

2017 ROOF IMPROVEMENTS

Shawnee Mission School District

7235 Antioch Road,
Mission, KS 66204

BIDDING DOCUMENTS

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P 719-333-9729
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Wichita, KS 67207
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Hollis + Miller Architects
Kansas State Certificate of Authority
Architecture # A-108
Structural # C-1304

VICINITY MAPS



**ROSEHILL
ELEMENTARY SCHOOL**

9801 Rosehill Road
Lenexa, KS
66215



**TOMAHAWK
ELEMENTARY SCHOOL**

6301 West 78th Street
Overland Park, KS
66204

STATEMENT OF RESPONSIBILITY

I HEREBY STATE THAT THE DRAWINGS INTENDED TO BE AUTHENTICATED BY MY SEAL ARE LIMITED TO THE FOLLOWING DRAWING SHEETS:

6000, A101, & A102

I HEREBY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DRAWINGS, ESTIMATES, REPORTS AND OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE ARCHITECTURAL OR ENGINEERING PROJECT OR SURVEY.



ARCHITECT

DATE

DESIGN TEAM

ARCHITECTURAL DESIGN:

HOLLIS + MILLER ARCHITECTS
1828 WALNUT STREET, SUITE 922
KANSAS CITY, MO 64108
CONTACT: JUSTIN DURHAM
JOSEPH BOTTICELLA
PHONE: (816) 442-7700
FAX: (816) 451-0220

INDEX OF DRAWINGS

GENERAL:

6000 COVER SHEET

ARCHITECTURE:

A101 ROSEHILL ELEMENTARY SCHOOL
A102 TOMAHAWK ELEMENTARY SCHOOL

ALTERNATES

BID ALTERNATE #1
REMOVE AND REPLACE ALL ROOF DRAINS.
BASE BID: EXISTING ROOF DRAINS TO REMAIN.

BID ALTERNATE #2
REMOVE AND REPLACE ALL SKYLIGHTS.
BASE BID: EXISTING SKYLIGHTS TO REMAIN. REMOVE AND REINSTALL AS REQUIRED FOR NEW ROOFING. PROVIDE NEW GASKET KITS AND SKIRT FLASHING AT EACH. FIELD VERIFY QUANTITY, SIZE AND LOCATIONS.

2017 Roof Improvements
Shawnee Mission School District

7235 Antioch Road Shawnee • Mission, KS 66204
PH# (913) 993-6200 • Fax (913) 993-6230

Project Status

REVISIONS:

