

**ADDENDUM NO. 1**

Issued: February 22, 2017  
Project: SMSD 2017 Roof Improvements  
Project No. 16080  
SMSD BID NUMBER – 17-011  
Owner: Shawnee Mission Unified School District No. 512,  
7235 Antioch, Shawnee Mission, Kansas 66204

Bidding Documents Issued: 2.13.2017

This Addendum includes this 1 pages and the following attachments:  
Pre-Bid Attendance Sheets (1 pages)  
Drawing Sheet A101 (1 page)  
Specification Section 012100 Allowances (2 pages)

**GENERAL INFORMATION**

**G1 CONTRACTOR QUESTIONS AND CLARIFICATIONS**

G1.1 Question: Rosehill -do we have to replace skylights at Roof Area C?

Response: No, new gaskets and skirt flashing will be required. Skylights in Bid Alternate #2 are for Roof Area B only

**DRAWING REVISIONS**

**A1 SHEET A101**

A1.1 DELETE SHEET A101 and REPLACE with the attached SHEET A101

**A2 SHEET A102**

A2.1 MODIFY SCOPE OF WORK – TOMAHAWK note as follows: ROOF AREAS - E, G & H  
APPROX. **340 SQUARES** FIELD VERIFY PRIOR TO BID

**A3 SPECIFICATION SECTION 012100 ALLOWANCES**

A3.1 REMOVE SECTION 012100 ALLOWANCES and REPLACE with the attached SECTION  
012100 ALLOWANCES

**END OF ADDENDUM NO. 1**



# Pre-Bid Conference Attendance Sign-In Sheet



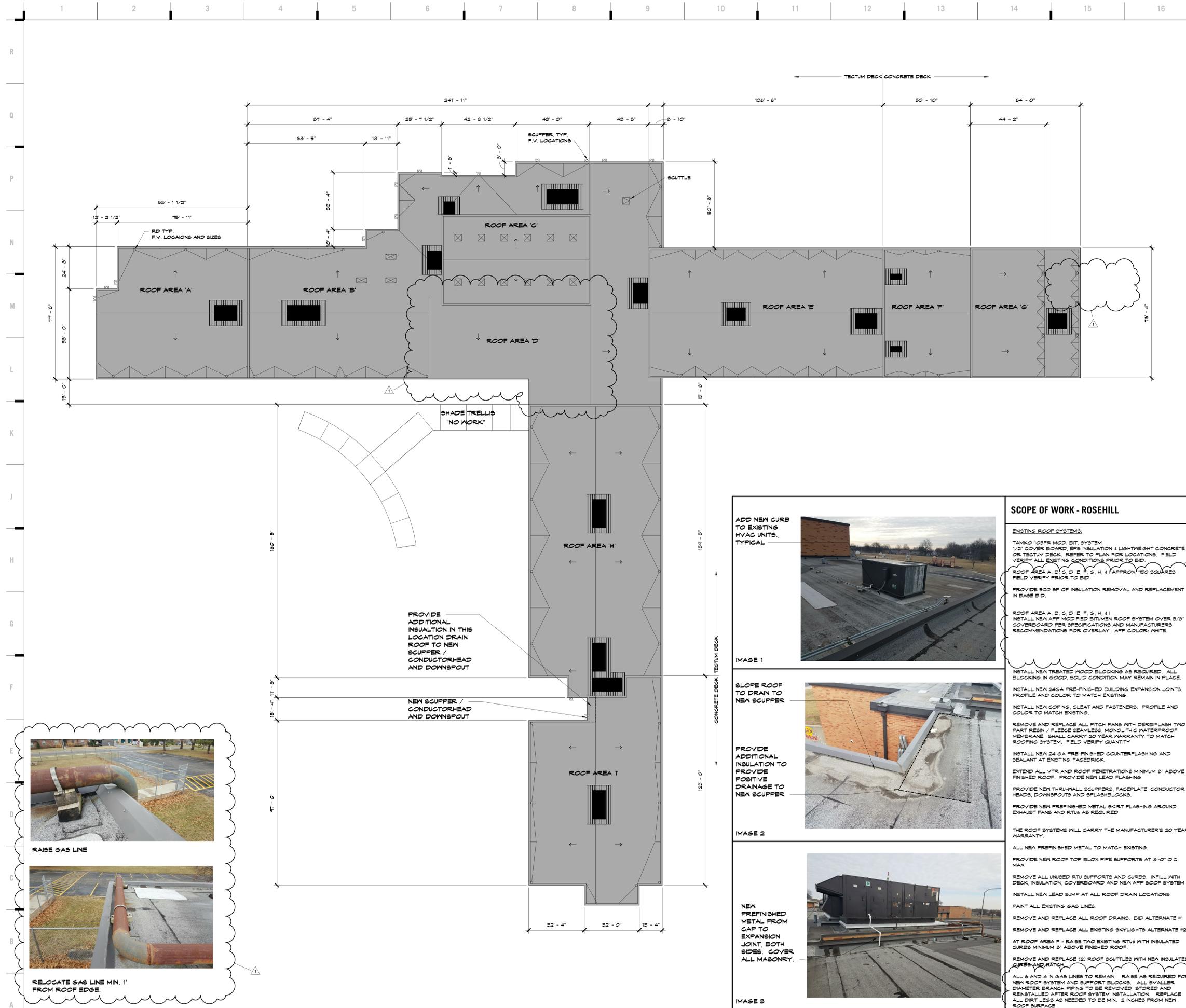
Project Name: SMSD - 2017 Roof Improvements  
H+M Project # 16080

