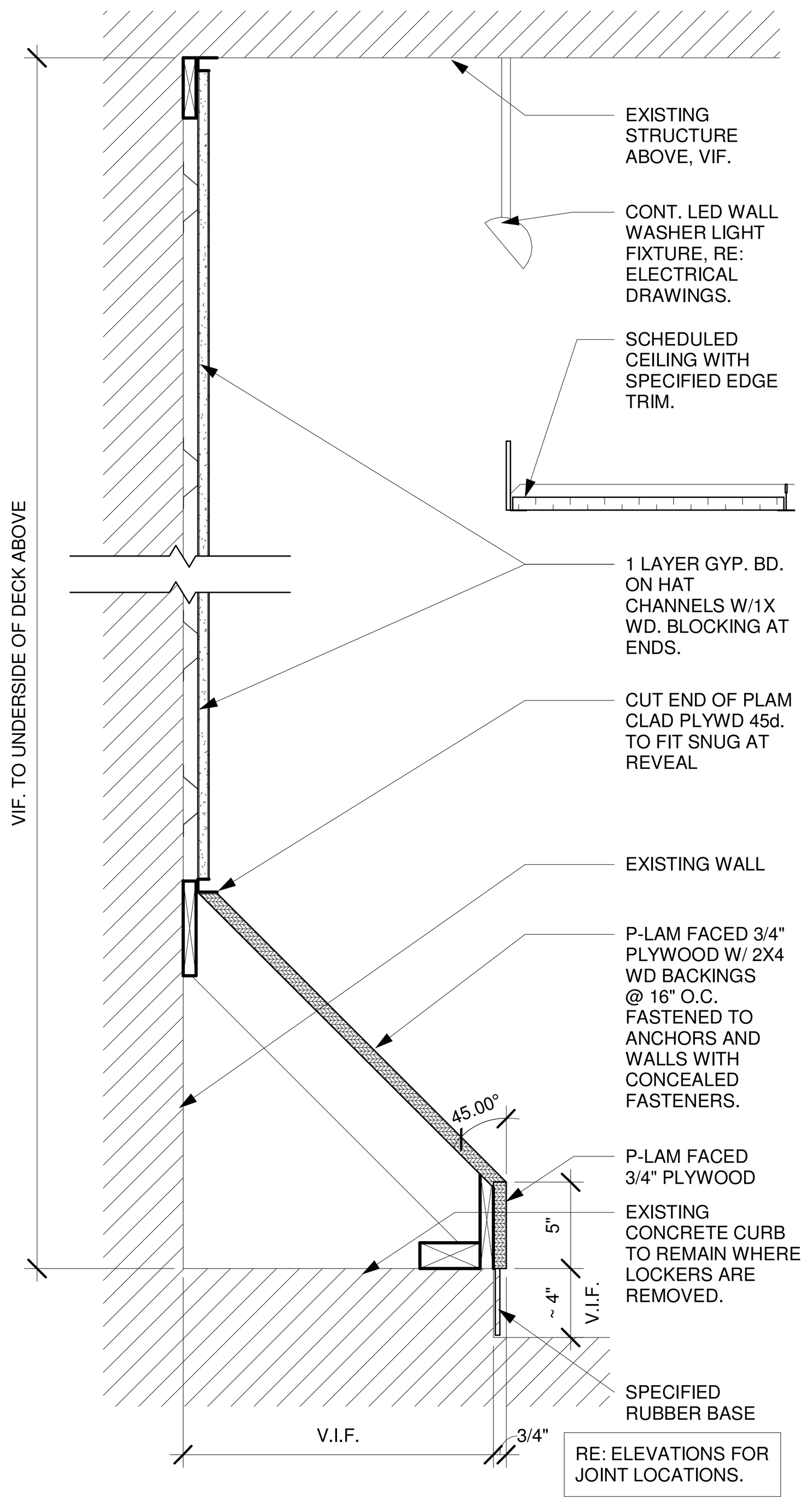
20 MILLWORK ELEVATION - WORK ROOM - 2
Scale: 1/2" = 1'-0"



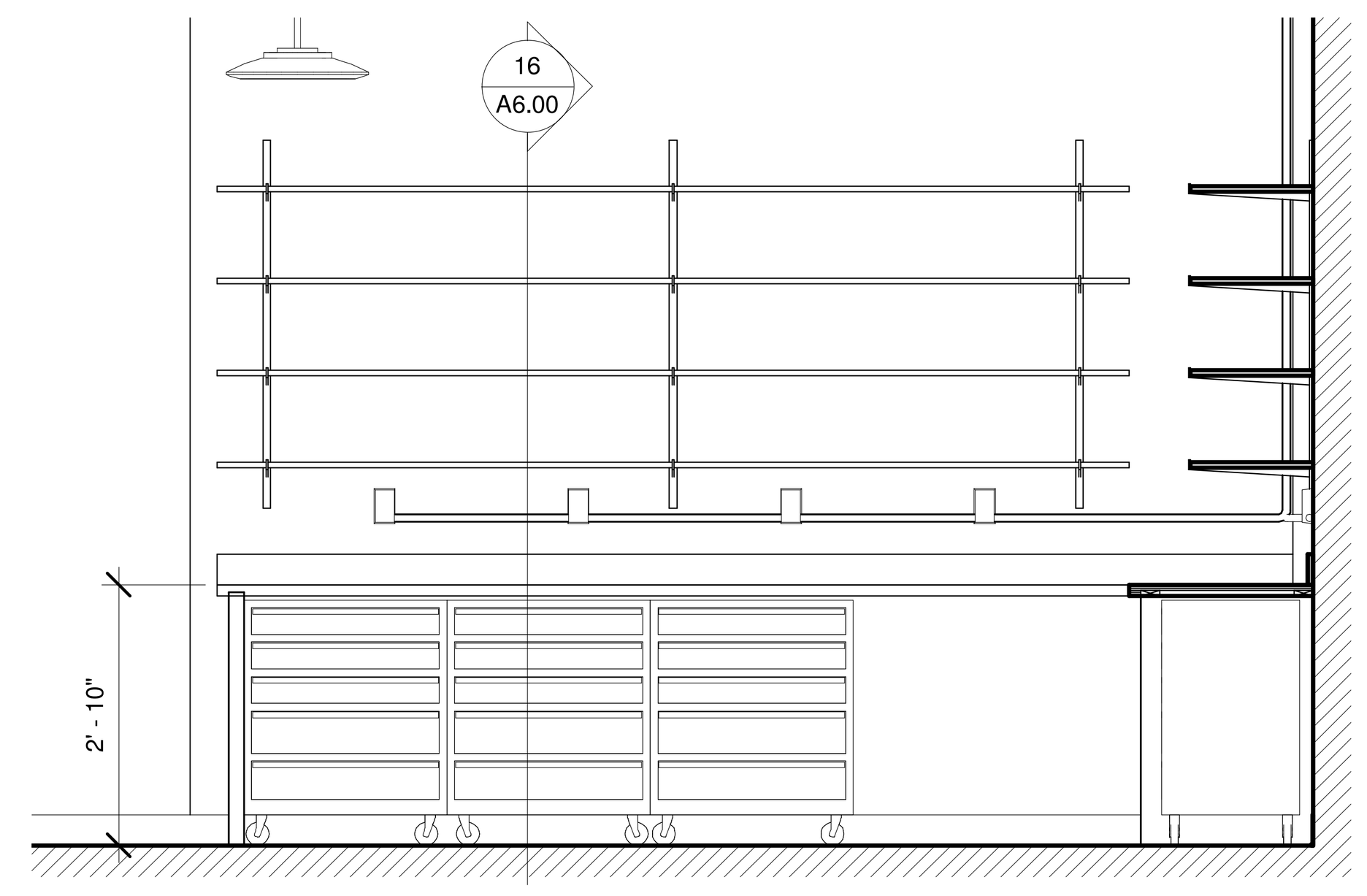
10 MILLWORK ELEVATION - WORK ROOM - 3
Scale: 1/2" = 1'-0"



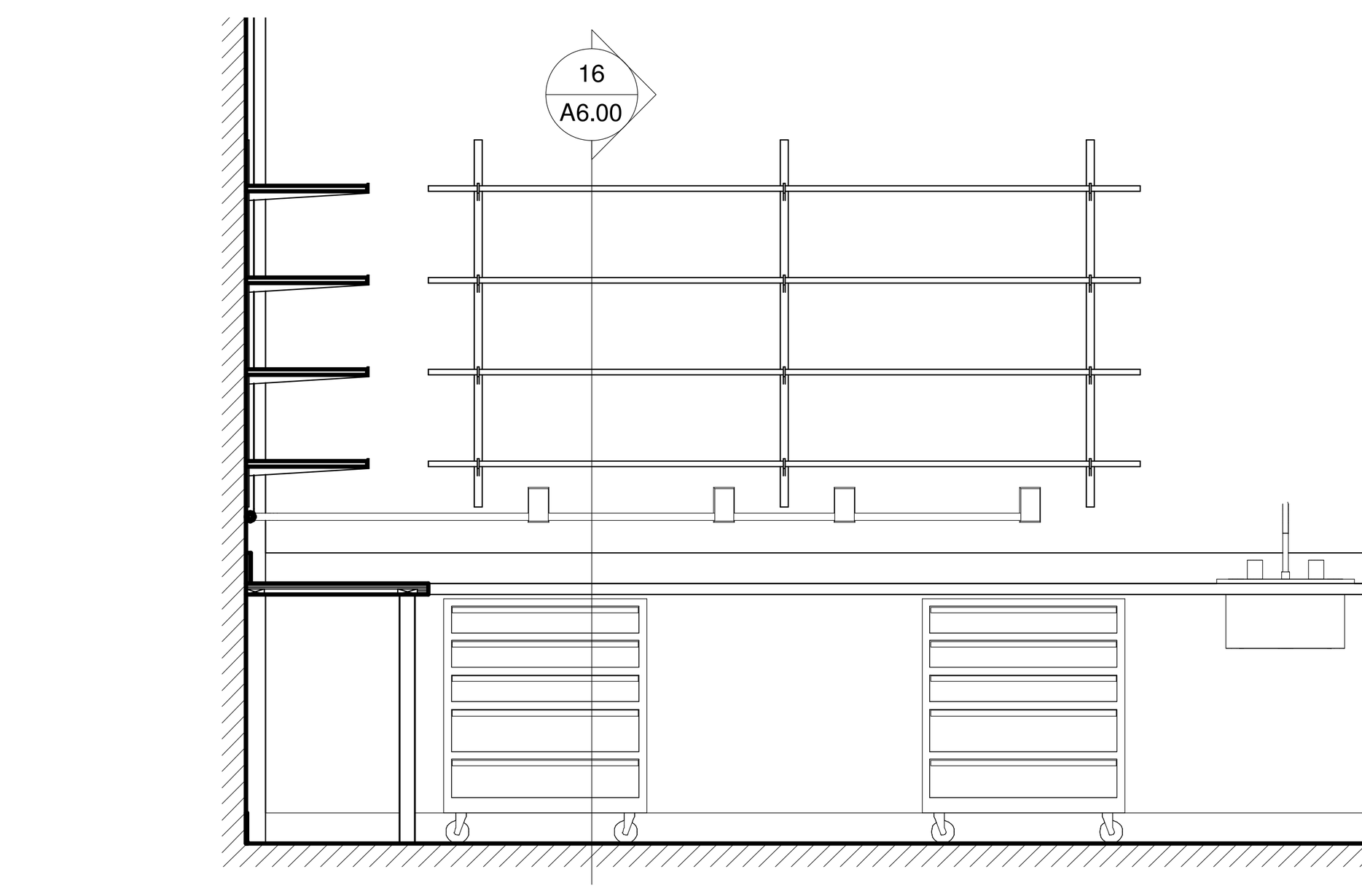
05 MILLWORK ELEV - FLEX & MEDICAL LAB
Scale: 1/2" = 1'-0"



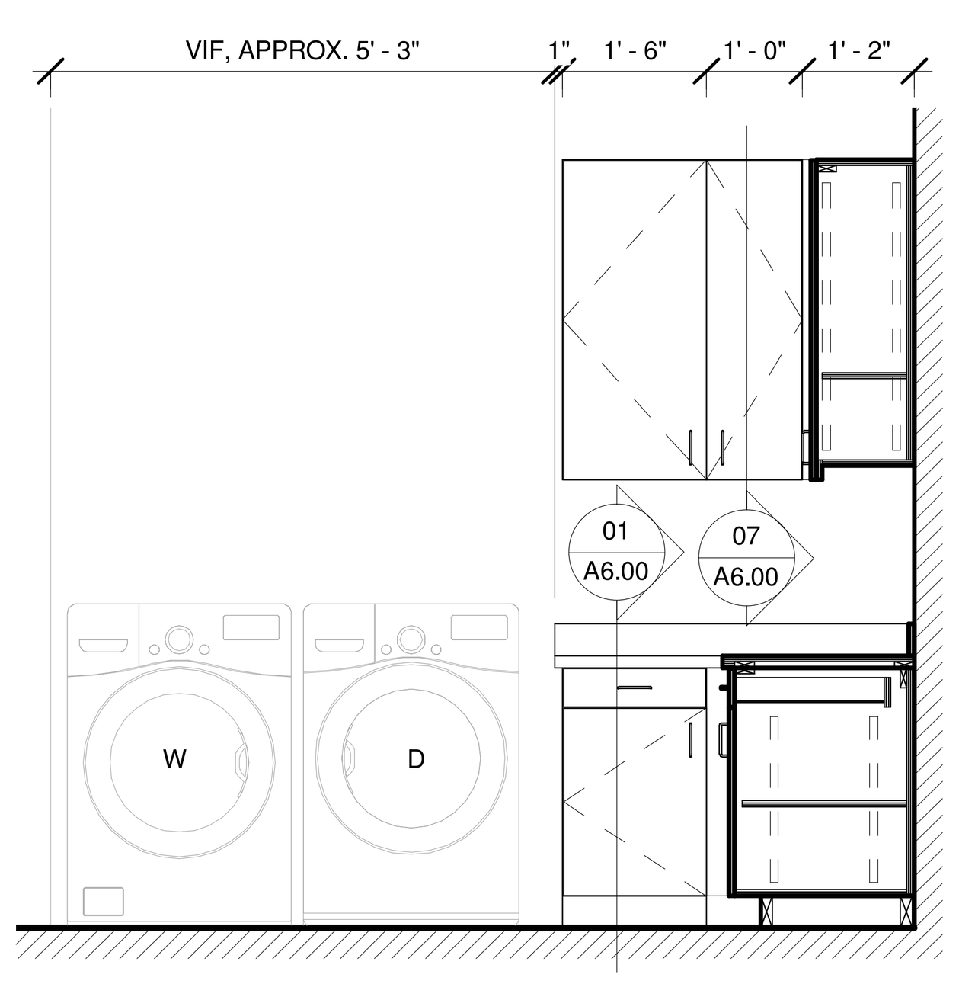
28 TYP. DETAIL @ REMOVED LOCKERS
Scale: NTS



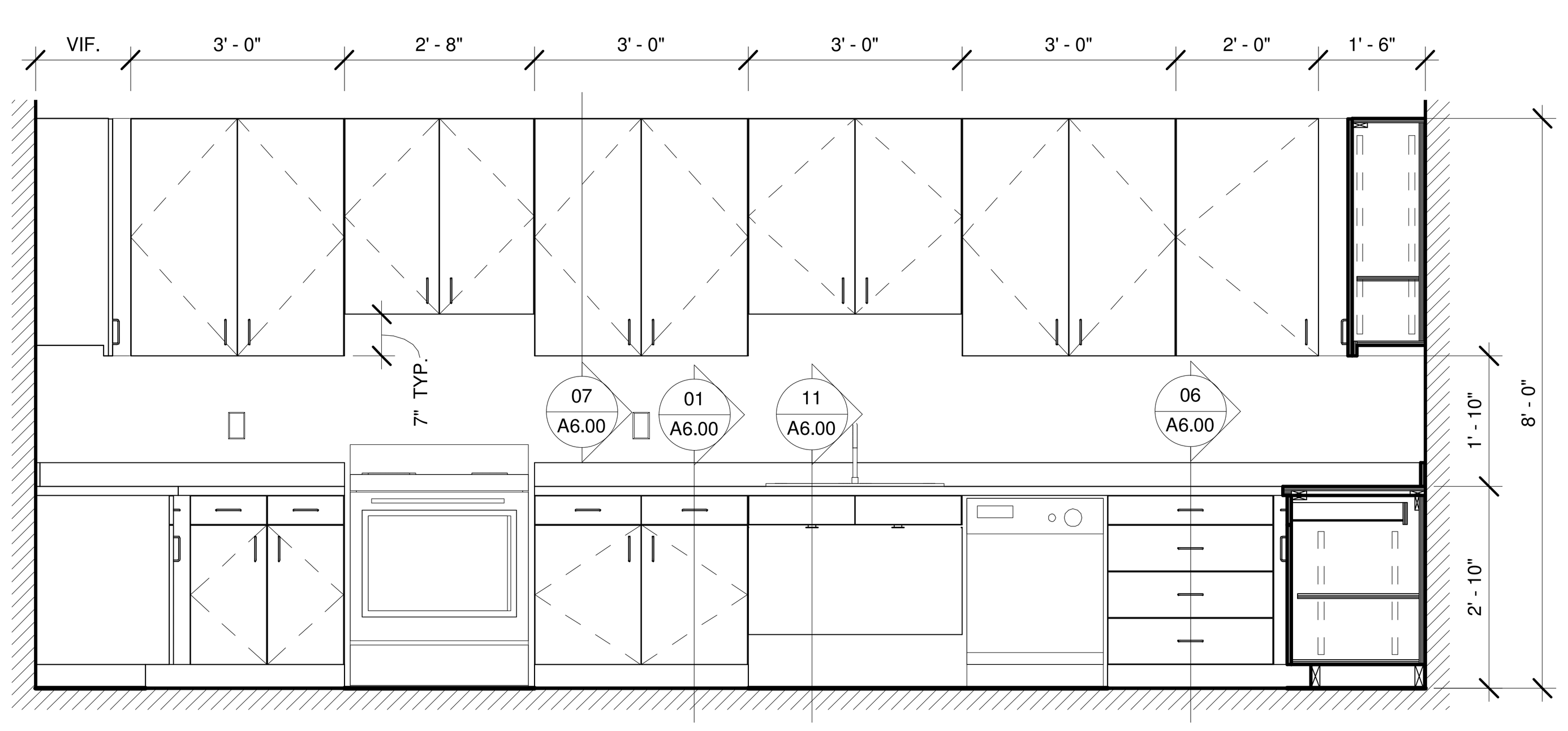
14 MILLWORK ELEVATION - ROBOTICS LAB
Scale: 1/2" = 1'-0"



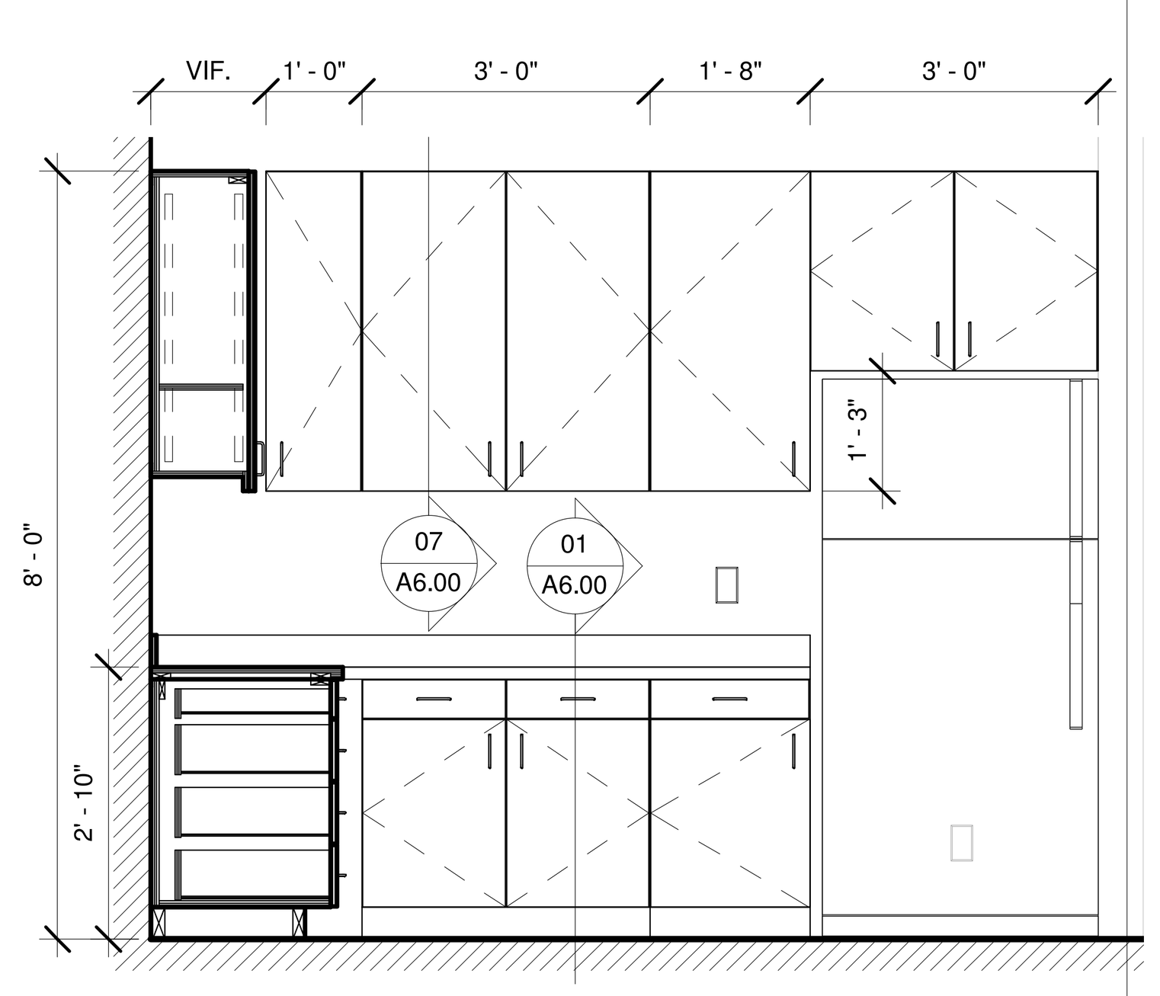
09 MILLWORK ELEVATION - ROBOTICS LAB
Scale: 1/2" = 1'-0"



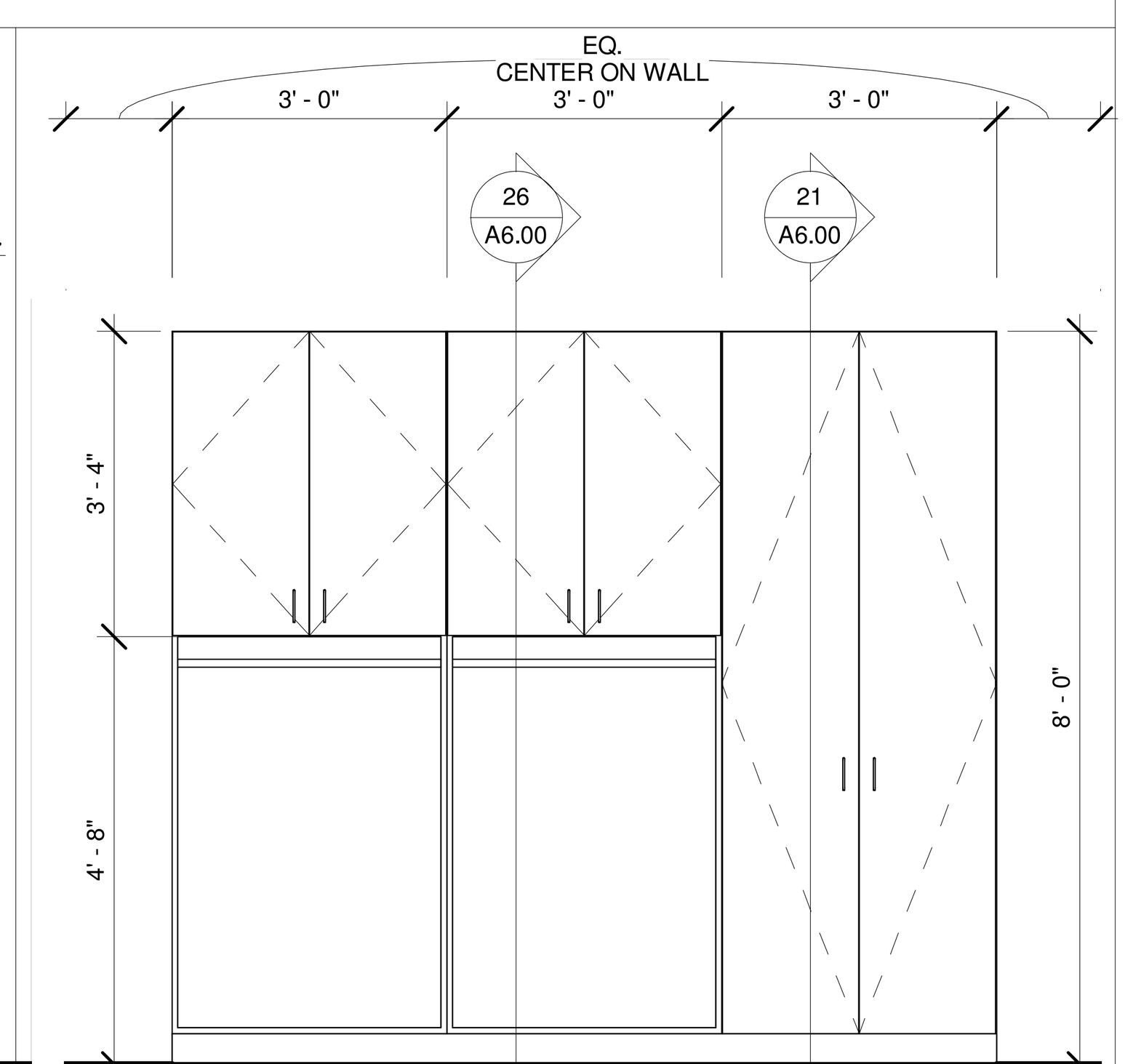
23 MILLWORK ELEVATION - LIFE SKILLS - 1
Scale: 1/2" = 1'-0"



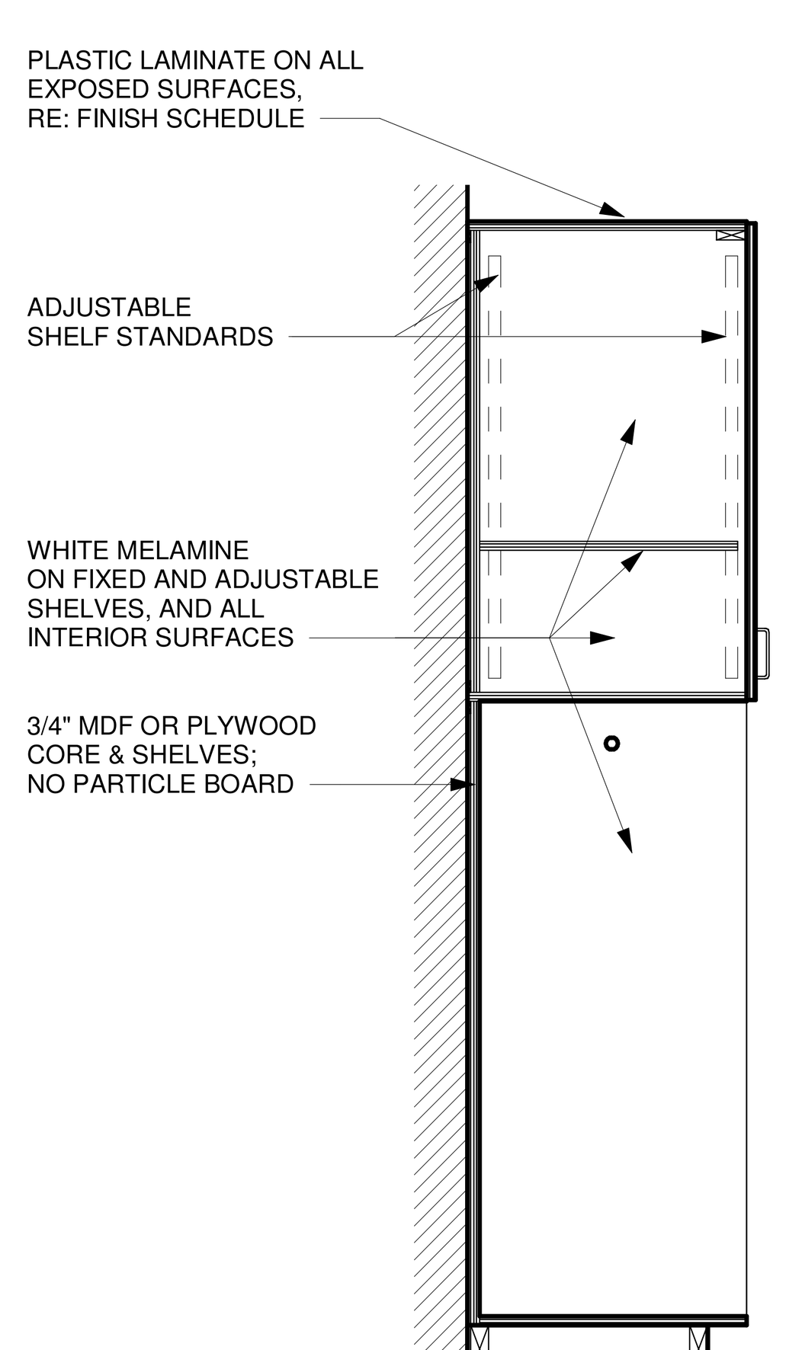
18 MILLWORK ELEVATION - LIFE SKILLS - 2
Scale: 1/2" = 1'-0"



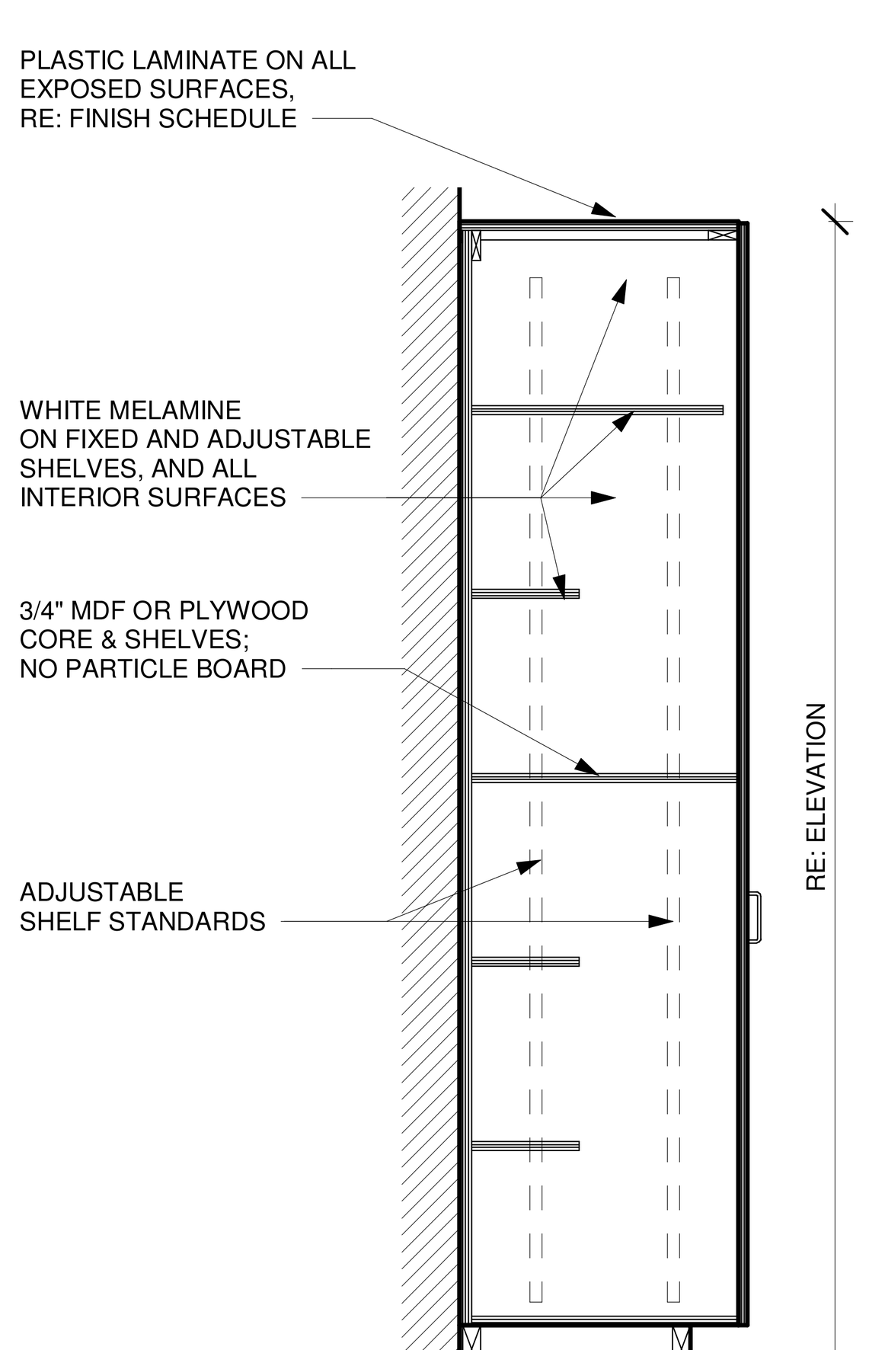
08 MILLWORK ELEVATION - LIFE SKILLS - 3
Scale: 1/2" = 1'-0"



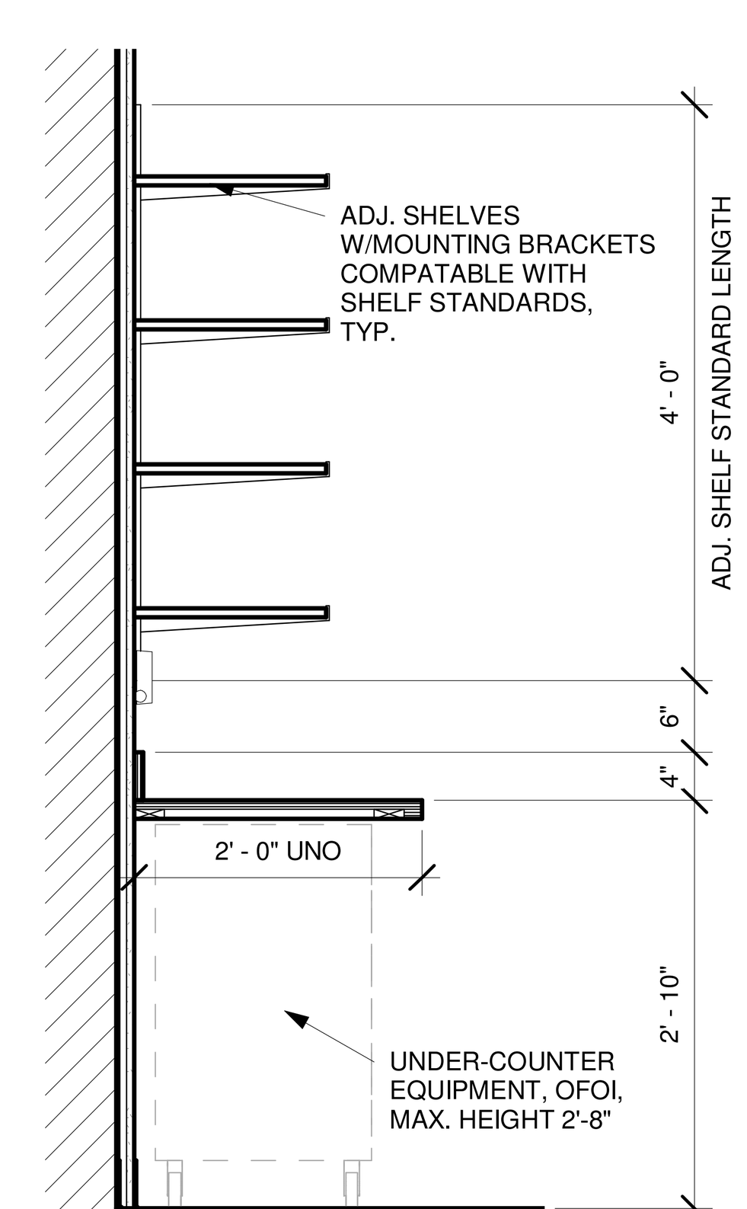
03 MILLWORK ELEVATION - LIFE SKILLS - 4
Scale: 1/2" = 1'-0"



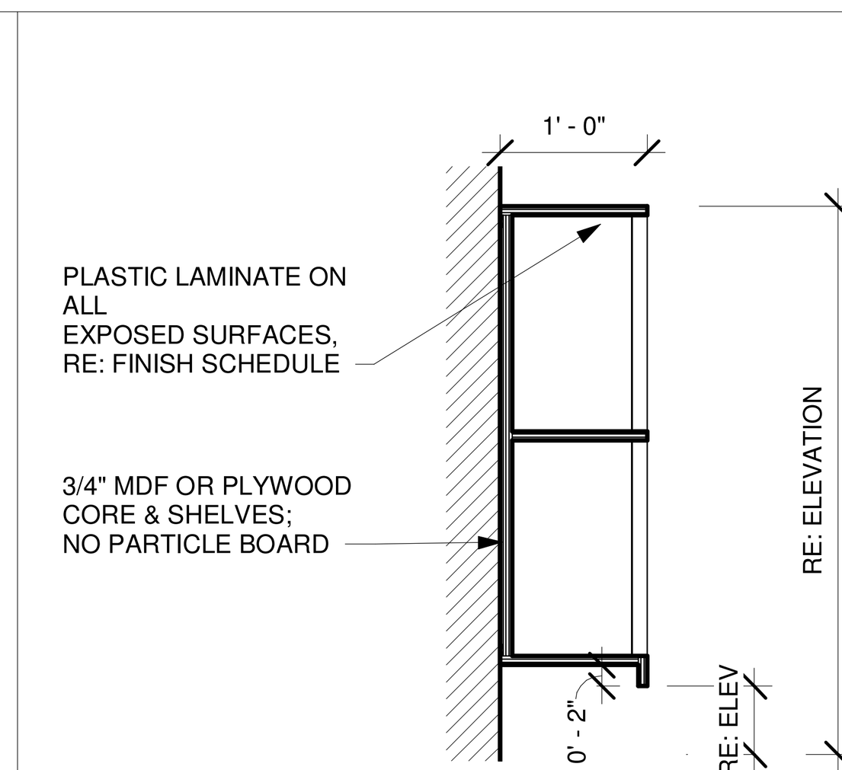
26 MWK SECTION - ARMOIR W/ HANGERS
Scale: 3/4" = 1'-0"



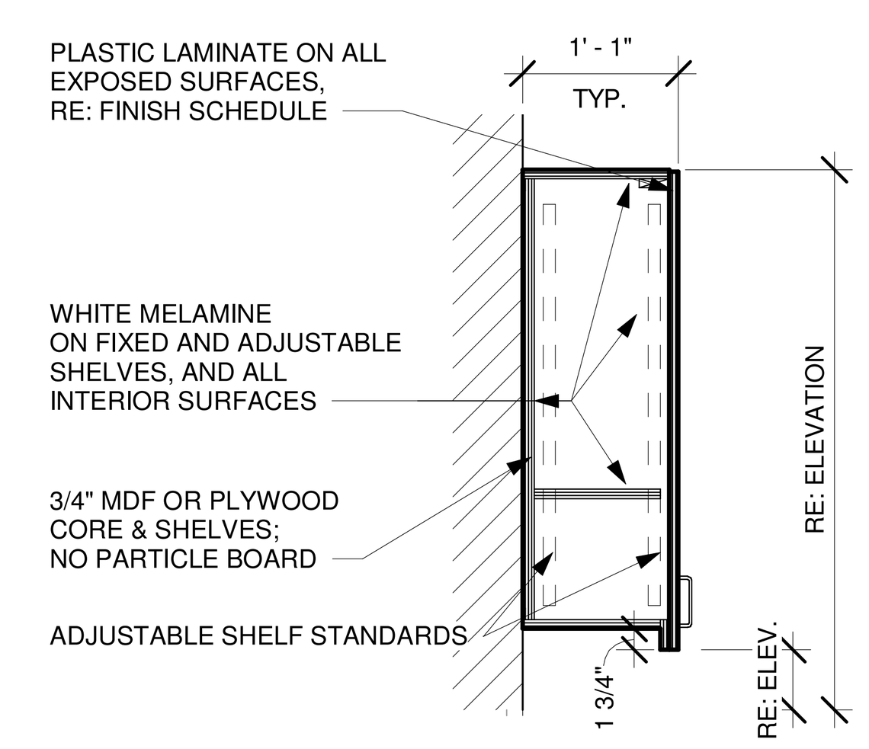
21 MWK SECTION - ARMOIR
Scale: 3/4" = 1'-0"



16 MWK SECTION - METAL SHELVES
Scale: 3/4" = 1'-0"



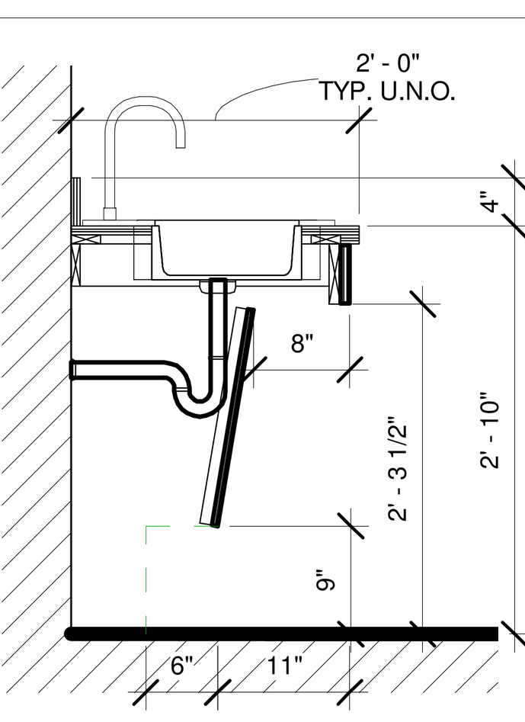
12 MWK SECTION - MAILBOXES
Scale: 3/4" = 1'-0"



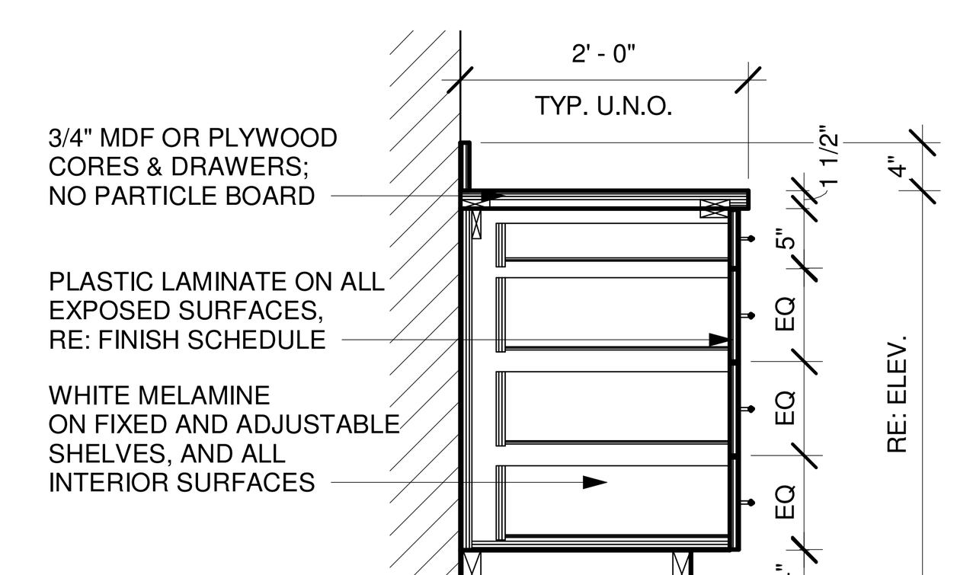
07 MWK SECTION - UPPER CABINET
Scale: 3/4" = 1'-0"

02 GENERAL NOTES - CASEWORK
Scale: NTS

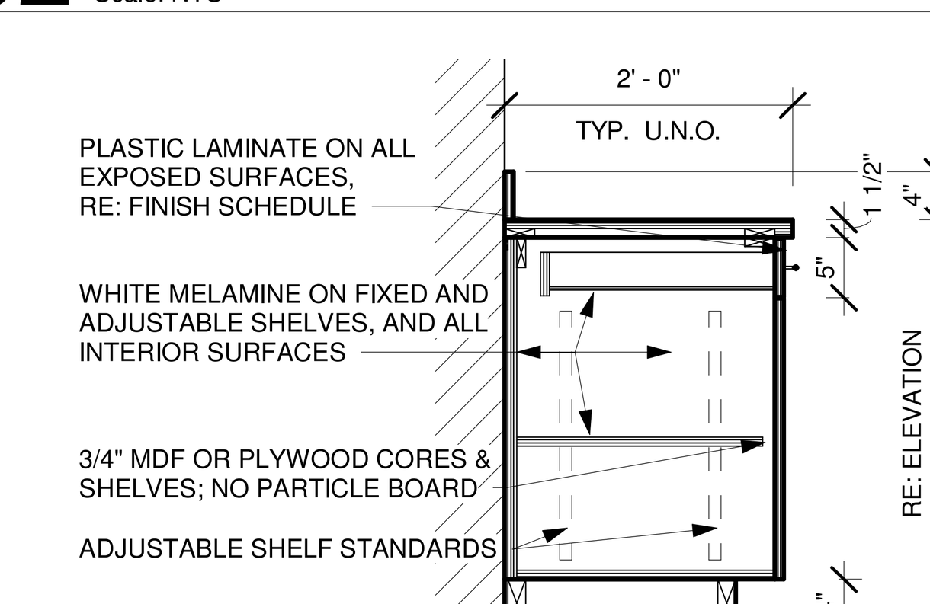
1. FOR HEIGHTS, REFER TO MILLWORK AND CASEWORK ELEVATIONS.
2. WORKTOP EDGES SHALL MATCH ADJACENT MILLWORK.
3. MILLWORK DETAILS SHOW TYPICAL PROFILES AND EXPECTED CONSTRUCTION. DETAILED SHOP DRAWINGS SHALL BE PRODUCED AS REQUIRED BY SPECIFICATIONS FOR ARCHITECT'S REVIEW.
4. REFER TO SPECIFICATION SECITON 06 40 00 FOR HARDWARE REQUIREMENTS AND OTHER INFORMATION FOR PLASTIC LAMINATE CASEWORK.
5. WHERE A BOXED NOTE OCCURS AT A MILLWORK OR CASEWORK ELEVATION INDICATING THAT IT IS TO BE CONSTRUCTED AS LAB CASEWORK, REFER TO SPECIFICATION SECTION 12 35 53 FOR MORE INFORMATION.



11 MWK SECTION - SINK
Scale: 3/4" = 1'-0"



06 MWK SECTION - BASE DRAWERS
Scale: 3/4" = 1'-0"



01 MWK SECTION - BASE CABINET
Scale: 3/4" = 1'-0"

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

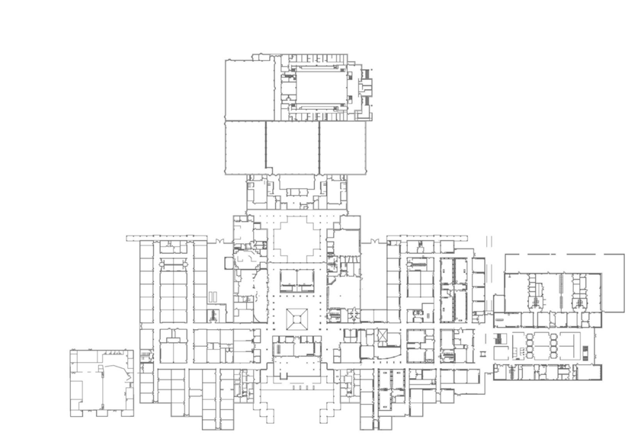
23/12/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



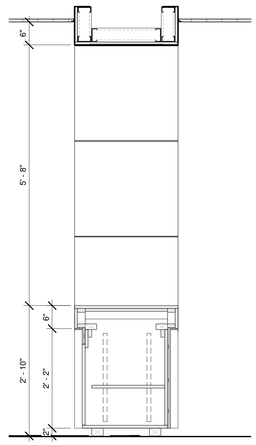
KEY PLAN

TRUE NORTH
PLAN NORTH

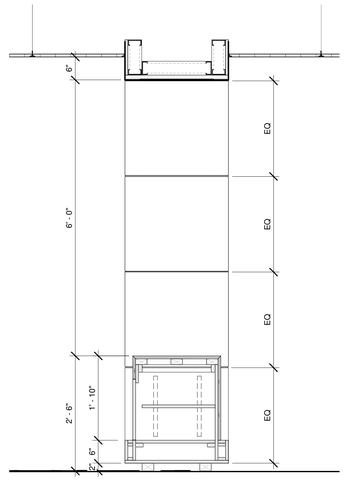
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
MILLWORK / CASEWORK ELEVATIONS & DETAILS

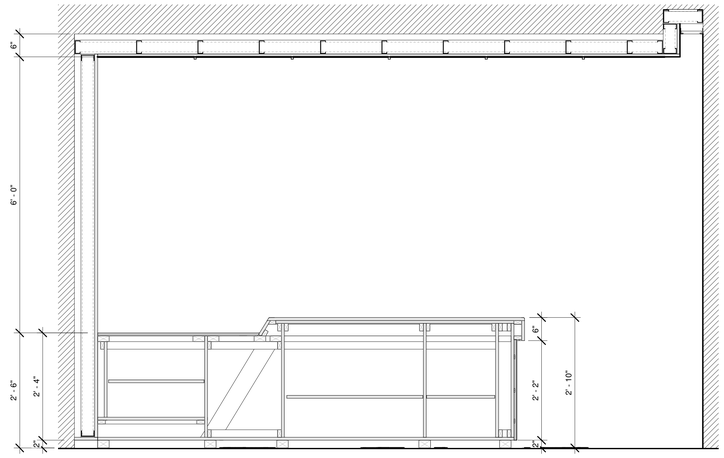
Drawing Number
A6.00



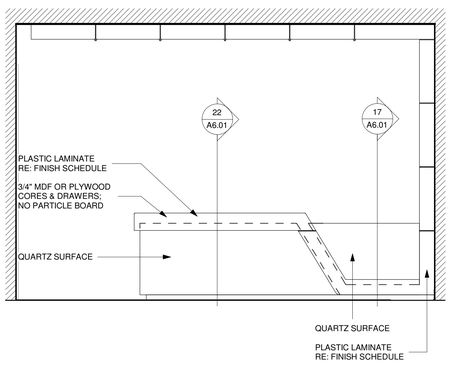
22 RECEPTION DESK SECTION
Scale: 3/4" = 1'-0"



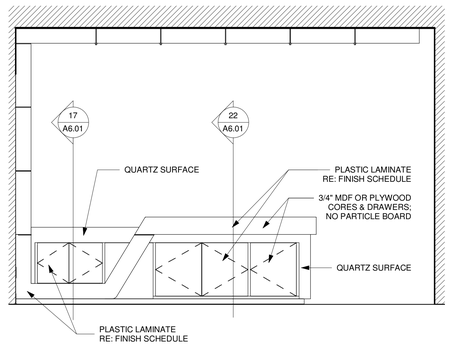
17 RECEPTION DESK SECTION
Scale: 3/4" = 1'-0"



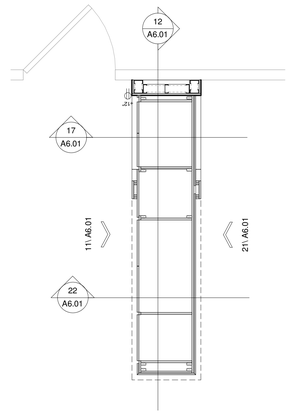
12 RECEPTION DESK SECTION
Scale: 3/4" = 1'-0"



21 RECEPTION DESK ELEVATION
Scale: 1/2" = 1'-0"



11 RECEPTION DESK ELEVATION
Scale: 1/2" = 1'-0"



06 RECEPTION DESK
Scale: 1/2" = 1'-0"

3/13/2020 10:04 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

REGISTERED ARCHITECT
MICHAEL SHANNON
18611
STATE OF TEXAS
03/12/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
MILLWORK / CASEWORK ELEVATIONS & DETAILS

Drawing Number **A6.01**

Number	Name	Area	Ceiling Height	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
MAGNET SCHOOL - ADMIN								
H141	LOBBY	386 SF	9' - 0"	LVT1/LVT2	RB2	PT1/PT2	ACT1	
H142	PRINCIPAL	190 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H143	RECEPTION	321 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H144	NURSE	247 SF	9' - 0"	LVT1/LVT2	RB2	PT2/PT11/GP3	ACT4	
H146	COT	85 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H147	EXAM	85 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H148	COT	110 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H149	TOILET	55 SF	9' - 0"	CTF5	CTB2	CTW5	PTC1	
H152	STO.	129 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H153	WOMEN	85 SF	9' - 0"	CTF5	CTB2	CTW5	PTC1	
H154	MEN	66 SF	9' - 0"	CTF5	CTB2	CTW5	PTC1	
H155	BREAK ROOM	136 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H156	WORK ROOM	435 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H157	CONFERENCE ROOM	193 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H158	STORAGE	105 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
H159	READING	276 SF	9' - 0"	CPT1	RB2	PT8/ GP1	ACT1	
MAGNET SCHOOL - ALTERNATIVE ED								
N121	CLASSROOM	733 SF	10' - 0"					
N122	CLASSROOM	729 SF	12' - 0"	X	RB2	PT1/PT2	X	(8)
N139	CLASSROOM	709 SF	12' - 0"	X	RB2	PT1/PT3	X	(8)
N140	CLASSROOM	709 SF	12' - 0"	X	RB2	PT1/PT6	X	(8)
N141	CLASSROOM	729 SF	12' - 0"	X	RB2	PT1/PT8	X	(8)
N142	STORAGE	260 SF	12' - 0"	X	RB2	PT1	X	(8)
MAGNET SCHOOL - CLASSROOMS								
M125	FLEX LAB	425 SF	12' - 0"	X	RB2	PT1/PT2	X	(7,8)
M128	CLASSROOM	550 SF	12' - 0"	X	RB2	PT1/PT2	X	(7,8)
M130	CLASSROOM	550 SF	12' - 0"	X	RB2	PT1/PT2	X	(7,8)
M132	CLASSROOM	586 SF	12' - 0"	X	RB2	PT1/PT2	X	(7,8)
M133	CLASSROOM	559 SF	12' - 0"	X	RB2	PT1/PT2	X	(7,8)
M134	CLASSROOM	757 SF	12' - 0"	X	RB2	PT1/PT2	X	(7,8)
M135	CLASSROOM	586 SF	12' - 0"	X	RB2	PT1/PT6	X	(7,8)
M136	CLASSROOM	559 SF	12' - 0"	X	RB2	PT1/PT6	X	(7,8)
M137	CLASSROOM	760 SF	12' - 0"	X	RB2	PT1/PT6	X	(7,8)
M138	CLASSROOM	751 SF	12' - 0"	X	RB2	PT1/PT6	X	(7,8)
M140	SCIENCE LAB	1154 SF	12' - 0"	X	RB2	PT1/PT6	X	(7,8)
M141	STORAGE	376 SF	12' - 0"	X	RB2	PT1	X	(8)
M142	SCIENCE LAB	1142 SF	12' - 0"	X	RB2	PT1/PT6	X	(7,8)
M143	CLASSROOM	769 SF	12' - 0"	X	RB2	PT1/PT3	X	(7,8)
M144	CLASSROOM	944 SF	12' - 0"	X	RB2	PT1/PT3	X	(7,8)
M145	CLASSROOM	577 SF	12' - 0"	X	RB2	PT1/PT3	X	(7)
M146	CLASSROOM	576 SF	12' - 0"	X	RB2	PT1/PT3	X	(7,8)
M147	CLASSROOM	355 SF	12' - 0"	X	RB2	PT1/PT3	X	(7,8)
M150	CLASSROOM	578 SF	12' - 0"	X	RB2	PT1/PT3	X	(7,8)
M151	CLASSROOM	578 SF	12' - 0"	X	RB2	PT1/PT3	X	(7,8)
M152	CLASSROOM	473 SF	12' - 0"	X	RB2	PT1/PT3	X	(7,8)
M153	CLASSROOM	574 SF	12' - 0"	X	RB2	PT1/PT3	X	(7,8)
M154	CLASSROOM	550 SF	12' - 0"	X	RB2	PT1/PT3	X	(7,8)
M158	CONF.	1106 SF	12' - 0"	X	RB2	PT1	X	(7,8)
N105	STUDENT COLLABORATION	756 SF	12' - 0"	LVT5/LVT6	RB2	PT1/PT2/PT9/PT11	GBC1/PTC1/PTC2	
N136	CLASSROOM	715 SF	12' - 0"	X	RB2	PT1/PT2	X	(7,8)
MAGNET SCHOOL - CONNECTOR								
CX100	COVERED CORRIDOR	242 SF	9' - 0"	LVT1/LVT2	RB2	PT1	ACT1	
M129	LEARNING STAIR	580 SF	10' - 6"	LVT1/LVT2	RB2	PT1/PT2/PT7/PT8/PT9/PT10/PT11	ACT1/PTC1/PTC2	
MAGNET SCHOOL - CORRIDORS								
M100	CORRIDOR	2740 SF	10' - 0"	X	RB2	PT1/PT2	ACT4/PTC1/PTC2	
M114	CORRIDOR	956 SF	10' - 0"	X	RB2	PT1/PT2	ACT4/PTC1/PTC2	
M120	CORRIDOR	951 SF	10' - 0"	X	RB2	PT1/PT2	ACT4/PTC1/PTC2	
M131	CORRIDOR	566 SF	12' - 0"	X	RB2	PT1	X	(5,8)
M139	CORR.	818 SF	14' - 0"	X	RB2	PT1/PT2/PT11	X	(7,8)
M148	CORR.	1058 SF	14' - 0"	X	RB2	PT1/PT2/PT11	X	(7,8)
N100	CORRIDOR	2651 SF	10' - 0"	X	RB2	PT1/PT2	ACT4/PTC1/PTC2	
N113	GIRLS RR	291 SF	10' - 0"	CTF1/CTF2	CTB1	CTW1/CTW2/PT1	PTC1	
N114	BOYS RR	285 SF	10' - 0"	CTF1/CTF2	CTB1	CTW1/CTW2/PT1	PTC1	
MAGNET SCHOOL - IT								
N110	STORAGE	729 SF	10' - 0"	X	RB2	PT1	X	(8)
N111	STORAGE	260 SF	10' - 0"	X	RB2	PT1	X	(8)
N127	MEETING ROOM	187 SF	10' - 0"	X	RB2	PT1	X	(8)
N129	OFFICE	181 SF	10' - 0"	X	RB2	PT1	X	(8)
N130	CONFERENCE	228 SF	10' - 0"	X	RB2	PT1	X	(8)
N131	RECEPTION	367 SF	10' - 0"	X	RB2	PT1	X	(8)
N132	STORAGE	33 SF	10' - 0"	X	RB2	PT1	X	(8)
N133	STORAGE	33 SF	10' - 0"	X	RB2	PT1	X	(8)
N134	OFFICE	193 SF	10' - 0"	X	RB2	PT1	X	(8)
MAGNET SCHOOL - LABS								
M101	FLEXSPACE	305 SF	9' - 0"	LVT1/LVT2	RB2	PT1/PT2	ACT1	(6)
M108	STORAGE	360 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
M111	MEDICAL LAB	1739 SF	14' - 0"	LVT1/LVT2	RB2	PT2/PT11	PTC2	(6)
M111A	STO.	356 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
M112	FLEXSPACE	262 SF	9' - 0"	LVT1/LVT2	RB2	PT1/PT2	ACT1	(6)
M113	CODING LAB	1444 SF	11' - 0"	LVT1/LVT2	RB2	PT4/PT4/GP2	PTC2/ACT1	(6)
M113A	STO.	132 SF	9' - 0"	LVT1	RB2	PT1	ACT1	
M116	STORAGE	261 SF	9' - 0"	X	RB2	PT1	X	(8)
M118	ROBOTICS LAB	2275 SF	14' - 0"	LVT1/LVT2	RB2	PT1/PT5/PT6	PTC2	
MAGNET SCHOOL - OFFICES								
N119A	CLASSROOM	471 SF	10' - 0"	LVT1	RB2	PT1	ACT1	
N119B	CLASSROOM	480 SF	10' - 0"	LVT1	RB2	PT1	ACT1	
N119C	OFC. 2	234 SF	10' - 0"	LVT1	RB2	PT1	ACT1	

26 FINISH SCHEDULE AT MAGNET SCHOOL
Scale: NTS

Number	Name	Area	Ceiling Height	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
LIBRARY								
A100	VEST.	145 SF	8' - 0"	CPT1	RB1	X	X	(4)
A101	STUDY RM	194 SF	9' - 0"	CPT1	RB1	PT16	ACT1	
A102	STUDY RM	195 SF	9' - 0"	CPT1	RB1	PT16	ACT1	
A103	STUDY RM	191 SF	9' - 0"	CPT1	RB1	PT16	ACT1	
A104	STUDY RM	194 SF	0' - 0"	CPT1	RB1	PT16	ACT1	
A105	LIBRARY READING RM	5211 SF	17' - 0"	CPT1	RB1	X	X	
A106	STO.	19 SF	9' - 0"	CPT1	RB1	PT16	ACT1	
A107	R.R.	107 SF	9' - 0"	CTF1/CTF2	CTB1	CTW1/CTW2/PT16	PTC1	
A108	R.R.	107 SF	9' - 0"	CTF1/CTF2	CTB1	CTW1/CTW2/PT16	PTC1	

20 FINISH SCHEDULE AT LIBRARY
Scale: NTS

Number	Name	Area	Ceiling Height	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
HIGH SCHOOL - CTE								
A109	OFFICE	117 SF	8' - 0"	X	X	CLNW	PTC4	(1)
A111	OFFICE	117 SF	8' - 0"	X	X	CLNW	PTC4	(1)
A115	OFFICE	117 SF	8' - 0"	X	X	CLNW	PTC3	(1)
A117	OFFICE	117 SF	8' - 0"	X	X	CLNW	PTC3	(1)
A131	OFFICE	117 SF	8' - 0"	X	X	CLNW	PTC4	(1)
A133	OFFICE	117 SF	8' - 0"	X	X	CLNW	PTC4	(1)
A137	OFFICE	106 SF	8' - 0"	X	X	CLNW	PTC3	(1)
A139	OFFICE	117 SF	8' - 0"	X	X	CLNW	PTC3	(1)
HIGH SCHOOL - KITCHEN & AV								
C108	COMM. KITCHEN	1319 SF	10' - 0"	CLNF	CLNB	FRP1/PT15	ACT2	(2)
C108B	PANTRY	157 SF	10' - 0"	EPX	QTB	FRP1/PT15	ACT2	(2) (3)
C111	WASHER / DRYER	117 SF	10' - 0"	EPX	QTB	FRP1/PT15	ACT2	(2) (3)
C113	KITCHEN EXPANSION	756 SF	10' - 0"	EPX	QTB	FRP1/PT15	ACT2	(2) (3)
D103	AV LAB	1747 SF	10' - 0"	X	X	X	ACT3	
HIGH SCHOOL - LIFE SKILLS								
G106	LIFE SKILLS	924 SF	10' - 0"	CPT2/LVT4	RB3	PT12/PT13/PT14	ACT1	
G106A	R.R.	105 SF	9' - 0"	CTF3/CTF4	CTB2	CTW3/CTW4/PT12	PTC1	
G107	CORR.	170 SF	10' - 0"	LVT4	RB3	PT12	ACT1	

19 FINISH SCHEDULE AT HIGH SCHOOL
Scale: NTS

Finish Type	Finish Mark	Finish Description	Location	Manufacturer	Model	Size / Format	Color	Spec	Comments
	SC	Sealed Concrete		re: Spec	na	na	na	03 35 00	Clear Sealant for Existing Concrete Slabs, with anti-slip additive.
Floor	CPT1	Carpet	LIBRARY	TBD	TBD	2X2 CPT TILE	TBD	09 68 00	
	CPT2	Carpet	HIGH SCHOOL LIFE SKILLS	TBD	TBD	2X2 CPT TILE	TBD	09 68 00	
	LVT1	Luxury Vinyl Tile	MAGNET SCHOOL FIELD	TBD	TBD	TBD	TBD	09 67 00	
	LVT2	Luxury Vinyl Tile	MAGNET SCHOOL ACCENT	TBD	TBD	TBD	TBD	09 67 00	
	LVT3	Luxury Vinyl Tile	MIDDLE SCHOOL BLACK BOX FIELD	TBD	TBD	TBD	TBD	09 67 00	
	LVT4	Luxury Vinyl Tile	HIGH SCHOOL LIFE SKILLS	TBD	TBD	TBD	TBD	09 67 00	
	LVT5	Luxury Vinyl Tile	STUDENT COLLABORATION	TBD	TBD	TBD	TBD	10 67 00	
	LVT6	Luxury Vinyl Tile	STUDENT COLLABORATION	TBD	TBD	TBD	TBD	11 67 00	
	CTF1	Floor Ceramic Tile	LIBRARY RESTROOMS	TBD	TBD	TBD	TBD	09 30 00	
	CTF2	Floor Ceramic Tile	LIBRARY RESTROOMS ACCENT	TBD	TBD	TBD	TBD	09 30 00	
	CTF3	Floor Ceramic Tile	LIFE SKILLS RESTROOM	TBD	TBD	TBD	TBD	09 30 00	
	CTF4	Floor Ceramic Tile	LIFE SKILLS RESTROOM ACCENT	TBD	TBD	TBD	TBD	09 30 00	
	CTF5	Floor Ceramic Tile	MAGNET SCHOOL ADMIN	TBD	TBD	TBD	TBD	09 30 00	
	CLNF	Existing Quarry Tile	Commercial Kitchen	NA	NA	8X8	GRAY	09 65 00	Existing Quarry Tile and Grout to be cleaned; repoint & repair as nec.
	EPX	Epoxy Flooring	COMMERCIAL KITCHEN EXPANSION	TBD	TBD	NA	GRAY	TBD	New Epoxy Flooring to match color of existing Quarry Tile
Base	RB1	Rubber Base	TYPICAL AT LIBRARY	TBD	TBD	TBD	TBD	09 65 00	
	RB2	Rubber Base	TYPICAL AT MAGNET	TBD	TBD	TBD	TBD	09 65 00	
	RB3	Rubber Base	TYPICAL AT HIGH SCHOOL	TBD	TBD	TBD	TBD	09 65 00	
	RB4	Rubber Base	BLACK BOX BASE	TBD	TBD	TBD	TBD	09 65 00	
	CTB1	Ceramic Tile Base	LIBRARY RESTROOMS	TBD	TBD	TBD	TBD	09 65 00	
	CTB2	Ceramic Tile Base	LIFE SKILLS RESTROOM	TBD	TBD	TBD	TBD	09 65 00	
	CTB2	Ceramic Tile Base	MAGNET SCHOOL ADMIN	TBD	TBD	TBD	TBD	09 65 00	
	QTB	Quarry Tile Base	COMMERCIAL KITCHEN EXPANSION	TBD	TBD	TBD	GRAY	09 65 00	
	CLN8	Existing Quarry Tile Base	LIFE SKILLS RESTROOM	NA	NA	NA	GRAY	09 65 00	
Wall	CTW1	Wall Ceramic Tile	LIBRARY RESTROOMS	TBD	TBD	TBD	TBD	09 30 00	
	CTW2	Wall Ceramic Tile	LIBRARY RESTROOMS ACCENT	TBD	TBD	TBD	TBD	09 30 00	
	CTW3	Wall Ceramic Tile	LIFE SKILLS RESTROOM	TBD	TBD	TBD	TBD	09 30 00	
	CTW4	Wall Ceramic Tile	LIFE SKILLS RESTROOM ACCENT	TBD	TBD	TBD	TBD	09 30 00	
	CTW5	Wall Ceramic Tile	MAGNET SCHOOL ADMIN FIELD	TBD	TBD	TBD	TBD	09 30 00	
	PT1	Paint	FIELD AT MAGNET	SHERMAN WILLIAMS	TBD	na	SW7631	09 90 00	
	PT2	Paint	MAGNET ACCENT 1	SHERMAN WILLIAMS	TBD	na	SW6866	09 90 00	PRIMARY ACCENT (SCHOOL COLOR)
	PT3	Paint	MAGNET ACCENT 2	SHERMAN WILLIAMS	TBD	na	SW6258	09 90 00	
	PT4	Paint	MAGNET ACCENT 3	TBD	TBD	na	TBD	09 90 00	
	PT5	Paint	MAGNET ACCENT 4	TBD	TBD	na	TBD	09 90 00	
	PT6	Paint	MAGNET ACCENT 5	TBD	TBD	na	TBD	10 90 00	
	PT7	Paint	MAGNET ACCENT 6	TBD	TBD	na	TBD	11 90 00	
	PT8	Paint	MAGNET ACCENT 7	TBD	TBD	na	TBD	12 90 00	
	PT9	Paint	MAGNET ACCENT 8	TBD	TBD	na	TBD	13 90 00	
	PT10	Paint	MAGNET ACCENT 9	TBD	TBD	na	TBD	14 90 00	
	PT11	Paint	MAGNET ACCENT 10	TBD	TBD	na	TBD	15 90 00	
	PT12	Paint	FIELD AT HS	TBD	TBD	na	TBD	09 90 00	
	PT13	Paint	HS ACCENT 1	TBD	TBD	na	TBD	09 90 00	
	PT14	Paint	HS ACCENT 2	TBD	TBD	na	TBD	09 90 00	
	PT15	Paint	FIELD AT KITCHEN	TBD	TBD	na	TBD	09 90 00	
	PT16	Paint	FIELD AT LIBRARY	TBD	TBD	na	TBD	09 90 00	
	CLNW	Existing Systems Wall	HS CTE	Existing	Existing	Existing	Existing	TBD	Repair / Clean existing systems partitions.
	FRP1	Fiberglass Reinforced Panels	AT KITCHEN	TBD	TBD	na	TBD	09 90 00	
Ceilings	ACT1	Acoustical Ceiling Grid	TYPICAL NEW CLGS.	TBD	re: Spec	re: Spec	white	09 51 00	
		Cloud Edges		TBD	re: Spec	re: Spec	white	09 51 00	6" High; Integral to Clg.
		Acoustical Ceiling Tile		TBD	re: Spec	re: Spec	white	09 51 00	
	ACT2	Acoustical Ceiling Grid	NEW CLGS AT KITCHEN	TBD	re: Spec	re: Spec	white	09 51 00	
		Acoustical Ceiling Tile		TBD	re: Spec	re: Spec	white	09 51 00	Scrubbable Ceiling Tile
	ACT3	Acoustical Ceiling Grid	NEW CLGS AT AV LAB	TBD	re: Spec	re: Spec	white	09 51 00	
		Acoustical Ceiling Tile		TBD	re: Spec	re: Spec	white	09 51 00	High Acoustical Absorption Ceiling Tile
	ACT4	Acoustical Ceiling Grid	NEW CLGS @ CORRIDORS AND	TBD	re: Spec	re: Spec	white	09 51 00	
		Acoustical Ceiling Tile	RECEPTION	TBD	re: Spec	re: Spec	white	09 51 00	
	GBC1	Gyp. Bd Ceilings	Student Collaboration	TBD	TBD	na	TBD	09 90 00	
		Cloud Edges		TBD	TBD	na	TBD	09 90 00	
	PTC1	Paint	Gyp. Bd. Ceilings	TBD	TBD	na	TBD	09 90 00	
	PTC2	Paint	Exposed Structure & Ducts	TBD	TBD	na	TBD	09 90 00	
	PTC3	Paint	Exposed Ducts at CTE	TBD	TBD	na	TBD	09 90 00	
	PTC4	Paint	Exposed Ducts at CTE	TBD	TBD	na	TBD	09 90 00	
Other	PLD1	Plastic Laminate	Flush Wood Doors	TBD	TBD	na	TBD	08 14 00	
	PLD2	Plastic Laminate	Flush Wood Doors	TBD	TBD	na	TBD	08 14 00	
	PTD1	Paint	Interior Door Frames & HM Doors	TBD	TBD	na	TBD	08 14 00	
	PTD2	Paint	Interior Door Frames & HM Doors	TBD	TBD	na	TBD	08 14 00	
	PL1V	Plastic Laminate	Millwork Vertical Surfaces	TBD	TBD	na	TBD	06 41 16	
	PL1H	Plastic Laminate	Work Tops	TBD	TBD	na	TBD	06 41 16	
	PL2V	Plastic Laminate	Millwork Vertical Surfaces	TBD	TBD	na	TBD	06 41 16	
	PL2H	Plastic Laminate	Work Tops	TBD	TBD	na	TBD	06 41 16	

16 FINISH LEGEND
Scale: NTS

1. REFER TO FINISH & MATERIAL SCHEDULES ON SHEET A6.50
2. REFER TO INTERIOR & EXTERIOR ELEVATIONS ON SHEETS A4.00, A4.10, A8.00, A8.01, AND A8.02
3. REFER TO SIGNAGE PLANS FOR SIGNS, WALL MOUNTED ACOUSTICAL PANELS, TACKBOARDS, AND MARKERBOARD LOCATIONS.
4. FLOOR MATERIAL TRANSITIONS BETWEEN ROOMS SHALL BE CENTERED ON THE DOOR LEAF. FOR OTHER FLOOR MATERIAL TRANSITION LOCATIONS, REFER TO PLANS.
5. REFER TO 04/A6.50 FOR COMMENTS ON FINISH SCHEDULE. KEYED FROM SCHEDULE BY (#) INDICATOR.

05 GENERAL NOTES - FINISHES
Scale: NTS

1. PTC FINISH IN CTE OFFICES IS ON EXPOSED DUCT. OTHERWISE CEILING IS OPEN TO UNDERSIDE OF NEW CANOPIES ABOVE.
2. FIBERGLASS REINFORCED PANELS (FRP1) SHALL BE INSTALLED VERTICALLY ABOVE NEW AND EXISTING QUARRY TILE BASE; PANELS SHALL EXTEND TO A HEIGHT OF 8'-0" ABOVE BASE. OMIT FRP AT AREAS WITH STAINLESS STEEL WALL-COVERINGS; ENSURE THAT EXISTING WALL-MOUNTED ITEMS REMAIN ACCESSIBLE. PAINT PER SCHEDULE ABOVE FRP PANELS.
3. NEW QUARRY TILE BASE SHALL BE INSTALLED AT ALL AREAS INDICATED TO RECIEVE EPOXY FLOORING. MATCH SIZE OF EXISTING QUARRY TILE BASE.
4. 'X' FOR WALL AND CEILING FINISH IN LIBRARY VESTIBULE INDICATES WOOD VENEER WALL AND CEILING TO REMAIN, PROTECT DURING CONSTRUCTION.
5. EXISTING GYP. BD. CEILINGS AND BULKHEADS AT INDICATED AREAS SHALL BE PAINTED WITH COLORS INDICATED AS CEILING FINISH. EXISTING LAY-IN CEILING SHALL BE REPLACED WITH NEW LAY-IN CEILINGS INDICATED.
6. WHERE ACT1 IS INDICATED ALONG WITH PTC2, ACT1 SHALL BE LAY-IN CEILING CLOUDS WITH INTEGRAL ALUMINUM TRIM AS SPECIFIED.
7. WHERE A SINGLE ACCENT PAINT IS INDICATED FOR A SPACE, THE ACCENT PAINT SHALL OCCUR ON THE WALL FACING THE ENTRANCE DOOR TO THE ROOM, UNLESS INDICATED OTHERWISE.
8. 'X' FOR FLOOR AND CEILING FINISH IN MAGNET SCHOOL INDICATES EXISTING FLOOR AND CEILING TO REMAIN, PROTECT DURING CONSTRUCTION

04 FINISH SCHEDULE COMMENTS
Scale: NTS

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

REGISTERED ARCHITECT MICHAEL A. WILLIAMS 18511 STATE OF TEXAS
03/12/2020

A PROJECT FOR:

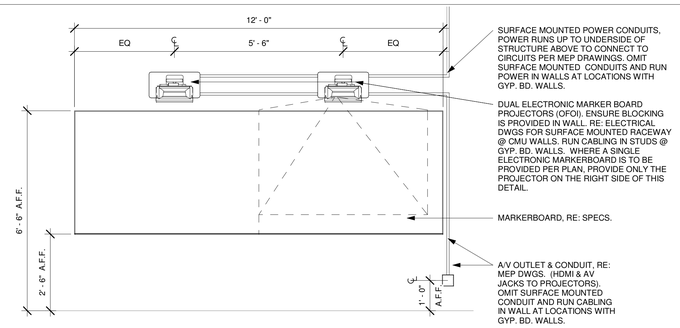
STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

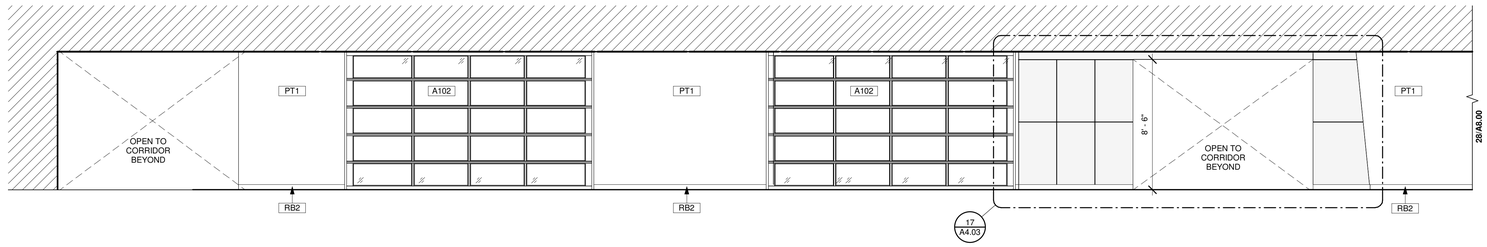
#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION

KEY PLAN — TRUE NORTH — PLAN NORTH

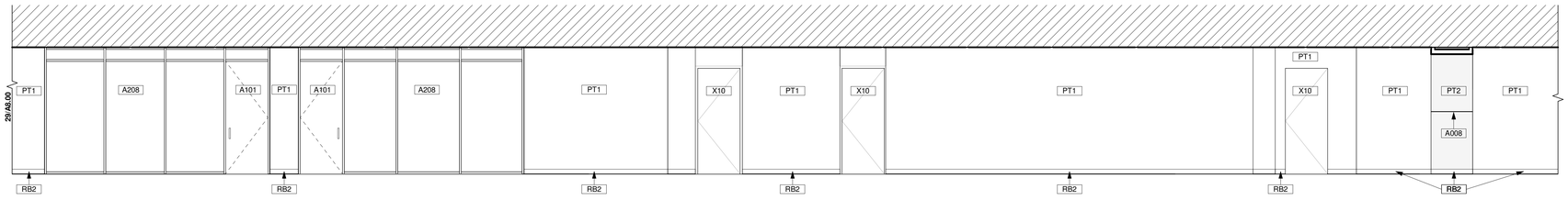
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	FINISH LEGEND & ROOM SCHEDULE
Drawing Number	A6.50



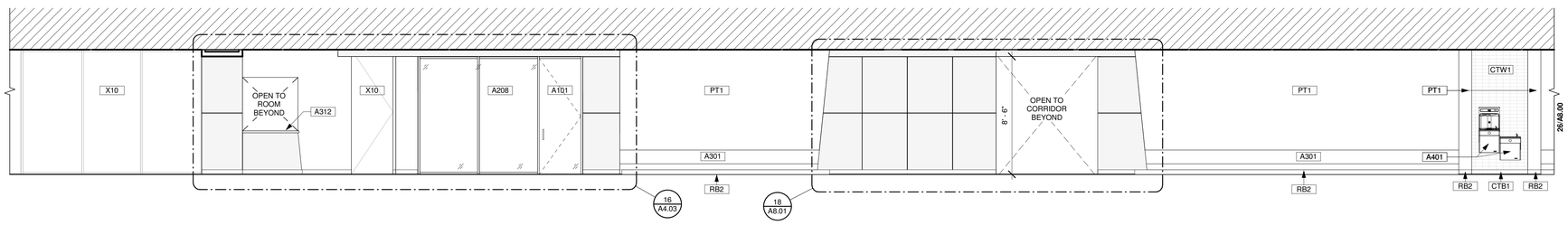
15 INTERIOR ELEVATION - DUAL EMB - TYP.
Scale: 1/2" = 1'-0"



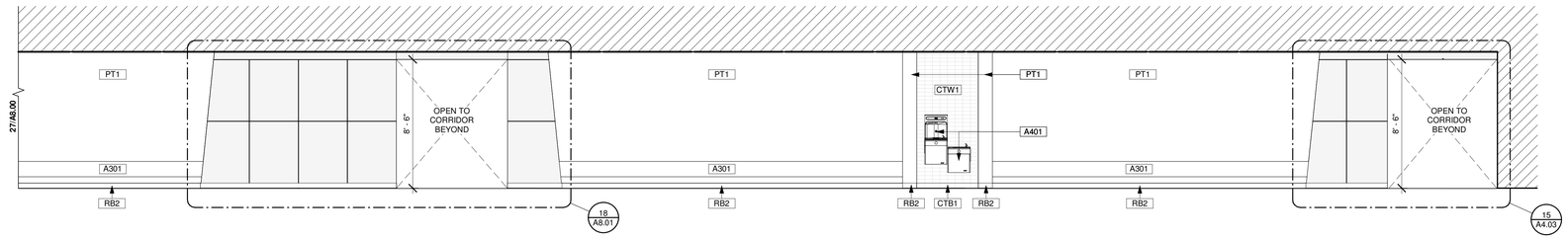
29 INTERIOR ELEVATION -CORRIDOR - NORTH WALL
Scale: 1/4" = 1'-0"



28 INTERIOR ELEVATION -CORRIDOR - NORTH WALL
Scale: 1/4" = 1'-0"



27 INTERIOR ELEVATION -CORRIDOR - SOUTH WALL
Scale: 1/4" = 1'-0"



26 INTERIOR ELEVATION -CORRIDOR - SOUTH WALL
Scale: 1/4" = 1'-0"

Dimension & Alignment Support Notes:

ALIGN 1: Align face of new construction w/face of existing.
ALIGN 2: Align Centerline of new construciton w/Centerline of existing.
ALIGN 3: Align gridline/join grid w/existing grid.
LEVEL 1: Ensure top of new construction is level w/existing surface.
LEVEL 2: Level floor & surface to recieve new construction.
LEVEL 3: Ensure the top of grade is level w/surrounding ground.

Construction & Condition Support Notes:

HANDLE 1: Handle item w/care, and store for owner review.
HANDLE 2: Handle remaining building, pavement, fence, or item w/care.
HANDLE 3: Handle re-located items with care. DISCONNECT 1, FIXW.
FIXW: Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.
FIX1: Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.
SITE1: Prepare the site where construction was removed, and prepare the ground to an acceptable condition.
INFO1: Inform Architect prior to the start of this work.
CONNECT1: Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.
CONNECT2: Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care
DISCONNECT1: Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.
ENGINEER1: Professional engineering supervision is required for this work.
SHOP1: Provide shop drawings for this work.
REFERENCE: Refer to photo # for the existing condition at this location.
SLOPE1: Maintain positive slope towards drains, gutters, and storm systems and away from the building.
PROTECT1: Protect item(s) to remain, including any buildings, furniture, sidewalks, roots, utilities, and other items during the Demolition and Construction phases.
EGRESS: Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.
TREE1: Refer to Landscape Drawings & Specs for removing trees.
OPERATE: Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.
ENSURE1: Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roots, utilities, and other items during demolition and construction.
ENSURE2: Ensure system is water-tight. Provide additional flashing & sealants as needed.
ENSURE3: Ensure the slope of the new roof matches the slope and slope direction of the existing roof.
PHASE1: Work within this area may occur in phase ONE.
PHASE2: Work within this area may occur in phase TWO.

03 SUPPORT NOTES
Scale: NTS

A008	METAL CONTROL JOINT. RE: SPECS. (ENGINEER 1; INFO 1)
A101	NEW DOOR AND FRAME AS SCHEDULED, HARDWARE AS SPECIFIED.
A102	OVERHEAD GARAGE DOOR. RE: 19/A5.00 RE: DOOR SCHEDULE FOR DIMENSIONS.
A208	NEW INTERIOR ALUM. STOREFRONT FLOOR TO CEILING ABOVE. (FIXW)
A301	NEW MILLWORK. RE: MILLWORK DETAILS & SPECS. (HANDLE 2; FIXW)
A312	PROVIDE NEW QUARTZ COUNTERTOP @ OPENING LOCATION
A401	PAIR OF ELECTRIC DRINKING FOUNTAINS (EDFs): ON-WALL, ADA COMPLIANT VERSION WITH NO RECESSED MECHANISM. SPOUT HEIGHT, CLEARANCES, AND OTHER DIMENSIONS SHALL MEET REQUIREMENTS OF 2012 TAS 602.7. PROVIDE BLOCKING SUPPORT AS NEEDED. RE: MEP DWGS FOR MORE INFORMATION. (PROTECT 1; FIXW; CONNECT 1)
CTB1	CERAMIC TILE BASE
CTW1	CERAMIC WALL TILE
PT1	PAINT (FIELD).
PT2	PAINT (ACCENT 2).
RB2	RUBBER BASE
X10	EXISTING DOOR / WINDOW. FIELD VERIFY. (PROTECT 1)

02 KEYNOTES
Scale: NTS

1. ELEVATIONS INDICATE VERTICAL DIMENSIONS ONLY. REFER TO FLOOR PLANS FOR HORIZONTAL DIMENSIONS.
2. FIELD-VERIFY CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. REFER TO FLOOR PLANS FOR DOOR & WINDOW KEYS.
4. REFER TO FLOOR PLANS FOR SECTION AND DETAIL KEYS.
5. EQUALLY SPACE CONTROL JOINTS (CJ) AT SPANS NOT TO EXCEED 20' - 0" O.C. UNLESS JOINT LOCATIONS ARE OTHERWISE DIMENSIONED.
6. REFER/ COORDINATE WITH ROOF PLAN FOR DOWNSPOUTS, ROOF/OVERFLOW DRAINS, GUTTERS, SCUPPERS, AND LADDER LOCATIONS.
7. PAINT STEEL ACCESS LADDERS AND SCUPPERS TO MATCH COLOR OF ADJACENT WALL SURFACE.
8. ALL EXPOSED METAL DOORS OTHER THAN PRE-FINISHED TO BE PAINTED SIMILLAR TO ADJUCENT WALL UNLESS OTHERWISE INDICATED.
9. REFER TO WINDOW AND DOOR TYPES, SHEETS A5.00 & A5.01 FOR MORE INFO.
10. REFER TO SPECIFICATIONS FOR MORE INFORMATION ON MATERIALS AND FINISHES.