#	Description	Date



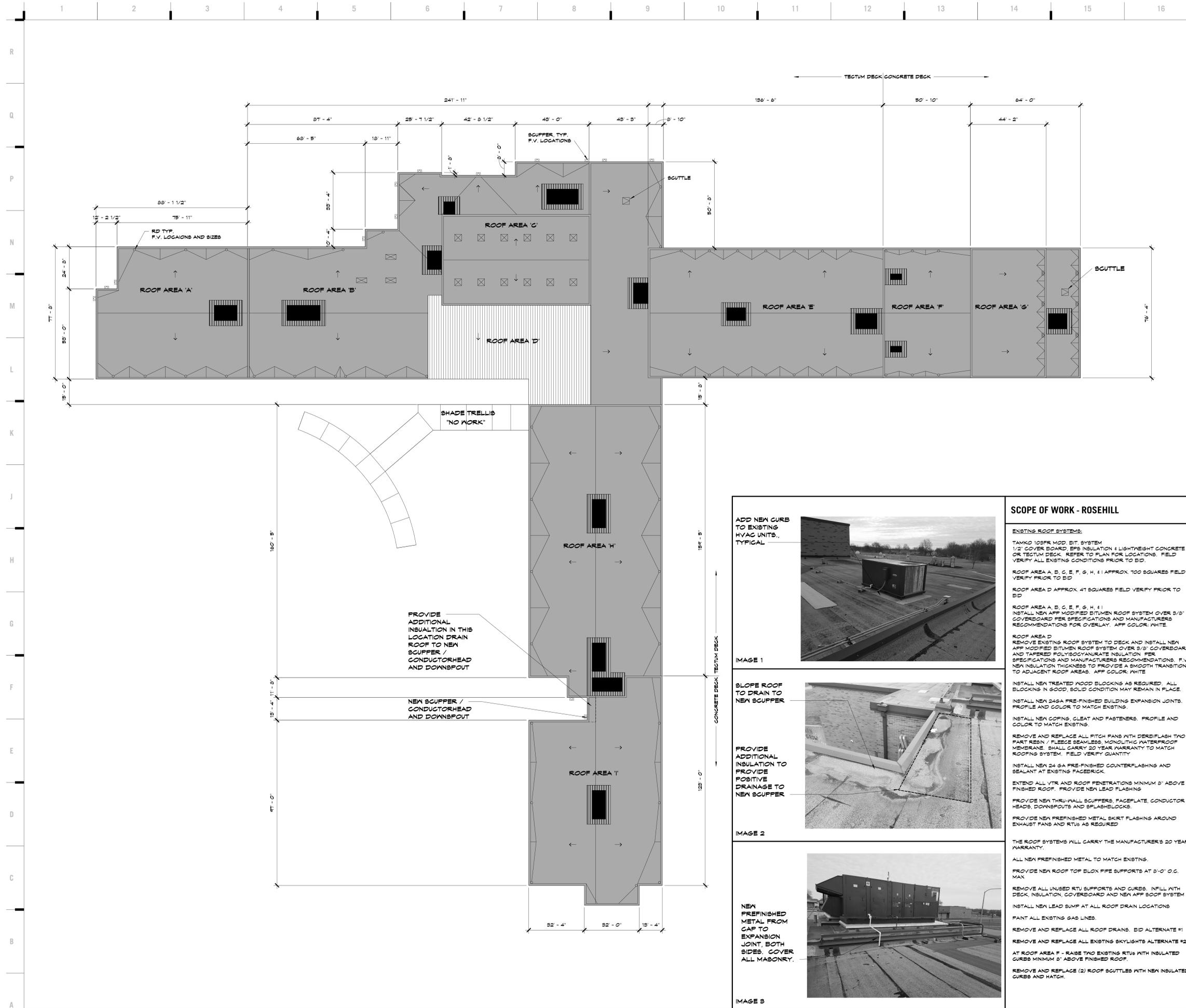
The Licensed Architect has advised this is not a contract. The contract and terms shall be the basis of the contract. Information is provided for informational purposes only and does not constitute a contract. The architect assumes no liability for any errors or omissions in the drawings.

JOB NO: 16080
DRAWN BY: JOSEPH BOTTICELLA
CHECKED BY: JUSTIN DURHAM
DATE: 02/10/2017

GOOO

SMSD Bid #17-011

COVER SHEET



SHEET KEYNOTE LEGEND

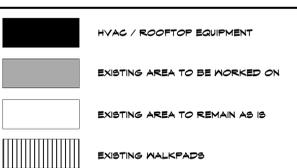
GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS. FIELD VERIFY ALL CONDITIONS, DIMENSIONS AND QUANTITIES. DIMENSIONS INDICATED ON THE PLANS ARE FOR REFERENCE ONLY AND SHOULD BE CONSIDERED APPROXIMATE.
- THE CONTRACTOR SHALL VISIT THE ROOF AREA(S) PRIOR TO BID DATE AND FIELD VERIFY ALL CRITERIA.
- ALL DRAINAGE FROM THESE ROOFS UTILIZE EXISTING GUTTER, DOWNSPOUT, PIPING ETC AND SHALL BE REMOVED AND REPLACED UNLESS NOTED OTHERWISE.
- CONTRACTOR ACCESS TO THE ROOF AREA(S) SHALL BE COORDINATED WITH SCHOOL DISTRICT OFFICIALS.
- ALL ADJACENT BUILDING / ROOF AREAS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AND DAMAGE DURING CONSTRUCTION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING ROOF CONSTRUCTION AT ALL AREAS TO FOR OVERLAY, OR TO BE REMOVED AND REPLACED.
- STAGING AREA SHALL BE COORDINATED WITH SCHOOL DISTRICT PERSONNEL TO STAGE ALL CONSTRUCTION VEHICLES, MATERIALS, DUMPSTERS, CRANES ETC. REGRADE AND RESEED ALL DAMAGED GRASS AREAS AND CARE SHALL BE TAKEN TO NOT DAMAGE EXISTING ASPHALT PARKING LOTS, DRIVES OR EXISTING CONCRETE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING SITE.
- PROVIDE CRICKETS AT ALL REQUIRED LOCATIONS TO PROVIDE POSITIVE DRAINAGE TO NEAREST DRAIN.
- ALL FLASHING / SHEET METAL DETAILS SHALL CONFORM TO THE RECOMMENDED PROCEDURES AS OUTLINED BY THE SMACNA MANUAL, LATEST EDITION.

