

ADDENDUM NO. 1

Issued: February 22, 2017

Project: SMSD 2017 Roof Improvements

Project No. 16080
SMSD BID NUMBER – 17-011

Owner: Shawnee Mission Unified School District No. 512,
7235 Antioch, Shawnee Mission, Kansas 66204

Bidding Documents Issued: 2.13.2017

This Addendum includes this 1 pages and the following attachments:
Pre-Bid Attendance Sheets (1 pages)
Drawing Sheet A101 (1 page)
Specification Section 012100 Allowances (2 pages)

GENERAL INFORMATION

G1 CONTRACTOR QUESTIONS AND CLARIFICATIONS

G1.1 Question: Rosehill -do we have to replace skylights at Roof Area C?

Response: No, new gaskets and skirt flashing will be required. Skylights in Bid Alternate #2 are for Roof Area B only

DRAWING REVISIONS

A1 SHEET A101

A1.1 DELETE SHEET A101 and REPLACE with the attached SHEET A101

A2 SHEET A102

A2.1 MODIFY SCOPE OF WORK – TOMAHAWK note as follows: ROOF AREAS - E, G & H
APPROX. **340 SQUARES** FIELD VERIFY PRIOR TO BID

A3 SPECIFICATION SECTION 012100 ALLOWANCES

A3.1 REMOVE SECTION 012100 ALLOWANCES and REPLACE with the attached SECTION
012100 ALLOWANCES

END OF ADDENDUM NO. 1



Pre-Bid Conference Attendance Sign-In Sheet

hollis architects
millers

Project Name: SMSD - 2017 Roof Improvements
H+M Project # 16080

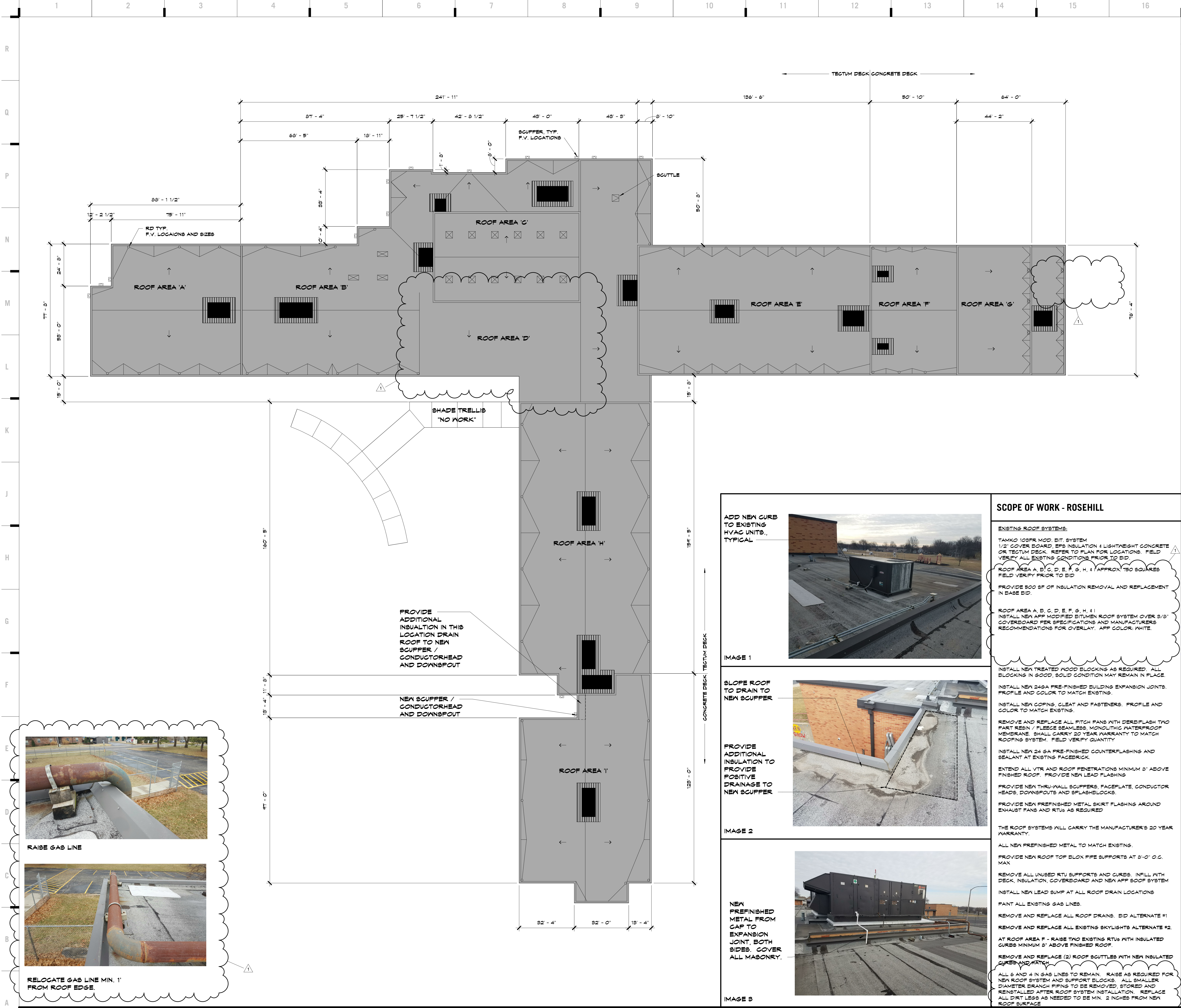
Meeting Location:
Rosehill Elementary School -