01 GENERAL NOTES - ELEVATIONS
Scale: NTS

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

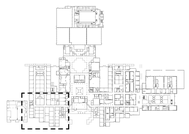
REGISTERED ARCHITECT MICHAEL SCOTT 18611 STATE OF TEXAS
03/12/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

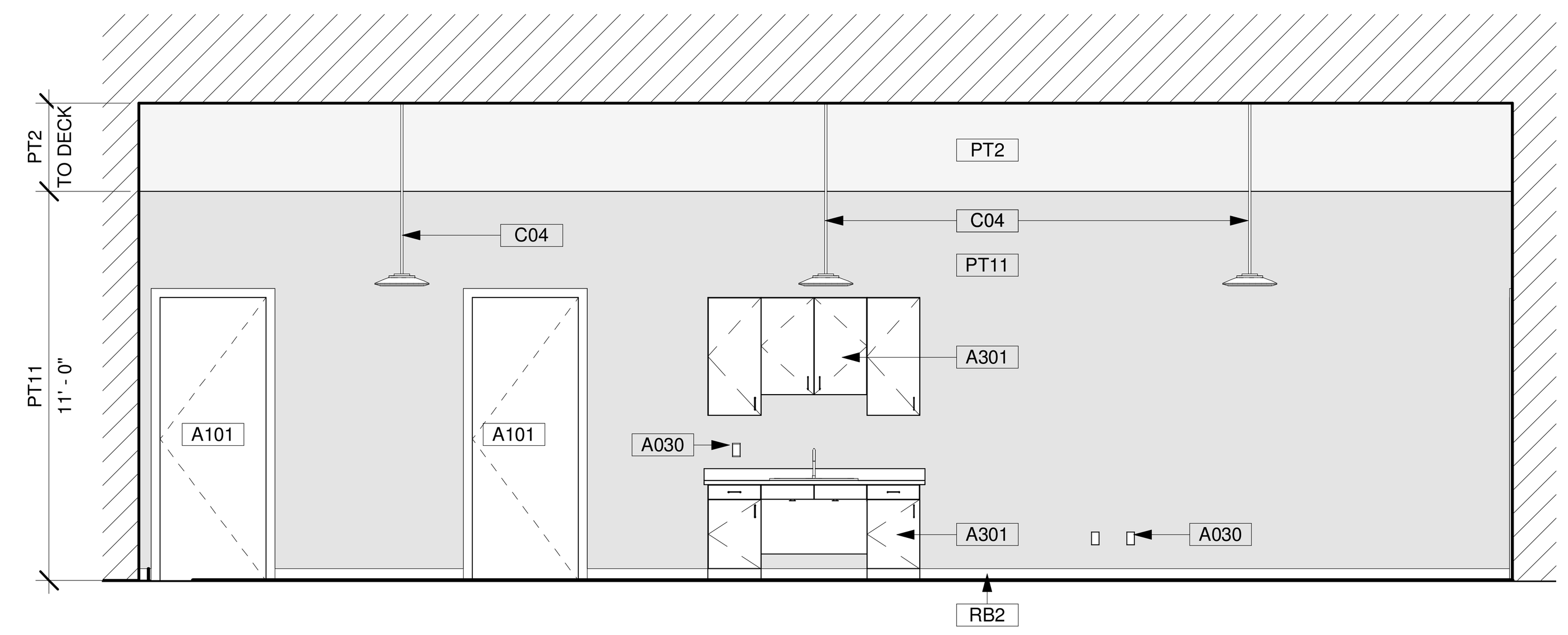
#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



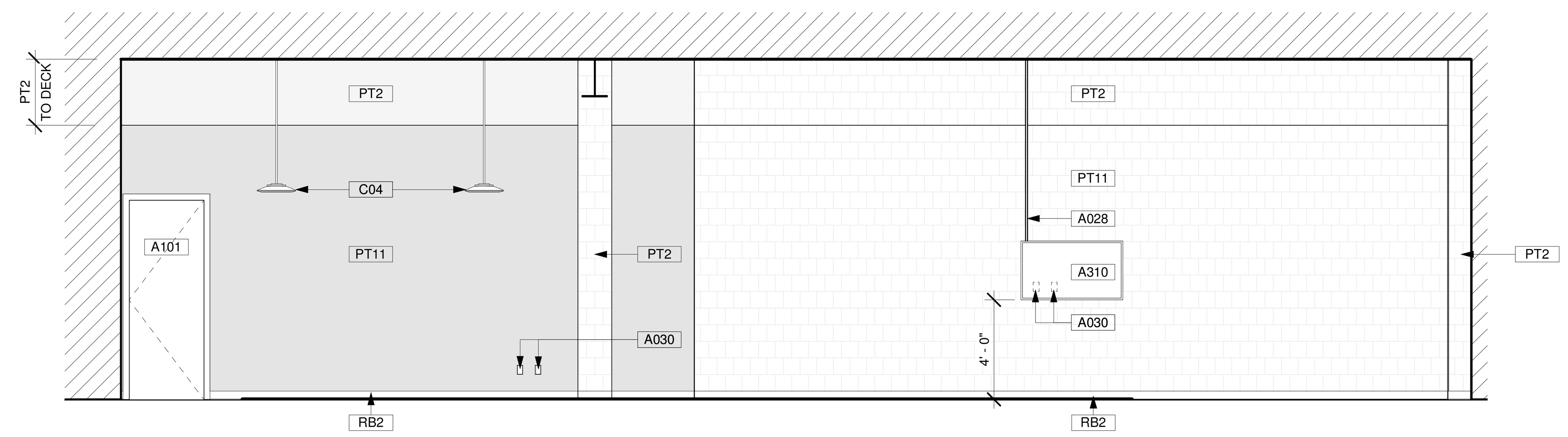
KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	INTERIOR ELEVATIONS
Drawing Number	A8.00

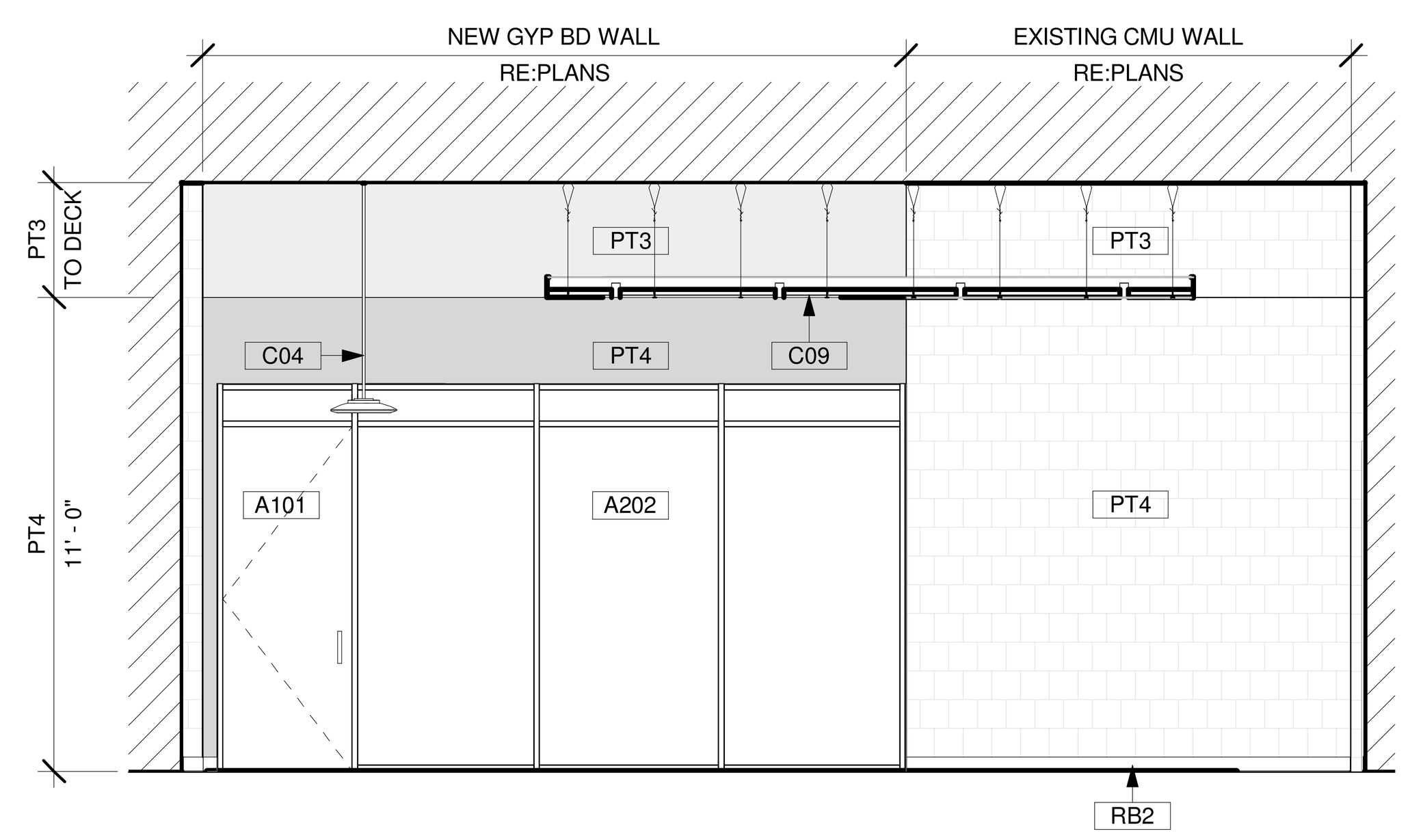
3/13/2020 1:53:13 PM



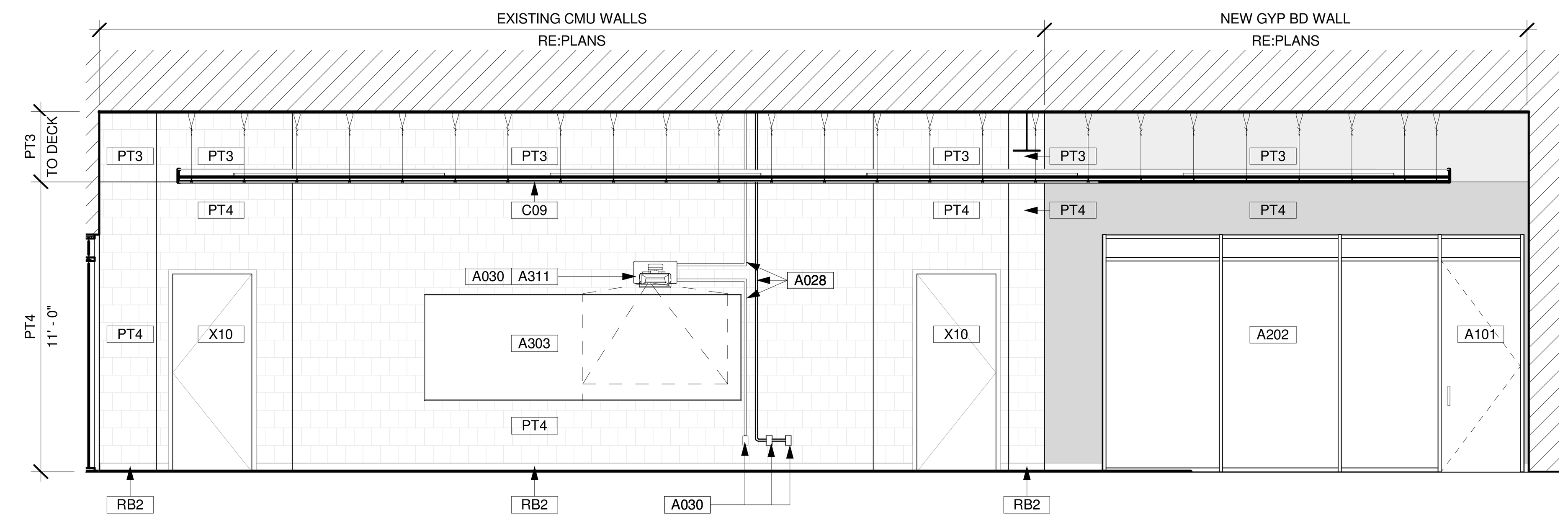
30 MEDICAL LAB - NORTH
Scale: 1/4" = 1'-0"



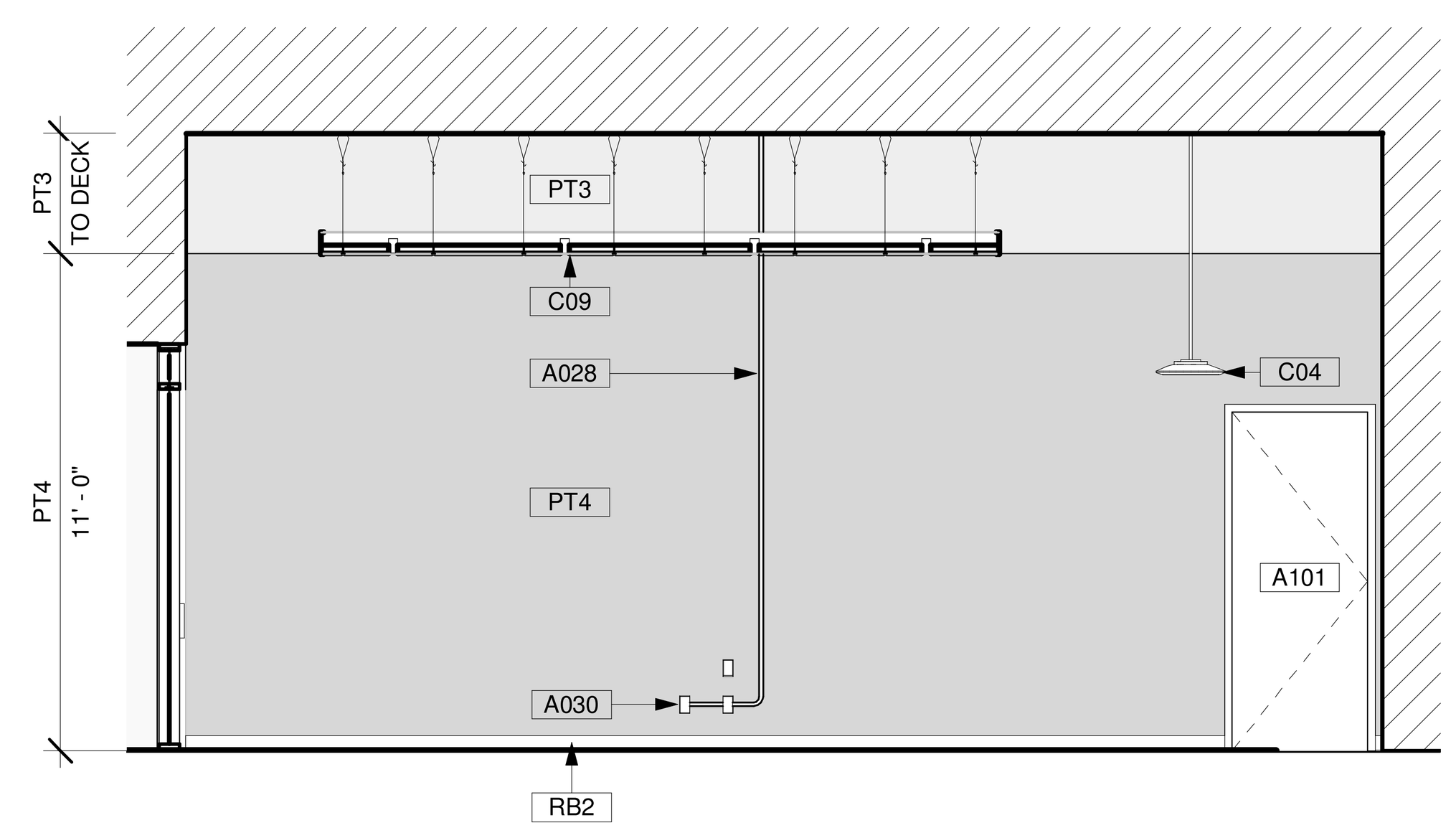
2 MEDICAL LAB - EAST
Scale: 1/4" = 1'-0"



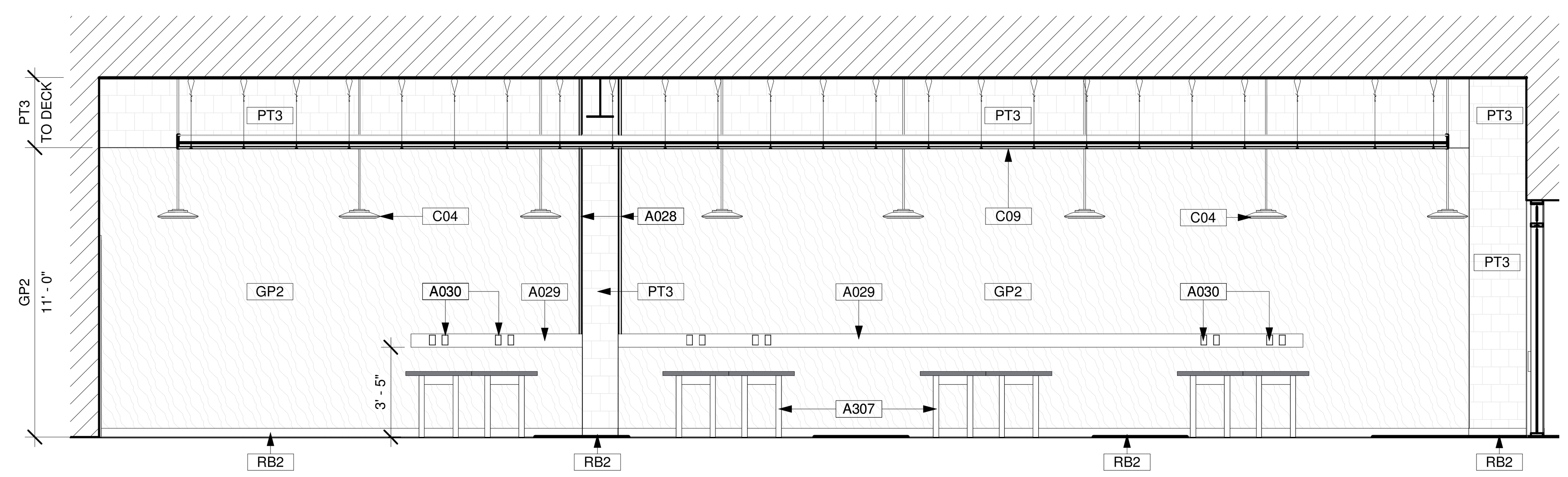
29 CODING LAB - SOUTH
Scale: 1/4" = 1'-0"



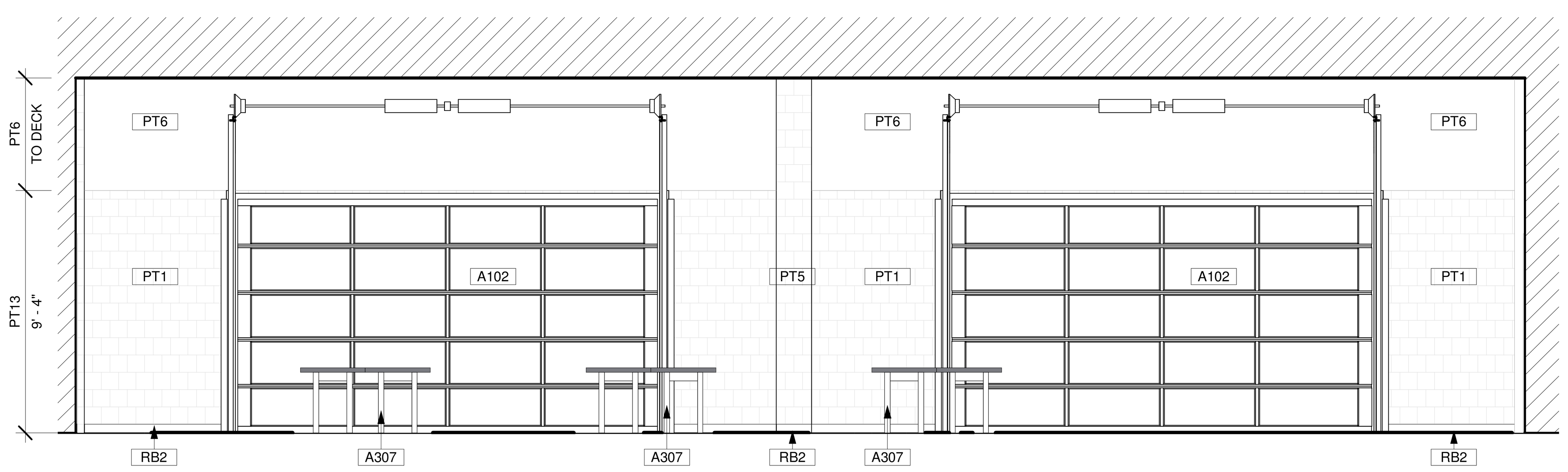
19 CODING LAB - WEST
Scale: 1/4" = 1'-0"



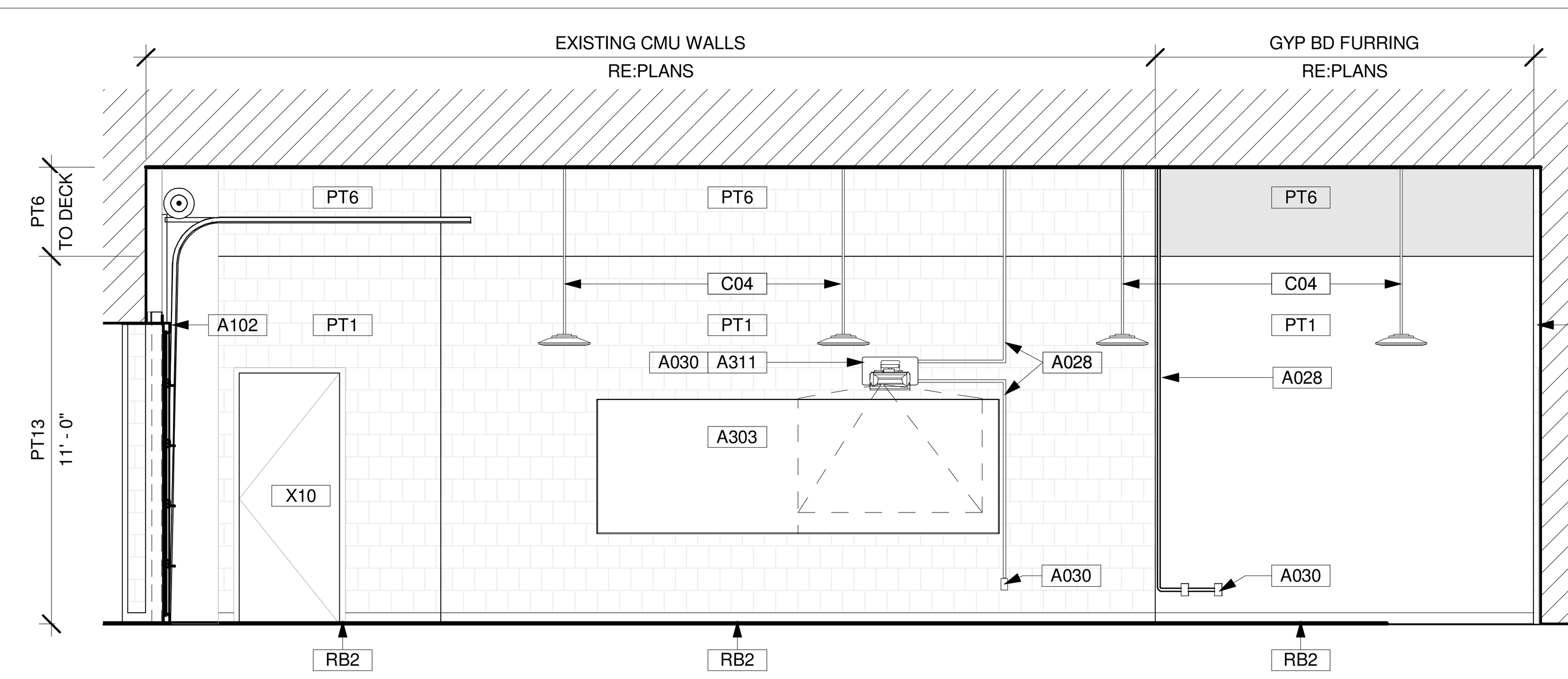
28 CODING LAB - NORTH
Scale: 1/4" = 1'-0"



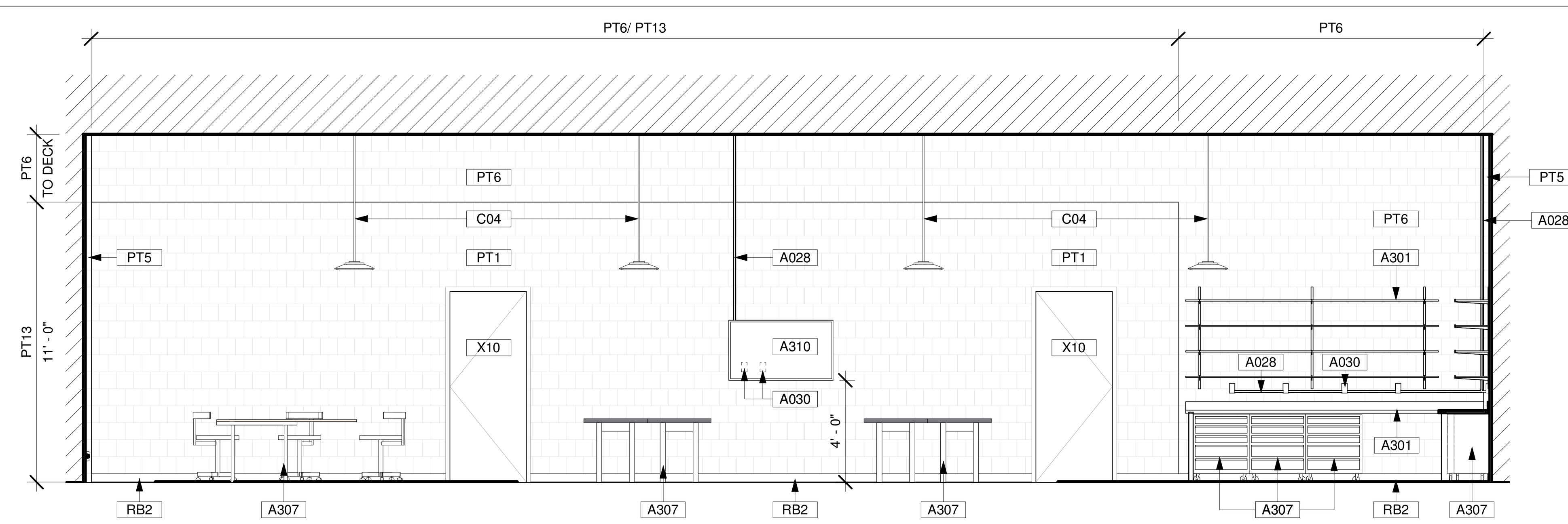
18 CODING LAB - EAST
Scale: 1/4" = 1'-0"



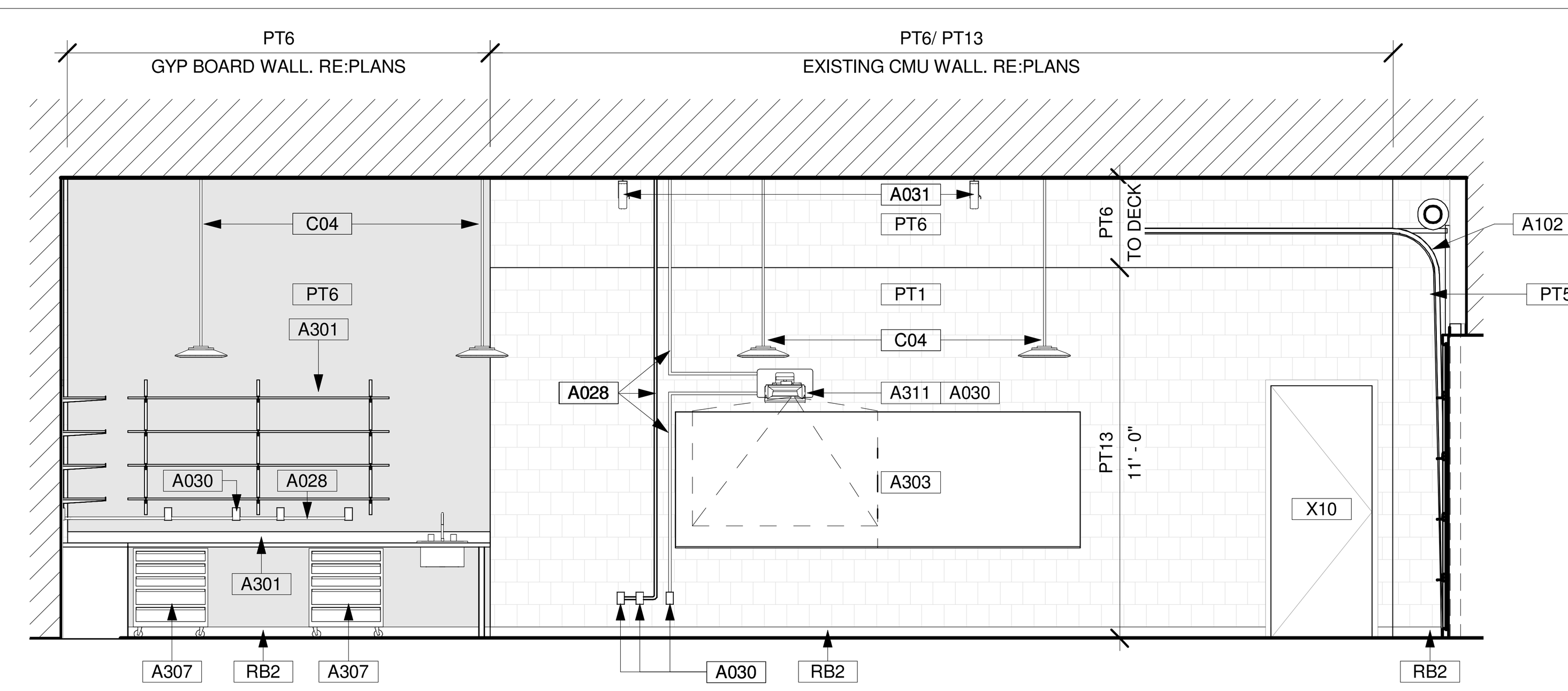
27 ROBOTICS LAB SOUTH
Scale: 1/4" = 1'-0"



12 ROBOTICS LAB WEST
Scale: 1/4" = 1'-0"



26 ROBOTICS LAB NORTH
Scale: 1/4" = 1'-0"



11 ROBOTICS LAB EAST
Scale: 1/4" = 1'-0"

03 SUPPORT NOTES
Scale: NTS

Dimension & Alignment Support Notes:

ALIGN 1: *Align face of new construction w/face of existing.*
ALIGN 2: *Align Centerline of new construciton w/Centerline of existing.*
ALIGN 3: *Align gridline/join grid w/existing grid.*
LEVEL 1: *Ensure top of new construction is level w/existing surface.*
LEVEL 2: *Level floor & surface to recieve new construction.*
LEVEL 3: *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

HANDLE 1: *Handle item w/care, and store for owner review.*
HANDLE 2: *Handle remaining building, pavement, fence, or item w/care.*
HANDLE 3: *Handle re-located items with care. DISCONNECT 1, FIXW.*
FIXW: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
FIX1: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
SITE1: *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
INFO1: *Inform Architect prior to the start of this work.*
CONNECT1: *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
CONNECT2: *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
DISCONNECT1: *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
ENGINEER1: *Professional engineering supervision is required for this work.*
SHOP1: *Provide shop drawings for this work.*
REFERENCE: *Refer to photo # for the existing condition at this location.*
SLOPE1: *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
PROTECT1: *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
EGRESS: *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
TREE1: *Refer to Landscape Drawings & Specs for removing trees.*
OPERATE: *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
ENSURE1: *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
ENSURE2: *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
ENSURE3: *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
PHASE1: *Work within this area may occur in phase ONE.*
PHASE2: *Work within this area may occur in phase TWO.*

02 KEYNOTES
Scale: NTS

A028	NEW EXPOSED CONDUIT FOR POWER/DATA AS SPECIFIED. RE: PLANS, ELECTRICAL DRAWINGS.
A029	NEW WALL TRACK FOR POWER/DATA AS SPECIFIED. RE: PLANS, ELECTRICAL DRAWINGS.
A030	NEW OUTLETS/DATAPORTS AS SPECIFIED. RE: PLANS, ELECTRICAL DRAWINGS.
A031	NEW CEILING MOUNTED OUTLET AND POWER CORD REEL. RE:CEILING PLANS, ELECTRICAL DRAWINGS.
A101	NEW DOOR AND FRAME AS SCHEDULED, HARDWARE AS SPECIFIED.
A102	OVERHEAD GARAGE DOOR. RE: 19/A5.00 RE: DOOR SCHEDULE FOR DIMENSIONS.
A202	NEW STOREFRONT/CURTAIN WALL, RE: WINDOW TYPES.
A301	NEW MILLWORK. RE: MILLWORK DETAILS & SPECS. (HANDLE 2; FIXW)
A303	MARKER BOARD (MB) OR ELECTRONIC MARKER BOARD (EMB). NOTE: ELECTRONIC MARKER BOARDS CONSIST OF MARKERBOARDS AND OFOI WALL-MOUNTED SMART PROJECTORS. RE: SPEC.
A307	PROVIDE NEW FURNITURE AT INDICATED ROOMS/SPACES. FURNITURE TO BE COORDINATED WITH OWNER PRIOR TO SUBMITTAL AND PURCHASE. FURNITURE INDICATED IN DRAWINGS IS FOR REFERENCE AND SCOPE ONLY.
A310	INTERACTIVE MONITOR AS SPECIFIED.
A311	NEW WALL MOUNTED PROJECTOR AS SPECIFIED.
C04	SCHEDULED DECORATIVE PENDANT LIGHT FIXTURE, RCP INDICATES TYPE. PENDANTS HANG TO 10'-0" A.F.F. OR 18" BELOW THE CEILING OR LOWEST DUCT, WHICHEVER IS LESS. PENDANTS SHALL IN NO CASES HANG BELOW 9'-0" RE: ELECTRICAL DRAWINGS.
C09	CLOUD CEILING SUSPENDED WITH WIRE HANGERS FROM STRUCTURE ABOVE AT 48" O.C. MAX. FOR MATERIAL AND MOUNTING HEIGHT SEE CEILING PLANS.
GP2	GRAPHIC PRINT 2
PT1	PAINT (FIELD).
PT2	PAINT (ACCENT 2).
PT3	PAINT (ACCENT 3).
PT4	PAINT (ACCENT 4).
PT5	PAINT (ACCENT 5).
PT6	PAINT (ACCENT 6).
PT11	PAINT (ACCENT 11).
RB2	RUBBER BASE
X10	EXISTING DOOR / WINDOW. FIELD VERIFY. (PROTECT 1)

01 GENERAL NOTES - ELEVATIONS
Scale: NTS

1. ELEVATIONS INDICATE VERTICAL DIMENSIONS ONLY. REFER TO FLOOR PLANS FOR HORIZONTAL DIMENSIONS.
2. FIELD-VERIFY CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. REFER TO FLOOR PLANS FOR DOOR & WINDOW KEYS.
4. REFER TO FLOOR PLANS FOR SECTION AND DETAIL KEYS.
5. EQUALLY SPACE CONTROL JOINTS (CJ) AT SPANS NOT TO EXCEED 20' - 0" O.C. UNLESS JOINT LOCATIONS ARE OTHERWISE DIMENSIONED.
6. REFER/ COORDINATE WITH ROOF PLAN FOR DOWNSPOUTS, ROOF/OVERFLOW DRAINS, GUTTERS, SCUPPERS, AND LADDER LOCATIONS.
7. PAINT STEEL ACCESS LADDERS AND SCUPPERS TO MATCH COLOR OF ADJACENT WALL SURFACE.
8. ALL EXPOSED METAL DOORS OTHER THAN PRE-FINISHED TO BE PAINTED SIMILLAR TO ADJUCENT WALL UNLESS OTHERWISE INDICATED.
9. REFER TO WINDOW AND DOOR TYPES, SHEETS A5.00 & A5.01 FOR MORE INFO.
10. REFER TO SPECIFICATIONS FOR MORE INFORMATION ON MATERIALS AND FINISHES.

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

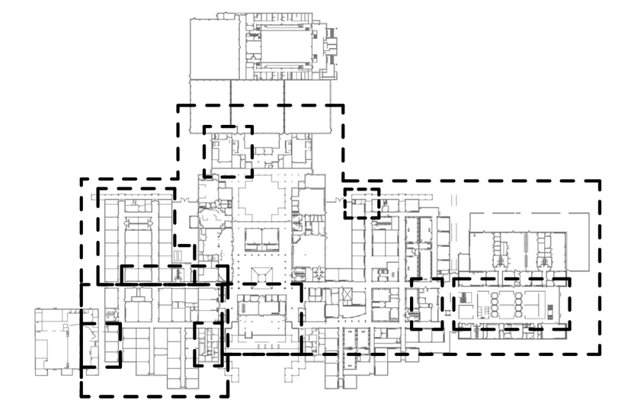
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



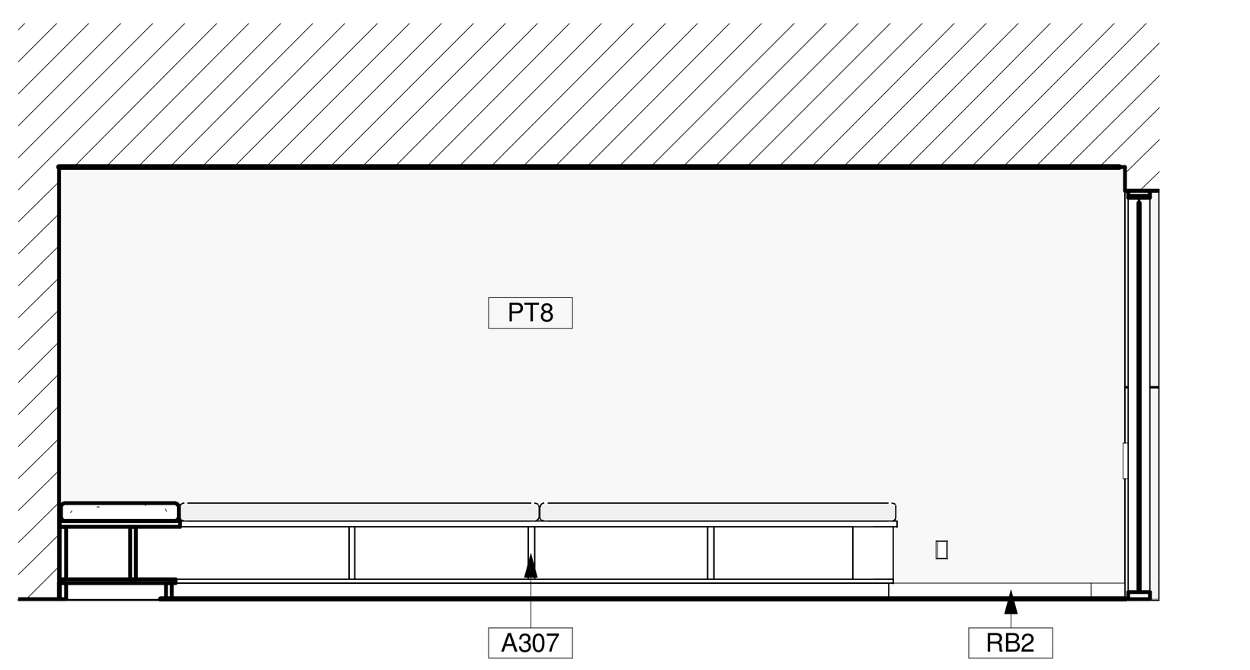
KEY PLAN

TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

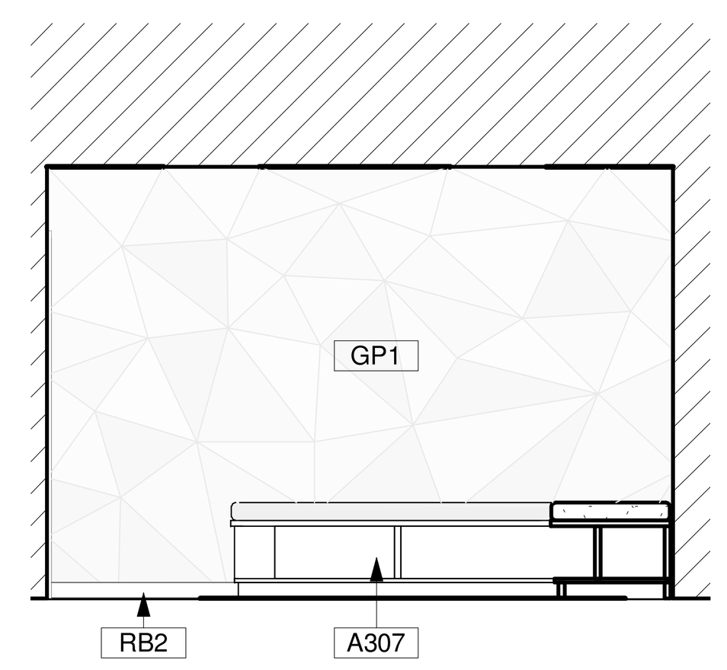
Drawing Title
INTERIOR ELEVATIONS

Drawing Number
A8.01

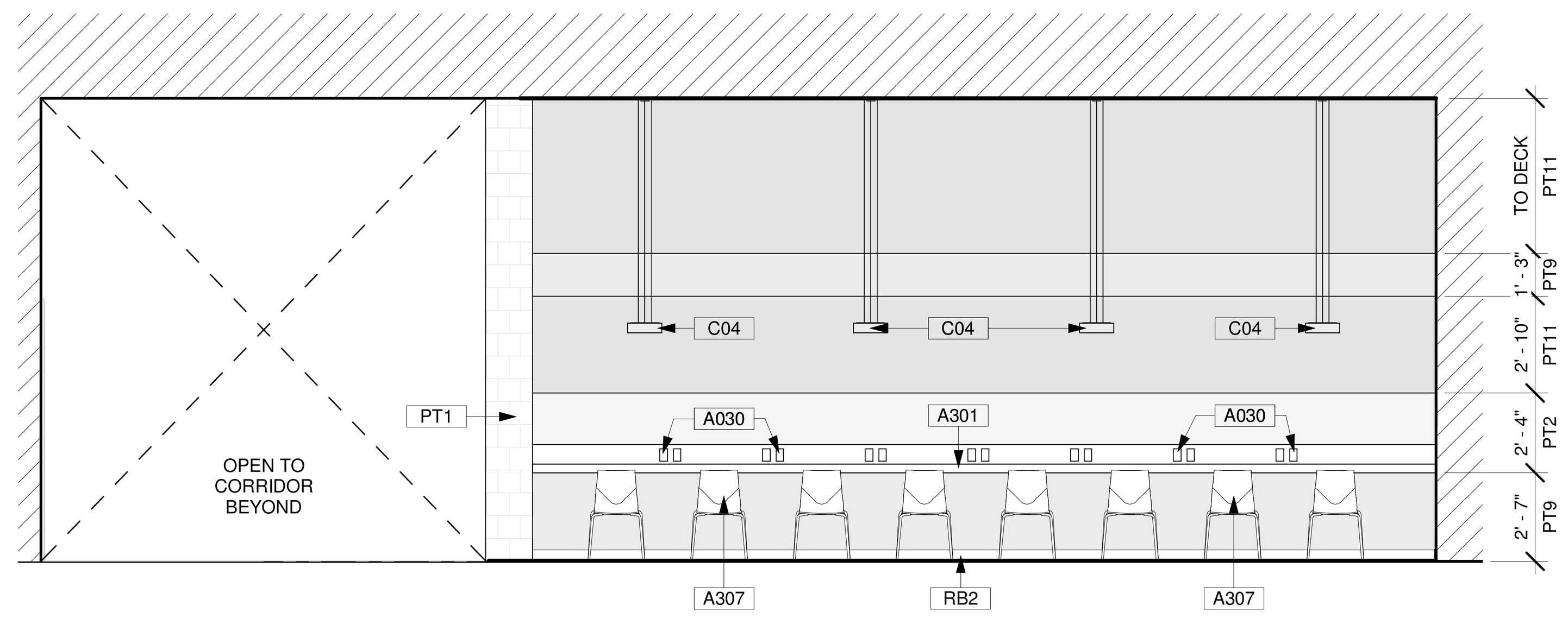


NOTE: EAST WALL TO RECEIVE SAME MATERIAL/COLOR TREATMENT AS WEST WALL.

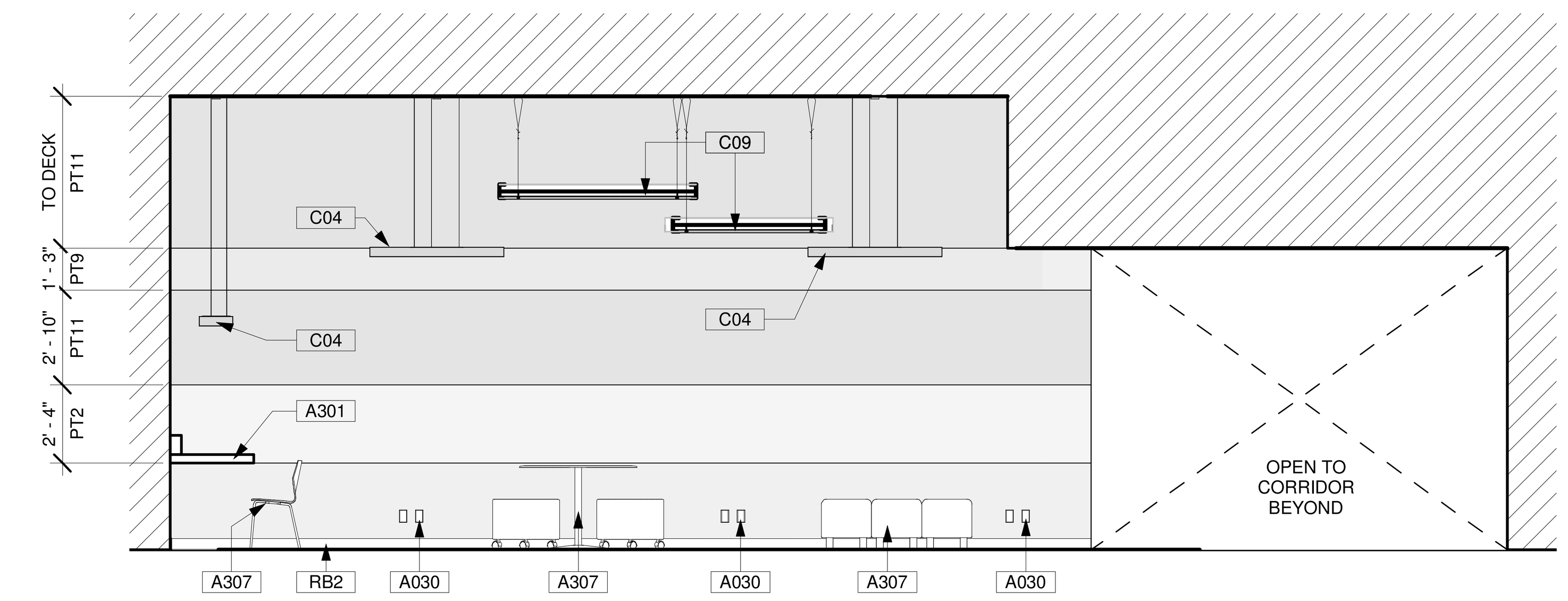
30 ELEVATION @ READING ROOM - WEST
Scale: 1/4" = 1'-0"



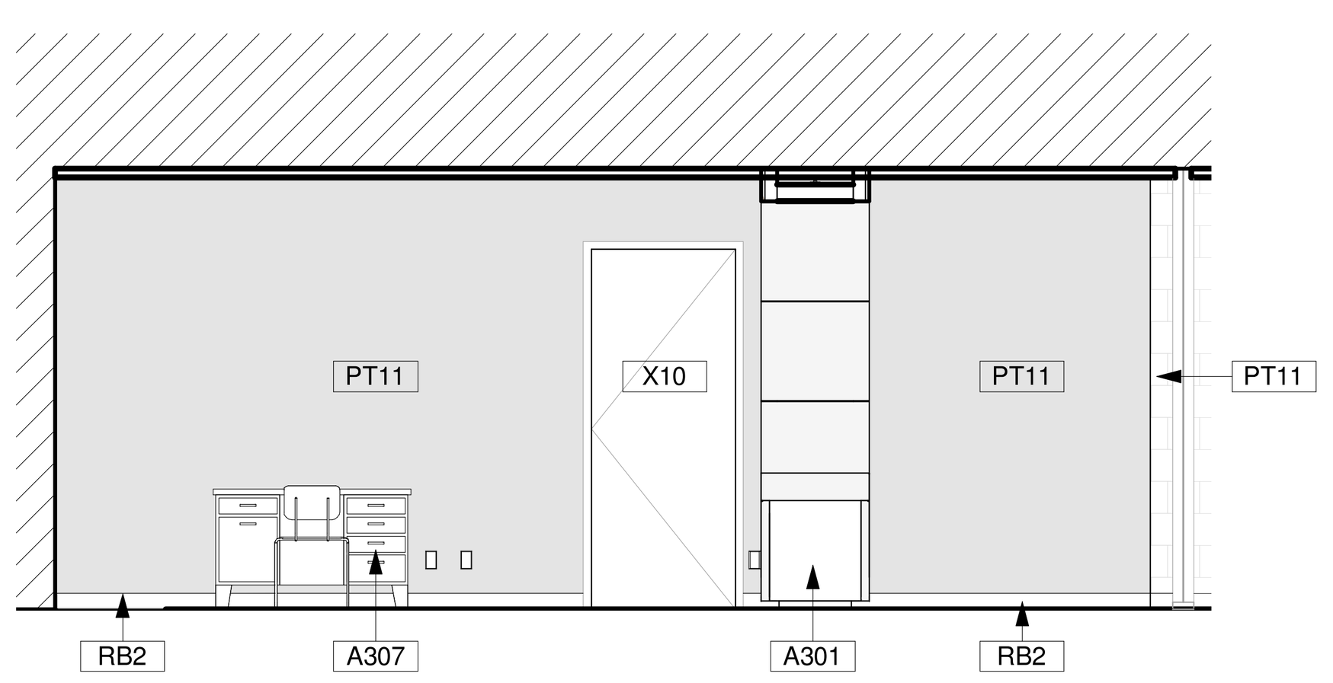
25 ELEVATION @ READING ROOM - SOUTH
Scale: 1/4" = 1'-0"



29 STUDENT COLLABORATION @ NORTH WALL
Scale: 1/4" = 1'-0"

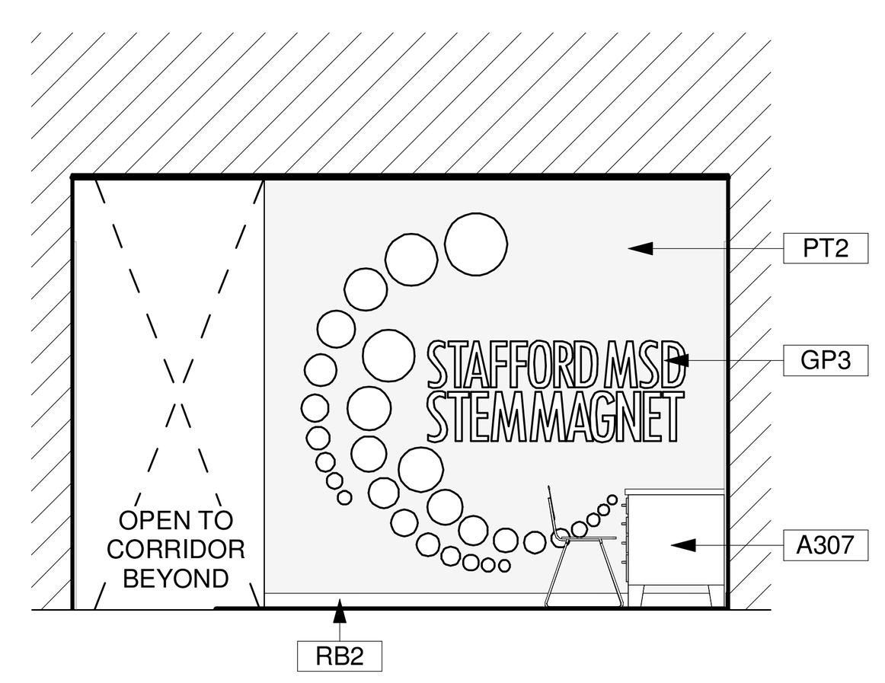


14 STUDENT COLLABORATION @ EAST WALL
Scale: 1/4" = 1'-0"

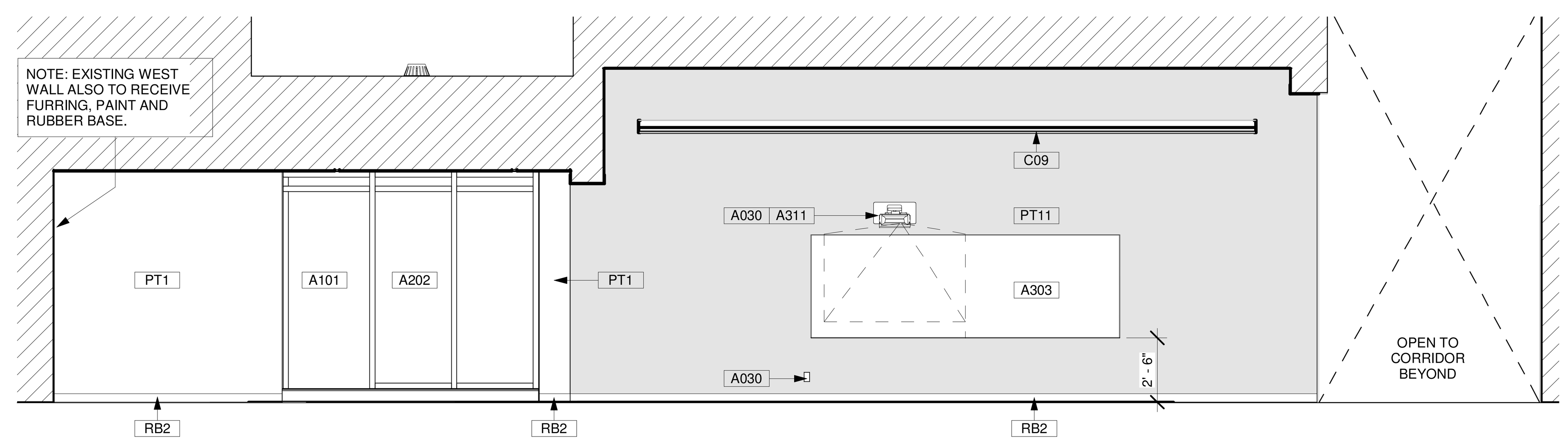


NOTE: SOUTH WALL TO RECEIVE SAME MATERIAL/COLOR TREATMENT AS NORTH WALL.

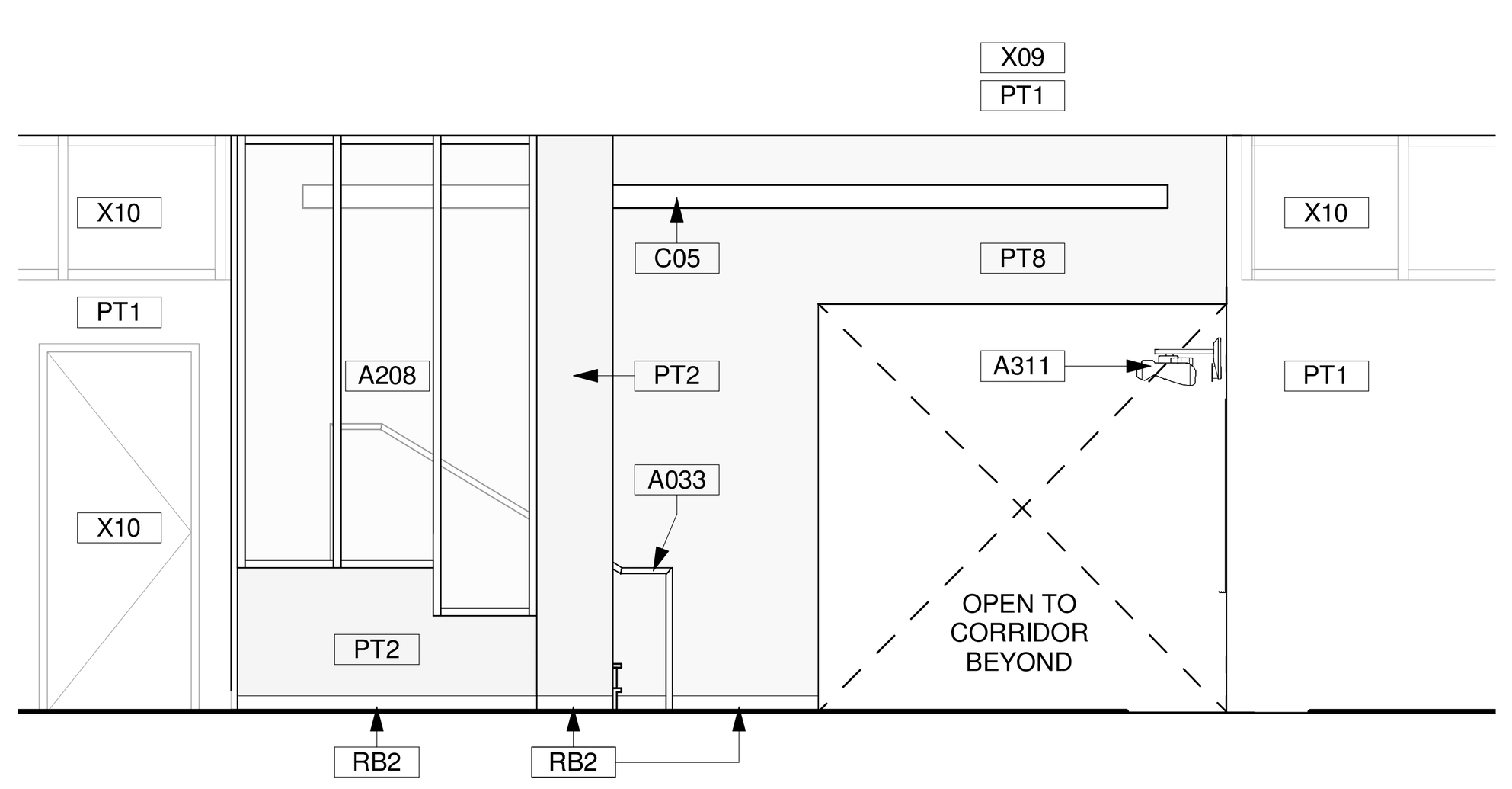
28 ELEVATION @ RECEPTION - NORTH
Scale: 1/4" = 1'-0"



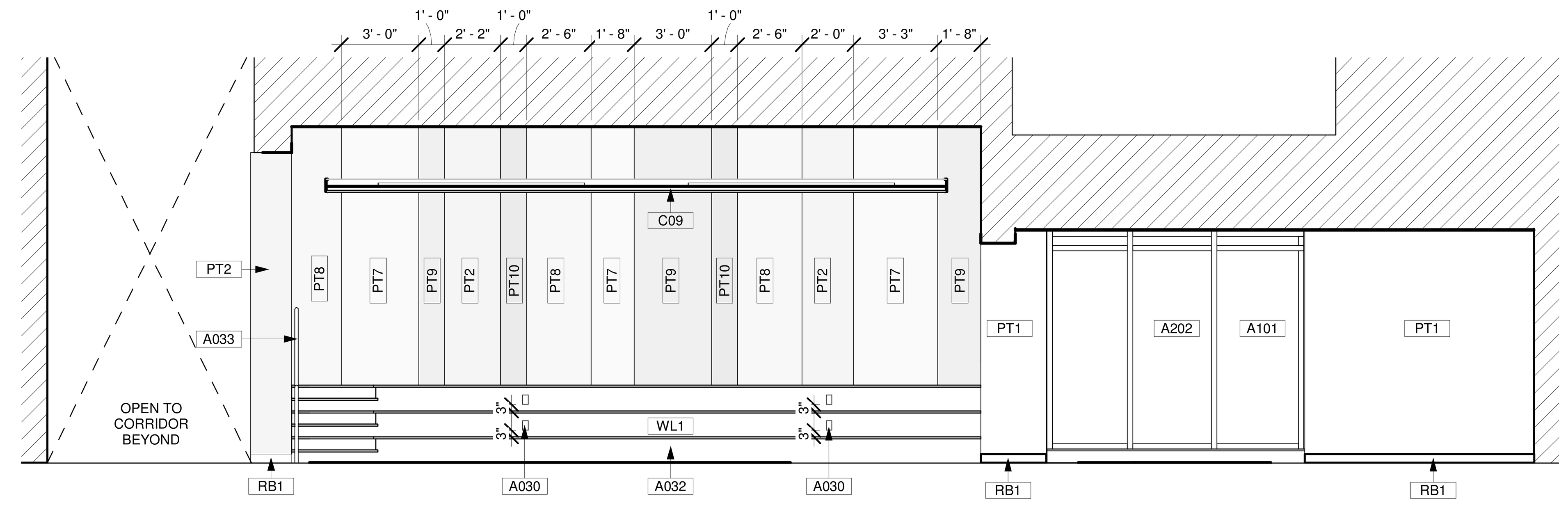
18 ELEVATION @ RECEPTION - WEST
Scale: 1/4" = 1'-0"



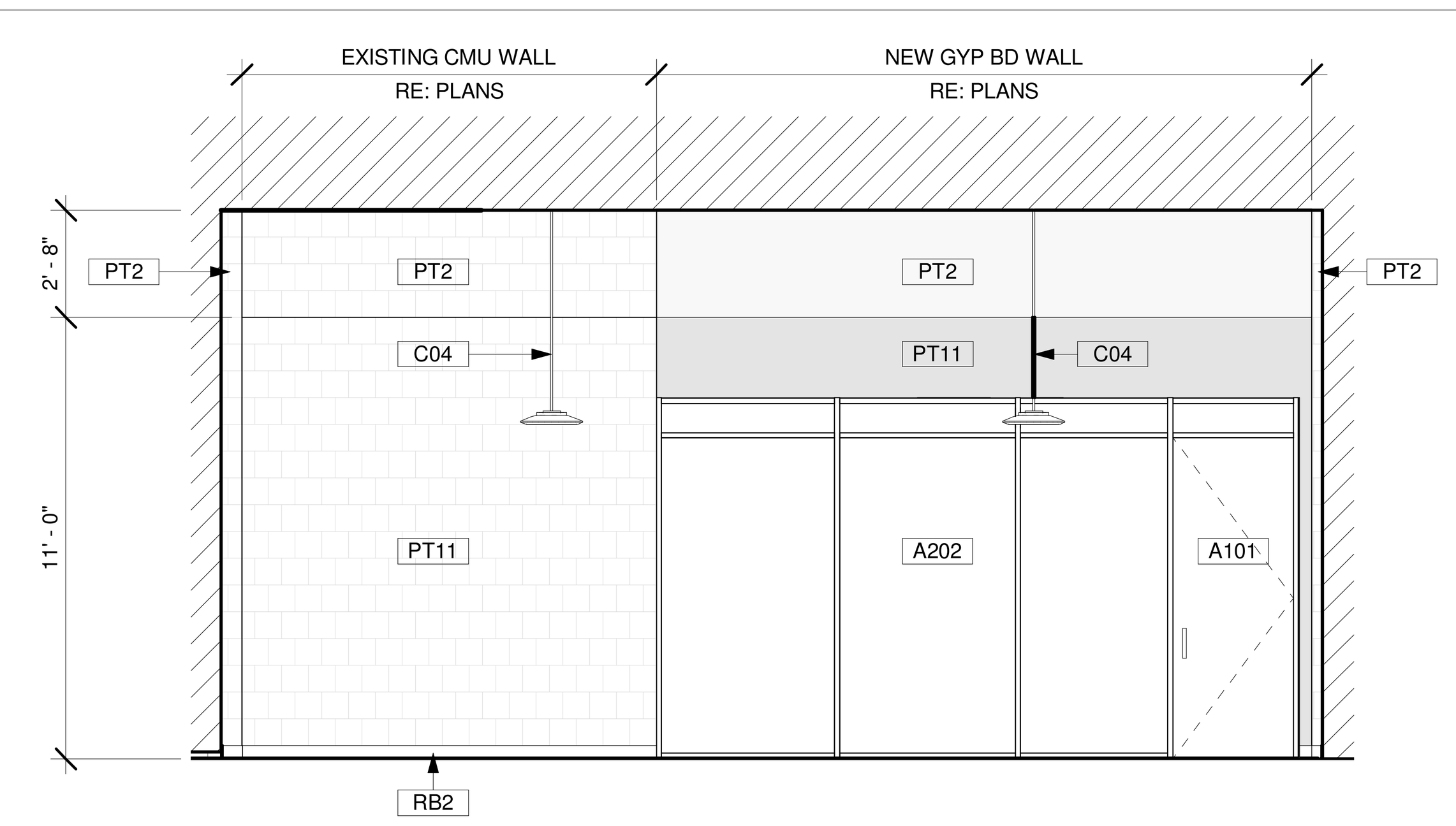
13 CONNECTOR AND LEARNING STAIRS - NORTH WALL
Scale: 1/4" = 1'-0"



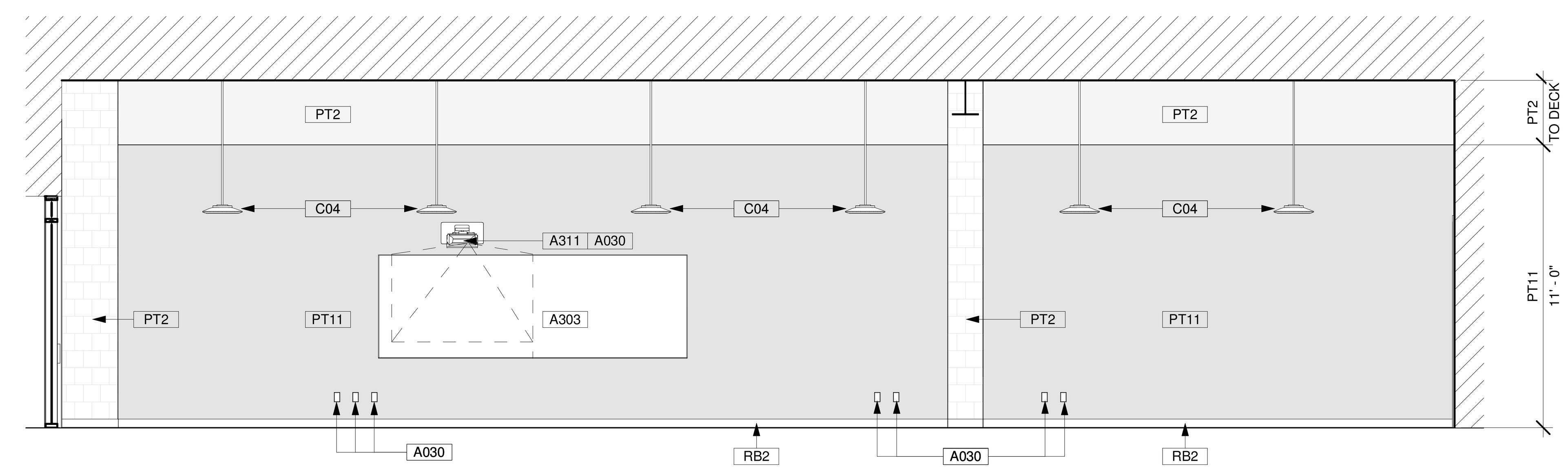
27 LEASNING STAIRS - WEST WALL
Scale: 1/4" = 1'-0"



12 LEARNING STAIRS - SOUTH WALL
Scale: 1/4" = 1'-0"



26 MEDICAL LAB - SOUTH
Scale: 1/4" = 1'-0"



11 MEDICAL LAB - WEST
Scale: 1/4" = 1'-0"

Dimension & Alignment Support Notes:

ALIGN 1: *Align face of new construction w/face of existing.*
ALIGN 2: *Align Centerline of new construciton w/Centerline of existing.*
ALIGN 3: *Align gridline/join grid w/existing grid.*
LEVEL 1: *Ensure top of new construction is level w/existing surface.*
LEVEL 2: *Level floor & surface to recieve new construction.*
LEVEL 3: *Ensure the top of grade is level w/surrounding ground.*

Construction & Condition Support Notes:

HANDLE 1: *Handle item w/care, and store for owner review.*
HANDLE 2: *Handle remaining building, pavement, fence, or item w/care.*
HANDLE 3: *Handle re-located items with care. DISCONNECT 1, FIXW.*
FIXW: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to recieve new construction. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
FIX1: *Fix floor/wall/ceiling/item where construction was removed and prepare the area to an acceptable condition. Ensure the top of grade is level w/surrounding ground & maintain positive slope towards drain, gutter, and storm system away from building.*
SITE1: *Prepare the site where construction was removed, and prepare the ground to an acceptable condition.*
INFO1: *Inform Architect prior to the start of this work.*
CONNECT1: *Connect new construction to existing, ensure continuity and structural integrity. Ensure the top of new construction is level w/existing surface.*
CONNECT2: *Connect remaining item to the new structure, and ensure structural integrity while meeting local Codes. Handle remaining buildings, pavement, fences, and other items w/care*
DISCONNECT1: *Disconnect and conceal all pipes, electrical cables, data cables, and conduits where construction is removed.*
ENGINEER1: *Professional engineering supervision is required for this work.*
SHOP1: *Provide shop drawings for this work.*
REFERENCE: *Refer to photo # for the existing condition at this location.*
SLOPE1: *Maintain positive slope towards drains, gutters, and storm systems and away from the building.*
PROTECT1: *Protect item(s) to remain, including any buildings, furniture, sidewalks, roofs, utilities, and other items during the Demolition and Construction phases.*
EGRESS: *Maintain safe and unrestricted egress routes from areas adjacent to the Demolition site. Comply with all Applicable Codes.*
TREE1: *Refer to Landscape Drawings & Specs for removing trees.*
OPERATE: *Ensure all routes and utilities required for school operation are protected. Ensure school operation will not be interrupted.*
ENSURE1: *Ensure all slopes to drain as intended, and that downspouts indicated to remain are protected to maintain normal flow at all times during demolition and construction. Protect items to remain including any buildings, furniture, sidewalks, roofs, utilities, and other items during demolition and construction.*
ENSURE2: *Ensure system is water-tight. Provide additional flashing & sealants as needed.*
ENSURE3: *Ensure the slope of the new roof matches the slope and slope direction of the existing roof.*
PHASE1: *Work within this area may occur in phase ONE.*
PHASE2: *Work within this area may occur in phase TWO.*

03 SUPPORT NOTES
Scale: NTS

A030	NEW OUTLETS/DATAPORTS AS SPECIFIED. RE: PLANS, ELECTRICAL DRAWINGS.
A032	NEW LEARNING STAIRS. RE:PLANS.
A033	PROVIDE TUBULAR SS HANDRAIL. RE:PLANS.
A101	NEW DOOR AND FRAME AS SCHEDULED, HARDWARE AS SPECIFIED.
A202	NEW STOREFRONT/CURTAIN WALL, RE: WINDOW TYPES.
A208	NEW INTERIOR ALUM. STOREFRONT FLOOR TO CEILING ABOVE. (FIXW)
A301	NEW MILLWORK. RE: MILLWORK DETAILS & SPECS. (HANDLE 2; FIXW)
A303	MARKER BOARD (MB) OR ELECTRONIC MARKER BOARD (EMB). NOTE: ELECTRONIC MARKER BOARDS CONSIST OF MARKERBOARDS AND OFOI WALL-MOUNTED SMART PROJECTORS. RE: SPEC.
A307	PROVIDE NEW FURNITURE AT INDICATED ROOMS/SPACES. FURNITURE TO BE COORDINATED WITH OWNER PRIOR TO SUBMITTAL AND PURCHASE. FURNITURE INDICATED IN DRAWINGS IS FOR REFERENCE AND SCOPE ONLY.
A311	NEW WALL MOUNTED PROJECTOR AS SPECIFIED.
C04	SCHEDULED DECORATIVE PENDANT LIGHT FIXTURE, RCP INDICATES TYPE. PENDANTS HANG TO 10'-0" A.F.F. OR 18" BELOW THE CEILING OR LOWEST DUCT, WHICHEVER IS LESS. PENDANTS SHALL IN NO CASES HANG BELOW 9'-0" RE: ELECTRICAL DRAWINGS.
C05	PERIMETER TRIM AS SPECIFIED AROUND CLOUD CEILING.
C09	CLOUD CEILING SUSPENDED WITH WIRE HANGERS FROM STRUCTURE ABOVE AT 48" O.C. MAX. FOR MATERIAL AND MOUNTING HEIGHT SEE CEILING PLANS.
GP1	GRAPHIC PRINT 1
GP3	GRAPHIC PRINT OF SCHOOL LOGO
PT1	PAINT (FIELD).
PT2	PAINT (ACCENT 2).
PT7	PAINT (ACCENT 7).
PT8	PAINT (ACCENT 8).
PT9	PAINT (ACCENT 9).
PT10	PAINT (ACCENT 10).
PT11	PAINT (ACCENT 11).
RB1	RUBBER BASE
RB2	RUBBER BASE
WL1	WOOD GRAIN LAMINATE
X09	EXISTING BULKHEAD FURR DOWN. CONTRACTOR TO VERIFY IN FIELD.
X10	EXISTING DOOR / WINDOW. FIELD VERIFY. (PROTECT 1)

02 KEYNOTES
Scale: NTS

1. ELEVATIONS INDICATE VERTICAL DIMENSIONS ONLY. REFER TO FLOOR PLANS FOR HORIZONTAL DIMENSIONS.
2. FIELD-VERIFY CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. REFER TO FLOOR PLANS FOR DOOR & WINDOW KEYS.
4. REFER TO FLOOR PLANS FOR SECTION AND DETAIL KEYS.
5. EQUALLY SPACE CONTROL JOINTS (CJ) AT SPANS NOT TO EXCEED 20' - 0" O.C. UNLESS JOINT LOCATIONS ARE OTHERWISE DIMENSIONED.
6. REFER/ COORDINATE WITH ROOF PLAN FOR DOWNSPOUTS, ROOF/OVERFLOW DRAINS, GUTTERS, SCUPPERS, AND LADDER LOCATIONS.
7. PAINT STEEL ACCESS LADDERS AND SCUPPERS TO MATCH COLOR OF ADJACENT WALL SURFACE.
8. ALL EXPOSED METAL DOORS OTHER THAN PRE-FINISHED TO BE PAINTED SIMILLAR TO ADJUCENT WALL UNLESS OTHERWISE INDICATED.
9. REFER TO WINDOW AND DOOR TYPES, SHEETS A5.00 & A5.01 FOR MORE INFO.
10. REFER TO SPECIFICATIONS FOR MORE INFORMATION ON MATERIALS AND FINISHES.

01 GENERAL NOTES - ELEVATIONS
Scale: NTS

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net
AUTOARCH ARCHITECTS

CONSULTANTS:
MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120
STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

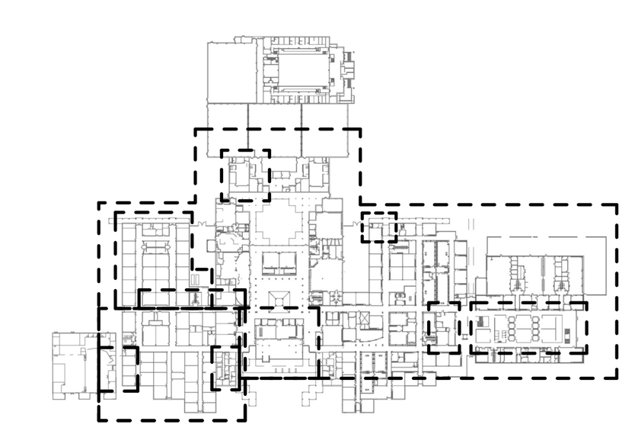
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
	03/13/2020	ISSUE FOR BID, PERMIT, & CONSTRUCTION



KEY PLAN

TRUE NORTH　PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	INTERIOR ELEVATIONS
Drawing Number	A8.02

STRUCTURAL ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	ELEC	ELECTRICAL	PLF	POUNDS PER LINEAR FOOT
		ELEV	ELEVATOR	PLUMB	PLUMBING
ACI	AMERICAN CONCRETE INSTITUTE	EQ	EQUAL(LY)	PROJ	PROJECTION
		EW	EACH WAY	PSI	POUNDS PER SQUARE INCH
ADDL	ADDITIONAL	EXIST	EXIST	PSF	POUNDS PER SQUARE FOOT
ADJ	ADJACENT	EXP	EXPANSION	R	RIGHT, RISER, RADIUS
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	FD	FLOOR DRAIN	RD	ROOF DRAIN
		F.F.E.	FINISH FLOOR ELEVATION	RE	REFER
AISI	AMERICAN IRON AND STEEL INSTITUTE	FND	FOUNDATION	REF	REFERENCE
		FS	FAR SIDE	REINF	REINFORCEMENT (D), (ING), (MENT)
ANSI	AMERICAN NATIONAL STANDARD INSTITUTE	FT	FEET, FOOT	REQD	REQUIRED
		FTG	FOOTING	REV	REVISION
APPROX	APPROXIMATE(LY)	GA	GAUGE	RH	RIGHT HAND
AR	ANCHOR ROD	GALV	GALVANIZED	RO	ROUGH OPENING
ARCH	ARCHITECTURAL	GB	GRADE BEAM	S	SOUTH, SLAB
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	HORIZ	HORIZONTAL	SCHED	SCHEDULE(D)
		HP	HIGH POINT	SDI	STEEL DECK INSTITUTE
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS	HR	HOUR	SECT	SECTION
		HSS	HOLLOW STRUCTURAL SECTION	SF	SQUARE FEET
AWS	AMERICAN WELDING SOCIETY	ID	INSIDE DIAMETER	SHT	SHEET
BM	BEAM (MILD REINFORCE)	IN	INCHES	SIM	SIMILAR
BC	BOTTOM CHORD	JT	JOINT	SJI	STEEL JOIST INSTITUTE
BLDG	BUILDING	K	KIPS, JOIST SERIES	SL	SLOPE
BOD	BOTTOM OF DECK	KB	KNEE BRACE	SPA	SPACE
BOT	BOTTOM	L	SPAN, LEFT, STEEL ANGLE	SPEC(S)	SPECIFICATION(S)
BT	BASE PLATE	Ld	DEVELOPMENT LENGTH	SQ	SQUARE
BRG	BEARING	LG	LENGTH, LONG	STD	STANDARD
BPL	BENT PLATE			STIF	STIFFENER
BS	BOTH SIDES	LH	LEFT HAND	STIR	STIRRUP
C	CHANNEL, COMPRESSION	LL	LIVE LOAD	STL	STEEL
CAMB	CAMBER	LLBB	LONG LEG BACK TO BACK	STR	STRUCTURAL
CIP	CAST IN PLACE	LLH	LONG LEG HORIZONTAL	T	TOP, TENSION
CL	CENTER LINE	LLV	LONG LEG VERTICAL	T & B	TOP & BOTTOM
CLR	CLEAR	LP	LOW POINT	T & G	TONGUE AND GROOVE
COL	COLUMN	LW	LONG WAY	TEMP	TEMPERATURE
CONC	CONCRETE	MATL	MATERIAL	THK	THICK(NESS)
CONT	CONTINUOUS	MAX	MAXIMUM	TOC	TOP OF CONCRETE
CPL	CAP PLATE	MC	MOMENT CONNECTION, MISC CHANNEL	TOF	TOP OF FOOTING
CS	CARBON STEEL			TOL	TOP OF LEDGE
CSJ	CONSTRUCTION JOINT	MECH	MECHANICAL	TOP	TOP OF PANEL
CTJ	CONTROL JOINT	MFG(S)	MANUFACTURER(S)	TOS	TOP OF STEEL
D	DEPTH	MID	MIDDLE	TOT	TOTAL
DET	DETAIL	MISC	MISCELLANEOUS	TOW	TOP OF WALL
DF	DRILLED FOOTING	ML	MATCH LINE	TRD(S)	TREAD(S)
DIA	DIAMETER	MO	MASONRY OPENING	TOJ	TOP OF JOIST
DIAG	DIAGONAL	MS	MILD STEEL	TYP	TYPICAL
DIM	DIMENSION	MT	STRUCTURAL TEE CUT FROM MISC STL	UL	UNDERWRITERS LABORATORY
DL	DEAD LOAD	N	NORTH	UNF	UNIFORM
DN	DOWN	NIC	NOT IN CONTRACT	UON	UNLESS OTHERWISE NOTED
DO	DITTO	NO.	NUMBER	V	BEAM END SHEAR
DWG	DRAWING	NOM	NOMINAL	VB	VERTICAL BRACE
DWL	DOWEL	NTS	NOT TO SCALE	VERT	VERTICAL
E	EAST	OC	ON CENTER	W	WALL, EST, WIDTH, WIDE FLANGE
EA	EACH	OD	OUTSIDE DIAMETER	W/	WITH
EF	EACH FACE	OPNG	OPENING	WL	WIND LOAD, WATER LEVEL, WORKING LINE
EJ	EXPANSION JOINT	OPP	OPPOSITE		
EL	ELEVATION	PL	PLATE	WP	WATER PROOF, WORKING POINT

STRUCTURAL LEGEND

P1	PRECAST CONCRETE PANEL	BEAM	CONNECTED TO A ROLLED SHAPE COLUMN WITH A STANDARD WELDED MOMENT CONNECTION STANDARD AISC ROLLED SHAPE BEAM
F1	SPREAD FOOTING MARK	10K1	STANDARD 'K' SERIES JOIST
P1	PLINTH MARK	⅃L	STEEL ANGLE BACK TO BACK
C1	COLUMN MARK	[	STANDARD ROLLED CHANNEL
CF1	CONTINUOUS WALL FOOTING MARK	□	HOLLOW STRUCTURAL SECTION
BW1	BASEMENT WALL MARK	○	STANDARD STEEL PIPE
RW1	RETAINING WALL MARK	Ø	DIAMETER
[BP1]	BASE PLATE MARK	#	NUMBER (BAR SIZE)
A	STRUCTURAL STEEL COLUMN SPLICE TYPE	⌷	SQUARE
24/24	STRAIGHT SHAFT DRILLED PIER/FOOTING	6"	SLAB DEPRESSION AND AMOUNT
B1 GB1 1B1	MILD REINFORCED CONCRETE BEAM MARK	DATUM RE: PLAN	ELEVATION FROM DATUM
J1	MILD REINFORCED CONCRETE JOIST MARK	DIM	DIMENSION TO FACE, COLUMN GRID OR CENTER LINE
S1	SPAN DIRECTION OF A MILD REINFORCED CONCRETE SLAB WITH MAIN REINFORCING MARK S1	45°	ANGLE IN DEGREES, MINUTES AND SECONDS
DECK TYPE 1	SPAN DIRECTION OF FLOOR OR ROOF RE: STRUCTURAL STEEL NOTES FOR TYPE INFORMATION	1	REVISION MARK
20K7SP V=5K	SPECIAL OPEN WEB STEEL JOIST, K SERIES WITH 5 KIPS END SHEAR	1 S101	SECTION OR DETAIL REFERENCE (DRAWN AS DETAIL 1 ON SHEET S101)
W27X84 <24'-0">	STANDARD AISC ROLLED SHAPE OF W27X84 AT ELEVATION 24'-0" FROM DATUM		
W27X84 c=1"	STANDARD AISC ROLLED SHAPE OF W27X84 WITH 1" UPWARD CAMBER	1 S101	SECTION OR DETAIL REFERENCE (DRAWN AS DETAIL 1 ON SHEET S101)
W27X84 c=1" 20K 20K	STANDARD AISC ROLLED SHAPE OF W27X84 WITH 20 KIPS BEAM END SHEAR		
W27X84 (10)	STANDARD AISC ROLLED SHAPE OF W27X84 WITH 10 HEADED SHEAR CONNECTORS EQUALLY SPACED		
W27X84 (10, 6, 12) BEAM BEAM	STANDARD AISC ROLLED SHAPE OF W27X84 WITH 28 HEADED SHEAR CONNECTORS EQUALLY SPACED FROM LEFT TO RIGHT AS 10 CONNECTORS / 6 CONNECTORS / 12 CONNECTORS	2 B	BUILDING GRID LINES "2" AND "B"
W27X84 <15k>	STANDARD AISC ROLLED SHAPE OF W27X84 WITH 15KIPS OF AXIAL LOADING		

STRUCTURAL CONCEPT, STANDARDS AND LOADS

A. DESIGN CONCEPT:

THE STRUCTURE AS SHOWN HAS BEEN DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS AND DESIGN STANDARDS TO SUPPORT THE FINAL BUILDING SERVICE LOADS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL SUPPORTS FOR THE STRUCTURE IF NECESSITATED BY THE CONSTRUCTION SEQUENCE OR METHODS OF FABRICATION, HANDLING, ERECTION, AND OTHER CONSTRUCTION OPERATIONS.

B. BUILDING CODES AND DESIGN STANDARDS:

1. INTERNATIONAL BUILDING CODE, 2015 EDITION.
2. AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE); MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7-10, AS AMENDED.
3. AMERICAN CONCRETE INSTITUTE (ACI), BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318, AS AMENDED.
4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, 14TH EDITION (ASD), AS AMENDED.
5. AMERICAN WELDING SOCIETY (AWS).
6. STEEL JOIST INSTITUTE (SJI), STANDARD SPECIFICATIONS FOR OPEN WEB STEEL JOISTS AND JOIST GIRDERS.
7. STEEL DECK INSTITUTE (SDI), DESIGN MANUAL FOR COMPOSITE DECKS, FORM DECKS, ROOF DECKS, AND CELLULAR METAL FLOOR DECK WITH ELECTRICAL DISTRIBUTION.
8. AMERICAN IRON AND STEEL INSTITUTE (AISI) "SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS", LATEST EDITION.

C. GRAVITY LOADS:

SUPERIMPOSED LOADS ARE GIVEN IN POUNDS PER SQUARE FOOT (PSF).

BUILDING AREA	DEAD LOAD (PSF)	LIVE LOAD (PSF)
STRUCTURAL SLAB OVER VOID FORMS	10	100
ROOF	20	20

D. LATERAL DESIGN LOADS:

1. WIND LOADS FOR AN ULTIMATE WIND SPEED OF 147 MPH 3-SECOND GUST, WITH EXPOSURE C AND A RISK CATEGORY III (ASCE 7-10 METHOD)
2. COMPONENT AND CLADDING PRESSURES ARE AS FOLLOWS:

TYPE	TRIBUTARY AREA	PRESSURES (PSF)		
		CORNER	PERIMETER	FIELD
WALLS	10 FT 2	+52, -69	-	+52, -56
ROOF	10 FT 2	+23, -42	+23, -95	+23, -57
PARAPET	10 FT 2	-	-	-

a. SEE THE REFERENCED INTERNATIONAL BUILDING CODE FOR DESCRIPTION OF CORNER, PERIMETER & FIELD.

b. POSITIVE PRESSURES ARE PRESSURES ACTING TOWARD THE BUILDING.

c. NEGATIVE PRESSURES ARE PRESSURES ACTING AWAY FROM THE BUILDING.

d. VALUES ABOVE ARE FOR ULTIMATE WIND PRESSURES. THE ASD FACTOR FOR NOMINAL PRESSURES IS 0.6.

E. GROUND SNOW LOADS: 0 PSF

F: SPECIAL LOADS:

1. STAIR TREADS, RAILING AND GUARDRAILS:

ITEM	REQUIRED CAPACITY
TREADS	300 POUNDS AT CENTER
TOP RAILS	50 PLF HORIZONTALLY
OTHER RAILS, FILLERS & CONNECTIONS	50 PSF HORIZONTALLY
HAND RAILS	200 POUNDS ANY DIRECTION

EXCAVATION, BACKFILLING & FOUNDATIONS

A. A GEOTECHNICAL EXPLORATION OF SUBSURFACE CONDITIONS, CONTAINING TEST BORINGS, LABORATORY TEST, ENGINEERING ANALYSIS AND FOUNDATION RECOMMENDATIONS, PERFORMED BY PARADIGM CONSULTANTS, INC. DATED DECEMBER 2019 REPORT NO. 19-1090 IS AVAILABLE FOR REVIEW.

B. MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION SO THAT PONDING OF WATER DOES NOT OCCUR IN THE BUILDING AREA.