GENERAL DEMOLITION NOTES

- AT ALL AREAS SCHEDULED FOR NEW ROOFING SYSTEM REMOVE EXISTING ROOFING SYSTEM COMPLETELY TO EXISTING DECK. DECK TO REMAIN / PROTECT. INSPECT DECK FOR DAMAGE AND REPORT SAME TO OWNER AND ARCHITECT.
- REMOVAL OF EXISTING ROOFING SYSTEMS SHALL INCLUDE MATERIALS AT VERTICAL WALL SURFACES AND PENETRATIONS. REMOVAL TO BE DOWN TO SUBSTRATE MATERIALS.
- AT REMOVAL OF EXISTING ROOFING MATERIALS: REMOVE AND REPLACE ALL EXISTING FLASHING, WOOD BLOCKING ETC. NOT SPECIFICALLY CALLED TO BE PROTECTED, REUSED OR MAINTAINED ON THIS SHEET.
- DEMOLITION PLANS ARE INTENDED TO DEPICT A SCOPE AND SCHEMATIC LOCATION OF DEMOLITION WORK. ACTUAL DEMOLITION SHALL BE ACCOMPLISHED IN COORDINATION WITH NEW CONSTRUCTION WORK.
- THE CONTRACTOR SHALL LOCATE AND IDENTIFY ALL ELECTRICAL, MECHANICAL, PLUMBING AND UTILITY LINES WITHIN WORK AREAS AND PROTECT THE SAME AS REQUIRED TO MAINTAIN IN GOOD OPERATING CONDITION.
- UNLESS NOTED OTHERWISE, ALL ITEMS NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE PROJECT SITE.
- WHERE ITEMS ARE SHOWN TO BE REMOVED, CARE SHALL BE TAKEN TO PROTECT ADJACENT ITEMS SCHEDULED TO REMAIN.