Date & Time:
FEBRUARY 17, 2017 2:00 PM CDT

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RAISE GAS LINE



RELOCATE GAS LINE MIN. 1' FROM ROOF EDGE

ADD NEW CURB TO EXISTING HVAC UNITS, TYPICAL

IMAGE 1

SLOPE ROOF TO DRAIN TO NEW SCUPPER

IMAGE 2

PROVIDE ADDITIONAL INSULATION TO PROVIDE POSITIVE DRAINAGE TO NEW SCUPPER

IMAGE 3

SCOPE OF WORK - ROSEHILL

EXISTING ROOF SYSTEMS:

TAMKO 105PR MOD. BIT. SYSTEM
1/2" COVER BOARD, EPS INSULATION & LIGHTWEIGHT CONCRETE
OR TECTUM DECK. REFER TO PLAN FOR LOCATIONS. FIELD
VERIFY ALL EXISTING CONDITIONS PRIOR TO BID.

ROOF AREA A, B, C, D, E, F, G, H, I APPROX. 150 SQUARES
FIELD VERIFY PRIOR TO BID

PROVIDE 500 SF OF INSULATION REMOVAL AND REPLACEMENT
IN BASE BID.

ROOF AREA A, B, C, D, E, F, G, H, I
INSTALL NEW AFF MODIFIED BITUMEN ROOF SYSTEM OVER 5/8"
COVERBOARD PER SPECIFICATIONS AND MANUFACTURERS
RECOMMENDATIONS FOR OVERLAY. AFF COLOR: WHITE.

INSTALL NEW TREATED WOOD BLOCKING AS REQUIRED. ALL
BLOCKING IN GOOD, SOLID CONDITION MAY REMAIN IN PLACE.

INSTALL NEW 24GA PRE-FINISHED BUILDING EXPANSION JOINTS.
PROFILE AND COLOR TO MATCH EXISTING.

INSTALL NEW COPING, GLEAT AND FASTENERS. PROFILE AND
COLOR TO MATCH EXISTING.

REMOVE AND REPLACE ALL FITCH PANS WITH DEREFASH TWO
PART RESIN / FLEECE SEAMLESS, MONOLITHIC WATERPROOF
MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH
ROOFING SYSTEM. FIELD VERIFY QUANTITY.

INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND
SEALANT AT EXISTING FACEBRICK.

EXTEND ALL VTR AND ROOF PENETRATIONS MINIMUM 8" ABOVE
FINISHED ROOF. PROVIDE NEW LEAD FLASHING.

PROVIDE NEW THRU-WALL SCUPPERS, FACEPLATE, CONDUCTOR
HEADS, DOWNSPOUTS AND SPLASHBLOCKS.

PROVIDE NEW PREFINISHED METAL SKIRT FLASHING AROUND
EXHAUST FANS AND RTUS AS REQUIRED.

THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR
WARRANTY.

ALL NEW PREFINISHED METAL TO MATCH EXISTING.

PROVIDE NEW ROOF TOP BLOX PIPE SUPPORTS AT 8'-0" O.C.
MAX.

REMOVE ALL UNUSED RTU SUPPORTS AND CURBS. INFILL WITH
DECK, INSULATION, COVERBOARD AND NEW AFF SOOF SYSTEM.

INSTALL NEW LEAD SUMP AT ALL ROOF DRAIN LOCATIONS.

PAINT ALL EXISTING GAS LINES.

REMOVE AND REPLACE ALL ROOF DRAINS. BID ALTERNATE #1.

REMOVE AND REPLACE ALL EXISTING SKYLIGHTS ALTERNATE #2.

AT ROOF AREA F - RAISE TWO EXISTING RTUS WITH INSULATED
CURBS MINIMUM 8" ABOVE FINISHED ROOF.

REMOVE AND REPLACE (2) ROOF SCUTTLES WITH NEW INSULATED
CURBS AND RTUS.

ALL 6 AND 4 IN GAS LINES TO REMAIN. RAISE AS REQUIRED FOR
NEW ROOF SYSTEM AND SUPPORT BLOCKS. ALL SMALLER
DIAMETER BRANCH PIPING TO BE REMOVED, STORED AND
REINSTALLED AFTER ROOF SYSTEM INSTALLATION. REPLACE
ALL DIRT LEGS AS NEEDED TO BE MIN. 2 INCHES FROM NEW
ROOF SURFACE.