C. SUB-GRADE PREPARATION:

1. PERFORM DEMOLITION OF EXISTING STRUCTURES AS REQUIRED BY THE SOIL REPORT. THE ENTIRE VOLUME OF THE EXCAVATIONS CREATED BY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES SHOULD BE BACKFILLED WITH ENGINEERED (SELECT) FILL THAT IS PROPERLY PLACED AND COMPACTED.

2. EXCAVATE EXISTING SOILS AS REQUIRED TO REMOVE ALL EXISTING VEGETATION ROOTS & DELETERIOUS MATERIALS FROM THE PROPOSED BUILDING AREA, & AS REQUIRED BY SOIL REPORT. THE CLEARING SHOULD EXTEND AT LEAST FIVE (5) FEET BEYOND THE BUILDING EDGES. ONCE ROUGH GRADE IS ESTABLISHED, THE EXPOSED SURFACE SHOULD BE PROOF-ROLLED IN ACCORDANCE WITH TxDOT ITEM 216 (2014).ANY SOFT POCKETS OF SOFT OR WEAK SOILS ENCOUNTERED SHOULD BE REMOVED. BUILD BUILDING PAD AS REQUIRED TO BRING PAD ELEVATION UP TO BOTTOM OF CARTON FORM VOID BOXES.

D. FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 3,000 PSF FOR DEAD PLUS SUSTAINED LOAD AND 4,500 PSF FOR TOTAL LOADS AT A MINIMUM EMBEDMENT DEPTH OF 14 FEET BELOW EXISTING GRADE ELEVATION

E. REFER TO THE GEOTECHNICAL EXPLORATION FOR ADDITIONAL INFORMATION.

F. INSTALL STRUCTURAL SLAB OVER 15 MIL VAPOR BARRIER OVER VOID BOXES.

GENERAL NOTES FOR CONSTRUCTION

A. THESE NOTES APPLY TO STRUCTURAL DOCUMENTS SEALED BY THE STRUCTURAL ENGINEER AND ARE INTENDED TO BE COMPLIMENTARY TO AND USED IN CONJUNCTION WITH THE PLANS AND SPECIFICATIONS, INCLUDING THOSE PREPARED BY OTHER DISCIPLINES. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER IMMEDIATELY. ANY SUCH DISCREPANCIES SHALL BE RESOLVED TO THE MORE STRINGENT REQUIREMENTS, UNLESS OTHERWISE AUTHORIZED BY ARCHITECT/ENGINEER.

B. IT IS THE INTENT OF THE STRUCTURAL DOCUMENTS TO DESCRIBE A FUNCTIONALLY COMPLETE STRUCTURAL PROJECT. ALL LABOR, DOCUMENTATION, SERVICES, MATERIALS, OR EQUIPMENT THAT MAY BE REASONABLY INFERRED FROM THESE DOCUMENTS OR FROM PREVAILING CUSTOM OR TRADE USAGE AS BEING REQUIRED TO PRODUCE THE INTENDED RESULT, WHETHER OR NOT SPECIFICALLY CALLED FOR, SHALL BE PROVIDED AT NO ADDITIONAL COST TO OWNER.

C. ANY DISCREPANCIES ON THE STRUCTURAL DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/STRUCTURAL ENGINEER PRIOR TO SUBMISSION OF BIDS OR PROPOSALS, OR IF NOT REASONABLY DISCERNABLE DURING PREPARATION OF BIDS AND PROPOSALS, BEFORE COMMENCING THE WORK IN QUESTION. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE ARCHITECT AND THE STRUCTURAL ENGINEER. NO CHANGE ORDER CONSIDERATION WILL BE GIVEN TO CHANGES FOR WHICH THE ARCHITECT AND STRUCTURAL ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.

D. ANY DEVIATION FROM, ADDITION TO, SUBSTITUTION FROM, OR MODIFICATION TO THE STRUCTURE OR ANY PART OF THE STRUCTURE DESCRIBED IN THESE DOCUMENTS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT/ENGINEER FOR REVIEW.

E. THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS AND METHODS OF CONSTRUCTION UNLESS SO STATED OR NOTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY PROGRAMS AND PRECAUTIONS IN CONNECTION WITH THE WORK, AND SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE WORK, OTHER PROPERTY, THE WORKMEN AND OTHER PERSONS DURING DEMOLITION AND CONSTRUCTION.

F. SITE OBSERVATION VISITS, IF MADE BY ENGINEER, ARE MADE FOR THE PURPOSE OF DETERMINING, FOR THE BENEFIT OF THE OWNER, THAT THE WORK IS GENERALLY PROCEEDING IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. SITE OBSERVATIONS ARE NOT INTENDED TO BE EXHAUSTIVE OR DETAILED INSPECTIONS OF CONTRACTOR'S WORK. CONTRACTOR RETAINS SOLE RESPONSIBILITY TO CONSTRUCT THE WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE REGULATIONS.

G. CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE STORED OR OPERATED ON FLOORS OR ROOFS IN EXCESS OF THE DESIGN LOADS INDICATED ON THE DRAWINGS. IMPACT SHALL BE AVOIDED WHEN PLACING MATERIALS ON FLOOR OR ROOFS.

H. REFER TO WALL SECTIONS AND ELEVATIONS FOR ADDITIONAL REINFORCEMENT, INSERTS, ANCHORS, ETC. REFER TO DRAWINGS AND SPECIFICATIONS FOR WATERPROOFING, FLASHING, METAL EXPANSION JOINTS, CAULKING, SEALANTS, ETC. CONTRACTOR SHALL COMPARE THE STRUCTURAL SECTIONS WITH THE ARCHITECTURAL SECTIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER PRIOR TO COMPLETION OF THE SHOP DRAWINGS.

I. NOT ALL OPENINGS AND OTHER COMPONENTS THAT ARE REQUIRED HAVE BEEN SHOWN IN THE STRUCTURAL DRAWINGS. COORDINATE WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND VERIFY THE LOCATIONS AND SIZES OF ALL CHASES, INSERTS, OPENINGS, SLEEVES, FINISHES, DEPRESSIONS, PADS AND OTHER PROJECT REQUIREMENTS. FLOOR PLAN WILL BE FURNISHED FOR THAT PURPOSE.

J. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE MECHANICAL, ELECTRICAL, PLUMBING AND ARCHITECTURAL DRAWINGS TO DETERMINE WHERE OPENINGS ARE REQUIRED IN REINFORCED CONCRETE BEAMS, SLABS AND WALLS.

K. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, DETAILING ALL THE OPENINGS, INCLUDING ADDED REINFORCEMENT AS SHOWN ON THE TYPICAL WALL, SLAB AND BEAM OPENING DETAILS FOR REVIEW.

L. ADDITIONAL REINFORCEMENT ABOVE THAT SHOWN IN THE TYPICAL SLAB AND BEAM OPENING DETAILS MAY BE REQUIRED AND WILL BE REVIEWED ON THE SHOP DRAWINGS.

M. USE THE MANUFACTURER'S CERTIFIED DRAWINGS AND SPECIFICATIONS FOR THE EQUIPMENT ANCHORAGE AND DETAILS.

N. ALL CONSTRUCTION JOINTS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE INCORPORATED INTO THE STRUCTURE. ADDITIONAL CONSTRUCTION JOINTS TO FACILITATE CONSTRUCTION SHALL BE LOCATED AND DETAILED ON THE SHOP DRAWINGS FOR REVIEW.

O. HORIZONTAL CONSTRUCTION JOINTS SHALL NOT BE PERMITTED IN BEAMS UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.

P. ALL CONSTRUCTION AND CONTROL JOINTS FOR BEAMS WHICH ARE EXPOSED TO VIEW ARE TO BE LOCATED TO COINCIDE WITH THE ARCHITECTURAL RUSTICATION JOINTS AS SHOWN ON THE BUILDING ELEVATION SHEETS OR AS REVIEWED IN WRITING.

Q. SHOP DRAWINGS:

1. THE TERM "SHOP DRAWINGS" INCLUDES FABRICATION, MANUFACTURING, ERECTION AND SETTING DRAWINGS, BROCHURES, CERTIFICATES, AND PRODUCT DATA DESCRIBING MATERIALS AND EQUIPMENT. SHOP DRAWINGS SHALL INCLUDE ALL PERTINENT INFORMATION REQUIRED FOR THE ENGINEER TO FULLY EVALUATE THE MATERIALS BEING REPRESENTED BY THE SUBMITTAL INCLUDING THE PHYSICAL PROPERTIES, DIMENSIONS, LOCATIONS AND METHOD OF INSTALLATION.
2. SHOP DRAWINGS WILL BEAR THE REVIEW STAMP OF THE CONTRACTOR INDICATING THAT HE HAS REVIEWED THE DRAWINGS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS; COORDINATED ITEMS INCLUDED IN THE SUBMITTAL WITH RELATED ITEMS; AND VERIFIED AND COORDINATED DIMENSIONS.
3. REPRODUCTIONS OF THE ENGINEERING DRAWINGS WILL NOT BE ACCEPTABLE AS SHOP DRAWINGS.
4. ANY SHOP DRAWING NOT CONFORMING TO THESE REQUIREMENTS WILL BE CAUSE FOR REJECTION AND WILL BE RETURNED WITHOUT ANY FURTHER ACTION.

INDEPENDENT TESTING LABORATORY & SPECIAL INSPECTIONS

A. A GEOTECHNICAL EXPLORATION OF SUBSURFACE CONDITIONS, CONTAINING TEST BORINGS, LABORATORY TEST, ENGINEERING ANALYSIS AND FOUNDATION RECOMMENDATIONS, PERFORMED IS AVAILABLE FOR REVIEW. SEE "EXCAVATION, BACKFILLING & FOUNDATIONS" SECTION.

B. EMPLOYMENT OF A TESTING LABORATORY IN NO WAY RELIEVES THE CONTRACTOR OF ANY OBLIGATION TO PERFORM WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

C. CONTRACTOR RESPONSIBILITIES:

1. DELIVER TO LABORATORY AT DESIGNATED LOCATION ADEQUATE SAMPLES OF MATERIALS PROPOSED TO BE USED WHICH REQUIRE TESTING, TOGETHER WITH PROPOSED MIX DESIGNS.
2. COOPERATE WITH LABORATORY PERSONNEL AND PROVIDE ACCESS TO WORK AND TO MANUFACTURER'S FACILITIES.
3. PROVIDE INCIDENTAL LABOR AND FACILITIES TO PROVIDE ACCESS TO WORK TO BE TESTED, TO OBTAIN AND HANDLE SAMPLES AT THE SITE OR AT SOURCE OF PRODUCTS TO BE TESTED, TO FACILITATE TEST AND INSPECTIONS AND FOR STORAGE AND CURING OF TEST SAMPLES.
4. NOTIFY LABORATORY OF MATERIAL SOURCES AND FURNISH NECESSARY QUANTITIES OF REPRESENTATIVE SAMPLES OF MATERIALS PROPOSED FOR USE WHICH ARE REQUIRED TO BE TESTED.
5. NOTIFY ARCHITECT AND LABORATORY 24 HOURS PRIOR TO EXPECTED TIME FOR OPERATIONS REQUIRING INSPECTION AND TESTING SERVICES.
6. ADVISE LABORATORY IN A TIMELY FASHION TO COMPLETE REQUIRED INSPECTION AND TESTING PRIOR TO SUBSEQUENT WORK BEING PERFORMED.
7. PAY FOR ALL SUBSEQUENT RE-TESTING OF PRODUCTS OR SYSTEMS FOUND TO BE DEFECTIVE OR OTHERWISE NOT IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. REMOVE REJECTED PRODUCTS AND REPLACE WITH PRODUCTS OF SPECIFIED QUALITY.

D. SPECIAL INSTRUCTIONS:

1. THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTOR(S) TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF CONSTRUCTION LISTED IN THIS SECTIONS. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE TO THE INSPECTIONS BEING PERFORMED TO THE SATISFACTION OF THE ENGINEER OF RECORD AND THE BUILDING OFFICIAL. THE SPECIAL INSPECTOR SHALL HAVE EXPERIENCE WITH AT LEAST FIVE OTHER PROJECTS SIMILAR IN NATURE.
2. THE PURPOSE OF THE INSPECTIONS SHALL BE TO ENFORCE COMPLIANCE WITH THE CONSTRUCTION DRAWINGS, SPECIFICATIONS, GEOTECHNICAL REPORT AND THE 2015 INTERNATIONAL BUILDING CODE (IBC), SECTION 1704.
3. THE FOLLOWING ITEMS REQUIRE INDIVIDUAL TESTS & INSPECTIONS BY THE SPECIAL INSPECTOR AS OUTLINED IN CHAPTER 17 OF THE IBC.

A. SOIL COMPACTION TESTS

B. DRILLED PIER/SPREAD FOOTING BEARING STRATA CONFIRMATION, INSPECTION AND TESTS

C. CONCRETE COMPRESSIVE STRENGTH TESTS

D. CONCRETE SLUMP TESTS

E. CONCRETE AIR CONTENT TESTS

F. STRUCTURAL STEEL FIELD WELD INSPECTION AND TESTS. INSPECT AND TEST 100% OF FULL PENETRATION WELDS.

G. STRUCTURAL STEEL BOLTED AND HIGH STRENGTH BOLTED CONNECTION INSPECTION AND TESTS

H. STEEL JOIST FIELD WELD INSPECTION

I. STEEL DECK FIELD WELD AND ATTACHMENT INSPECTION

NOTES:

1. PROVIDE A SET OF 4 TEST SAMPLES FOR EVERY 75 CY OF BUT NOT LESS THAN 1 TEST SAMPLE FOR EVERY 5,000 SF OF SLAB OR WALL SURFACE AREA. MONITOR SLUMP AND AIR CONTENT OF CONC. AND NOTIFY DELIVERY DRIVER IF SLUMP DEVIATES MORE THAN 1" FROM SPEC'D VALUE.
2. ALL DRILLED AND EPOXIED ANCHORS (REBAR, BOLTS, THREADED RODS ETC.) SHALL BE PULL TESTED TO 110% FOR NO LESS THAN 3 MIN.
3. ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE WILL BE PERFORMED TO DETERMINE COMPLIANCE OF REPLACED OR ADDITIONAL WORK WITH SPECIFIED REQUIREMENTS.
4. CORRECT DEFICIENCIES IN WORK THAT TEST REPORTS AND INSPECTIONS INDICATE DO NOT COMPLY WITH THE CONTRACT DOCUMENTS.
5. PROVIDE THE ENGINEER OF RECORD (EOR) COPIES OF ALL SPECIAL INSPECTIONS SO A SPECIAL INSPECTIONS REPORT CAN BE PREPARED FOR OBTAINING A CERTIFICATE OF OCCUPANCY.

CONCRETE

A. CONCRETE SCHEDULE:

BUILDING COMPONENT	28 DAY CYLINDER COMPRESSIVE STRENGTH POUNDS PER SQUARE INCH(PSI)					
	NORMAL WEIGHT			MAX AGGREGATE SIZE (IN)	SLUMP (IN)	W/C RATIO
	3000	3500	4000			
DRILLED PIERS	●			1 1/2"	5-7	0.55
GRADE BEAMS AND STRUCTURAL SLAB			●	1"	4-6	0.50
ALL OTHER CONCRETE	●			1"	4-6	0.52

B. PROVIDE DEFORMED NEW BILLET STEEL BARS CONFORMING TO ASTM A615, GRADE 60. ALL REINFORCING STEEL SHALL BE SECURELY HELD IN PLACE; PROVIDE ADDITIONAL BARS OR STIRRUPS FOR SUPPORT AS REQUIRED.

C. WELDED WIRE FABRIC SHALL CONSIST OF FLAT SHEETS AND SHALL CONFORM TO ASTM A185, WITH A MINIMUM YIELD STRENGTH OF 65.0 KSI

D. PROVIDE FULL EMBEDMENT WITH STANDARD 90 DEGREE HOOKS FOR ALL DOWELS. IF NOT OTHERWISE SPECIFIED, THE DOWEL SIZE AND SPACING SHALL BE THE SAME AS THE MAIN REINFORCING.

E. WHEN REINFORCING STEEL IN GRADE BEAMS, WALLS, SLABS AND BEAMS, IS NOTED AS CONTINUOUS, SPLICE REINFORCING STEEL ONLY WHEN UNAVOIDABLE DUE TO STOCK LENGTHS. STAGGER ALL SPLICES A MINIMUM OF 4'-0". ADJACENT BAR SPLICES ARE NOT ACCEPTABLE.
LOCATE THE TOP BAR SPLICES WITHIN THE MIDDLE HALF OF THE SPAN AND LOCATE THE BOTTOM BAR SPLICES AT SUPPORTS OR BETWEEN SUPPORTS AND 1/3 SPAN POINT, UNLESS NOTED OTHERWISE ON PLANS, DETAILS OR SCHEDULES.

F. PROVIDE INTERIOR AND EXTERIOR HORIZONTAL LAPPED CORNER BARS AT ALL CORNERS TO MATCH THE SIZE, TYPE AND SPACING OF THE WALL AND GRADE BEAM HORIZONTAL REINFORCING.

G. UNLESS SPECIFICALLY NOTED, SCHEDULED OR DETAILED OTHERWISE, PROVIDE DEVELOPMENT LENGTH FOR REINFORCING IN CONCRETE COMPONENTS IN ACCORDANCE WITH THE SCHEDULE IN NOTE H. BELOW. THIS SCHEDULE SHALL APPLY TO ALL DEVELOPMENT LENGTHS NOT OTHERWISE NOTED, DETAILED OR SCHEDULED IN THE DRAWINGS OR SPECIFICATIONS.

H. REINFORCING BAR DEVELOPMENT LENGTHS (Ld) IN INCHES FOR VARIOUS CONCRETE STRENGTHS IN POUNDS PER SQUARE INCH (PSI). TOP BARS ARE DEFINED AS HORIZONTAL REINFORCING SO PLACED IN A MEMBER THAT MORE THAN 12 INCHES OF CONCRETE IS CAST BELOW THE BAR. ALL OTHER CONDITIONS ARE CONSIDERED BOTTOM BARS FOR DEVELOPMENT AND SPLICE LENGTH PURPOSES.

BAR SIZE GRADE 60	Ld FOR TOP BARS 28 DAY CYLINDER CONCRETE STRENGTH (PSI)				Ld FOR BOTTOM BARS 28 DAY CYLINDER CONCRETE STRENGTH (PSI)			
	3000	4000	5000	6000	3000	4000	5000	6000
#3	22	19	17	16	17	15	13	12
#4	29	25	23	21	22	19	17	16
#5	36	31	28	26	28	24	22	20
#6	43	37	34	31	33	29	26	24
#7	63	54	49	45	48	42	38	34
#8	72	62	56	51	55	48	43	39
#9	81	70	62	57	62	54	48	44
#10	89	78	69	63	69	60	53	49
#11	98	85	76	70	76	66	59	54

J. PROVIDE LAP SPLICE LENGTHS FOR REINFORCING BARS 1.3 TIMES THE Ld NOTED IN NOTE H ABOVE.

1. WHEN TWO BARS OF DIFFERENT SIZES ARE LAPPED, THE SMALLER SIZE SHALL GOVERN THE LAP LENGTH UNLESS SPECIFICALLY NOTED.
2. WELDED OR MECHANICAL SPLICES CAPABLE OF DEVELOPING 125% OF THE BAR YIELD STRENGTH MAY BE USED IN LIEU OF THE LAPS. SUCH SPLICES MAY BE EITHER FULL BUTT WELDS OR SERIES "C CADWELDS OR EQUAL."

K. THE GENERAL NOTES, LAP LENGTHS OR DETAILS PERTAINING TO REINFORCING STEEL AS SHOWN ON THE DETAIL SHEETS OR OTHER SCHEDULES SHALL SUPERSEDE THE NOTES SHOWN ON THIS SHEET.

L. PROVIDE THE FOLLOWING COVER FOR CAST-IN-PLACE CONCRETE REINFORCING.

1. UNFORMED SURFACES IN CONTACT WITH EARTH: 3 INCHES
2. UNFORMED SURFACES OVER MOISTURE BARRIER: 2 INCHES
3. FORMED SURFACES EXPOSED TO EARTH OR WEATHER
   a. #6 AND LARGER: 2 INCHES
   b. #5 AND SMALLER: 1 1/2" INCHES
4. FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER
   a. SLABS AND WALLS: 3/4 INCHES
   b. BEAMS AND COLUMNS 1 1/2 INCHES

STRUCTURAL STEEL

A. ROLLED SHAPES:

1. ALL STRUCTURAL STEEL FOR ALL WIDE FLANGE MEMBERS SHALL CONFORM TO ASTM A992, GRADE 50, UNLESS OTHERWISE NOTED
2. ALL STRUCTURAL STEEL FOR HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE B WITH A MINIMUM YIELD OF 46KSI, UNLESS OTHERWISE NOTED.
3. ALL STRUCTURAL STEEL FOR PIPE SHALL CONFORM TO ASTM A53, TYPE E OR S, GRADE B, UNLESS OTHERWISE NOTED.
4. ALL STRUCTURAL STEEL FOR ANGLES, CHANNELS, PLATES AND MISCELLANEOUS STEEL SHALL CONFORM TO ASTM A36, UNLESS OTHERWISE NOTED.
5. ALL EXPOSED STEEL TO BE GALVANIZED.

B. CONNECTIONS

1. THE DESIGN OF STRUCTURAL STEEL CONNECTIONS IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE STEEL FABRICATOR, THE DESIGN OF THE CONNECTION SHALL BE PERFORMED BY A REGISTERED PROFESSIONAL ENGINEER.
2. PROVIDE STANDARD BOLTED CONNECTIONS CONFORMING TO AISC BOLTED CONNECTIONS, USING ASTM A325 BOLTS OR A490 BOLTS, FOR THE BEAM END SHEARS AND AXIAL FORCES INDICATED IN THE DOCUMENTS. PROVIDE MINIMUM OF TWO BOLTS FOR ALL CONNECTIONS.
3. ALL WELDED CONNECTIONS SHALL CONFORM TO AWS UNLESS OTHERWISE NOTED.
4. SURVEY ALL PLANS, DETAILS, SECTIONS, SCHEDULES AND SPECIFICATIONS FOR SPECIAL CONNECTIONS.
5. UNLESS OTHERWISE NOTED AND/OR SPECIFIED, DESIGN ALL BEAM CONNECTIONS TO SUPPORT 1/2 OF THE TOTAL MEMBER SIZE AND SPAN AS DETERMINED BY THE TABLES FOR ALLOWABLE UNIFORM LOADS ON BEAMS IN THE AISC MANUAL OF STEEL CONSTRUCTION (ALLOWABLE STRESS DESIGN).
6. WHERE BEAMS ARE TO RECEIVE HEADED SHEAR CONNECTORS, DESIGN THOSE BEAM CONNECTIONS FOR THE REACTION SHOWN. IF REACTIONS ARE NOT SHOWN, DESIGN THE CONNECTIONS TO SUPPORT 40 PERCENT OF THE MAXIMUM WEB SHEAR, V, FOR THE APPLICABLE MEMBER SIZE AS DETERMINED BY THE TABLES FOR ALLOWABLE UNIFORM LOADS ON BEAMS IN THE 13TH EDITION OF THE AISC MANUAL
7. UNLESS OTHERWISE NOTED, ALL MOMENT CONNECTIONS SHALL BE MADE WITH FULL PENETRATION WELDS AND SHALL BE DESIGNED TO DEVELOP THE FULL CAPACITY OF THE MEMBER.
8. WHERE FILLET WELD IS NOT SHOWN ON DETAIL, ITS SIZE SHALL BE ASSUMED TO BE THE PLATE THICKNESS OF THE THINNEST PIECE MINUS 1/16"

C. WELDING:

1. CONFORM TO "CODE FOR WELDING IN BUILDING CONSTRUCTION" BY THE AMERICAN WELDING SOCIETY, LATEST EDITION.
2. WELDS ON INDICATED ON DRAWINGS ARE TO BE FILLET ALL AROUND AS PRESCRIBED BY AISC SPECIFICATION, PROVIDE WELDING OF CONTINUOUS MEMBERS OF 2 INCHES OF 3/16" INCH FILLET STITCH WELDS AT 12 INCHES OC, STAGGERED EACH SIDE, UNLESS OTHERWISE NOTED.
3. FIELD PAINT ALL WELDS W/ "GALVILITE" BY Z.R.C. OR APPROVED EQUAL ARC WELDING ELECTRODES.
4. METAL DECK - E60XX
   STRUCTURAL STUDS - E6022 OR E6011, 3/32" RODS.
   ALL OTHER - E70XX LOW HYDROGEN, 250 DEGREE MIN. OVEN TEMP.
5. SIZE - ALL FILLETS ARE 1/16" LESS THAN MINIMUM THICKNESS TO BE WELDED
6. PROVIDE ULTRASONIC INSPECTION BY THE TESTING LABORATORY FOR ALL WELDS INDICATED AS PENETRATION WELDS.

E. STEEL DECK:

TYPE 1

1. PROVIDE STEEL ROOF DECK 1 1/2" DEEP TYPE B 20 GAUGE STEEL SHEETS AND CONFORMING TO ASTM A653, STRUCTURAL STEEL (SS), GRADE 33, GALVANIZED COATING DESIGNATION G60.
2. PROVIDE STEEL ROOF DECK WITH THE FOLLOWING MINIMUM SECTION PROPERTIES:
   a. MOMENT OF INERTIA: I =0.155 INCHES^4 /FOOT WIDTH
   b. SECTION MODULUS: Sp =0.186 INCHES^3 /FOOT WIDTH
   c. SECTION MODULUS: Sn =0.192 INCHES^3 /FOOT WIDTH
3. ATTACH STEEL ROOF DECK TO STEEL SUPPORTS AND AT SIDE LAPS AS FOLLOWS:
   a. POWDER-ACTUATED FASTENERS:
      SUPPORTS: "HILTI" X-HSN24 AND "HILTI" X-ENP-19L15, 36/5 PATTERN
      SIDELAPS: (4) #10 "TEK"
   b. SCREWS:
      SUPPORTS: #12 "TEK" SCREWS, 36/5 PATTERN
      SIDELAPS: (4) #10 "TEK"

COLD-FORMED METAL FRAMING:

A. PROVIDE COLD-FORMED METAL FRAMING, INCLUDING TRUSSES, STUDS, JOIST, TRACK, RUNNERS, LINTELS, CLIP ANGLES, REINFORCEMENTS, SHOES, BLOCKING, AND BRIDGING, COMPLETE WITH ALL FASTENERS, AND ACCESSORIES NEEDED FOR A COMPLETE AND FINISHED INSTALLATION.

B. THE STRUCTURAL DRAWINGS INDICATE THE GENERAL CONFIGURATION OF FRAMING FOR TYPICAL CONDITIONS ONLY. FINAL CONFIGURATION OF DETAILS AS WELL AS ALL SUPPLEMENTARY FRAMING TO OBTAIN THE ROOF PROFILES SHOWN ON THE PLANS SHALL BE AS DETERMINED BY DESIGN.

C. COLD-FORMED METAL FRAMING SHALL BE DESIGNED IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE (AISI) PUBLICATION: "SPECIFICATION FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS", LATEST EDITION. PROVIDE STEEL FOR RAFTERS. JOISTS, STUDS AND ACCESSORIES CONFORMING TO ASTM A1003, GRADE 50, STRUCTURAL QUALITY STEEL SHEET FORMED TO 'C' SHAPES, UNPUNCHED WITH STIFFENED FLANGES.

D. ALL STRUCTURAL MEMBERS SHALL BE FORMED FROM CORROSION-RESISTANT STEEL, CORRESPONDING TO THE REQUIREMENTS OF ASTM A653 AND A955, GRADE C, WITH A MINIMUM YIELD STRENGTH OF 50 KSI FOR STUDS AND JOISTS AND GRADE A, 33KSI, FOR RUNNERS. ALL STRUCTURAL MEMBERS SHALL BE ZINC COATED MEETING ASTM A525, G-60, OR EQUIVALENT. TYPICAL.

E. FASTENING OF COMPONENTS SHALL BE WITH SELF-DRILLING SCREWS OR BY WELDING. SCREWS AND WELDS SHALL BE OF SUFFICIENT SIZE TO ENSURE THE STRENGTH OF THE CONNECTION. ALL WELDS SHALL BE TOUCHED-UP WITH A ZINC-RICH PAINT.

F. SUBMIT SHOP DRAWINGS FOR ALL FRAMING PREPARED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER, AND CALCULATIONS, SIGNED AND SEALED BY SAID ENGINEER, FOR REVIEW PRIOR TO ERECTION OF ANY COLD-FORMED METAL FRAMING.

G. TEMPORARY BRACING, WHERE REQUIRED, SHALL BE PROVIDED UNTIL ERECTION IS COMPLETE.

H. THE INFORMATION PROVIDED SHALL TAKE INTO ACCOUNT AND SHOW ALL SPECIAL DESIGN, FRAMING AND CONNECTION REQUIREMENTS SUCH AS AT CONCENTRATED LOADS, UNBALANCED OR UNSYMMETRICAL LOAD CONDITIONS, AND OTHER NON-TYPICAL FRAMING DETAILS.

I. SPLICES IN FRAMING COMPONENTS, OTHER THAN RUNNER TRACK, SHALL NOT BE PERMITTED.

J. BLOCKING SHALL BE PROVIDED AT SUPPORTS WHERE JOISTS ARE NOT OTHERWISE RESTRAINED FROM ROTATION.

K. ABUTTING LENGTHS OF RUNNER TRACK SHALL BE BUTT-WELDED, SPLICED OR EACH LENGTH SECURELY ANCHORED TO A COMMON STRUCTURAL ELEMENT. RUNNER TRACK SHALL BE SECURELY ANCHORED TO THE SUPPORTING STRUCTURE.

L. MEMBER PERFORMANCE:

1. RAFTERS AND HEADERS: VERTICAL DEFLECTION IS LIMITED TO 1/240 OF THE SPAN.
2. STUDS: HORIZONTAL DEFLECTION IS LIMITED TO 1/240 OF THE SPAN (TYPICAL); FOR BRICK VENEER 1/600 OF THE SPAN.

M. PROVIDE MEMBERS WITH THE FOLLOWING MINIMUM SECTION PROPERTIES:

SECTION	GAUGE	Ix (MOMENT OF INERTIA	Sx (SECTION MODULUS)	FY (YIELD STRENGTH)
3 5/8"	18	0.710 IN4	0.392 IN3	33 KSI
6"	18	2.317 IN4	0.772 IN3	33 KSI
8"	18	4.635 IN4	1.159 IN3	33 KSI
3 5/8"	16	0.873 IN4	0.482 IN3	50 KSI
6"	16	2.863 IN4	0.954 IN3	50 KSI
8"	16	5.740 IN4	1.435 IN3	50 KSI

Dally + ASSOCIATES
STRUCTURAL | CIVIL

9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm
F-003426

PROJECT: 19-366-00

STAFFORD SPARTANS

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

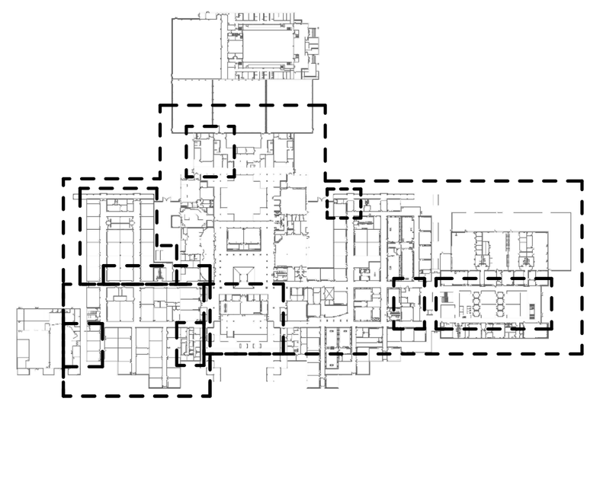
STATE OF TEXAS
FRED DALLY
90904
LICENSED PROFESSIONAL ENGINEER
3/12/20

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-2020	Issue for Bid, Permit and Construction



KEY PLAN

TRUE NORTH PLAN NORTH

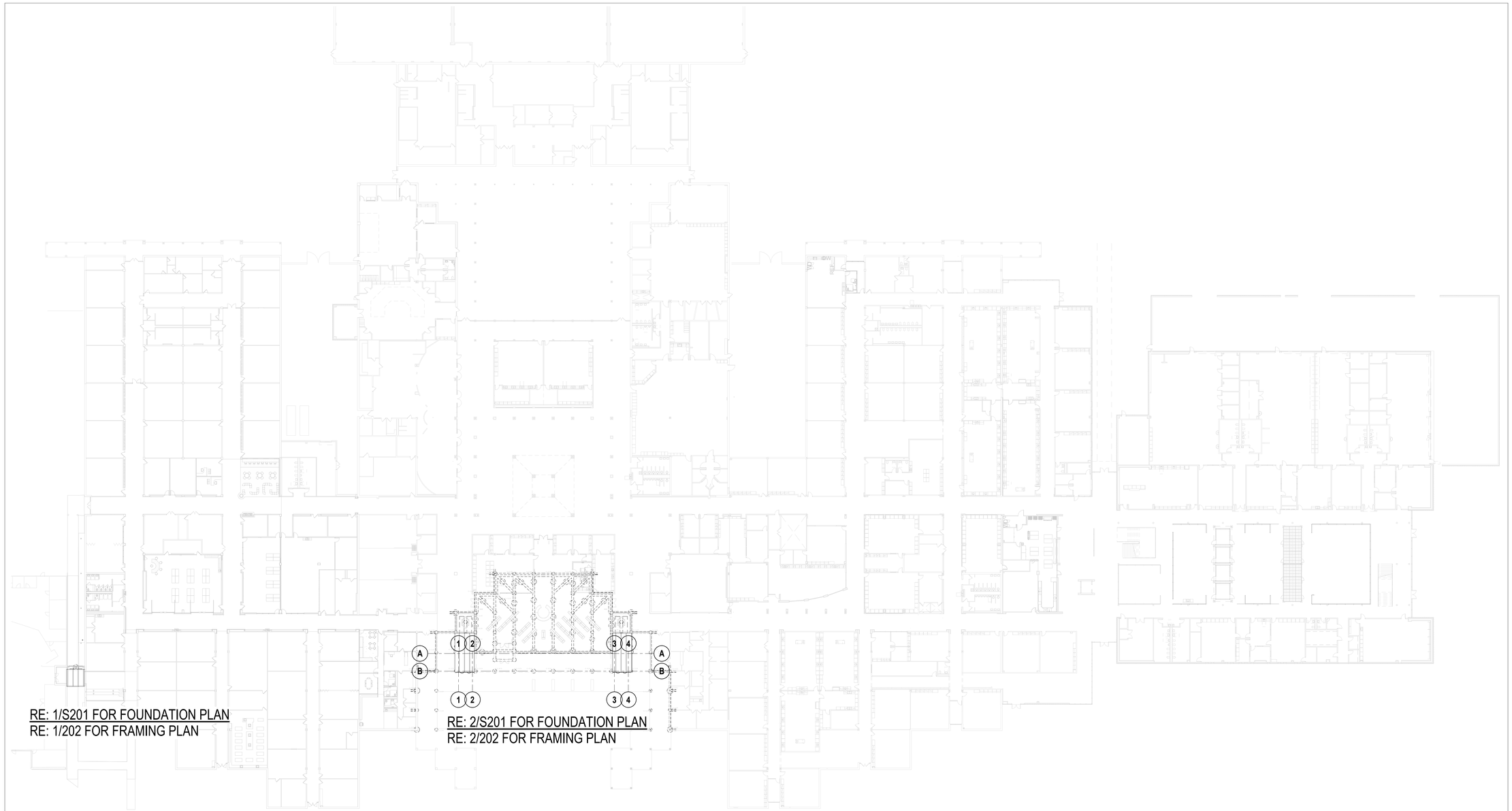
Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM

Drawing Title

STRUCTURAL GENERAL CRITERIA

Drawing Number S101

3/12/2020 10:38:03 AM



RE: 1/S201 FOR FOUNDATION PLAN
RE: 1/202 FOR FRAMING PLAN

RE: 2/S201 FOR FOUNDATION PLAN
RE: 2/202 FOR FRAMING PLAN

1 OVERALL FLOOR PLAN
1" = 30'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

FRED DALLY
90904
LICENSED
PROFESSIONAL
ENGINEER
STATE OF TEXAS

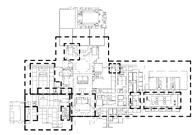
3/12/20

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-20	Issue for Bid, Permit and Construction



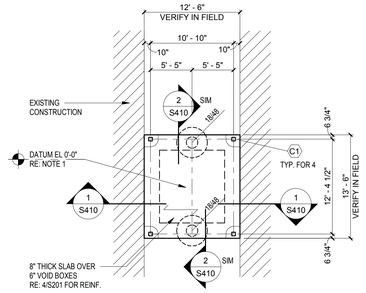
KEY PLAN
TRUE NORTH
PLAN NORTH

Dally + ASSOCIATES
STRUCTURAL | CIVIL

9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm
F-003426
PROJECT: 19-366-00

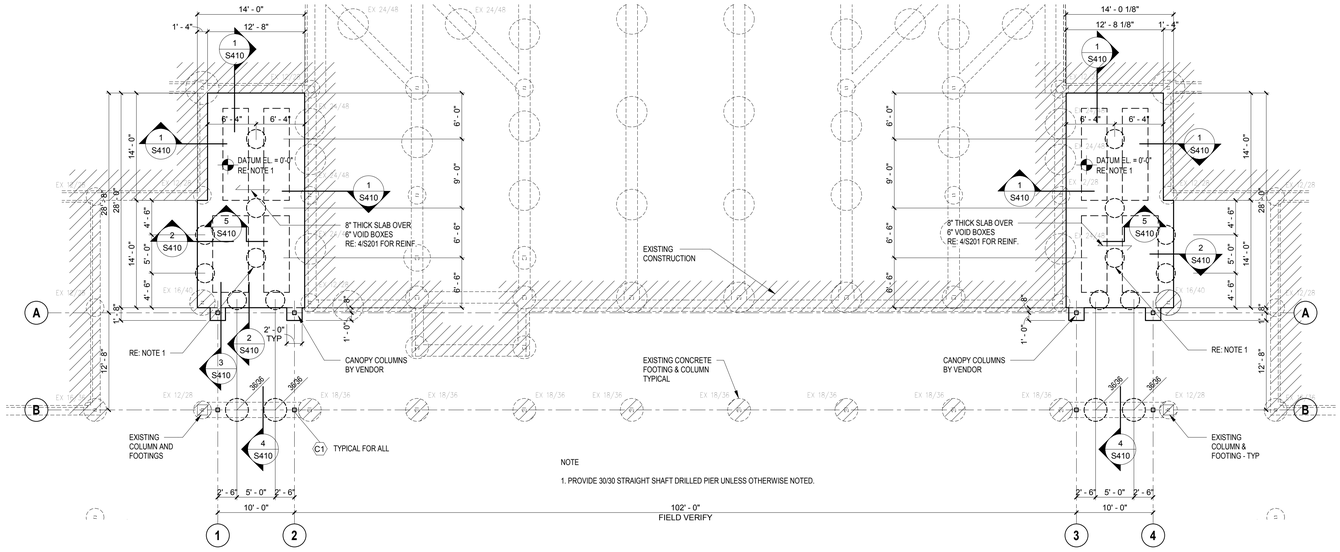
Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM
Drawing Title	OVERALL FLOOR PLAN
Drawing Number	S200

3/12/2020 10:38:07 AM

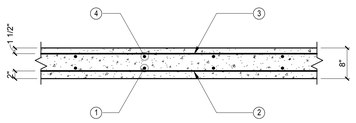


NOTE:
C.C. TO FIELD-VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITY LINES BEFOR DRILLING PIERS AND RE-LOCATE AS NEEDED TO AVOID CONFLICT WITH DRILLED PIERS.

1 CORRIDOR FOUNDATION PLAN
1/8" = 1'-0"



2 LIBRARY/CANOPIES FOUNDATION PLAN
1/8" = 1'-0"

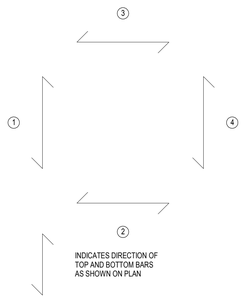


SLAB SECTION

BAR PLACEMENT ORDER

1. INDICATES BOTTOM BARS #5 @ 12" OC - PLACED FIRST
2. INDICATES BOTTOM BARS TEMP REINF #4 @ 18" OC - PLACED SECOND
3. INDICATES TOP BARS TEMP REINF #4 @ 18" OC - PLACED THIRD
4. INDICATES TOP BARS #5 @ 12" OC - PLACED LAST

BAR PLACEMENT DIAGRAM



3 ONE-WAY SLAB REINFORCEMENT DETAIL
3/4" = 1'-0"

FOUNDATION PLAN NOTES

1. DATUM ELEVATION 0'-0" CORRESPONDS TO FFE = MATCH EXISTING.
2. ALL ELEVATIONS ARE RELATIVE TO DATUM ELEVATION, UON.
3. TOP OF DRILLED PIERS (TOF) ELEVATION IS TO UNDERSIDE OF GRADE BEAM. 24/24" INDICATES 24" DIAMETER STRAIGHT SHAFT.
4. RE: 1/S301 DRILLED PIER SCHEDULE.
5. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR EXTENT OF SLAB OPENINGS AND DEPRESSIONS.
6. VERIFY ALL SLOPES, DEPRESSIONS, ELEVATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
7. ALL FOOTING AND PLINTHS ARE CENTERED ON THE COLUMN AND GRADE BEAM CENTER LINES, UNLESS OTHERWISE NOTED.
8. RE: S302 FOR STEEL COLUMN AND BASE PLATE SCHEDULES AND DETAILS.
9. RE: DETAIL 6/S401 FOR TYPICAL REQUIREMENTS FOR ALL UNDERGROUND PLUMBING LINES. RE: MECHANICAL DRAWINGS FOR MORE INFO AND FOR LOCATIONS OF UNDERGROUND LINES.
10. OBTAIN ENGINEER'S APPROVAL OF PROPOSED CONSTRUCTION JOINT LAYOUT PRIOR TO PROCEEDING WITH THE WORK.

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

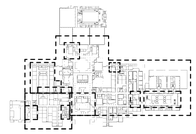
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-20	Issue for Bid, Permit and Construction

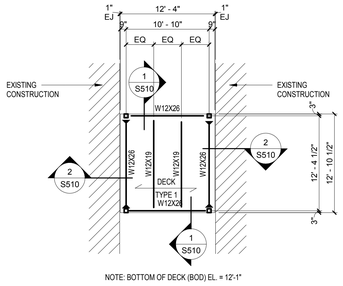


KEY PLAN — TRUE NORTH — PLAN NORTH

Dally + ASSOCIATES
STRUCTURAL | CIVIL
9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm
F-003426
PROJECT: 19-366-00

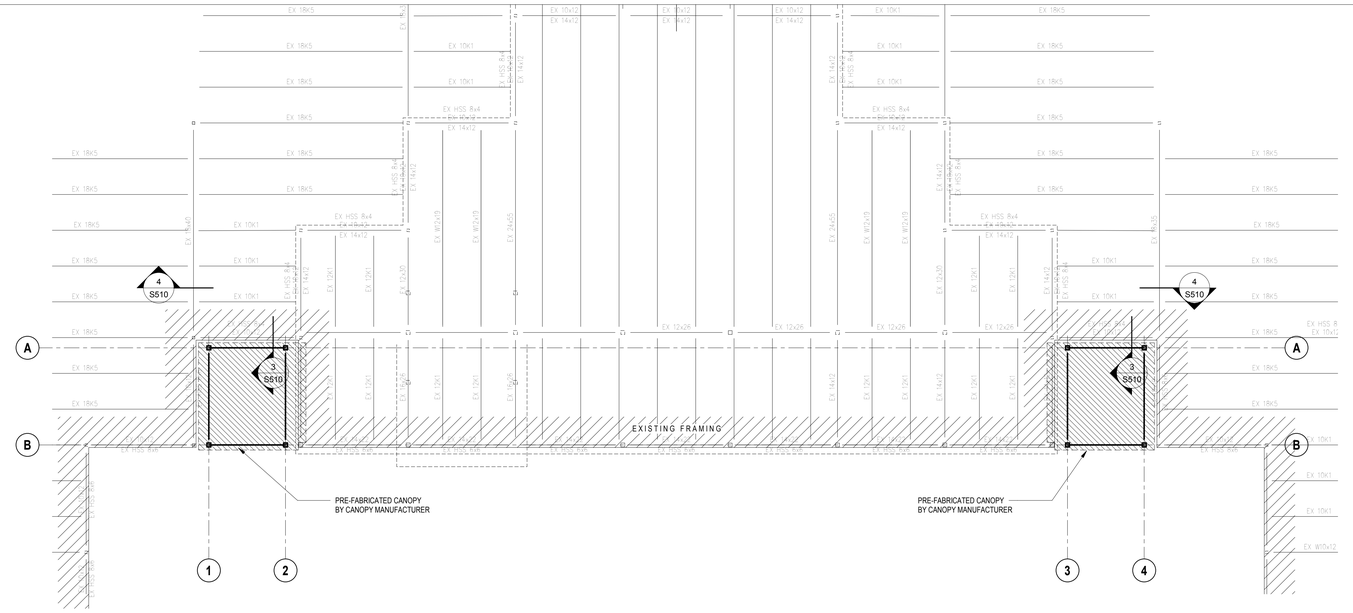
Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM
Drawing Title	FOUNDATION PLANS
Drawing Number	S201

3/12/2020 10:38:07 AM



NOTE: BOTTOM OF DECK (BOD) EL. = 12'-1"

1 CONNECTOR FRAMING PLAN
1/8" = 1'-0"



2 LIBARARY/CANOPIES FRAMING PLAN
1/8" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

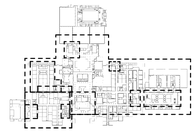
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-20	Issue for Bid, Permit and Construction



KEY PLAN — TRUE NORTH — PLAN NORTH

Dally + ASSOCIATES
STRUCTURAL | CIVIL

9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm
F-003426
PROJECT: 19-366-00

Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM
Drawing Title	ROOF FRAMING PLANS

Drawing Number **S202**

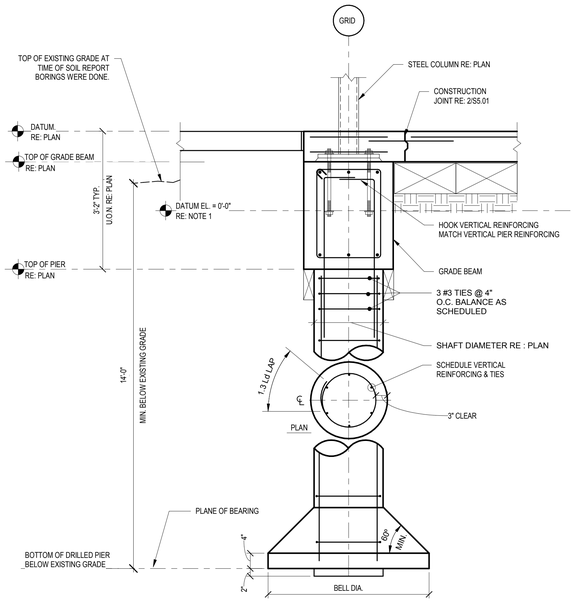
3/12/2020 10:38:07 AM

1. DRILLED PIER SCHEDULE

SHAFT DIAMETER	VERTICAL REINFORCING		TIES		REMARKS
	NUMBER	SIZE	SIZE	SPACING	
18	6	#5	#3	10	
30	8	#6	#3	12	

A. TYPICAL DRILLED PIER

NO SCALE



B. DRILLED PIER GENERAL NOTES

1. A GEOTECHNICAL REPORT IS AVAILABLE FOR REVIEW RE: S/S1.10
2. THE INDEPENDENT TESTING LABORATORY SHALL CONFIRM THE ALLOWABLE SOIL BEARING CAPACITY IN THE FIELD AT THE ELEVATION DESIGNATED AS THE PLANE OF BEARING FOR THE DRILLED PIER.
3. THE INDEPENDENT TESTING LABORATORY SHALL INSPECT THE BOTTOM AND SIDES OF THE DRILLED PIER PRIOR TO PLACING REINFORCING AND CONCRETE.
4. CENTER ALL DRILLED PIERS UNDER THEIR COLUMNS, UON.
5. MAINTAIN CLOSE AND ACCURATE DRILLING PRACTICES TO ACHIEVE CLOSE TOLERANCES WITH THE REINFORCING STEEL AND THE ANCHOR ROD TEMPLATE.
6. ALL REINFORCING STEEL FOR DRILLED PIERS SHALL BE DEFORMED NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.
7. ALL SCHEDULED REINFORCEMENT SHALL BE UNIFORMLY DISTRIBUTED.
8. DEPOSIT CONCRETE TO ITS FINAL POSITION BY THE USE OF A TREMIE.
9. CONSOLIDATE CONCRETE IN ITS FINAL POSITION BY VIBRATING.
10. G.C. SHALL PERFORM TEST PIERS AS RECOMMENDED IN SOIL REPORT PRIOR TO CONSTRUCTION OF BUILDING PIERS TO CONFORM CONSTRUCTION FEASIBILITY OF DRILLED AND UNDERREAMED PIERS.
11. STRAIGHT SHAFT PIERS AS INDICATED ON PLAN TO BE DRILLED TO DEPTH AS INDICATED ON DETAIL 1A.

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-2020	Issue for Bid, Permit and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM
Drawing Title	DRILLED PIER & PLINTH SCHEDULE & DETAILS

Drawing Number **S301**

Dally + ASSOCIATES
STRUCTURAL | CIVIL

9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm
F-003426

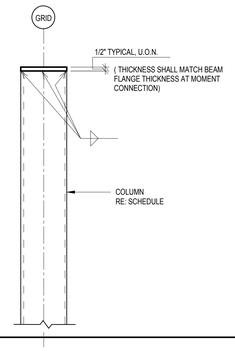
PROJECT: 19-366-00

3/12/2020 10:38:06 AM

1. STRUCTURAL STEEL COLUMN SCHEDULE AND DETAILS

LEVEL	COLUMN MARK	C1
CAP PLATE DETAIL		A/S302
ROOF LEVEL RE: PLAN		
		HSS 6x6x1/2
F.F.E. = 0'-0"		
BOTTOM OF BASE PLATE EL.		- 6 1/2"
BASE PLATE MARK (U.N.O. ON PLAN)		BP1
REMARKS		-

A. CAP PLATE DETAIL
(NO SCALE)



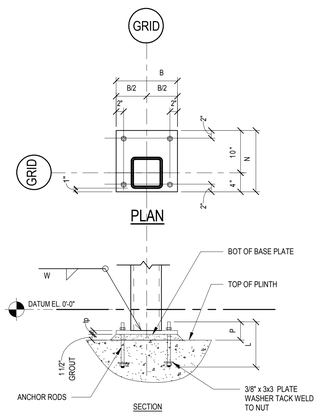
B. COLUMN GENERAL NOTES

1. PROVIDE STRUCTURAL STEEL FOR W SHAPES CONFORMING TO ASTM 992, GRADE 50.
2. PROVIDE STRUCTURAL STEEL FOR HSS COLUMNS CONFORMING TO ASTM A500, GRADE B.
3. PROVIDE STEEL FOR STIFFENER PLATES, CONNECTION PLATES AND ANGLES CONFORMING TO ASTM A36.
4. SAW OR MILL SURFACES NOTED FIN. (FINISHED) FOR TRUE AND FULL CONTACT.
5. USE E70XX WELDING ELECTRODES FOR ALL WELDS, UNLESS OTHERWISE NOTED.
6. WEB DOUBLER PLATES ARE NOT REQUIRED.

C. COLUMN REMARKS

2. BASE PLATE SCHEDULE AND DETAILS

PLATE MARK	PLATE TYPE	DIMENSIONS B (IN)	b1	b2	N (IN)	n1	n2	tp (IN)	ANCHOR RODS NUMBER	DIA. (IN)	PROJECTION, P (IN)	LENGTH, L (IN)	WELD SIZE W (IN)	REMARKS
BP1	A	14"	-----	-----	14"	-----	-----	1"	4	1"	6	2'-0"	5/16	



TYPE A

E. BASE PLATE GENERAL NOTES

1. PROVIDE STEEL FOR BASE PLATES CONFORMING TO ASTM A36.
2. PROVIDE HOLES IN BASE PLATES 7/16" LARGER THAN THE SCHEDULED ANCHOR ROD DIAMETER.
3. PROVIDE ANCHOR RODS CONFORMING TO ASTM F1554, GRADE 55 WELDABLE.
4. PROVIDE ANCHOR RODS WITH PLATE WASHERS AND HEX NUTS.
5. USE E70XX WELDING ELECTRODES FOR ALL WELDS, UNLESS OTHERWISE NOTED.
6. MILL SURFACES NOTED FIN. (FINISHED) FOR TRUE AND FULL CONTACT.
7. SET ANCHOR RODS WITH TEMPLATE.
8. PROVIDE NON-METALLIC SHRINK-RESISTANT GROUT WITH 8000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28-DAYS.

Dally + ASSOCIATES
STRUCTURAL | CIVIL
9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm F-003426

PROJECT: 19-366-00

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

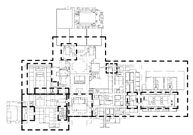
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-2020	Issue for Bid, Permit and Construction

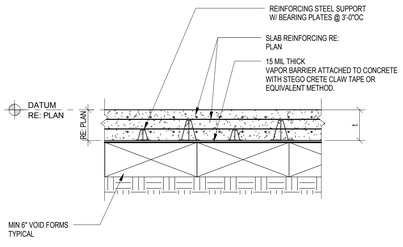


KEY PLAN — TRUE NORTH — PLAN NORTH

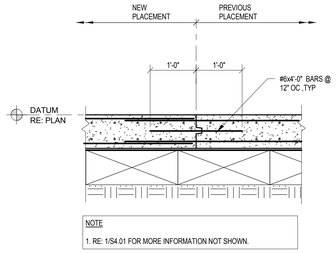
Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM
Drawing Title	COLUMN SCHEDULE

Drawing Number: S302

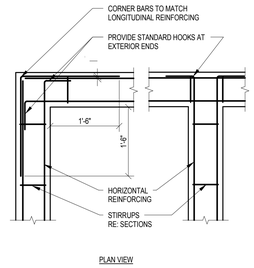
3/12/2020 10:38:08 AM



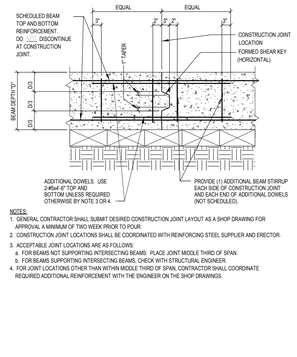
1 TYPICAL STRUCTURAL SLAB DETAIL
3/4" = 1'-0"



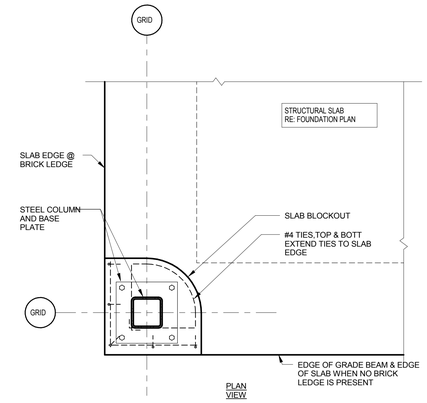
2 TYPICAL SLAB CONSTRUCTION JOINT (CSJ)
3/4" = 1'-0"



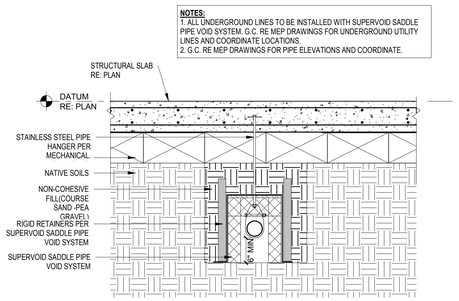
3 TYPICAL GRADE BEAM INTERSECTION
3/4" = 1'-0"



4 TYPICAL GRADE BEAM CONSTRUCTION JOINT
NTS



5 CORNER COLUMN BLOCKOUT
3/4" = 1'-0"



2 TYPICAL DETAIL AT BUILDING UNDERGROUND PLUMBING LINES VOID
3/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

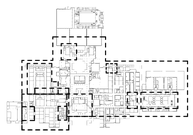
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-2020	Issue for Bid, Permit and Construction



KEY PLAN — TRUE NORTH — PLAN NORTH

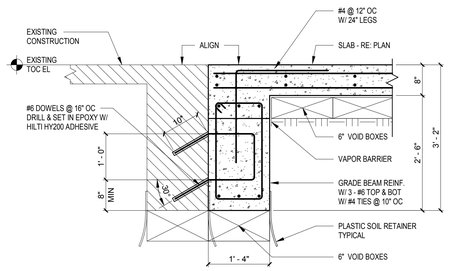
Dally + ASSOCIATES
STRUCTURAL | CIVIL

9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm
F-003426
PROJECT: 19-366-00

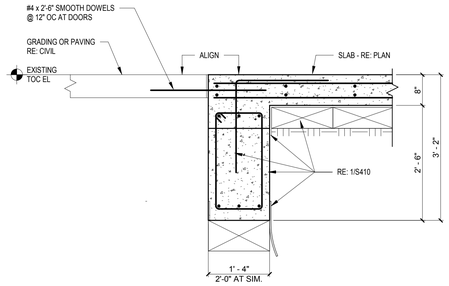
Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM
Drawing Title	TYPICAL FOUNDATION DETAILS

Drawing Number **S401**

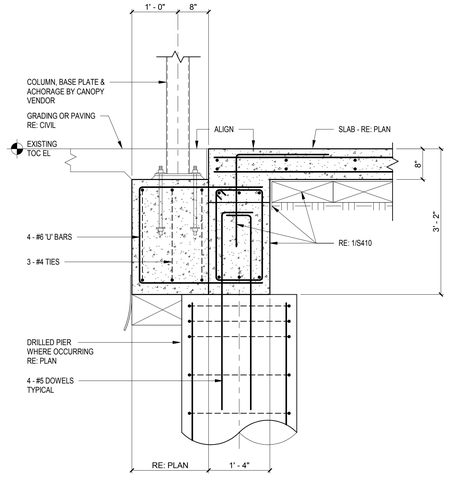
3/12/2020 9:39:09 AM



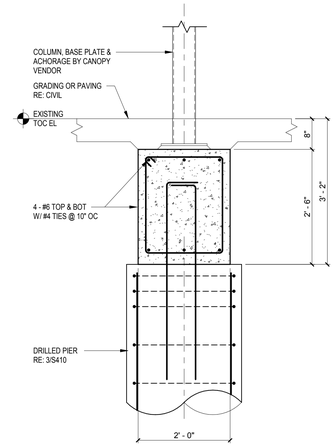
1 **SECTION**
3/4" = 1'-0"



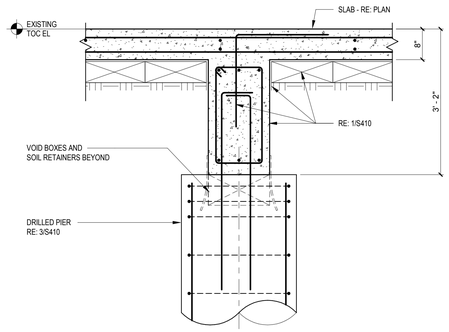
2 **SECTION**
3/4" = 1'-0"



3 **SECTION**
3/4" = 1'-0"



4 **SECTION**
3/4" = 1'-0"



5 **SECTION**
3/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

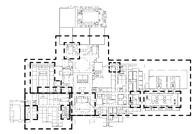
3/12/20

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-20	Issue for Bid, Permit and Construction



KEY PLAN — TRUE NORTH — PLAN NORTH

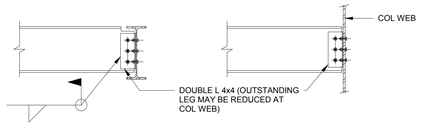
Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM
Drawing Title	FOUNDATION DETAILS
Drawing Number	S410

Dally + ASSOCIATES
STRUCTURAL | CIVIL

9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm
F-003426

PROJECT: 19-366-00

3/12/2020 10:38:09 AM



NOTES:

1. REFER TO AISC - MANUAL OF STEEL CONSTRUCTION (SECTION 1).

2. ALLOWABLE WELD CAPACITY IS BASED UPON A BEAM WEB THICKNESS OF 1/2" FOR A36 MATERIAL AND 3/8" FOR ASTM A572, GRADE 50 MATERIAL. REDUCE THIS CAPACITY PROPORTIONALLY FOR A LESSER WEB THICKNESS.

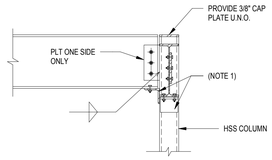
3. THE SUPPORTING PLATE CAPACITY SHALL BE BASED UPON AN ALLOWABLE LOAD PER BOLT OF 65 KIPS PER INCH OF PLATE THICKNESS FOR A36 MATERIAL OR 73 KIPS PER INCH OF PLATE THICKNESS FOR ASTM A572, GRADE 50 MATERIAL. FOR BEAM CONNECTIONS ON TWO SIDES, THE SUM OF THE LOADS PER BOLT SHALL BE CONSIDERED.

4. FOR COPED BEAM CONNECTIONS, THE CAPACITY OF THE NET SHEAR AREA OF THE WEB SHALL BE VERIFIED.

5. THE CAPACITY OF THE CONNECTION SHALL BE THE LESSER VALUE OF THE ALLOWABLE BOLT CAPACITY, ALLOWABLE WELD CAPACITY, SUPPORTING PLATE CAPACITY OR THE WEB NET SHEAR AREA CAPACITY.

6. AT DOUBLE CONNECTIONS (WHEN BEAMS FRAME OPPOSITE EACH OTHER) PROVIDE A TEMPORARY SEAT ANGLE WITH (2) 3/4"Ø BOLTS UNDER THE FIRST BEAM END, TO WEB OR FLANGE, PER OSHA REQUIREMENTS.

1 BEAM TO BEAM CONNECTION
N.T.S.



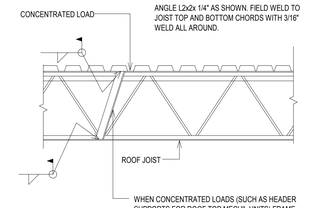
NOTES:

1. CONN. TO BE ADEQUATE FOR AXIAL BRACING FORCE = 1% OF WORKING COLUMN LOAD IN ADDITION TO END REACTION DETERMINED PER STEEL GENERAL NOTES SHEET (U.N.O. ON DWG.) ALLOWABLE STRESS CAN BE INCREASED 1/3 FOR THIS CONDITION. COLUMN LOAD WILL BE FURNISHED OR CAN BE DETERMINED FROM AISC MANUAL FOR FLOOR TO FLOOR HEIGHT.

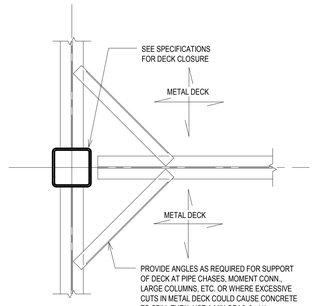
2. SINGLE PLATE CONNECTION IS ALLOWED ONLY WHEN AXIAL FORCE BRACING THE COLUMN IS LESS THAN 20 KIPS. THE DESIGN OF SINGLE PLATE CONNECTION WITH AXIAL FORCE LESS THAN 20 KIPS. SHOULD BE SUBSTANTIATED BY CALCULATION AND IS SUBJECT TO ENGINEER'S APPROVAL.

3. AT FIELD WELDED CONNECTIONS, PROVIDE L4x4x3/8" x COLUMN WIDTH (SEAT ANGLE), PER OSHA REQUIREMENTS.

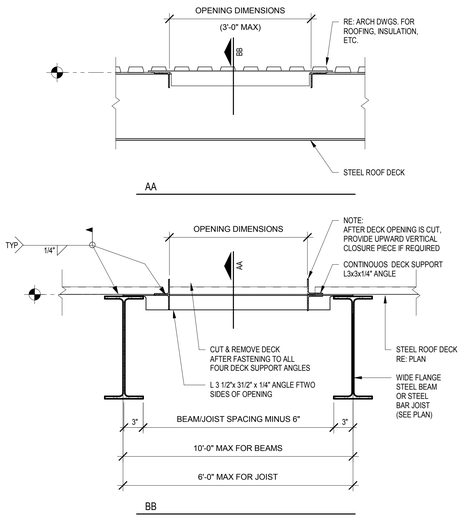
2 BEAM TO COLUMN CONNECTION
N.T.S.



3 LOAD OFFSET FROM JOIST PANEL POINT
3/4" = 1'-0"



4 TYP. DETAIL FOR SUPPORT OF METAL DECK AT COL
3/4" = 1'-0"



ROOF

NOTES:

1. THESE DETAILS APPLY TO ALL OPENINGS WITH A DIMENSION GREATER THAN 12'.
2. THESE DETAILS APPLY TO FLOOR DRAINS, ROOF DRAINS, & OVERFLOWN DRAINS.
3. NOTE THAT ANGLE FRAME AND OPENING MAY BE REQUIRED THAT ARE NOT INDICATED ON THE STRUCTURAL DRAWINGS.
4. COORDINATE WITH ARCHITECTURAL & M.E.P. DRAWINGS FOR SLEEVES, CURBS, INSERTS, ETC... NOT INDICATED ON THE STRUCTURAL DRAWINGS.
5. THE LOCATION OF SLEEVES & OR OPENINGS SHALL BE SUBMITTED TO ASA DALLY INC. FOR REVIEW.
6. HEAVIER STRUCTURAL MEMBERS MAY BE REQUIRED FOR OPENINGS LARGER THAN INDICATED IN THIS DETAIL.

5 TYPICAL FRAMING OPENING AT
3/4" = 1'-0"

3/12/2020 10:38:09 AM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

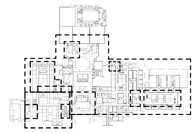
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-2020	Issue for Bid, Permit and Construction



KEY PLAN — TRUE NORTH — PLAN NORTH

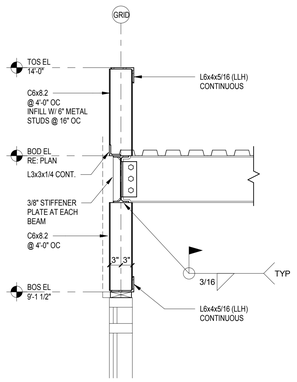
Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM
Drawing Title	TYPICAL FRAMING DETAILS

Drawing Number **S501**

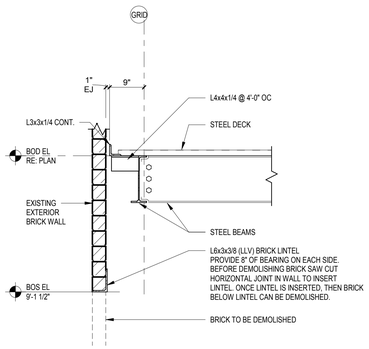
Dally + ASSOCIATES
STRUCTURAL | CIVIL

9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm
F-003426

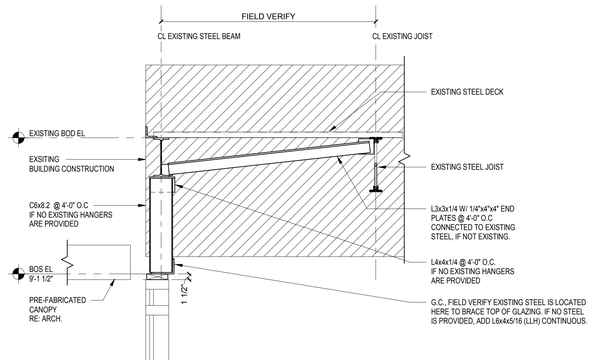
PROJECT: 19-366-00



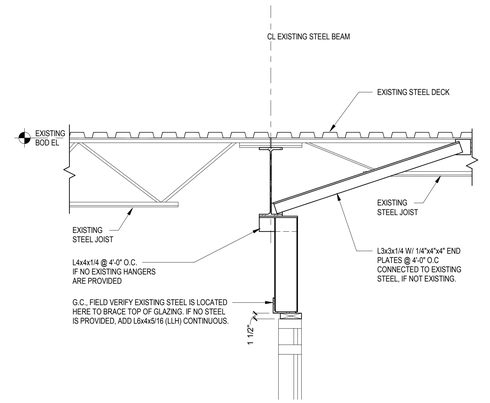
1 **SECTION**
3/4" = 1'-0"



2 **SECTION**
3/4" = 1'-0"



3 **SECTION**
3/4" = 1'-0"



4 **SECTION**
3/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD
STAFFORD, TX 77477

#	Date	ISSUED FOR
	03-12-2020	Issue for Bid, Permit and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	JGC
Checked By	LM
Approved By	LM
Drawing Title	FRAMING DETAILS

Drawing Number **S510**

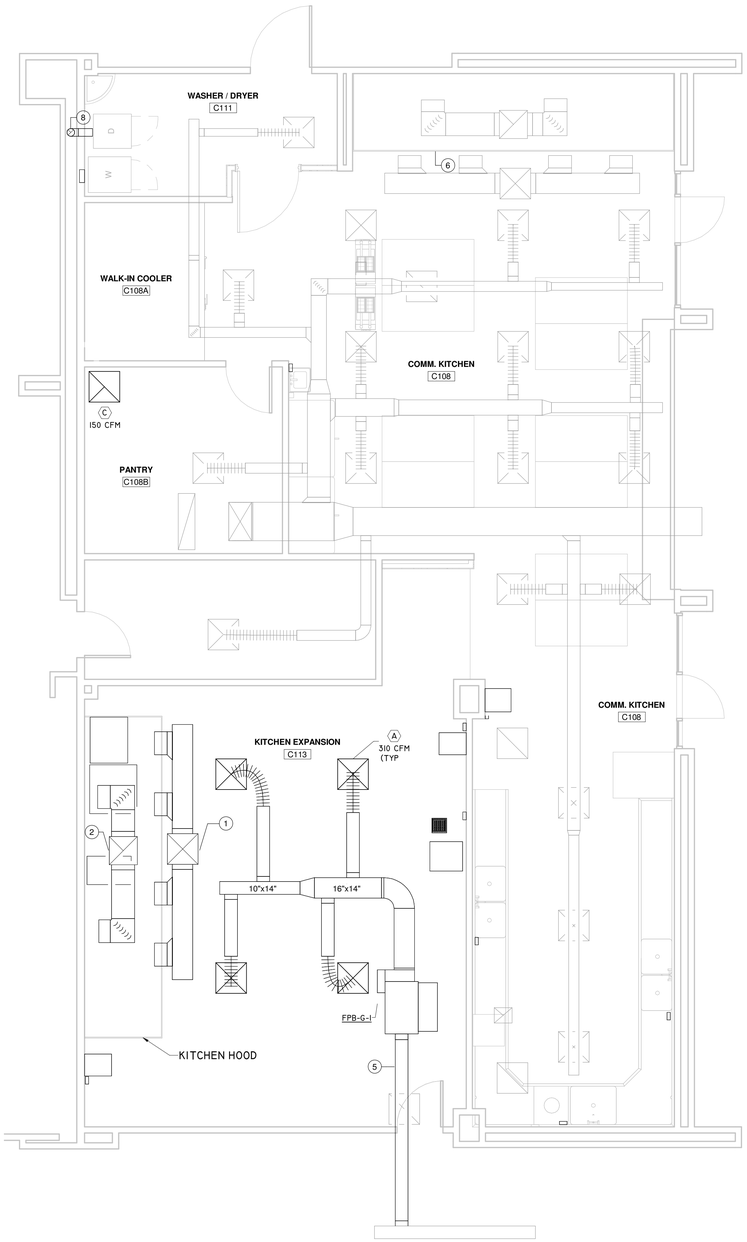
Dally + ASSOCIATES
STRUCTURAL | CIVIL

9800 Richmond Avenue, Suite 460
Houston, Texas 77042
t 713 337 8881
Texas Registered Engineering Firm
F-003426

PROJECT: 19-366-00

3/12/2020 10:38:10 AM

NOTE: WORK INDICATED IN THIS DETAIL SHALL BE PRICED AS ALTERNATE 1

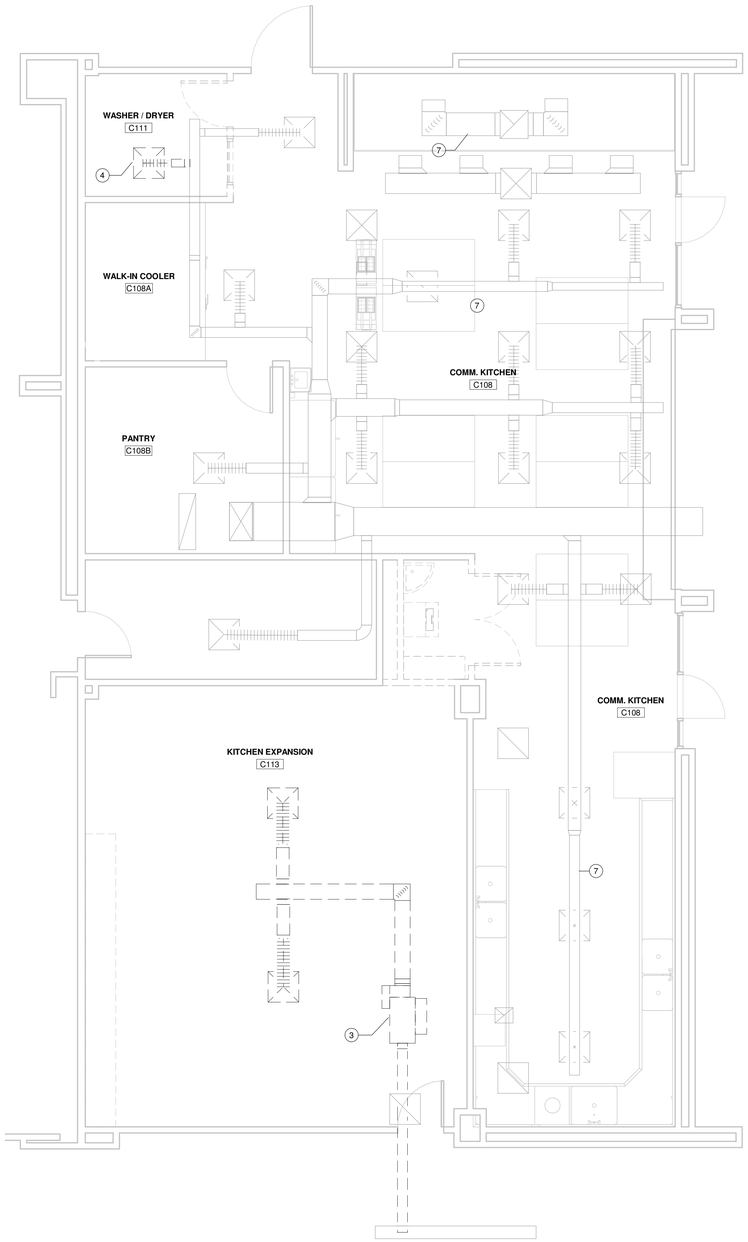


2 ENLARGED PROPOSED PLAN - AREA G - HVAC

Scale: 1/4" = 1'-0"

KEYNOTE LEGEND

1	24X24 SUPPLY AIR DUCT FROM KSF-NHS-2 ON ROOF.
2	22X22 EXHAUST DUCT UP TO KEF-NHS-2 ON ROOF. PROVIDE MIN 16 GAUGE STAINLESS STEEL DUCT WITH ALL SEAMS AND JOINTS WELDED. PROVIDE CLEANOUT AT EVERY CHANGE OF ELEVATION. PROVIDE 2 HOUR RATED FIRE WRAP SIMILAR TO 3M FIRE BARRIER DUCT WRAP 615+ ENTIRE LENGTH OF EXHAUST DUCT.
3	DEMO EXISTING TERMINAL UNIT, ASSOCIATED DUCTWORK AND DIFFUSERS.
4	DEMO EXISTING DIFFUSER AND ASSOCIATED BRANCH DUCT.
5	CONNECT INLET DUCT TO MAIN SUPPLY AIR DUCT. FIELD VERIFY EXACT LOCATION.
6	RELOCATE EXISTING HOOD'S OPERATION SWITCH TO ACCESSIBLE LOCATION. COORDINATE WITH ARCHITECT.
7	EXISTING DUCTWORK TO REMAIN.
8	6" ROUND DRYER EXHAUST UP TO ROOF. TERMINATE WITH WEATHER CAP.



1 ENLARGED DEMOLITION PLAN - AREA G - HVAC

Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title

LEVEL-1 KITCHEN - HVAC

Drawing Number **M1.01**

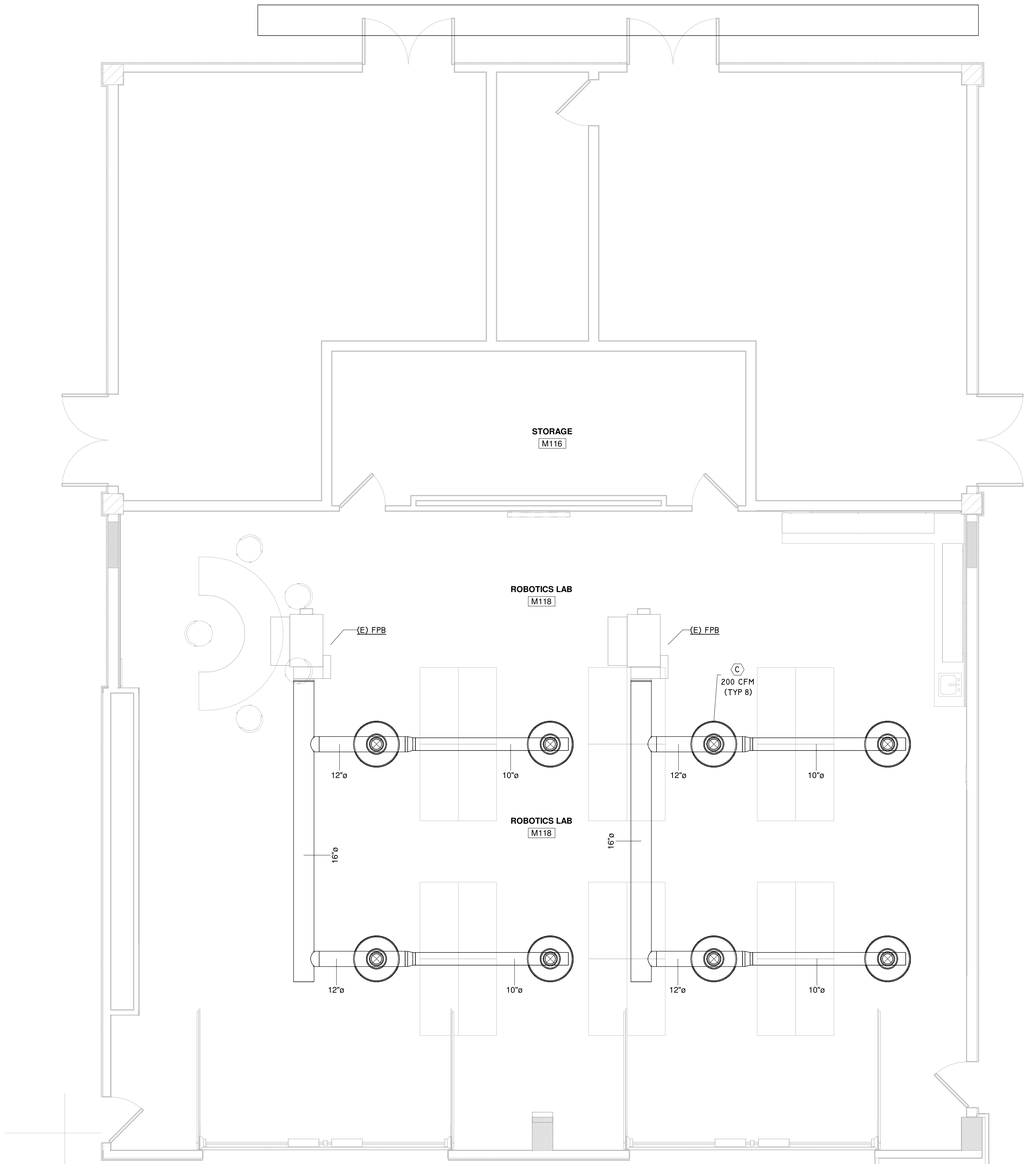
3/13/2020 12:25:36 PM

GENERAL NOTES:

1. EXTEND EXISTING FIRE ALARM LINES INTO RENOVATED AREAS. INSTALL NEW SPRINKLER HEADS AND COORDINATE SPRINKLER HEAD TYPE WITH THE INSTALLED CEILING. FINAL SPRINKLER SYSTEM DESIGN SHALL BE DONE BY CERTIFIED PROFESSIONAL.

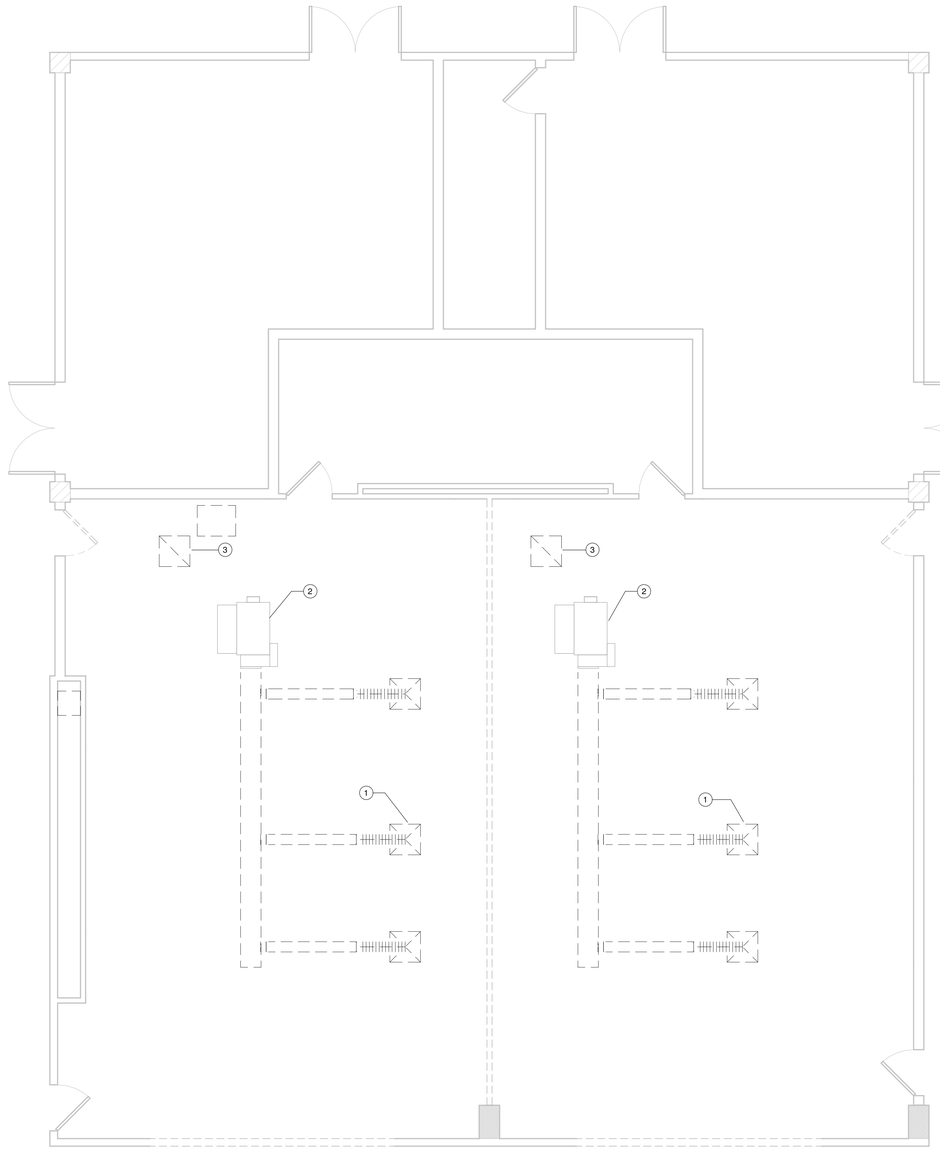
KEYNOTE LEGEND

1	DEMO EXISTING DIFFUSERS AND ASSOCIATED DUCTWORK UP TO TERMINAL UNIT.
2	EXISTING TERMINAL UNIT TO REMAIN.
3	DEMO EXISTING RETURN AIR GRILLE.



2 ENLARGED PROPOSED PLAN - AREA B2 - HVAC

Scale: 1/4" = 1'-0"



1 ENLARGED DEMOLITION PLAN - AREA B2 - HVAC

Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	LEVEL-1 LAB B2 - HVAC

Drawing Number: M1.02

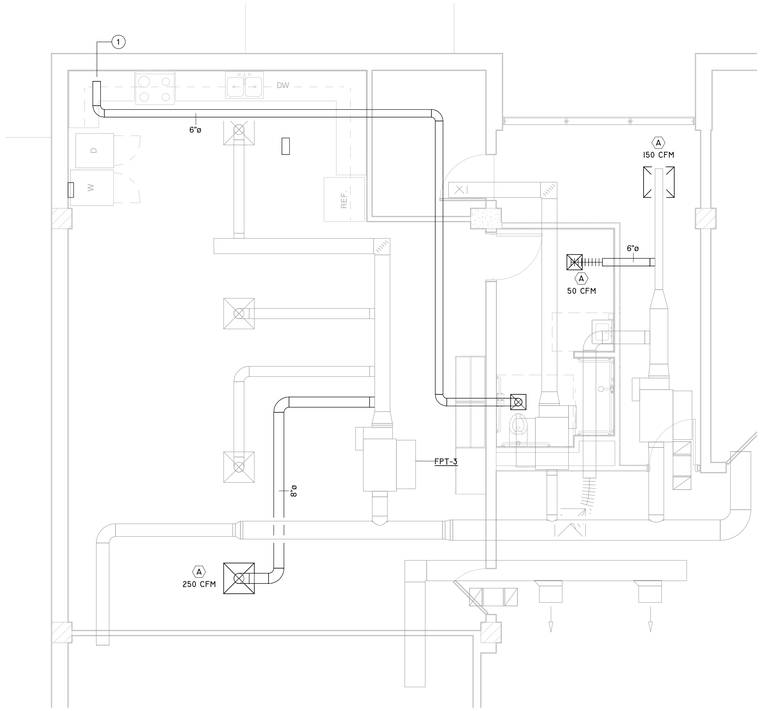
3/13/2020 1:25:33 PM

GENERAL NOTES:

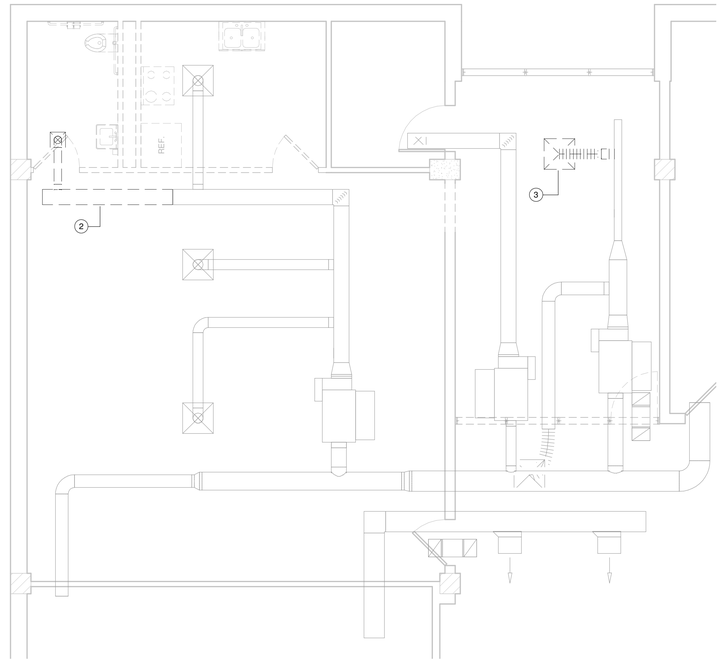
1. EXTEND EXISTING FIRE ALARM LINES INTO RENOVATED AREAS. INSTALL NEW SPRINKLER HEADS AND COORDINATE SPRINKLER HEAD TYPE WITH THE INSTALLED CEILING. FINAL SPRINKLER SYSTEM DESIGN SHALL BE DONE BY CERTIFIED PROFESSIONAL.