ROOF HATCH LEGEND



SCOPE OF WORK - ROSEHILL

EXISTING ROOF SYSTEMS:
 TAMKO 100PR MOD. BIT. SYSTEM
 1/2" COVER BOARD, EPS INSULATION & LIGHTWEIGHT CONCRETE OR TECTUM DECK. REFER TO PLAN FOR LOCATIONS. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID.
 ROOF AREA A, B, C, E, F, G, H: APPROX. 100 SQUARES FIELD VERIFY PRIOR TO BID
 ROOF AREA D APPROX. 47 SQUARES FIELD VERIFY PRIOR TO BID
 ROOF AREA A, B, C, E, F, G, H: 1) INSTALL NEW APP MODIFIED BITUMEN ROOF SYSTEM OVER 3/8" COVERBOARD PER SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR OVERLAY. APP COLOR: WHITE
 ROOF AREA D REMOVE EXISTING ROOF SYSTEM TO DECK AND INSTALL NEW APP MODIFIED BITUMEN ROOF SYSTEM OVER 3/8" COVERBOARD AND TAPERED POLYISOCYANURATE INSULATION PER SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS. F.V. NEW INSULATION THICKNESS TO PROVIDE A SMOOTH TRANSITION TO ADJACENT ROOF AREAS. APP COLOR: WHITE
 INSTALL NEW TREATED WOOD BLOCKING AS REQUIRED. ALL BLOCKING IN GOOD, SOLID CONDITION MAY REMAIN IN PLACE.
 INSTALL NEW 24GA PRE-FINISHED BUILDING EXPANSION JOINTS. PROFILE AND COLOR TO MATCH EXISTING.
 INSTALL NEW COPING, CLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.
 REMOVE AND REPLACE ALL PITCH PANS WITH DERRIFLASH TWO PART RESIN / FLEECES SEAMLESS MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM. FIELD VERIFY QUANTITY
 INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK.
 EXTEND ALL VTR AND ROOF PENETRATIONS MINIMUM 8" ABOVE FINISHED ROOF. PROVIDE NEW LEAD FLASHING
 PROVIDE NEW THRU-WALL SCUPPERS, FACEPLATE, CONDUCTOR HEADS, DOWNSPOUTS AND SFLASHBLOCKS.
 PROVIDE NEW PRE-FINISHED METAL SKIRT FLASHING AROUND EXHAUST FANS AND RTUs AS REQUIRED
 THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.
 ALL NEW PRE-FINISHED METAL TO MATCH EXISTING.
 PROVIDE NEW ROOF TOP BLOX PIPE SUPPORTS AT 8'-0" O.C. MAX
 REMOVE ALL UNUSED RTU SUPPORTS AND CURBS. INFILL WITH DECK, INSULATION, COVERBOARD AND NEW APP ROOF SYSTEM
 INSTALL NEW LEAD SUMP AT ALL ROOF DRAIN LOCATIONS
 PAINT ALL EXISTING GAS LINES.
 REMOVE AND REPLACE ALL ROOF DRAINS. BID ALTERNATE #1
 REMOVE AND REPLACE ALL EXISTING SKYLIGHTS ALTERNATE #2
 AT ROOF AREA F - RAISE TWO EXISTING RTUs WITH INSULATED CURBS MINIMUM 8" ABOVE FINISHED ROOF.
 REMOVE AND REPLACE (2) ROOF SCUTTLES WITH NEW INSULATED CURBS AND HATCH.

ADD NEW CURBS TO EXISTING HVAC UNITS, TYPICAL
 IMAGE 1

SLOPE ROOF TO DRAIN TO NEW SCUPPER
 IMAGE 2

NEW PRE-FINISHED METAL FROM CAP TO EXPANSION JOINT, BOTH SIDES. COVER ALL MASONRY.
 IMAGE 3

PROVIDE ADDITIONAL INSULATION IN THIS LOCATION DRAIN ROOF TO NEW SCUPPER / CONDUCTORHEAD AND DOWNSPOUT

NEW SCUPPER / CONDUCTORHEAD AND DOWNSPOUT

PROVIDE ADDITIONAL INSULATION TO PROVIDE POSITIVE DRAINAGE TO NEW SCUPPER

SHADE TRELLIS "NO WORK"