Meeting Location:  
Rosehill Elementary School -

Date & Time:  
FEBRUARY 17, 2017 2:00 PM CDT

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NAME	ORGANIZATION	TELEPHONE	EMAIL
<i>[Signature]</i>	<i>Benetos</i>	<i>913 915 7944</i>	<i>JL@JLKC.com</i>
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<i>James Boland</i>	<i>Quality Roofing</i>	<i>8-472-4000</i>	<i>james@qrc-kc.com</i>
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**SHEET KEYNOTE LEGEND**

**GENERAL NOTES**

- DO NOT SCALE THESE DRAWINGS. FIELD VERIFY ALL CONDITIONS, DIMENSIONS AND QUANTITIES. DIMENSIONS INDICATED ON THE PLANS ARE FOR REFERENCE ONLY AND SHOULD BE CONSIDERED APPROXIMATE.
- THE CONTRACTOR SHALL VISIT THE ROOF AREA(S) PRIOR TO BID DATE AND FIELD VERIFY ALL CRITERIA.
- ALL DRAINAGE FROM THESE ROOFS UTILIZE EXISTING GUTTER, DOWNSPOUT, PIPING ETC AND SHALL BE REMOVED AND REPLACED UNLESS NOTED OTHERWISE.
- CONTRACTOR ACCESS TO THE ROOF AREA(S) SHALL BE COORDINATED WITH SCHOOL DISTRICT OFFICIALS.
- ALL ADJACENT BUILDING / ROOF AREAS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AND DAMAGE DURING CONSTRUCTION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING ROOF CONSTRUCTION AT ALL AREAS TO FOR OVERLAY, OR TO BE REMOVED AND REPLACED.
- STAGING AREA SHALL BE COORDINATED WITH SCHOOL DISTRICT PERSONNEL TO STAGE ALL CONSTRUCTION VEHICLES, MATERIALS, DUMPSTERS, CRANES ETC. REGRADE AND RESEED ALL DAMAGED GRASS AREAS AND CARE SHALL BE TAKEN TO NOT DAMAGE EXISTING ASPHALT PARKING LOTS, DRIVES OR EXISTING CONCRETE. CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING SITE.
- PROVIDE CRICKETS AT ALL REQUIRED LOCATIONS TO PROVIDE POSITIVE DRAINAGE TO NEAREST DRAIN.
- ALL FLASHING / SHEET METAL DETAILS SHALL CONFORM TO THE RECOMMENDED PROCEDURES AS OUTLINED BY THE SMACNA MANUAL, LATEST EDITION.