KEYNOTE LEGEND

1	CONNECT TO EXISTING EXHAUST FAN.
2	DEMO EXISTING SUPPLY AIR DUCT AS SHOWN. CAP AND SEAL EXISTING PORTION OF THE SUPPLY AIR DUCT.
3	DEMO EXISTING DIFFUSER AND ASSOCIATED BRANCH DUCT.



2 ENLARGED PROPOSED PLAN - AREA E - HVAC
Scale: 1/4" = 1'-0"



1 ENLARGED DEMOLITION PLAN - AREA E - HVAC
Scale: 1/4" = 1'-0"

3/12/2020 12:05:40 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
LEVEL-1 LIFE SKILLS - HVAC

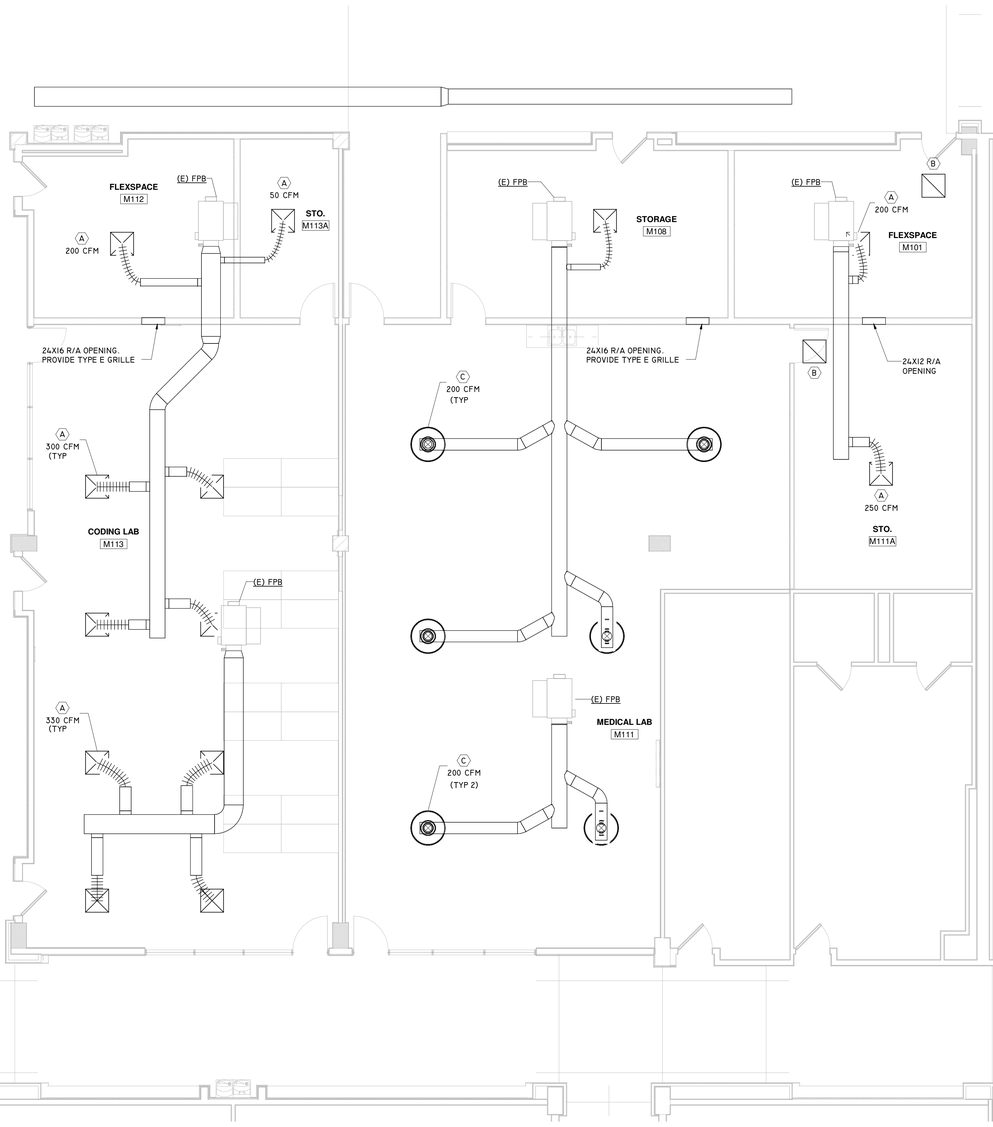
Drawing Number
M1.03

GENERAL NOTES:

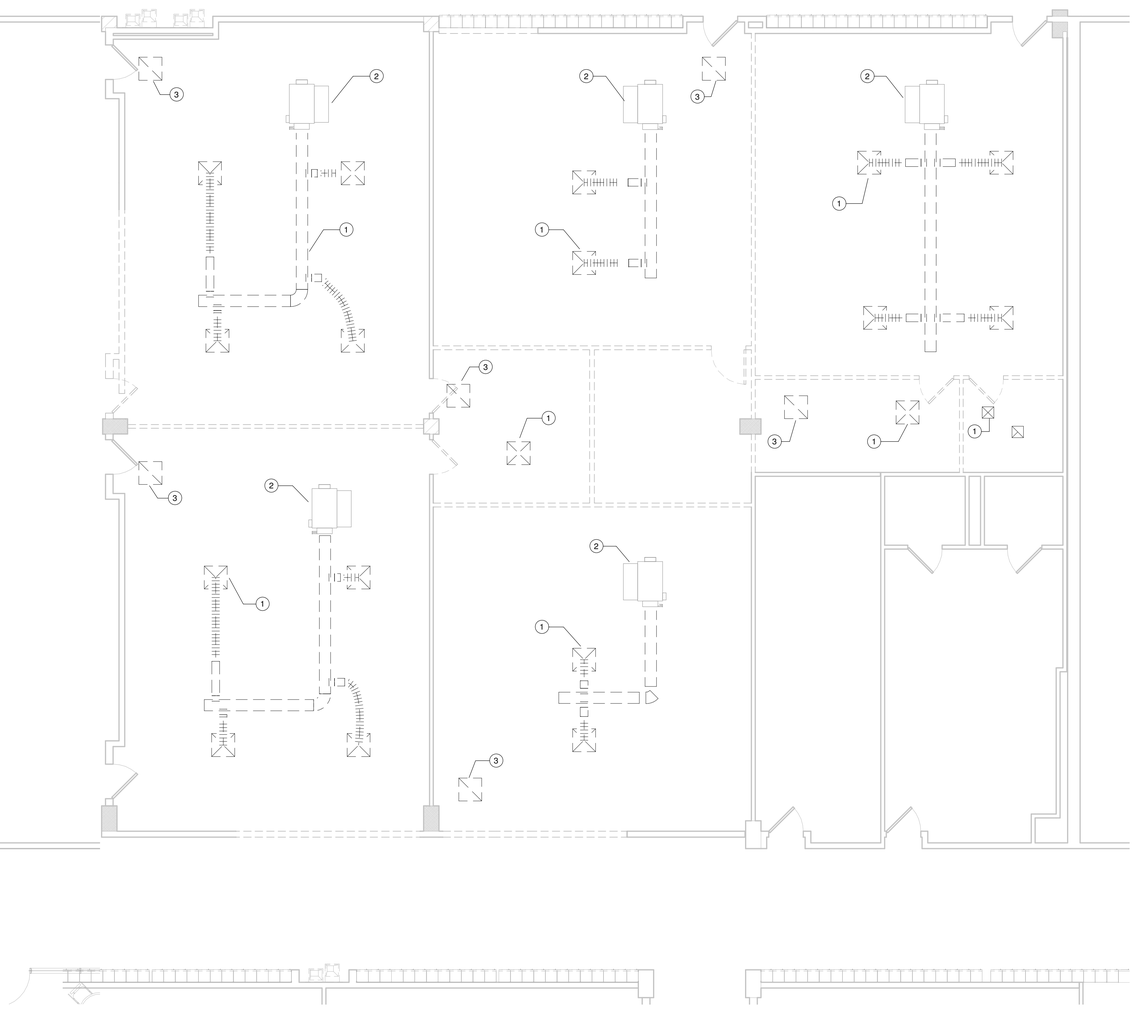
1. EXTEND EXISTING FIRE ALARM LINES INTO RENOVATED AREAS. INSTALL NEW SPRINKLER HEADS AND COORDINATE SPRINKLER HEAD TYPE WITH THE INSTALLED CEILING. FINAL SPRINKLER SYSTEM DESIGN SHALL BE DONE BY CERTIFIED PROFESSIONAL.

KEYNOTE LEGEND

1	DEMO EXISTING DIFFUSERS AND ASSOCIATED DUCTWORK UP TO TERMINAL UNIT.
2	EXISTING TERMINAL UNIT TO REMAIN.
3	DEMO EXISTING RETURN AIR GRILLE.



2 ENLARGED PROPOSED PLAN - AREA B3 - HVAC
Scale: 3/16" = 1'-0"



1 ENLARGED DEMOLITION PLAN - AREA B3 - HVAC
Scale: 3/16" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	LEVEL-1 LAB B3 - HVAC

Drawing Number **M1.04**

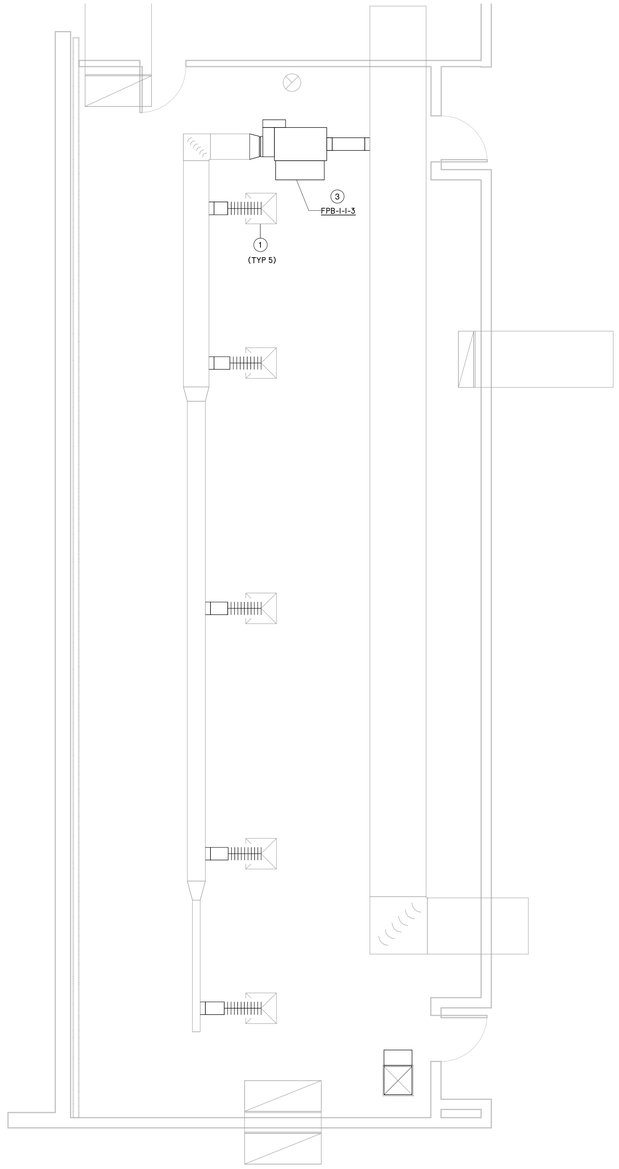
3/13/2020 12:55:49 PM

GENERAL NOTES:

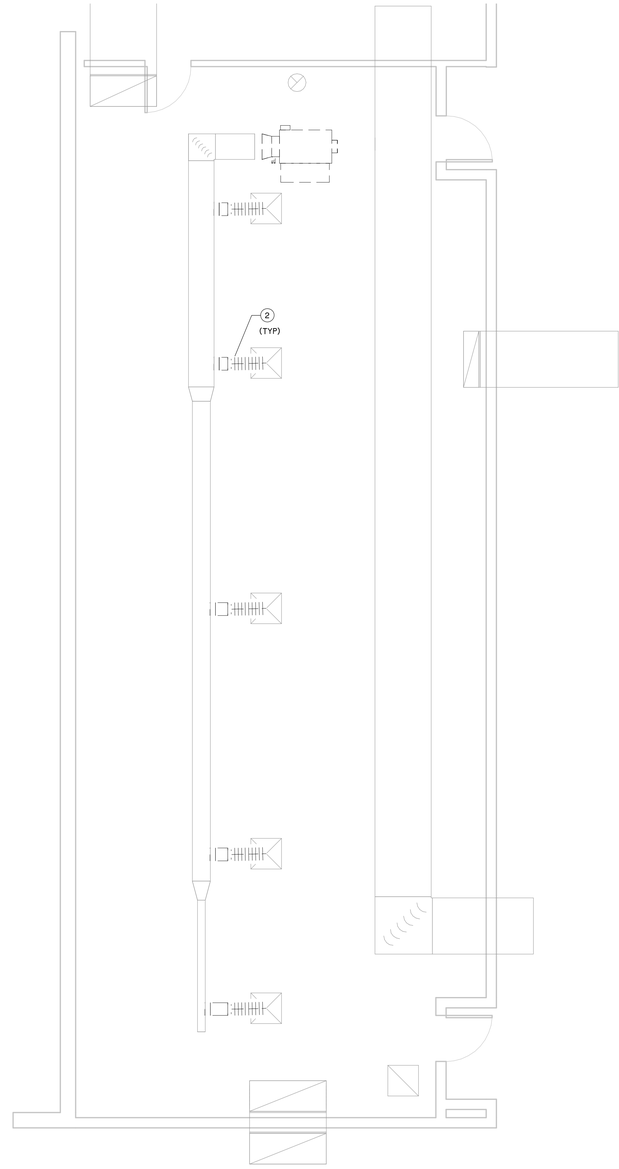
1. EXTEND EXISTING FIRE ALARM LINES INTO RENOVATED AREAS. INSTALL NEW SPRINKLER HEADS AND COORDINATE SPRINKLER HEAD TYPE WITH THE INSTALLED CEILING. FINAL SPRINKLER SYSTEM DESIGN SHALL BE DONE BY CERTIFIED PROFESSIONAL.

KEYNOTE LEGEND

1	EXISTING DIFFUSER TO REMAIN.
2	DEMO EXISTING BRANCH DUCT UP TO MAIN DUCT.
3	RECONNECT FAN POWER TERMINAL TO EXISITING CIRCUIT. MATCH AND EXTEND FEEDER AS REQUIRED. UTILIZE EXISTING DISCONNECTING MEANS.



2 ENLARGED PROPOSED PLAN - AREA F - HVAC
Scale: 1/4" = 1'-0"



1 ENLARGED DEMOLITION PLAN - AREA F - HVAC
Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	LEVEL-1 GREEN ROOM - HVAC

Drawing Number **M1.05**

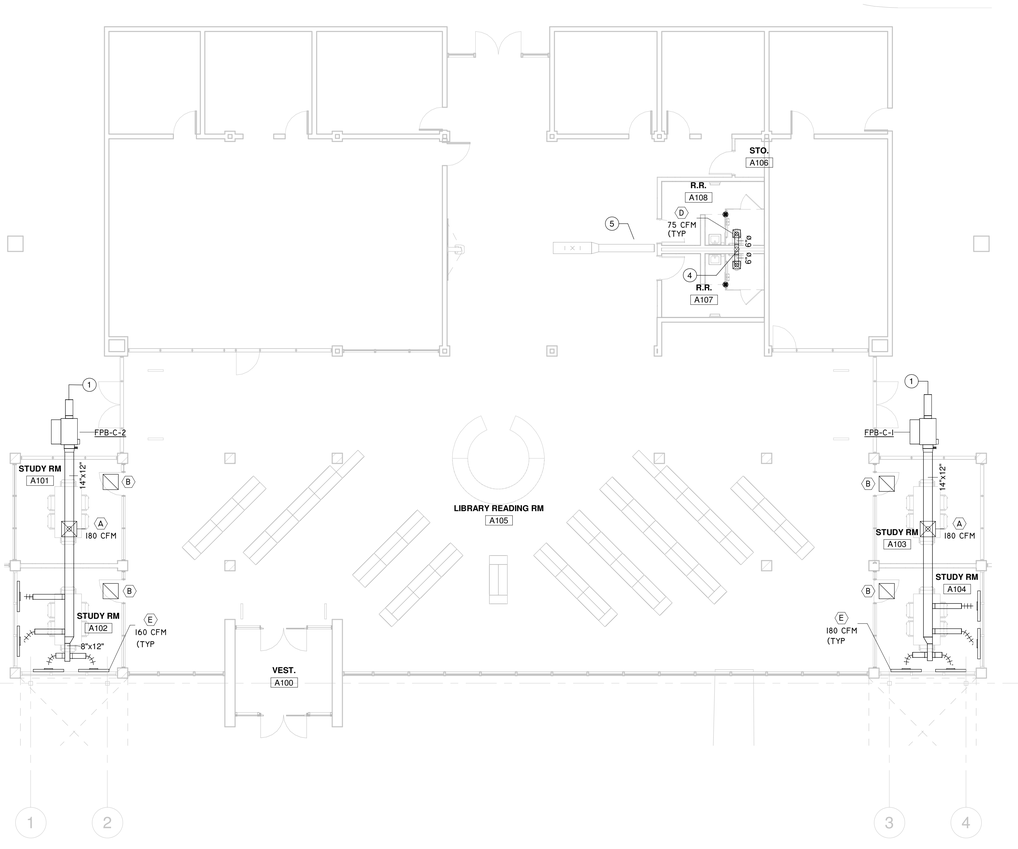
3/13/2020 12:55:55 PM

GENERAL NOTES:

I. EXTEND EXISTING FIRE ALARM LINES INTO RENOVATED AREAS. INSTALL NEW SPRINKLER HEADS AND COORDINATE SPRINKLER HEAD TYPE WITH THE INSTALLED CEILING. FINAL SPRINKLER SYSTEM DESIGN SHALL BE DONE BY CERTIFIED PROFESSIONAL.

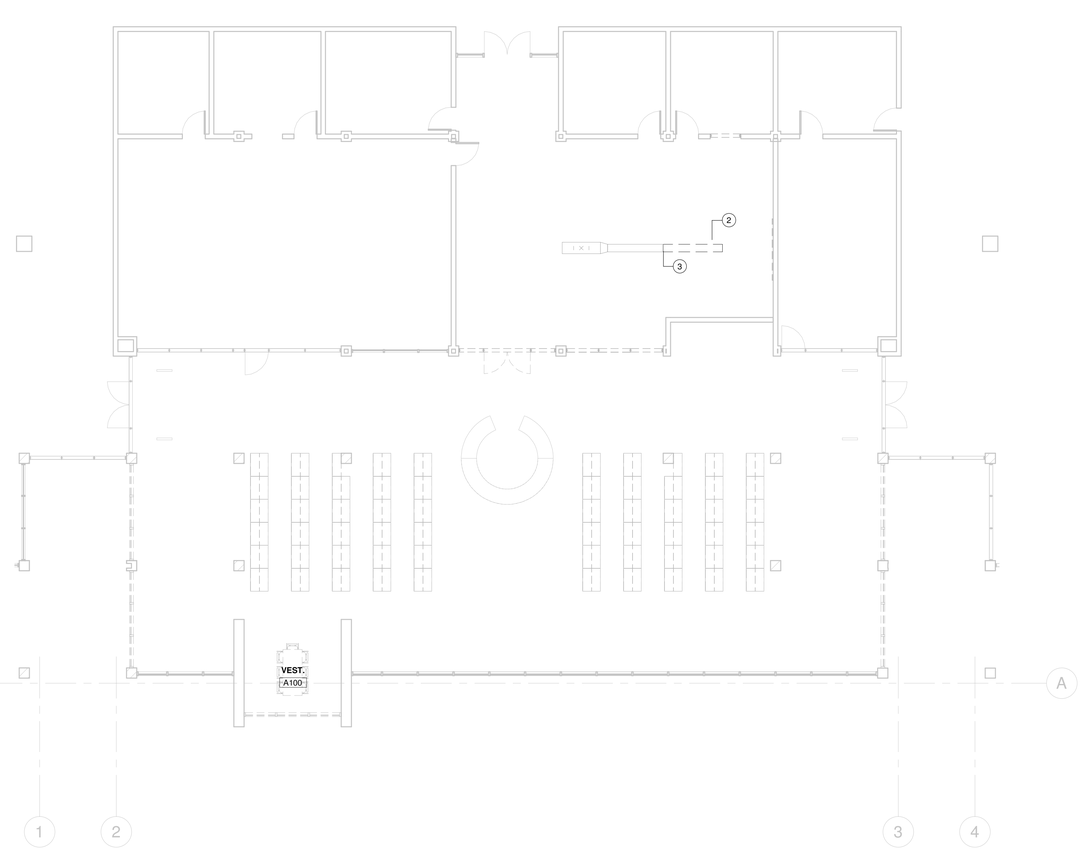
KEYNOTE LEGEND

1	CONNECT TO RTU-HS-1. FIELD VERIFY EXACT LOCATION
2	REMOVE EXISTING DIFFUSER. CLEAN AND STORE FOR REUSE.
3	DEMO EXISTING SUPPLY AIR DUCT AS SHOWN. CAP AND SEAL EXISTING PORTION OF THE SUPPLY AIR DUCT.
4	8" ROUND EXHAUST DUCT UP TO EF-C-1 ON ROOF.
5	RELOCATE EXISTING DIFFUSER AS SHOWN. SET AIR FLOW RATE TO MATCH EXISTING VALUE.



1 ENLARGED PROPOSED PLAN - AREA C - HVAC

Scale: 1/8" = 1'-0"



2 ENLARGED DEMOLITION PLAN - AREA C - HVAC

Scale: 1/8" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

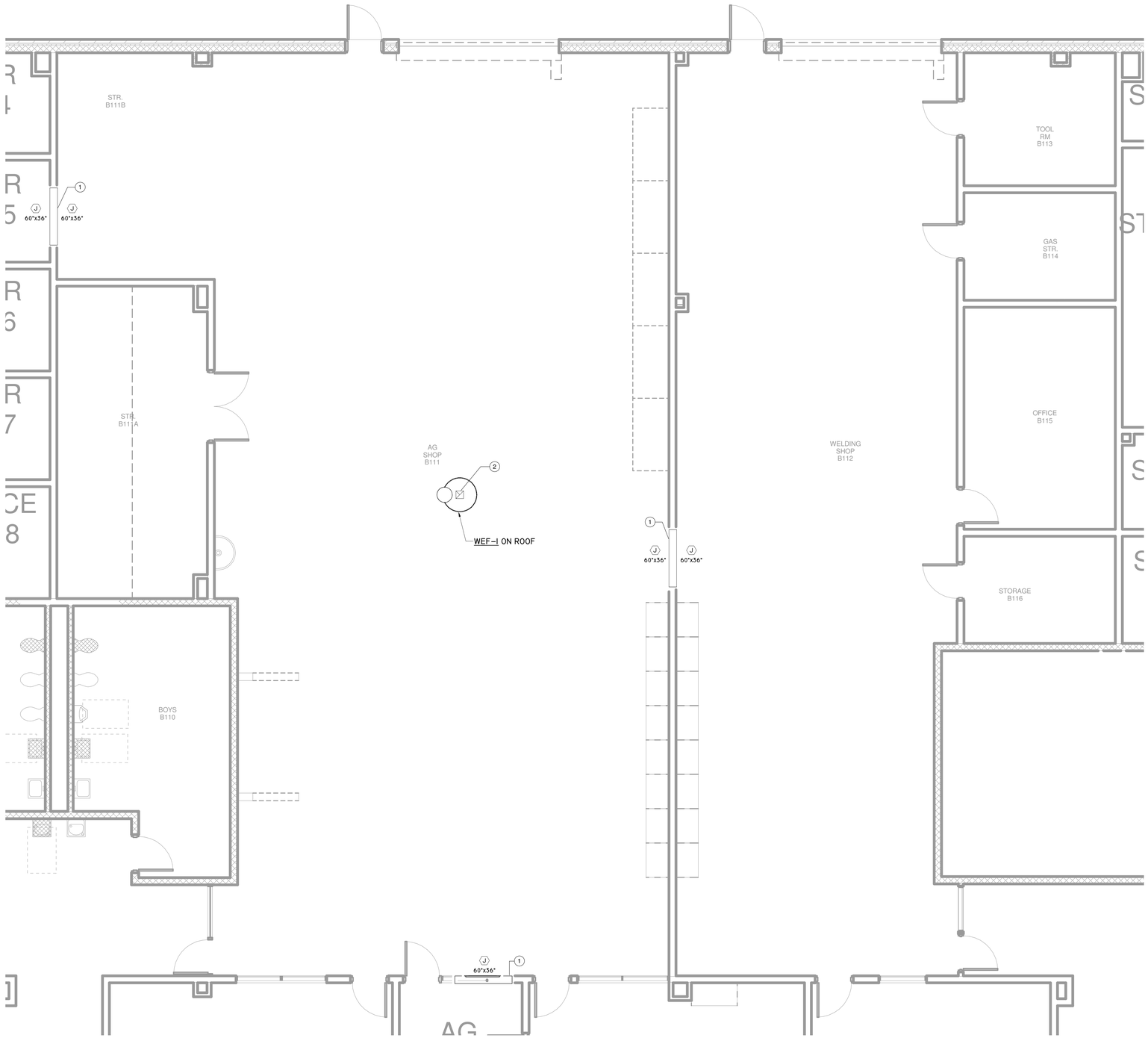
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	LEVEL-1 LIBRARY

Drawing Number: M1.06

3/13/2020 1:28:05 PM

GENERAL NOTES:

I. EXTEND EXISTING FIRE ALARM LINES INTO RENOVATED AREAS. INSTALL NEW SPRINKLER HEADS AND COORDINATE SPRINKLER HEAD TYPE WITH THE INSTALLED CEILING. FINAL SPRINKLER SYSTEM DESIGN SHALL BE DONE BY CERTIFIED PROFESSIONAL.



1 ENLARGED PROPOSED PLAN - AREA I - HVAC
Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	LEVEL-1 WELDING LAB

Drawing Number M1.07

3/13/2020 12:56:11 PM

ELECTRICAL GENERAL NOTES AND SPECIFICATIONS

(BOOKS SPECIFICATIONS SUPERCEDE ANY NOTES BELOW)

1. SCOPE: THIS DIVISION SHALL INCLUDE ALL EQUIPMENT, MATERIALS, AND LABOR REQUIRED FOR COMPLETE INSTALLATION OF THE ELECTRICAL SYSTEM. PROJECT INCLUDES INSTALLATION OF NEW ELECTRICAL DISTRIBUTION SYSTEM, HVAC SYSTEM CONNECTIONS, NEW LIGHTING SYSTEM, NEW RECEPTACLES AND OUTLETS, FIRE ALARM AND NOTIFICATION SYSTEM, AND OTHER ELECTRICAL WORK AS INDICATED ON THE PLANS. CONTRACTOR SHALL PROVIDE CONDUITS, CONDUCTORS FOR POWER, CONTROLS, AND LIGHTING, LIGHTING CONTACTOR AND CONTACT CLOSURES, AND ALL REQUIRED APPARATUS REQUIRED FOR FULL OPERATION OF THE ELECTRICAL SYSTEM.
2. SITE VISIT AND FAMILIARIZATION: CONTRACTORS PROPOSING TO UNDERTAKE WORK UNDER THIS DIVISION SHALL VISIT THE SITE OF THE WORK, AND FULLY INFORM THEMSELVES OF ALL CONDITIONS THAT AFFECT THE WORK, OR COST THEREOF. CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS AS RELATED TO THE SITE CONDITIONS. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
3. NOTICE: CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDING OF THE AMOUNT OF WORK TO BE PERFORMED. TENDER OF A PROPOSAL SHALL CONVEY FULL AGREEMENT TO ALL ITEMS AND CONDITIONS SPECIFIED, INDICATED ON THE DRAWINGS, AND/OR REQUIRED BY NATURE OF THE SITE.
4. DISCREPANCIES: SHOULD CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS, OR BE IN DOUBT AS TO THE INTENT THEREOF, HE SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE SUBMITTING PROPOSAL FOR WORK IN THIS DIVISION.
5. DEMOLITION: ALL ELECTRICAL COMPONENTS OF THE EXISTING SYSTEM WHICH ARE NOT UTILIZED FOR NEW CONFIGURATION SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR. REFER TO DEMOLITION NOTES AND DRAWINGS FOR EXTENT OF WORK.
6. TIMELY PLACING OF MATERIALS AND EQUIPMENT: ALL ELECTRICAL APPARATUS SHALL BE INSTALLED AT THE PROPER TIME DURING PROGRESS OF CONSTRUCTION. COORDINATE WORK OPERATIONS WITH OTHER CRAFTS.
7. SPACE REQUIREMENTS: CONTRACTOR FOR WORK UNDER THIS DIVISION SHALL BE FULLY RESPONSIBLE FOR DETERMINING IN ADVANCE OF PURCHASE THAT EQUIPMENT AND MATERIALS PROPOSED FOR INSTALLATION SHALL FIT INTO THE CONFINES INDICATED.
8. MANUFACTURERS' LITERATURE: DELIVER ALL PRINTED TAGS, INSTRUCTIONS, CERTIFIED DRAWINGS, PARTS LISTED, CERTIFICATES, ETC., SUPPLIED WITH EQUIPMENT ITEMS, TO THE OWNER.
9. CODES, PERMITS, AND FEES: WORK UNDER THIS DIVISION SHALL BE CONSTRUCTED IN STRICT CONFORMANCE WITH PERTINENT PROVISIONS OF CITY AND STATE BUILDING CODES.
   A. ALL WORK SHALL COMPLY WITH THE 2017 EDITION OF NATIONAL ELECTRIC CODE (NEC).
   B. OBTAIN ALL REQUIRED PERMITS. PAY ALL LEGAL FEES FOR PERMITS AND INSPECTIONS BY AUTHORITIES HAVING JURISDICTION.
   C. ALL WORK SHALL COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
10. CUTTING AND PATCHING:
   A. CONTRACTOR FOR THIS DIVISION SHALL LAYOUT TO DIMENSION AND LOCATIONS, CUT AND PATCH ALL OPENINGS ON SURFACES TO BE FORMED, FRAMED, OR CUT.
   B. SHOULD CONTRACTOR FOR THIS DIVISION FAIL TO ADHERE WITH THIS REQUIREMENT, AS WORK PROGRESSES, ANY OPENINGS SHALL BE CUT AND PATCHED BY GENERAL CONTRACTOR AT THE EXPENSE OF THIS CONTRACTOR FOR THIS DIVISION.
11. PROTECTION OF APPARATUS: TAKE ALL PRECAUTIONS NECESSARY FOR PROPER PROTECTION OF NEW EQUIPMENT, APPARATUS, AND MATERIALS FROM DAMAGE. FAILURE TO DO SO WILL BE CAUSE FOR REJECTION OF ANY ITEM COMING UNDER QUESTION.
12. SHOP DRAWINGS: CONTRACTOR FOR THIS DIVISION SHALL SUBMIT SHOP DRAWINGS AND CATALOGUE DATA ON ALL MAJOR ITEMS OF EQUIPMENT AND SYSTEMS AND OTHER MATERIAL REQUESTED BY ARCHITECT/ENGINEER. SUBMIT PRODUCT DATA FOR SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, WIRES, CABLE, SUPPORTING DEVICES, IDENTIFICATION COMPONENTS, LIGHT FIXTURES, FIRE ALARM SYSTEM AND COMPONENTS, WIRING DEVICES, MULTI-OUTLET RACEWAYS, CABINETS, AND BOXES. SUBMIT SIX COPIES WITHIN THIRTY (30) DAYS AFTER CONTRACT AWARD, AND IN NOT MORE THAN TWO GROUPS OF SUBMITTALS. SUBMITTALS SHALL CONSIST OF LAYOUTS, WORKING DRAWINGS, CUTS, AND OPERATING AND PERFORMANCE DATA. ALLOW FOUR (4) WEEKS FOR REVIEW AND APPROVAL OF THE SHOP DRAWINGS BY ENGINEER.
13. MATERIALS AND WORKMANSHIP: ALL MATERIALS AND EQUIPMENT SHALL BE NEW, OF BEST GRADE OF STANDARD MANUFACTURE. APPROVED BY UL, AND BE SO LABELED. FOR WIRE AND CABLE, MARKED AS REQUIRED BY ART. 310-2, NEC. INSTALLED BY SKILLED ELECTRICIAN, WORKING UNDER THE DIRECT SUPERVISION OF COMPETENT EXPERIENCED FOREMAN AND/OR SUPERINTENDENT. PRODUCTS SHALL BE INSTALLED IN A THOROUGH WORKMANLIKE MANNER, PRESENTING A NEAT, CLEAN-CUT APPEARANCE WHEN COMPLETED. ANY PART OR PARTS NOT MEETING THIS REQUIREMENT SHALL BE REPLACED OR REBUILT WITHOUT EXTRA EXPENSE TO OWNER.
14. PROTECTION OF EXISTING: PLENUM CABLE SHALL BE PROPERLY SECURED ABOVE CEILING PER APPLICABLE CODES.
15. WIRING METHODS: THE DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW THE LOCATIONS OF EQUIPMENT AND ARRANGEMENT OF CIRCUITS ONLY. EXACT LOCATIONS SHALL BE DETERMINED BY ACTUAL MEASUREMENT AT THE SITE. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL RISES, DROPS, OFFSETS, ETC. NECESSARY TO AVOID CONFLICT WITH STRUCTURAL MEMBERS, AND SIMILAR ITEMS, WHEN INSTALLING ELECTRICAL CONDUITS. INSTALL EXPOSED CONDUIT AS SHOWN OR NOTED, PARALLEL TO HORIZONTAL AND VERTICAL LINES OF STRUCTURES. MAKE BENDS WITH 90 DEGREE TURN ONLY, OR WITH APPROVED FITTINGS.
15. CONDUIT: FURNISH A COMPLETE RACEWAY SYSTEM FOR BUT NOT LIMITED TO FEEDER, BRANCH CIRCUITS, CONTROL WIRING, AND AUXILIARY SYSTEM WIRING.
   A. USE LIQUID TIGHT FLEXIBLE METAL CONDUIT AND FITTINGS FOR ALL MOTORIZED CONNECTIONS, WHERE EQUIPMENT IS SUBJECT TO MOVEMENT, OR LOCATED OUTDOOR.
   B. WHERE ENTERING PANELS, PULL BOXES, J-BOXES, OR OUTLET BOXES, SECURED IN PLACE WITH WITH LOCK-NUTS INSIDE AND OUTSIDE, AND INSULATED BUSHING INSIDE.
   C. BENDS AND OFFSETS MADE WITH APPROVED TOOLS ONLY. BENDS OR OFFSETS IN WHICH THE PIPE IS CRUSHED OR DEFORMED SHALL NOT BE INSTALLED.
   D. USE EMT FOR INTERIOR DRY LOCATIONS, PVC FOR UNDERGROUND INSTALLATION, AND RIGID GALVANIZED STEEL FOR EXPOSED LOCATIONS SUBJECT TO DAMAGE.
16. OUTLET AND JUNCTION BOXES: FURNISH AND INSTALL ALL JUNCTION BOXES REQUIRED TO FACILITATE INSTALLATION OF THE VARIOUS CONDUIT SYSTEMS. JUNCTION BOXES SHALL BE SUITABLE FOR ENVIRONMENT AND APPLICATION USED FOR.
17. WIRE AND CABLE: ALL WIRE AND CABLE SHALL:
   A. BE NEW AND OF SOFT DRAWN, ANNEALED, COPPER HAVING A CONDUCTIVITY OF NOT LESS THAN 98% OF THAT OF PURE COPPER; EACH WIRE CONTINUOUS WITHOUT WELD, SPLICE OR JOINT THROUGHOUT ITS LENGTH; UNIFORM IN CROSS SECTION AND FREE FROM FLAWS, SCALES, AND OTHER IMPERFECTIONS.
   B. UNLESS OTHERWISE SPECIFIED OR NOTED, WIRES SHALL BE #12 AWG (FOR PHASE, NEUTRAL, AND GROUND CONDUCTORS) TYPE THW, THWN, THHN, AS MANUFACTURED BY TRIANGLE, GENERAL ELECTRIC, OKONITE, OR ANACONDA.
   C. ALL WIRE #8 AND LARGER SHALL BE STRANDED.
   D. NOT BE DRAWN INTO A CONDUIT UNTIL ALL WORK WHICH MAY CAUSE INJURY TO INSULATION IS COMPLETE. WHERE TWO OR MORE CIRCUITS RUN TO A SINGLE OUTLET BOX, TAG EACH CIRCUIT AS A GUIDE.
   E. HAVE ALL STRANDED CONDUCTORS FURNISHED WITH COPPER CONNECTING LUGS, DRILLED, OR REAMED THE FULL DIAMETER OF THE BARE CONDUCTORS. MAINS AND FEEDERS SHALL BE RUN THEIR ENTIRE LENGTH IN CONTINUOUS PIECES WITHOUT JOINTS OR SPLICES.
18. IDENTIFICATION OF CONDUCTORS AND PANELBOARD ELEMENTS:
   A. EACH AND EVERY MAIN AND FEEDER CONDUCTOR SHALL BE IDENTIFIED AT EACH OUTLET POINT WHERE SUCH CONDUCTOR TERMINATES. FEEDER BUNDLES PASSING THROUGH A JUNCTION OR SUPPORT BOX SHALL ALSO BE IDENTIFIED WITHIN SUCH ENCLOSURE, BUT MAY BE IDENTIFIED IN SUCH LOCATIONS AS A GROUP.
   B. IDENTIFY BY USE OF PERMANENT TYPE BANDS, BRADY, OR T AND B. A DEFINITE NUMBER AND/OR LETTER CODE SHALL BE EMPLOYED AND BE UNIFORM THROUGHOUT EACH CONDUCTOR.
   C. IDENTIFY EACH SWITCH, INCLUDING MAIN DISCONNECT AND MOTOR STARTER WITH WHITE-ON-BLACK NAMEPLATE, EACH HAVING 1/4" HIGH LETTERS. NEATLY AND SECURELY ADHERE NAMEPLATES TO THE UNIT.
20. SWITCHES: FURNISH AND INSTALL ALL FUSIBLE AND NON-FUSIBLE SWITCHES AS REQUIRED BY CODES, WHETHER OR NOT SHOWN AND/OR NOTED. SWITCHES SHALL BE:
   A. HEAVY DUTY WITH NEMA-1 OR 3R ENCLOSURE, AS REQUIRED, AND BE PROVIDED WITH PAD-LOCKING FEATURE.
   B. PROVIDED AT EACH MOTOR THAT IS OUT OF SIGHT OF THE SWITCH OR PANEL FROM WHICH FED; AND BE NON-FUSIBLE DISCONNECT FOR SUCH USE.
   C. SWITCH MANUFACTURER SHALL BE GE, WESTINGHOUSE, OR SQUARE D.
   D. DISCONNECT SWITCHES INSTALLED OUTSIDE THE BUILDING SHALL BE IN NEMA-3 ENCLOSURES.
   E. FUSIBLE SWITCH-STARTER UNITS: EACH UNIT SHALL BE TOTALLY ENCLOSED AND EFFECTIVELY BARRIERED, MANUALLY OPERATED QUICK-MAKE, QUICK BREAK, HORSEPOWER RATED STARTER. PROVIDE CLASS R TYPE REJECTION FUSE CLIPS.
   F. IDENTIFY EACH DEVICE WITH NAMEPLATE SHOWING THE LOAD SERVED, MATCHING THE EXISTING NAMEPLATES.
21. WIRING DEVICES: FURNISH AND INSTALL ALL WIRING DEVICES AS INDICATED ON THE DRAWINGS. DEVICES SHALL IN ALL CASES BE SUITABLE FOR THE USE INTENDED AND SHALL HAVE VOLTAGE AND CURRENT RATINGS ADEQUATE FOR THE LOADS TO BE SERVED.
   A. MOUNTING: HEIGHTS OF ALL DEVICES ARE FROM FINISH FLOOR TO CENTERLINE OF DEVICE. DEVICES SHOWN ON THE DRAWINGS IN GROUPS OF TWO OR MORE SHALL BE LOCATED HORIZONTALLY IN SUCH A MANNER AS TO BE CLOSE AS POSSIBLE FROM THE CENTERLINE OF THE FIRST DEVICE TO THE CENTERLINE OF THE NEXT DEVICE UNLESS OTHERWISE NOTES.
   B. WALL SWITCHES: SHALL BE LEVITON DECORA TYPE, WHITE IN COLOR. USE CORRESPONDING DOUBLE POLE, THREE-WAY, FOUR-WAY, KEYED AND DIMMER SWITCHES WHERE NOTES. MOUNT AT 3'-10" A.F.F. AND WITHIN 6" OF ADJACENT DOOR JAMB, UNLESS OTHERWISE NOTED. USE "KEYED" SWITCHES IN LOCATIONS INDICATED.
   C. CONVENIENCE OUTLETS: SHALL BE GROUNDING TYPE, 20 AMP, 125 VOLT, LEVITON, WHITE COLOR. WEATHERPROOF DUPLEX OUTLETS SHALL BE LEVITON 5342 WITH SIERRA NO. WPD-8 PLATE. MOUNT AT 18" A.F.F., UNLESS OTHERWISE NOTED. PROVIDE NEMA 5-20R DEVICES UNLESS OTHERWISE INDICATED. PROVIDE SPECIFICATION (SPEC) GRADE HEAVY DUTY STRAIGHT BLADE DEVICES UNLESS OTHERWISE NOTED. PROVIDE HOSPITAL GRADE DEVICES WHERE INDICATED, OR AS REQUIRED BY CODES.
   D. ACCEPTABLE ALTERNATE MANUFACTURERS: SHALL BE LSI, H.E. WILLIAMS, HUBBELL, P&S AND BRYANT, PROVIDED THEIR DEVICES ARE OF THE SAME TYPE AND QUALITY AND THAT ONLY ONE MANUFACTURER SHALL BE USED THROUGHOUT THE WORK.
   E. PLATES: SHALL BE MATCHING TYPE FOR FINISHED AREAS AND GALVANIZED STEEL FOR AREAS WITH EXPOSED CONDUIT. PROVIDE STAINLESS STEEL PLATES FOR FLUSH MOUNTED DEVICES. PROVIDE CAST ALUMINUM WET LOCATION TYPE COVER PLATES WITH HINGED COVERS FOR DEVICES LOCATED OUTSIDE. GANG OUTLETS GROUPED TOGETHER UNDER A SINGLE WALL PLATE.
   F. INCANDESCENT DIMMERS: 120V SLIDE TO OFF, DECORA STYLE SIMILAR TO SWITCHES, WITH WATTAGE AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS. POWER FAILURE MEMORY. RFI SUPPRESSION. WHERE SWITCHES ARE SHOWN NEXT TO DIMMERS, PROVIDE MULTI-GANG COVER PLATES. PROVIDE DIMMERS WITH IVORY FINISH, SAME AS SWITCHES UNLESS OTHERWISE DIRECTED.
   G. INSTALL WIRING DEVICES AND ACCESSORIES PLUMB AND LEVEL, IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, APPLICABLE REQUIREMENTS OF NEC AND IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICES TO FULFILL PROJECT REQUIREMENTS.
   H. TIGHTEN CONNECTORS AND TERMINALS, INCLUDING SCREWS AND BOLTS, IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S PUBLISHED TORQUE VALUES FOR WIRING DEVICES.
   I. COORDINATE WITH OTHER WORK, INCLUDING PAINTING, ELECTRICAL BOXES AND WIRING INSTALLATIONS, AS NECESSARY TO INTERFACE INSTALLATION OF WIRING DEVICES WITH OTHER WORK.
   J. INSTALL WIRING DEVICES AFTER WIRING WORK IS COMPLETED. INSTALL ONLY IN ELECTRICAL BOXES THAT ARE CLEAN; FREE FROM EXCESS BUILDING MATERIALS, DIRT, AND DEBRIS. INSTALL WALL PLATES AFTER PAINTING WORK IS COMPLETED.
   K. NO RECEPTACLE OR SWITCH OUTLETS SHALL BE MOUNTED BACK TO BACK. A MINIMUM OF ONE (1) STUD MUST BE BETWEEN OUTLETS.
   L. INSTALL RECEPTACLES WITH GROUND PIN UP. INSTALL SWITCHES WITH THE "ON" POSITION UP.
   M. ALL EXTERIOR DEVICES TO BE WEATHER PROOF AND EXTERIOR RECEPTACLES SHALL BE A GFCI TYPE DEVICE.
   N. ALL 120-VOLT RECEPTACLES OUTLETS LOCATED WITHIN SIX FEET OF SINKS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTION PROTECTION. GROUND FAULT OUTLETS SHALL BE CONNECTED ON DEDICATED NEUTRAL WIRE SERVING ONLY THE INDIVIDUAL OUTLET WITH THE GROUND FAULT PROTECTION.
   O. USE JUMBO SIZE WALL PLATES FOR OUTLETS INSTALLED IN MASONRY WALLS.
   P. DO NOT SHARE NEUTRAL CONDUCTORS ON DIMMERS.
22. PANELBOARD: PANELBOARDS SHALL BE GE TYPE AL, AQ, OR AE OR APPROVED EQUAL. REFER TO CONSTRUCTION DOCUMENTS FOR THE TYPE AND NUMBER OF BRANCH CIRCUIT BREAKERS. ALL PANELBOARD BUSSING SHALL BE COPPER. PANELBOARDS SHALL BE IN OUTDOOR ENCLOSURE WHERE INSTALLED OUTDOOR. MINIMUM INTERRUPTING RATING FOR PANELS SHALL BE AS INDICATED ON DRAWINGS.
23. TRANSFORMERS: DRY TYPE, TWO_WINDING OF THE SIZE AND ELECTRICAL CHARACTERISTICS SHOWN AND SCHEDULED ON DRAWINGS. TRANSFORMERS SHALL BE EQUIPPED WITH 2 2-1/2% TAPS ABOVE AND BELOW RATING. TRANSFORMERS SHALL HAVE A BONDING JUMPER INSTALLED BETWEEN THE SECONDARY NEUTRAL TERMINAL AND METAL CASE, AND SHALL INCLUDE A GROUND TERMINAL OF PROPER SIZE TO RECEIVE GROUND CONDUCTOR. TRANSFORMERS SHALL BE RATED AT FULL LOAD IN A 40°C AMBIENT WITH 30°C ULTIMATE HOT SPOT TEMPERATURE RISE ALLOWANCE, WITH CLASS F INSULATION HAVING A UL 185°C RATING LIMITING SYSTEM TEMPERATURE TO 115°C ON UNITS SMALLER THAN 15 kVA AND CLASS H INSULATION HAVING UL 220°C RATING LIMIT SYSTEM TEMPERATURE TO 150°C ON 15 kVA AND LARGER UNITS. PROVIDE COPPER WINDINGS.
24. FUSES: FUSES IN MAIN, FEEDER, AND BRANCH CIRCUIT SWITCHES, RATED 600 AMPS AND BELOW, FEEDING MOTORS, TRANSFORMERS, AND GENERAL PURPOSE CIRCUITS (UNLESS OTHERWISE SPECIFIED), SHALL BE UL LISTED AND LABELED AS CURRENT LIMITING, TIME-DELAY, 200,000 A.I.C., CLASS RK-5 FUSES SHALL BE BUSSMAN TYPE FRN-R (250V), AND FRS-R (600V).
25. GROUNDING: ALL CONDUIT WORK, MOTOR, STARTERS, AND OTHER ELECTRICAL EQUIPMENT WIRED AND CONNECTED BY THIS CONTRACTOR SHALL BE EFFECTIVELY AND PERMANENTLY GROUNDED IN FULL ACCORDANCE WITH NEC 250.
26. OTHER MATERIALS: FURNISH AND INSTALL ALL OTHER MATERIALS SUCH AS HARDWARE, TAPE, CLAMPS, CONNECTORS, FITTINGS, SUPPORTS, AND ALL OTHER APPURTENANCES REQUIRED TO COMPLETE THE WORK TO THE FULL INTENT OF THE CONTRACT. TERMINAL LUGS SHALL BE FURNISHED BY THE ELECTRICAL CONTRACTOR.
27. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL TEMPERATURE, CO2, AND HUMIDITY SENSOR STUB-UPS FOR THE MECHANICAL HVAC SYSTEM. REFER TO MECHANICAL PRINTS FOR SENSOR QUANTITY AND LOCATIONS.
28. ELECTRICAL CONTRACTOR WILL CONNECT ALL LOW VOLTAGE PLUMBING CONTRACTOR SUPPLIED TRANSFORMERS (FOR AUTOMATIC FLUSH) TO THE NEAREST 120V CIRCUIT (OR IF INDICATED ON PLANS WITH A CIRCUIT NUMBER). CONTRACTOR TO ASSUME ONE TRANSFORMER PER BATHROOM. THE PLUMBING CONTRACTOR WILL BE RESPONSIBLE FOR LOW VOLTAGE WIRING TO THE FIXTURES.
29. SWITCHGEAR AND DISTRIBUTION PANELS: SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRIC ARC FLASH HAZARDS. THE MARKING SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE TO QUALIFIED PERSONS BEFORE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE OF THE EQUIPMENT, NEC 110.16.
30. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL GTD'S (GENERATOR TRANSFER DEVICES), LIGHTING CONTROL EQUIPMENT, LOW VOLTAGE TRANSFORMERS AND OTHER ELECTRICAL ITEMS WHICH ARE ABOVE CEILINGS. THESE DEVICES SIMILAR TO ELECTRICAL JUNCTION BOXES ARE NOT ALLOWED BY NEC TO BE ABOVE HARD CEILINGS. THE ARCHITECT/OWNER WILL NOT ALLOW THE INSTALLATION OF ACCESS PANELS IN THE CEILINGS. BE AWARE THAT EQUIPMENT IN THOSE AREAS OF HARD CEILINGS WILL HAVE TO BE REMOTELY LOCATED TO THE NEAREST ACOUSTICAL LAY-IN CEILING AREAS.
31. ELECTRICAL MATERIAL AND EQUIPMENT: NO ELECTRICAL MATERIALS, APPARATUS, DEVICES, APPLIANCES, FIXTURES, OR EQUIPMENT SHALL BE SOLD OR INSTALLED IN THE CITY UNLESS THEY ARE IN CONFORMANCE WITH THE PROVISIONS OF THIS CODE, THE LAWS OF THE STATE OF TEXAS AND ANY APPLICABLE RULES AND REGULATIONS ISSUED UNDER THE AUTHORITY OF THE STATE STATUTES. THE MAKER'S NAME, TRADEMARK, OR OTHER IDENTIFICATION SYMBOL SHALL BE PLACED ON ALL ELECTRICAL MATERIALS, APPARATUS, DEVICES, APPLIANCES, FIXTURES, AND EQUIPMENT USED OR INSTALLED UNDER THE PROVISIONS OF THIS CODE. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE LISTED AND LABELED FOR THE INTENDED USE AND SHALL BE INCLUDED IN A LIST PUBLISHED BY AN APPROVED AGENCY.
31. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONDUIT ROUTING TO ANY MECHANICAL ROOF TOP EQUIPMENT AND ROUTE THE CONDUIT THRU THE EQUIPMENT CURB SO THERE IS NOT A SEPARATE ROOF PENETRATION.

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
HA-1,3,5	HOME RUN TO PANEL HA, CIRCUITS 1, 3, 5 USING 3#12 (H), 3#12 (N), 1#12 (G), 3/4" C (UNLESS OTHERWISE NOTED) EACH CIRCUIT WILL HAVE ITS OWN NEUTRAL	HA	LIGHTING CLASS PANEL HA = PANEL NAME CHARACTERISTICS AS INDICATED ON ONE LINE DIAGRAM AND PANEL SCHEDULE
XX	ROUND LUMINAIRE RECESSED OR SUSPENDED FROM ABOVE OPEN = DOWN-LIGHT, HALF-SHADED = WALL-WASHER XX = TYPE ON LUMINAIRE SCHEDULE	DA	DISTRIBUTION CLASS PANEL DA = PANEL NAME CHARACTERISTICS AS INDICATED ON ONE LINE DIAGRAM
XX	ROUND WALL-MOUNTED LUMINAIRE SUSPENDED FROM SIDE ARM XX = TYPE ON LUMINAIRE SCHEDULE		CONDUIT TURNING UP CONDUIT TURNING DOWN
XX	24"X48" TROFFER LUMINAIRE RECESSED OR SUSPENDED FROM ABOVE XX = TYPE ON LUMINAIRE SCHEDULE	OH	WEATHER HEAD FOR CONNECTING OVER HEAD CONDUCTORS
			20" Cu CHATWORTH GROUNDING BUSBAR 40153-020 TMGB PATTERN, 4" W x 1/4" H, 20"L, INSULATED STANDOFFS, PRE-DRILLED & TAP AS REQUIRED FOR CONDUCTORS
X1 X2	EXIT SIGN WITH DIRECTIONAL ARROWS AS INDICATED, 1 OR 2 FACE, UNIVERSAL MOUNT X1 OR X2 = TYPE ON LUMINAIRE SCHEDULE	M	FIRE ALARM MANUAL PULL STATION WITH TAMPER COVER
XX	EMERGENCY EGRESS ONLY LUMINAIRE SURFACE MOUNTED FROM BACK XX = TYPE ON LUMINAIRE SCHEDULE	SD	FIRE ALARM SMOKE DETECTOR, CEILING MOUNTED
	NEMA 5-20R DUPLEX RECEPTACLE, MOUNTED 18" AFF (UON) WP = WEATHER PROOF, GFI = GFCI PROTECTED, IG = ISOLATED GROUND PROVIDE WITH SS-302 COVERPLATE AND CIRCUIT NUMBER	HD	FIRE ALARM HEAT DETECTOR, CEILING MOUNTED
	NEMA 5-20R QUADRAPLEX RECEPTACLE, MOUNTED 18" AFF (UON) WP = WEATHER PROOF, GFI = GFCI PROTECTED, IG = ISOLATED GROUND PROVIDE WITH SS-302 COVERPLATE AND CIRCUIT NUMBER	DD	FIRE ALARM DUCT-MOUNTED SMOKE DETECTOR
L6-30R	SIMPLEX RECEPTACLE, MOUNTED 18" AFF (UON) WITH INDICATED CONFIGURATION (E.G. L6-30R = NEMA TWISTLOCK, 250 VAC, 30 A) PROVIDE WITH SS-302 COVERPLATE AND CIRCUIT NUMBER	R	FIRE ALARM SUPERVISORY SHUTDOWN RELAY
	FLUSH FLOOR BOX WITH WIRING DEVICES AS INDICATED ON PLANS HUBBELL SYSTEM ONE ONLY	FS	FIRE ALARM FIRE-WATER FLOW SWITCH
J	JUNCTION BOX	TS	FIRE ALARM FIRE-WATER TAMPER SWITCH
$XX	LIGHT SWITCH RATED 120/277 VAC, MOUNTED 42" AFF (UON), SINGLE-POLE (UON) 2 = 2-POLE, 3 = 3-WAY, 4 = 4-WAY, D = DIMMER, M = MOTOR-RATED W/ OL, WP = WEATHER PROOF, R = RED COLOR, K = KEYED, VS = INTEGRAL VACANCY SENSOR, OS = INTEGRAL OCCUPANCY SENSOR	AV 30	FIRE ALARM AUDIO/VISUAL HORN/STROBE
		V 30	FIRE ALARM VISUAL STROBE
OS / OS	CEILING OR WALL MOUNTED OCCUPANCY SENSOR LIGHTING CONTROL WITH PASSIVE INFRARED AND ULTRASOUND DUAL TECHNOLOGY, 20 A RATED	A	FIRE ALARM SPEAKER
TV	TV OUTLET 1-GANG BACKBOX, +42" AFF (UON), SS-302 COVER 1" C WITH PULL STRING ROUTED IN CONDUITS BACK TO SERVER ROOM MEASURED DEVICES AND LOW-VOLTAGE CABLING BY TELECOM CONTRACTOR	FACP	FIRE ALARM CONTROL PANEL
W	WALL TELEPHONE OUTLET 1-GANG BACKBOX, +42" AFF (UON), SS-302 COVER 1" C WITH PULL STRING ROUTED IN CONDUITS BACK TO SERVER ROOM MEASURED DEVICES AND LOW-VOLTAGE CABLING BY TELECOM CONTRACTOR	FAAP	FIRE ALARM REMOTE ANNUNCIATOR PANEL
XX	DEVICES AND LOW-VOLTAGE CABLING BY TELECOM CONTRACTOR. XX - DENOTES NUMBER OF CAT6E CABLES	S V	PUBLIC ADDRESS SPEAKER, CEILING-MOUNTED WALL-MOUNTED VOLUME CONTROL ADJACENT TO LIGHT SWITCH (UON)
		S	PUBLIC ADDRESS SPEAKER, CEILING-MOUNTED
	MULTIOUTLET ASSEMBLY (PLUG MOLD) AS SPECIFIED ON PLANS WITH DEVICE TYPES AND QUANTITIES INDICATED ON PLANS	B	PUBLIC ADDRESS INTERCOM CALL BUTTON, WALL-MOUNTED 42" AFF
EPO	EMERGENCY POWER OFF, MUSHROOM HEAD, MAINTAINED CONTACT PUSH BUTTON	M	INTRUSION ALARM MOTION DETECTOR
PC	PHOTOELECTRIC SENSOR AIMED NORTH	KP	INTRUSION ALARM NUMERIC KEY-PAD
TC	TIME CLOCK, ASTRONOMIC/MULTI-POLE CONTACTOR	DC	INTRUSION ALARM DOOR CONTACTOR
M	POWER COMPANY POWER METER	CR	ACCESS CONTROL CARD READER
LC CHA 24 COIL 277 VAC 30 AS 12 P NEMA-1	LIGHTING CONTACTOR CHA = CONTACTOR NAME, COIL = COIL CONTROL VOLTAGE, VAC = VOLTAGE RATING, AS = CURRENT RATINGS, P = POLE COUNT, NEMA-# = ENCLOSURE TYPE	ML	ACCESS CONTROL MAGNETIC DOOR LOCK
		DH	ACCESS CONTROL DOOR HOLD-OPEN
240 VAC 60 AF 60 AT CB 3 P NEMA-1	CIRCUIT BREAKER, MOLDED-CASE, THERMO-MAGNETIC (UON) VAC = VOLTAGE RATING, AF = FRAME SIZE, AT = TRIP SETTING, P = POLE COUNT, NEMA- = ENCLOSURE TYPE (WHEN APPLICABLE)		VIDEO SURVEILLANCE CCTV CAMERA
240 VAC 60 AF 60 AF 3 P NEMA-1	DISCONNECT SWITCH VAC = VOLTAGE RATING, AS = SWITCH CURRENT RATING, AF = FUSE SIZE/TYPE (E.G. DETD) P = POLE COUNT, NEMA- = ENCLOSURE TYPE (WHEN APPLICABLE)	TLA DRY-TYPE 480: 208Y/120 VAC 45 kVA NEMA-2	TRANSFORMER = TLA TRANSFORMER NAME TYPE = TRANSFORMER TYPE (E.G. DRY-TYPE, HARMONIC-MITIGATING...), VAC = WINDING VOLTAGES (PRIMARY : SECONDARY), kVA = CONTINUOUS CAPACITY, TAPS = QUANTITY/DEVIATION OF TAPS, RISE = TEMP RISE, INSUL = INSULATION CLASS, WOUND = WINDING MATERIAL/CONFIGURATION, NEMA- = ENCLOSURE TYPE
		VFD	VARIABLE FREQUENCY DRIVE WITH INTEGRAL DISCONNECTING MEANS, VFCI
240 VAC 60 AF 40 AT #1 3 P NEMA-1 HOA	COMBINATION CIRCUIT BREAKER, MOTOR CONTROLLER, AND THERMAL OVERLOAD VAC = VOLTAGE RATING, AF = FRAME SIZE, AT = TRIP SETTING, NEMA-# = MOTOR STARTER SIZE/TYPE (E.G. FVNR), HOA = SELECTOR SWITCH TYPE, P = POLE COUNT, NEMA- = ENCLOSURE TYPE (WHEN APPLICABLE)	HP	MOTOR, SINGLE OR THREE PHASE HP = HORSE POWER
			EQUIPMENT CONNECTION

ABBREVIATION DEFINITIONS

2S1W	TWO-SPEED, ONE-WINDING MOTOR
2S2W	TWO-SPEED, TWO-WINDING MOTOR
(A)	ABANDONED TO REMOVE
A	PHASE "A" IN THREE-PHASE SYSTEM
A	AMPERES
AF	AMPERE FUSE OR FRAME RATING
AFCI	ARC FAULT CIRCUIT INTERRUPTER
AFF	ABOVE FINISHED FLOOR
AT	AMPERE TRIP SETTING
AFG	ABOVE FINISHED GRADE
B	PHASE "B" IN THREE-PHASE SYSTEM
BF	BALLAST FACTOR
BFC	BELOW FINISHED CEILING
BFF	BELOW FINISHED FLOOR
BFG	BELOW FINISHED GRADE
C	PHASE "C" IN THREE-PHASE SYSTEM
C	CONDUIT
CB	CIRCUIT BREAKER
CH	CONSTANT HORSE POWER (2S1W MOTOR)
CKT	CIRCUIT
CS	COMBINATION STARTER (MOTOR STARTER / DISCONNECT)
CT	CONSTANT TORQUE (2S1W MOTOR)
CT	CURRENT TRANSFORMER
(D)	EXISTING TO BE DEMOLISHED OR REMOVED
DETD	DUAL ELEMENT, TIME DELAY
DS	DISCONNECT SWITCH
(E)	EXISTING TO REMAIN
EMT	ELECTRICAL METALLIC TUBING
EPM	ELECTRONIC POWER METER
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FVNR	FULL VOLTAGE NON-REVERSING
G	GROUND
GEC	GROUNDING ELECTRODE CONDUCTOR
GFI/GFCI	GROUND FAULT CIRCUIT INTERRUPTER
HMT	HARMONIC-MITIGATING TRANSFORMER
HOA	HAND / OFF / AUTO SWITCH (FOR FVNR CONTACTOR)
HLOA	HIGH / LOW / OFF / AUTO (FOR 2S1W OR 2S2W CONTACTOR)
IG	ISOLATED GROUND
J/R	JAMMING RATIO
kAIC	KILO AMPERE INTERRUPTING CAPACITY
KCMIL	KILO CIRCULAR MILS
kVA	KILO VOLT AMPERES COMPLEX OR APPARENT POWER
kVAR	KILO VOLT AMPERES REACTIVE POWER
kW	KILO WATT REAL POWER
L1	HOT LEG 1 IN SINGLE-PHASE SYSTEM < 250 VAC
L2	HOT LEG 2 IN SINGLE-PHASE SYSTEM < 250 VAC
LSI+G	LONG TERM, SHORT TERM, INSTANTANEOUS, AND GROUND-FAULT
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MLO	MAIN LUGS ONLY
(N)	NEW
N	NEUTRAL
NEC	NATIONAL ELECTRICAL CODE (NFPA 70)
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NF	NON-FUSIBLE
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NSL	NON-SWITCHED HOT LEG
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OS	OCCUPANCY SENSOR
P	POLES
PF	POWER FACTOR
PFCC	POWER FACTOR CORRECTION CAPACITOR
PVC	POLY VINYL CHLORIDE
PT	POTENTIAL TRANSFORMER
RAL	RIGID ALUMINUM
RGS	RIGID GALVANIZED STEEL
SEC	SECTION OF LIGHTING-CLASS PANEL
SPD	SURGE PROTECTION DEVICE
SS-xxx	STAINLESS STEEL, "xxx" = AUSTENITIC ALLOY TYPE (E.G. 304)
ST	SHUNT-TRIP FOR CIRCUIT BREAKER
THD	TOTAL HARMONIC DISTORTION
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
V	VOLTS
VAC	VOLTS, ALTERNATING CURRENT
VDC	VOLTS, DIRECT CURRENT
VFCI	VENDOR FURNISHED, CONTRACTOR INSTALLED
VFD	VARIABLE FREQUENCY DRIVE
VS	VACANCY SENSOR
VT	VARIABLE TORQUE (2S1W MOTOR)
W	WIRES, NOT INCLUDING GEC
WP	WEATHER PROOF
#	AMERICAN WIRE GAGE
1Ø	PHASE
	MICRO FARAD
Ω	OHMS

GENERAL NOTES:

1. SYMBOL LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED ON ALL DRAWINGS.
2. ABBREVIATION DEFINITIONS ARE NOT COMPREHENSIVE, AND NOT ALL ABBREVIATIONS MAY APPLY TO ALL DRAWINGS. SUBMIT FORMAL REQUEST FOR INFORMATION WHEN ENCOUNTERING CONFLICTS OR AMBIGUOUS SYMBOLS OR ABBREVIATIONS, AS THESE WILL NOT CONSTITUTE DISMISSAL OF CONTRACTOR RESPONSIBILITY.
3. ALL COVER PLATES FOR RECEPTACLES, SWITCHES, AND DATA SHALL BE SS-302 (UON).
4. PROVIDE DECORA STYPE SWITCHES FOR LIGHT SWITCHES THAT ARE NOT OCCUPANCY SENSOR TYPE.

COORDINATE WITH CABLING CONTRACTOR FOR CONSTRUCTION SHOP DRAWINGS ALL LOW VOLTAGE DATA CABLES WILL BE ROUTED BACK TO THE CABLE TRAY IN MINIMUM 1"C EMT THE CONTRACTOR WILL BE RESPONSIBLE FOR SIZING AND ROUTING UNDER THE FOLLOWING PRETENSES

- CABLE TRAY AND OR WIRE NOT IN CONDUIT IS NOT ALLOWED IN ANY EXPOSED AREAS
- NO MORE THAN 100' BETWEEN PULL BOXES.
- NO MORE THAN 270 DEGREES OF TURNS BETWEEN PULL BOXES
- UTILIZE SWEEPING BENDS
- PULL BOXES MUST NOT BE USED AS TURNS. THE BEND MUST COME BEFORE OR AFTER THE PULL BOX.
- ALL EXPOSED CONDUITS ARE TO BE PAINTED PER ARCHITECT COLOR SELECTION.
- CONDUITS/J-BOXES MUST BE LABELED WITH WHAT ROOM NUMBERS THEY ARE FEEDING AND WHAT SYSTEM.
- CONDUITS SHOULD BE ROUTED AT HIGH LEVEL TO EITHER SIDE OF THE CORRIDOR.
- ELECTRICAL CONTRACTOR WILL COORDINATE THE SIZES AND ROUTING WITH THE DATA CONTRACTOR AND OTHER TRADES PRIOR TO INSTALLING.
- ALL CONDUITS WILL BE INSTALLED WITH MEASURED PULL TAPE
- ALL DATA CABLING WILL BE CAT6 PER SPECIFICATIONS.

COORDINATE WITH FIRE SPECIFICATIONS AND INSTALLING CONTRACTOR FOR CONSTRUCTION SHOP DRAWINGS ALL EXPOSED (OR ABOVE HARD CEILINGS) LOW VOLTAGE FIRE ALARM WIRING WILL BE ROUTED BACK TO THE FACP ROOM IN EMT CONDUIT. THE CONTRACTOR WILL BE RESPONSIBLE FOR SIZING AND ROUTING: PAINT AND LABEL AS REQUIRED BY ARCHITECT

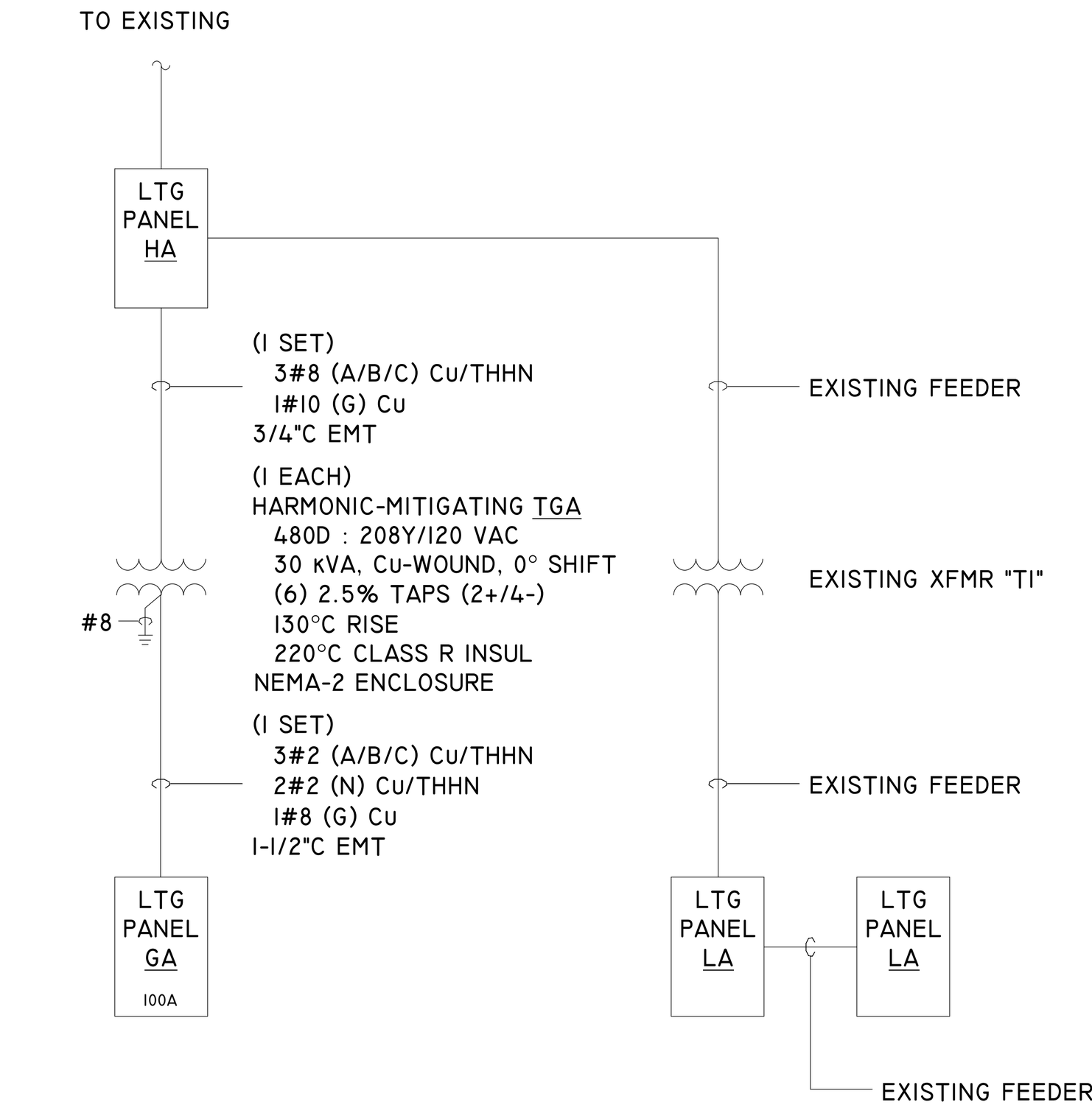
COORDINATE WITH SECURITY SPECIFICATIONS AND INSTALLING CONTRACTOR FOR CONSTRUCTION SHOP DRAWINGS ALL LOW VOLTAGE SECURITY ALARM WIRING WILL BE ROUTED BACK TO THE MDF ROOM IN EMT CONDUIT. THE CONTRACTOR WILL BE RESPONSIBLE FOR SIZING AND ROUTING: PAINT AND LABEL AS REQUIRED BY ARCHITECT

LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER	MODEL NUMBER	DESCRIPTION	MOUNTING	LAMP	WATTAGE	VOLTAGE	DIMMABLE	CONTROLS	NOTES
(D)			EXISTING FIXTURE TO BE DEMOLISHED			0 W				
(E)			EXISTING FIXTURE TO REMAIN			0 W				
A	PHILIPS DAY-BRITE	2FGG48L-840-4-D-UNV-DIM	2X4 LED - 4000K	RECESSED	LED	47 W	UNV	0-10V DIMMING		
AE	PHILIPS DAY-BRITE	2FXP48L840-4-DS-UNV-DIM-EMLED	2X4 LED - 4000K WITH EMERGENCY BATTERY PACK	RECESSED	LED	47 W	UNV	0-10V DIMMING		
C8	PINNACLE	EV4D-A-840-8FT-G1-U-OL1-1-0-W	RECESSED LINEAR SLOT	RECESSED	LED	51 W	UNV			
C8E	PINNACLE	EV4D-A-840-8FT-G1-U-OL1-1-0-W-E	RECESSED LINEAR SLOT WITH EMERGENCY	RECESSED	LED	51 W	UNV			
D	PATHWAY	C6PLB79V404KXW60DA / 6PLEDSCLPF / PKXX	CYLINDER - 4000K	SUSPENDED	LED	32 W	UNV			
DE	PATHWAY	C6PLB79V404KXW60DA / 6PLEDSCLPF / PKXX - IEM	CYLINDER - 4000K WITH EMERGENCY BATTERY PACK	SUSPENDED	LED	32 W	UNV			
E	PHILIPS LIGHTOLIER	4SN / C4L15L840MZ10U / C4SDLWCL-EM	4IN SQUARE DOWNLIGHT	RECESSED	LED	16 W	UNV			
EE	PHILIPS LIGHTOLIER	4SN / C4L15L840MZ10U / C4SDLWCL	4IN SQUARE DOWNLIGHT - WITH EMERGENCY BATTERY PACK	RECESSED	LED	16 W	UNV			
F18	PINNACLE	F18D-A-840HO-XX-U-OL1-1-0-W	18IN PENDANT	SUSPENDED	LED	28 W	UNV			
F36	PINNACLE	F36D-A-840LO-XX-U-OL1-1-0-W	36IN PENDANT	SUSPENDED	LED	44 W	UNV			
F48	PINNACLE	F48D-A-840LO-XX-U-OL1-1-0-W	48IN PENDANT	SUSPENDED	LED	82 W	UNV			
G	PHILIPS LIGHTOLIER	4SN / C4L10L840MZ10U / C4SDLWCL	4" SQUARE DOWNLIGHT	RECESSED	LED	11 W	UNV			
GE	PHILIPS LIGHTOLIER	4SN / C4L10L840MZ10U / C4SDLWCL	4" EMERGENCY SQUARE DOWNLIGHT	RECESSED	LED	11 W	UNV			
H	PINNACLE	EX4D1-A-HE-840HO-840-8FT-ACXX-U-OL1-1-0-W	INDIRECT / DIRECT SUSPENDED SLOT	SUSPENDED	LED	47 W	UNV			
J	SPI LIGHTING	SPI #11941	SUSPENDED COVE LIGHTING	SUSPENDED	LED	29 W	UNV			
X	EMERGI-LITE	LXN-XXX	EDGE-LIT EXIT SIGN	WALL/CEILING	LED	10 W	UNV			PROVIDE WITH NUMBER OF FACES AND DIRECTIONAL ARROWS AS SHOWN ON PLANS

LIGHTING GENERAL NOTES:

1. EMERGENCY EGRESS OPERATION IN LIGHT FIXTURES SHALL PROVIDE MINIMUM 1400 LUMENS FOR AT LEAST 90 MINUTES AND SHALL HAVE INTEGRAL TESTING AND CHARGING CIRCUIT, TEST SWITCH, AND INDICATOR LIGHT. REMOTE INDICATOS AND SWITCHES ARE NOT ACCEPTABLE.
2. ALL LIGHT FIXTURES APPENDED WITH NL (NIGHT LIGHT) SHALL BE NON-SWITCHED AND CONNECTED TO LIGHTING INVERTER.
3. ALL LIGHT FIXTURES APPENDED WITH E (EMERGENCY) AND NOT INDICATED TO BE ROUTED VIA LIGHTING INVERTER SHALL INCLUDE EMERGENCY BATTERY BACK-UP FIXTURE OPTION. IF FIXTURE DOES NOT HAVE BATTERY BACKUP OPTION, PROVIDE LOCAL INDIVIDUAL INVERTER FOR THAT PARTICULAR FIXTURE.
4. PROVIDE ADDITIONAL, NON-SWITCHED HOT CIRCUIT LEG TO FIXTURE FOR BATTERY CHARGING AND POWER-LOSS DETECTION FOR ALL EMERGENCY EGRESS OR EXIT SIGN FIXTURES AS PART OF BASE BID. WHERE A SPECIFIC NORMAL CIRCUIT IS NOT INDICATED, PROVIDE AN EXTENSION FROM THE NEAREST SAME-VOLTAGE AND TRIP-RATING NORMAL CIRCUIT IN THE AREA.
5. ALL OUTDOOR LIGHTING FIXTURES REQUIRE CORROSION-RESISTANT OPTION AND MINIMUM IP65 RATING, UNLESS NOTED OTHERWISE.
6. COORDINATE MOUNTING HEIGHT OF ALL FIXTURES WITH ARCHITECTURAL PLANS.
7. COORDINATE FINISH OF ALL FIXTURE WITH ARCHITECT PRIOR TO ORDERING.
8. REFER TO ARCHITECTURAL PLANS FOR GRID AND GYPSUM BOARD FLANGE AREAS PRIOR TO BIDDING OF LIGHT FIXTURES. PROVIDE CORRECT QUANTITY OF EACH VARIATION.



AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
6117 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4506
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

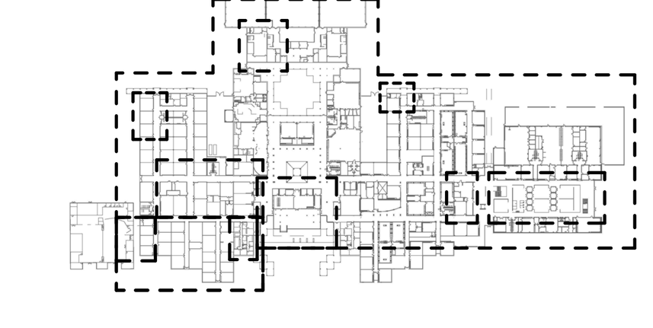
STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	SYMBOLS, NOTES, AND LEGENDS
Drawing Number	E0.01

3/12/2020 12:31:15 PM

EXISTING PANEL TO REMAIN

PANEL: HD2

LOCATION: ELEC ROOM - H139
FED FROM:

MTG:		BUS:		OPT:		ENCL:	MAIN:			
X	SURFACE	100%	NEUTRAL		INT SPD	NEMA	400 A	BUS	3 ø 4	WIRE
	FLUSH	X	SYS GND		FTL	TYPE 1	CU/SN		42	KAIC
	STRUT		ISO GND		FUSIBLE	STEEL	400 A	MLO	480Y/277	VOLT

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE	/ P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P /	TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	15	1	1	2.2	2.2					2	1	20	Q	(E) MECHANICAL EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	20	1	3			2.2	2.2			4	1	20	Q	(E) MECHANICAL EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	20	1	5					2.2	2.2	6	1	20	Q	(E) MECHANICAL EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	20	1	7	2.2	2.2					8	1	20	Q	(E) MECHANICAL EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	20	1	9			2.2	2.2			10	1	20	Q	(E) MECHANICAL EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	15	1	11					2.2	2.2	12	1	20	Q	(E) MECHANICAL EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
3-#1, 1-#1, 1-#6, 1 1/2"C	(E) MECHANICAL EQUIPMENT	Q	125	3	13	8.0	2.7					14	3	20	Q	(E) MECHANICAL EQUIPMENT	3-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	15			8.0	2.7			16	-- --	--	--	--	--
--	--	--	--	-- --	17					8.0	2.7	18	-- --	--	--	--	--
3-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	15	3	19	2.7	2.7					20	3	25	Q	(E) MECHANICAL EQUIPMENT	3-#10, 1-#10, 1-#10, 3/4"C
--	--	--	--	-- --	21			2.7	2.7			22	-- --	--	--	--	--
--	--	--	--	-- --	23					2.7	2.7	24	-- --	--	--	--	--
3-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	15	3	25	2.7	2.7					26	3	25	Q	(E) MECHANICAL EQUIPMENT	3-#10, 1-#10, 1-#10, 3/4"C
--	--	--	--	-- --	27			2.7	2.7			28	-- --	--	--	--	--
--	--	--	--	-- --	29					2.7	2.7	30	-- --	--	--	--	--
3-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	20	3	31	2.7	2.7					32	3	25	Q	(E) MECHANICAL EQUIPMENT	3-#10, 1-#10, 1-#10, 3/4"C
--	--	--	--	-- --	33			2.7	2.7			34	-- --	--	--	--	--
--	--	--	--	-- --	35					2.7	2.7	36	-- --	--	--	--	--
3-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	20	3	37	2.7	23.6					38	3	110	M; Q; R	(E) TD2	3-#2, 1-#2, 1-#6, 1 1/2"C
--	--	--	--	-- --	39			2.7	24.1			40	-- --	--	--	--	--
--	--	--	--	-- --	41					2.7	24.0	42	-- --	--	--	--	--
					Total Load:	62 kVA		62 kVA		62 kVA							
					Total Amps:	223 A		225 A		225 A							

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	63060 VA	57.93%	36530 VA	**CONNECTED LOAD (kVA)**	186 kVA
EQUIPMENT	Q	123068 VA	100.00%	123068 VA	**DEMAND LOAD (kVA)**	160 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	224 A
HEATING	H	0 VA	0.00%	0 VA	**DEMAND CURRENT (A)**	192 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: LD2

LOCATION: ELEC ROOM - H139
FED FROM: TD2

MTG:		BUS:		OPT:		ENCL:	MAIN:			
X	SURFACE	100%	NEUTRAL		INT SPD	NEMA	225 A	BUS	3 ø 4	WIRE
	FLUSH	X	SYS GND		FTL	TYPE 1	CU/SN		10	KAIC
	STRUT		ISO GND		FUSIBLE	STEEL	225 A	MCB	208Y/120	VOLT

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE	/ P	CKT NO	A		B		C		CKT NO	P /	TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	1	0.9	0.9					2	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	3			0.9	0.9			4	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	5					0.9	0.9	6	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	7	0.9	0.9					8	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	9			0.9	0.9			10	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	11					0.9	0.9	12	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	13	0.9	0.9					14	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	15			0.9	0.9			16	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	17					0.9	0.9	18	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	19	0.9	0.9					20	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	21			0.9	0.9			22	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	23					0.9	0.9	24	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	25	0.9	0.9					26	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	27			0.9	0.9			28	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	29					0.9	0.9	30	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	31	0.9	0.9					32	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	33			0.9	0.9			34	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	35					0.9	0.9	36	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	37	0.9	0.9					38	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	39			0.9	0.9			40	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	41					0.9	0.9	42	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	43	0.9	0.9					44	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	45			0.9	0.9			46	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	47					0.9	0.9	48	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	49	0.9	0.9					50	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
2-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	20	2	51			1.1	1.1			52	2	20	Q	(E) MECHANICAL EQUIPMENT	2-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	53					1.1	1.1	54	-- --	--	--	--	--
2-#12, 1-#12, 1-#12, 3/4"C	(E) MECHANICAL EQUIPMENT	Q	20	2	55	1.1	1.1					56	2	20	Q	(E) MECHANICAL EQUIPMENT	2-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	57			1.1	1.1			58	-- --	--	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	59					0.9	0.9	60	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	61	0.9	0.9					62	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	63			0.9	0.9			64	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	65					0.9	0.9	66	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	67	0.9	0.9					68	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	69			0.9	0.9			70	1	20	R	(E) RECEPTACLE LOADS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	71					0.9	0.7	72	1	20	R	(N) RECEPTACLES - STUDY RM - A103,A104	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOADS	R	20	1	73	0.9	0.5					74	1	20	R	(N) PROJECTOR - LIBRARY READING RM -...	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - STUDY RM - A101,A102	R	20	1	75			0.7	0.9			76	1	20	R	(N) RECEPTALCES - WORK ROOM	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - RR - A107,A108	R	20	1	77					1.4	0.9	78	1	20	R	(N) RECEPTACLES - READ ROOM	1-#12, 1-#12, 1-#12, 3/4"C
2-#12, 1-#12, 1-#12, 3/4"C	(N) COPIER - WORK ROOM	Q	20	2	79	0.1	0.2					80	1	20	R	(N) COPIER - WORK ROOM	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	81			0.1	0.2			82	1	20	R	(N) RECEPTACLE - WORK ROOM	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) EF-C-1	M	20	1	83					0.0	0.0	84	-- --	--	--	SPACE	--
					Total Load:	24 kVA		24 kVA		24 kVA							
					Total Amps:	197 A		202 A		201 A							

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	63060 VA	57.93%	36530 VA	**CONNECTED LOAD (kVA)**	72 kVA
EQUIPMENT	Q	8668 VA	100.00%	8668 VA	**DEMAND LOAD (kVA)**	45 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	199 A
HEATING	H	0 VA	0.00%	0 VA	**DEMAND CURRENT (A)**	125 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: BHK1

LOCATION: ELEC ROOM
FED FROM:

MTG:		BUS:		OPT:		ENCL:	MAIN:			
	SURFACE	100%	NEUTRAL		INT SPD	NEMA	225 A	BUS	3 ø 4	WIRE
X	FLUSH	X	SYS GND		FTL	TYPE 1	CU/SN		42	KAIC
	STRUT		ISO GND		FUSIBLE	STEEL	225 A	MLO	480Y/277	VOLT

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE	/ P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P /	TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
3-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	15	3	1	3.2	4.3					2	3	20	K	(E) EXISTING EQUIPMENT	3-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	3			3.2	4.3			4	-- --	--	--	--	--
--	--	--	--	-- --	5					3.2	4.3	6	-- --	--	--	--	--
3-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	15	3	7	0.8	16.7					8	3	90	K	(E) EXISTING EQUIPMENT	3-#2, 1-#2, 1-#8, 1 1/2"C
--	--	--	--	-- --	9			0.8	16.7			10	-- --	--	--	--	--
--	--	--	--	-- --	11					0.8	16.7	12	-- --	--	--	--	--
3-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	15	3	13	0.8	8.3					14	3	50	Q	TLK	3-#6, 1-#6, 1-#10, 1"C
--	--	--	--	-- --	15			0.8	8.3			16	-- --	--	--	--	--
--	--	--	--	-- --	17					0.8	8.3	18	-- --	--	--	--	--
3-#12, 1-#12, 1-#12, 3/4"C	(N) KITCHEN SUPPLY FAN	M	20	3	19	0.8	3.0					20	1	20	K	(N) IWH - KITCHEN C108	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	21			0.8	3.0			22	1	20	K	(N) IWH - KITCHEN C108	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	23					0.8	3.0	24	1	20	K	(N) IWH - KITCHEN C108	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) IWH - KITCHEN C108	K	20	1	25	3.0	26.1					26	3	110	M; Q; K	TBLK1	3-#2, 1-#2, 1-#6, 1 1/2"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) IWH - KITCHEN C108	K	20	1	27			3.0	26.0			28	-- --	--	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(N) IWH - KITCHEN C108	K	20	1	29					3.0	22.3	30	-- --	--	--	--	--
					Total Load:	67 kVA		67 kVA		63 kVA							
					Total Amps:	244 A		244 A		229 A							

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	0 VA	0.00%	0 VA	**CONNECTED LOAD (kVA)**	198 kVA
EQUIPMENT	Q	30900 VA	100.00%	30900 VA	**DEMAND LOAD (kVA)**	169 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	238 A
HEATING	H	0 VA	0.00%	0 VA	**DEMAND CURRENT (A)**	204 A
MOTOR	M	4900 VA	100.00%	4900 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	161780 VA	82.59%	133607 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: BLK1

LOCATION: ELEC ROOM
FED FROM: TBLK1

MTG:		BUS:		OPT:		ENCL:	MAIN:			
	SURFACE	100%	NEUTRAL		INT SPD	NEMA	225 A	BUS	3 ø 4	WIRE
X	FLUSH	X	SYS GND		FTL	TYPE 1	CU/SN		10	KAIC
	STRUT		ISO GND		FUSIBLE	STEEL	225 A	MCB	208Y/120	VOLT

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE	/ P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P /	TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	1	1.2	1.2					2	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	3			1.2	1.2			4	1	15	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	5					0.2	1.4	6	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	7	1.2	0.0					8	-- --	--	--	SHUNT TRIP	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	9			1.2	1.4			10	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	11					1.2	0.0	12	-- --	--	--	SHUNT TRIP	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	13	1.2	0.6					14	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	15			1.2	0.0			16	-- --	--	--	SHUNT TRIP	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	17					0.6	1.2	18	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	19	1.2	0.0					20	-- --	--	--	SHUNT TRIP	--
2-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	2	21			1.2	0.4			22	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	23					1.2	0.0	24	-- --	--	--	SHUNT TRIP	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	25	1.2	1.2					26	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	K	20	1	27			0.4	0.0			28	-- --	--	--	SHUNT TRIP	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	29					1.2	1.2	30	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	31	0.3	0.0					32	-- --	--	--	SHUNT TRIP	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	33			1.2	0.1			34	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	35					0.5	0.2	36	1	20	K	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
3-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	3	37	1.3	0.5					38	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	39			1.3	0.5			40	1	20	K	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	41					1.3	0.0	42	-- --	--	--	SHUNT TRIP	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	43	0.5	5.8					44	3	80	K	(E) EXISTING EQUIPMENT	3-#4, 1-#4, 1-#8, 1 1/2"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	K	20	1	45			0.5	5.8			46	-- --	--	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(N) REFRIGERATOR - KITCHEN EXPANSION	K	20	1	47					1.3	5.8	48	-- --	--	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(N) FREEZER - KITCHEN EXPANSION	K	20	1	49	1.9	1.8					50	2	30	K	(E) EXISTING EQUIPMENT	2-#10, 1-#10, 1-#10, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) PROOFER - KITCHEN EXPANSION	K	20	1	51			1.8	1.8			52	-- --	--	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(N) CORD REEL - KITCHEN EXPANSION	K	20	1	53					1.0	1.0	54	1	20	K	(N) CORD REEL - KITCHEN EXPANSION	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) STOVE - KITCHEN EXPANSION	K	20	1	55	0.5	0.8					56	1	20	K	(N) FRYER - KITCHEN EXPANSION	1-#12, 1-#12, 1-#12, 3/4"C
--	SHUNT TRIP	--	--	-- --	57			0.0	0.0			58	-- --	--	--	SHUNT TRIP	--
1-#12, 1-#12, 1-#12, 3/4"C	(N) HOOD SENSOR / LIGHTS - KITCHEN...	K	20	1	59					1.0	0.8	60	1	20	K	(N) FRYER - KITCHEN EXPANSION	1-#12, 1-#12, 1-#12, 3/4"C
--	SHUNT TRIP	--	--	-- --	61	0.0	0.0					62	-- --	--	--	SHUNT TRIP	--
1-#12, 1-#12, 1-#12, 3/4"C	(N) CONVECTION OVEN - KITCHEN...	K	20	1	63			0.7	0.7			64	1	20	K	(N) CONVECTION OVEN - KITCHEN...	1-#12, 1-#12, 1-#12, 3/4"C
--	SHUNT TRIP	--	--	-- --	65					0.0	0.0	66	-- --	--	--	SHUNT TRIP	--
2-#12, 1-#12, 1-#12, 3/4"C	(N) DRYER	Q	20	2	67	2.2	1.5					68	1	20	Q	(N) WASHING MACHINE	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	69			2.2	1.2			70	2	30	M	(N) KITCHEN EXHAUST FAN	2-#10, 1-#10, 1-#10, 3/4"C
3-#12, 1-#12, 1-#12, 3/4"C	BL1	M	20	3	71					0.0	1.2	72	-- --	--	--	--	--
--	--	--	--	-- --	73	0.0	0.0					74	-- --	--	--	SHUNT TRIP	--
--	--	--	--	-- --	75			0.0	0.0			76	-- --	--	--	SPACE	--
--	SPACE	--	--	-- --	77					0.0	0.0	78	-- --	--	--	SPACE	--
--	SPACE	--	--	-- --	79	0.0	0.0					80	-- --	--	--	SPACE	--
--	SPACE	--	--	-- --	81			0.0	0.0			82	-- --	--	--	SPACE	--
--	SPACE	--	--	-- --	83					0.0	0.0	84	-- --	--	--	SPACE	--
					Total Load:	26 kVA		26 kVA		22 kVA							
					Total Amps:	222 A		222 A		186 A							

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	0 VA	0.00%	0 VA	**CONNECTED LOAD (kVA)**	74 kVA
EQUIPMENT	Q	5900 VA	100.00%	5900 VA	**DEMAND LOAD (kVA)**	60 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	207 A
HEATING	H	0 VA	0.00%	0 VA	**DEMAND CURRENT (A)**	167 A
MOTOR	M	2400 VA	100.00%	2400 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	66150 VA	78.28%	51781 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: HD

LOCATION: ELEC ROOM - H139
FED FROM:

MTG:		BUS:		OPT:		ENCL:	MAIN:			
X	SURFACE	100%	NEUTRAL		INT SPD	NEMA	225 A	BUS	3 ø 4	WIRE
	FLUSH	X	SYS GND		FTL	TYPE 1	CU/SN		22	KAIC
	STRUT		ISO GND		FUSIBLE	STEEL	100 A	MCB	480Y/277	VOLT

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE	/ P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P /	TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
--	SPACE	--	--	-- --	1	0.0	0.0					2	-- --	--	--	SPACE	--
--	SPACE	--	--	-- --	3			0.0	0.0			4	-- --	--	--	SPACE	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	5					1.5	1.5	6	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	7	1.5	1.5					8	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	9			1.5	1.5			10	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	11					1.5	1.5	12	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	13	1.5	1.5					14	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	15			1.5	1.5			16	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	17					1.5	1.5	18	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	19	1.5	1.5					20	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	21			1.5	1.5			22	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTS	L	20	1	23					1.5	1.5	24	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) FPB-HS-1	H	20	1	25	7.0	1.5					26	1	20	L	(E) EXISTING LIGHTS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) FPB-HS-2	H	20	1	27			7.0	0.0			28	-- --	--	--	SPACE	--
--	SPACE	--	--	-- --	29					0.0	0.0	30	-- --	--	--	SPACE	--
					Total Load:	18 kVA		16 kVA		12 kVA							
					Total Amps:	65 A		60 A		43 A							

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	31500 VA	125.00%	39375 VA		
RECEPTACLE	R	0 VA	0.00%	0 VA	**CONNECTED LOAD (kVA)**	46 kVA
EQUIPMENT	Q	0 VA	0.00%	0 VA	**DEMAND LOAD (kVA)**	53 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	55 A
HEATING	H	14000 VA	100.00%	14000 VA	**DEMAND CURRENT (A)**	64 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

STAFFORD SPARTANS

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
6117 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4506
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

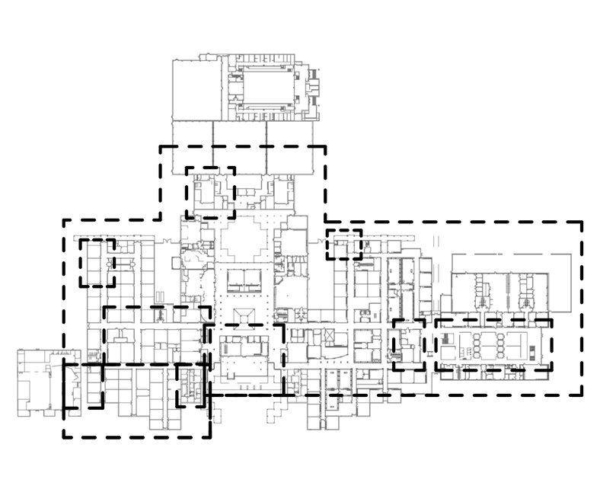
STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



KEY PLAN

TRUE NORTH PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	PANEL SCHEDULES
Drawing Number	E0.02

3/12/2020 12:31:24 PM

EXISTING PANEL TO REMAIN

PANEL: LE

LOCATION: ELEC ROOM - M155
FED FROM:

MTG:	X SURFACE / FLUSH / STRUT	BUS:	100% NEUTRAL / X SYS GND / ISO GND	OPT:	INT SPD / FTL / FUSIBLE	ENCL:	NEMA / TYPE 1 / STEEL
MAIN:	250 A / CU/SN / 250 A	BUS / MCB		3 ø 4	WIRE	10 KAIC	208Y/120 VOLT

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE	P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P	TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	1	0.9	0.9					2	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	3			0.9	0.9			4	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	5					0.9	0.9	6	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	7	0.9	0.9					8	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	9			0.9	0.9			10	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	11					0.9	0.9	12	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	13	0.9	0.9					14	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	15			0.9	0.9			16	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	17					0.9	0.9	18	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	19	0.9	0.9					20	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	21			0.9	0.9			22	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	23					0.9	0.9	24	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	25	0.9	0.9					26	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	27			0.9	0.9			28	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	29					0.9	0.9	30	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	31	0.9	2.0					32	1	20	R	(N) RECEPTACLES - LEARNING STAIR	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	33			0.9	0.4			34	1	20	R	(N) EMB - ROBO. LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	35					0.9	0.4	36	1	20	R	(N) EMB - ROBO. LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	37	0.9	0.2					38	1	20	R	(N) RECEPTACLE - ROBO. LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - ROBO. LAB	R	20	1	39			0.7	0.7			40	1	20	R	(N) RECEPTACLES - ROBO. LAB	1-#12, 1-#12, 1-#12, 3/4"C
--	SPACE	--	--	-- --	41					0.0	0.0	42	-- --	--	--	SPACE	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	43	0.9	0.9					44	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	45			0.9	0.9			46	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	47					0.9	0.9	48	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	49	0.9	0.9					50	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	51			0.9	0.9			52	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	53					0.9	0.9	54	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	55	0.9	0.9					56	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	57			0.9	0.9			58	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	59					0.9	0.9	60	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	61	0.9	0.9					62	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	63			0.9	0.9			64	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	65					0.9	0.9	66	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	67	0.9	0.9					68	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	69			0.9	0.9			70	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	71					0.9	0.9	72	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	73	0.9	0.9					74	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	75			0.9	0.8			76	1	20	R	(N) EMB - LEARNING STAIR	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLE	R	20	1	77					0.9	0.0	78	-- --	--	--	SPACE	--
--	SPARE	--	20	-- 1	79	0.0	0.9					80	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
--	SPACE	--	--	-- --	81			0.0	0.9			82	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
--	SPACE	--	--	-- --	83					0.0	0.9	84	1	20	R	(E) EXISTING RECEPTACLE	1-#12, 1-#12, 1-#12, 3/4"C
					Total Load:	25 kVA		23 kVA		21 kVA							
					Total Amps:	209 A		197 A		176 A							

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	69040 VA	57.24%	39520 VA	CONNECTED LOAD (kVA)	69 kVA
EQUIPMENT	Q	0 VA	0.00%	0 VA	DEMAND LOAD (kVA)	40 kVA
COOLING	C	0 VA	0.00%	0 VA	CONNECTED CURRENT (A)	192 A
HEATING	H	0 VA	0.00%	0 VA	DEMAND CURRENT (A)	110 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: LC

LOCATION: ELEC ROOM - M155
FED FROM:

MTG:	X SURFACE / FLUSH / STRUT	BUS:	100% NEUTRAL / X SYS GND / ISO GND	OPT:	INT SPD / FTL / FUSIBLE	ENCL:	NEMA / TYPE 1 / STEEL
MAIN:	225 A / CU/SN / 225 A	BUS / MCB		3 ø 4	WIRE	10 KAIC	208Y/120 VOLT

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE	P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P	TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	1	0.9	0.9					2	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	3			0.9	0.9			4	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	5					0.9	0.9	6	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	7	0.9	0.9					8	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	9			0.9	0.9			10	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	11					0.9	0.9	12	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	13	0.9	0.9					14	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	15			0.9	0.9			16	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	17					0.9	0.9	18	1	20	Q	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	19	0.9	0.9					20	1	20	Q	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	21			0.9	0.9			22	1	20	Q	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	23					0.9	0.9	24	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	25	0.9	0.9					26	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	27			0.9	1.8			28	1	20	Q	(N) CORD REEL	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) CORD REEL	Q	20	1	29					1.8	1.8	30	1	20	Q	(N) CORD REEL	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) OVERHEAD DOOR	Q	20	1	31	0.9	0.9					32	1	20	Q	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) OVERHEAD DOOR	Q	20	1	33			0.9	0.9			34	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
--	SPARE	--	20	-- 1	35					0.0	0.9	36	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
3-#4, 1-#4, 1-#8, 1 1/2"C	(E) PANEL D	Q	80	3	37	0.2	0.3					38	2	30	Q	(E) EXISTING EQUIPMENT	2-#10, 1-#10, 1-#10, 3/4"C
--	--	--	--	-- --	39			0.2	0.3			40	-- --	--	--	--	--
--	--	--	--	-- --	41					0.2	0.0	42	1 --	20	--	SPARE	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	43	0.9	0.9					44	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	45			0.9	0.9			46	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	47					0.9	0.9	48	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	49	0.9	0.9					50	1	20	R	(E) EXISTING RECEPTACLES	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	R	20	1	51			0.9	4.3			52	3	60	Q	(E) EQUIPMENT LOAD	3-#6, 1-#6, 1-#10, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	Q	20	1	53					0.9	4.3	54	-- --	--	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	Q	20	1	55	0.9	4.3					56	-- --	--	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	Q	20	1	57			0.9	0.7			58	1	20	R	(N) RECEPTACLES - CODING LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	Q	20	1	59					0.9	0.4	60	1	20	R	(N) EMB - CODING LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	Q	20	1	61	0.9	4.3					62	3	80	Q	(E) EXISTING EQUIPMENT	3-#4, 1-#4, 1-#8, 1 1/2"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	63			0.9	4.3			64	-- --	--	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	65					0.9	4.3	66	-- --	--	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	67	0.9	0.7					68	1	20	R	(N) RECEPTACLES - CODING LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	69			0.9	0.4			70	1	20	R	(N) EMB MEDICAL LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	71					0.9	0.7	72	1	20	R	(N) RECEPTACLES - CODING LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	73	0.9	0.7					74	1	20	R	(N) RECEPTACLES - CODING LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING RECEPTACLES	R	20	1	75			0.9	1.1			76	1	20	R	(N) RECEPTACLES - MEDICAL LAB	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLE - MEDICAL LAB	R	20	1	77					0.2	0.7	78	1	20	R	(N) RECEPTACLES - CLASSROOM	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM	R	20	1	79	0.7	0.4					80	1	20	R	(N) RECEPTACLES - COLLABORATION	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - COLLABORATION	R	20	1	81			0.4	0.5			82	1	20	R	(N) RECEPTACLES - COLLABORATION	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - COLLABORATION	R	20	1	83					0.5	0.7	84	1	20	R	(N) RECEPTACLES - CODING LAB	1-#12, 1-#12, 1-#12, 3/4"C
					Total Load:	30 kVA		30 kVA		29 kVA							
					Total Amps:	247 A		252 A		243 A							

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	46620 VA	60.73%	28310 VA	CONNECTED LOAD (kVA)	89 kVA
EQUIPMENT	Q	42300 VA	100.00%	42300 VA	DEMAND LOAD (kVA)	71 kVA
COOLING	C	0 VA	0.00%	0 VA	CONNECTED CURRENT (A)	247 A
HEATING	H	0 VA	0.00%	0 VA	DEMAND CURRENT (A)	196 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: LG

LOCATION: ELEC ROOM
FED FROM: LF

MTG:	X SURFACE / FLUSH / STRUT	BUS:	100% NEUTRAL / X SYS GND / ISO GND	OPT:	INT SPD / FTL / FUSIBLE	ENCL:	NEMA / TYPE 1 / STEEL
MAIN:	80 A / CU/SN / 80 A	BUS / MCB		3 ø 4	WIRE	22 KAIC	208Y/120 VOLT

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE	P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P	TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	1	0.6	0.6					2	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	3			0.6	0.6			4	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	5					0.6	0.6	6	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	7	0.6	0.6					8	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	9			0.6	0.6			10	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	11					0.4	0.6	12	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	13	0.4	0.6					14	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	15			0.4	0.6			16	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	17					0.4	0.6	18	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	19	0.6	0.7					20	3	20	Q	(E) EQUIPMENT LOAD	3-#12, 1-#12, 1-#12, 3/4"C
2-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	2	21			0.6	0.7			22	-- --	--	--	--	--
--	--	--	--	-- --	23					0.6	0.7	24	-- --	--	--	--	--
3-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	3	25	0.8	0.8					26	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	27			0.8	0.6			28	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	29					0.8	0.6	30	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	31	0.6	0.4					32	1	20	R	(N) RECEPTACLES - LIFE SKILLS	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	33			0.6	0.6			34	1	20	R	(N) RECEPTACLES - LIFE SKILLS	1-#12, 1-#12, 1-#12, 3/4"C
--	SPACE	--	--	-- --	35					0.0	0.7	36	1	20	R	(N) RECEPTACLES - RR G106A	1-#12, 1-#12, 1-#12, 3/4"C
--	SPACE	--	--	-- --	37	0.0	0.0					38	-- --	--	--	SPACE	--
--	SPACE	--	--	-- --	39			0.0	0.0			40	-- --	--	--	SPACE	--
--	SPACE	--	--	-- --	41					0.0	0.0	42	-- --	--	--	SPACE	--
					Total Load:	7 kVA		7 kVA		7 kVA							
					Total Amps:	62 A		62 A		55 A							

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	1680 VA	100.00%	1680 VA	CONNECTED LOAD (kVA)	21 kVA
EQUIPMENT	Q	19500 VA	100.00%	19500 VA	DEMAND LOAD (kVA)	21 kVA
COOLING	C	0 VA	0.00%	0 VA	CONNECTED CURRENT (A)	59 A
HEATING	H	0 VA	0.00%	0 VA	DEMAND CURRENT (A)	59 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: LF

LOCATION: ELEC ROOM
FED FROM:

MTG:	X SURFACE / FLUSH / STRUT	BUS:	100% NEUTRAL / X SYS GND / ISO GND	OPT:	INT SPD / FTL / FUSIBLE	ENCL:	NEMA / TYPE 1 / STEEL
MAIN:	150 A / CU/SN / 150 A	BUS / MCB		3 ø 4	WIRE	22 KAIC	208Y/120 VOLT

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE	P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P	TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	1	0.6	0.6					2	1	20	R	(E) RECEPTACLE LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	3			0.6	0.6			4	1	20	R	(E) RECEPTACLE LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	5					0.6	0.6	6	1	20	R	(E) RECEPTACLE LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	7	0.6	0.6					8	1	20	R	(E) RECEPTACLE LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	9			0.6	0.6			10	1	20	R	(E) RECEPTACLE LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	11					0.6	0.6	12	1	20	R	(E) RECEPTACLE LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	13	0.6	0.6					14	1	20	R	(E) RECEPTACLE LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	15			0.6	0.6			16	1	20	R	(E) RECEPTACLE LOAD	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	17					0.6	0.9	18	1	30	R	(E) RECEPTACLE LOAD	1-#10, 1-#10, 1-#10, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	19	0.6	0.9					20	1	30	R	(E) RECEPTACLE LOAD	1-#10, 1-#10, 1-#10, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	21			0.6	0.9			22	1	30	R	(E) RECEPTACLE LOAD	1-#10, 1-#10, 1-#10, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	23					0.6	0.9	24	1	30	R	(E) RECEPTACLE LOAD	1-#10, 1-#10, 1-#10, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) RECEPTACLE LOAD	R	20	1	25	0.6	0.6					26	1	20	R	(E) RECEPTACLE LOAD	1-#12, 1-#12, 1-#12, 3/4"C
2-#10, 1-#10, 1-#10, 3/4"C	(N) STACKABLE DRYER	Q	30	2	27			1.5	1.0			28	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	29					1.5	1.0	30	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
2-#6, 1-#6, 1-#10, 1"C	(N) OVEN	Q	50	2	31	1.5	1.0					32	1	20	Q	(E) EQUIPMENT LOAD	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	33			1.5	1.0			34	1	20	Q	(N) STACKABLE WASHER	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EQUIPMENT LOAD	Q	20	1	35					0.5	1.0	36	1	20	Q	(N) DISHWASHER	1-#12, 1-#12, 1-#12, 3/4"C
3-#4, 1-#4, 1-#8, 1 1/2"C	(E) PANEL LG	Q; R	80	3	37	7.3	0.5					38	1	20	R	(N) RECEPTACLES - LIFE SKILLS	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	39			7.3	0.2			40	1	20	Q	(N) MICROWAVE	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	--	-- --	41					6.6	1.0	42	1	20	Q	(N) REFRIGERATOR	1-#12, 1-#12, 1-#12, 3/4"C
					Total Load:	17 kVA		18 kVA		17 kVA							
					Total Amps:	139 A		147 A		142 A							

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	19020 VA	76.29%	14510 VA	CONNECTED LOAD (kVA)	51 kVA
EQUIPMENT	Q	32180 VA	100.00%	32180 VA	DEMAND LOAD (kVA)	47 kVA
COOLING	C	0 VA	0.00%	0 VA	CONNECTED CURRENT (A)	142 A
HEATING	H	0 VA	0.00%	0 VA	DEMAND CURRENT (A)	130 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net
AUTOARCH ARCHITECTS

CONSULTANTS:
MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120
STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
6117 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4506
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

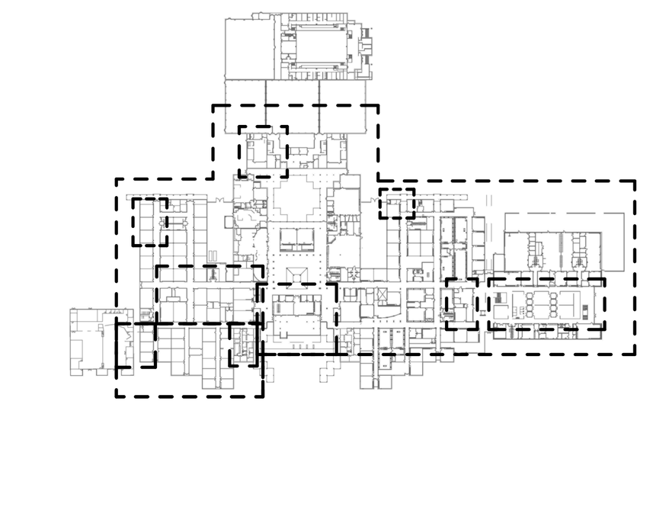
PROFESSIONAL SEAL:
STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	PANEL SCHEDULES
Drawing Number	E0.03

3/12/2020 12:31:32 PM

EXISTING PANEL TO REMAIN

PANEL: HA

LOCATION: ELEC ROOM - N109
FED FROM:

MTG:	X	SURFACE	**BUS:**	100%	NEUTRAL	**OPT:**		INT SPD	**ENCL:**	NEMA	**MAIN:**	250 A	BUS	3 ø 4	**WIRE**
		FLUSH		X	SYS GND			FTL		TYPE 1		CU/SN		22	**KAIC**
		STRUT			ISO GND			FUSIBLE		STEEL		250 A	MCB	480Y/277	**VOLT**

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE / P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P / TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	1	2.0	2.0					2	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	3			2.0	2.0			4	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	5					2.0	2.0	6	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	7	2.0	2.0					8	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	9			2.0	0.0			10	1 -- 20	--	SPARE	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	11					2.0	0.0	12	1 -- 20	--	SPARE	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	13	2.0	2.0					14	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	15			2.0	2.0			16	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	17					2.0	2.0	18	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	19	2.0	2.0					20	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	21			2.0	2.0			22	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	23					2.0	2.0	24	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
3-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING EQUIPMENT	Q	20 / 3	25	2.3	2.0					26	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	-- -- --	27			2.3	2.0			28	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	-- -- --	29					2.3	0.0	30	1 -- 20	--	SPARE	--
3-#2, 1-#2, 1-#8, 1 1/2"C	(E) TRANSFORMER T1	Q	100 / 3	31	20.0	10.4					32	3 / 20	R	(N) TGA	3-#12, 1-#12, 1-#12, 3/4"C
--	--	--	-- -- --	33			20.0	10.3			34	-- -- --	--	--	--
--	--	--	-- -- --	35					20.0	7.7	36	-- -- --	--	--	--
--	SPACE	--	-- -- --	37	0.0	0.0					38	1 -- 20	--	SPARE	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	39			2.0	0.0			40	-- -- --	--	SPACE	--
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	41					2.0	0.0	42	-- -- --	--	SPACE	--
				Total Load:	51 kVA		51 kVA		46 kVA						
				Total Amps:	186 A		185 A		166 A						

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	52000 VA	125.00%	65000 VA		
RECEPTACLE	R	28440 VA	67.58%	19220 VA	**CONNECTED LOAD (kVA)**	147 kVA
EQUIPMENT	Q	67000 VA	100.00%	67000 VA	**DEMAND LOAD (kVA)**	151 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	177 A
HEATING	H	0 VA	0.00%	0 VA	**DEMAND CURRENT (A)**	182 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: BH1

LOCATION: MECH B100
FED FROM:

MTG:	X	SURFACE	**BUS:**	100%	NEUTRAL	**OPT:**		INT SPD	**ENCL:**	NEMA	**MAIN:**	400 A	BUS	3 ø 4	**WIRE**
		FLUSH		X	SYS GND			FTL		TYPE 1		CU/SN		22	**KAIC**
		STRUT			ISO GND			FUSIBLE		STEEL		400 A	MCB	480Y/277	**VOLT**

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE / P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P / TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	1	2.0	2.0					2	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	3			2.0	2.0			4	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	5					2.0	2.0	6	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	7	2.0	2.0					8	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	9			2.0	2.0			10	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	11					2.0	2.0	12	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	13	2.0	2.0					14	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	15			2.0	2.0			16	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	17					2.0	2.0	18	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	19	2.0	2.0					20	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	21			2.0	2.0			22	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	23					2.0	2.0	24	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	25	2.0	2.0					26	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	27			2.0	2.0			28	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) LIGHTING - AREA H	L	20 / 1	29					0.5	2.0	30	1 / 40	L	(E) EXISTING LIGHTING	1-#8, 1-#8, 1-#10, 3/4"C
3-#12, 1-#12, 1-#12, 3/4"C	(N) FPB-G-1	K	20 / 3	31	3.7	18.3					32	3 / 110	Q	(E) TRANSFORMER TBL1A	3-#2, 1-#2, 1-#6, 1 1/2"C
--	--	--	-- -- --	33			3.7	18.3			34	-- -- --	--	--	--
--	--	--	-- -- --	35					3.7	18.3	36	-- -- --	--	--	--
1-#12, 1-#12, 1-#12, 3/4"C	(N) IWH - KITCHEN C108	K	20 / 1	37	3.0	4.7					38	3 / 30	Q	(E) TRANSFORMER TBL1	3-#10, 1-#10, 1-#10, 3/4"C
--	SPACE	--	-- -- --	39			0.0	4.7			40	-- -- --	--	--	--
--	SPACE	--	-- -- --	41					0.0	4.7	42	-- -- --	--	--	--
				Total Load:	50 kVA		47 kVA		45 kVA						
				Total Amps:	180 A		169 A		163 A						

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	58487 VA	125.00%	73108 VA		
RECEPTACLE	R	0 VA	0.00%	0 VA	**CONNECTED LOAD (kVA)**	141 kVA
EQUIPMENT	Q	69000 VA	100.00%	69000 VA	**DEMAND LOAD (kVA)**	156 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	170 A
HEATING	H	0 VA	0.00%	0 VA	**DEMAND CURRENT (A)**	188 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	14000 VA	100.00%	14000 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: BL2A

LOCATION: MEZZANINE ELECTRICAL ROOM
FED FROM:

MTG:	X	SURFACE	**BUS:**	100%	NEUTRAL	**OPT:**		INT SPD	**ENCL:**	NEMA	**MAIN:**	400 A	BUS	3 ø 4	**WIRE**
		FLUSH		X	SYS GND			FTL		TYPE 1		CU/SN		22	**KAIC**
		STRUT			ISO GND			FUSIBLE		STEEL		400 A	MCB	208Y/120	**VOLT**

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE / P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P / TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
3-#6, 1-#6, 1-#10, 1"C	(N) WELDER - WELDING LAB	Q	60 / 3	1	5.0	0.4					2	3 / 20	R	(N) RECEPTACLE - WELDING LAB	3-#12, 1-#12, 1-#12, 3/4"C
--	--	--	-- -- --	3			5.0	0.4			4	-- -- --	--	--	--
--	--	--	-- -- --	5					5.0	0.4	6	-- -- --	--	--	--
3-#6, 1-#6, 1-#10, 1"C	(N) WELDER - WELDING LAB	Q	60 / 3	7	5.0	5.0					8	3 / 60	Q	(N) WELDER - WELDING LAB	3-#6, 1-#6, 1-#10, 1"C
--	--	--	-- -- --	9			5.0	5.0			10	-- -- --	--	--	--
--	--	--	-- -- --	11					5.0	5.0	12	-- -- --	--	--	--
3-#6, 1-#6, 1-#10, 1"C	(N) WELDER - WELDING LAB	Q	60 / 3	13	5.0	0.4					14	1 / 20	R	(N) RECEPTACLE - WELDING LAB	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	-- -- --	15			5.0	0.4			16	1 / 20	R	(N) RECEPTACLE - WELDING LAB	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	-- -- --	17					5.0	0.4	18	1 / 20	R	(N) RECEPTACLE - WELDING LAB	1-#12, 1-#12, 1-#12, 3/4"C
--	SPACE	--	-- -- --	19	0.0	5.0					20	3 / 20	Q	(N) RECEPTACLE - WELDING LAB	3-#12, 1-#12, 1-#12, 3/4"C
--	SPACE	--	-- -- --	21			0.0	5.0			22	-- -- --	--	--	--
--	SPACE	--	-- -- --	23					0.0	5.0	24	-- -- --	--	--	--
2-#6, 1-#6, 1-#10, 1"C	(E) EXISTING EQUIPMENT	Q	50 / 2	25	4.0	5.0					26	3 / 20	Q	(N) WELDER	3-#12, 1-#12, 1-#12, 3/4"C
--	--	--	-- -- --	27			4.0	5.0			28	-- -- --	--	--	--
2-#10, 1-#10, 1-#10, 3/4"C	(E) EXISTING EQUIPMENT	Q	30 / 2	29					0.5	5.0	30	-- -- --	--	--	--
--	--	--	-- -- --	31	0.5						32	/			
--	SPACE	--	-- -- --	33			0.0	0.0			34	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	35					0.0	0.0	36	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	37	0.0	0.0					38	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	39			0.0	0.0			40	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	41					0.0	0.0	42	-- -- --	--	SPACE	--
--	SPARE	--	50 -- 2	43	0.0	0.0					44	2 -- 50	--	SPARE	--
--	--	--	-- -- --	45			0.0	0.0			46	-- -- --	--	--	--
--	SPARE	--	50 -- 2	47					0.0	0.0	48	2 -- 50	--	SPARE	--
--	--	--	-- -- --	49	0.0	0.0					50	-- -- --	--	--	--
--	SPARE	--	50 -- 2	51			0.0	0.0			52	2 -- 50	--	SPARE	--
--	--	--	-- -- --	53					0.0	0.0	54	-- -- --	--	--	--
--	SPARE	--	50 -- 2	55	0.0	0.0					56	2 -- 50	--	SPARE	--
--	--	--	-- -- --	57			0.0	0.0			58	-- -- --	--	--	--
--	SPARE	--	50 -- 2	59					0.0	0.0	60	-- -- --	--	SPACE	--
--	--	--	-- -- --	61	0.0	0.7					62	1 / 20	Q	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
--	SPARE	--	50 -- 2	63			0.0	0.7			64	1 / 20	Q	(E) EXISTING EQUIPMENT	1-#12, 1-#12, 1-#12, 3/4"C
--	--	--	-- -- --	65					0.0	0.0	66	-- -- --	--	SPACE	--
--	SPARE	--	50 -- 2	67	0.0	0.0					68	-- -- --	--	SPACE	--
--	--	--	-- -- --	69			0.0	0.0			70	-- -- --	--	SPACE	--
--	SPARE	--	50 -- 2	71					0.0	0.0	72	-- -- --	--	SPACE	--
--	--	--	-- -- --	73	0.0	0.0					74	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	75			0.0	0.0			76	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	77					0.0	0.0	78	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	79	0.0	0.0					80	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	81			0.0	0.0			82	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	83					0.0	0.0	84	-- -- --	--	SPACE	--
				Total Load:	36 kVA		35 kVA		31 kVA						
				Total Amps:	305 A		301 A		260 A						

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	2160 VA	100.00%	2160 VA	**CONNECTED LOAD (kVA)**	103 kVA
EQUIPMENT	Q	100400 VA	100.00%	100400 VA	**DEMAND LOAD (kVA)**	103 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	285 A
HEATING	H	0 VA	0.00%	0 VA	**DEMAND CURRENT (A)**	285 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

NEW PANEL

PANEL: GA

LOCATION: ELEC ROOM - N109
FED FROM: TGA

MTG:	X	SURFACE	**BUS:**	100%	NEUTRAL	**OPT:**		INT SPD	**ENCL:**	NEMA	**MAIN:**	100 A	BUS	3 ø 4	**WIRE**
		FLUSH		X	SYS GND			FTL		TYPE 1		CU/SN		22	**KAIC**
		STRUT			ISO GND			FUSIBLE		STEEL		100 A	MCB	208Y/120	**VOLT**

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE / P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P / TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N139	R	20 / 1	1	1.1	1.1					2	1 / 20	R	(N) RECEPTACLES - CLASSROOM N139	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N139	R	20 / 1	3			1.1	1.1			4	1 / 20	R	(N) RECEPTACLES - CLASSROOM N139	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N139	R	20 / 1	5					1.1	1.1	6	1 / 20	R	(N) RECEPTACLES - CLASSROOM N122	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N122	R	20 / 1	7	1.1	1.1					8	1 / 20	R	(N) RECEPTACLES - CLASSROOM N122	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N122	R	20 / 1	9			1.1	1.1			10	1 / 20	R	(N) RECEPTACLES - CLASSROOM N122	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) PROJECTOR - CLASSROOM N139	R	20 / 1	11					0.4	0.4	12	1 / 20	R	(N) PROJECTOR - CLASSROOM N122	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) PROJECTOR - CLASSROOM N141	R	20 / 1	13	0.4	0.7					14	1 / 20	R	(N) RECEPTACLES - CLASSROOM N141	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N141	R	20 / 1	15			0.7	0.7			16	1 / 20	R	(N) RECEPTACLES - CLASSROOM N141	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N141	R	20 / 1	17					0.7	1.1	18	1 / 20	R	(N) RECEPTACLES - CLASSROOM N141	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) PROJECTOR - CLASSROOM N141	R	20 / 1	19	1.1	1.1					20	1 / 20	R	(N) PROJECTOR - CLASSROOM N141	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N141	R	20 / 1	21			1.1	0.5			22	1 / 20	R	(N) RECEPTACLES - CLASSROOM N136	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N136	R	20 / 1	23					0.5	0.4	24	1 / 20	R	(N) RECEPTACLES - CLASSROOM N136	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N136	R	20 / 1	25	0.4	0.7					26	1 / 20	R	(N) RECEPTACLES - CLASSROOM N140	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N140	R	20 / 1	27			0.7	1.1			28	1 / 20	R	(N) RECEPTACLES - CLASSROOM N140	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N140	R	20 / 1	29					1.1	1.1	30	1 / 20	R	(N) RECEPTACLES - CLASSROOM N140	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N140	R	20 / 1	31	1.1	0.7					32	1 / 20	R	(N) RECEPTACLES - CLASSROOM N140	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(N) RECEPTACLES - CLASSROOM N140	R	20 / 1	33			0.7	0.4			34	1 / 20	R	(N) PROJECTOR - CLASSROOM N140	1-#12, 1-#12, 1-#12, 3/4"C
--	SPACE	--	-- -- --	35					0.0	0.0	36	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	37	0.0	0.0					38	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	39			0.0	0.0			40	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	41					0.0	0.0	42	-- -- --	--	SPACE	--
				Total Load:	10 kVA		10 kVA		8 kVA						
				Total Amps:	90 A		89 A		65 A						

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	0 VA	0.00%	0 VA		
RECEPTACLE	R	28440 VA	67.58%	19220 VA	**CONNECTED LOAD (kVA)**	28 kVA
EQUIPMENT	Q	0 VA	0.00%	0 VA	**DEMAND LOAD (kVA)**	19 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	79 A
HEATING	H	0 VA	0.00%	0 VA	**DEMAND CURRENT (A)**	53 A
MOTOR	M	0 VA	0.00%	0 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

EXISTING PANEL TO REMAIN

PANEL: BH2

LOCATION: MEZZANINE ELECTRICAL ROOM
FED FROM:

MTG:	X	SURFACE	**BUS:**	100%	NEUTRAL	**OPT:**		INT SPD	**ENCL:**	NEMA	**MAIN:**	400 A	BUS	3 ø 4	**WIRE**
		FLUSH		X	SYS GND			FTL		TYPE 1		CU/SN		22	**KAIC**
		STRUT			ISO GND			FUSIBLE		STEEL		225 A	MCB	480Y/277	**VOLT**

WIRE SIZE	LOAD DESCRIPTION	LOAD TYPE	TRIP RATE / P	CKT NO	A (kVA)		B (kVA)		C (kVA)		CKT NO	P / TRIP RATE	LOAD TYPE	LOAD DESCRIPTION	WIRE SIZE
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	1	1.1	1.1					2	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	3			1.1	1.1			4	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
1-#12, 1-#12, 1-#12, 3/4"C	(E) EXISTING LIGHTING	L	20 / 1	5					1.1	1.1	6	1 / 20	L	(E) EXISTING LIGHTING	1-#12, 1-#12, 1-#12, 3/4"C
3-#12, 1-#12, 1-#12, 3/4"C	(N) WEF-1	M	20 / 3	7	4.2	0.0					8	-- -- --	--	SPACE	--
--	--	--	-- -- --	9			4.2	0.0			10	-- -- --	--	SPACE	--
--	--	--	-- -- --	11					4.2	0.0	12	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	13	0.0	0.0					14	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	15			0.0	0.0			16	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	17					0.0	0.0	18	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	19	0.0	0.0					20	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	21			0.0	0.0			22	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	23					0.0	0.0	24	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	25	0.0	0.0					26	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	27			0.0	0.0			28	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	29					0.0	0.0	30	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	31	0.0	0.0					32	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	33			0.0	0.0			34	-- -- --	--	SPACE	--
--	SPACE	--	-- -- --	35					0.0	0.0	36	-- -- --	--	SPACE	--
3-#6, 1-#6, 1-#10, 1 1/4"C	TBL2C	Q	60 / 3	37	5.0	8.3					38	3 / 110	Q	TBL2B	3-#2, 1-#2, 1-#6, 1 1/4"C
--	--	--	-- -- --	39			5.0	8.3			40	-- -- --	--	--	--
--	--	--	-- -- --	41					5.0	8.3	42	-- -- --	--	--	--
				Total Load:	19 kVA		19 kVA		19 kVA						
				Total Amps:	69 A		69 A		69 A						

LOAD ANALYSIS

LOAD TYPE		CONNECTED	FACTOR	DEMAND	TOTALS	
LIGHTING	L	6600 VA	125.00%	8250 VA		
RECEPTACLE	R	0 VA	0.00%	0 VA	**CONNECTED LOAD (kVA)**	57 kVA
EQUIPMENT	Q	40000 VA	100.00%	40000 VA	**DEMAND LOAD (kVA)**	59 kVA
COOLING	C	0 VA	0.00%	0 VA	**CONNECTED CURRENT (A)**	69 A
HEATING	H	0 VA	0.00%	0 VA	**DEMAND CURRENT (A)**	71 A
MOTOR	M	12500 VA	100.00%	12500 VA		
LARGEST MOTOR	G	0 VA	0.00%	0 VA		
KITCHEN	K	0 VA	0.00%	0 VA		
EXISTING	X	0 VA	0.00%	0 VA		

NOTES:
ALL WIRING FOR 20A/1P CKT. SHALL CONSIST OF 2#12, 1#12G IN 3/4"C UNLESS OTHERWISE NOTED.
* PROVIDE A BREAKER WITH GFCI ** ROUTE CIRCUIT THROUGH LIGHTING CONTACTOR

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net
AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
6117 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4506
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

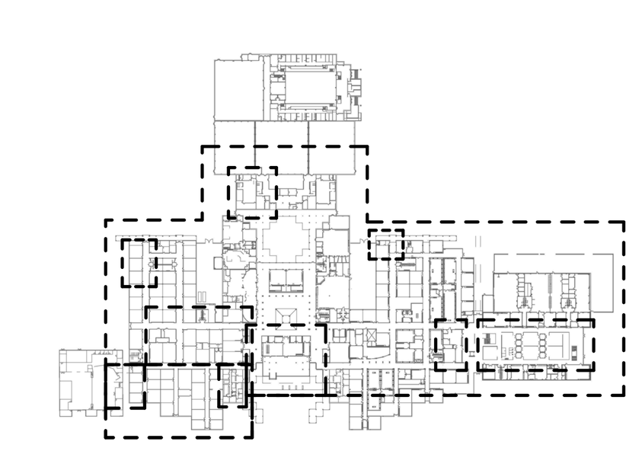
PROFESSIONAL SEAL:
STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



KEY PLAN

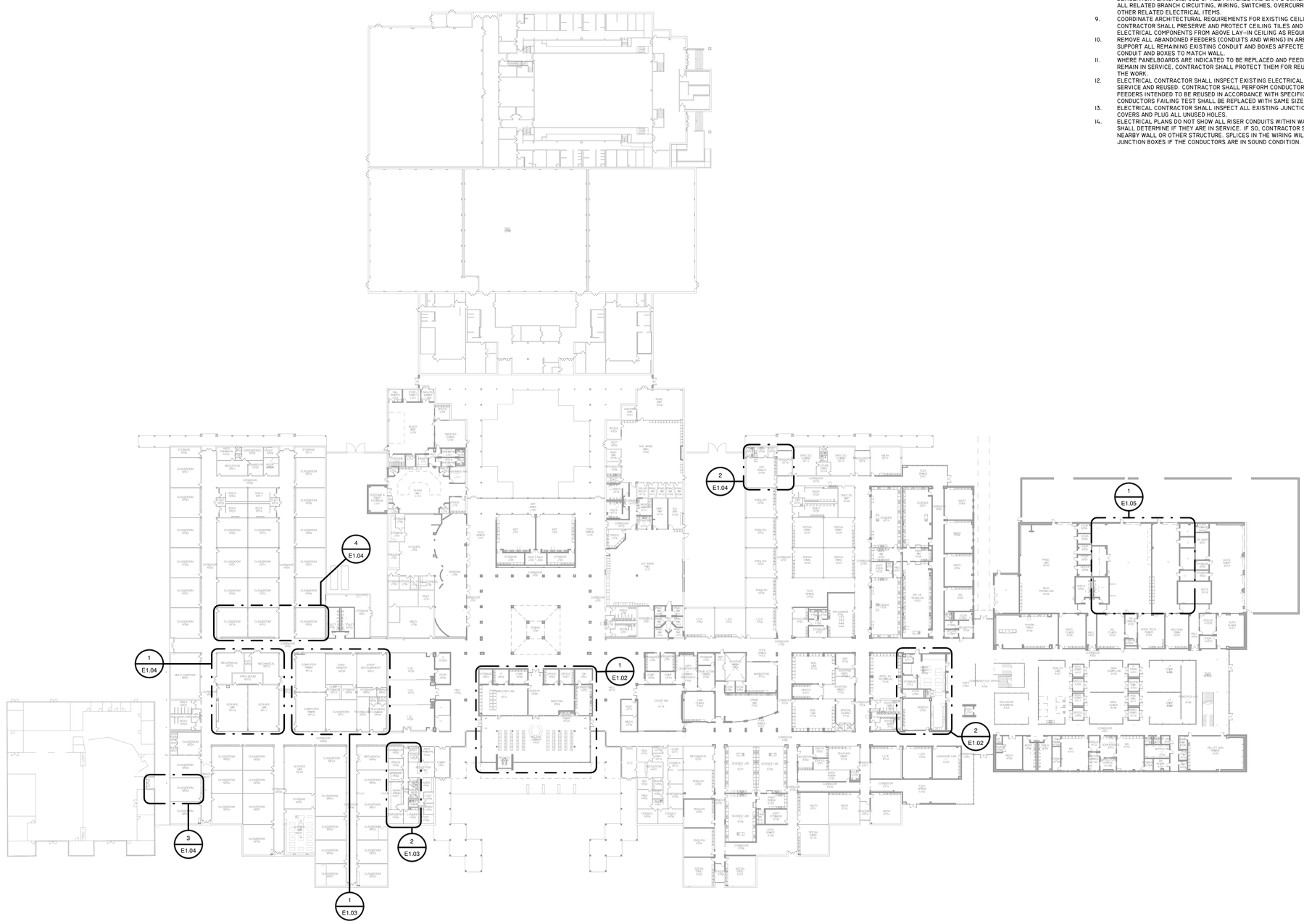
TRUE NORTH PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	PANEL SCHEDULES
Drawing Number	E0.04

3/12/2020 12:31:40 PM

ELECTRICAL GENERAL DEMOLITION NOTES

1. ELECTRICAL CONTRACTOR SHALL REMOVE ELECTRICAL EQUIPMENT AS INDICATED BY KEY NOTES AND AS REQUIRED BY SCOPE OF DEMOLITION WORK. REFER TO ARCHITECTURAL DRAWINGS FOR ALL WALLS DESIGNATED FOR REMOVAL.
2. BEFORE ANY ELECTRICAL EQUIPMENT OR OUTLET REMOVAL, IDENTIFY AND DISCONNECT THE POWER SUPPLY TO IT. VERIFY WITH OWNER LOADS THAT MUST REMAIN IN SERVICE AND DO NOT DISCONNECT THESE.
3. REMOVE ALL RELATED LINE SIDE AND LOAD SIDE FEEDERS (WIRES AND CONDUITS) IN ENTIRETY FOR EQUIPMENT INDICATED OR REQUIRED TO BE REMOVED.
4. LEAVE OVERCURRENT PROTECTION DEVICE FOR EQUIPMENT INDICATED TO BE REMOVED IN PLACE UNLESS NOTED OTHERWISE.
5. ALL REMOVED EQUIPMENT IS PROPERTY OF OWNER AND SHALL BE STORED AT OWNER DESIGNATED LOCATION FOR INSPECTION. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF EQUIPMENT OWNER DOES NOT INTEND TO KEEP, STORE, OR REUSE.
6. REMOVE ALL ELECTRICAL, TELEPHONE, AND DATA OUTLETS IN WALLS DESIGNATED FOR DEMOLITION ON ARCHITECTURAL AND/OR ELECTRICAL PLANS. REMOVE RELATED CIRCUITS SERVING THE DEVICES IN THEIR ENTIRETY. VERIFY ALL ABANDONED DATA CABLES ABOVE CEILINGS AND IN OTHER PLENUMS WITH OWNER AND REMOVE THEM AS DIRECTED BY OWNER.
7. WHERE EXISTING OUTLETS AND DEVICES (RECEPTACLES OR LUMINAIRES) TO REMAIN IN SERVICE SHARE SAME BRANCH CIRCUIT AS OUTLETS (RECEPTACLES OR LUMINAIRES) TO BE REMOVED. ELECTRICAL CONTRACTOR SHALL ENSURE CONTINUITY OF THE EXISTING AFTER REMOVAL. THIS CONDITION MAY NOT HAVE BEEN IDENTIFIED ON ELECTRICAL DEMOLITION DRAWINGS. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY SUCH CONDITION.
8. LUMINAIRES SHALL BE REMOVED AS INDICATED ON ARCHITECTURAL REFLECTED CEILING OR ELECTRICAL DEMOLITION PLANS. DISPOSE OF ALL FIXTURES AND LAMPS OWNER DOES NOT INTEND TO KEEP. REMOVE ALL RELATED BRANCH CIRCUITING, WIRING, SWITCHES, OVERCURRENT PROTECTION DEVICES, AND ALL OTHER RELATED ELECTRICAL ITEMS.
9. COORDINATE ARCHITECTURAL REQUIREMENTS FOR EXISTING CEILING GRID SYSTEM. ELECTRICAL CONTRACTOR SHALL PRESERVE AND PROTECT CEILING TILES AND SUPPORTING T'S WHEN REMOVING ELECTRICAL COMPONENTS FROM ABOVE LAY-IN CEILING AS REQUIRED.
10. REMOVE ALL ABANDONED FEEDERS (CONDUITS AND WIRING) IN AREA OF CONSTRUCTION. PROPERLY SUPPORT ALL REMAINING EXISTING CONDUIT AND BOXES AFFECTED. PAINT REUSED AND EXPOSED CONDUIT AND BOXES TO MATCH WALL.
11. WHERE PANELBOARDS ARE INDICATED TO BE REPLACED AND FEEDER AND BRANCH CIRCUITS ARE TO REMAIN IN SERVICE, CONTRACTOR SHALL PROTECT THEM FOR REUSE DURING CONSTRUCTION PHASE OF THE WORK.
12. ELECTRICAL CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL CIRCUITS INDICATED TO REMAIN IN SERVICE AND REUSED. CONTRACTOR SHALL PERFORM CONDUCTOR INSULATION TESTING IN ALL MAIN FEEDERS INTENDED TO BE REUSED IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. ALL CONDUCTORS FAILING TEST SHALL BE REPLACED WITH SAME SIZE AS EXISTING.
13. ELECTRICAL CONTRACTOR SHALL INSPECT ALL EXISTING JUNCTION BOXES AND REPLACE MISSING COVERS AND PLUG ALL UNUSED HOLES.
14. ELECTRICAL PLANS DO NOT SHOW ALL RISER CONDUITS WITHIN WALLS. WHEN FOUND, CONTRACTOR SHALL DETERMINE IF THEY ARE IN SERVICE. IF SO, CONTRACTOR SHALL RELOCATE THEM TO A NEW NEARBY WALL OR OTHER STRUCTURE. SPLICES IN THE WIRING WILL BE PERMITTED IN SUITABLE JUNCTION BOXES IF THE CONDUCTORS ARE IN SOUND CONDITION.



1 FLOOR PLAN - LEVEL 1 - POWER - DEMO

Scale: 1" = 40'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN

TRUE NORTH PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title

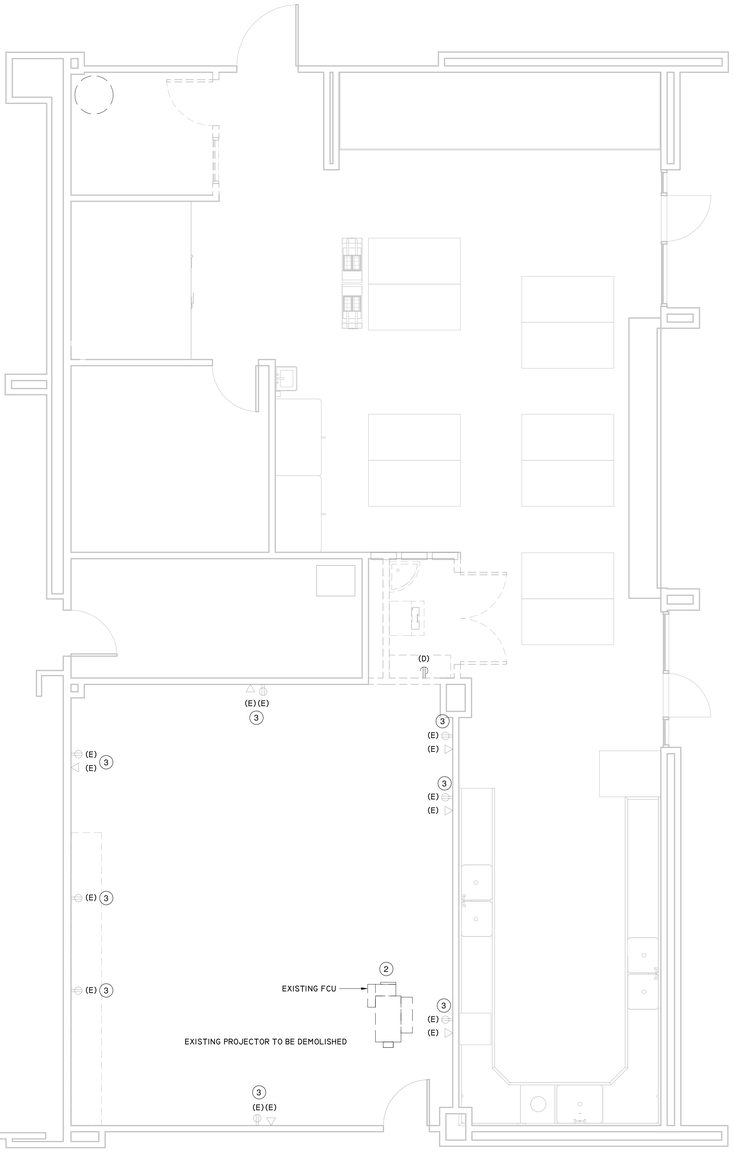
OVERALL DEMOLITION PLAN - POWER

Drawing Number E1.01

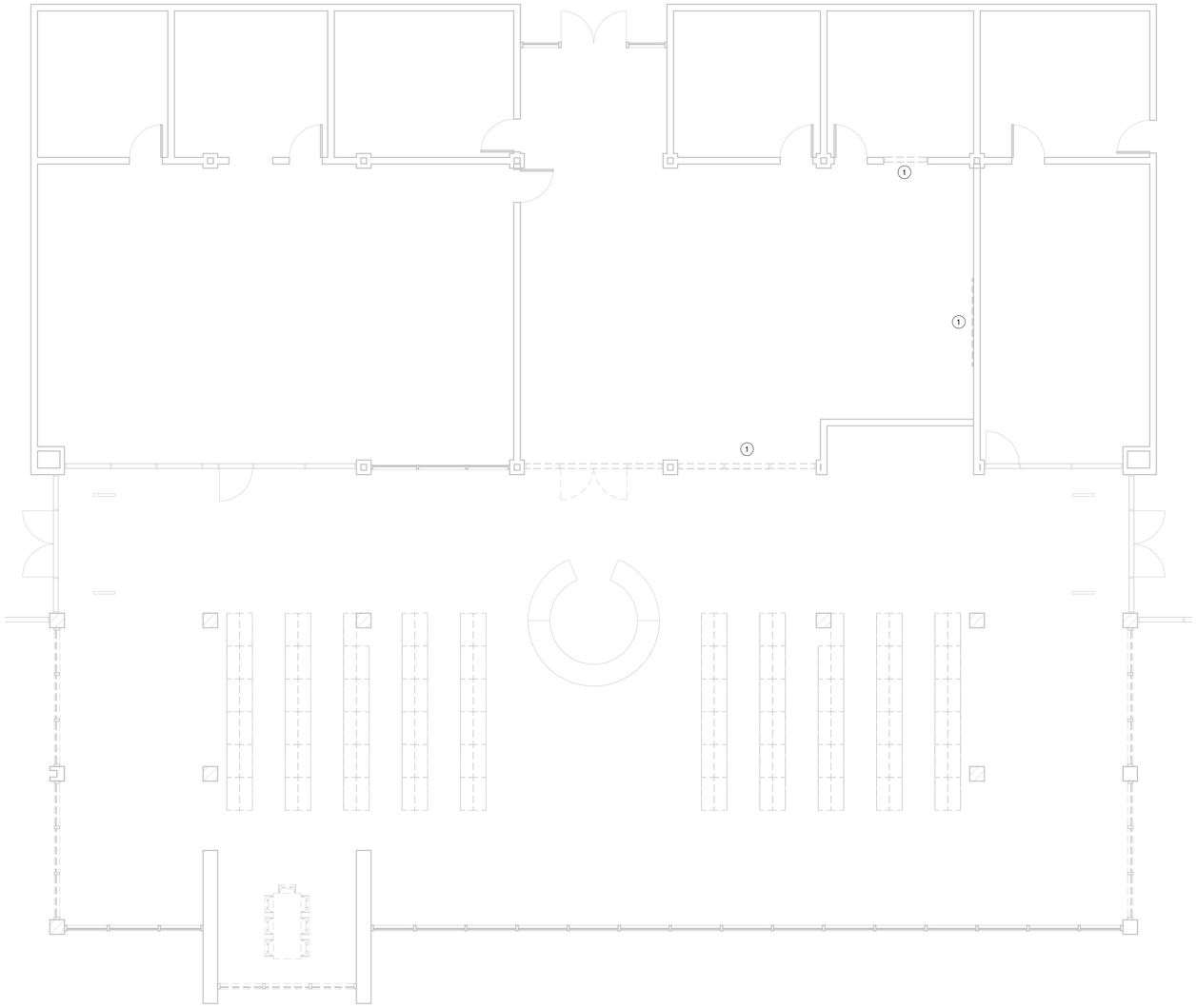
3/13/2020 1:33:00 PM

KEYNOTE LEGEND

1	REMOVE ANY DEVICES AND FEEDERS IN DEMOLISHED WALLS.
2	DEMO CIRCUIT BACK TO PANEL AND LABEL BREAKER SPARE.
3	REMOVE DEVICE AND COVER.



2 ENLARGED DEMOLITION PLAN - AREA G - POWER
Scale: 1/4" = 1'-0"



1 ENLARGED DEMOLITION PLAN - AREA C - POWER
Scale: 3/16" = 1'-0"

3/12/2020 12:51:57 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

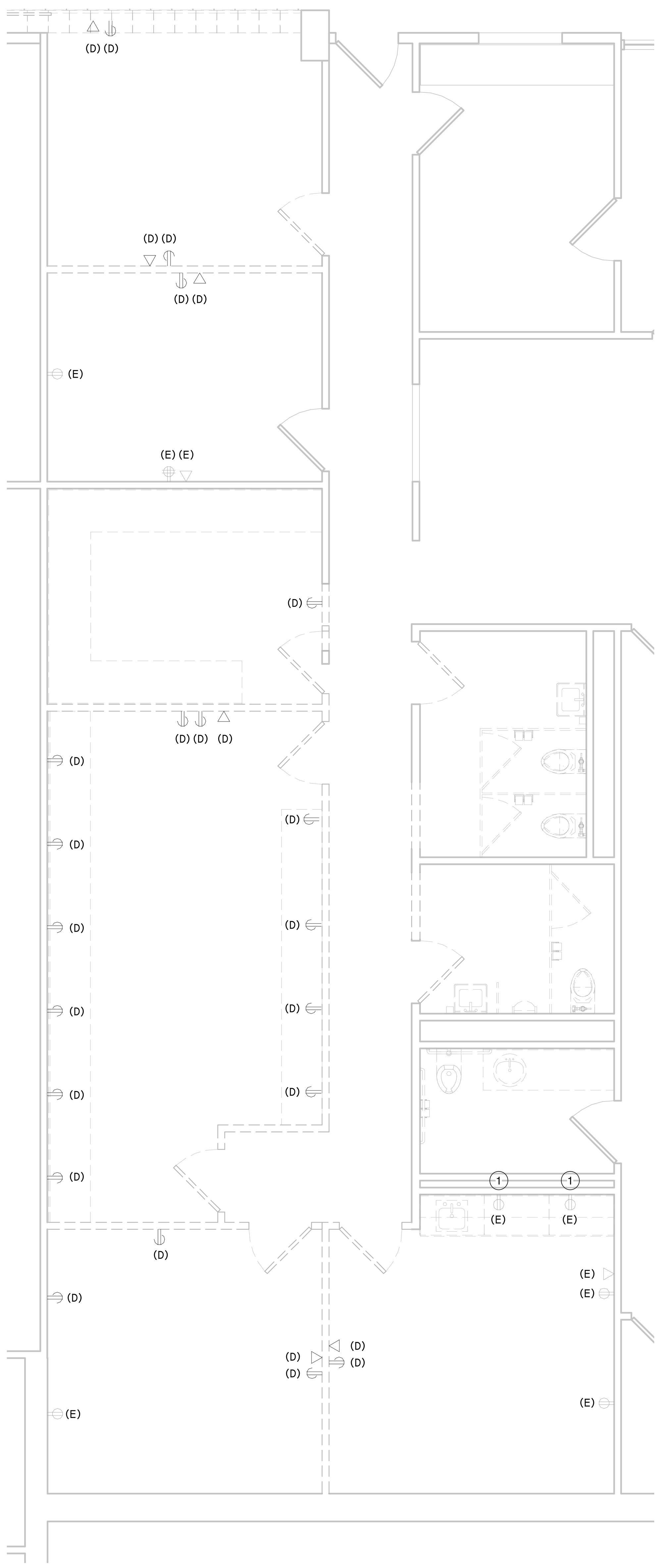
KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED DEMOLITION PLAN - POWER

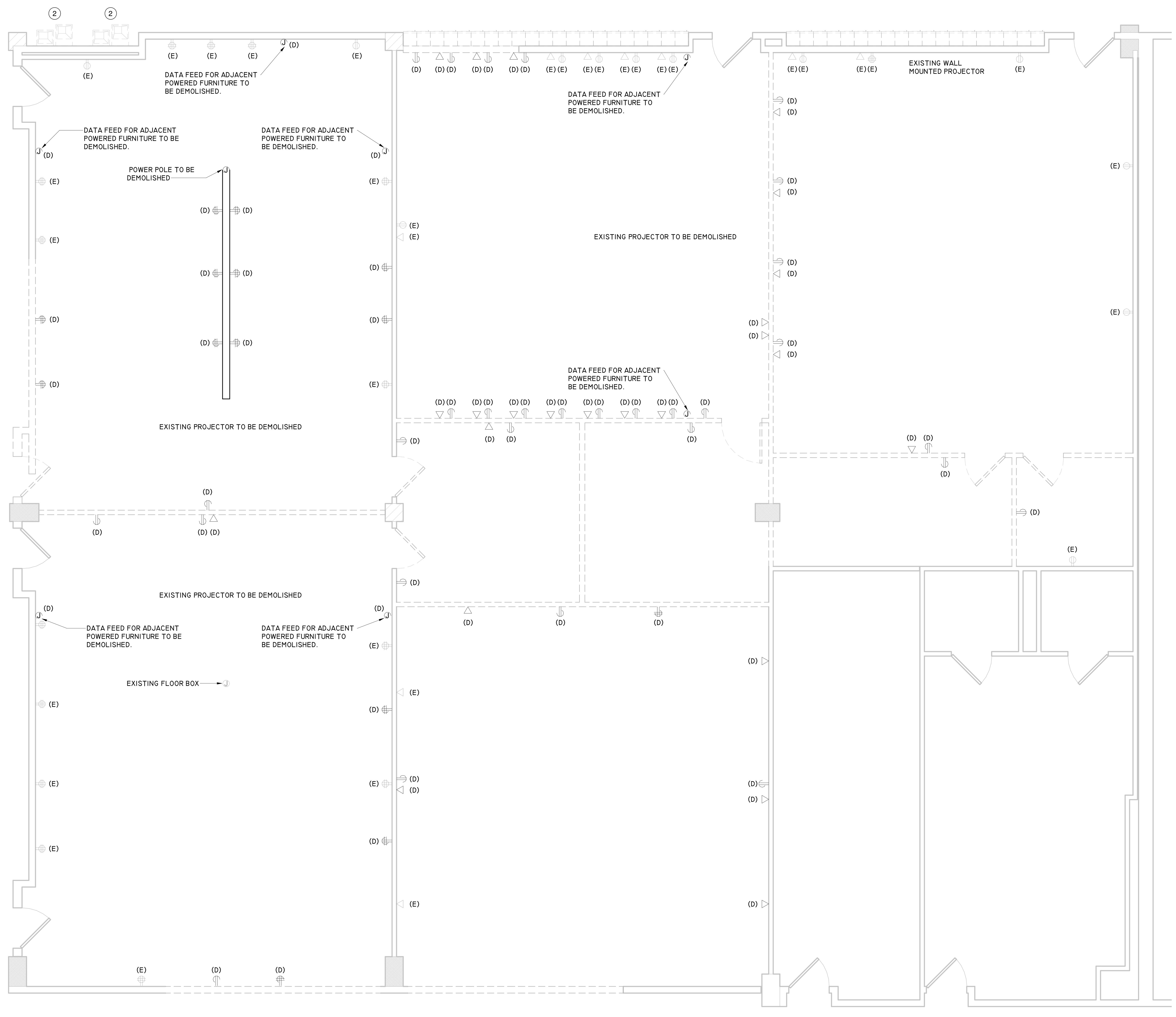
Drawing Number **E1.02**

Keynote Legend

1	REMOVE DEVICE AND COVER.
2	DEMOLISH EXISTING DRINKING FOUNTAIN. PROTECT EXISTING CIRCUIT FOR RECONNECTION IN SAME PLACE.



2 ENLARGED DEMOLITION PLAN - AREA B5 - POWER
Scale: 1/4" = 1'-0"



1 ENLARGED DEMOLITION PLAN - AREA B3 - POWER
Scale: 1/4" = 1'-0"

3/12/2020 12:32:05 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

AUTOARCH ARCHITECTS

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
6117 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4506
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

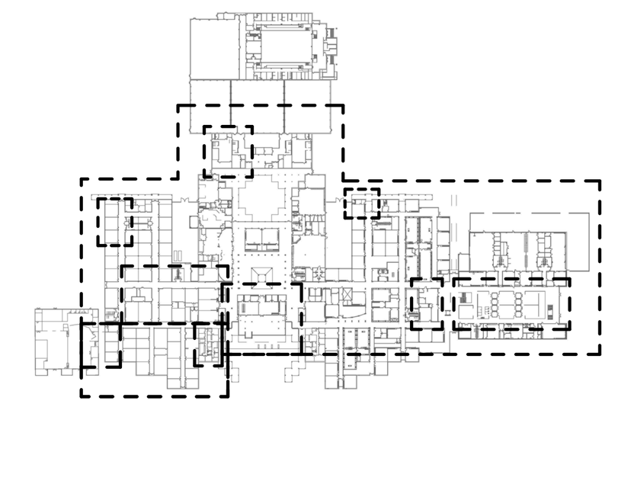
STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



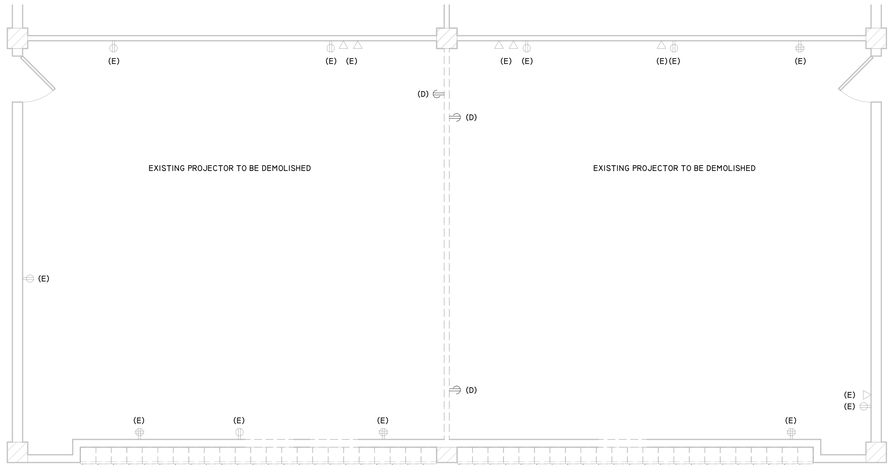
KEY PLAN

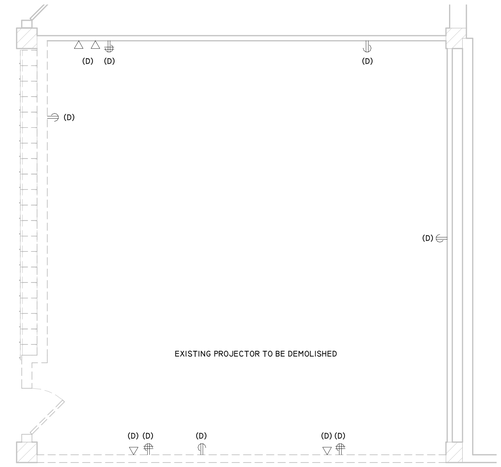
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
ENLARGED DEMOLITION PLAN - POWER

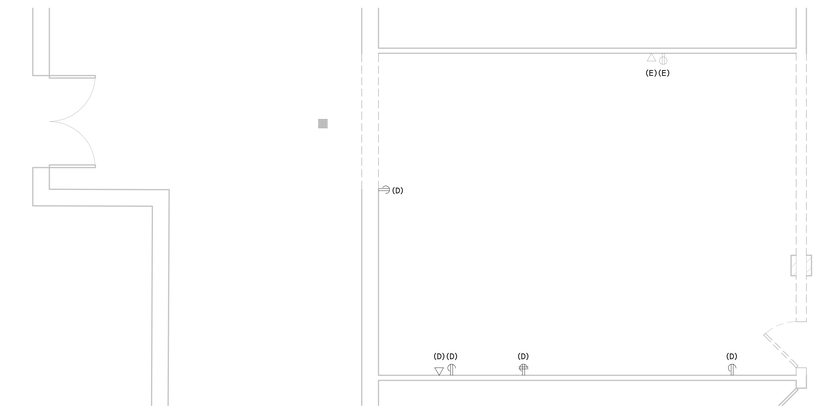
Drawing Number
E1.03





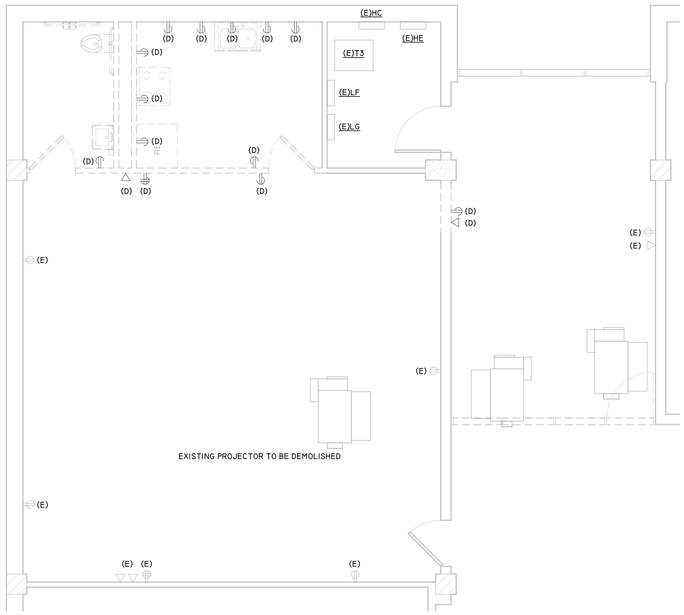
4 ENLARGED DEMOLITION PLAN - AREA B4 - POWER

Scale: 1/4" = 1'-0"



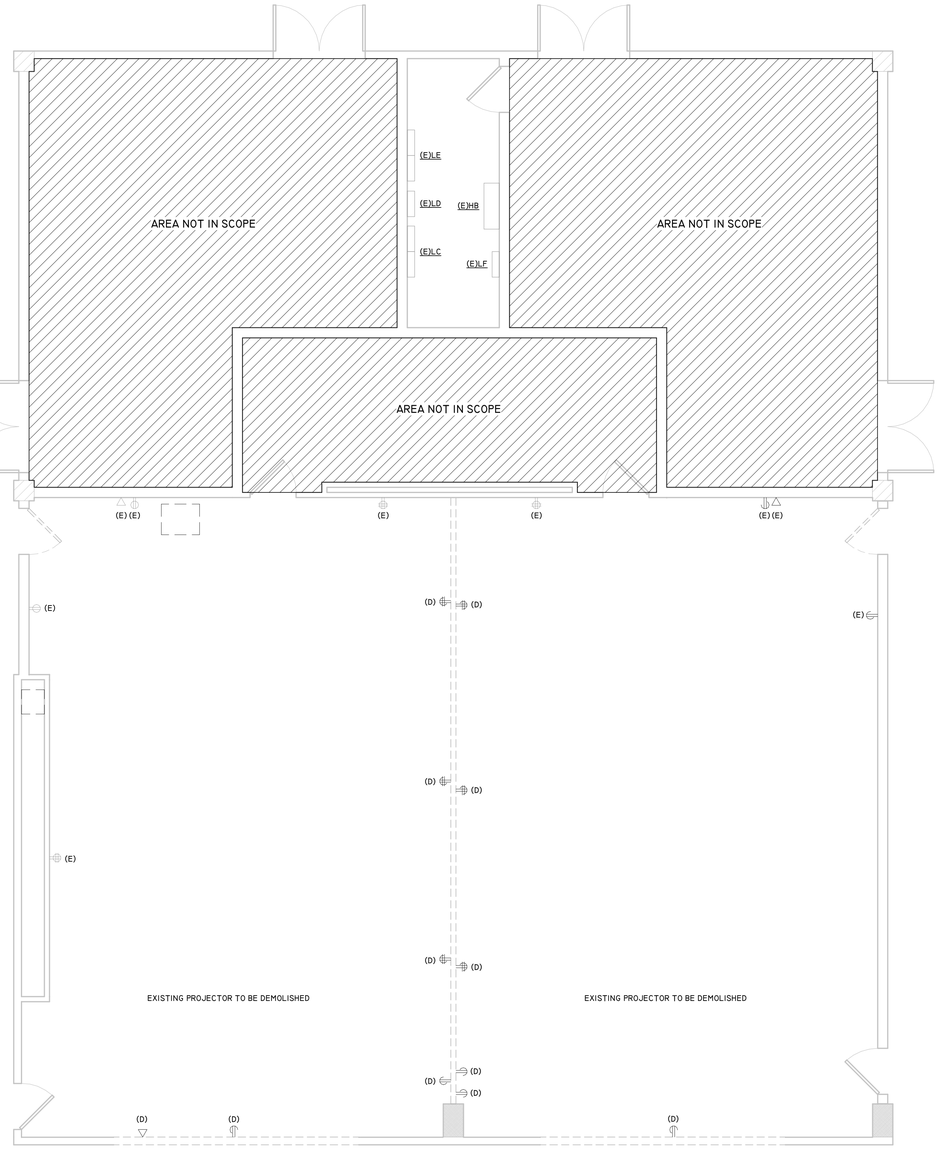
3 ENLARGED DEMOLITION PLAN - AREA B1 - POWER

Scale: 1/4" = 1'-0"



2 ENLARGED DEMOLITION PLAN - AREA E - POWER

Scale: 1/4" = 1'-0"



1 ENLARGED DEMOLITION PLAN - AREA B2 - POWER

Scale: 1/4" = 1'-0"

2/13/2020 10:32:11 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
5417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title

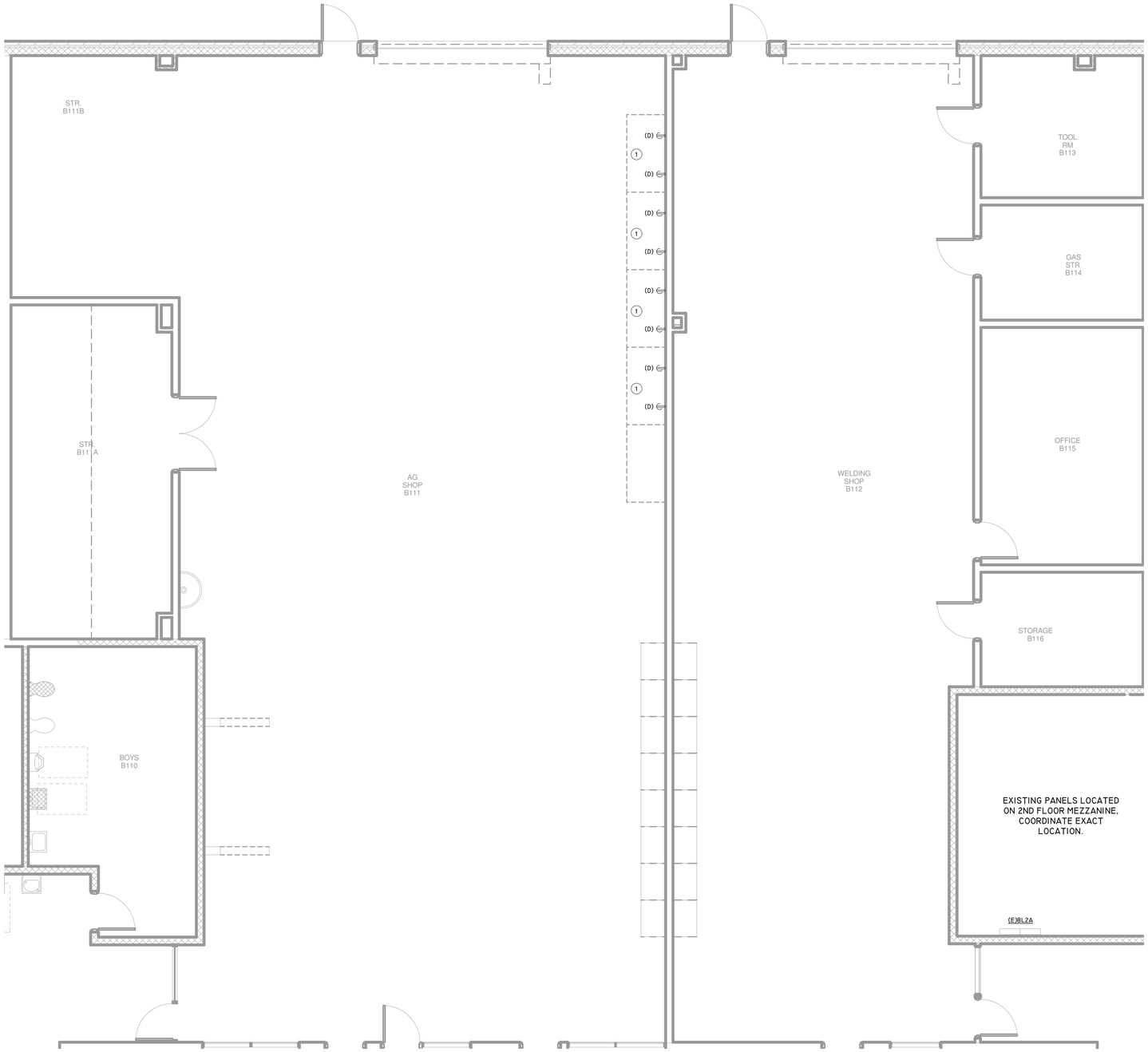
ENLARGED DEMOLITION PLAN - POWER

Drawing Number

E1.04

KEYNOTE LEGEND

1	REMOVE EXISTING CORDSETS FROM ALL EXISTING WELDING MACHINES.



1 ENLARGED DEMOLITION PLAN - AREA I - POWER
Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
12936
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

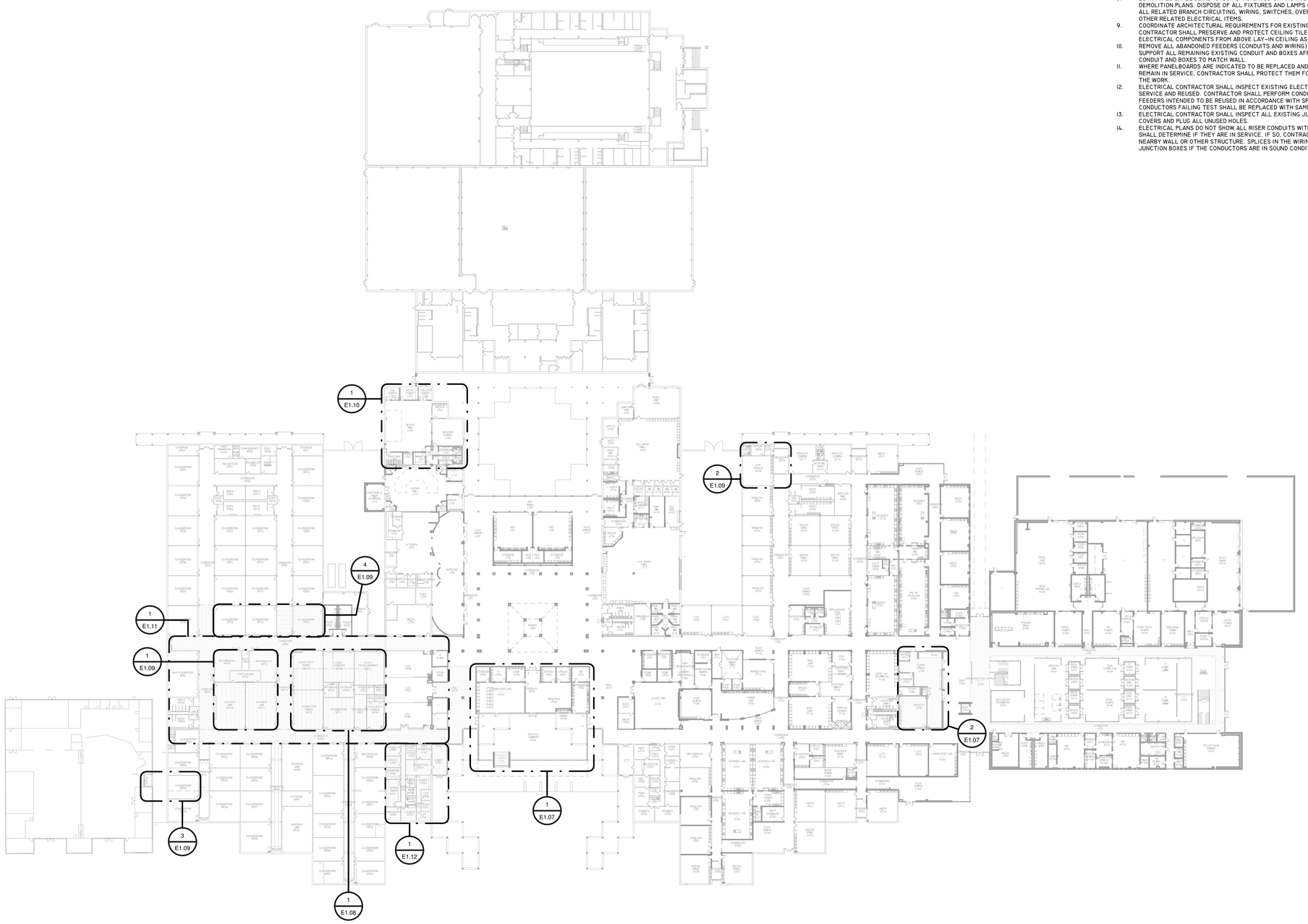
Drawing Title
ENLARGED DEMOLITION PLAN - POWER

Drawing Number
E1.05

3/13/2020 10:33:18 PM

ELECTRICAL GENERAL DEMOLITION NOTES

1. ELECTRICAL CONTRACTOR SHALL REMOVE ELECTRICAL EQUIPMENT AS INDICATED BY KEY NOTES AND AS REQUIRED BY SCOPE OF DEMOLITION WORK. REFER TO ARCHITECTURAL DRAWINGS FOR ALL WALLS DESIGNATED FOR REMOVAL.
2. BEFORE ANY ELECTRICAL EQUIPMENT OR OUTLET REMOVAL, IDENTIFY AND DISCONNECT THE POWER SUPPLY TO IT. VERIFY WITH OWNER LOADS THAT MUST REMAIN IN SERVICE AND DO NOT DISCONNECT THESE.
3. REMOVE ALL RELATED LINE SIDE AND LOAD SIDE FEEDERS (WIRES AND CONDUITS) IN ENTIRETY FOR EQUIPMENT INDICATED OR REQUIRED TO BE REMOVED.
4. LEAVE OVERCURRENT PROTECTION DEVICE FOR EQUIPMENT INDICATED TO BE REMOVED IN PLACE UNLESS NOTED OTHERWISE.
5. ALL REMOVED EQUIPMENT IS PROPERTY OF OWNER AND SHALL BE STORED AT OWNER DESIGNATED LOCATION FOR INSPECTION. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF EQUIPMENT OWNER DOES NOT INTEND TO KEEP, STORE, OR REUSE.
6. REMOVE ALL ELECTRICAL, TELEPHONE, AND DATA OUTLETS IN WALLS DESIGNATED FOR DEMOLITION ON ARCHITECTURAL AND/OR ELECTRICAL PLANS. REMOVE RELATED CIRCUITS SERVING THE DEVICES IN THEIR ENTIRETY. VERIFY ALL ABANDONED DATA CABLES ABOVE CEILINGS AND IN OTHER PLENUMS WITH OWNER AND REMOVE THEM AS DIRECTED BY OWNER.
7. WHERE EXISTING OUTLETS AND DEVICES (RECEPTACLES OR LUMINAIRES) TO REMAIN IN SERVICE SHARE SAME BRANCH CIRCUIT AS OUTLETS (RECEPTACLES OR LUMINAIRES) TO BE REMOVED. ELECTRICAL CONTRACTOR SHALL ENSURE CONTINUITY OF THE EXISTING AFTER REMOVAL. THIS CONDITION MAY NOT HAVE BEEN IDENTIFIED ON ELECTRICAL DEMOLITION DRAWINGS. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY SUCH CONDITION.
8. LUMINAIRES SHALL BE REMOVED AS INDICATED ON ARCHITECTURAL REFLECTED CEILING OR ELECTRICAL DEMOLITION PLANS. DISPOSE OF ALL FIXTURES AND LAMPS OWNER DOES NOT INTEND TO KEEP. REMOVE ALL RELATED BRANCH CIRCUITING, WIRING, SWITCHES, OVERCURRENT PROTECTION DEVICES, AND ALL OTHER RELATED ELECTRICAL ITEMS.
9. COORDINATE ARCHITECTURAL REQUIREMENTS FOR EXISTING CEILING GRID SYSTEM. ELECTRICAL CONTRACTOR SHALL PRESERVE AND PROTECT CEILING TILES AND SUPPORTING T'S WHEN REMOVING ELECTRICAL COMPONENTS FROM ABOVE LAY-IN CEILING AS REQUIRED.
10. REMOVE ALL ABANDONED FEEDERS (CONDUITS AND WIRING) IN AREA OF CONSTRUCTION. PROPERLY SUPPORT ALL REMAINING EXISTING CONDUIT AND BOXES AFFECTED. PAINT REUSED AND EXPOSED CONDUIT AND BOXES TO MATCH WALL.
11. WHERE PANELBOARDS ARE INDICATED TO BE REPLACED AND FEEDER AND BRANCH CIRCUITS ARE TO REMAIN IN SERVICE, CONTRACTOR SHALL PROTECT THEM FOR REUSE DURING CONSTRUCTION PHASE OF THE WORK.
12. ELECTRICAL CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL CIRCUITS INDICATED TO REMAIN IN SERVICE AND REUSED. CONTRACTOR SHALL PERFORM CONDUCTOR INSULATION TESTING IN ALL MAIN FEEDERS INTENDED TO BE REUSED IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. ALL CONDUCTORS FAILING TEST SHALL BE REPLACED WITH SAME SIZE AS EXISTING.
13. ELECTRICAL CONTRACTOR SHALL INSPECT ALL EXISTING JUNCTION BOXES AND REPLACE MISSING COVERS AND PLUG ALL UNUSED HOLES.
14. ELECTRICAL PLANS DO NOT SHOW ALL RISER CONDUITS WITHIN WALLS. WHEN FOUND, CONTRACTOR SHALL DETERMINE IF THEY ARE IN SERVICE. IF SO, CONTRACTOR SHALL RELOCATE THEM TO A NEW NEARBY WALL OR OTHER STRUCTURE. SPLICES IN THE WIRING WILL BE PERMITTED IN SUITABLE JUNCTION BOXES IF THE CONDUCTORS ARE IN SOUND CONDITION.