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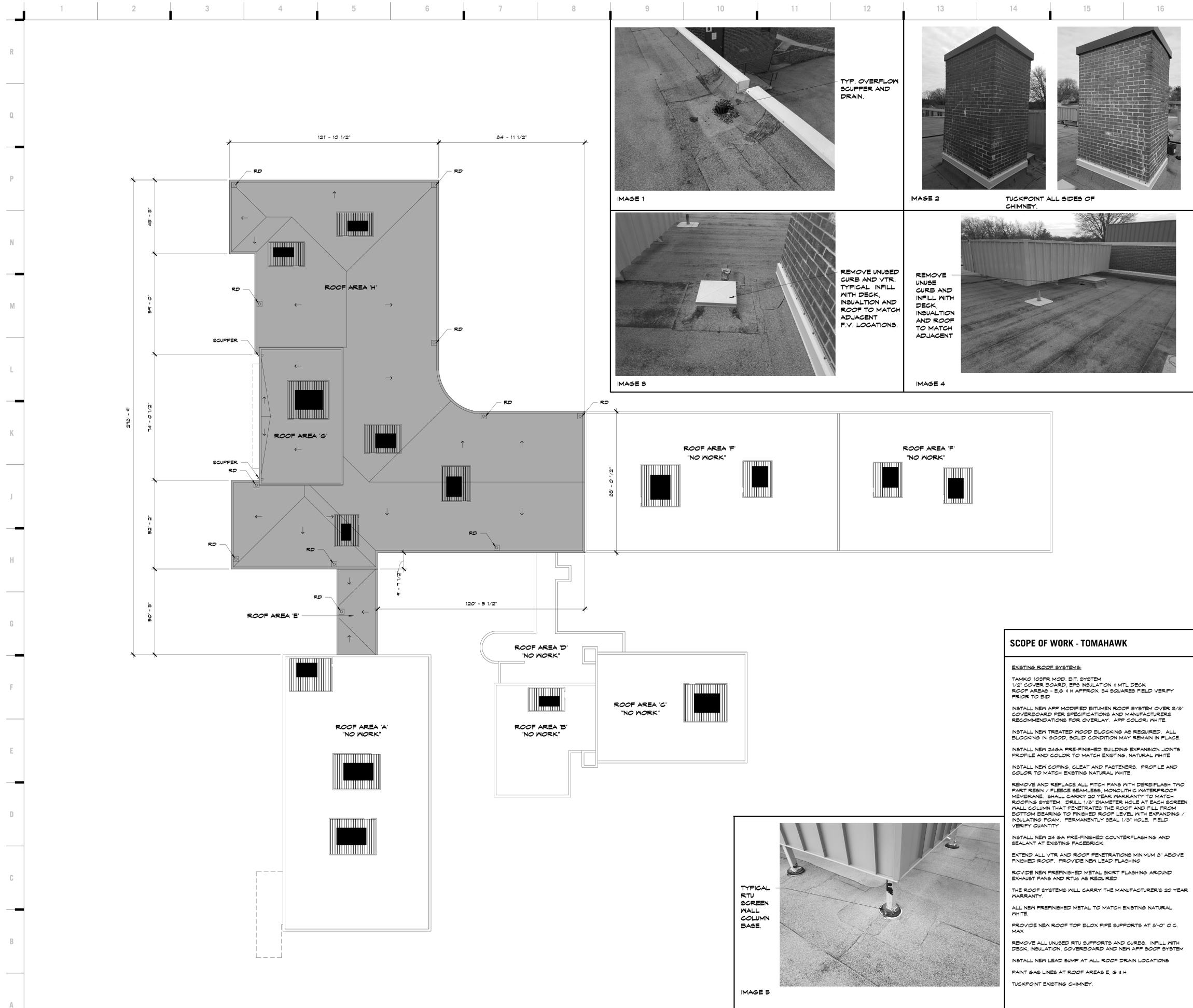
KIRK C. HORNBERG
 LICENSED ARCHITECT
 #4722
 FEB 10, 2017

JOB NO: 16080
 DRAWN BY: JOSEPH BOTTICELLA
 CHECKED BY: JUSTIN DURHAM
 DATE: 02/10/2017

A101

Rosehill Elementary School

Please consider the environment before printing this.



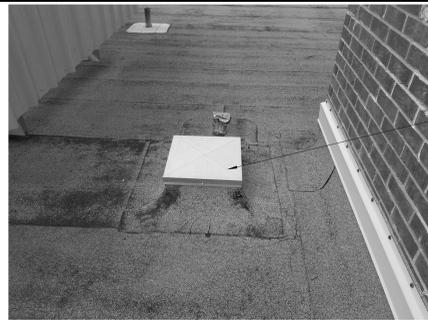
TYP. OVERFLOW SCUPPER AND DRAIN.

IMAGE 1



TUCKPOINT ALL SIDES OF CHIMNEY.

IMAGE 2



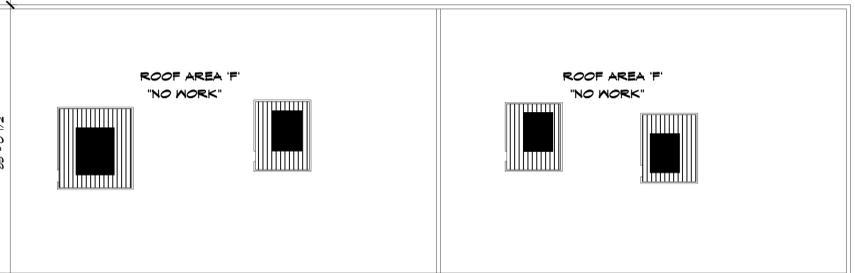
REMOVE UNUSED CURB AND VTR. TYPICAL INFILL WITH DECK, INSULATION AND ROOF TO MATCH ADJACENT A.D. LOCATIONS.