SHEET KEYNOTE LEGEND

GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS. FIELD VERIFY ALL CONDITIONS, DIMENSIONS AND QUANTITIES. DIMENSIONS INDICATED ON THE PLANS ARE FOR REFERENCE ONLY AND SHOULD BE CONSIDERED APPROXIMATE.
- THE CONTRACTOR SHALL VISIT THE ROOF AREA(S) PRIOR TO BID DATE AND FIELD VERIFY ALL CRITERIA.
- ALL DRAINAGE FROM THESE ROOFS UTILIZE EXISTING GUTTER, DOWNSPOUT, PIPING ETC AND SHALL BE REMOVED AND REPLACED UNLESS NOTED OTHERWISE.
- CONTRACTOR ACCESS TO THE ROOF AREA(S) SHALL BE COORDINATED WITH SCHOOL DISTRICT OFFICIALS.
- ALL ADJACENT BUILDING / ROOF AREAS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AND DAMAGE DURING CONSTRUCTION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING ROOF CONSTRUCTION AT ALL AREAS TO FOR OVERLAY, OR TO BE REMOVED AND REPLACED.
- STAGING AREA SHALL BE COORDINATED WITH SCHOOL DISTRICT PERSONNEL TO STAGE ALL CONSTRUCTION VEHICLES, MATERIALS, DUMPSTERS, CRANES ETC. REGRADE AND RESEED ALL DAMAGED GRASS AREAS AND CARE SHALL BE TAKEN TO NOT DAMAGE EXISTING ASPHALT PARKING LOTS, DRIVES OR EXISTING CONCRETE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING SITE.
- PROVIDE CRICKETS AT ALL REQUIRED LOCATIONS TO PROVIDE POSITIVE DRAINAGE TO NEAREST DRAIN.
- ALL FLASHING / SHEET METAL DETAILS SHALL CONFORM TO THE RECOMMENDED PROCEDURES AS OUTLINED BY THE SMACNA MANUAL, LATEST EDITION.

GENERAL DEMOLITION NOTES

- AT ALL AREAS SCHEDULED FOR NEW ROOFING SYSTEM, REMOVE EXISTING ROOFING SYSTEM COMPLETELY TO EXISTING DECK. DECK TO REMAIN / PROTECT. INSPECT DECK FOR DAMAGE AND REPORT SAME TO OWNER AND ARCHITECT.
- REMOVAL OF EXISTING ROOFING SYSTEMS SHALL INCLUDE MATERIALS AT VERTICAL WALL SURFACES AND PENETRATIONS. REMOVAL TO BE DOWN TO SUBSTRATE MATERIALS.
- AT REMOVAL OF EXISTING ROOFING MATERIALS, REMOVE AND REPLACE ALL EXISTING FLASHING, WOOD BLOCKING ETC. NOT SPECIFICALLY CALLED TO BE PROTECTED, REUSED OR MAINTAINED ON THIS SHEET.
- DEMOLITION PLANS ARE INTENDED TO DEPICT A SCOPE AND SCHEMATIC LOCATION OF DEMOLITION WORK. ACTUAL DEMOLITION SHALL BE ACCOMPLISHED IN COORDINATION WITH NEW CONSTRUCTION WORK.
- THE CONTRACTOR SHALL LOCATE AND IDENTIFY ALL ELECTRICAL, MECHANICAL, PLUMBING AND UTILITY LINES WITHIN WORK AREAS AND PROTECT THE SAME AS REQUIRED TO MAINTAIN IN GOOD OPERATING CONDITION.
- UNLESS NOTED OTHERWISE, ALL ITEMS NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE PROJECT SITE.
- WHERE ITEMS ARE SHOWN TO BE REMOVED, CARE SHALL BE TAKEN TO PROTECT ADJACENT ITEMS SCHEDULED TO REMAIN.

ROOF HATCH LEGEND

- HYAC / ROOFTOP EQUIPMENT
- EXISTING AREA TO BE WORKED ON
- EXISTING AREA TO REMAIN AS IS
- EXISTING WALKPADS

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2017 Roof Improvements
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REVISIONS:		
#	Description	Date
1	Addendum #1	2.9.2017



JOB NO: 16080
DRAWN BY: JOSEPH BOTTICELLA
CHECKED BY: JUSTIN DURHAM
DATE: 02/10/2017

A101

SECTION 012100 - ALLOWANCES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
 - 1. Certain items are specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
 - 1. Lump-sum allowances.
 - 2. Contingency allowances.
- C. Related Requirements:
 - 1. Section 014000 "Quality Requirements" for procedures governing the use of allowances for testing and inspecting.

1.2 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

1.3 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.

1.4 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

1.5 COORDINATION

- A. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

1.6 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include applicable taxes (other than sales and use taxes), freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.

1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.7 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's related costs for products and equipment ordered by Owner under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include delivery, installation, insurance, equipment rental, and similar costs.
- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit margins.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

1.8 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
 1. Include installation costs in purchase amount only where indicated as part of the allowance.
 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other margins claimed.
 3. Submit substantiation of a change in scope of work, if any, claimed in Change Orders related to unit-cost allowances.
 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: Contingency Allowance: Include a contingency allowance of the amounts noted per school for use according to Owner's written instructions.
 1. No. 1a: Rosehill Elementary: \$20,000
 2. No. 1b: Tomahawk Elementary: \$10,000

END OF SECTION 012100