1 OVERALL DEMOLITION PLAN - LIGHTING
Scale: 1" = 40'-0"

3/12/2020 1:33:27 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4306
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

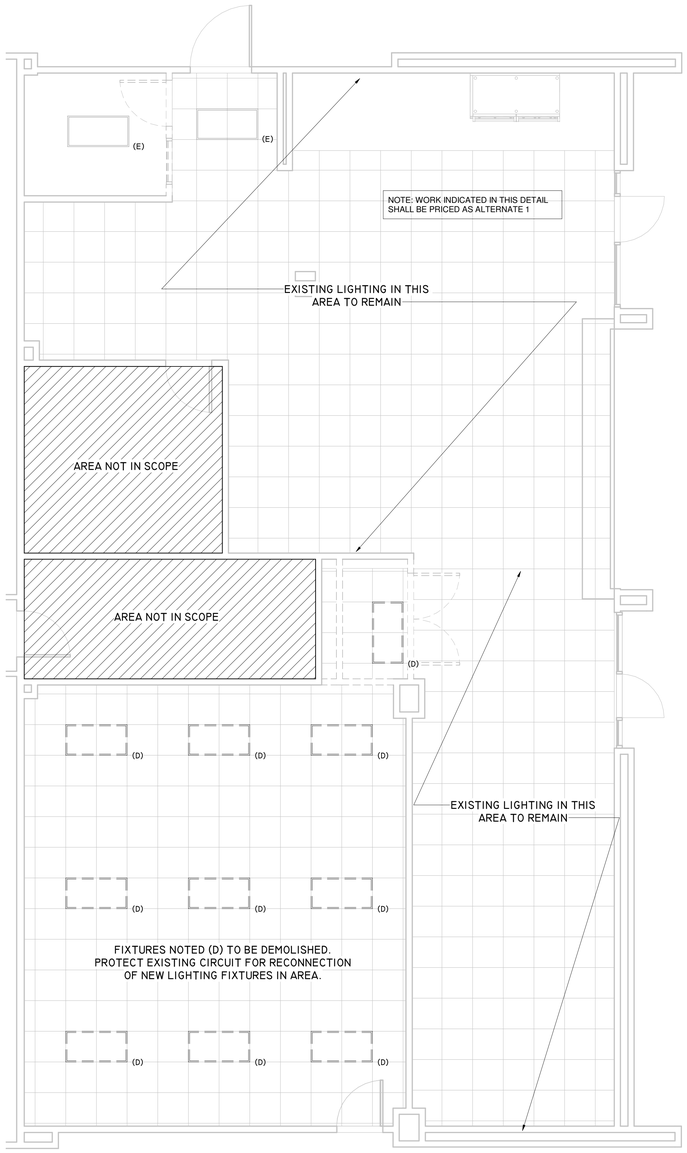
#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

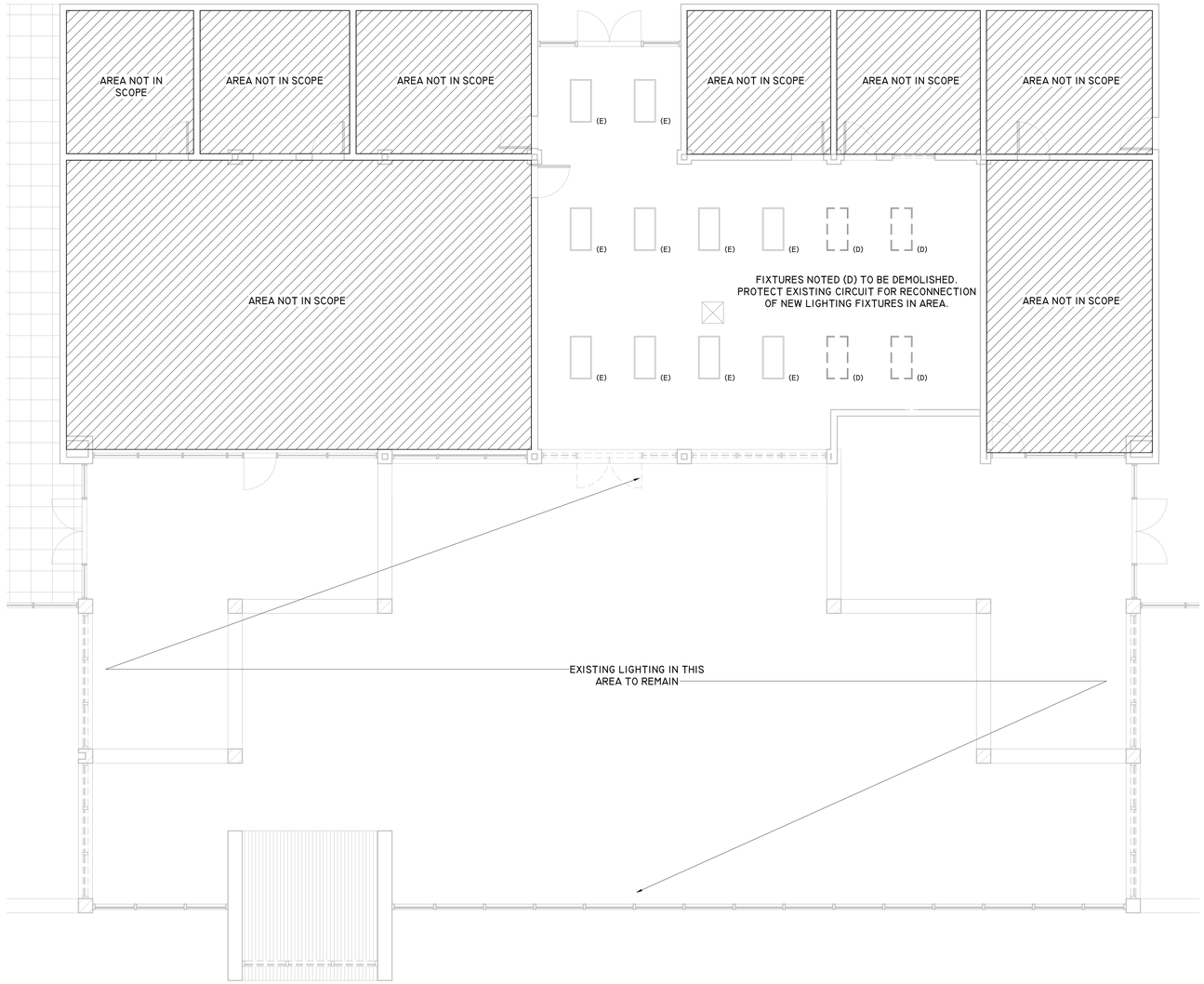
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
OVERALL DEMOLITION PLAN - LIGHITNG

Drawing Number
E1.06



2 ENLARGED DEMOLITION PLAN - AREA G - LIGHTING
Scale: 1/4" = 1'-0"



1 ENLARGED DEMOLITION PLAN - AREA C - LIGHTING
Scale: 3/16" = 1'-0"

3/13/2020 12:53:24 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
917 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

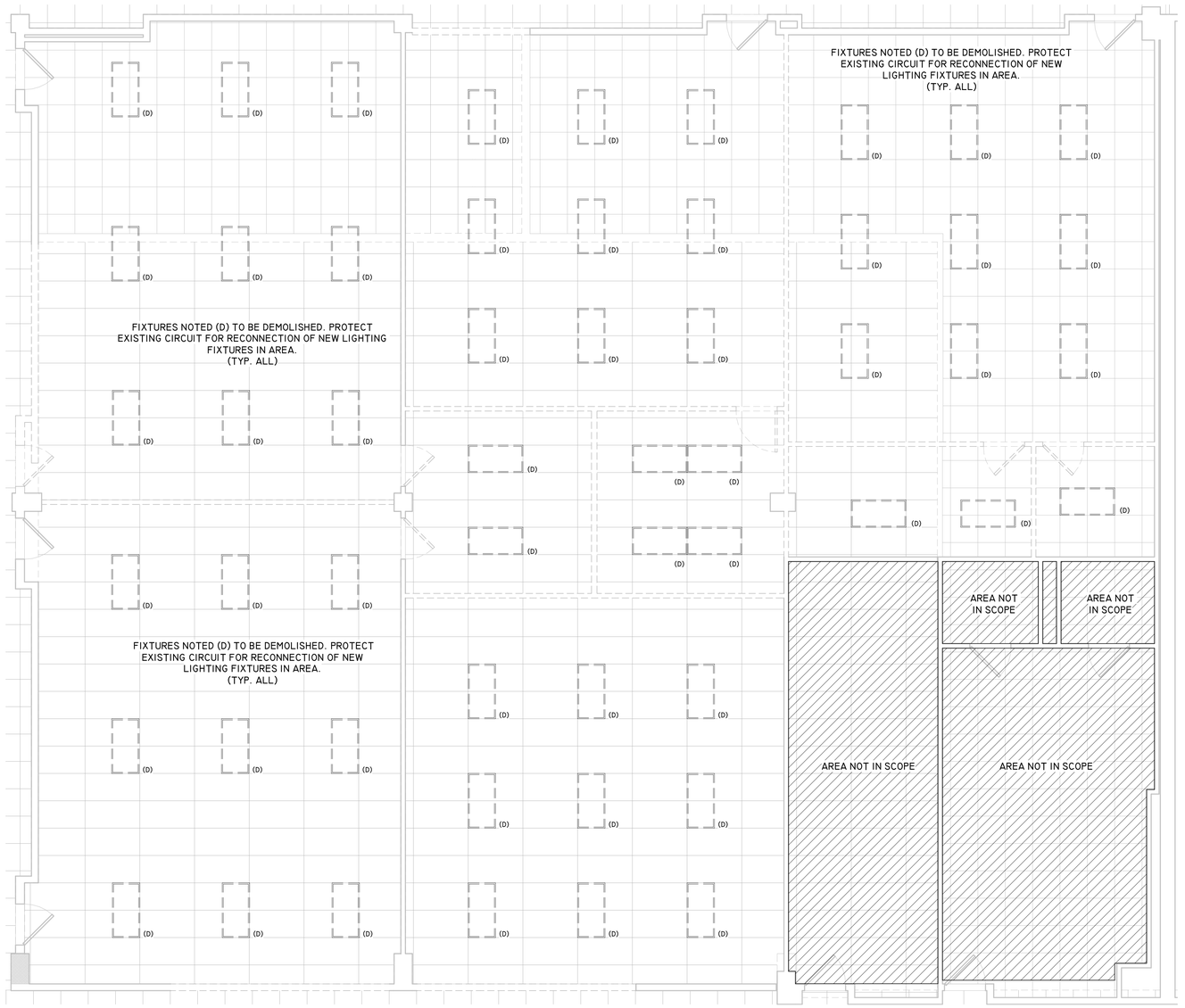
1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED DEMOLITION PLAN - LIGHTING

Drawing Number **E1.07**



1 ENLARGED DEMOLITION PLAN - AREA B3 - LIGHTING
Scale: 1/4" = 1'-0"

3/12/2020 1:23:41 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

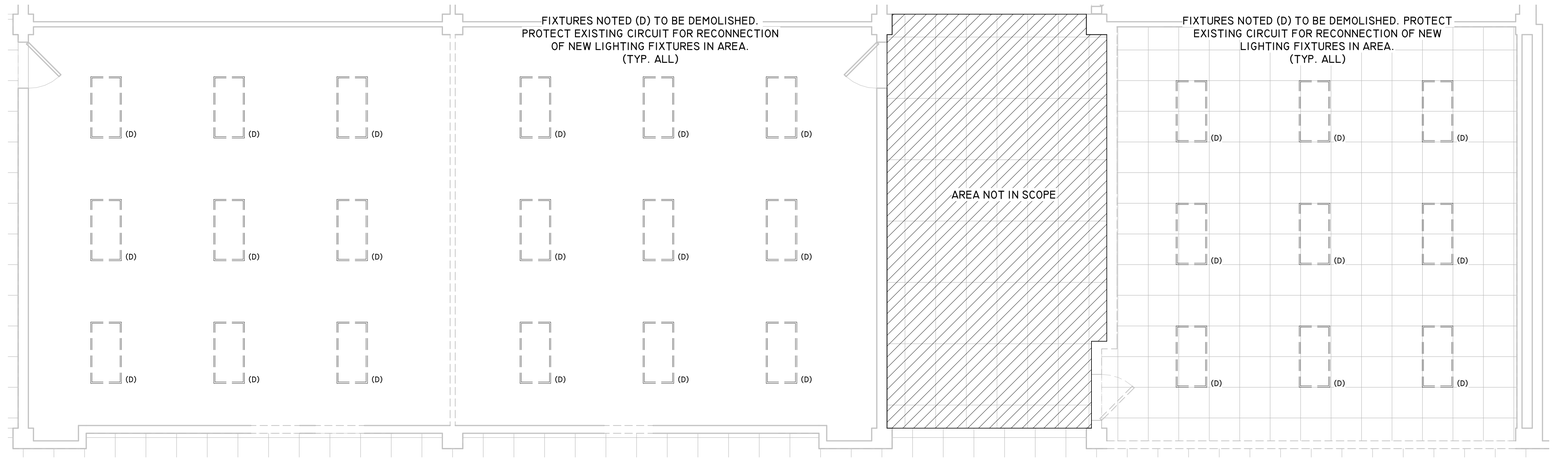
STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

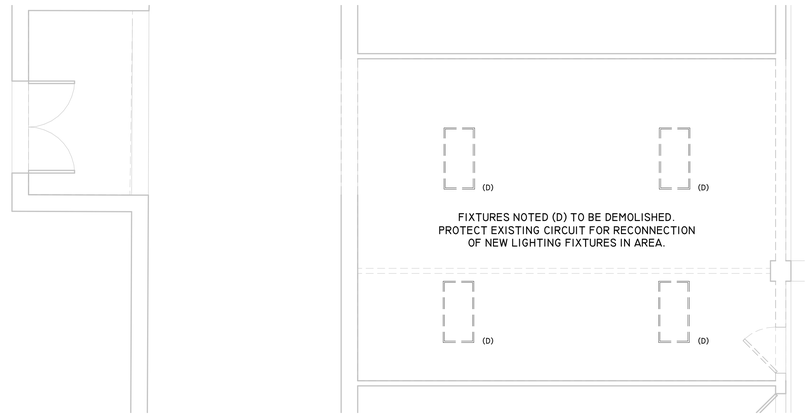
#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

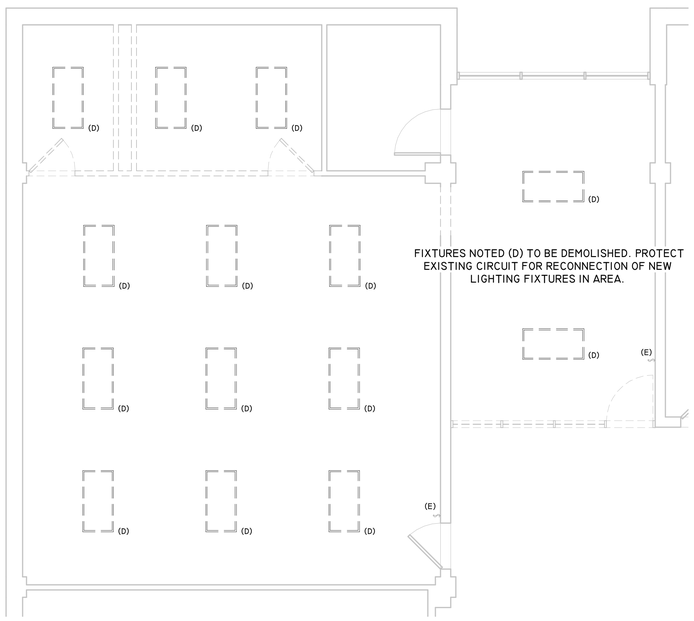
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED DEMOLITION PLAN - LIGHTING
Drawing Number	E1.08



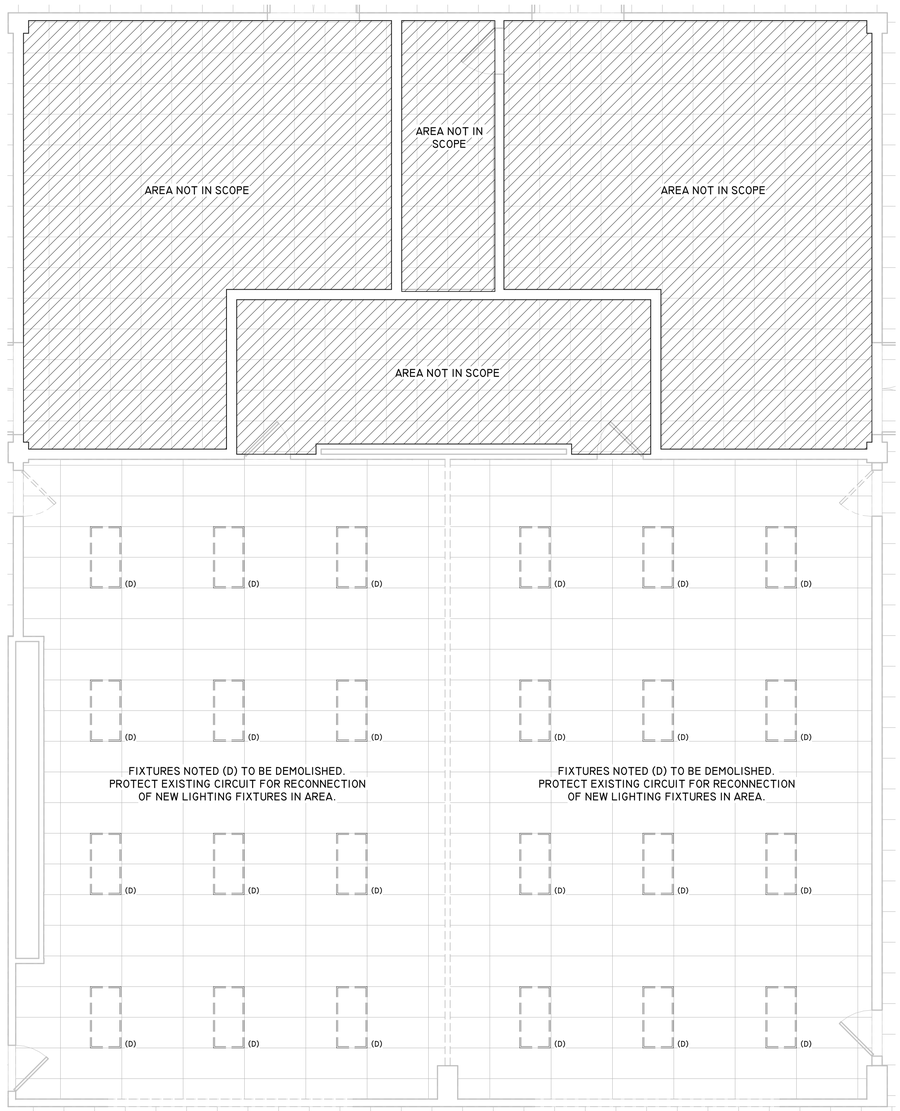
4 ENLARGED DEMOLITION PLAN - AREA B4 - LIGHTING
Scale: 1/4" = 1'-0"



3 ENLARGED DEMOLITION PLAN - AREA B1 - LIGHTING
Scale: 1/4" = 1'-0"



2 ENLARGED DEMOLITION PLAN - AREA E - LIGHTING
Scale: 1/4" = 1'-0"



1 ENLARGED DEMOLITION PLAN - AREA B2 - LIGHTING
Scale: 1/4" = 1'-0"

3/12/2020 1:53:49 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

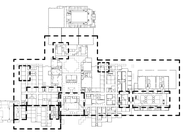
STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

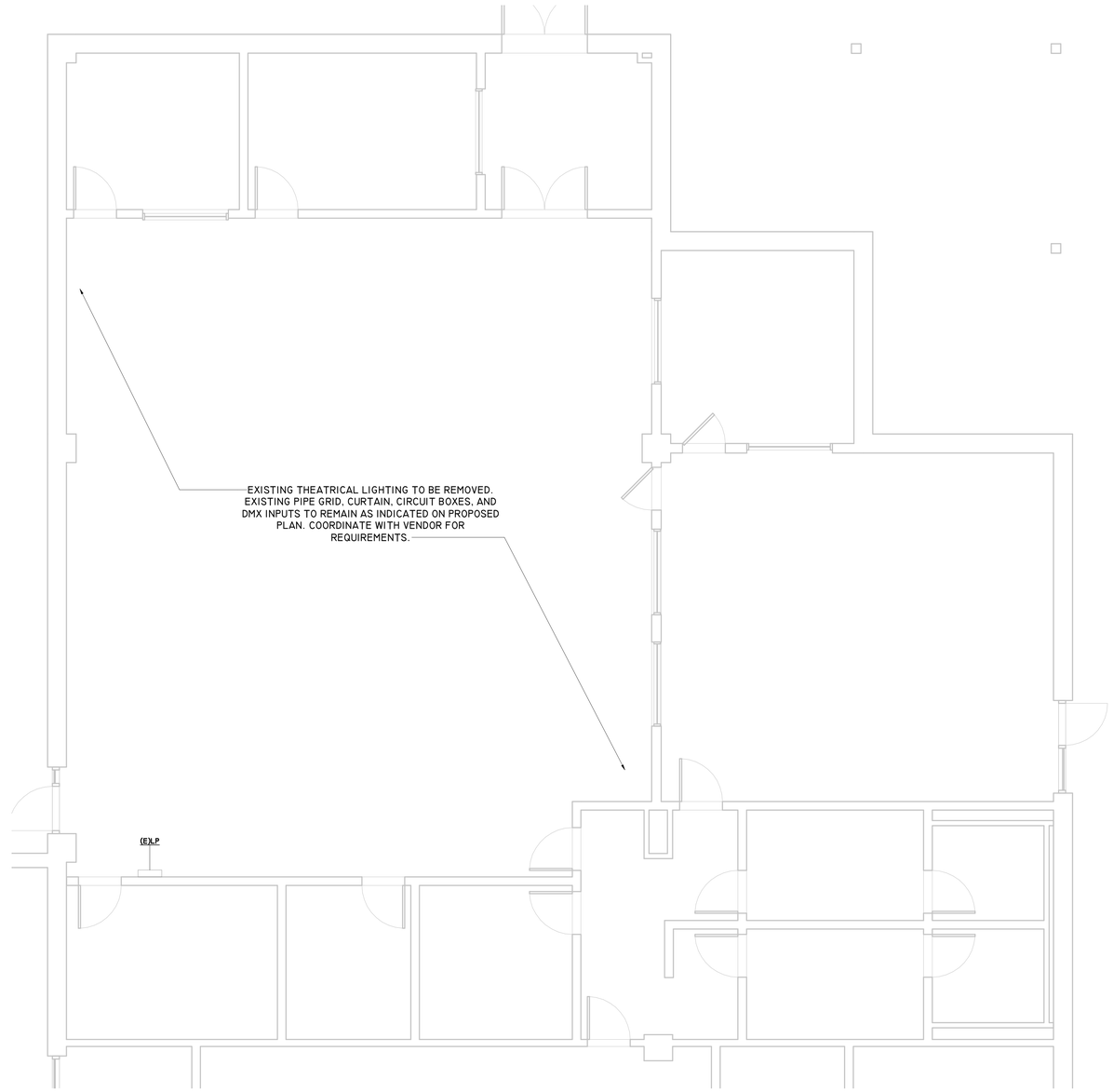
#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED DEMOLITION PLAN - LIGHTING

Drawing Number **E1.09**



1 ENLARGED DEMOLITION PLAN - AREA D - LIGHTING
Scale: 1/4" = 1'-0"

3/13/2020 12:53:05 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED DEMOLITION PLAN - LIGHTING

Drawing Number **E1.10**

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
2427 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4306
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN

TRUE NORTH PLAN NORTH

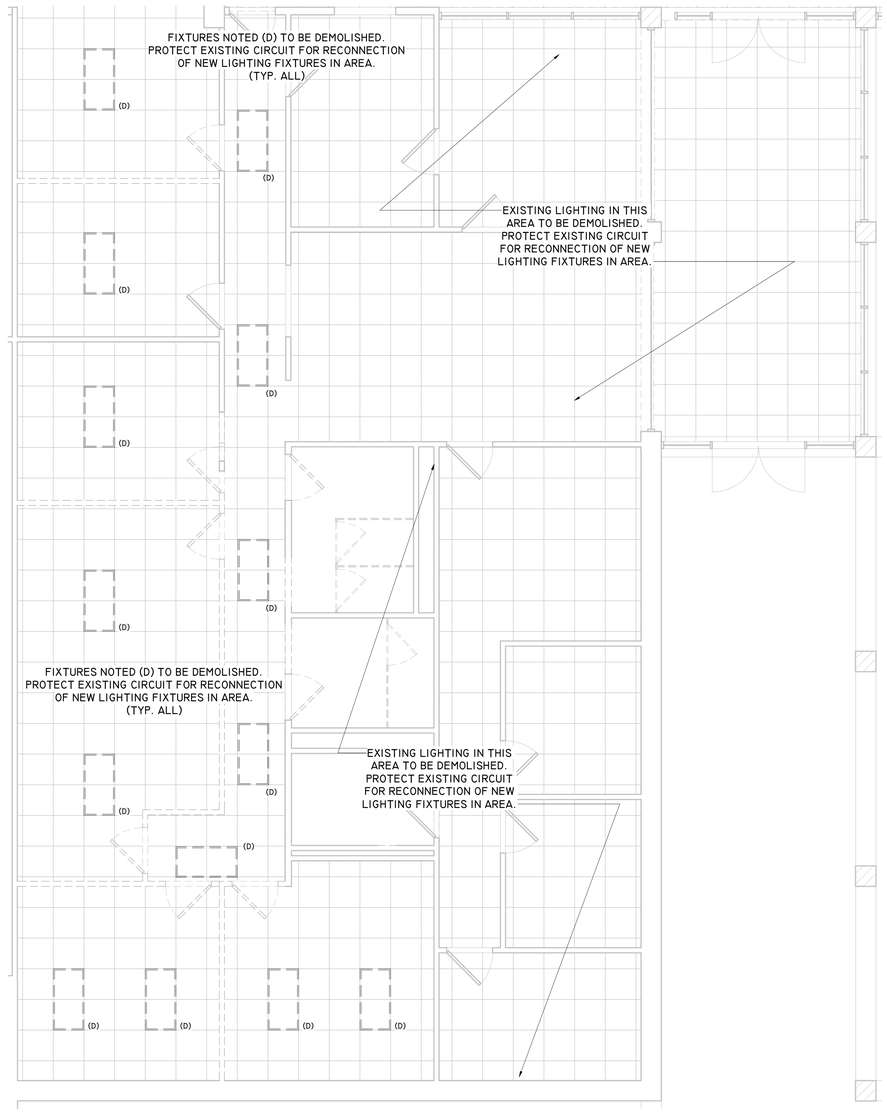
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title

ENLARGED DEMOLITION PLAN - LIGHTING

Drawing Number **E1.11**

3/13/2020 1:33:02 PM



1 ENLARGED DEMOLITION PLAN - AREA B5 - LIGHTING
Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

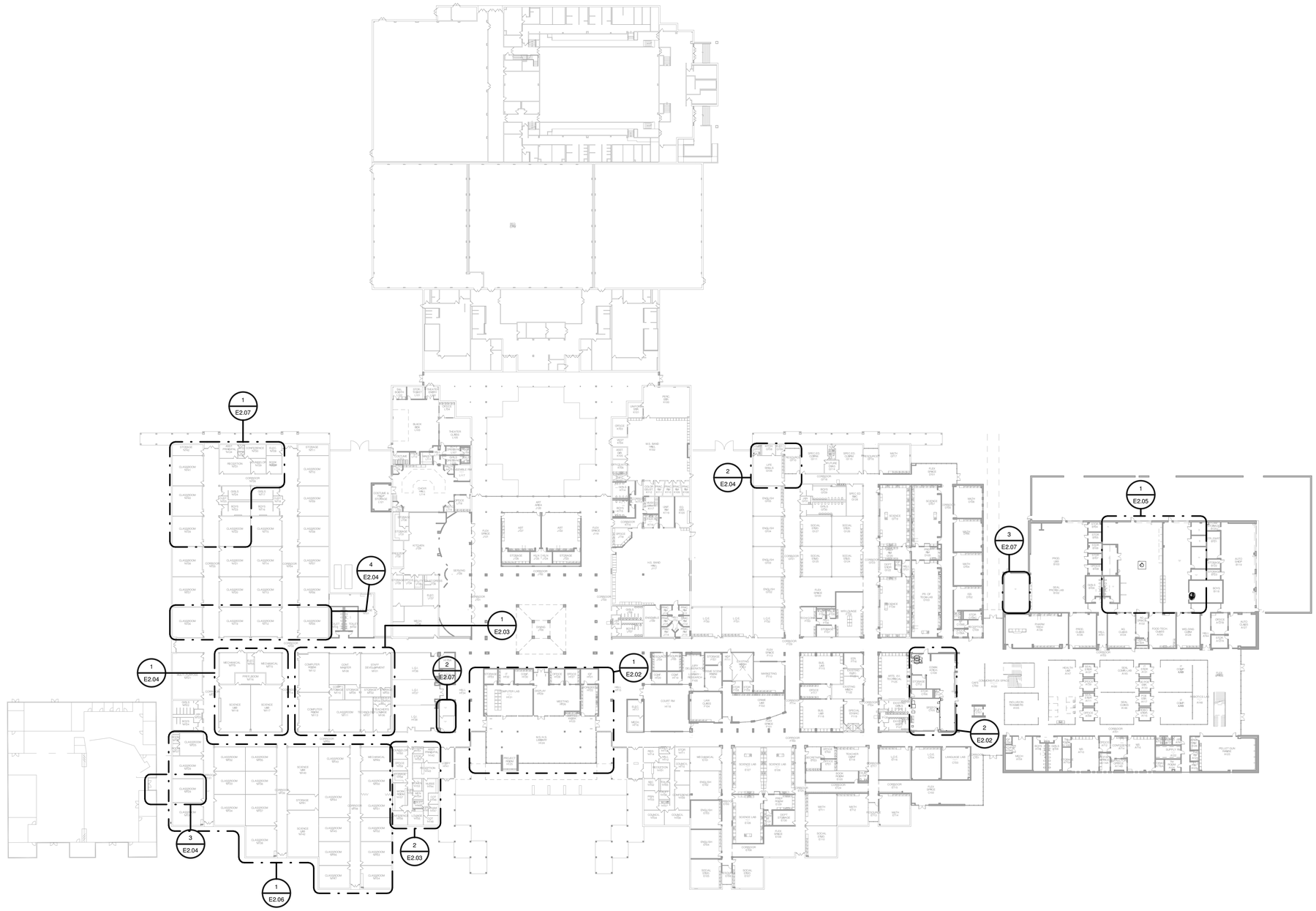
1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED DEMLITION PLANS - LIGHTING
Drawing Number	E1.12

3/13/2020 1:33:06 PM



1 FLOOR PLAN - LEVEL 1 - POWER
Scale: 1" = 40'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
OVERALL PROPOSED PLAN - POWER

Drawing Number
E2.01

3/13/2020 12:53:17 PM

ELECTRICAL GENERAL KITCHEN NOTES:

1. DO NOT ROUGH-IN FROM THIS DRAWING. REFER TO THE CONTRACTOR'S DIMENSIONED DRAWINGS.
2. VERIFY ALL ELECTRICAL CHARACTERISTICS WITH ARCHITECT'S ENGINEERING DRAWINGS.
3. DIMENSIONS INDICATED ARE TO BE VERIFIED BY CONTRACTOR AND ADJUSTED AS REQUIRED BY FOODSERVICE EQUIPMENT AND/OR FIELD CONDITIONS.
4. ACCESSORIES AND FITTINGS PROVIDED LOOSE WITH FOODSERVICE EQUIPMENT BY SECTION 11 40 00. FIELD INSTALLED BY DIVISION 26.
5. STAINLESS STEEL DISCONNECT SWITCH PROVIDED AND INSTALLED BY DIVISION 26.
6. ALL ELECTRICAL CONNECTIONS BENEATH EXHAUST HOOD TO EXTEND TO SHUNT TRIP BREAKERS WITHIN ELECTRICAL PANEL BOX FOR SHUT-DOWN DURING FIRE MODE – BY DIVISION 26.
7. DOOR HEATER(S) LIGHT(S) AND PRESSURE RELIEF PORT(S) PRE-WIRED TO JUNCTION BOX AT TOP OF COLD STORAGE ASSEMBLY BY SECTION 14 00 00. FINAL CONNECTION BY DIVISION 26
8. (7) WIRES AND CONDUIT FROM CONDENSOR JUNCTION BOX AT COLD STORAGE REFRIGERATION RACK TO EVAPORATOR COIL JUNCTION BOX BY DIVISION 26.
9. INTERCONNECT TO EXHAUST HOOD FAN(S) AND SWITCH BY DIVISION 26.
10. INTERCONNECT TO EXHAUST HOOD LIGHT(S) AND SWITCH BY DIVISION 26.
11. INTERCONNECT FIRE PROTECTION SYSTEM TO PANEL BOX SHUNT TRIP(S) AND BUILDING ALARM – BY DIVISION 26.
12. RECEPTACLE(S) TO BE PRE-WIRED TO JUNCTION BOX OR LOAD CENTER FOR FINAL CONNECTION BY DIVISION 26.
13. SECTION 11 40 00 TO VERIFY UTILITY REQUIREMENTS OF EXISTING EQUIPMENT.
14. EMPTY CONDUIT RUN FROM CASHIER STATION TO MANAGERS OFFICE FOR POS SYSTEM BY DIVISION 26. LOCATION OF MANAGER'S OFFICE TO BE VERIFIED.

GENERAL NOTES:

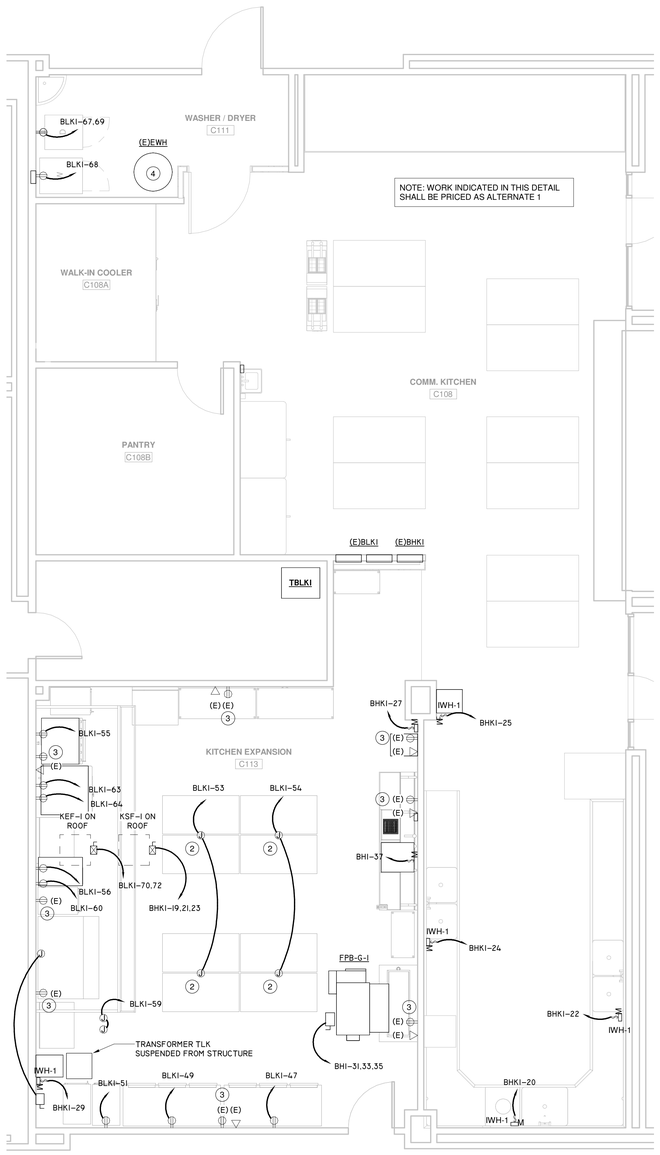
1. ALL RECEPTACLES COVER PLATES IN THE KITCHEN WILL BE 302-STAINLESS STEEL.
2. ALL CONVENIENCE RECEPTACLES WILL BE GFI TYPE.
3. THE ELECTRICAL, CONTRACTOR WILL COORDINATE WITH THE KITCHEN CONSULTANT PLANS FOR FURTHER REQUIREMENTS AND CLARIFICATIONS. THE GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT/ENGINEER OF ANY CONFLICTS WHICH MAY ARISE BEFORE ANY WORK OR ROUGH-INS ARE MADE.

FIRE ALARM:

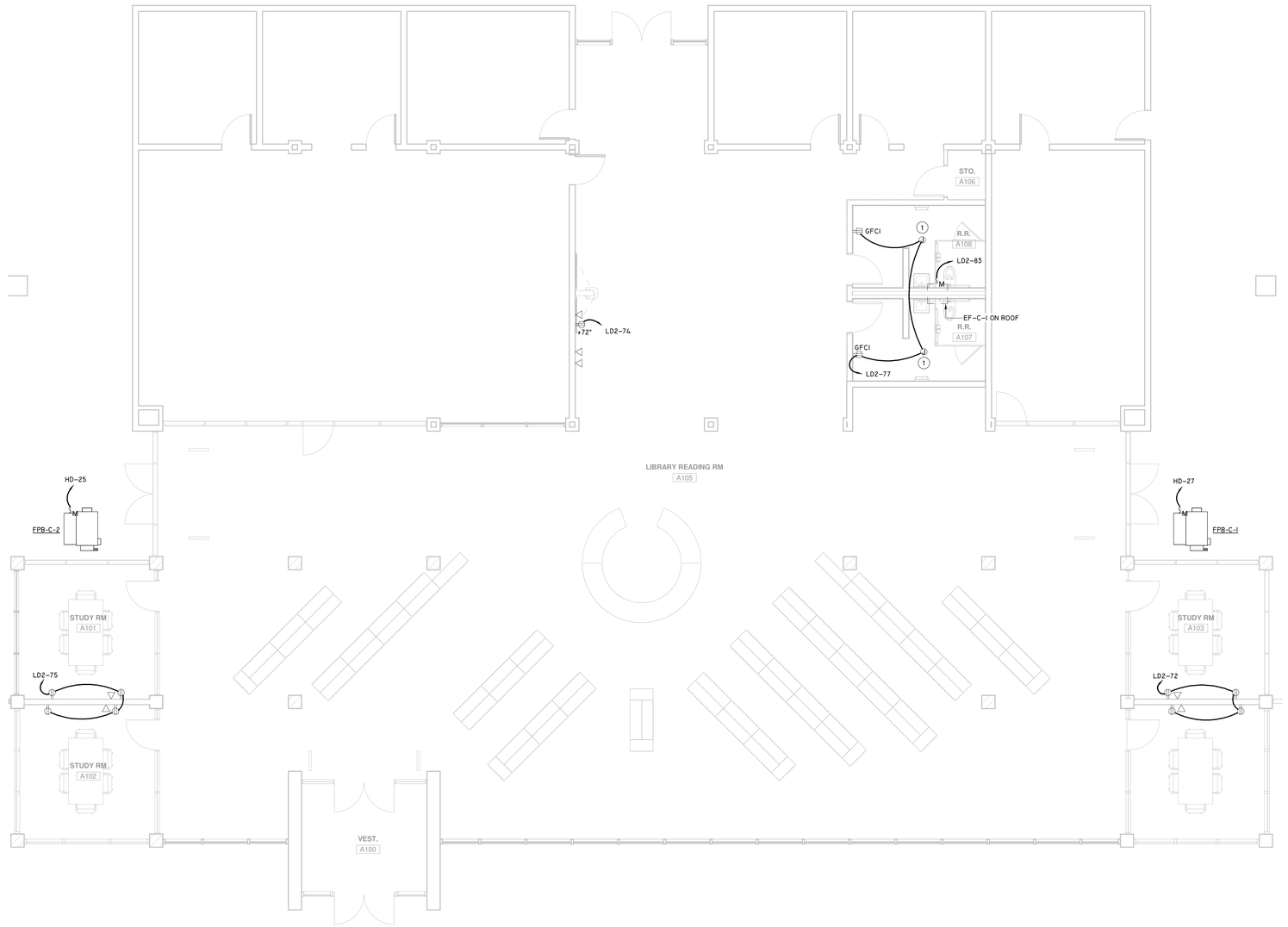
IT IS THE FIRE ALARM CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE HOOD EQUIPMENT FIRE EXTINGUISHING SYSTEM (ANSUL SYSTEM) IS INTERCONNECTED TO THE FUEL/CURRENT SUPPLY SO THAT IT AUTOMATICALLY SHUTS DOWN SUPPLY TO ALL EQUIPMENT UNDER THE HOOD AND SUPPLY FANS FOR THE HOOD WHEN THE SYSTEM IS ACTUATED. SOLENOID VALVES CONTROLLING FUEL GAS SUPPLY TO UNDER-HOOD EQUIPMENT AND CIRCUITS FEEDING ELECTRICAL HEATING UNDER-HOOD EQUIPMENT SHALL BE CIRCUITED THROUGH PANEL LS, SUB-FED BY A SHUNT-TRIP BREAKER. REFER TO THE UNIFORM MECHANICAL CODE SECTION 510.2 & .2. NEC AND NFPA FOR APPLICABLE REQUIREMENTS. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE FIRE ALARM CONTRACTOR AND INSTALLATION OF SHUNT TRIPS AND ANY NECESSARY APPARATUSES FOR THE AUTOMATIC SHUTDOWN OF THE KITCHEN HOOD FANS AND DEVICES UNDER THE HOOD UPON ACTIVATION OF THIS SYSTEM. COORDINATE THIS WORK WITH THE FOOD SERVICE CONSULTANT.

KEYNOTE LEGEND

1	COORDINATE FOR EXACT LOCATION OF LOW VOLTAGE TRANSFORMER (LOCATE ABOVE ACCESSIBLE CEILING) WHICH WILL PROVIDE POWER TO FLUSH VALVES AND AUTO SENSORS.
2	PROVIDE CORD REELS WITH 4-SOCKET NEMA 5-15R OUTLETS TO REACH UPPER SURFACE OF TABLE.
3	REPLACE DEVICE WITH GFCI DUPLEX WITH SS-302 COVERPLATE.
4	RELOCATE EXISTING WATER HEATER TO NEW LOCATION. RECONNECT WATER HEATER TO EXISITING CIRCUIT. MATCH AND EXTEND FEEDER AS REQUIRED. UTILIZE EXISTING DISCONNECTING MEANS.



2 ENLARGED PROPOSED PLAN - AREA G - POWER
Scale: 1/4" = 1'-0"



1 ENLARGED PROPOSED PLAN - AREA C - POWER
Scale: 3/16" = 1'-0"

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4306
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

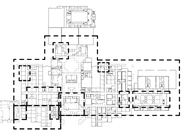
STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED PROPOSED PLAN - POWER

Drawing Number **E2.02**

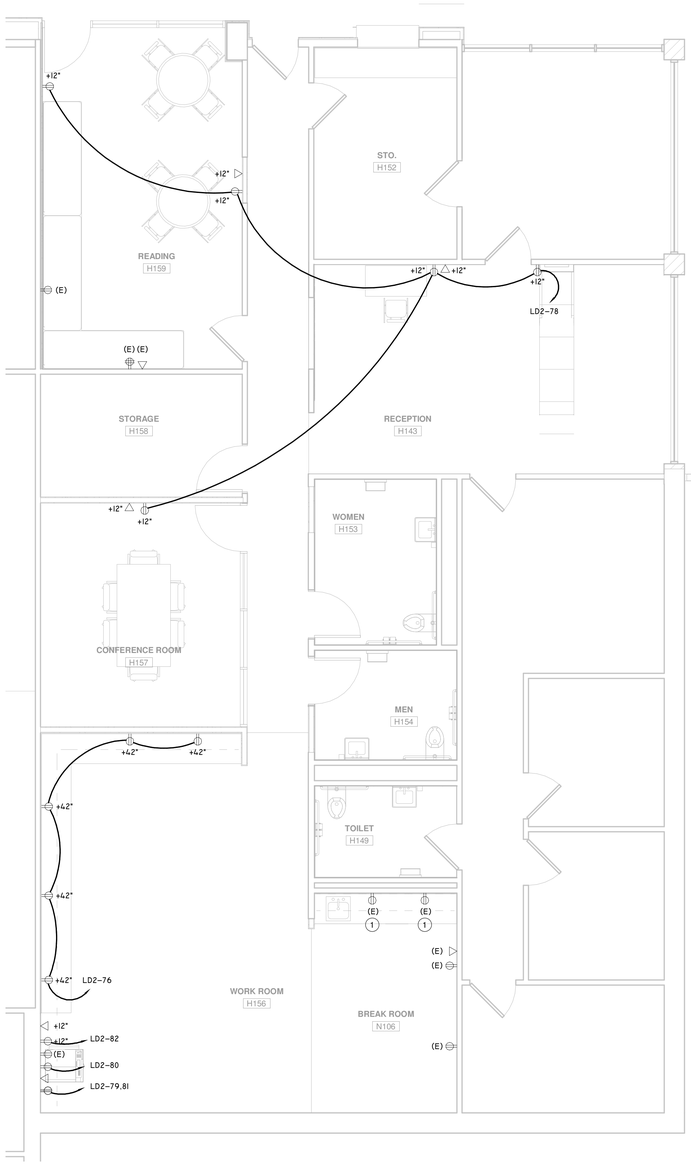
3/13/2020 1:23:24 PM

KEYNOTE LEGEND

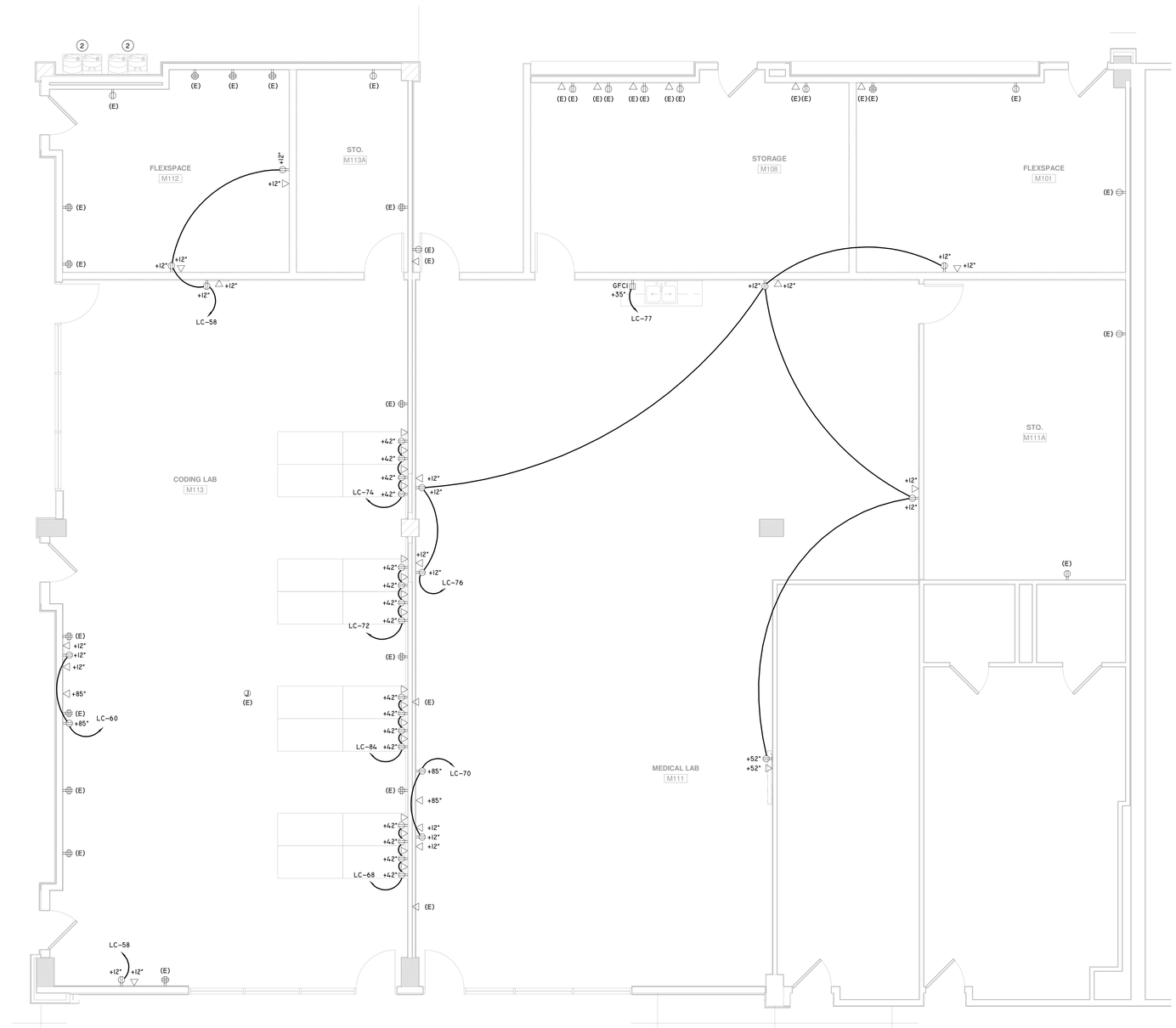
1	REPLACE DEVICE WITH GFCI DUPLEX WITH SS-302 COVERPLATE.
2	RECONNECT DRINKING FOUNTAIN TO EXISTING CIRCUIT. VERFY BREAKER SERVING DRINKING FOUNTAIN IS GFCI TYPE.

ELECTRICAL GENERAL NOTES:

1. ALL NEW RECEPTACLES IN THIS FACILITY ARE TO BE TAMPER-RESISTANT PER 2017 NEC SECTION 406.12.
2. ALL CLASSROOM POWER, DATA, AND COMMUNICATION OUTLET LAYOUTS AND ELEVATIONS ARE TO BE COORDINATED WITH ARCHITECTURAL MILLWORK AND FURNITURE PLANS PRIOR TO ROUGH-IN.
3. AT ALL CARD READER LOCATIONS, CONTRACTOR SHALL PROVIDE 1/2 INCH CONDUIT STUBBED OUT OF THE WALL, FLUSH WITH THE WALL SURFACE. ROUTE CONDUIT BACK TO THE NEAREST MDF/IDF ROOM.
4. ALL RECEPTACLES SERVING ELECTRIC DRINKING FOUNTAINS SHALL BE CONNECTED TO A GFCI BREAKER IN PANEL ASSOCIATED WITH CIRCUIT.
5. ALL RECEPTACLES MOUNTED ABOVE COUNTERS AND WITHIN 6 FEET OF A WATER SOURCE OR BASIN SHALL BE GFCI TYPE.
6. PROVIDE A 120V AND 208V OUTLET FOR ALL COMMERCIAL COPIERS. COORDINATE EXACT DEVICE TYPE WITH OWNER PRIOR TO PULLING BRANCH CIRCUIT WIRING.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES, AND PULLSTRING FOR ALL TELEPHONE, DATA, CATV, SECURITY AND CAMERA OUTLETS. ALL OUTLET BOXES FOR IT/AV DEVICES SHALL COMPLY WITH SMSD IT STANDARDS.
8. ELECTRICAL CONTRACTOR SHALL VERIFY DEVICE AND EQUIPMENT LOCATIONS WITH ARCHTECT PRIOR TO ROUGH-IN.



2 ENLARGED PROPOSED PLAN - AREA B5 - POWER
Scale: 1/4" = 1'-0"



1 ENLARGED PROPOSED PLAN - AREA B3 - POWER
Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

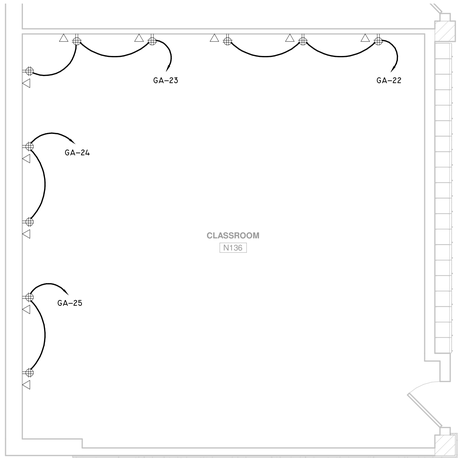
1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

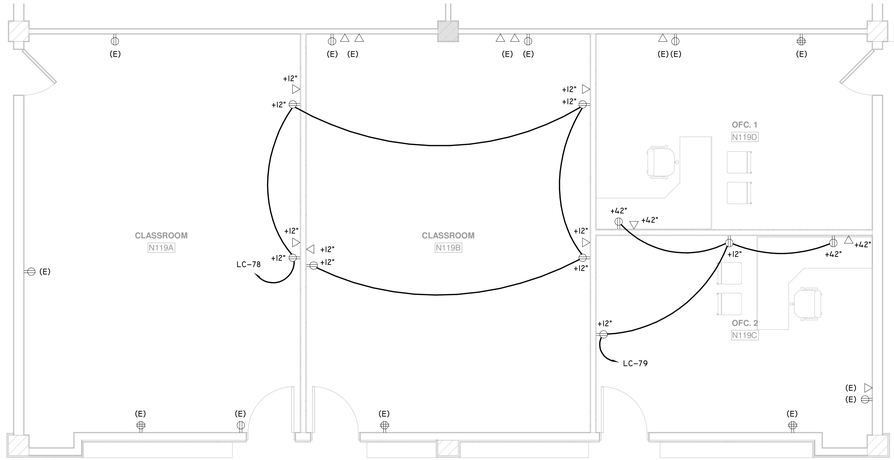
#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

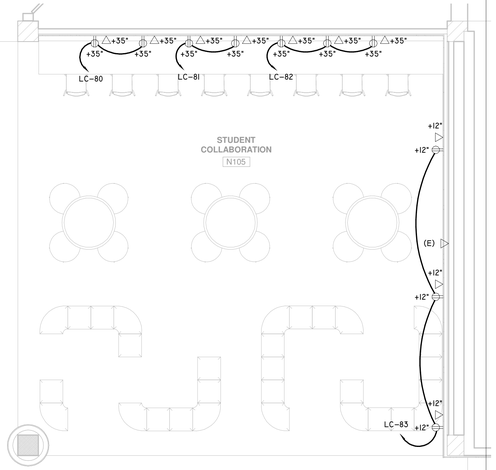
KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED PROPOSED PLAN - POWER
Drawing Number	E2.03

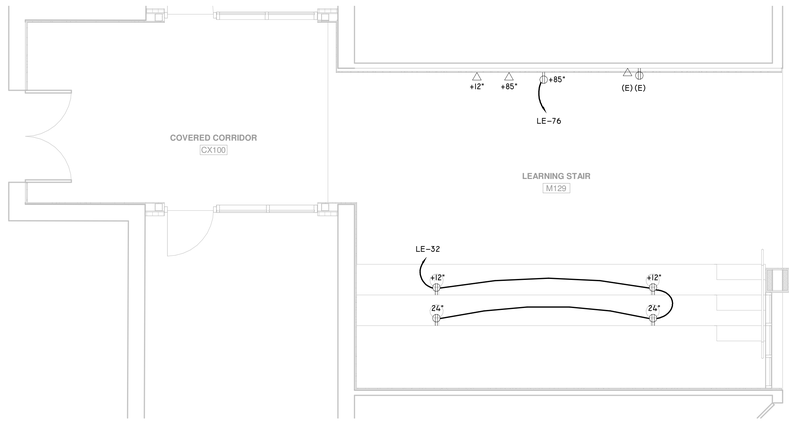
3/13/2020 1:33:31 PM







4 ENLARGED PROPOSED PLAN - AREA B4 - POWER
Scale: 1/4" = 1'-0"



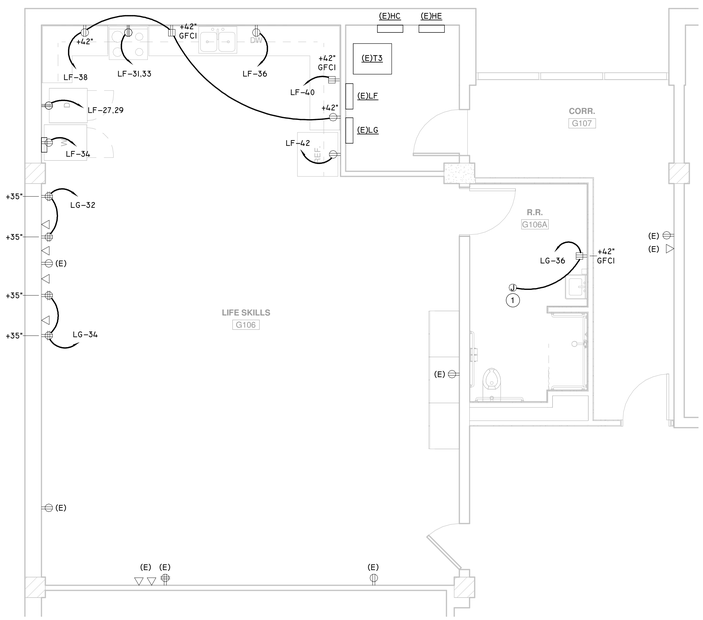
3 ENLARGED PROPOSED PLAN - AREA B1 - POWER
Scale: 1/4" = 1'-0"

ELECTRICAL GENERAL NOTES:

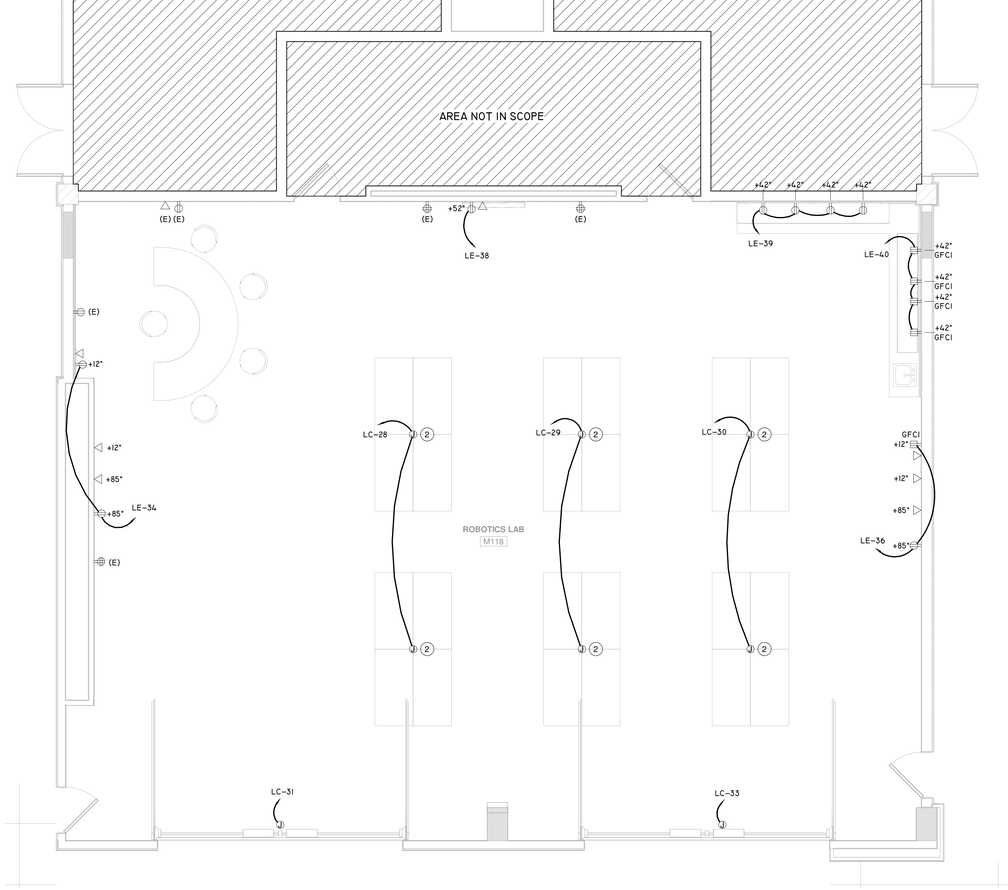
1. ALL NEW RECEPTACLES IN THIS FACILITY ARE TO BE TAMPER-RESISTANT PER 2017 NEC SECTION 406.12.
2. ALL CLASSROOM POWER, DATA, AND COMMUNICATION OUTLET LAYOUTS AND ELEVATIONS ARE TO BE COORDINATED WITH ARCHITECTURAL MILLWORK AND FURNITURE PLANS PRIOR TO ROUGH-IN.
3. AT ALL CARD READER LOCATIONS, CONTRACTOR SHALL PROVIDE 1/2 INCH CONDUIT STUBBED OUT OF THE WALL. FLUSH WITH THE WALL SURFACE. ROUTE CONDUIT BACK TO THE NEAREST MDF/IDF ROOM.
4. ALL RECEPTACLES SERVING ELECTRIC DRINKING FOUNTAINS SHALL BE CONNECTED TO A GFCI BREAKER IN PANEL ASSOCIATED WITH CIRCUIT.
5. ALL RECEPTACLES MOUNTED ABOVE COUNTERS AND WITHIN 6 FEET OF A WATER SOURCE OR BASIN SHALL BE GFCI TYPE.
6. PROVIDE A 120V AND 208V OUTLET FOR ALL COMMERCIAL COPIERS. COORDINATE EXACT DEVICE TYPE WITH OWNER PRIOR TO PULLING BRANCH CIRCUIT WIRING.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES, AND PULLSTRING FOR ALL TELEPHONE, DATA, CATV, SECURITY AND CAMERA OUTLETS. ALL OUTLET BOXES FOR IT/AV DEVICES SHALL COMPLY WITH SMSD IT STANDARDS.
8. ELECTRICAL CONTRACTOR SHALL VERIFY DEVICE AND EQUIPMENT LOCATIONS WITH ARCHTECT PRIOR TO ROUGH-IN.

KEYNOTE LEGEND

1	COORDINATE FOR EXACT LOCATION OF LOW VOLTAGE TRANSFORMER (LOCATE ABOVE ACCESSIBLE CEILING) WHICH WILL PROVIDE POWER TO FLUSH VALVES AND AUTO SENSORS.
2	PROVIDE CORD REELS WITH 4-SOCKET NEMA 5-15R OUTLETS TO REACH UPPER SURFACE OF TABLE.



2 ENLARGED PROPOSED PLAN - AREA E - POWER
Scale: 1/4" = 1'-0"



1 ENLARGED PROPOSED PLAN - AREA B2 - POWER
Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4306
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED PROPOSED PLAN - POWER
Drawing Number	E2.04

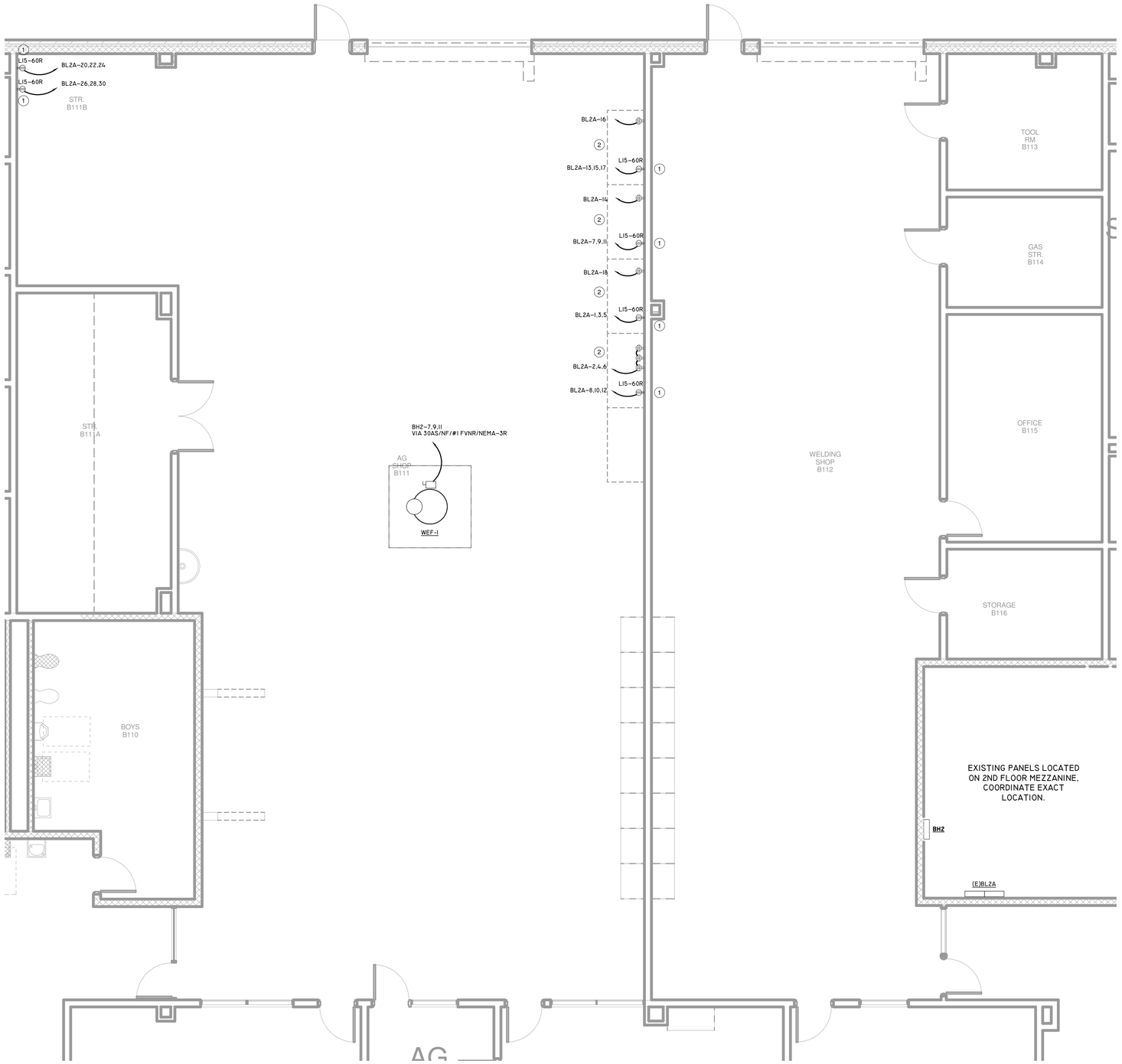
3/12/2020 12:33:40 PM

KEYNOTE LEGEND

1	PROVIDE NEW LEVITON #8460 NEMA 15-60R RECEPTACLE WITH STAINLESS STEEL COVER PLATE.
2	PROVIDE NEW TYPE SOOW 90°C CORD WITH (4) #4 CONDUCTORS AND LEVITON #8462-P NEMA 15-60P PLUG END.

ELECTRICAL GENERAL NOTES:

1. ALL NEW RECEPTACLES IN THIS FACILITY ARE TO BE TAMPER-RESISTANT PER 2017 NEC SECTION 406.12.
2. ALL CLASSROOM POWER, DATA, AND COMMUNICATION OUTLET LAYOUTS AND ELEVATIONS ARE TO BE COORDINATED WITH ARCHITECTURAL MILLWORK AND FURNITURE PLANS PRIOR TO ROUGH-IN.
3. AT ALL CARD READER LOCATIONS, CONTRACTOR SHALL PROVIDE 1/2 INCH CONDUIT STUBBED OUT OF THE WALL, FLUSH WITH THE WALL SURFACE. ROUTE CONDUIT BACK TO THE NEAREST MDF/IDF ROOM.
4. ALL RECEPTACLES SERVING ELECTRIC DRINKING FOUNTAINS SHALL BE CONNECTED TO A GFCI BREAKER IN PANEL ASSOCIATED WITH CIRCUIT.
5. ALL RECEPTACLES MOUNTED ABOVE COUNTERS AND WITHIN 6 FEET OF A WATER SOURCE OR BASIN SHALL BE GFCI TYPE.
6. PROVIDE A 120V AND 208V OUTLET FOR ALL COMMERCIAL COPIERS. COORDINATE EXACT DEVICE TYPE WITH OWNER PRIOR TO PULLING BRANCH CIRCUIT WIRING.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES, AND PULLSTRING FOR ALL TELEPHONE, DATA, CATV, SECURITY AND CAMERA OUTLETS. ALL OUTLET BOXES FOR IT/AV DEVICES SHALL COMPLY WITH SMSD IT STANDARDS.
8. ELECTRICAL CONTRACTOR SHALL VERIFY DEVICE AND EQUIPMENT LOCATIONS WITH ARCHTECT PRIOR TO ROUGH-IN.



1 ENLARGED PROPOSED PLAN - AREA I - POWER
Scale: 1/4" = 1'-0"

3/13/2020 1:33:47 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4306
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED PROPOSED PLAN - POWER

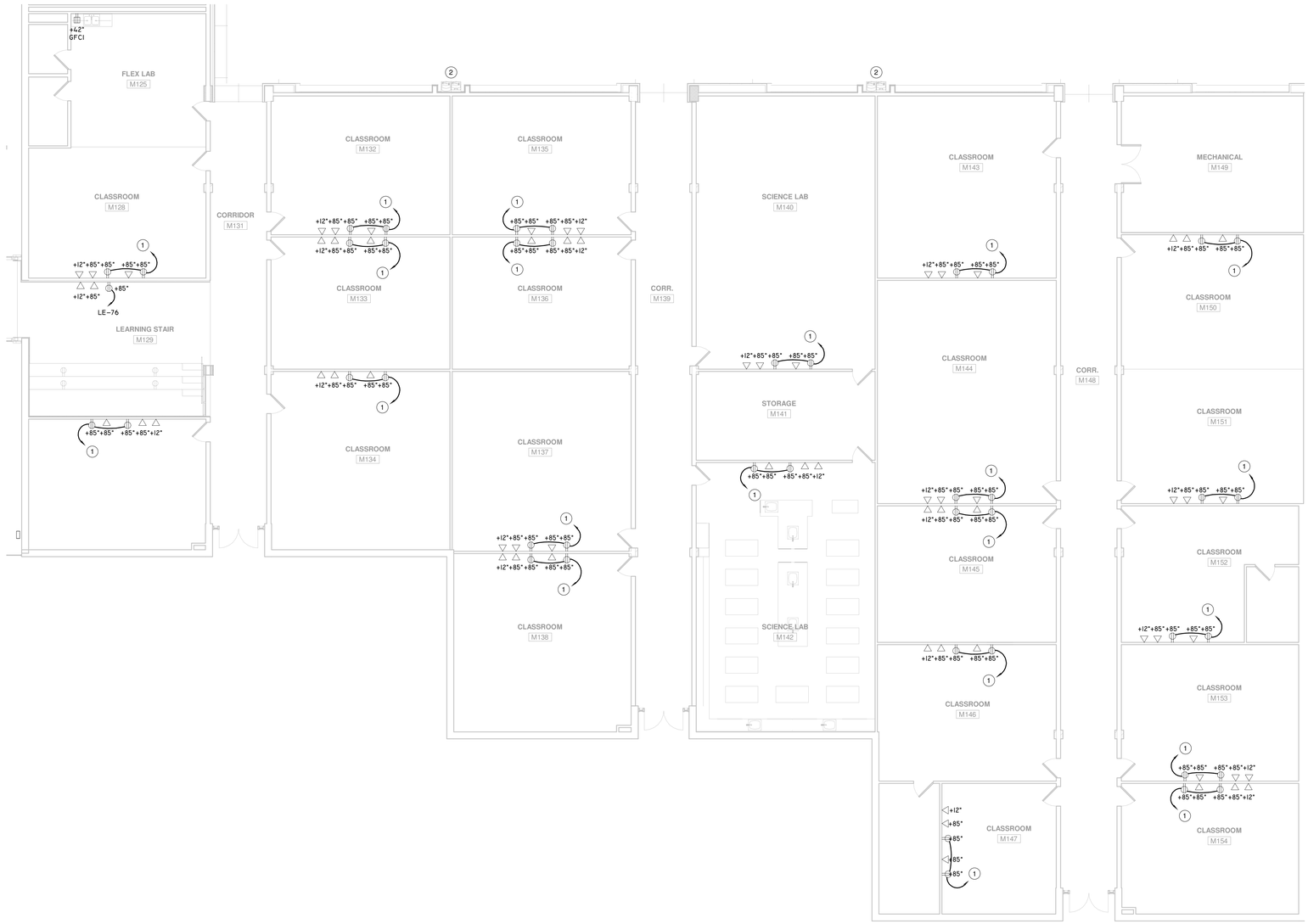
Drawing Number **E2.05**

KEYNOTE LEGEND

1	UTILIZE EXISITING PROJECTOR CIRCUIT FOR NEW WALL MOUNTED PROJECTOR AND CONNECT TO NEW DUPLEXS.
2	RECONNECT DRINKING FOUNTAIN TO EXISTING CIRCUIT. VERFY BREAKER SERVING DRINKING FOUNTAIN IS GFCI TYPE.

ELECTRICAL GENERAL NOTES:

1. ALL NEW RECEPTACLES IN THIS FACILITY ARE TO BE TAMPER-RESISTANT PER 2017 NEC SECTION 406.12.
2. ALL CLASSROOM POWER, DATA, AND COMMUNICATION OUTLET LAYOUTS AND ELEVATIONS ARE TO BE COORDINATED WITH ARCHITECTURAL MILLWORK AND FURNITURE PLANS PRIOR TO ROUGH-IN.
3. AT ALL CARD READER LOCATIONS, CONTRACTOR SHALL PROVIDE 1/2 INCH CONDUIT STUBBED OUT OF THE WALL, FLUSH WITH THE WALL SURFACE. ROUTE CONDUIT BACK TO THE NEAREST MDF/IDF ROOM.
4. ALL RECEPTACLES SERVING ELECTRIC DRINKING FOUNTAINS SHALL BE CONNECTED TO A GFCI BREAKER IN PANEL ASSOCIATED WITH CIRCUIT.
5. ALL RECEPTACLES MOUNTED ABOVE COUNTERS AND WITHIN 6 FEET OF A WATER SOURCE OR BASIN SHALL BE GFCI TYPE.
6. PROVIDE A 120V AND 208V OUTLET FOR ALL COMMERCIAL COPIERS. COORDINATE EXACT DEVICE TYPE WITH OWNER PRIOR TO PULLING BRANCH CIRCUIT WIRING.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES, AND PULLSTRING FOR ALL TELEPHONE, DATA, CATV, SECURITY AND CAMERA OUTLETS. ALL OUTLET BOXES FOR IT/AV DEVICES SHALL COMPLY WITH SMSD IT STANDARDS.
8. ELECTRICAL CONTRACTOR SHALL VERIFY DEVICE AND EQUIPMENT LOCATIONS WITH ARCHTECT PRIOR TO ROUGH-IN.



1 ENLARGED PROPOSED PLAN - AREA B - POWER
Scale: 1/8" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

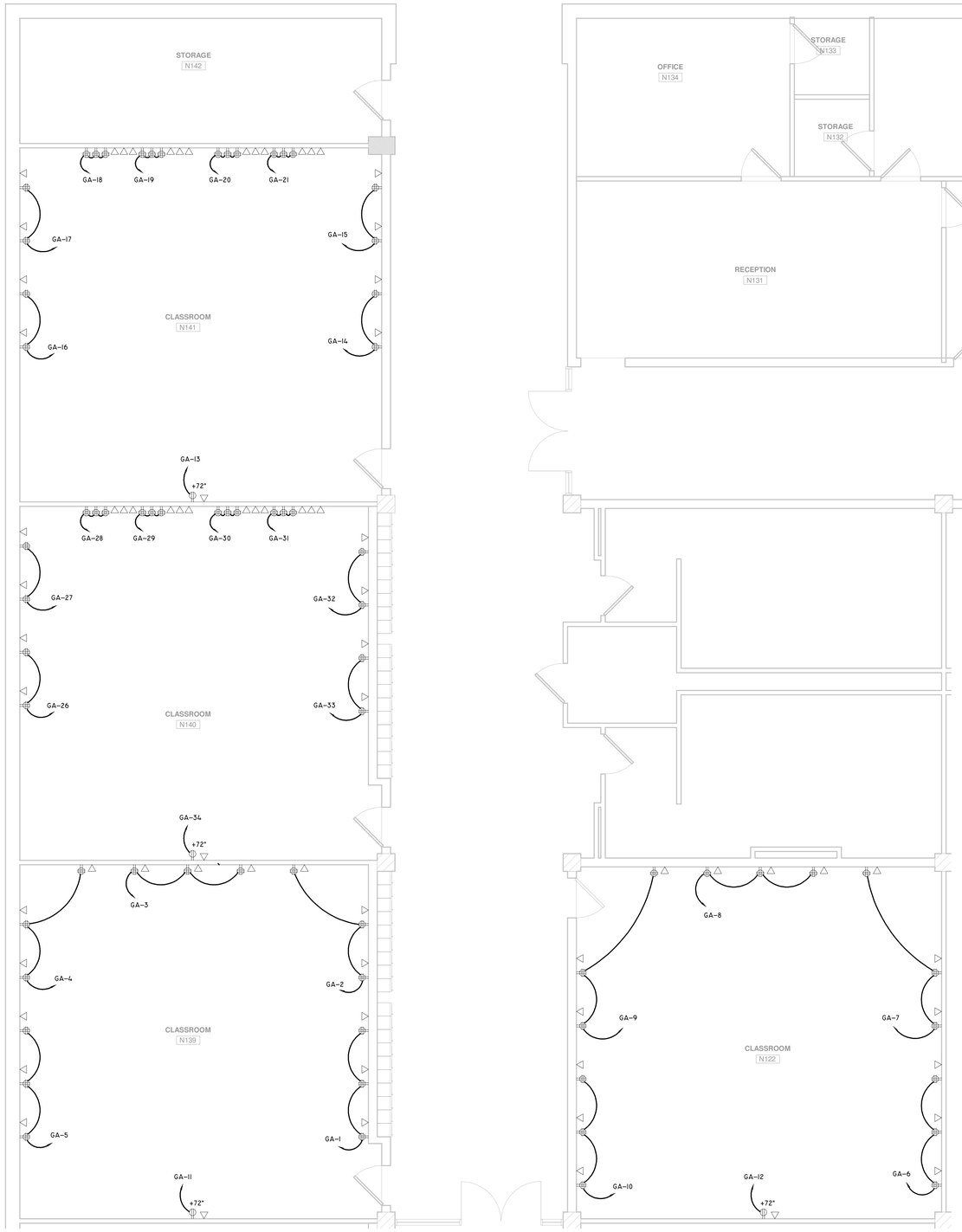
Drawing Title
ENLARGED PROPOSED PLAN - POWER

Drawing Number **E2.06**

3/12/2020 1:23:35 PM

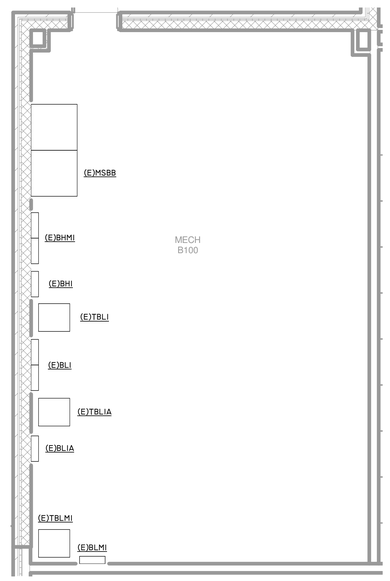
ELECTRICAL GENERAL NOTES:

1. ALL NEW RECEPTACLES IN THIS FACILITY ARE TO BE TAMPER-RESISTANT PER 2017 NEC SECTION 406.12.
2. ALL CLASSROOM POWER, DATA, AND COMMUNICATION OUTLET LAYOUTS AND ELEVATIONS ARE TO BE COORDINATED WITH ARCHITECTURAL MILLWORK AND FURNITURE PLANS PRIOR TO ROUGH-IN.
3. AT ALL CARD READER LOCATIONS, CONTRACTOR SHALL PROVIDE 1/2 INCH CONDUIT STUBBED OUT OF THE WALL, FLUSH WITH THE WALL SURFACE. ROUTE CONDUIT BACK TO THE NEAREST MDF/IDF ROOM.
4. ALL RECEPTACLES SERVING ELECTRIC DRINKING FOUNTAINS SHALL BE CONNECTED TO A GFCI BREAKER IN PANEL ASSOCIATED WITH CIRCUIT.
5. ALL RECEPTACLES MOUNTED ABOVE COUNTERS AND WITHIN 6 FEET OF A WATER SOURCE OR BASIN SHALL BE GFCI TYPE.
6. PROVIDE A 120V AND 208V OUTLET FOR ALL COMMERCIAL COPIERS. COORDINATE EXACT DEVICE TYPE WITH OWNER PRIOR TO PULLING BRANCH CIRCUIT WIRING.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES, AND PULLSTRING FOR ALL TELEPHONE, DATA, CATV, SECURITY AND CAMERA OUTLETS. ALL OUTLET BOXES FOR IT/AV DEVICES SHALL COMPLY WITH SMSD IT STANDARDS.
8. ELECTRICAL CONTRACTOR SHALL VERIFY DEVICE AND EQUIPMENT LOCATIONS WITH ARCHTECT PRIOR TO ROUGH-IN.