IMAGE 3



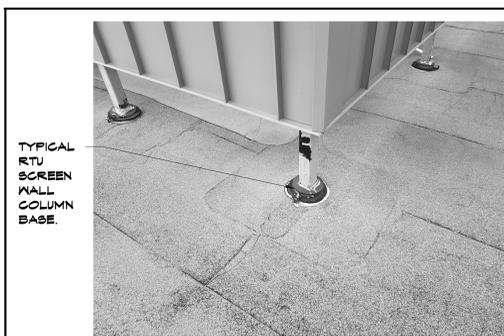
REMOVE UNUSED CURB AND INFILL WITH DECK, INSULATION AND ROOF TO MATCH ADJACENT

IMAGE 4



ROOF AREA 'F' 'NO WORK'

ROOF AREA 'F' 'NO WORK'



TYPICAL RTU SCREEN WALL COLUMN BASE.

IMAGE 5

SHEET KEYNOTE LEGEND

	HYAC / ROOFTOP EQUIPMENT
	EXISTING AREA TO BE WORKED ON
	EXISTING AREA TO REMAIN AS IS
	EXISTING WALKPADS

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SCOPE OF WORK - TOMAHAWK

EXISTING ROOF SYSTEMS:
 TAMKO 108PR MOD. BIT. SYSTEM
 1/2" COVER BOARD, EPS INSULATION & VTR DECK
 ROOF AREAS - E, G & H APPROX. 84 SQUARES FIELD VERIFY PRIOR TO BID

INSTALL NEW AFF MODIFIED BITUMEN ROOF SYSTEM OVER 3/8" COVERBOARD PER SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR OVERLAY. AFF COLOR: WHITE

INSTALL NEW TREATED WOOD BLOCKING AS REQUIRED. ALL BLOCKING IN GOOD, SOLID CONDITION MAY REMAIN IN PLACE.

INSTALL NEW 246A PRE-FINISHED BUILDING EXPANSION JOINTS. PROFILE AND COLOR TO MATCH EXISTING. NATURAL WHITE

INSTALL NEW COPING. CLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING NATURAL WHITE.

REMOVE AND REPLACE ALL FITCH FANS WITH DEREFLASH TWO PART RESIN / FLEECE SEAMLESS, MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM. DRILL 1/8" DIAMETER HOLE AT EACH SCREEN WALL COLUMN THAT PENETRATES THE ROOF AND FILL FROM BOTTOM BEARING TO FINISHED ROOF LEVEL WITH EXPANDING / INSULATING FOAM. PERMANENTLY SEAL 1/8" HOLE. FIELD VERIFY QUANTITY

INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK.

EXTEND ALL VTR AND ROOF PENETRATIONS MINIMUM 8" ABOVE FINISHED ROOF. PROVIDE NEW LEAD FLASHING

PROVIDE NEW LEAD SUMP AT ALL ROOF DRAIN LOCATIONS EXHAUST FANS AND RTUS AS REQUIRED

THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.

ALL NEW PRE-FINISHED METAL TO MATCH EXISTING NATURAL WHITE

PROVIDE NEW ROOF TOP BLOX PIPE SUPPORTS AT 8'-0" O.C. MAX

REMOVE ALL UNUSED RTU SUPPORTS AND CURBS. INFILL WITH DECK, INSULATION, COVERBOARD AND NEW AFF SOOF SYSTEM

INSTALL NEW LEAD SUMP AT ALL ROOF DRAIN LOCATIONS

PAINT GAS LINES AT ROOF AREAS E, G & H

TUCKPOINT EXISTING CHIMNEY.

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 KIRK G. HORNER
 LICENSED ARCHITECT
 4722
 FEB 10, 2017

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A102