**GENERAL DEMOLITION NOTES**

- AT ALL AREAS SCHEDULED FOR NEW ROOFING SYSTEM REMOVE EXISTING ROOFING SYSTEM COMPLETELY TO EXISTING DECK. DECK TO REMAIN / PROTECT. INSPECT DECK FOR DAMAGE AND REPORT SAME TO OWNER AND ARCHITECT.
- REMOVAL OF EXISTING ROOFING SYSTEMS SHALL INCLUDE MATERIALS AT VERTICAL WALL SURFACES AND PENETRATIONS. REMOVAL TO BE DOWN TO SUBSTRATE MATERIALS.
- AT REMOVAL OF EXISTING ROOFING MATERIALS: REMOVE AND REPLACE ALL EXISTING FLASHING, WOOD BLOCKING ETC. NOT SPECIFICALLY CALLED TO BE PROTECTED, REUSED OR MAINTAINED ON THIS SHEET.
- DEMOLITION PLANS ARE INTENDED TO DEPICT A SCOPE AND SCHEMATIC LOCATION OF DEMOLITION WORK. ACTUAL DEMOLITION SHALL BE ACCOMPLISHED IN COORDINATION WITH NEW CONSTRUCTION WORK.
- THE CONTRACTOR SHALL LOCATE AND IDENTIFY ALL ELECTRICAL, MECHANICAL, PLUMBING AND UTILITY LINES WITHIN WORK AREAS AND PROTECT THE SAME AS REQUIRED TO MAINTAIN IN GOOD OPERATING CONDITION.
- UNLESS NOTED OTHERWISE, ALL ITEMS NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE PROJECT SITE.
- WHERE ITEMS ARE SHOWN TO BE REMOVED, CARE SHALL BE TAKEN TO PROTECT ADJACENT ITEMS SCHEDULED TO REMAIN.

**ROOF HATCH LEGEND**

- HYAC / ROOFTOP EQUIPMENT
- EXISTING AREA TO BE WORKED ON
- EXISTING AREA TO REMAIN AS IS
- EXISTING WALKPADS

**SCOPE OF WORK - ROSEHILL**

**EXISTING ROOF SYSTEMS:**  
 TAMKO 102PR MOD. BIT. SYSTEM  
 1/2" COVER BOARD, EPS INSULATION & LIGHTWEIGHT CONCRETE OR TECTUM DECK. REFER TO PLAN FOR LOCATIONS. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID.  
 PROVIDE 500 SF OF INSULATION REMOVAL AND REPLACEMENT IN BASE BID.  
 ROOF AREA A, B, C, D, E, F, G, H, I (APPROX 150 SQUARES)  
 FIELD VERIFY PRIOR TO BID  
 ROOF AREA A, B, C, D, E, F, G, H, I  
 INSTALL NEW AFF MODIFIED BITUMEN ROOF SYSTEM OVER 3/8" COVERBOARD PER SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR OVERLAY. AFF COLOR: WHITE.



ADD NEW CURBS TO EXISTING HVAC UNITS, TYPICAL



SLOPE ROOF TO DRAIN TO NEW SCUPPER



NEW PREFINISHED METAL FROM CAP TO EXPANSION JOINT, BOTH SIDES. COVER ALL MASONRY.