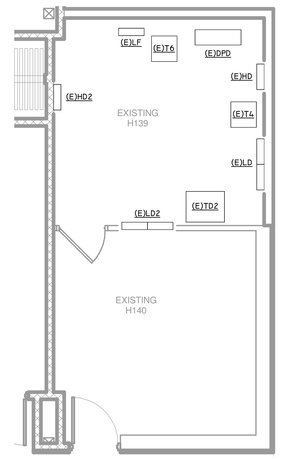
1 ENLARGED PROPOSED PLAN - AREA B6 - POWER

Scale: 1/4" = 1'-0"



3 ENLARGED PLAN - MECH. B100

Scale: 1/4" = 1'-0"



2 ENLARGED PLAN - LIBRARY ELECTRICAL ROOM

Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

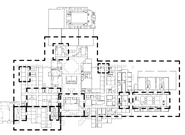
STATE OF TEXAS
ISA TAN
121936
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



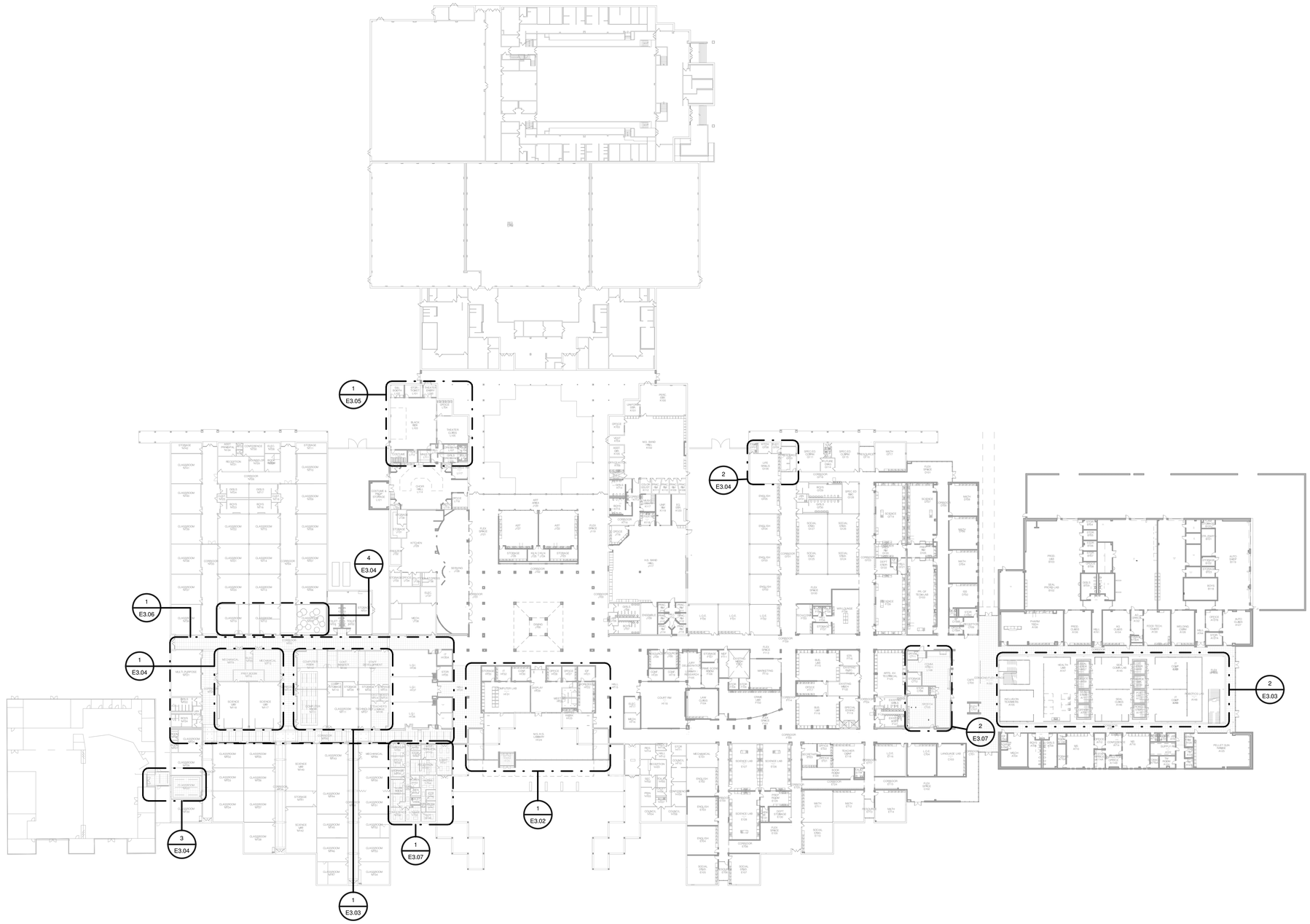
KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
ENLARGED PROPOSED PLAN - POWER

Drawing Number **E2.07**

3/13/2020 1:53:54 PM



1 OVERALL PROPOSED PLAN - LIGHTING
Scale: 1" = 40'-0"

3/12/2020 1:23:41 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

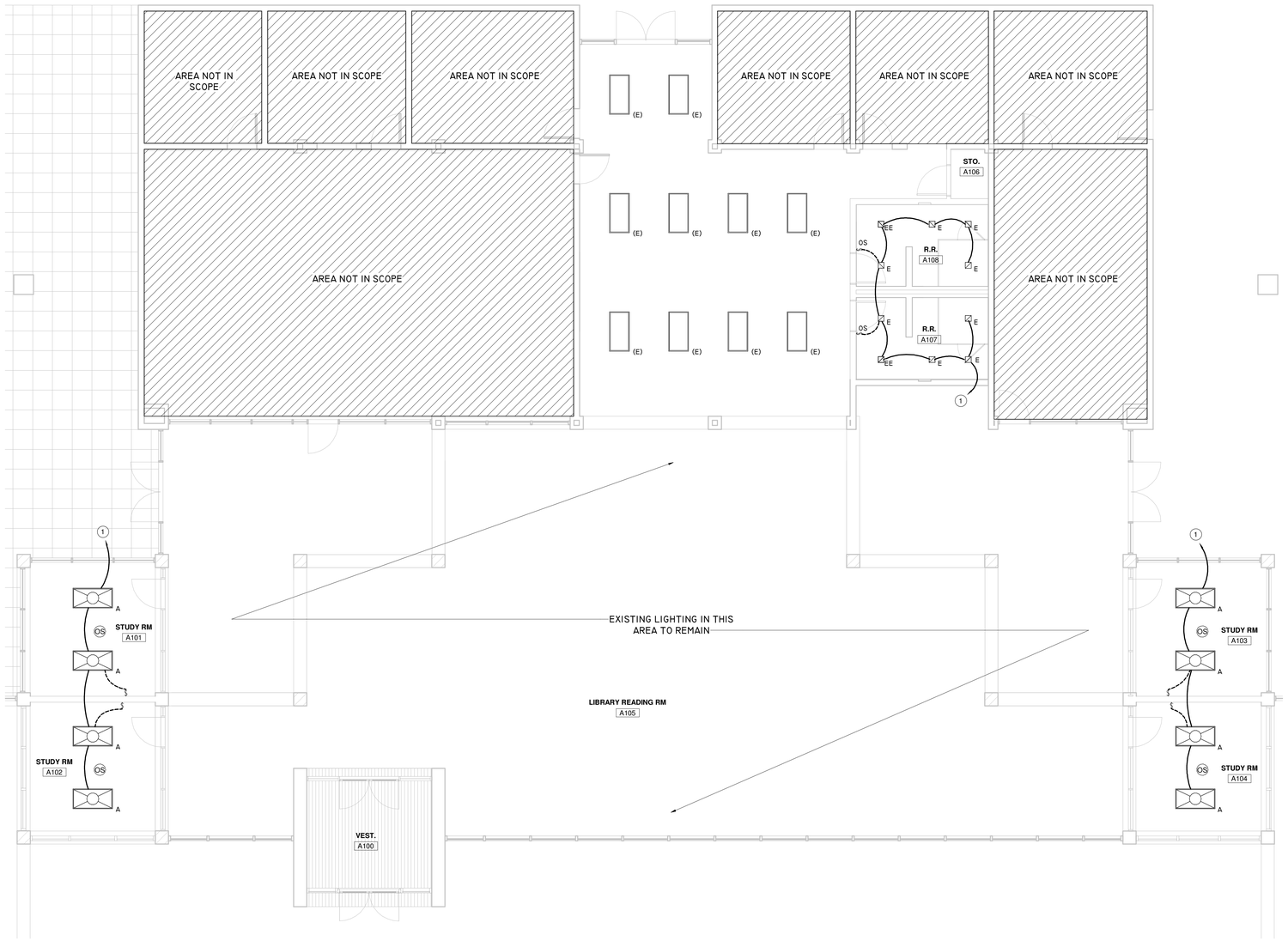
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
OVERALL PROPOSED PLAN - LIGHTING

Drawing Number
E3.01

KEYNOTE LEGEND

1	CONNECT NEW LIGHTING FIXTURES TO NEAREST LIGHTING CIRCUIT WITH AVAILABLE CAPACITY TO SUPPORT THE ADDITIONAL LOAD.



1 ENLARGED PROPOSED PLAN - AREA C - LIGHTING
Scale: 3/16" = 1'-0"

3/13/2020 1:25:21 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

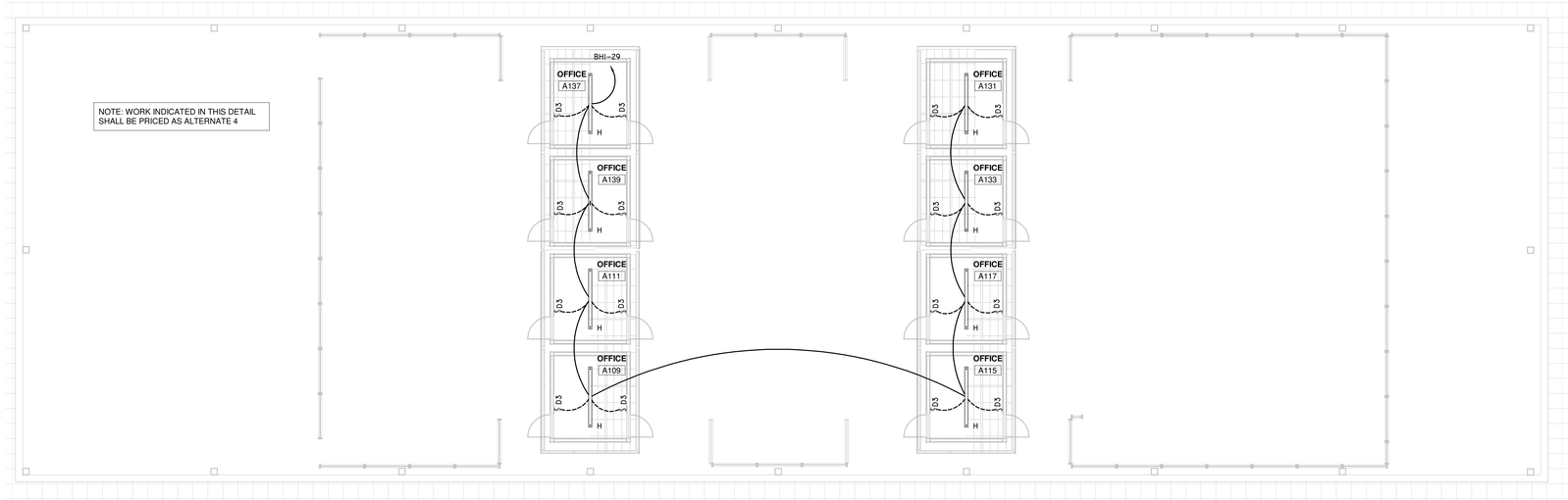
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED PROPOSED PLAN - LIGHTING

Drawing Number **E3.02**

KEYNOTE LEGEND

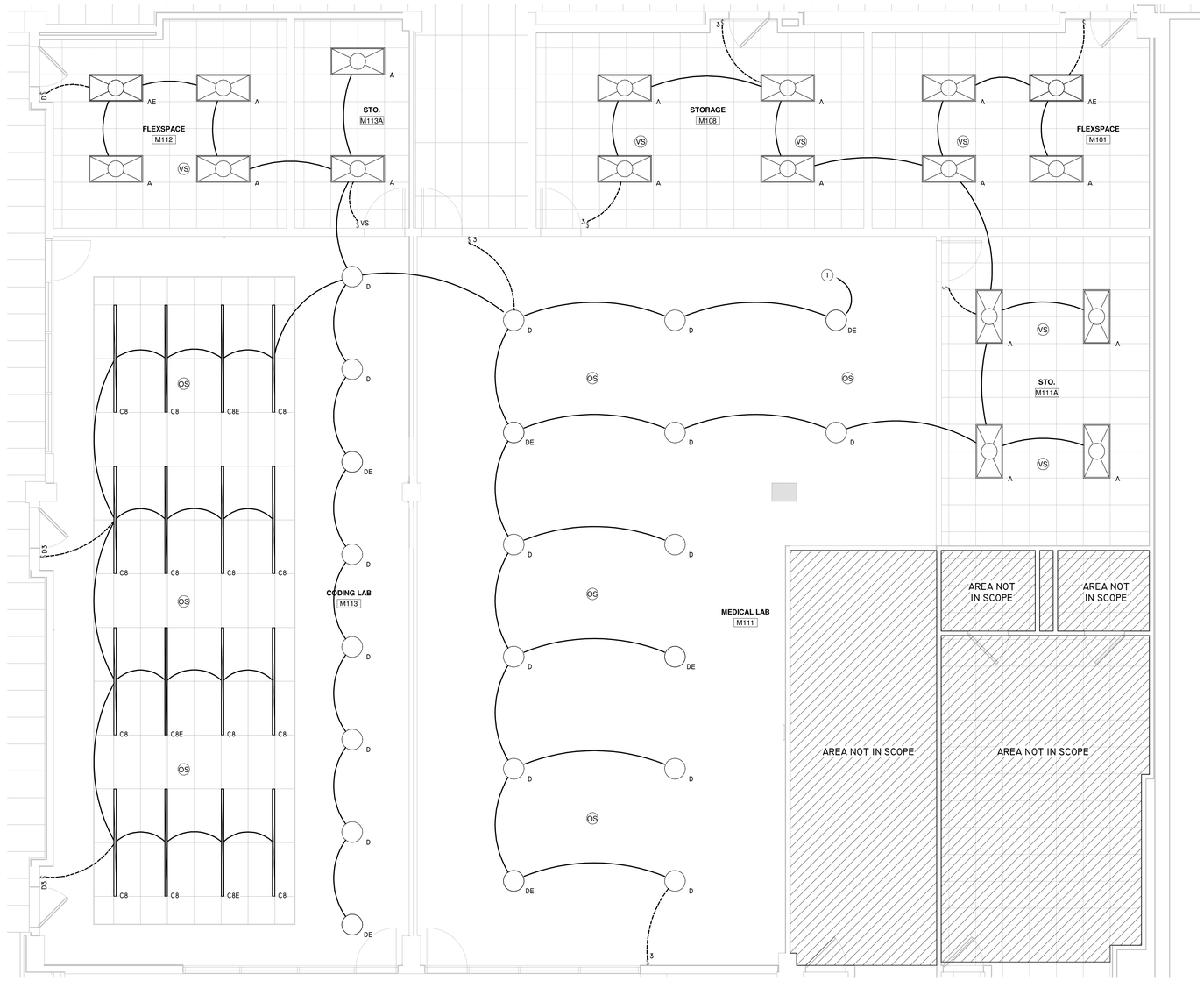
1	CONNECT NEW LIGHTING FIXTURES TO NEAREST LIGHTING CIRCUIT WITH AVAILABLE CAPACITY TO SUPPORT THE ADDITIONAL LOAD.

NOTE: WORK INDICATED IN THIS DETAIL SHALL BE PRICED AS ALTERNATE 4



2 ENLARGED PROPOSED PLAN - AREA H - LIGHTING

Scale: 1/8" = 1'-0"



1 ENLARGED PROPOSED PLAN - AREA B3 - LIGHTING

Scale: 1/4" = 1'-0"

3/13/2020 12:24:26 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
2427 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

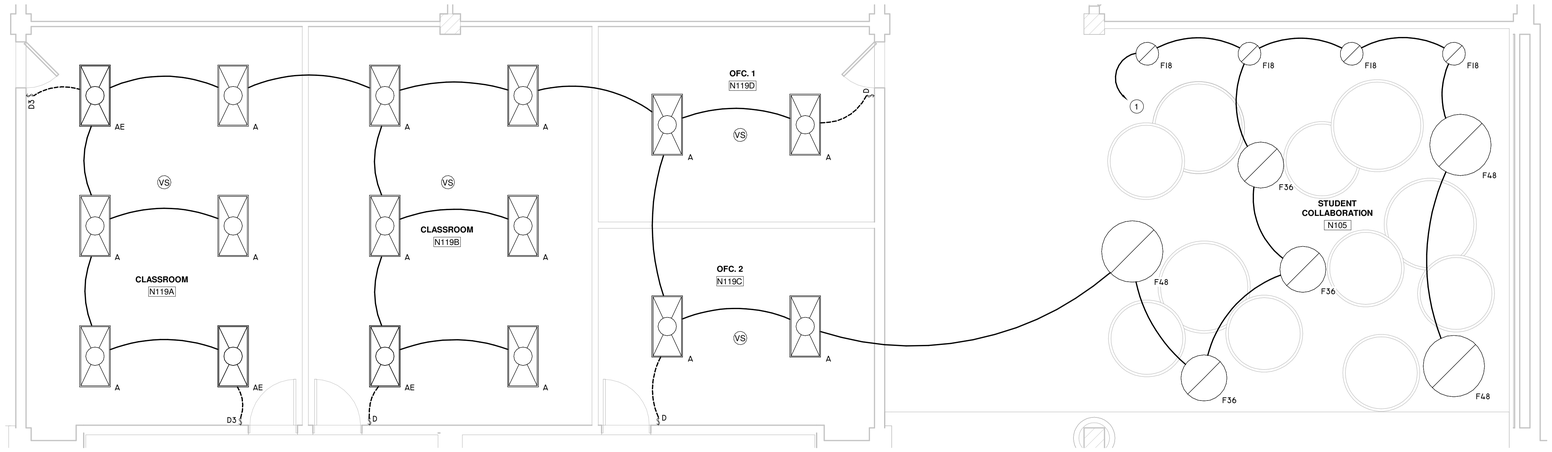
KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title

ENLARGED PROPOSED PLAN - LIGHTING

Drawing Number **E3.03**

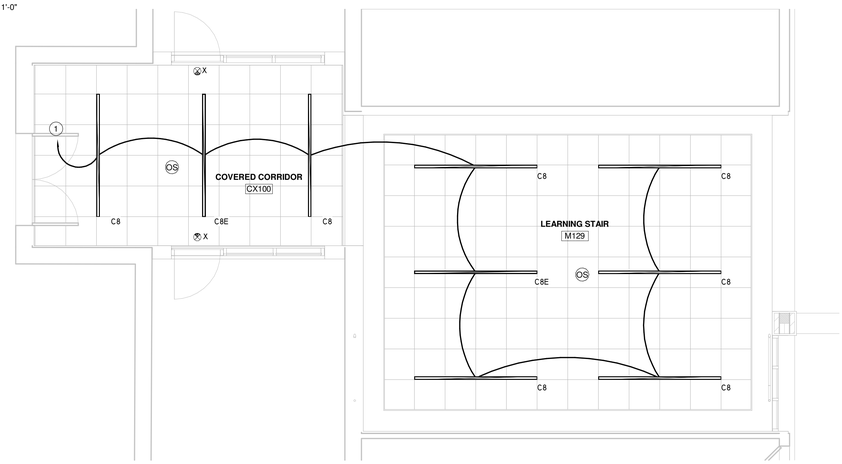


KEYNOTE LEGEND

1	CONNECT NEW LIGHTING FIXTURES TO NEAREST LIGHTING CIRCUIT WITH AVAILABLE CAPACITY TO SUPPORT THE ADDITIONAL LOAD.

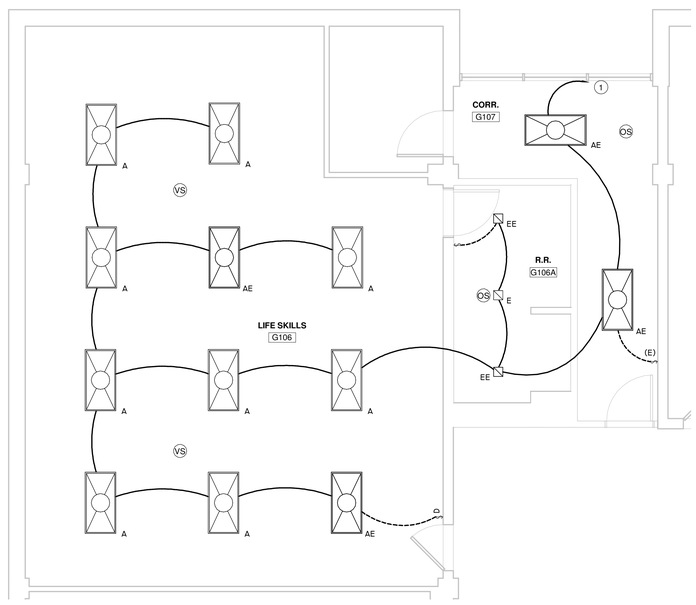
4 ENLARGED PROPOSED PLAN - AREA B4 - LIGHTING

Scale: 1/4" = 1'-0"



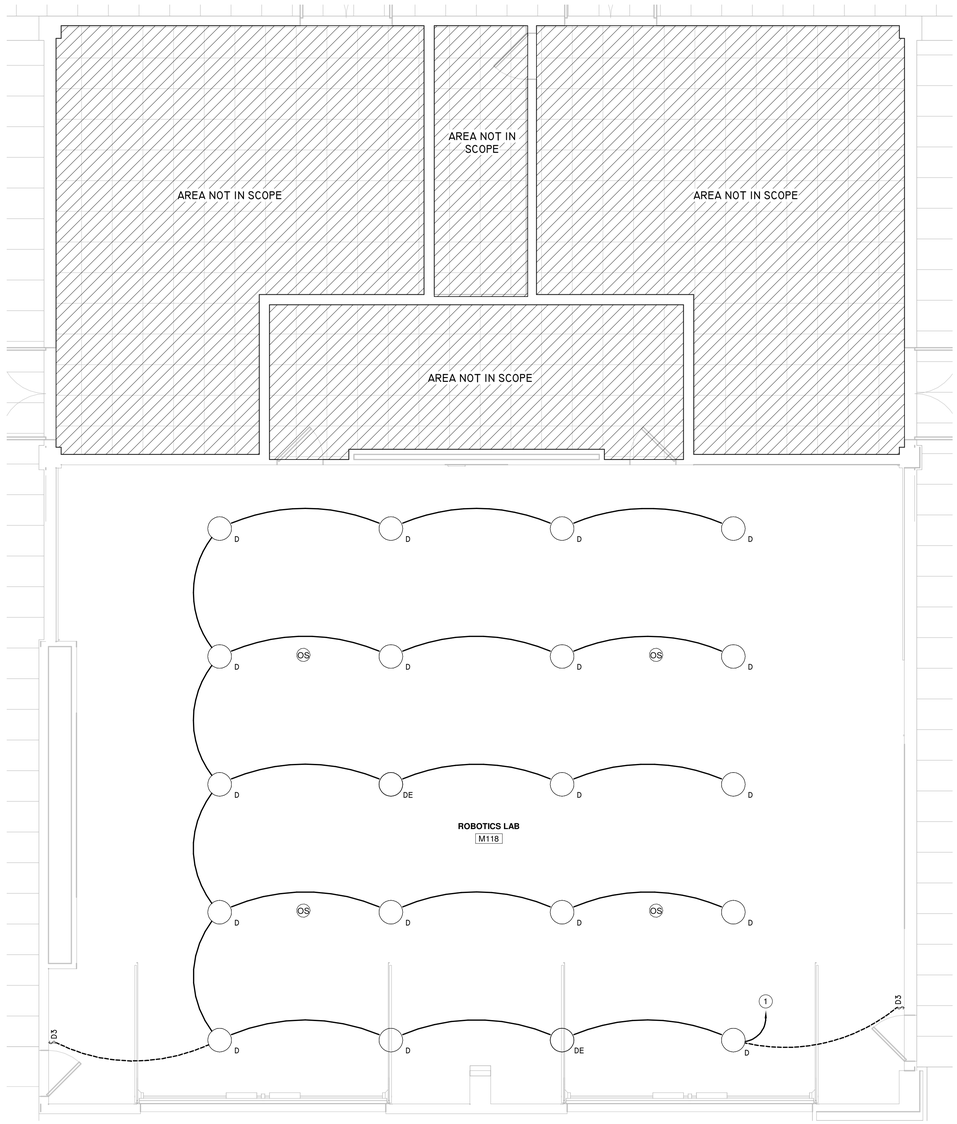
3 ENLARGED PROPOSED PLAN - AREA B1 - LIGHTING

Scale: 1/4" = 1'-0"



2 ENLARGED PROPSED PLAN - AREA E - LIGHTING

Scale: 1/4" = 1'-0"



1 ENLARGED PROPOSED PLAN - AREA B2 - LIGHTING

Scale: 1/4" = 1'-0"

3/13/2020 1:53:26 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS

INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS

DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED
PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

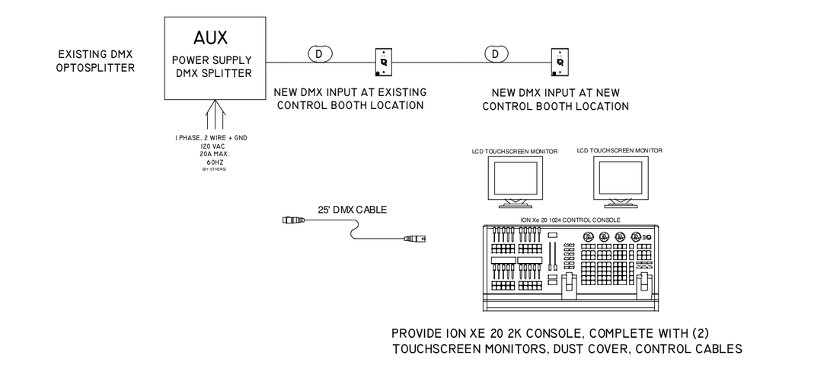
KEY PLAN

TRUE NORTH PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	ENLARGED PROPOSED PLAN - LIGHTING

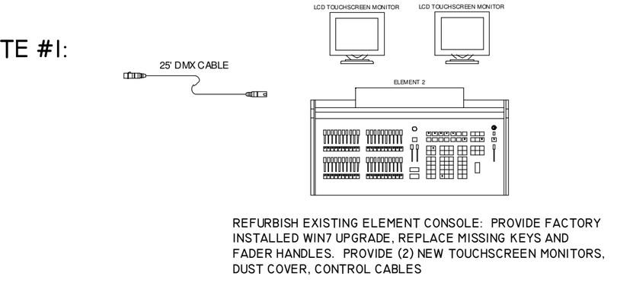
Drawing Number **E3.04**

STAGE DIMMING SYSTEM CONTROL DETAIL



PROVIDE ION XE 20 2K CONSOLE, COMPLETE WITH (2) TOUCHSCREEN MONITORS, DUST COVER, CONTROL CABLES

DEDUCT ALTERNATE #1:



REFURBISH EXISTING ELEMENT CONSOLE: PROVIDE FACTORY INSTALLED WIN7 UPGRADE, REPLACE MISSING KEYS AND FADER HANDLES. PROVIDE (2) NEW TOUCHSCREEN MONITORS, DUST COVER, CONTROL CABLES

NOTE: POSITIONS SHOWN ARE FOR ILLUSTRATION ONLY. COORDINATE FINAL POSITIONS WITH OWNER REP AND ADAPT TO CURTAIN LOCATIONS, MECHNICAL EQUIPMENT, AND SITE CONDITIONS

SYMBOL
D
U
EV

CONTROL WIRING LEGEND

WIRE TYPE(S)	SIGNAL
(1) BELDEN #9729	DMX
(1) BELDEN #8471 (1) #14 AWG. WIRE	UNISON LINK
(1) BELDEN #8471 (1) #14 AWG. WIRE (2) #16 AWG. WIRE	ECHO CONNECT 24v AUX POWER

CW LIGHTING

ELECTRONIC THEATRE CONTROLS, INC.
3031 PLEASANT VIEW RD, MIDDLETON, WI 53562
PHONE: (608) 831 – 4116
WEB: WWW.ETCCONNECT.COM

TL1 — ETC COLORSOURCE SPOT LED WITH C-CLAMP, 36 DEGREE EDLT LENS TUBE, DMX CABLE, POWERCON TO EDISON OR PASS THROUGH CABLE, SAFETY CABLE, AND SMOOTH WASH DIFFUSER

TL2 — ETC COLOR SOURCE PAR DEEP BLUE WITH C-CLAMP, WFL LENS, DMX CABLE, POWERCON TO EDISON OR PASS THROUGH CABLE, SAFETY CABLE

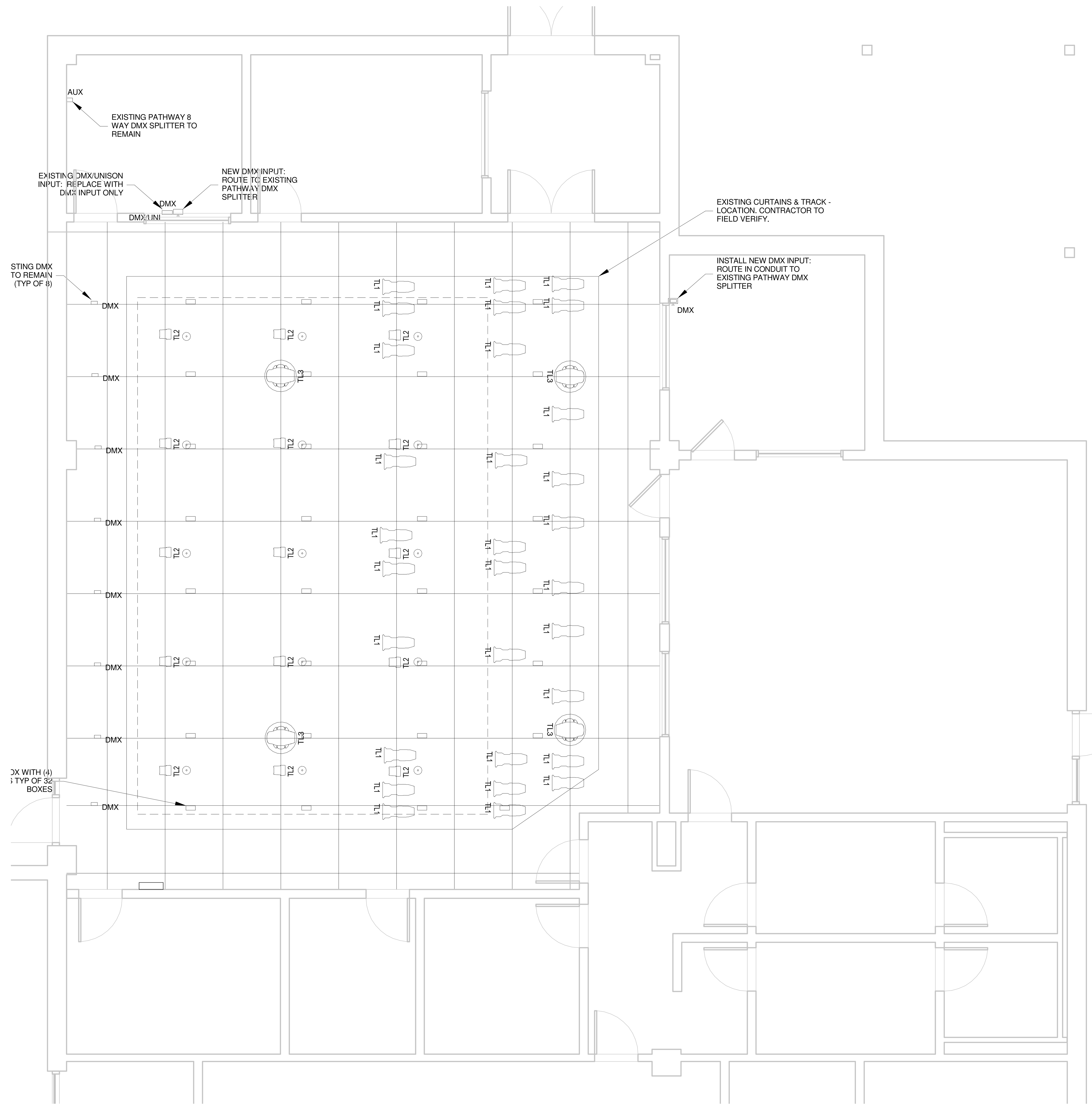
DEDUCT ALTERNATE #1: TL2 — EXISTING ETC DESIRE D40 FIXTURES. CLEAN, TEST AND SEND ALL MALFUNCTIONING FIXTURES BACK TO ETC FOR REPAIR. PROVIDE WFL LENSES, PROVIDE POWERCON PASS THROUGH CABLES AND DMX CABLES AS NEEDED TO PLUG IN ALL FIXTURES IN NEW LOCATIONS.

TL3 — ETC RELEVE SPOT WITH CLAMP, DMX CABLE, POWERCON TO EDISON OR PASS THROUGH CABLE, SAFETY CABLE

THEATRICAL CONTRACTOR IS RESPONSIBLE FOR ASSESSING SITE CONDITIONS AND PROVIDING ALL NECESSARY CABLES AND ACCESSORIES TO MAKE THIS A COMPLETE AND WORKING SYSTEM.

NOTES:

1. REFER TO SPECIFICATIONS
2. ELECTRICAL CONTRACTOR SHALL INSTALL DMX INPUT AND PROVIDE AND INSTALL ALL CONDUIT AND LOW VOLTAGE CABLE FOR PERMANENT INSTALLATION.
3. THEATRICAL CONTRACTOR SHALL TERMINATE LOW VOLTAGE CABLE AND CHECK ALL EXISTING DMX INFRASTRUCTURE AND REPAIR AS NEEDED
4. THEATRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL PORTABLE EQUIPMENT. THEATRICAL CONTRACTOR SHALL ADDRESS, HANG, AND FOCUS ALL FIXTURES TO UIL STANDARD PLOT AS DOCUMENTED IN DRAWINGS, WITH 15 AREAS. COORDINATE STAGE SPACE AND AREA LOCATIONS WITH DRAMA TEACHER. ADJUST FINAL FIXTURE LOCATIONS AS NEEDED TO PROVIDE UIL PLOT. ADDITIONAL WORKING LEFTOVER DESIRE FIXTURES MAY BE HUNG FOR SPECIALS OR KEPT AS REPLACEMENT FIXTURES AT THE DIRECTION OF THE OWNER'S REP. EXISTING PRISM FIXTURES SHALL BE REMOVED AND DISPOSED OF, OR IF REQUESTED BY OWNER, TURNED OVER TO OWNER FOR REUSE IN OTHER FACILITIES.
5. THEATRICAL CONTRACTOR SHALL SET UP AND PROGRAM THE LIGHTING CONTROL CONSOLE: PROVIDE INITIAL CHANNEL PATCH AND BASIC CUES TO GET CLASSES STARTED, AND PROVIDE TRAINING IN THE CONSOLE USE. ALL FIXTURES SHALL BE LABELED IN PATCH WITH FOCUS INFORMATION. CONSOLE SETUP SHALL INCLUDE A MAGIC SHEET WITH FIXTURE PURPOSE AND AREAS LABELED.
6. AT THE CONCLUSION OF THE PROJECT, THEATRICAL CONTRACTOR SHALL PROVIDE COMPLETE SYSTEM DOCUMENTATION TO OWNER INCLUDING BUT NOT LIMITED TO: (A) AS-BUILT HANG AND FOCUS PLOT DRAWN TO SCALE, WITH FIXTURE TYPES AND ADDRESSES INDICATED. (B) HARD COPY PRINTED PAPERWORK WITH ALL CHANNEL, ADDRESS, AND FOCUS INFORMATION LISTED. (C) USB STICK WITH "BASE" SHOW FILE SAVED ON IT THAT INCLUDES THE PATCH, A MAGIC SHEET, AND SEVERAL BASIC CUES SUITABLE FOR CLEAN UP, REHEARSAL LIGHTING, AND CLASSROOM PRESENTATIONS.
7. ALL OVERHEAD PIPES INSTALLED SHALL BE 1.5" SCHEDULE 40 BLACK IRON, PAINTED BLACK UNLESS OTHERWISE NOTED. PIPES SHALL BE INSTALLED WITH RATED PROOF COIL CHAIN AND PIPE CLAMP SO PIPE WILL NOT TWIST.
8. DMX CONTROL WIRE SHALL BE BELDEN 9729. CAT5E IN CONDUIT IS AN ACCEPTABLE ALTERNATE. ALL CONTROL WIRE SHALL BE IN CONDUIT. DO NOT SUBSTITUTE WIRE TYPES WITHOUT CONSULTING THE MANUFACTURER. FOR A LIST OF APPROVED WIRE TYPE SUBSTITUTIONS, OR FOR ANY OTHER QUESTIONS, CONTACT THE MANUFACTURER'S REP AT 713-572-4000.
9. ALL CIRCUITS SHALL HAVE DEDICATED NEUTRALS.
10. LOW VOLTAGE TERMINATIONS, SYSTEM STARTUP, PROGRAMMING, AND TRAINING TO BE PROVIDED BY AN ETC AUTHORIZED SERVICE CENTER. CONTACT 713-572-4000 FOR SYSTEM STARTUP 3 WEEKS PRIOR TO DESIRED DATE TO SCHEDULE.
11. NEW LED FIXTURES SHALL HAVE A 5 YEAR COMPLETE WARRANTY, AND A 10 YEAR WARRANTY ON THE LIGHT ARRAY.



1 ENLARGED PROPOSED PLAN - AREA D - LIGHTING
Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4506
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

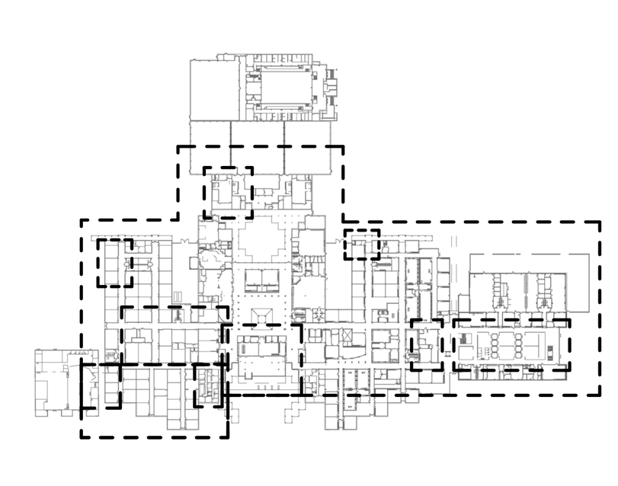
STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



KEY PLAN

TRUE NORTH PLAN NORTH

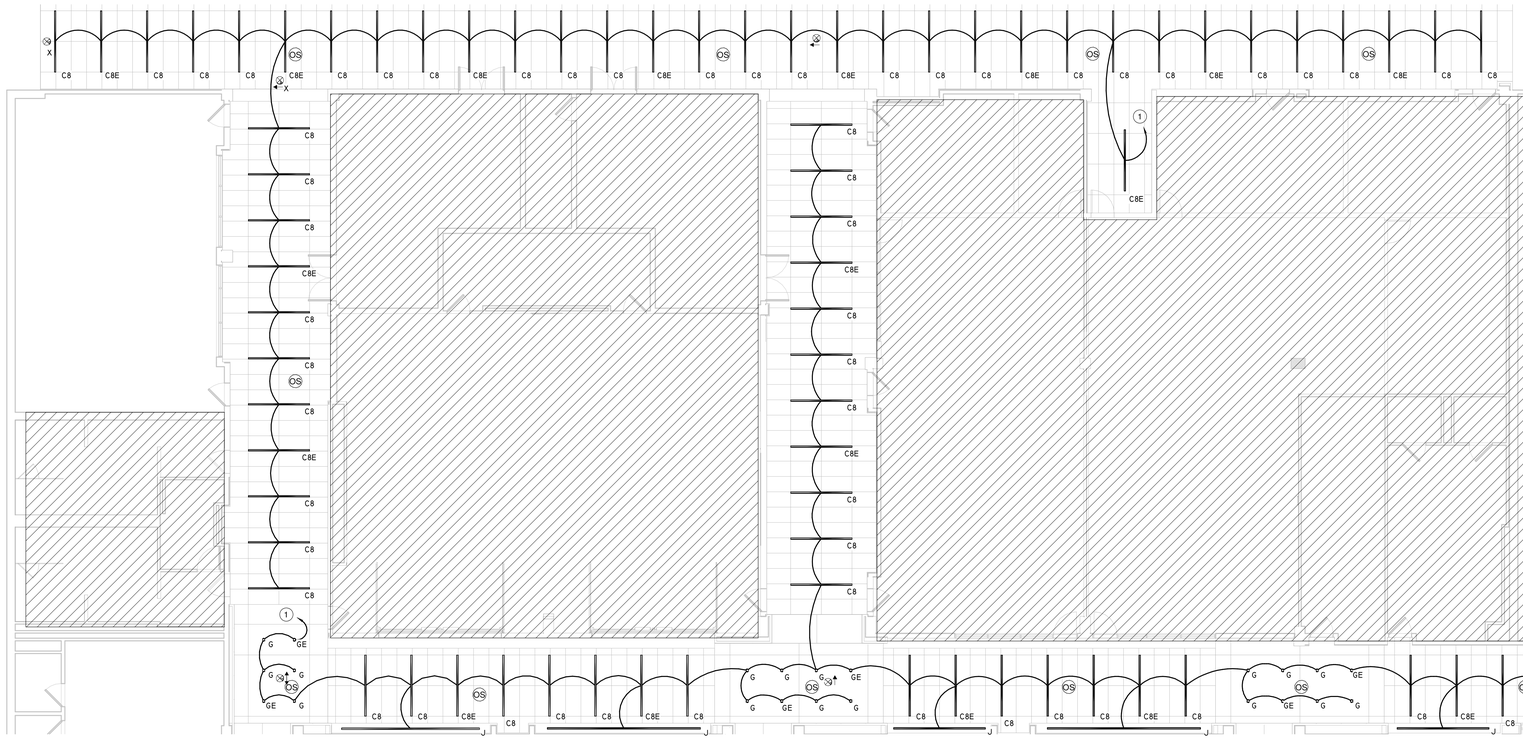
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
ENLARGED PROPOSED PLAN - LIGHTING

Drawing Number
E3.05

KEYNOTE LEGEND

1	CONNECT NEW LIGHTING FIXTURES TO NEAREST LIGHTING CIRCUIT WITH AVAILABLE CAPACITY TO SUPPORT THE ADDITIONAL LOAD.



1 ENLARGED PROPOSED PLAN - AREA B - LIGHTING
Scale: 1/8" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED
PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

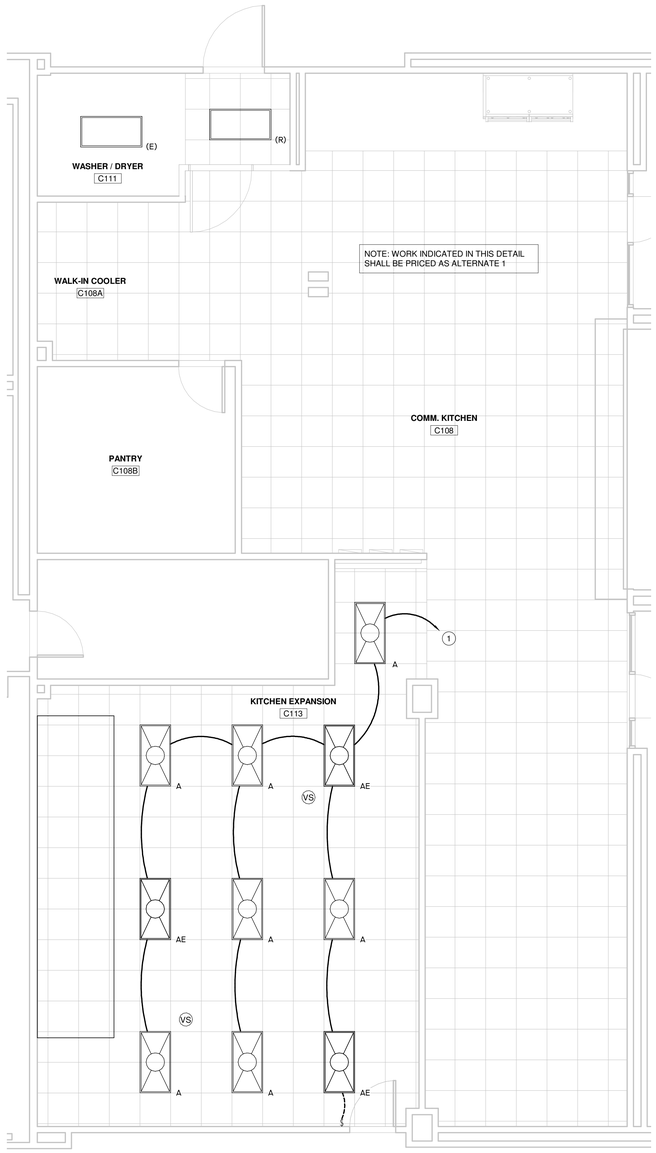
Drawing Title
ENLARGED PROPOSED PLAN - LIGHTING

Drawing Number
E3.06

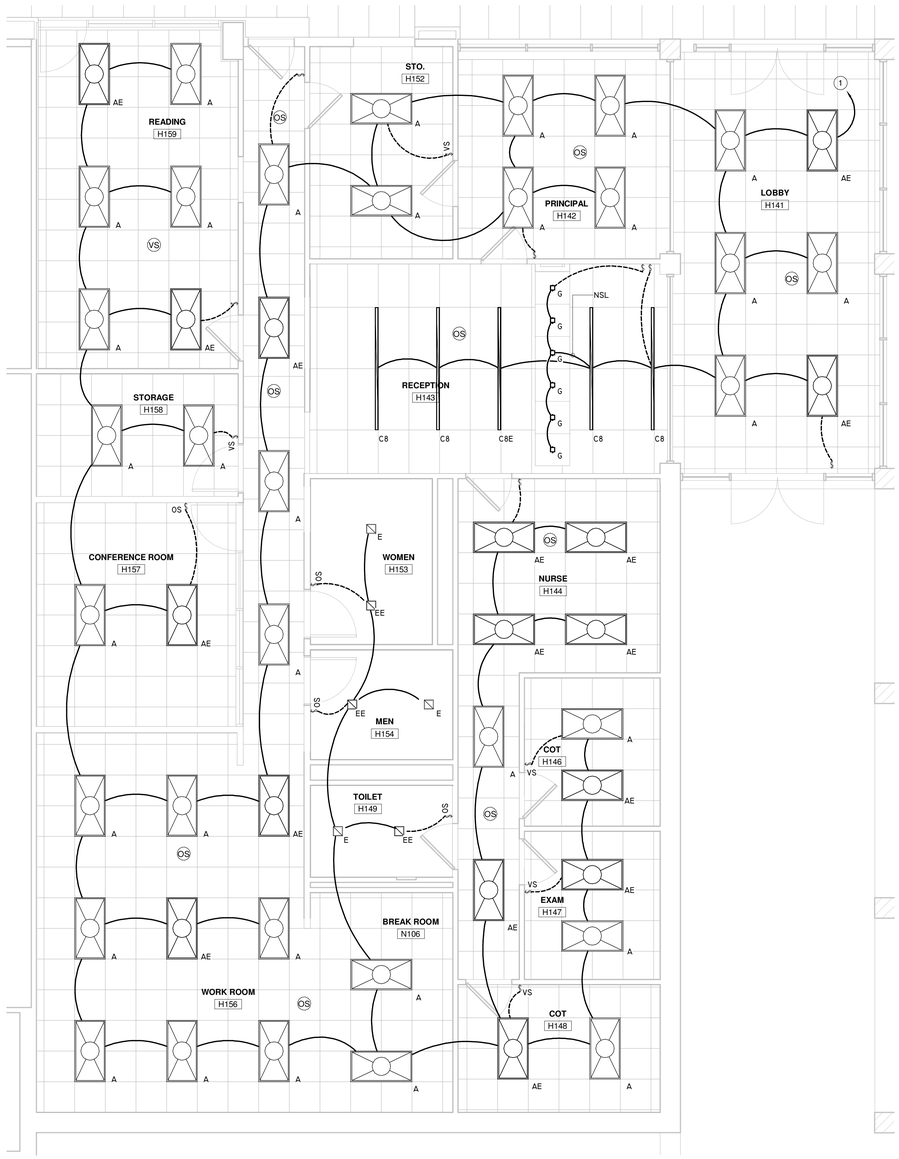
3/12/2020 1:24:54 PM

KEYNOTE LEGEND

1	CONNECT NEW LIGHTING FIXTURES TO NEAREST LIGHTING CIRCUIT WITH AVAILABLE CAPACITY TO SUPPORT THE ADDITIONAL LOAD.



2 ENLARGED PROPOSED PLAN - AREA G - LIGHTING
Scale: 1/4" = 1'-0"



1 ENLARGED PROPOSED PLAN - AREA B5 - LIGHTING
Scale: 1/4" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

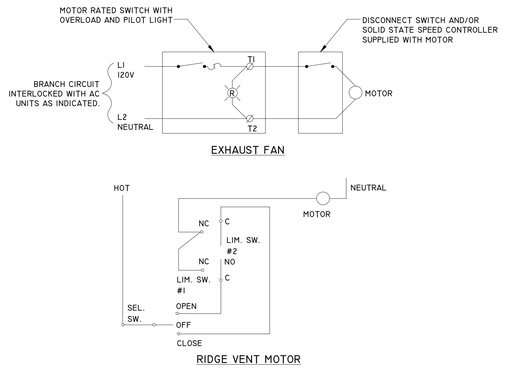
KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

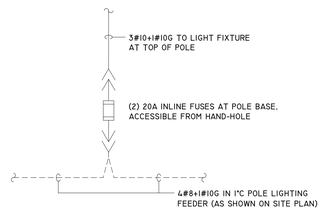
Drawing Title
ENLARGED PROPOSED PLAN - LIGHTING

Drawing Number
E3.07

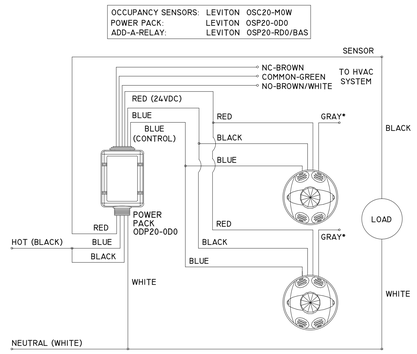
3/13/2020 12:55:03 PM



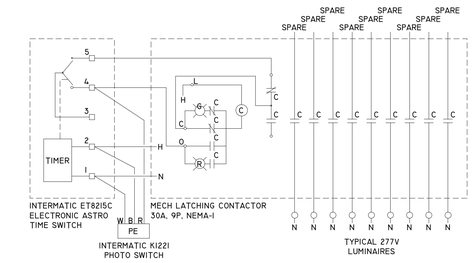
DETAIL - SINGLE PHASE MOTOR CONTROL | NOT TO SCALE | 16



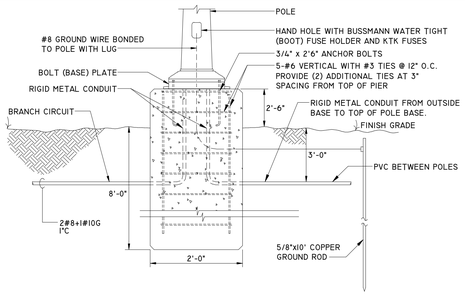
DETAIL - POLE LIGHT WIRING DIAGRAM AT BASE | NOT TO SCALE | 12



DETAIL - CEILING OCCUPANCY SENSOR | NOT TO SCALE | 8

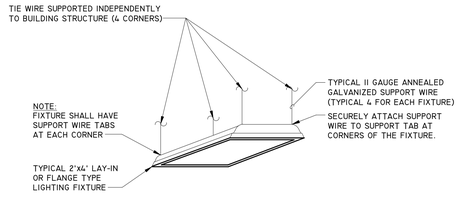


DETAIL - LIGHTING CONTACTER | NOT TO SCALE | 4

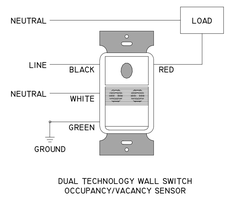


NOTES:
1. DESIGN WIND LOAD FOR 120 MPH WIND SPEED.
2. POLE BASE HEIGHT ABOVE FINISHED GRADE IS FOR PARKING LOT POLE LIGHTS ONLY. POLE BASE HEIGHTS IN PEDESTRIAN WALK AREAS SHALL BE COORDINATED WITH THE ARCHITECT BEFORE FORMING THE BASE.
3. PROVIDE NEAT SONOTUBE FINISH. NO APPLIED CEMENT SLURRY FINISH WILL BE ALLOWED.
4. ALL ANCHOR BOLTS SHALL BE FULL LENGTH HOT DIP GALVANIZED INCLUDING ALL HARDWARE.

DETAIL - POLE BASE | NOT TO SCALE | 15

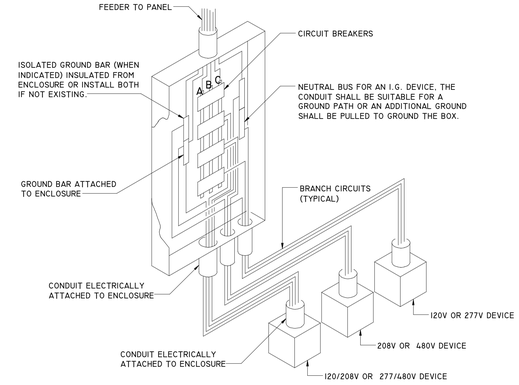


DETAIL - FIXTURE SUPPORT | NOT TO SCALE | 11

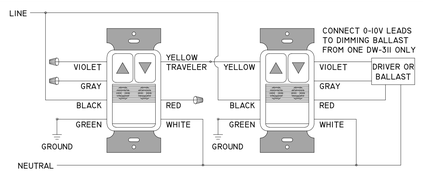


DUAL TECHNOLOGY WALL SWITCH OCCUPANCY/VACANCY SENSOR

DETAIL - WALL OCCUPANCY / VACANCY SENSOR SWITCH | NOT TO SCALE | 7

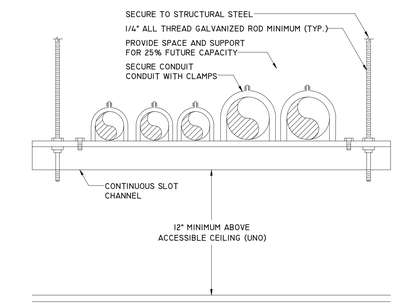


DETAIL - PANEL GROUNDING | NOT TO SCALE | 3

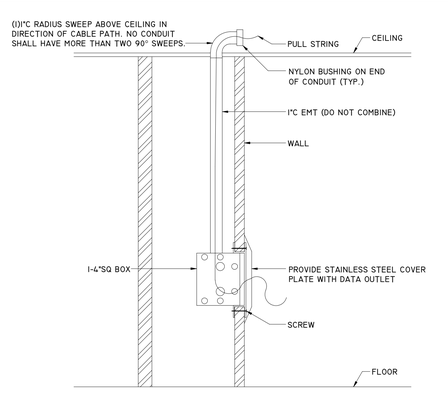


NOTES:
REQUIRES CLASS 1 WIRING FOR 0-10V DIMMING.
DRAWING NOT TO SCALE

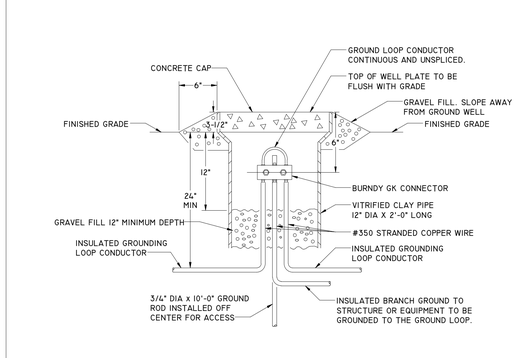
DETAIL - DIMMING WALL SWITCH OCCUPANCY/VACANCY SENSOR | NOT TO SCALE | 14



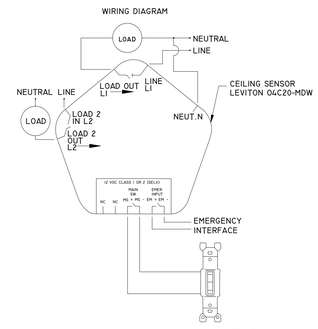
DETAIL - CONDUIT RACK | NOT TO SCALE | 10



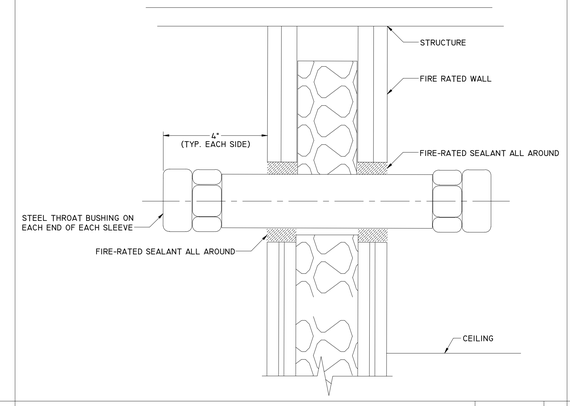
DETAIL - DATA OUTLETS | NOT TO SCALE | 6



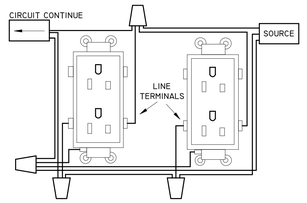
DETAIL - GROUNDING WELL | NOT TO SCALE | 2



DETAIL - CEILING VACANCY SENSOR | NOT TO SCALE | 13

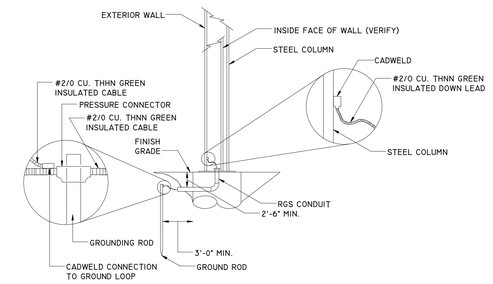


DETAIL - WALL SLEEVE | NOT TO SCALE | 9



NOTES:
1. CIRCUITING TO ALL NON DEDICATED ELECTRICAL RECEPTACLES AND SWITCHES ARE REQUIRED TO UTILIZE PARALLEL CIRCUITING BY THE USE OF "PIG TAILS" TO EACH DEVICE SO THAT IF AN OUTLET IS REMOVED OR FAILS ELECTRICAL CONTINUITY OF THE CIRCUIT WILL NOT BE COMPROMISED.
2. ALL ELECTRICAL WIRING MUST BE PROPERLY SPLICED BY TWISTING THE WIRES TOGETHER AND USE OF APPROVED AND LISTED COMPRESSION WIRE NUTS FOR ANY WIRING.
3. DO NOT USE END TO END BUTT-SPLICING CONNECTORS FOR ANY WIRING.
4. WRAP AROUND THE TERMINALS WITH ELECTRICAL TAPE.

DETAIL - PIGTAIL RECEPTACLE WIRING | NOT TO SCALE | 5



DETAIL - GROUND LOOP | NOT TO SCALE | 1

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
SEVAK KALANTARIANS
97498
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	DETAILS

Drawing Number **E4.01**

3/13/2020 1:25:09 PM

PLUMBING LEGEND & ABBREVIATIONS

DISREGARD LEGEND ITEMS NOT INDICATED ON DRAWINGS	
	NEW PLUMBING FIXTURE
SAN / S	SANITARY WASTE
STORM / ST	STORM DRAINAGE LINE
C.D.	CONDENSATE DRAIN LINE
GW	GREASE WASTE
AW	ACID WASTE
CHEM-W	CHEMICAL WASTE
V	VENT
FIRE	FIRE LINE
DIS	DEIONIZED WATER SUPPLY
DIR	DEIONIZED WATER RETURN
SW	SOFT WATER
CW	DOMESTIC COLD WATER PIPING
HW	DOMESTIC HOT WATER PIPING
HWR	DOMESTIC HOT WATER RETURN PIPING
TW	TEMPERED WATER PIPING
TWR	TEMPERED WATER RETURN PIPING
NPW(C)	NON POTABLE WATER (COLD)
HPW(H)	NON POTABLE WATER (HOT)
DI	DEIONIZED WATER
NG / G	NATURAL GAS
LA	NATURAL GAS
VAC	NATURAL GAS
N2	NATURAL GAS
FCO	FLOOR CLEAN OUT
ECO	EXTERIOR CLEANOUT
WCO	WALL CLEANOUT
FD	FLOOR DRAIN
FS	FLOOR SINK
	RISER IDENTIFICATION
	ELBOW UP
	ELBOW DOWN
	CAP AND SEAL
	BALL VALVE
B.V.	BALANCING VALVE
	GAS VALVE
C.V.	CHECK VALVE
	SOLENOID VALVE
	FLOW SWITCH
TP	AUTOMATIC TRAP PRIMER
BFP	BACKFLOW PREVENTER
VTR	VENT THROUGH ROOF
F.F.L.	FINISHED FLOOR LEVEL
I.L.	INVERT LEVEL
A.R.F.	ABOVE FINISHED ROOF
(E)	EXISTING TO REMAIN
(OF)	OVERFLOW STORM DRAINAGE
(P)	PRIMARY STORM DRAINAGE
T.A.S	TEXAS ACCESSIBILITY STANDARDS

GRADE OF HORIZONTAL DRAINAGE PIPING

1. HORIZONTAL DRAINAGE PIPING SHALL RUN IN PRACTICAL ALIGNMENT AND UNIFORM SLOPE OF NOT LESS THAN ONE-FOURTH (1/4) OF AN INCH PER FOOT OR TWO PERCENT (2) TOWARD POINT OF DISPOSAL PROVIDED THAT, WHERE IT IS IMPRACTICAL DUE TO THE DEPTH OF THE STREET SEWER OR TO THE STRUCTURAL FEATURES OR TO THE ARRANGEMENT OF ANY BUILDING OR STRUCTURE TO OBTAIN A SLOPE OF ONE-FOURTH (1/4) OF AN INCH PER FOOT OR TWO PERCENT, ANY SUCH PIPE OR PIPING FOUR (4) INCHES OR LARGER IN DIAMETER MAY HAVE A SLOPE OF NOT LESS THAN ONE EIGHTH (1/8) OF AN INCH OR ONE (1) PERCENT, WHEN FIRST APPROVED BY THE ADMINISTRATIVE AUTHORITY.

PIPING MATERIALS

1. SANITARY WASTE AND VENT PIPING (BELOW GRADE)
   SCHEDULE 40 PVC, CONFORM TO ASTM D-1785 SOIL AND WASTE VENT PIPING. FITTINGS SHALL BE COMPATIBLE MATERIAL WITH SOLVENT CEMENT TYPE JOINTS.
2. SANITARY WASTE AND VENT PIPING (ABOVE SLAB ONLY)
   PIPE: CAST IRON ASTM A 74, HUBLESS, SERVICE WEIGHT.

   JOINTS: NO HUB, ASTM C 564 NEOPRENE GASKETS AND STANDARD STAINLESS STEEL CLAMP AND SOLID SHIELD ASSEMBLIES CONSTRUCTED OF TYPE 300 SERIES STAINLESS STEEL. CLAMP ASSEMBLIES SHALL CONFORM TO FM 1680 WHERE REQUIRED BY THE ADMINISTRATIVE AUTHORITY.

   FITTINGS: CAST IRON, ASTM A 888 DRAINAGE PATTERN.
3. DOMESTIC WATER
   TYPE "L" COPPER TUBING WITH WROUGHT COPPER FITTINGS AND 95/5 (TIN/ANTIMONY) SOLDER JOINTS.
4. NATURAL GAS (ABOVE GRADE)
   SCHEDULE 40 BLACK STEEL WITH CLASS 150 BLACK MALLEABLE IRON WELDED FITTINGS. ROOF MOUNTED PIPING SHALL BE PAINTED WITH GALVANIC PAINT, PRIMED WITH ALKYD-BASE PRIMER AND 2 LAYERS YELLOW GALVANIC TOP COATS.

   NOTE: SCREWED JOINTS WILL NOT BE PERMITTED.

   A. ALL WELDING FITTINGS SHALL BE FACTORY-MADE AND SHALL BE FULL LINE SIZE, FOR EACH TEE, BRANCH, ELBOW ETC., WITH REDUCERS AFTER FITTINGS, IF REQUIRED.

PLUMBING LEGEND & ABBREVIATIONS

DISREGARD LEGEND ITEMS NOT INDICATED ON DRAWINGS	
	NEW PLUMBING FIXTURE
SAN / S	SANITARY WASTE
GW	GREASE WASTE
V	VENT
FIRE	FIRE LINE
CW	DOMESTIC COLD WATER PIPING
HW	DOMESTIC HOT WATER PIPING
HWR	DOMESTIC HOT WATER RETURN PIPING
NG / G	NATURAL GAS
FCO	FLOOR CLEAN OUT
ECO	EXTERIOR CLEANOUT
WCO	WALL CLEANOUT
FD	FLOOR DRAIN
FS	FLOOR SINK
	RISER IDENTIFICATION
	ELBOW UP
	ELBOW DOWN
	CAP AND SEAL
	BALL VALVE
B.V.	BALANCING VALVE
	GAS VALVE
C.V.	CHECK VALVE
	SOLENOID VALVE
	FLOW SWITCH
TP	AUTOMATIC TRAP PRIMER
BFP	BACKFLOW PREVENTER
VTR	VENT THROUGH ROOF
F.F.L.	FINISHED FLOOR LEVEL
I.L.	INVERT LEVEL
A.R.F.	ABOVE FINISHED ROOF
(E)	EXISTING TO REMAIN
(OF)	OVERFLOW STORM DRAINAGE
(P)	PRIMARY STORM DRAINAGE
T.A.S	TEXAS ACCESSIBILITY STANDARDS

GENERAL NOTES

BOOK SPECIFICATION SUPERCEDE ANY NOTES BELOW

1. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL OFFSETS. INSTALL PIPING AS CLOSE AS POSSIBLE TO LOCATIONS SHOWN. WHERE INTERFERENCE'S WITH COMPONENTS OF OTHER TRADE'S WORK (STRUCTURAL FOUNDATIONS OR OTHER BUILDING ELEMENTS) REQUIRE ROUTINGS AND LOCATIONS THAT VARY FROM THOSE SHOWN, THE CONTRACTOR SHALL OBTAIN PROJECT ENGINEER'S APPROVAL PRIOR TO INSTALLATION. NO ADDITIONAL COST SHALL BE GRANTED FOR THESE CHANGES.
2. BEFORE BEGINNING EXCAVATIONS OR DEMOLITION OF ANY NATURE WHATSOEVER, CONTRACTOR SHALL LOCATE ALL SERVICES AND UTILITIES OCCURRING WITHIN THE BOUNDS OF THE PROJECT. THE CONTRACTOR SHALL THEN PROCEED WITH CAUTION IN HIS WORK SO THAT NO UTILITY OR LINE SERVING AREAS THAT ARE TO REMAIN BE DAMAGED WITH A RESULTANT LOSS OF SERVICE. VERIFY THE SOURCE AND SERVICE OF EACH AND EVERY LINE ENCOUNTERED AND RECORD SERVICE, SIZE AND LOCATION ON RECORD DRAWINGS.
3. ROUGH-IN PLUMBING PIPING USING DIMENSIONS SHOWN ON ARCHITECTURAL DRAWINGS. LOCATION OF ALL PIPING SHALL ALLOW INSTALLATION OF FIXTURES WITHOUT THE NEED TO FURR-OUT WALLS.
4. PROVIDE CLEANOUTS IN EXCESS OF THOSE SHOWN WHICH ARE REQUIRED BY THE PLUMBING CODE. CONTRACTOR SHALL PROVIDE A COVER STATING WHAT SYSTEM IT IS SERVING. (CLEANOUT SANITARY, CLEANOUT GREASE WASTE, CLEANOUT ACID WASTE.)
5. INDIVIDUAL FIXTURE SUPPLY AND DRAIN SERVICES ARE NOT SHOWN DUE TO DRAWING SPACE LIMITATIONS. THIS CONTRACTOR SHALL PROVIDE ALL SERVICES FOR A COMPLETE FIRST CLASS INSTALLATION.
6. FURNISH AND INSTALL ALL NECESSARY VALVES, TRAPS, GAUGES, STRAINERS, UNIONS, ETC. FOR EACH PIECE OF EQUIPMENT HAVING PLUMBING CONNECTIONS TO FACILITATE PROPER FUNCTIONING AND SERVICING.
7. SEAL ALL PENETRATIONS THROUGH RATED WALLS, FLOORS AND CEILINGS WITH A UL LISTED ASSEMBLY TO PROVIDE A RATING EQUAL TO OR GREATER THAN THE RATING OF THE WALL, FLOOR OR CEILING.
8. EACH CONTRACTOR SHALL VISIT THE SITE AND ASCERTAIN FOR HIMSELF THE CONDITIONS TO BE MET THERE IN IMPLEMENTING HIS WORK AND MAKE DUE PROVISIONS FOR THE SAME. IT IS ASSUMED THAT THE CONTRACTOR HAS VISITED THE PREMISES AND THAT HIS COST ESTIMATE COVERS ALL NECESSARY LABOR AND MATERIALS TO PROPERLY ACCOMPLISH HIS WORK. FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH THIS REQUIREMENT SHALL NOT BE CONSIDERED JUSTIFICATION FOR OMISSIONS OR FAULTY WORK OR FOR THE PAYMENT OF ADDITIONAL COMPENSATION.
9. FIELD VERIFY EXISTING AND FUTURE GRADES WITHIN AREAS WHERE WORK IS BEING DONE.
10. VERIFY EXACT LOCATION OF EQUIPMENT PRIOR TO INSTALLATION OF FLOOR DRAINS AND FLOOR SINKS. RELOCATION DUE TO MISPLACEMENT SHALL BE AT CONTRACTORS EXPENSE.
11. PROVIDE A KEYED ACCESS PANELS FOR ALL VALVES AND APPARATUSES THAT REQUIRE MAINTENANCE.
12. A WATER HAMMER ARRESTOR SHALL BE INSTALLED FOR ALL SINGLE AND MULTIPLE FIXTURE BRANCH LINES. WATER HAMMER ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND CONFORM TO ASSE 1010. PROVIDE FOR HOT WATER AND COLD WATER LINES AND REFER TO WATER HAMMER ARRESTOR DETAIL FOR MORE INFORMATION AND SIZING.
13. INSULATE PIPING AS FOLLOWS:
    DOMESTIC COLD WATER PIPING:
    INSULATE AND VAPOR SEAL ALL COLD AND SOFTENED WATER PIPE WITH GLASS FIBER PIPE INSULATION. (EXCEPTION : ALL PIPING EXPOSED TO THE EXTERIOR SHALL BE PROVIDED WITH ALUMINUM).

    DOMESTIC HOT WATER PIPING:
    INSULATE ALL HOT WATER PIPE WITH GLASS FIBER PIPE INSULATION WITH FACTORY-APPLIED WHITE JACKET.

    DRAINS:
    INSULATE AND VAPOR SEAL ALL ABOVEGROUND P-TRAPS AND HORIZONTAL DRAIN PIPING RECEIVING CONDENSATE OR ICE MAKER DRAINAGE WITH 1/2" GLASS PER FIBER INSULATION.
    INSULATE AND VAPOR SEAL ROOF DRAIN AND OVERFLOW ROOF DRAIN SUMP, PIPING AND FITTINGS FROM DRAIN TO VERTICAL LEADER WITH 1/2" GLASS FIBER INSULATION.
    A.D.A. ACCESSIBLE LAVATORIES AND SINKS:
    INSULATE ALL EXPOSED DRAIN PIPING AND WATER SUPPLY PIPING BENEATH A.D.A. COMPLIANT LAVATORIES & SINKS WITH FULLY MOLDED CLOSED CELL VINYL INSULATION KIT AS MANUFACTURED BY TRUEBRO, BROCAR OR MCGUIRE.
14. SUPPORT UNBURIED PIPE AS FOLLOWS:
    HORIZONTAL PIPING:
    HUBLESS CAST IRON SOIL PIPING SHALL BE SUPPORTED AT LEAST AT EVERY OTHER JOINT EXCEPT THAT WHEN THE DEVELOPED LENGTH BETWEEN SUPPORTS EXCEEDS FOUR FEET, THEY SHALL BE PROVIDED AT EACH JOINT. SUPPORTS SHALL ALSO BE PROVIDED AT EACH HORIZONTAL BRANCH CONNECTION. SUPPORTS SHALL BE PLACED IMMEDIATELY ADJACENT TO THE COUPLING. SUSPENDED LINES SHALL BE BRACED TO PREVENT HORIZONTAL MOVEMENT.
    COPPER TUBING SHALL BE SUPPORTED AT NOT MORE THAN SIX FOOT INTERVALS FOR PIPING 1-1/2" AND SMALLER AND NINE FOOT INTERVALS FOR PIPING 2" AND LARGER IN DIAMETER.
    HANGERS FOR NON-INSULATED COPPER PIPING SHALL HAVE A COPPER FINISH. IN POTENTIALLY DAMP LOCATIONS, NON-INSULATED COPPER PIPING HANGERS OR SUPPORTS SHALL BE PLASTIC-COATED.
    STEEL PIPING SHALL BE SUPPORTED AT INTERVALS OF NO GREATER THAN 6 FEET FOR 1/2" PIPING, 8 FEET FOR 3/4" & 1" PIPING AND 10 FEET FOR 1-1/4" AND LARGER PIPING.

    VERTICAL PIPING:
    PROVIDE RISER CLAMP AT BASE AND AT EACH FLOOR LEVEL
15. MARKING AND IDENTIFICATION:
    IDENTIFY EACH PIPE WITH LABELING AT THE FOLLOWING LOCATIONS:
    -AT EACH BRANCH TAKE-OFF FROM A MAIN
    -ON EACH SIDE OF A WALL PENETRATION
    -EVERY 20' OF STRAIGHT RUN OF PIPE
    -AT EQUIPMENT CONNECTIONS IF MORE THAN 10' FROM A BRANCH TAKE-OFF

    DOMESTIC HOT WATER:
    INDICATE DELIVERED WATER TEMPERATURE ON DOMESTIC HOT WATER SUPPLY AND RETURN LINES.
    INDICATE FLOW DIRECTION WITH ARROWS ON DOMESTIC HOT WATER SUPPLY AND RETURN LINES.

    MEDIUM PRESSURE GAS PIPING:
    MEDIUM PRESSURE GAS PIPING (14" WIC TO 5 PI) SHALL BE IDENTIFIED BY THE STATEMENT, "WARNING TO 5 PI NATURAL GAS." THESE LABELS SHALL BE PLACED AT INTERVALS NOT EXCEEDING 30 FEET. ALL REGULATORS IN MEDIUM PRESSURE LINES SHALL HAVE IDENTIFICATION TAGS IN ACCORDANCE WITH APPLICABLE CODES.
16. SLEEVES:
    FLOORS: PROVIDE UL FIRE RATED ASSEMBLIES WERE PIPES PENETRATE ABOVE GRADE FLOORS.
    WALLS: PROVIDE UL FIRE RATED ASSEMBLIES WERE PIPES PENETRATE FIRE RATED WALLS.
    WHERE PIPING PASSES THROUGH NON CEILING OR WALL, CLOSE OFF SPACE BETWEEN PIPE OR DUCT AND CONSTRUCTION WITH NORMAL GYPSUM WALLBOARD, REPAIR PLASTER SMOOTHED AND FINISHED TO MATCH REMAINDER OF WALL.
    INSTALL CHROME OR STAINLESS STEEL ESCUTCHEONS WHERE PIPING PASSES THROUGH FINISHED SURFACES.

INSTANTANEOUS WATER HEATER SCHEDULE

MARK	MFR	MODEL	LOCATION	VOLTS	PHASE	KW	TEMP. RISE	AMPS
IWH-1	EEMAX	SP5277	KITCHEN	277	1	3.0	41°	11

NOTES:
1. INSTALL TANKLESS WATER HEATER BELOW POINT OF USE.
2. CONTRACTOR SHALL FOLLOW MANUFACTURES GUIDELINES FOR PROPER INSTALLATION.
3. OUTLET TEMPERATURE SHALL BE PRESET BY THE MANUFACTURE AT 120°F.
4. PROVIDE THERMOSTATIC MIXING VALVE LEONARD MODEL 270-RF-STSTL-REC, 1/2" WAX TYPE FOR SINGLE OR MULTIPLE LAVATORIES, SINKS, OR BATHTUBS IN A STAINLESS STEEL CABINET.

PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	SIZE OF CONNECTION TRAP	SS	SV	CW	HW	REMARKS
WC-1	WATER CLOSET (WALL MOUNTED) (A.D.A.)	-	4"	2"	1"	-	2257.001 AMERICAN STANDARD "AFWALL"; WALL-MOUNTED FLUSHOMETER VALVE TOILET, VITREOUS CHINA, HIGH EFFICIENCY, LOW CONSUMPTION, OPERATES IN THE RANGE OF 1.28 GPF, CONDENSATION CHANNEL, ELONGATED BOWL, POWERFUL DIRECT-FED SIPHON JET ACTION, 1-1/2" INLET SPUD, FULLY-GLAZED 2-1/8" TRAPWAY, 10" X 12" WATER SURFACE AREA. 111-1.28-ES-S-TMO SLOAN "OPTIMA" 1" I.P.S. SCREWDRIVER BAK-CHEK® ANGLE STOP, FREE SPINNING VANDAL RESISTANT STOP CAP, HIGH BACK PRESSURE VACUUM BREAKER FLUSH CONNECTION WITH ONE-PIECE BOTTOM HEX COUPLING NUT, SPUD COUPLING AND FLANGE FOR 1 1/2" TOP SPUD, EL-154 TRANSFORMER (120 VAC/24 VAC 50 VA). THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE CONCEALED LOW VOLTAGE WIRING BETWEEN THE MULTI USE TRANSFORMER FOR WATER CLOSETS, URINALS AND FACULTY LAVATORIES. LOCATE THE TRANSFORMERS ABOVE ACCESSIBLE CEILINGS OR PROVIDE ACCESS PANEL FOR HARD CEILINGS. UP TO 6 FIXTURE PER TRANSFORMER. 9500C CHURCH SEATS SHALL BE EXTRA HEAVY WEIGHT AND INJECTION MOLDED OF SOLID PLASTIC. WALL HUNG WATER CLOSET CARRIERS AND FACE PLATE SHALL BE BY JR SMITH. WATER CLOSET RIM HEIGHT SHALL BE 17" ABOVE FINISHED FLOOR LEVEL PER A.D.A. REQUIREMENTS.
L-1	LAVATORY (WALL MOUNTED) (A.D.A.)	1 1/4"	2"	2"	1/2"	-	0355.012 AMERICAN STANDARD "LUCERNE" WALL HUNG LAVATORY, BARRIER FREE, VITREOUS CHINA, SELF-DRAINING DECK AREA WITH CONTOURED BACK AND SIDE SPLASH SHIELDS, 3 HOLES 4" CENTER. 116.706.21.1 CHICAGO FAUCET, ELECTRONIC FAUCET, E-TRONIC 40 DECK MOUNTED 4" CENTERSET LAVATORY FAUCET - AC POWER, .5 GPM (1.9 L/MIN) VANDAL RESISTANT SPRAY OUTLET, MOUNTING HARDWARE INCLUDED, 12 VOLT AC TRANSFORMER REQUIRED 240.631.00.1 CHICAGO FAUCETS) BV02 MCGUIRE, 1/2 IPS X 3/8 OD, QUARTER-TURN BRASS BALL VALVE ANGLE STOP, CHROME PLATED, CONVERTIBLE LOOSE KEY HANDLE. 149 MCGUIRE, FLAT GRID STRAINER WITH 4" TAILPIECE, WROUGHT BRASS SINK STRAINER WITH 20 GA TAILPIECE AND BRASS LOCK AND COUPLING NUTS. 8872 MCGUIRE, HEAVY CAST BRASS 1 1/4 X 1 1/4 ADJUSTABLE TRAP WITH CLEANOUT PLUG AND 11INCH CENTER TO END. 102-EZ-W TRUEBRO, "P" TRAP AND SUPPLY INSULATION KIT. 0700 J.R. SMITH, LAVATORY SUPPORTS WITH CONCEALED ARMS.
FS-1	FLOOR SINK (KITCHEN)	3"-4"	3"	2"	-	-	3200-PDBS JR SMITH, CAST IRON FLANGED RECEPTOR WITH SEEPAGE HOLES, ACID RESISTANT COATED INTERIOR, NICKEL BRONZE RIM AND SECURED GRATE. ALUMINUM DOME BOTTOM STRAINER OR SEDIMENT BUCKET AS INDICATED BY FIGURE NUMBER. -PDBS POLISHED ALUMINUM DOME BOTTOM STRAINER. REFER TO KITCHEN CONSULATANT WHAT GRATE SHALL BE UTILIZED 1/2 GRATE, 3/4 GRATE, OR FULL GRATE. INSTALL COMPLETE WITH PROSET TRAP GUARD.
SK-1	HAND SINK	1 1/2"	3"	2"	1/2"	1/2"	7-PS-68 ADVANCE TABCO, WALL MOUNTED HAND SINK, ONE PIECE DEEP DRAWN SINK BOWL (10"WX14"LX8"D), KEYHOLE WALL MOUNT BRACKET, STAINLESS STEEL BASKET DRAIN 1 1/2"IPS, 4"O.C. SPLASH MOUNTED GOOSENECK FAUCET, CHROME PLATED FURNISHED WITH AERATOR. LK399A ELKAY, FLOOR MOUNT FOOT VALVE, 1/2" I.PS. FEMALE INLETS AND OUTLETS. 2165 MCGUIRE, ANGLE SUPPLY/WHEEL HANDLE. 8872 MCGUIRE, CAST BODY P-TRAP AND CLEANOUT. INSULATE P-TRAP, TAILPIECE ASSEMBLY, AND HOT AND COLD WATER ANGLE VALVES WITH BROCAR PRODUCTS, INC. TRAP WRAP. 270 LEONARD, 1/2" COPPER ENCAPSULATED THERMOSTAT, LOCKED TEMPERATURE SETTING, INTEGRAL CHECK VALVES ON HOT AND COLD INLETS. (OUTLET TO BE SET TO 110°F)
SK-2	DOUBLE BOWL SINK (A.D.A)	1 1/2"	3"	2"	1/2"	1/2"	LRAD3321 ELKAY "LUSTERTONE" DOUBLE BOWL SINK (33"LX21 1/4"W OVERALL SIZE) (13 1/2"LX16"WX6"D INSIDE COMPARTMENT), 18 GAUGE TYPE 304 NICKEL BEARING STAINLESS STEEL, SELF RIMMING, 4-HOLE SINK "OPTION 4 - HOLE ARRANGEMENT". ONE HOLE FOR THE DISH WASHER VACUUM BREAKER. 201-AGN2AE35-317AB CHICAGO FAUCETS 8" FIXED CENTERS, GN2AAB - 5-1/4" RIGID / SWING GOOSENECK SPOUT, E35AB - 1.5 GPM (5.7 L/MIN) PRESSURE COMPENSATING SOFTFLO AERATOR, 317-PR - VANDAL PROOF 4" WRISTBLADE HANDLE, SIXTEEN-POINT TAPERED BROACH, 577-X7AB - QUATURN COMPRESSION OPERATING CARTRIDGE, 1/2" NPSM SUPPLY INLETS AND COUPLING NUT FOR 3/8" OR 1/2" FLEXIBLE RISER, CHROME PLATE FINISH. 15IA ELKAY, HEAVY DUTY FORGED STAINLESS STEEL BASKET STRAINER WITH 1-1/2" X 4" SEAMLESS BRASS TAILPIECE, DIE CAST SLIP AND LOCK NUTS. BV02 MCGUIRE, 1/2 IPS X 3/8 OD, QUARTER-TURN BRASS BALL VALVE ANGLE STOP, CHROME PLATED, CONVERTIBLE LOOSE KEY HANDLE. 8912CBECO MCGUIRE, CHROME PLATED P-TRAP SHALL BE CAST BRASS BODY, WITH CLEANOUT, WITH 17 GAUGE SEAMLESS TUBULAR WALL BEND AND FLANGE. 111C16G17 MCGUIRE, END OUTLET CONTINUOUS WASTE WITH SATIN PLATED CAST BRASS TEE, CHROME PLATED (17 GAUGE OR 20 GAUGE) SEAMLESS BRASS WASTE ARM, BRASS TAILPIECE AND CAST BRASS NUTS. 270 LEONARD, POINT OF USE THERMOSTATIC VALVE MIXING VALVE, BRONZE BODY, LOCKED TEMPERATURE ADJUSTMENT CAP (VANDAL RESISTANT), SET TEMPERATURE TO 105°F RE: ARCHITECT FOR A.D.A. MOUNTING HEIGHTS
EDF-1	ELECTRIC DRINKING FOUNTAIN (BI-LEVEL) (A.D.A.)	1 1/2"	2"	2"	1/2"	-	HTHB-HAC8BLWF HALSEY TAYLOR, COMPLETE WATER STATION INCLUDING HYDROBOOST® BOTTLE FILLING STATION AND HAC WATER COOLER(S). SELF-CONTAINED, WALL-MOUNTED BI-LEVEL WATER COOLER. BV02 MCGUIRE, 1/2 IPS X 3/8 OD, QUARTER-TURN BRASS BALL VALVE ANGLE STOP, CHROME PLATED, CONVERTIBLE LOOSE KEY HANDLE. 42522 HALSEY TAYLOR, STAINLESS STEEL APRON. PROVIDE APRON ONLY FOR UNITS MOUNTED AT NON-ADA HEIGHT TO MEET A.D.A. REQUIREMENTS OF 24" A.F.F. MLP100 HALSEY TAYLOR, IN WALL CARRIER MOUNTING SYSTEM. 8872 MCGUIRE, HEAVY CAST BRASS 1 1/4 X 1 1/4 ADJUSTABLE TRAP WITH CLEANOUT PLUG AND 11INCH CENTER TO END.
WB-1	WASHING MACHINE DRAIN BOX	4"	4"	2"	1/2"	1/2"	B-200 GUY GRAY, WASHING MACHINE DRAIN BOX; FINISH: MINIMUM SPANGLE G90 HOT DIPPED GALVANIZED STEEL (UNPAINTED) VALVES: FURNISHED WITH DOMESTIC VALVES AND COMBINATION MIP OR SWEAT CONNECTION DRAIN: MALE THREAD FITTING AND LOCKNUT INCLUDED
RVB-1	REFRIGERATOR/ ICE MAKER VALVE BOX	-	-	-	1/2"	-	BIM875 - GUY GRAY - REFRIGERATOR/ ICE MAKER VALVE BOX, FURNISHED WITH 1/2" FIP INLET X 1/4" OD OUTLET COMPERSSION ANGLE VALVE. PROVIDE FILTER WHEN MAKING FINAL CONNECTION. (FURNISH AND INSTALL AT ALL REFRIGERATORS AND ICE MACHINES)
FD-1	FLOOR DRAIN	3"-4"	3"-4"	2"	-	-	2005-B-NB, J.R. SMITH, DUCO CAST IRON BODY WITH FLASHING COLLAR AND ADJUSTABLE STRAINER HEAD 6" DIAMETER TYPE "A" NICKEL BRONZE STRAINER. INSTALL COMPLETE WITH PROSET TRAP GUARD, EXCEPT FOR SHOWER DRAIN.
FCO-1	FLOOR CLEANOUT	-	-	-	-	-	4040 J.R. SMITH, WITH SCREWED PLUG AND FLASHING RING AND COVER PLATE WITH SECURING SCREW. COVER PLATE SHALL BE FLUSH TO FINISH FLOOR, AND SUITABLE FOR FLOOR COVERING INSTALLED.
SH-1	SHOWER STALL (A.D.A.)	1 1/2"	2"	2"	1/2"	1/2"	SHOWER STALL SHALL BE SPECIFIED BY ARCHITECT AND CONTRACTOR INSTALLED. PROVIDE 3"FD-1. 96-500-B30-L-V SYMMONS, VALVE SHALL BE 1.5 GPM. TEMPTROL PRESSURE-BALANCING MIXING VALVE WITH LEVER HANDLE, ADJUSTABLE STOP SCREW TO LIMIT HANDLE TURN. LEVERTROL DIVERTER WITH INTEGRAL VOLUME CONTROL. CLEAR-FLO SHOWER HEAD WITH ARM AND FLANGE. WALL/HAND SHOWER WITH IN-LINE VACUUM BREAKER, FLEXIBLE 5' METAL HOSE, WALL CONNECTION AND FLANGE, 30" SLIDE BAR FOR HAND SHOWER MOUNTING. PROVIDE WITH 60" HOSE. NOTE: COORDINATE WITH ARCHITECTURAL DRAWINGS FOR SHOWER STALL FINISH, TRAY, CURTAIN, ROD, SEAT, GRAB BARS, SOAP DISH AND ADDITIONAL ACCESSORIES. PROVIDE ANTI-SCALDING THERMOSTATIC MIXING VALVE. MIXING VALVE SHALL COMPLY WITH ASSE 1070.

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES 713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES 713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4306
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS — ISA TAN — 121936 — LICENSED PROFESSIONAL ENGINEER

03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
SCHEDULES, NOTES & LEGEND

Drawing Number P0.01

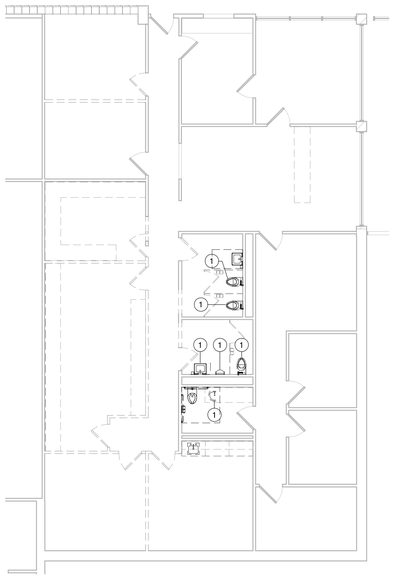
3/13/2020 11:26:17 PM

GENERAL NOTES:

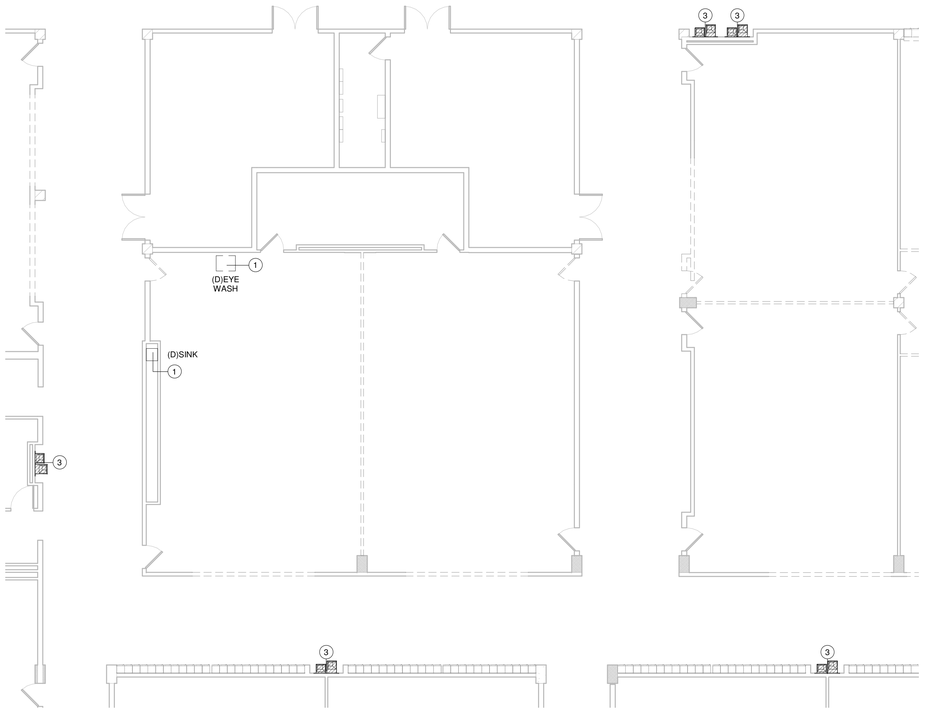
1. ALL PLUMBING FIXTURES SHALL BE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

KEYNOTE LEGEND

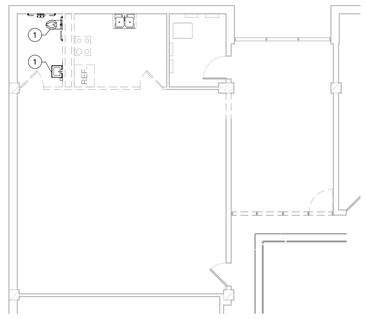
1	REMOVE EXISTING PLUMBING FIXTURE AT THIS LOCATION AND ASSOCIATED PIPING. REMOVE WATER, WASTE, VENT AND ASSOCIATED APPARATUSES BACK TO ACTIVE MAIN OR BRANCH. REFER TO NEW WORK PLANS FOR ADDITIONAL INFORMATION. WHERE APPLICABLE, REMOVE WASTE BACK TO BEYOND FINISH FLOOR CAP AND SEAL AS REQUIRED. SAW CUT FLOOR AS REQUIRED. REFER TO ARCHITECTURAL PLANS FOR FINISHES IF NONE REPAIR SLAB, FLOORS, WALLS, CEILING AND ETC. TO MATCH EXISTING.
2	REMOVE EXISTING WATER HEATER TO BE RELOCATED. DEMO ALL ASSOCIATED HOT WATER PIPING AND DEMO COLD WATER PIPING BACK TO ACTIVE MAIN.
3	REMOVE EXISTING ELECTRIC DRINKING FOUNTAIN AT THIS LOCATION. DEMO WALLS, CEILING, AND SLAB AS NECESSARY. PROTECT EXISTING CIRCUIT FOR RECONNECTION OF NEW DRINKING FOUNTAIN. REFER TO ARCHITECTURAL PLANS FOR FINISHES IF NONE REPAIR SLAB, FLOORS, WALLS, CEILING AND ETC. TO MATCH EXISTING. CONTRACTOR SHALL FIELD VERIFY THAT SUPPORTS / CARRIERS ARE IN PRISTINE CONDITION. "NO RUST / AND UP TO CODE" IF SUPPORTS ARE NOT UP TO CODE AND/OR HAVE RUST THE CONTRACTOR SHALL PROVIDE AN ALLOWANCE TO REPLACE SUPPORTS / CARRIER.



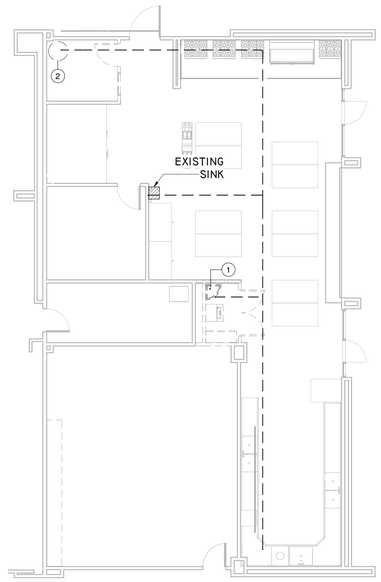
3 FLOOR PLAN - ADMIN - DEMO
Scale: 1/8" = 1'-0"



1 FLOOR PLAN - SANITARY - HALLWAY FOUNTAINS - DEMO
Scale: 1/8" = 1'-0"



2 FLOOR PLAN - LIFE SKILLS - DEMO
Scale: 1/8" = 1'-0"



4 FLOOR PLAN - KITCHEN - DEMO
Scale: 1/8" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

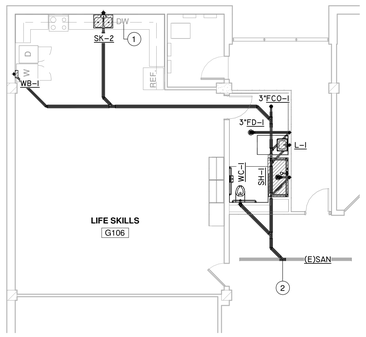
#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	PLUMBING DEMO

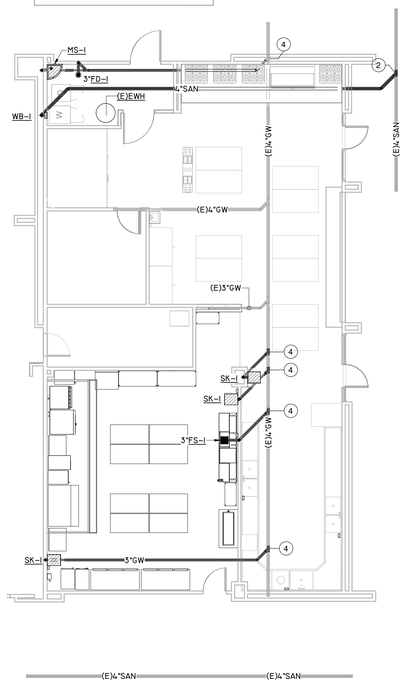
Drawing Number **P1.01**

3/13/2020 1:26:34 PM

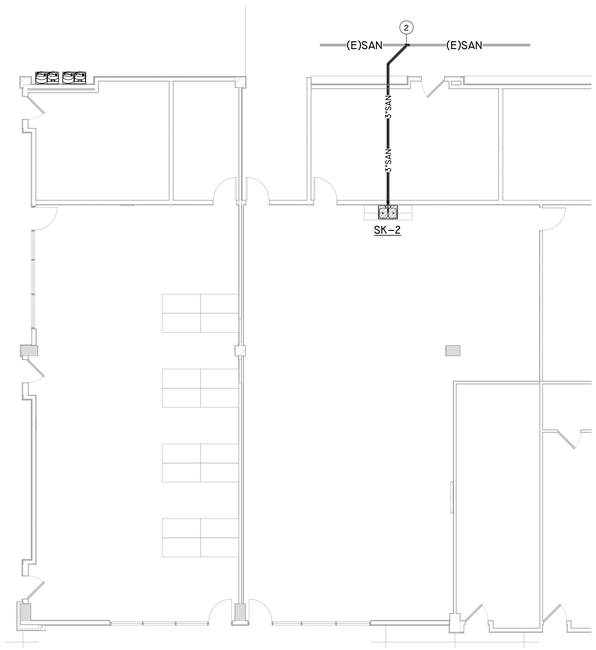


3 FLOOR PLAN - LIFE SKILLS - SANITARY
Scale: 1/8" = 1'-0"

NOTE: WORK INDICATED IN THIS DETAIL SHALL BE PRICED AS ALTERNATE 1



4 FLOOR PLAN - KITCHEN - SANITARY
Scale: 1/8" = 1'-0"

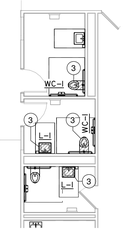


5 FLOOR PLAN - MEDICAL CLASS - SANITARY
Scale: 1/8" = 1'-0"

GENERAL NOTE:
SAW CUT EXISTING FLOORS/WALLS AS NECESSARY TO ACCOMMADATE THE INSTALLATION OF THE NEW PIPING SHOWN. REPAIR FLOOR, WALLS, CEILING AND ROOF TO MATCH EXISTING COORDINATE WITH ARCHITECT, MEP SYSTEMS AND STRUCTURE.

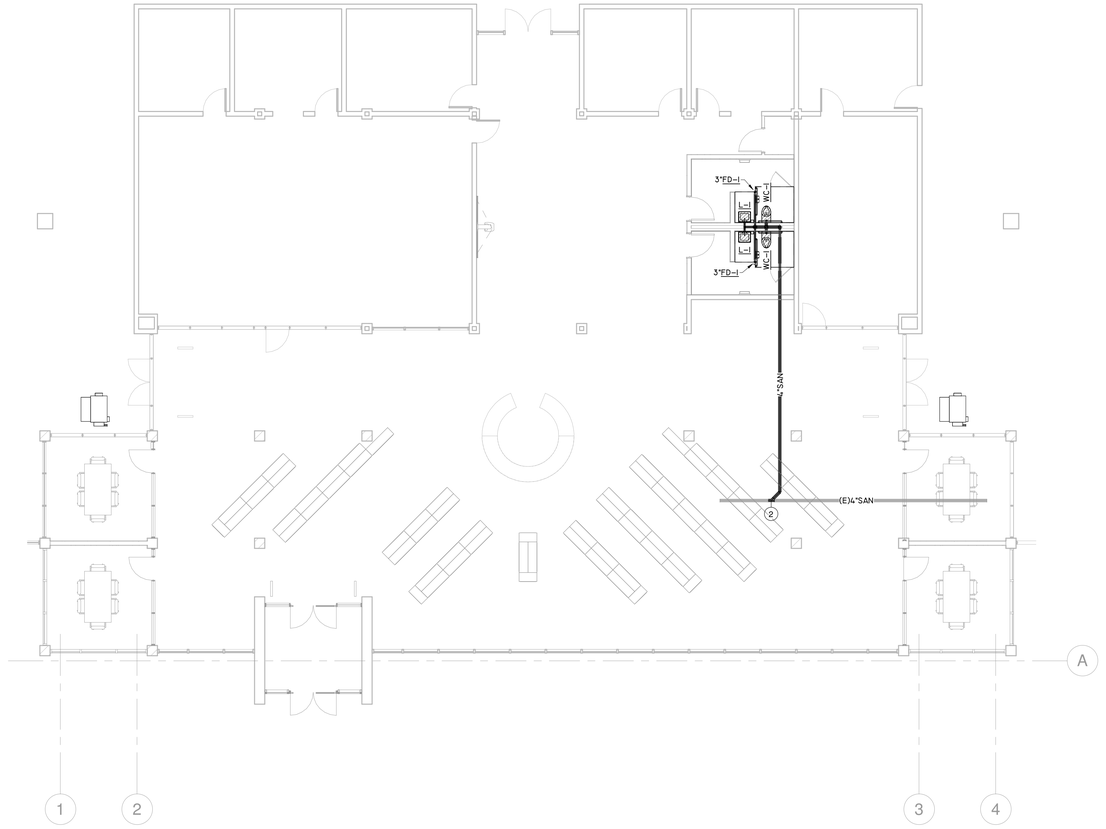
KEYNOTE LEGEND

1	CONTRACTOR SHALL FOLLOW THE MANUFACTURE INSTALLATION GUIDE FOR CONNECTING THE DISHWASHER AT THIS LOCATION. ROUTE WATER AND WASTE TO AND FROM SINK PROVIDE AIR GAP AT THE SINK.
2	ROUTE SAN WASTE LINE TO EXISTING SAN WASTE LINE APPROXIMATELY THIS POINT. FIELD VERIFY EXACT LOCATION, SIZE, DIRECTION OF FLOW AND DEPTH OF BURY OF EXISTING PIPE.
3	PROPOSED PLUMBING FIXTURE SHALL RECONNECT TO EXISTING WATER & SANITARY LINES AS REQUIRED. PATCH AND REPAIR WALL, FLOOR, TILE AND ETC. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES. IF NONE MATCH EXISTING.
4	ROUTE GW WASTE LINE TO EXISTING GREASE WASTE LINE APPROXIMATELY THIS POINT. FIELD VERIFY EXACT LOCATION, SIZE, DIRECTION OF FLOW AND DEPTH OF BURY OF EXISTING PIPE.



6 FLOOR PLAN - ADMIN - SANITARY
Scale: 1/8" = 1'-0"

1 FLOOR PLAN - SANITARY - HALLWAY FOUNTAINS
Scale: 1/8" = 1'-0"



2 FLOOR PLAN - LIBRARY - SANITARY
Scale: 1/8" = 1'-0"

3/12/2020 12:06:47 PM

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

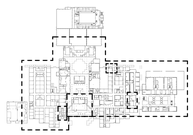
STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

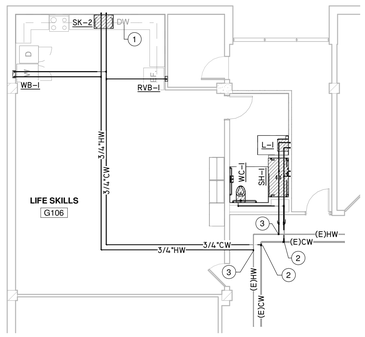
Drawing Title
PLUMBING PROPOSED SANITARY

Drawing Number **P2.01**

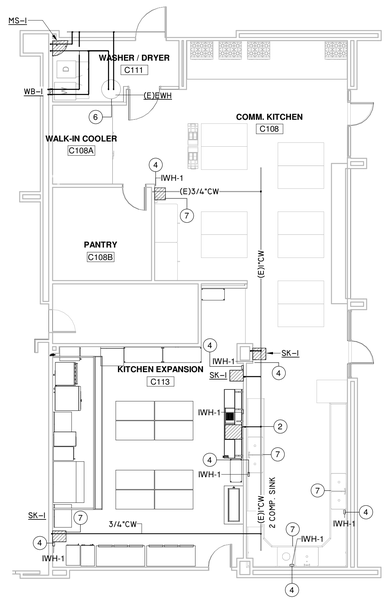
KEYNOTE LEGEND

1	CONTRACTOR SHALL FOLLOW THE MANUFACTURE INSTALLATION GUIDE FOR CONNECTING THE DISHWASHER AT THIS LOCATION. ROUTE WATER AND WASTE TO AND FROM SINK PROVIDE AIR GAP AT THE SINK.
2	ROUTE CW LINE TO EXISTING COLD WATER LINE APPROXIMATELY THIS POINT. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPE.
3	ROUTE HW LINE TO EXISTING COLD WATER LINE APPROXIMATELY THIS POINT. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPE.
4	INSTALL INSTANTANEOUS WATER HEATER UNDERNEATH SINK. ROUTE CW LINE TO INSTANTANEOUS WATER HEATER.
5	PROPOSED ELECTRIC DRINKING FOUNTAIN (EDF-1) SHALL RECONNECT TO EXISTING WATER & SANITARY LINES AS REQUIRED. PATCH AND REPAIR WALL, FLOOR, TILE AND ETC. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES. IF NONE MATCH EXISTING.
6	RELOCATE EXISTING WATER HEATER TO EXACT LOCATION AND RE PIPE.
7	PROVIDE LK399A FLOOR MOUNTED FOOT PEDAL WITH 1/2" IPS AND FEMALE INLETS AND OUTLETS. CONNECT FOOT PEDAL TO EXISTING SINK FAUCET. PROVIDE ALL NECESSARY ACCESSORIES FOR FULLY FUNCTIONAL OPERATION.

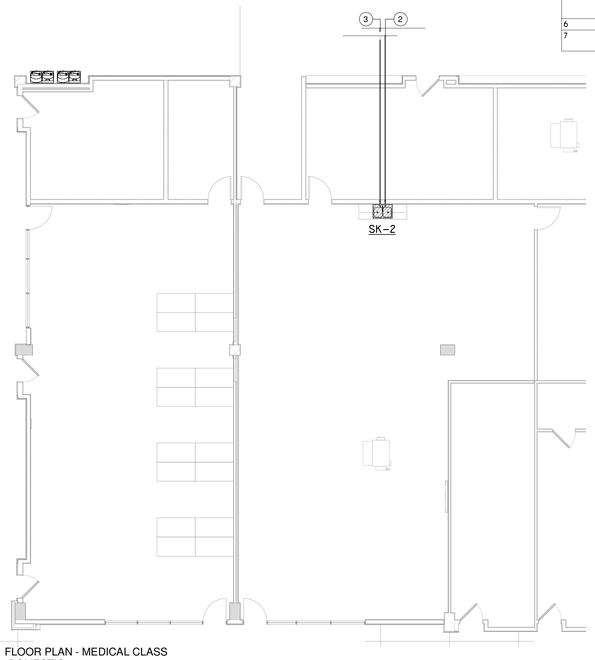
NOTE: WORK INDICATED IN THIS DETAIL SHALL BE PRICED AS ALTERNATE 1



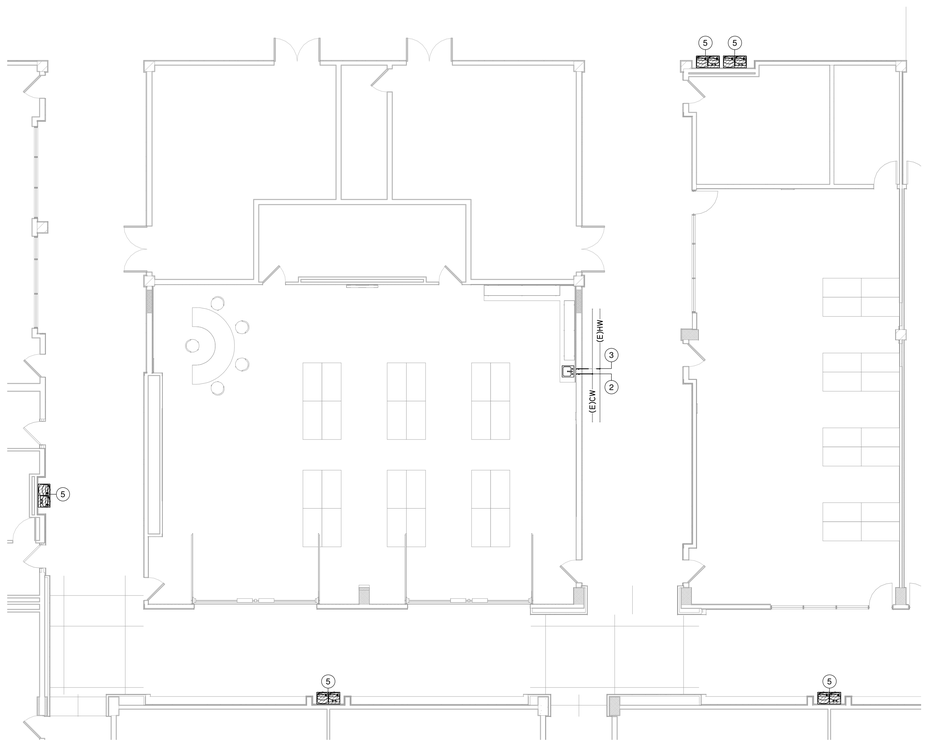
3 FLOOR PLAN - LIFE SKILLS - DOMESTIC
Scale: 1/8" = 1'-0"



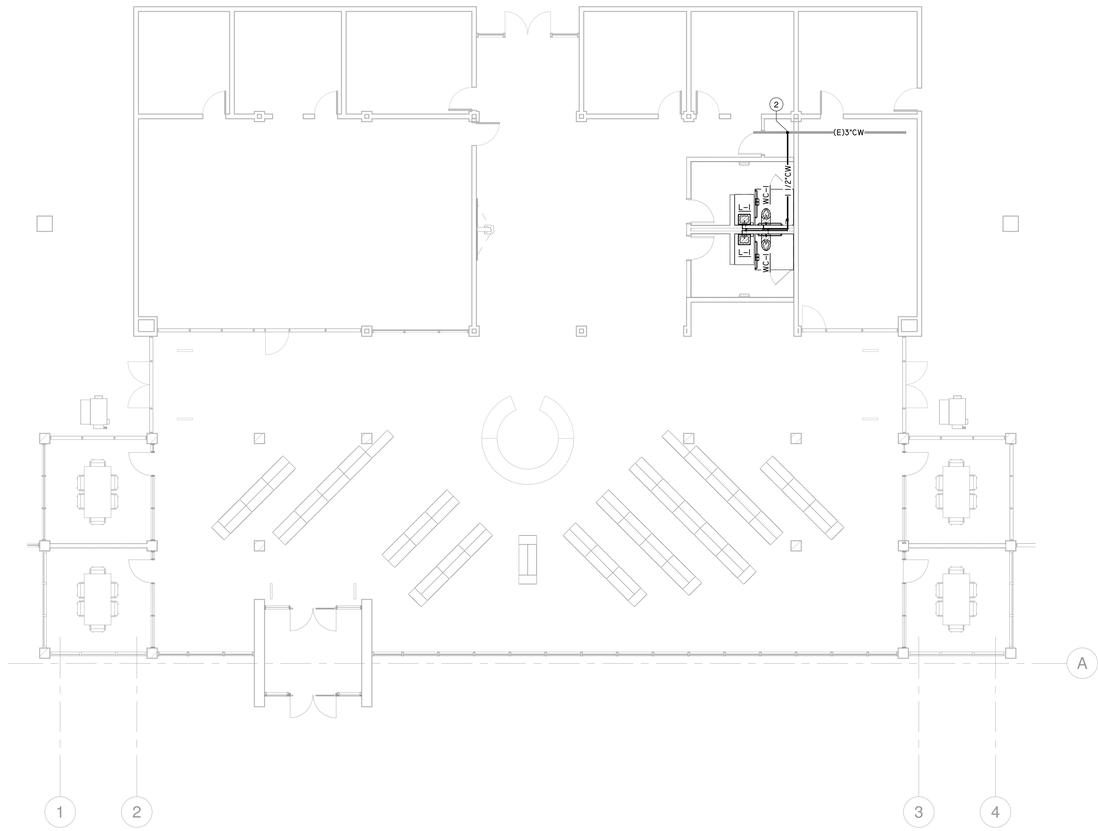
4 FLOOR PLAN - KITCHEN - DOMESTIC
Scale: 1/8" = 1'-0"



5 FLOOR PLAN - MEDICAL CLASS -DOMESTIC
1/8" = 1'-0"



1 FLOOR PLAN - HALLWAY FOUNTAINS
Scale: 1/8" = 1'-0"



2 FLOOR PLAN - LIBRARY - DOMESTIC
Scale: 1/8" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

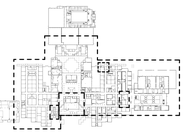
STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction



KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

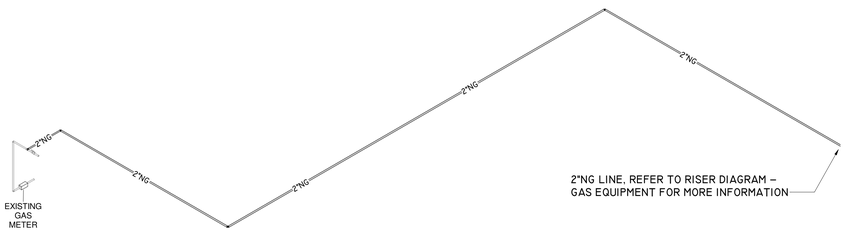
Drawing Title
PLUMBING PROPOSED DOMESTIC

Drawing Number
P3.01

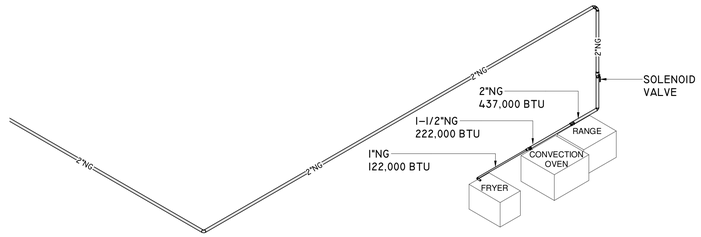
3/13/2020 1:39:56 PM

FOODSERVICE PLUMBING SCHEDULE

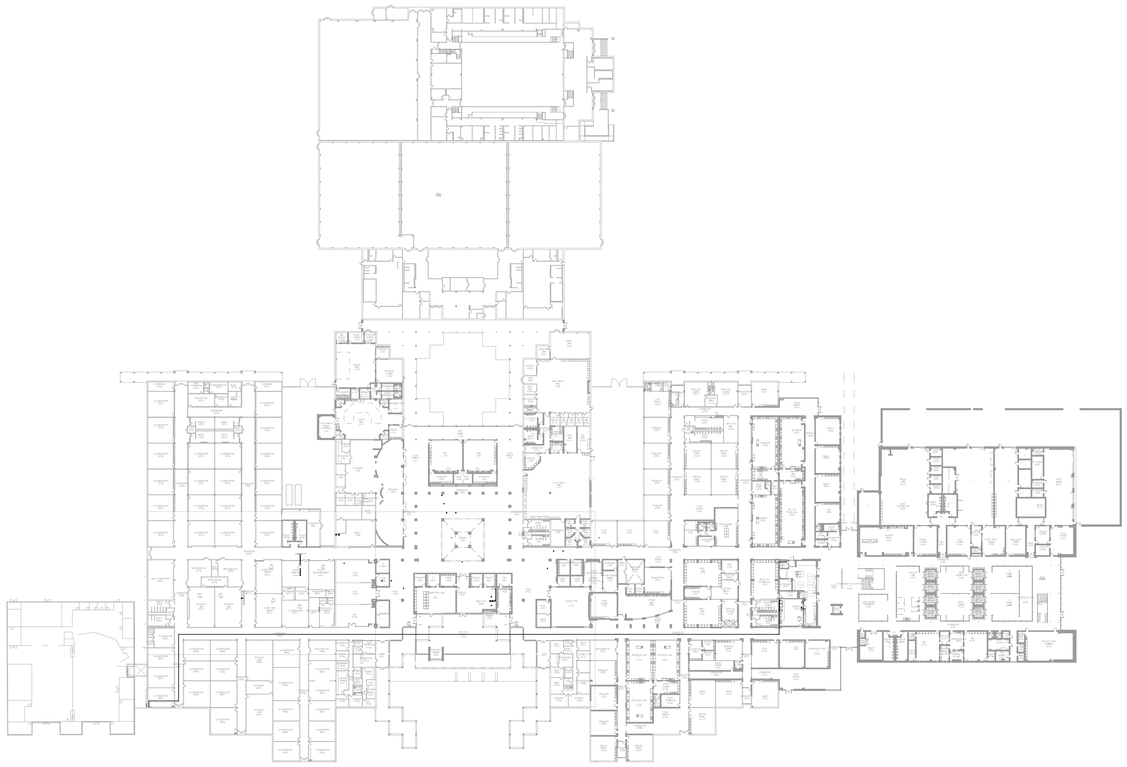
PSIZE	GAS SERVICE TO	LOCATION	BTU INPUT
3/4"	CONVECTION OVEN	KITCHEN	100,000
3/4"	RANGE	KITCHEN	215,000
3/4"	FRYER	KITCHEN	122,000



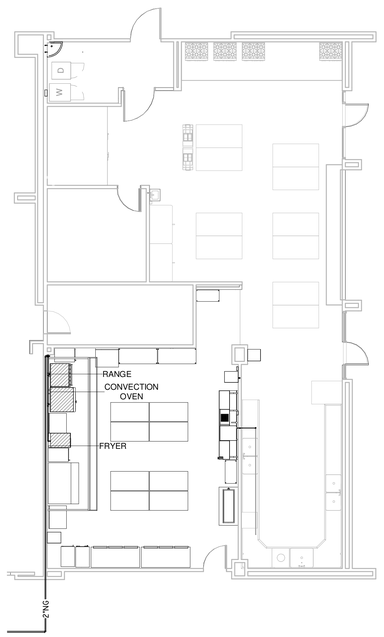
3 RISER DIAGRAM - GAS
Scale:



4 RISER DIAGRAM - GAS EQUIPMENT
Scale:



1 OVERALL FLOOR PLAN - GAS
Scale:



2 FLOOR PLAN - KITCHEN - GAS
Scale: 1/8" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

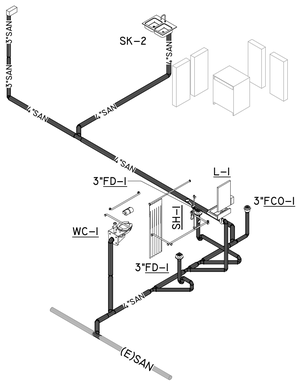
1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

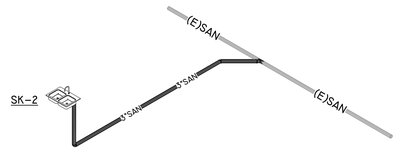
KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	PLUMBING PROPOSED GAS
Drawing Number	P3.02

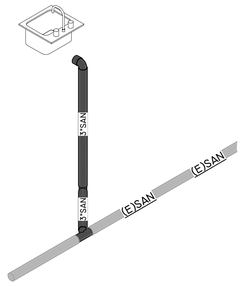
3/13/2020 1:37:15 PM



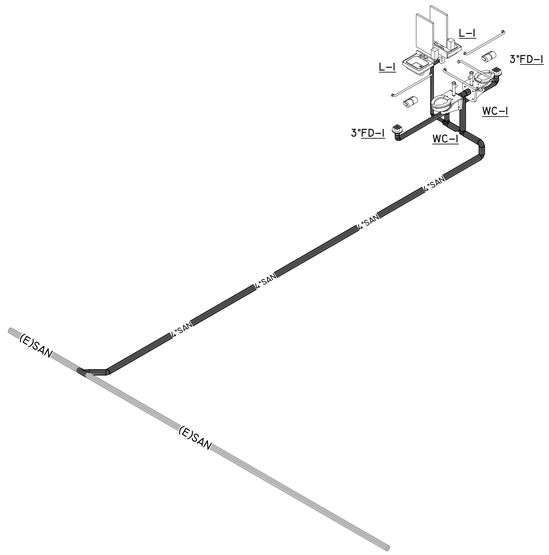
4 RISER DIAGRAM - LIFE SKILLS
Scale:



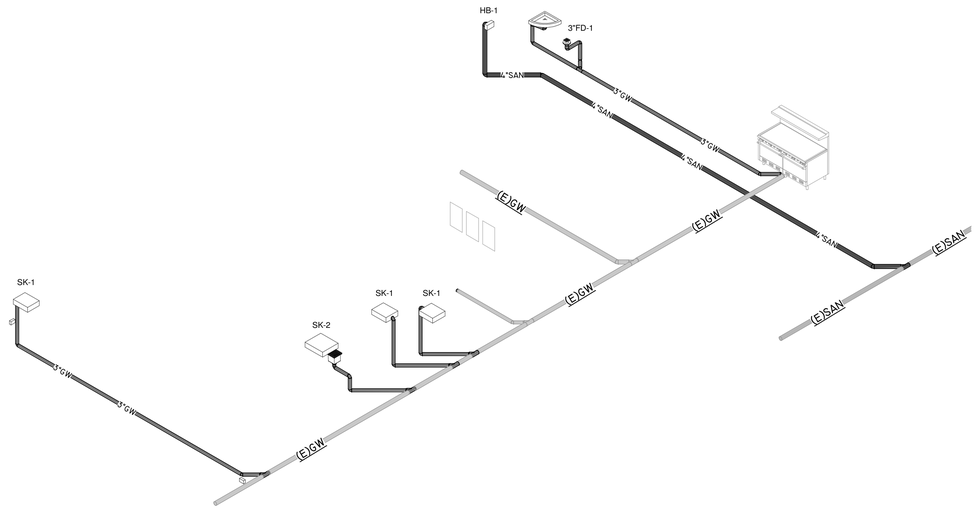
5 RISER DIAGRAM - MEDICAL ROOM
Scale:



1 RISER DIAGRAM - LAB B2
Scale:



2 RISER DIAGRAM - LIBRARY RESTROOM
Scale:



3 RISER DIAGRAM - KITCHEN
Scale:

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
12936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

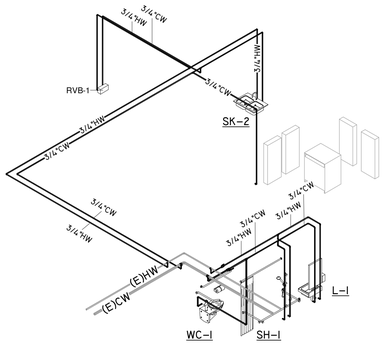
1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

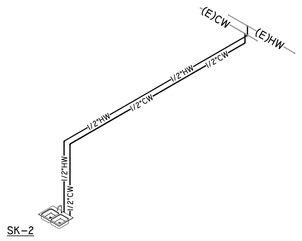
#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

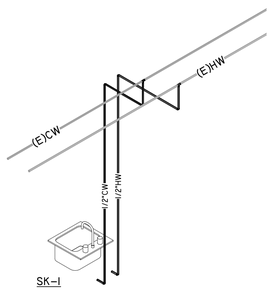
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	RISER DIAGRAMS - SANITARY
Drawing Number	P4.01

3/13/2020 1:37:20 PM

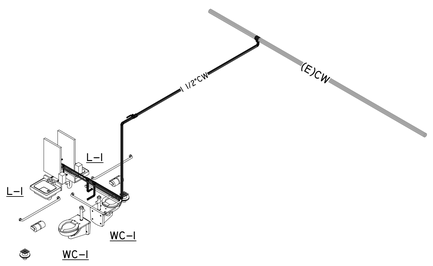


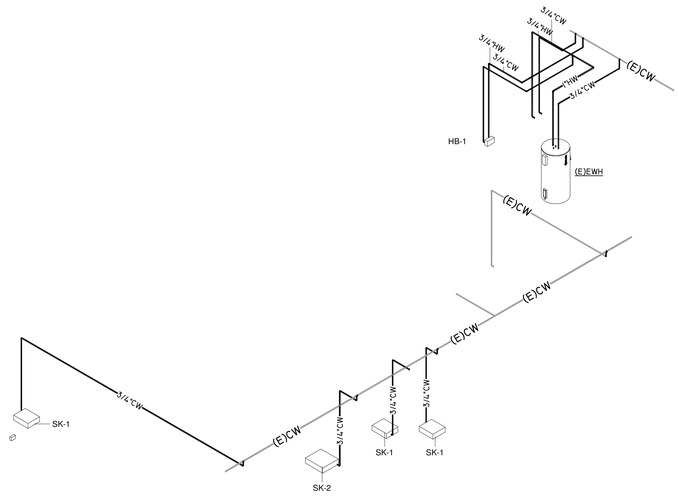


4 RISER DIAGRAM - LIFE SKILLS - DOMESTIC
Scale:



5 RISER DIAGRAM - MEDICAL ROOM - DOMESTIC
Scale:





1 RISER DIAGRAM - LAB B2- DOMESTIC
Scale:

2 RISER DIAGRAM - LIBRARY RESTROOM - DOMESTIC
Scale:

3 RISER DIAGRAM - KITCHEN - DOMESTIC
Scale:

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

Infrastructure Associates
INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
12936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

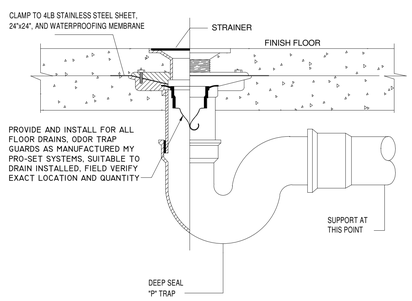
KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

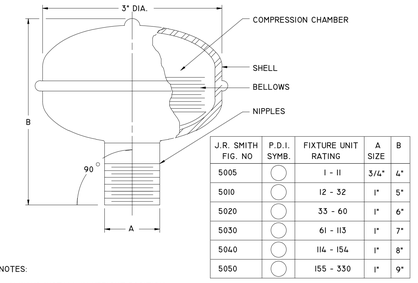
Drawing Title
RISER DIAGRAMS - DOMESTIC

Drawing Number
P4.02

3/13/2020 1:53:31 PM



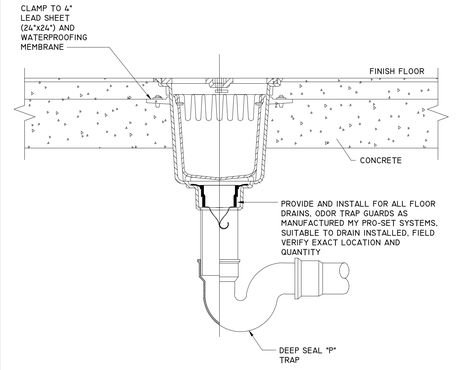
FLOOR DRAIN DETAIL WITH TRAP GUARD | NOT TO SCALE | 0



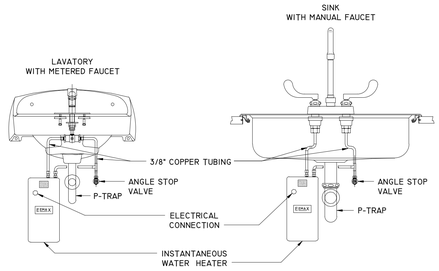
J.R. SMITH FIG. NO	P.D.I. SYMB.	FIXTURE UNIT RATING	A SIZE	B
5005		1 - 11	3/4"	4"
5010		12 - 32	1"	5"
5020		33 - 60	1"	6"
5030		61 - 113	1"	7"
5040		114 - 154	1"	8"
5050		155 - 330	1"	9"

NOTES:
1. ALWAYS INSTALL IN UPRIGHT POSITION
2. INSTALL AT AN ACCESSIBLE LOCATION. PROVIDE ACCESS PANEL WHERE REQUIRED.
3. COMPLY WITH THE LATEST UNIFORM PLUMBING CODE

WATER HAMMER ARRESTERS | NOT TO SCALE | 4

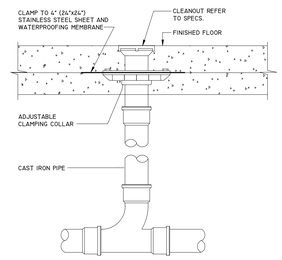


FLOOR SINK WITH TRAP GUARD (FS-1) | NOT TO SCALE | 2

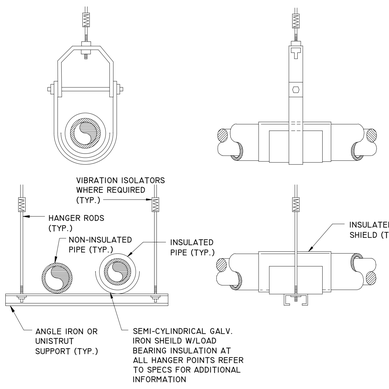


GENERAL NOTES:
1. INSTANTANEOUS WATER HEATER SHALL BE INSTALLED USING MANUFACTURERS GUIDELINES.
2. INSTANTANEOUS WATER HEATER SHALL BE INSTALLED BELOW POINT OF USE AND IN VERTICAL POSITION.

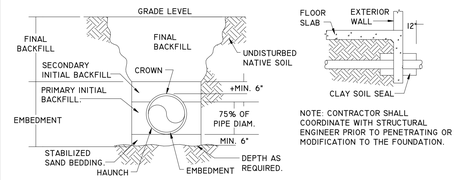
INSTANTANEOUS ELECTRIC WATER HEATER DETAIL (IWH-) | NOT TO SCALE | 0



FLOOR CLEANOUT DETAIL (FCO-1) | NOT TO SCALE | 0



PIPE HANGER DETAIL | NOT TO SCALE | 3



NOTE: CONTRACTOR SHALL COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO PENETRATING OR MODIFICATION TO THE FOUNDATION.

UNDERGROUND INSTALLATION OF PLASTIC PIPE

PLASTIC PIPE SHOULD ALWAYS BE BURIED IN STRICT ACCORDANCE WITH THE ASTM STANDARD RELEVANT TO THE TYPE OF PLASTIC PIPING SYSTEM BEING INSTALLED. THOSE STANDARDS ARE:

ASTM D2321 STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS.

ASTM D2774 STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PRESSURE PIPING.

NOTE: IN ADDITION TO THESE STANDARDS, PIPE SHOULD ALWAYS BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODE REQUIREMENTS.

RECOMMENDATIONS FOR UNDERGROUND INSTALLATION OF PLASTIC DRAINAGE PIPE:

1. THE MINIMUM WIDTH OF THE TRENCH SHOULD BE THE PIPE OD (OUTSIDE DIAMETER) PLUS 16 INCHES THIS WILL ALLOW ADEQUATE ROOM FOR JOINING THE PIPE, SNAKING THE PIPE IN THE TRENCH TO ALLOW FOR EXPANSION AND CONTRACTION WHERE APPROPRIATE AND SPACE FOR BACKFILLING AND COMPACTION OF BACKFILL. THE SPACE BETWEEN THE PIPE AND TRENCH WALL MUST BE WIDER THAN THE COMPACTION EQUIPMENT USED TO COMPACT THE BACKFILL.
2. PROVIDE A MINIMUM OF 4 INCHES OF FIRM, STABLE AND UNIFORM BEDDING MATERIAL IN THE TRENCH BOTTOM. IF ROCK OR UNYIELDING MATERIAL IS ENCOUNTERED, A MINIMUM OF 6 INCHES OF BEDDING SHALL BE USED. BLOCKING SHOULD NOT BE USED TO CHANGE PIPE GRADE OR TO INTERMITTENTLY SUPPORT PIPE OVER LOW SECTIONS IN THE TRENCH.
3. THE PIPE SHOULD BE SURROUNDED WITH AN AGGREGATE MATERIAL WHICH CAN BE EASILY WORKED AROUND THE SIDES OF THE PIPE. BACKFILLING SHOULD BE PERFORMED IN LAYERS OF 6 INCHES WITH EACH LAYER BEING SUFFICIENTLY COMPACTED TO 85% TO 95% COMPACTION.
4. A MECHANICAL TAMPER IS RECOMMENDED FOR COMPACTING SAND AND GRAVEL. THESE MATERIALS CONTAIN FINE-GRAINS, SUCH AS SILT AND CLAY. IF A TAMPER IS NOT AVAILABLE, COMPACTING SHOULD BE DONE BY HAND.
5. THE TRENCH SHOULD BE COMPLETELY FILLED. THE BACKFILL SHOULD BE PLACED AND SPREAD IN UNIFORM LAYERS TO PREVENT ANY UNFILLED SPACES OR VOIDS. LARGE ROCKS, STONES, FROZEN CLODS, OR OTHER LARGE DEBRIS SHOULD BE REMOVED. STONE BACKFILL SHALL PASS THROUGH AN 1-1/2" SIEVE. ROCK SIZE SHOULD BE ABOUT ONE-TENTH OF THE PIPE OUTSIDE DIAMETER. HEAVY TAMPERS OR ROLLING EQUIPMENT SHOULD ONLY BE USED TO CONSOLIDATE THE FINAL BACKFILL.
6. TO PREVENT DAMAGE TO THE PIPE AND DISTURBANCE TO PIPE EMBEDMENT, A MINIMUM DEPTH OF BACKFILL ABOVE THE PIPE SHOULD BE MAINTAINED. PIPE SHOULD ALWAYS BE INSTALLED BELOW THE FROST LEVEL. TYPICALLY, IT IS NOT ADVISABLE TO ALLOW VEHICULAR TRAFFIC OR HEAVY CONSTRUCTION EQUIPMENT TO TRAVERSE THE PIPE TRENCH.

BACKFILL PIPING DETAIL | NOT TO SCALE | 1

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
2617 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4306
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

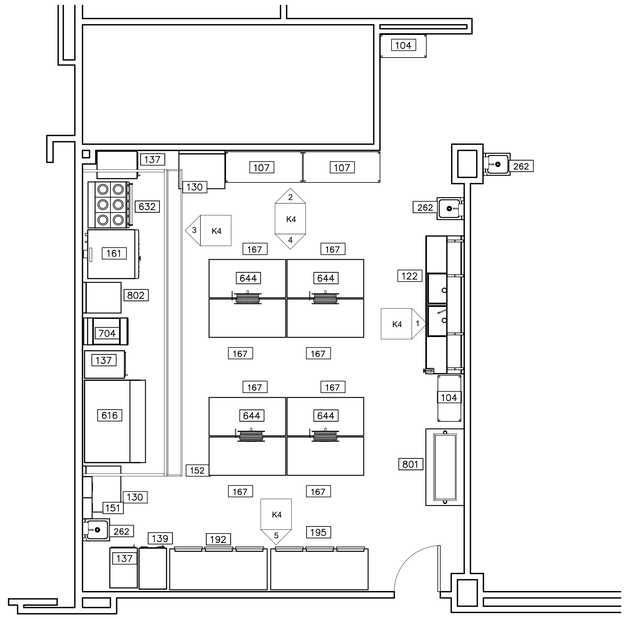
KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS

Drawing Title
DETAILS

Drawing Number P5.01

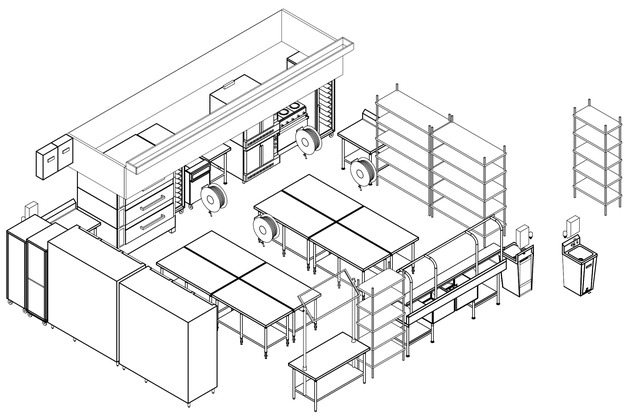
3/12/2020 1:23:37 PM



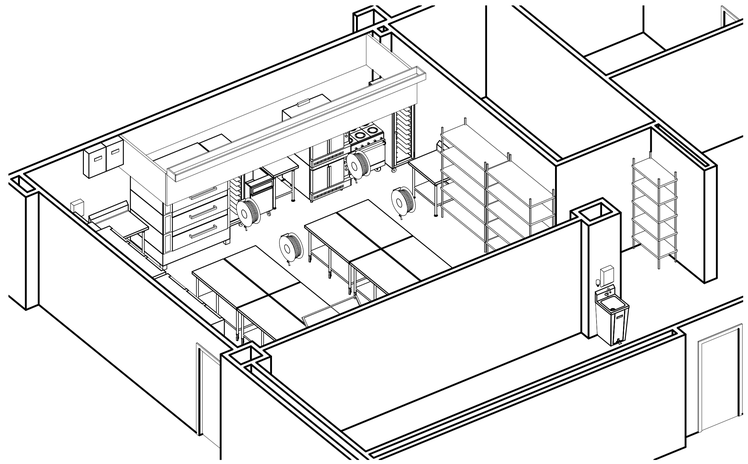
1 FOODSERVICE EQUIPMENT PLAN
1/4" = 1'-0"

FOODSERVICE EQUIPMENT SCHEDULE			
R	QTY	FDP DESCRIPTION	FDP REMARKS
104	2	STORAGE SHELVING	METRO MAX Q 36"W X 18"D X 74"H
107	2	STORAGE SHELVING	METRO MAX Q 60"W X 24"D X 74"H
122	1	TWO COMPARTMENT SINK	TABCO #9-923636RL
130	2	WORKTABLE	TABCO #KSLAG-303-X
137	3	SPEED RACK	CHANNEL #53C
139	1	MOBILE HEATED CABINET	WINHOLT #INHPL-1836C-DGT
151	1	FIRE PROTECTION SYSTEM	BY MECH. CONTRACTOR
152	1	EXHAUST HOOD	BY MACH. CONTRACTOR
161	1	CONVECTION OVEN	VULCAN #VC66GD
167	8	STUDENT WORKTABLE	TABCO #SLAG-305-X
192	1	REACH-IN REFRIGERATOR	TRAULSEN #3200
195	1	REACH-IN FREEZER	TRAULSEN #G3100
262	3	HAND SINK	TABCO #7-PS-18
616	1	DOUBLE DECK OVEN	RADIANCE #RBDO-43
632	1	SIX BURNER RANGE	VULCAN #VUL36SA-6B
644	4	ELECTRIC HOSE REEL	SAFELITE #4040-4201; PROVIDED BY DIV. 26
704	1	FRYER BATTERY	EXISTING
801	1	DEMO TABLE	TABCO #VSS-DT-365
802	1	WORKTABLE	TABCO #KSLAG-302-X

ISOMETRIC VIEWS WITHIN THIS DRAWING ARE NOT TO SCALE AND ARE PROVIDED FOR REFERENCE PURPOSES ONLY. ISOMETRIC VIEWS ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMITTING, NOR CONSTRUCTION. REFER TO FLOOR PLANS AND DETAILS FOR SPECIFIC PROJECT INFORMATION.



2 FS EQUIPMENT MODEL



3 FS FACILITY MODEL

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

FOODSERVICE
FOODSERVICE DESIGN PROFESSIONALS
281-350-2323

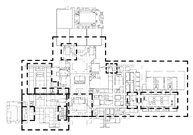
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	3-13-2020	ISSUE FOR BID, PERMIT & CONSTRUCTION



KEY PLAN — TRUE NORTH — PLAN NORTH

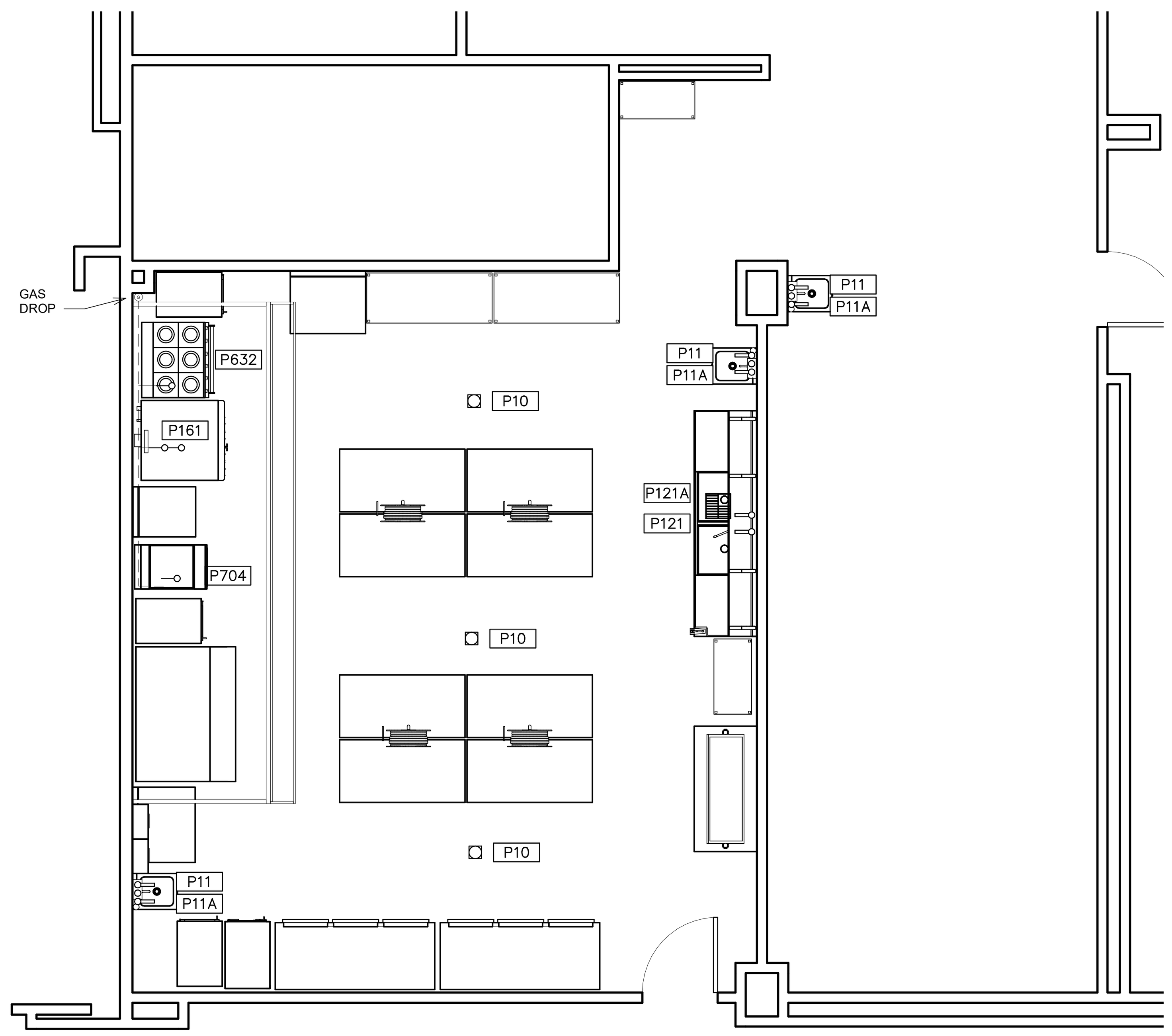
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	FS EQUIPMENT PLAN
Drawing Number	K1

FDP Project Number
Project Name
Project Location
File / APM

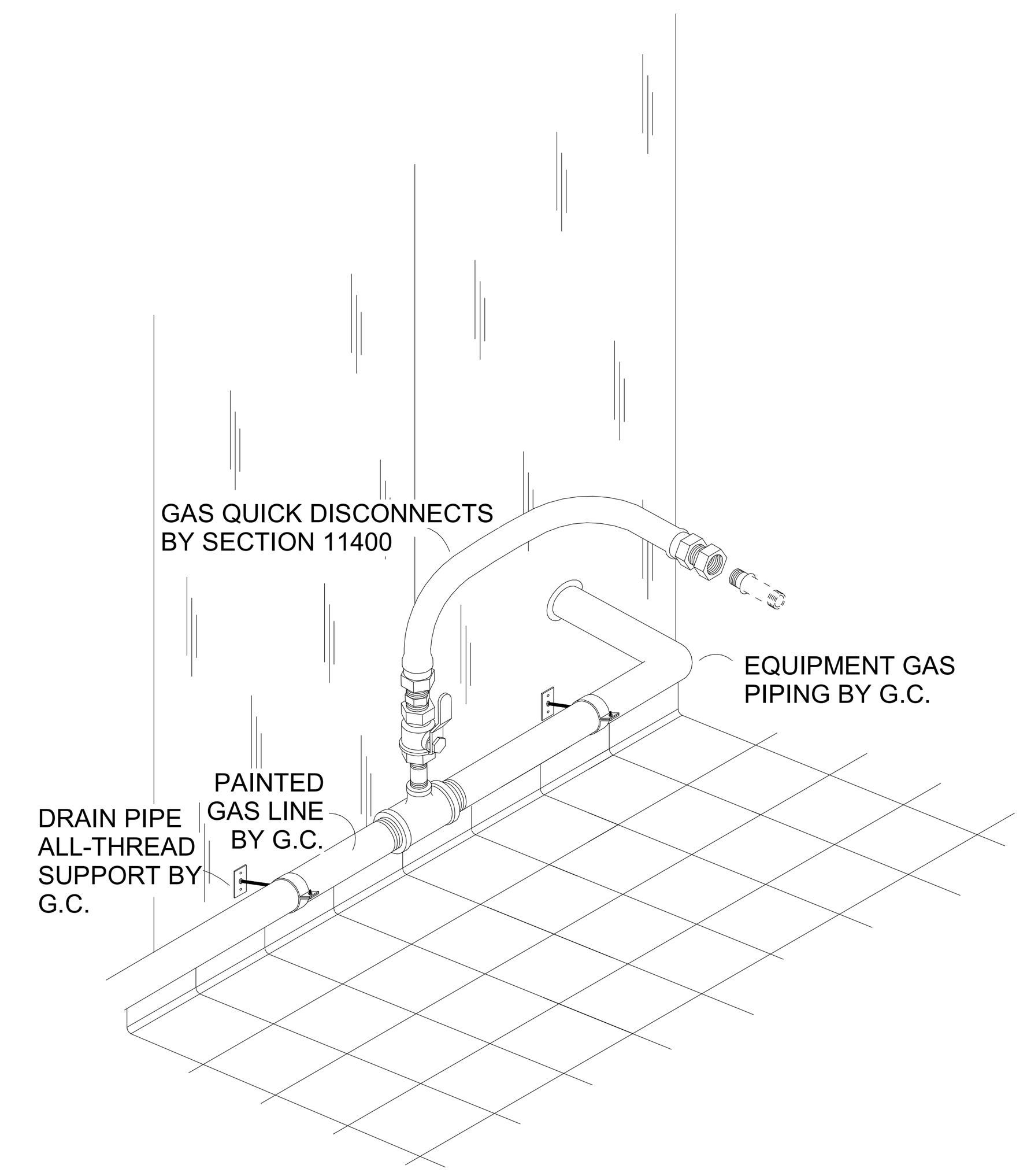
3/13/2020 1:09:56 PM

FOODSERVICE PLUMBING SCHEDULE

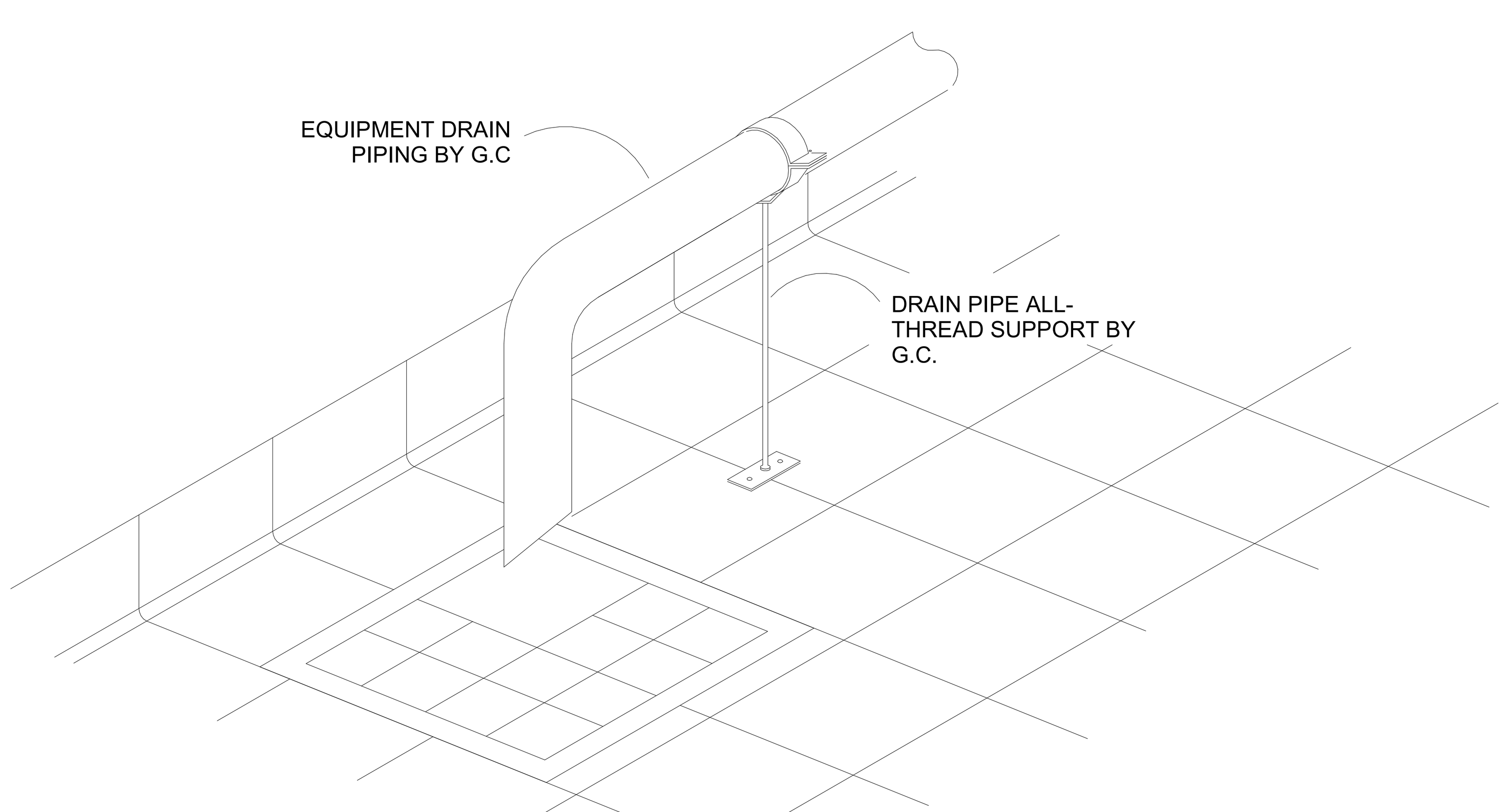
FPD PNO	FDP PSIZE	FDP PCONN	FDP PSERVICE TO	FDP PLOC	FDP PAFF	FDP PREMARKS
P10	VERIFY	FLOOR DRAIN	GENERAL AREA DRAIN	FLOO R	VERIF Y	LOCATE PER ENGINEER'S DRAWING
P11	1/2"	H & C WATER	FAUCET	WALL	18"	FURNISHED BY SECTION 11 40 00; INSTALLED BY DIV. 22
P11A	1 1/2"	DIRECT DRAIN	HAND SINK	WALL	15"	FURNISHED BY SECTION 11 40 00; INSTALLED BY DIV. 22
P121	3/4"	H & C WATER	FAUCET	WALL	13"	BTC: RE: NOTE #3
P121A	12" SQ.	FLOOR SINK	SINK	FLOO R	0"	3/4 GRATE - RE: NOTE #4
P161	(2)3/4"	NATURAL GAS	CONVECTION OVEN	WALL	18"/36"	BTC: RE: NOTE #3 & #9 - 50 MBTU/HR EACH
P632	3/4"	NATURAL GAS	RANGE	WALL	18"	BTC: RE: NOTE #3 & #9 - 215MBTU/HR
P704	3/4"	NATURAL GAS	FRYER	WALL	24"	BTC: RE: NOTE #3 & #9 122 MBTU /HR EACH



(4) FOODSERVICE PLUMBING CONNECTION PLAN
1/4" = 1'-0"



(7) GAS DISCONNECT DETAIL
N.T.S.



(6) DRAIN PIPING FASTENER DETAIL
N.T.S

HW	HOT WATER		IW	INDIRECT WASTE (EXTEND TO F.D.)
CW	COLD WATER		FFD	FUNNEL FLOOR DRAIN
HTW	180 F HOT WATER		EVC	EXHAUST VENT CONNECTION
CWS	CHILLED WATER		SVC	SUPPLY VENT CONNECTION
C	GAS SUPPLY		FR	DIRECT-CONNECTED FLUE RISER
SS	STEAM SUPPLY		PS	PIPE SLEEVE
CR	CONDENSATE RETURN		AFF	ABOVE FINISHED FLOOR
DR	DRAIN		ST	STUB UP/OUT
FD	FLOOR DRAIN		BTC	BRANCH TO CONN. ON EQUIP
FS	FLOOR SINK		DFA	DROP FROM ABOVE

(3) PLUMBING SYMBOLS
NONE

NOTE: WATER AND DRAIN CONNECTIONS INDICATED ARE THOSE REQUIRED FOR THE FOODSERVICE EQUIPMENT AND THOSE REQUIRED FOR SUPPORT EQUIPMENT FURNISHED BY DIVISION 22. FOR ADDTIONAL WATER AND DRAIN REQUIRMENTS REFER TO MECHANICAL DRAWINGS.

NOTE: REFER TO ELECTRICAL/MECHANICAL DRAWINGS FOR REQUIREMENTS OF EXHAUST FANS AND MAKE-UP AIR HANDLERS AND LOCATION OF AN INTERLOCK AND START/STOP CONTROLS TO BE LOCATED WITHIN FOODSERVICE AREA BY DIVISION 26.

(2) PLUMBING COORDINATION NOTES
N.T.S.

1. DO NOT ROUGH-IN FROM THIS DRAWING. REFER TO THE FOODSERVICE EQUIPMENT SUPPLIER'S DIMENSIONED SHOP DRAWINGS.
2. DIMENSIONS INDICATED ARE TO BE VERIFIED BY FOODSERVICE EQUIPMENT SUPPLIER AND ADJUSTED AS REQUIRED BY EQUIPMENT AND/OR FIELD CONDITIONS.
3. ACCESSORIES PROVIDED LOOSE WITH FOODSERVICE EQUIPMENT BY SECTION 11 40 00 TO BE FIELD INSTALLED BY DIVISION 22.
4. DRAINAGE AND PIPING SYSTEMS TO BE CLEANED PRIOR TO FINAL CONNECTION WITH FOODSERVICE EQUIPMENT.
5. HAND LAVATORY PROVIDED BY SECTION 11 40 00 AND INSTALLED BY DIVISION 22. DIV. 22 TO PROVIDE HOT WATER TEMPERING VALVE, IF REQ'D.
6. JANITOR SINK/FAUCET PROVIDED AND INSTALLED BY DIVISION 22.
7. INTERCONNECTION OF 1/2" CW TO PRE-RINSE AND DISPOSER'S CONE/BODY INLETS PIPED THRU SOLENOID AND VACUUM BREAKER BY DIVISION 22.
8. ** ENGINEER TO VERIFY W/ LOCAL CODE TO BYPASS OR PIPE THRU GREASE TRAP AND/OR INTERCEPTOR.
9. 6" W.C. AT EQUIPMENT. MECHANICAL GAS SHUT-OFF VALVE BY SECTION 11 40 00. FINAL CONNECTION TO EQUIPMENT AND INSTALLATION OF MECHANICAL GAS VALVE BY DIVISION 22.
10. ALL EXHAUST HOOD CONNECTIONS AND CONDENSATE CONNECTIONS FURNISHED INSTALLED BY DIVISION 22.
11. ALL EXPOSED FIRE SYSTEM PIPING TO BE CHROME PLATED OR STAINLESS STEEL.
12. NUMBER NOT USED.
13. ALL PIPING WITHIN COUNTER BODY OR UNDER FABRICATED COUNTERS TO BE RUN TO A CONNECTION POINT BELOW COUNTER BODY BY SECTION 11 40 00. FINAL CONNECTION BY DIVISION 22.
14. NUMBER NOT USED.
15. QUICK DISCONNECTS TO BE SUPPLIED BY SECTION 11 40 00 W/ALL GAS & WATER EQUIPMENT.
16. PROTECTIVE DEVICES TO PROTECT AGAINST BACK FLOW. BACK SYPHONAGE SHALL BE INSTALLED AT ALL FIXTURES AND EQUIPMENT WHERE BACKFLOW AND/OR BACKSYPHONAGE MAY OCCUR AND WHERE A MINIMUM AIR GAP CANNOT BE PROVIDED BETWEEN THE WATER TO THE FIXTURE OR EQUIPMENT AND ITS FLOOD/LEVEL RIM. TO BE PROVIDED AND INSTALLED BY DIVISION 22. VACUUM BREAKERS, WHEN FURNISHED WITH EQUIPMENT, SHALL OVERRIDE ABOVE, IF ACCEPTABLE WITH APPLICABLE CODES, BUT DIV. 22 TO PIPE WHEN NOT PREPIPED BY FACTORY. INTERCONNECT THRU WATER FILTER TO EQUIPMENT BY DIVISION 22.
17. BACKFLOW PREVENTION BY DIVISION 22

(1) PLUMBING GENERAL NOTES
NONE

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

FOODSERVICE
FOODSERVICE DESIGN PROFESSIONALS
281-350-2323

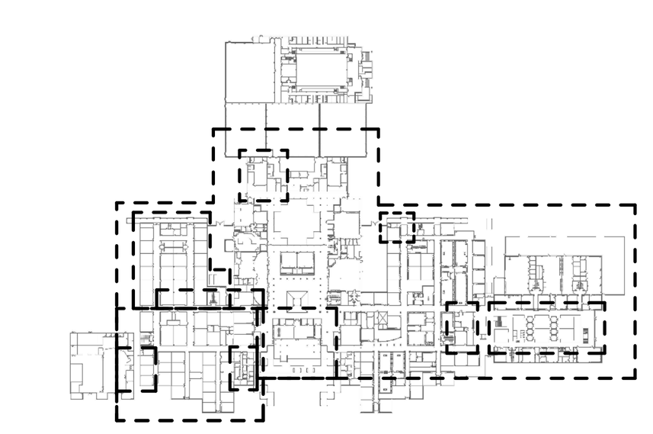
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

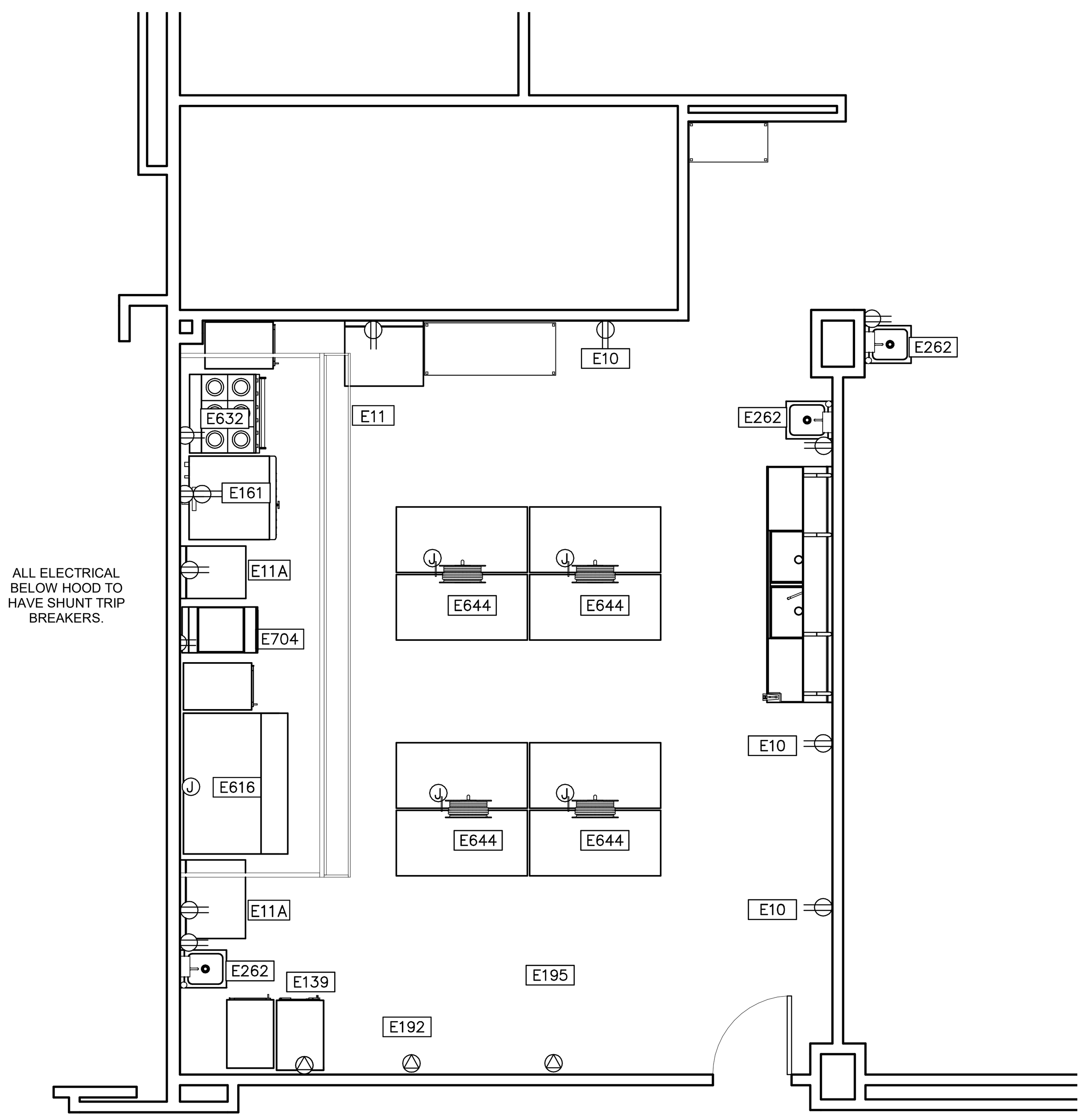
#	Date	ISSUED FOR
1	3-13-2020	ISSUE FOR BID, PERMIT & CONSTRUCTION



KEY PLAN

TRUE NORTH PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	FS PLUMBING PLAN
Drawing Number	K2



4 FOODSERVICE ELECTRICAL CONNECTION PLAN
1/4" = 1'-0"

FOODSERVICE ELECTRICAL SCHEDULE								
FDP ENO	FDP ECONN	FDP ELOAD	FDP EVOLT	FDP EPH	FDP ESERVICE TO	FDP ELOC	FDP EAFF	FDP EREMARKS
E10	DR	16.0A	120	1	CONVENIENCE OUTLET	WALL	24"	---
E11	DR	16.0A	120	1	CONVENIENCE	WALL	47"	MOUNT HORIZONTAL
E11A	DR	16.0A	120	1	CONVENIENCE	WALL	47"	SHUNT TRIP BREAKER BY DIV. 26
E139	SR	15.0A	120	1	MOBILE HEATED CABINET	WALL	47"	--
E161	(2)DR	7.7A EA.	120	1	CONVECTION OVEN	WALL	24"/48"	SHUNT TRIP BREAKER
E192	SR	10.7A	120	1	REACH-IN REFRIGERTOR	WALL	90"	---
E195	SR	16.0A	120	1	FREEZER	WALL	90"	---
E262	DR	16.0A	120	1	HAND SINK EYE	WALL	24"	MOUNT HORIZONTAL
E616	JB	65.0A	220	3	DECK OVEN	WALL	24"	BTC; RE: NOTE #4 & #6
E632	DR	4.0A	120	1	6 BURNER RANGE	WALL	24"	SHUNT TRIP BREAKER
E644	JB	16.0A	120	1	EQUIPMENT	CLG	VERIFY	BTC; PROVIDED AND INSTALLED BY DIV. 26
E704	DR	16.0A	120	1	FRYER	WALL	24"	SHUNT TRIP BREAKER PROVIDED AND INSTALLED BY DIVISION 26

SCR	CONDUIT STUB BTC ON RECEPT FURNISH WITH EQUIPMENT	CC	CC	CONDUIT FOR COMPUTER CABLES
CS	CONDUIT STUB UP/OUT FOR DIRECT CONNECTION		BTC	BRANCH TO CONNECTION ON EQUIPMENT
DR	20 AMP DUPLEX RECEPTACLE (MOUNT HORIZONTAL)		WPR	20 AMP WEATHERPROOF RECEPTACLE (SPRING COVER)
SR	SINGLE PURPOSE RECEPTACLE		FPB	FIRE PROTECTION BUZZER
SR	SINGLE PURPOSE RECPT. 208V 1PH		BSC	BEVERAGE SYSTEM CONDUIT
FR	FLUSH FLOOR RECEPTACLE		DFA	DROP FROM ABOVE
PMR	PEDESTAL MOUNTED RECPTACLE		AFF	ABOVE FINISH FLOOR
DCR	DROP CORD RECEPTACLE		CS/JB	JUNCTION BOX ON PEDSTAL
JB	JUNCTION BOX ON CEILING		DS	DISCONNECT SWITCH
JB	JUNCTION BOX IN WALL			
JB/DS	JUNCTION BOX WITH DISCONNECT BY DIV.26		JB/DS	CONDUIT STUB-UP WITH DISCONNECTI BY DIV.26

3 ELECTRICAL SYMBOLS
NONE

NOTE: ELECTRICAL CONNECTIONS INDICATED ARE THOSE REQUIRED FOR THE FOODSERVICE EQUIPMENT AND THOSE REQUIRED FOR SUPPORT EQUIPMENT FURNISHED BY DIVISION 26. FOR ADDTIONAL REQUIREMENTS REFER TO ELECTRICAL ENGINEER'S DRAWINGS.

2 ELECTRICAL COORDINATION NOTES
NTS

1. DO NOT ROUGH-IN FROM THIS DRAWING. REFER TO THE CONTRACTOR'S DIMENSIONED DRAWINGS.
2. VERIFY ALL ELECTRICAL CHARACTERISTICS WITH ENGINEERING DRAWINGS.
3. DIMENSIONS INDICATED ARE TO BE VERIFIED BY CONTRACTOR AND ADJUSTED AS REQUIRED BY FOODSERVICE EQUIPMENT AND/OR FIELD CONDITIONS.
4. ACCESSORIES AND FITTINGS PROVIDED LOOSE WITH FOODSERVICE EQUIPMENT BY SECTION 11 40 00. FIELD INSTALLED BY DIVISION 26.
5. STAINLESS STEEL DISCONNECT SWITCH PROVIDED AND INSTALLED BY DIVISION 26.
6. ALL ELECTRICAL CONNECTIONS BENEATH EXHAUST HOOD TO EXTEND TO SHUNT TRIP BREAKERS WITHIN ELECTRICAL PANEL BOX FOR SHUT-DOWN DURING FIRE MODE - BY DIVISION 26.
7. N/A
8. N/A
9. INTERCONNECT TO EXHAUST HOOD FAN(S) AND SWITCH BY DIVISION 26.
10. INTERCONNECT TO EXHAUST HOOD LIGHT(S) AND SWITCH BY DIVISION 26.
11. INTERCONNECT FIRE PROTECTION SYSTEM TO PANEL BOX SHUNT TRIP(S) AND BUILDING ALARM - BY DIVISION 26.

1 ELECTRICAL GENERAL NOTES
NONE

AUTOARCH Architects, LLC.
6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

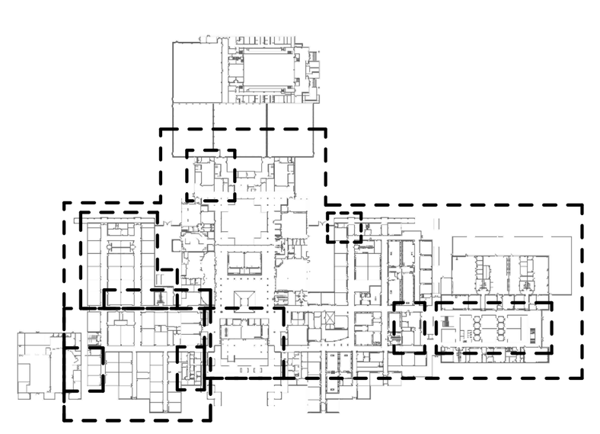
STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

FOODSERVICE
FOODSERVICE DESIGN PROFESSIONALS
281-350-2323

PROFESSIONAL SEAL:

A PROJECT FOR:
STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS
1625 STAFFORDSHIRE ROAD, STAFFORD, TX 77477

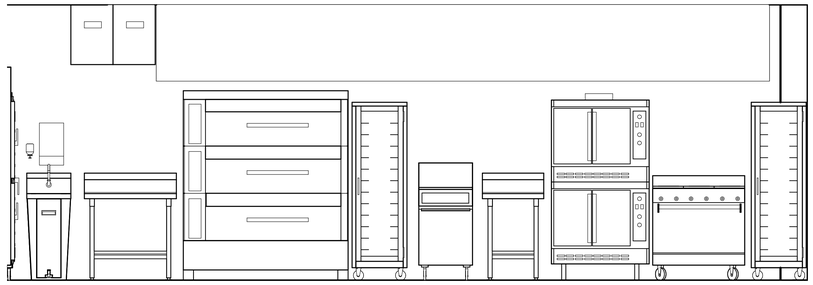
#	Date	ISSUED FOR
1	3-13-2020	ISSUE FOR BID, PERMIT & CONSTRUCTION



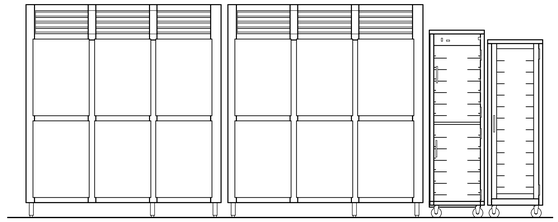
KEY PLAN

TRUE NORTH
PLAN NORTH

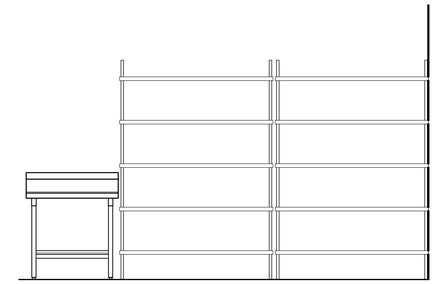
Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	FS ELECTRICAL PLAN
Drawing Number	K3



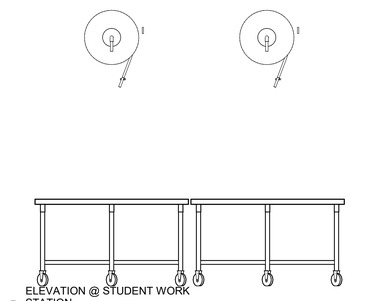
3 ELEVATION @ PRODUCTION LINE
1/2" = 1'-0"



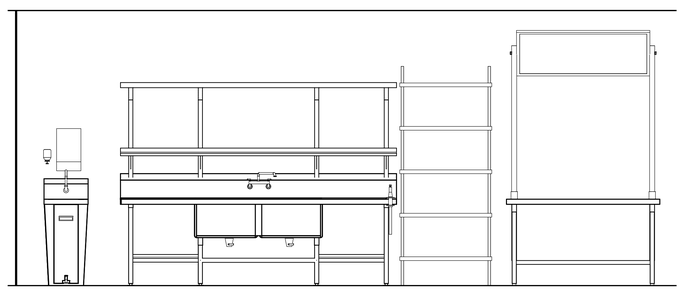
5 ELEVATION @ HOLDING CABINETS
1/2" = 1'-0"



2 ELEVATION @ EQUIPMENT STORAGE
1/2" = 1'-0"



4 ELEVATION @ STUDENT WORK STATION
1/2" = 1'-0"



1 ELEVATION @ PREP AREA
1/2" = 1'-0"

3/12/2020 1:09:08 PM

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

FOODSERVICE
FOODSERVICE DESIGN PROFESSIONALS
281-350-2323

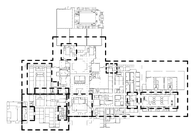
PROFESSIONAL SEAL:

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	3-13-2020	ISSUE FOR BID, PERMIT & CONSTRUCTION



KEY PLAN — TRUE NORTH — PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	FS ELEVATIONS

Drawing Number **K4**

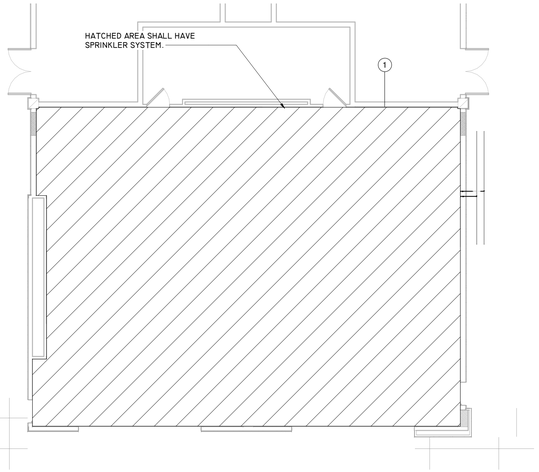
FDP Project Number
Project Name
Project Location
PM / APM

GENERAL NOTES

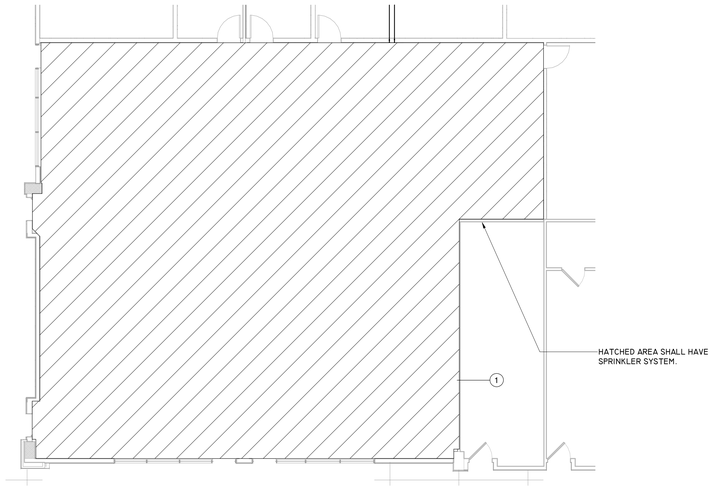
1. RE-LOCATE EXISTING FIRE SPRINKLER HEADS IN THIS AREA TO ACCOMMODATE THE NEW WALLS AND CEILING GRID. ADJUST PIPING AS NECESSARY. LOCATIONS OF SPRINKLER HEADS SHALL BE VERIFIED AND DESIGNED IN ACCORDANCE WITH NFPA 13, AND LOCAL CITY FIRE DEPARTMENT. SPRINKLER SPACING AND PIPING SHALL BE DESIGNED BY A LOCAL RME.

KEYNOTE LEGEND

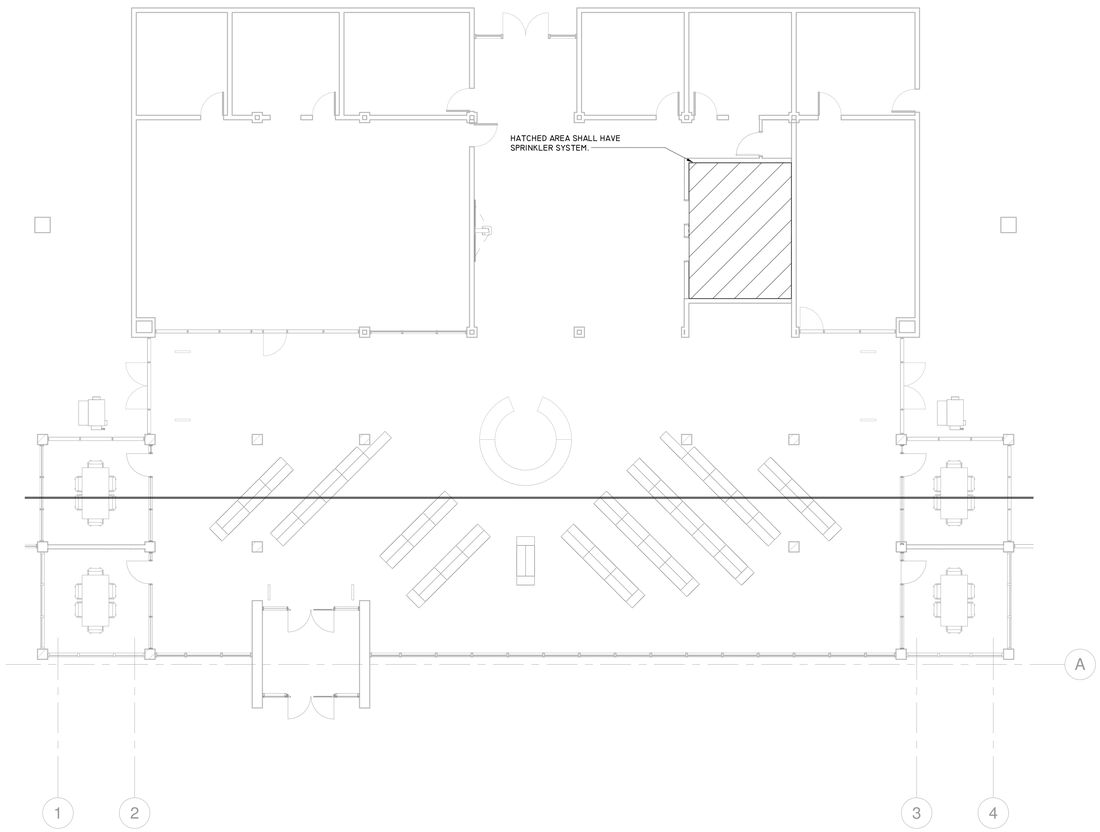
1	PROVIDE NEW SPRINKLER HEADS TO SERVE RENOVATED CLASSROOM/CORRIDOR AREA AND EXTEND EXISTING SPRINKLER LINES TO SERVE NEW HEADS. FINAL DESIGN SHALL BE DONE BY A LOCAL RME.



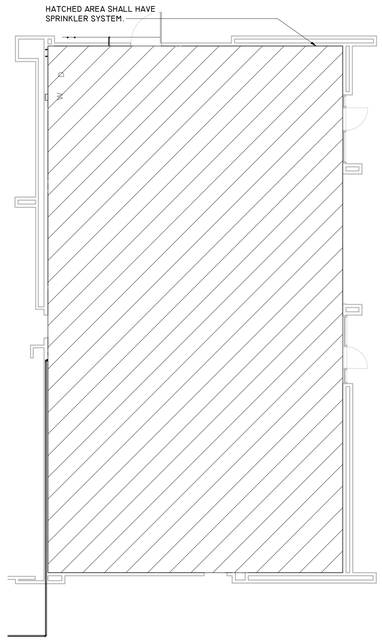
4 FLOOR PLAN - LAB B2 - FIRE PROTECTION
Scale: 1/8" = 1'-0"



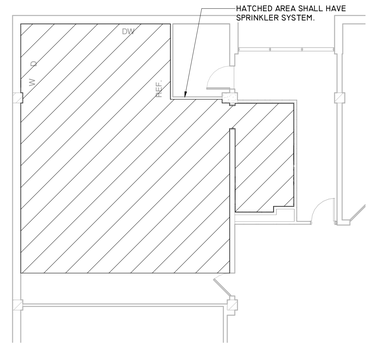
5 FLOOR PLAN - MEDICAL CLASS - FIRE PROTECTION
Scale: 1/8" = 1'-0"



3 FLOOR PLAN - LIBRARY - FIRE PROTECTION
Scale: 1/8" = 1'-0"



2 FLOOR PLAN - KITCHEN - FIRE PROTECTION
Scale: 1/8" = 1'-0"



1 FLOOR PLAN - LIFE SKILLS - FIRE PROTECTION
Scale: 1/8" = 1'-0"

AUTOARCH Architects, LLC.

6200 Savoy, Suite 100
Houston, TX 77036
t (713) 952-3366
f (713) 952-5002
www.autoarch.net

CONSULTANTS:

MEP ENGINEERS
INFRASTRUCTURE ASSOCIATES
713-622-0120

STRUCTURAL ENGINEERS
DALLY ASSOCIATES
713-337-8881

INFRASTRUCTURE ASSOCIATES, INC.
3417 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77057
TBPE REGISTRATION NO. F-4356
(713) 622-0120 PH (713) 622-0557 FAX
WWW.IAHOUSTON.COM

PROFESSIONAL SEAL:

STATE OF TEXAS
ISA TAN
121936
LICENSED PROFESSIONAL ENGINEER
03/13/2020

A PROJECT FOR:

STAFFORD HIGH SCHOOL & MAGNET SCHOOL RENOVATIONS

1625 STAFFORDSHIRE ROAD,
STAFFORD, TX 77477

#	Date	ISSUED FOR
1	2020/01/31	90% CD
2	2020/03/02	98% CD Review
3	2020/03/12	Issue for Bid, Permit, and Construction

KEY PLAN
TRUE NORTH
PLAN NORTH

Project Number	19006-A
Drawn By	LT
Checked By	AW
Approved By	MS
Drawing Title	FIRE PROTECTION PLAN
Drawing Number	FP1.01

3/13/2020 12:05:18 PM