INSTALL NEW TREATED WOOD BLOCKING AS REQUIRED. ALL BLOCKING IN GOOD, SOLID CONDITION MAY REMAIN IN PLACE.  
 INSTALL NEW 2464 PRE-FINISHED BUILDING EXPANSION JOINTS. PROFILE AND COLOR TO MATCH EXISTING.  
 INSTALL NEW COPING, GLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.  
 REMOVE AND REPLACE ALL FITCH PANS WITH DEREFASH TWO PART RESIN / FLEECE SEAMLESS, MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM. FIELD VERIFY QUANTITY.  
 INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK.  
 EXTEND ALL VTR AND ROOF PENETRATIONS MINIMUM 8" ABOVE FINISHED ROOF. PROVIDE NEW LEAD FLASHING.  
 PROVIDE NEW THRU-WALL SCUPPERS, FACEPLATE, CONDUCTOR HEADS, DOWNSPOUTS AND SPLASHBLOCKS.  
 PROVIDE NEW PREFINISHED METAL SKIRT FLASHING AROUND EXHAUST FANS AND RTUS AS REQUIRED.  
 THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.  
 PROVIDE NEW ROOF TOP BLOX PIPE SUPPORTS AT 8'-0" O.C. MAX.  
 REMOVE ALL UNUSED RTU SUPPORTS AND CURBS. INFILL WITH DECK, INSULATION, COVERBOARD AND NEW AFF SOOF SYSTEM.  
 INSTALL NEW LEAD SUMP AT ALL ROOF DRAIN LOCATIONS.  
 PAINT ALL EXISTING GAS LINES.  
 REMOVE AND REPLACE ALL ROOF DRAINS. BID ALTERNATE #1.  
 REMOVE AND REPLACE ALL EXISTING SKYLIGHTS ALTERNATE #2.  
 AT ROOF AREA F - RAISE TWO EXISTING RTUS WITH INSULATED CURBS MINIMUM 8" ABOVE FINISHED ROOF.  
 REMOVE AND REPLACE (2) ROOF SCUTTLES WITH NEW INSULATED CURBS AND RTUS.  
 ALL 6 AND 4 IN GAS LINES TO REMAIN. RAISE AS REQUIRED FOR NEW ROOF SYSTEM AND SUPPORT BLOCKS. ALL SMALLER DIAMETER BRANCH PIPING TO BE REMOVED, STORED AND REINSTALLED AFTER ROOF SYSTEM INSTALLATION. REPLACE ALL DIRT LESS AS NEEDED TO BE MIN. 2 INCHES FROM NEW ROOF SURFACE.



RAISE GAS LINE



RELOCATE GAS LINE MIN. 1' FROM ROOF EDGE.

**A1** Scale 3/8" = 1'-0"  
 Rosehill Elementary School Roof Plan

we design the future<sup>®</sup>  
 1828 Walnut Street Suite 922  
 Kansas City, MO 64108  
 816.442.7700  
 333 Perry Street Suite 205  
 Castle Rock, CO 80104  
 719.313.9729  
 7701 E. Kellogg Suite 650  
 Wichita, KS 67207  
 316.683.5175  
 HOLLISANDMILLER.COM  
 Hollis + Miller Architects  
 Missouri State Certificate of Authority  
 Architecture # 0000161  
 Structure # 25061133

**hollis + miller architects**  
**ermiller**

**2017 Roof Improvements**  
 Shawnee Mission School District  
 7235 Antioch Road Shawnee • Mission, KS 66204  
 P# (913) 993-6200 • Fax (913) 993-6230

Project Status

REVISIONS:

#	Description	Date
1	Address #1	02/10/2017

**KIRK G. HORNBERG**  
 LICENSED ARCHITECT  
 #4722  
 FEB 10, 2017

JOB NO: 16080  
 DRAWN BY: JOSEPH BOTTICELLA  
 CHECKED BY: JUSTIN DURHAM  
 DATE: 02/10/2017

**A101**

Rosehill Elementary School

Please consider the environment before printing this.

## SECTION 012100 - ALLOWANCES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
  - 1. Certain items are specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
  - 1. Lump-sum allowances.
  - 2. Contingency allowances.
- C. Related Requirements:
  - 1. Section 014000 "Quality Requirements" for procedures governing the use of allowances for testing and inspecting.

#### 1.2 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

#### 1.3 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.

#### 1.4 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

#### 1.5 COORDINATION

- A. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

#### 1.6 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include applicable taxes (other than sales and use taxes), freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.

1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.7 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's related costs for products and equipment ordered by Owner under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include delivery, installation, insurance, equipment rental, and similar costs.
- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit margins.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

1.8 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
  1. Include installation costs in purchase amount only where indicated as part of the allowance.
  2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other margins claimed.
  3. Submit substantiation of a change in scope of work, if any, claimed in Change Orders related to unit-cost allowances.
  4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: Contingency Allowance: Include a contingency allowance of the amounts noted per school for use according to Owner's written instructions.
  1. No. 1a: Rosehill Elementary: \$20,000
  2. No. 1b: Tomahawk Elementary: \$10,000

**END OF SECTION 012100**